



321 Canal Street



City Environmental Quality Review

ENVIRONMENTAL ASSESSMENT STATEMENT (EAS) FULL FORM

Please fill out and submit to the appropriate agency (see instructions)

Part I: GENERAL INFORMATION

PROJECT NAME

1. Reference Numbers

CEQR REFERENCE NUMBER (to be assigned by lead agency)

16DCPO26M

BSA REFERENCE NUMBER (if applicable)

ULURP REFERENCE NUMBER (if applicable)

150384ZSM

OTHER REFERENCE NUMBER(S) (if applicable)

(e.g., legislative intro, CAPA)

2a. Lead Agency Information

NAME OF LEAD AGENCY

Department of City Planning

NAME OF LEAD AGENCY CONTACT PERSON

Robert Dobruskin

ADDRESS 22 Reade Street

CITY N.Y.

STATE N.Y.

ZIP

TELEPHONE 212-720-3423

EMAIL

rdobrus@planning.nyc.gov

2b. Applicant Information

NAME OF APPLICANT

321 New Canal LLC

NAME OF APPLICANT'S REPRESENTATIVE OR CONTACT PERSON

Ethan C. Eldon

ADDRESS 1370 Broadway, 5th floor

CITY N.Y.

STATE N.Y.

ZIP 10018

TELEPHONE 516-220-0072

EMAIL eceaethan@aol.com

3. Action Classification and Type

SEQRA Classification

UNLISTED TYPE I: Specify Category (see 6 NYCRR 617.4 and NYC Executive Order 91 of 1977, as amended):

Action Type (refer to [Chapter 2](#), "Establishing the Analysis Framework" for guidance)

LOCALIZED ACTION, SITE SPECIFIC

LOCALIZED ACTION, SMALL AREA

GENERIC ACTION

4. Project Description

The Applicant, 321 New Canal LLC, seeks the grant of a special permit pursuant to Section ZR 74-711 of the Zoning Resolution to allow Use Group 6 retail use on the ground and cellar levels, and UG 2 residential use on the upper floors of an existing four-story building at 321 Canal Street (Block 230, Lot 5), within an M1-5B Zoning District, in the SoHo-Cast Iron Historic District, Manhattan Community District 2. The applicant proposes to use a total of approximately 725 gross square feet in the cellar and 1,755.42 gsf on the ground floor for UG 6 retail uses, and approximately 2,305 gsf of UG 2 residential uses (3 residential units), on the above floors. An approximately 129 gsf residential lobby would be provided on the ground floor. Pursuant to approved plans and with the proposed actions, the second and third floors would be extended into the rear yard by approximately 338 gsf (this enlargement is compliant with the bulk regulations in the M1-5B district). In addition, the rooftops of the ground and the third floors would serve as terraces for the residential units. Overall, the enlarged building will contain approximately 5,462 gsf and a total 2.5 FAR.

Project Location

BOROUGH Manhattan

COMMUNITY DISTRICT(S) 2

STREET ADDRESS 321 Canal Street

TAX BLOCK(S) AND LOT(S) Block 230, Lot 5

ZIP CODE

DESCRIPTION OF PROPERTY BY BOUNDING OR CROSS STREETS Greene, Mercer and Grand Streets

EXISTING ZONING DISTRICT, INCLUDING SPECIAL ZONING DISTRICT DESIGNATION, IF ANY M1-5B

ZONING SECTIONAL MAP NUMBER 12a

5. Required Actions or Approvals (check all that apply)

City Planning Commission: YES

NO

UNIFORM LAND USE REVIEW PROCEDURE (ULURP)

CITY MAP AMENDMENT

ZONING CERTIFICATION

CONCESSION

ZONING MAP AMENDMENT

ZONING AUTHORIZATION

UDAAP

ZONING TEXT AMENDMENT

ACQUISITION—REAL PROPERTY

REVOCABLE CONSENT

SITE SELECTION—PUBLIC FACILITY

DISPOSITION—REAL PROPERTY

FRANCHISE

HOUSING PLAN & PROJECT

OTHER, explain:

SPECIAL PERMIT (if appropriate, specify type: modification; renewal; other); EXPIRATION DATE:

SPECIFY AFFECTED SECTIONS OF THE ZONING RESOLUTION 74-711, ZR 42-10, ZR 42-14D(2)(b)

Board of Standards and Appeals: YES

NO

VARIANCE (use)

VARIANCE (bulk)
 SPECIAL PERMIT (if appropriate, specify type: modification; renewal; other); EXPIRATION DATE:
 SPECIFY AFFECTED SECTIONS OF THE ZONING RESOLUTION

Department of Environmental Protection: YES NO If "yes," specify:

Other City Approvals Subject to CEQR (check all that apply)

<input type="checkbox"/> LEGISLATION	<input type="checkbox"/> FUNDING OF CONSTRUCTION, specify:
<input type="checkbox"/> RULEMAKING	<input type="checkbox"/> POLICY OR PLAN, specify:
<input type="checkbox"/> CONSTRUCTION OF PUBLIC FACILITIES	<input type="checkbox"/> FUNDING OF PROGRAMS, specify:
<input type="checkbox"/> 384(b)(4) APPROVAL	<input type="checkbox"/> PERMITS, specify:
<input type="checkbox"/> OTHER, explain:	

Other City Approvals Not Subject to CEQR (check all that apply)

<input type="checkbox"/> PERMITS FROM DOT'S OFFICE OF CONSTRUCTION MITIGATION AND COORDINATION (OCMC)	<input checked="" type="checkbox"/> LANDMARKS PRESERVATION COMMISSION APPROVAL
	<input checked="" type="checkbox"/> OTHER, explain: DOB permit to construct

State or Federal Actions/Approvals/Funding: YES NO If "yes," specify:

6. Site Description: The directly affected area consists of the project site and the area subject to any change in regulatory controls. Except where otherwise indicated, provide the following information with regard to the directly affected area.
Graphics: The following graphics must be attached and each box must be checked off before the EAS is complete. Each map must clearly depict the boundaries of the directly affected area or areas and indicate a 400-foot radius drawn from the outer boundaries of the project site. Maps may not exceed 11 x 17 inches in size and, for paper filings, must be folded to 8.5 x 11 inches.

<input checked="" type="checkbox"/> SITE LOCATION MAP	<input checked="" type="checkbox"/> ZONING MAP	<input checked="" type="checkbox"/> SANBORN OR OTHER LAND USE MAP
<input checked="" type="checkbox"/> TAX MAP	<input type="checkbox"/> FOR LARGE AREAS OR MULTIPLE SITES, A GIS SHAPE FILE THAT DEFINES THE PROJECT SITE(S)	
<input checked="" type="checkbox"/> PHOTOGRAPHS OF THE PROJECT SITE TAKEN WITHIN 6 MONTHS OF EAS SUBMISSION AND KEYED TO THE SITE LOCATION MAP		

Physical Setting (both developed and undeveloped areas)
 Total directly affected area (sq. ft.): 1,885 Waterbody area (sq. ft.) and type:
 Roads, buildings, and other paved surfaces (sq. ft.): 1,885 Other, describe (sq. ft.):

7. Physical Dimensions and Scale of Project (if the project affects multiple sites, provide the total development facilitated by the action)
 SIZE OF PROJECT TO BE DEVELOPED (gross square feet): 5,462
 NUMBER OF BUILDINGS: 1 GROSS FLOOR AREA OF EACH BUILDING (sq. ft.):
 HEIGHT OF EACH BUILDING (ft.): 48 feet NUMBER OF STORIES OF EACH BUILDING: 4

Does the proposed project involve changes in zoning on one or more sites? YES NO
 If "yes," specify: The total square feet owned or controlled by the applicant:
 The total square feet not owned or controlled by the applicant:

Does the proposed project involve in-ground excavation or subsurface disturbance, including, but not limited to foundation work, pilings, utility lines, or grading? YES NO
 If "yes," indicate the estimated area and volume dimensions of subsurface disturbance (if known):
 AREA OF TEMPORARY DISTURBANCE: sq. ft. (width x length) VOLUME OF DISTURBANCE: cubic ft. (width x length x depth)
 AREA OF PERMANENT DISTURBANCE: sq. ft. (width x length)

8. Analysis Year [CEQR Technical Manual Chapter 2](#)
 ANTICIPATED BUILD YEAR (date the project would be completed and operational): 2018
 ANTICIPATED PERIOD OF CONSTRUCTION IN MONTHS: 5
 WOULD THE PROJECT BE IMPLEMENTED IN A SINGLE PHASE? YES NO IF MULTIPLE PHASES, HOW MANY?
 BRIEFLY DESCRIBE PHASES AND CONSTRUCTION SCHEDULE:

9. Predominant Land Use in the Vicinity of the Project (check all that apply)

<input checked="" type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> MANUFACTURING	<input checked="" type="checkbox"/> COMMERCIAL	<input type="checkbox"/> PARK/FOREST/OPEN SPACE	<input type="checkbox"/> OTHER, specify:
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DESCRIPTION OF EXISTING AND PROPOSED CONDITIONS

The information requested in this table applies to the directly affected area. The directly affected area consists of the project site and the area subject to any change in regulatory control. The increment is the difference between the No-Action and the With-Action conditions.

	EXISTING CONDITION	NO-ACTION CONDITION	WITH-ACTION CONDITION	INCREMENT
LAND USE				
Residential	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
If "yes," specify the following:				
Describe type of residential structures				
No. of dwelling units	0	0	3 DU's	3 DU's
No. of low- to moderate-income units				
Gross floor area (sq. ft.)	0	0	approx. 2852	approx. 2852
Commercial	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
If "yes," specify the following:				
Describe type (retail, office, other)			Retail	Retail
Gross floor area (sq. ft.)	0	0	approx. 2610	approx. 2610
Manufacturing/Industrial	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If "yes," specify the following:				
Type of use				
Gross floor area (sq. ft.)	0		0	
Open storage area (sq. ft.)				
If any unenclosed activities, specify:				
Community Facility	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If "yes," specify the following:				
Type				
Gross floor area (sq. ft.)				
Vacant Land	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If "yes," describe:				
Publicly Accessible Open Space	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If "yes," specify type (mapped City, State, or Federal parkland, wetland—mapped or otherwise known, other):				
Other Land Uses	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input type="checkbox"/> NO	
If "yes," describe:				
PARKING				
Garages	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If "yes," specify the following:				
No. of public spaces				
No. of accessory spaces				
Operating hours				
Attended or non-attended				
Lots	<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If "yes," specify the following:				
No. of public spaces				
No. of accessory spaces				
Operating hours				
Other (includes street parking)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If "yes," describe:				
POPULATION				
Residents	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
If "yes," specify number:			6	6 residents
Briefly explain how the number of residents was calculated:	2 residents per unit			

	EXISTING CONDITION	NO-ACTION CONDITION	WITH-ACTION CONDITION	INCREMENT
Businesses	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
If "yes," specify the following:				
No. and type			1 Retail on groundfloor/cellar	
No. and type of workers by business			5	3
No. and type of non-residents who are not workers				
Briefly explain how the number of businesses was calculated:	2010 census			
Other (students, visitors, concert-goers, etc.)	<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
If any, specify type and number:				
Briefly explain how the number was calculated:				
ZONING				
Zoning classification	M1-5B	M1-5B	M1-5B	
Maximum amount of floor area that can be developed	9,452	9,425	9,425	0
Predominant land use and zoning classifications within land use study area(s) or a 400 ft. radius of proposed project	M1-5, M1-5A, M1-5B, C6-2A	M1-5, M1-5A, M1-5B, C6-2A	M1-5, M1-5A, M1-5B, C6-2A	
Attach any additional information that may be needed to describe the project.				
If your project involves changes that affect one or more sites not associated with a specific development, it is generally appropriate to include total development projections in the above table and attach separate tables outlining the reasonable development scenarios for each site.				

Part II: TECHNICAL ANALYSIS

INSTRUCTIONS: For each of the analysis categories listed in this section, assess the proposed project’s impacts based on the thresholds and criteria presented in the CEQR Technical Manual. Check each box that applies.


- If the proposed project can be demonstrated not to meet or exceed the threshold, check the “no” box.
- If the proposed project will meet or exceed the threshold, or if this cannot be determined, check the “yes” box.
- For each “yes” response, provide additional analyses (and, if needed, attach supporting information) based on guidance in the CEQR Technical Manual to determine whether the potential for significant impacts exists. Please note that a “yes” answer does not mean that an EIS must be prepared—it means that more information may be required for the lead agency to make a determination of significance.
- The lead agency, upon reviewing Part II, may require an applicant to provide additional information to support the Full EAS Form. For example, if a question is answered “no,” an agency may request a short explanation for this response.

	YES	NO
1. LAND USE, ZONING, AND PUBLIC POLICY: CEQR Technical Manual Chapter 4		
(a) Would the proposed project result in a change in land use different from surrounding land uses?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) Would the proposed project result in a change in zoning different from surrounding zoning?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Is there the potential to affect an applicable public policy?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(d) If “yes,” to (a), (b), and/or (c), complete a preliminary assessment and attach.		
(e) Is the project a large, publicly sponsored project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If “yes,” complete a PlaNYC assessment and attach.		
(f) Is any part of the directly affected area within the City’s Waterfront Revitalization Program boundaries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If “yes,” complete the Consistency Assessment Form .		
2. SOCIOECONOMIC CONDITIONS: CEQR Technical Manual Chapter 5		
(a) Would the proposed project:		
o Generate a net increase of more than 200 residential units or 200,000 square feet of commercial space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ If “yes,” answer both questions 2(b)(ii) and 2(b)(iv) below.		
o Directly displace 500 or more residents?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ If “yes,” answer questions 2(b)(i), 2(b)(ii), and 2(b)(iv) below.		
o Directly displace more than 100 employees?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ If “yes,” answer questions under 2(b)(iii) and 2(b)(iv) below.		
o Affect conditions in a specific industry?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ If “yes,” answer question 2(b)(v) below.		
(b) If “yes” to any of the above, attach supporting information to answer the relevant questions below. If “no” was checked for each category above, the remaining questions in this technical area do not need to be answered.		
i. Direct Residential Displacement		
o If more than 500 residents would be displaced, would these residents represent more than 5% of the primary study area population?	<input type="checkbox"/>	<input type="checkbox"/>
o If “yes,” is the average income of the directly displaced population markedly lower than the average income of the rest of the study area population?	<input type="checkbox"/>	<input type="checkbox"/>
ii. Indirect Residential Displacement		
o Would expected average incomes of the new population exceed the average incomes of study area populations?	<input type="checkbox"/>	<input type="checkbox"/>
o If “yes:”		
▪ Would the population of the primary study area increase by more than 10 percent?	<input type="checkbox"/>	<input type="checkbox"/>
▪ Would the population of the primary study area increase by more than 5 percent in an area where there is the potential to accelerate trends toward increasing rents?	<input type="checkbox"/>	<input type="checkbox"/>
o If “yes” to either of the preceding questions, would more than 5 percent of all housing units be renter-occupied and unprotected?	<input type="checkbox"/>	<input type="checkbox"/>
iii. Direct Business Displacement		
o Do any of the displaced businesses provide goods or services that otherwise would not be found within the trade area, either under existing conditions or in the future with the proposed project?	<input type="checkbox"/>	<input type="checkbox"/>
o Is any category of business to be displaced the subject of other regulations or publicly adopted plans to preserve,	<input type="checkbox"/>	<input type="checkbox"/>

	YES	NO
enhance, or otherwise protect it?		
iv. Indirect Business Displacement		
o Would the project potentially introduce trends that make it difficult for businesses to remain in the area?	<input type="checkbox"/>	<input type="checkbox"/>
o Would the project capture retail sales in a particular category of goods to the extent that the market for such goods would become saturated, potentially resulting in vacancies and disinvestment on neighborhood commercial streets?	<input type="checkbox"/>	<input type="checkbox"/>
v. Effects on Industry		
o Would the project significantly affect business conditions in any industry or any category of businesses within or outside the study area?	<input type="checkbox"/>	<input type="checkbox"/>
o Would the project indirectly substantially reduce employment or impair the economic viability in the industry or category of businesses?	<input type="checkbox"/>	<input type="checkbox"/>
3. COMMUNITY FACILITIES: CEQR Technical Manual Chapter 6		
(a) Direct Effects		
o Would the project directly eliminate, displace, or alter public or publicly funded community facilities such as educational facilities, libraries, health care facilities, day care centers, police stations, or fire stations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Indirect Effects		
i. Child Care Centers		
o Would the project result in 20 or more eligible children under age 6, based on the number of low or low/moderate income residential units? (See Table 6-1 in Chapter 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the project result in a collective utilization rate of the group child care/Head Start centers in the study area that is greater than 100 percent?	<input type="checkbox"/>	<input type="checkbox"/>
o If "yes," would the project increase the collective utilization rate by 5 percent or more from the No-Action scenario?	<input type="checkbox"/>	<input type="checkbox"/>
ii. Libraries		
o Would the project result in a 5 percent or more increase in the ratio of residential units to library branches? (See Table 6-1 in Chapter 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the project increase the study area population by 5 percent or more from the No-Action levels?	<input type="checkbox"/>	<input type="checkbox"/>
o If "yes," would the additional population impair the delivery of library services in the study area?	<input type="checkbox"/>	<input type="checkbox"/>
iii. Public Schools		
o Would the project result in 50 or more elementary or middle school students, or 150 or more high school students based on number of residential units? (See Table 6-1 in Chapter 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the project result in a collective utilization rate of the elementary and/or intermediate schools in the study area that is equal to or greater than 100 percent?	<input type="checkbox"/>	<input type="checkbox"/>
o If "yes," would the project increase this collective utilization rate by 5 percent or more from the No-Action scenario?	<input type="checkbox"/>	<input type="checkbox"/>
iv. Health Care Facilities		
o Would the project result in the introduction of a sizeable new neighborhood?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the project affect the operation of health care facilities in the area?	<input type="checkbox"/>	<input type="checkbox"/>
v. Fire and Police Protection		
o Would the project result in the introduction of a sizeable new neighborhood?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the project affect the operation of fire or police protection in the area?	<input type="checkbox"/>	<input type="checkbox"/>
4. OPEN SPACE: CEQR Technical Manual Chapter 7		
(a) Would the project change or eliminate existing open space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Is the project located within an under-served area in the Bronx , Brooklyn , Manhattan , Queens , or Staten Island ?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(c) If "yes," would the project generate more than 50 additional residents or 125 additional employees?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Is the project located within a well-served area in the Bronx , Brooklyn , Manhattan , Queens , or Staten Island ?	<input type="checkbox"/>	<input type="checkbox"/>
(e) If "yes," would the project generate more than 350 additional residents or 750 additional employees?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(f) If the project is located in an area that is neither under-served nor well-served, would it generate more than 200 additional residents or 500 additional employees?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(g) If "yes" to questions (c), (e), or (f) above, attach supporting information to answer the following:		
o If in an under-served area, would the project result in a decrease in the open space ratio by more than 1 percent?	<input type="checkbox"/>	<input type="checkbox"/>
o If in an area that is not under-served, would the project result in a decrease in the open space ratio by more than 5	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	YES	NO
percent?		
o If "yes," are there qualitative considerations, such as the quality of open space, that need to be considered? Please specify:	<input type="checkbox"/>	<input type="checkbox"/>
5. SHADOWS: CEQR Technical Manual Chapter 8		
(a) Would the proposed project result in a net height increase of any structure of 50 feet or more?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project result in any increase in structure height and be located adjacent to or across the street from a sunlight-sensitive resource?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) If "yes" to either of the above questions, attach supporting information explaining whether the project's shadow would reach any sunlight-sensitive resource at any time of the year.		
6. HISTORIC AND CULTURAL RESOURCES: CEQR Technical Manual Chapter 9		
(a) Does the proposed project site or an adjacent site contain any architectural and/or archaeological resource that is eligible for or has been designated (or is calendared for consideration) as a New York City Landmark, Interior Landmark or Scenic Landmark; that is listed or eligible for listing on the New York State or National Register of Historic Places; or that is within a designated or eligible New York City, New York State or National Register Historic District? (See the GIS System for Archaeology and National Register to confirm)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) Would the proposed project involve construction resulting in in-ground disturbance to an area not previously excavated?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) If "yes" to either of the above, list any identified architectural and/or archaeological resources and attach supporting information on whether the proposed project would potentially affect any architectural or archeological resources. see attached		
7. URBAN DESIGN AND VISUAL RESOURCES: CEQR Technical Manual Chapter 10		
(a) Would the proposed project introduce a new building, a new building height, or result in any substantial physical alteration to the streetscape or public space in the vicinity of the proposed project that is not currently allowed by existing zoning?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project result in obstruction of publicly accessible views to visual resources not currently allowed by existing zoning?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) If "yes" to either of the above, please provide the information requested in Chapter 10 .		
8. NATURAL RESOURCES: CEQR Technical Manual Chapter 11		
(a) Does the proposed project site or a site adjacent to the project contain natural resources as defined in Section 100 of Chapter 11 ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," list the resources and attach supporting information on whether the project would affect any of these resources.		
(b) Is any part of the directly affected area within the Jamaica Bay Watershed ?	<input type="checkbox"/>	<input type="checkbox"/>
o If "yes," complete the Jamaica Bay Watershed Form and submit according to its instructions .		
9. HAZARDOUS MATERIALS: CEQR Technical Manual Chapter 12		
(a) Would the proposed project allow commercial or residential uses in an area that is currently, or was historically, a manufacturing area that involved hazardous materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) Does the proposed project site have existing institutional controls (e.g., (E) designation or Restrictive Declaration) relating to hazardous materials that preclude the potential for significant adverse impacts?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Would the project require soil disturbance in a manufacturing area or any development on or near a manufacturing area or existing/historic facilities listed in Appendix 1 (including nonconforming uses)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Would the project result in the development of a site where there is reason to suspect the presence of hazardous materials, contamination, illegal dumping or fill, or fill material of unknown origin?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) Would the project result in development on or near a site that has or had underground and/or aboveground storage tanks (e.g., gas stations, oil storage facilities, heating oil storage)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(f) Would the project result in renovation of interior existing space on a site with the potential for compromised air quality; vapor intrusion from either on-site or off-site sources; or the presence of asbestos, PCBs, mercury or lead-based paint?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(g) Would the project result in development on or near a site with potential hazardous materials issues such as government-listed voluntary cleanup/brownfield site, current or former power generation/transmission facilities, coal gasification or gas storage sites, railroad tracks or rights-of-way, or municipal incinerators?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(h) Has a Phase I Environmental Site Assessment been performed for the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," were Recognized Environmental Conditions (RECs) identified? Briefly identify:		
(i) Based on the Phase I Assessment, is a Phase II Investigation needed?	<input type="checkbox"/>	<input type="checkbox"/>
10. WATER AND SEWER INFRASTRUCTURE: CEQR Technical Manual Chapter 13		
(a) Would the project result in water demand of more than one million gallons per day?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If the proposed project located in a combined sewer area, would it result in at least 1,000 residential units or 250,000 square feet or more of commercial space in Manhattan, or at least 400 residential units or 150,000 square feet or more of commercial space in the Bronx, Brooklyn, Staten Island, or Queens?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	YES	NO
(c) If the proposed project located in a separately sewered area , would it result in the same or greater development than that listed in Table 13-1 in Chapter 13 ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Would the project involve development on a site that is 5 acres or larger where the amount of impervious surface would increase?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) If the project is located within the Jamaica Bay Watershed or in certain specific drainage areas , including Bronx River, Coney Island Creek, Flushing Bay and Creek, Gowanus Canal, Hutchinson River, Newtown Creek, or Westchester Creek, would it involve development on a site that is 1 acre or larger where the amount of impervious surface would increase?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(f) Would the proposed project be located in an area that is partially sewered or currently unsewered?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(g) Is the project proposing an industrial facility or activity that would contribute industrial discharges to a Wastewater Treatment Plant and/or contribute contaminated stormwater to a separate storm sewer system?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(h) Would the project involve construction of a new stormwater outfall that requires federal and/or state permits?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(i) If "yes" to any of the above, conduct the appropriate preliminary analyses and attach supporting documentation.		
11. SOLID WASTE AND SANITATION SERVICES: CEQR Technical Manual Chapter 14		
(a) Using Table 14-1 in Chapter 14 , the project's projected operational solid waste generation is estimated to be (pounds per week):		
o Would the proposed project have the potential to generate 100,000 pounds (50 tons) or more of solid waste per week?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project involve a reduction in capacity at a solid waste management facility used for refuse or recyclables generated within the City?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the proposed project comply with the City's Solid Waste Management Plan?	<input type="checkbox"/>	<input type="checkbox"/>
12. ENERGY: CEQR Technical Manual Chapter 15		
(a) Using energy modeling or Table 15-1 in Chapter 15 , the project's projected energy use is estimated to be (annual BTUs): 832,631		
(b) Would the proposed project affect the transmission or generation of energy?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. TRANSPORTATION: CEQR Technical Manual Chapter 16		
(a) Would the proposed project exceed any threshold identified in Table 16-1 in Chapter 16 ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If "yes," conduct the appropriate screening analyses, attach back up data as needed for each stage, and answer the following questions:		
o Would the proposed project result in 50 or more Passenger Car Equivalents (PCEs) per project peak hour?	<input type="checkbox"/>	<input type="checkbox"/>
If "yes," would the proposed project result in 50 or more vehicle trips per project peak hour at any given intersection? **It should be noted that the lead agency may require further analysis of intersections of concern even when a project generates fewer than 50 vehicles in the peak hour. See Subsection 313 of Chapter 16 for more information.	<input type="checkbox"/>	<input type="checkbox"/>
o Would the proposed project result in more than 200 subway/rail or bus trips per project peak hour?	<input type="checkbox"/>	<input type="checkbox"/>
If "yes," would the proposed project result, per project peak hour, in 50 or more bus trips on a single line (in one direction) or 200 subway/rail trips per station or line?	<input type="checkbox"/>	<input type="checkbox"/>
o Would the proposed project result in more than 200 pedestrian trips per project peak hour?	<input type="checkbox"/>	<input type="checkbox"/>
If "yes," would the proposed project result in more than 200 pedestrian trips per project peak hour to any given pedestrian or transit element, crosswalk, subway stair, or bus stop?	<input type="checkbox"/>	<input type="checkbox"/>
14. AIR QUALITY: CEQR Technical Manual Chapter 17		
(a) <i>Mobile Sources:</i> Would the proposed project result in the conditions outlined in Section 210 in Chapter 17 ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) <i>Stationary Sources:</i> Would the proposed project result in the conditions outlined in Section 220 in Chapter 17 ?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
o If "yes," would the proposed project exceed the thresholds in Figure 17-3, Stationary Source Screen Graph in Chapter 17 ? (Attach graph as needed)	<input type="checkbox"/>	<input type="checkbox"/>
(c) Does the proposed project involve multiple buildings on the project site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Does the proposed project require federal approvals, support, licensing, or permits subject to conformity requirements?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) Does the proposed project site have existing institutional controls (e.g., (E) designation or Restrictive Declaration) relating to air quality that preclude the potential for significant adverse impacts?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(f) If "yes" to any of the above, conduct the appropriate analyses and attach any supporting documentation.		
15. GREENHOUSE GAS EMISSIONS: CEQR Technical Manual Chapter 18		
(a) Is the proposed project a city capital project or a power generation plant?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project fundamentally change the City's solid waste management system?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Would the proposed project result in the development of 350,000 square feet or more?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) If "yes" to any of the above, would the project require a GHG emissions assessment based on guidance in Chapter 18 ?	<input type="checkbox"/>	<input type="checkbox"/>
o If "yes," would the project result in inconsistencies with the City's GHG reduction goal? (See Local Law 22 of 2008 ; § 24-	<input type="checkbox"/>	<input type="checkbox"/>

		YES	NO
803 of the Administrative Code of the City of New York). Please attach supporting documentation.			
16. NOISE: CEQR Technical Manual Chapter 19			
(a) Would the proposed project generate or reroute vehicular traffic?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project introduce new or additional receptors (see Section 124 in Chapter 19) near heavily trafficked roadways, within one horizontal mile of an existing or proposed flight path, or within 1,500 feet of an existing or proposed rail line with a direct line of site to that rail line?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
(c) Would the proposed project cause a stationary noise source to operate within 1,500 feet of a receptor with a direct line of sight to that receptor or introduce receptors into an area with high ambient stationary noise?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Does the proposed project site have existing institutional controls (e.g., (E) designation or Restrictive Declaration) relating to noise that preclude the potential for significant adverse impacts?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) If "yes" to any of the above, conduct the appropriate analyses and attach any supporting documentation.			
17. PUBLIC HEALTH: CEQR Technical Manual Chapter 20			
(a) Based upon the analyses conducted, do any of the following technical areas require a detailed analysis: Air Quality; Hazardous Materials; Noise?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If "yes," explain why an assessment of public health is or is not warranted based on the guidance in Chapter 20, "Public Health." Attach a preliminary analysis, if necessary.			
18. NEIGHBORHOOD CHARACTER: CEQR Technical Manual Chapter 21			
(a) Based upon the analyses conducted, do any of the following technical areas require a detailed analysis: Land Use, Zoning, and Public Policy; Socioeconomic Conditions; Open Space; Historic and Cultural Resources; Urban Design and Visual Resources; Shadows; Transportation; Noise?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) If "yes," explain why an assessment of neighborhood character is or is not warranted based on the guidance in Chapter 21, "Neighborhood Character." Attach a preliminary analysis, if necessary.			
19. CONSTRUCTION: CEQR Technical Manual Chapter 22			
(a) Would the project's construction activities involve:			
o Construction activities lasting longer than two years?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Construction activities within a Central Business District or along an arterial highway or major thoroughfare?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
o Closing, narrowing, or otherwise impeding traffic, transit, or pedestrian elements (roadways, parking spaces, bicycle routes, sidewalks, crosswalks, corners, etc.)?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Construction of multiple buildings where there is a potential for on-site receptors on buildings completed before the final build-out?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o The operation of several pieces of diesel equipment in a single location at peak construction?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Closure of a community facility or disruption in its services?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Activities within 400 feet of a historic or cultural resource?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Disturbance of a site containing or adjacent to a site containing natural resources?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Construction on multiple development sites in the same geographic area, such that there is the potential for several construction timelines to overlap or last for more than two years overall?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If any boxes are checked "yes," explain why a preliminary construction assessment is or is not warranted based on the guidance in Chapter 22, "Construction." It should be noted that the nature and extent of any commitment to use the Best Available Technology for construction equipment or Best Management Practices for construction activities should be considered when making this determination.			
20. APPLICANT'S CERTIFICATION			
I swear or affirm under oath and subject to the penalties for perjury that the information provided in this Environmental Assessment Statement (EAS) is true and accurate to the best of my knowledge and belief, based upon my personal knowledge and familiarity with the information described herein and after examination of the pertinent books and records and/or after inquiry of persons who have personal knowledge of such information or who have examined pertinent books and records.			
Still under oath, I further swear or affirm that I make this statement in my capacity as the applicant or representative of the entity that seeks the permits, approvals, funding, or other governmental action(s) described in this EAS.			
APPLICANT/REPRESENTATIVE NAME	SIGNATURE	DATE	
Ethan C. Eldon		September 4th, 2015	
PLEASE NOTE THAT APPLICANT IS MAKING AND PROVIDING SUBSTANTIVE RESPONSES IN THIS FORM AT THE DISCRETION OF THE TRB AGENCY SO THAT IT MAY SUPPORT ITS DETERMINATION OF SIGNIFICANCE.			

Part III: DETERMINATION OF SIGNIFICANCE (To Be Completed by Lead Agency)

INSTRUCTIONS: In completing Part III, the lead agency should consult 6 NYCRR 617.7 and 43 RCNY § 6-06 (Executive Order 91 or 1977, as amended), which contain the State and City criteria for determining significance.

1. For each of the impact categories listed below, consider whether the project may have a significant adverse effect on the environment, taking into account its (a) location; (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude.

Potentially Significant Adverse Impact

IMPACT CATEGORY	YES	NO
Land Use, Zoning, and Public Policy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Socioeconomic Conditions	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Community Facilities and Services	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Open Space	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Shadows	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Historic and Cultural Resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Urban Design/Visual Resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Natural Resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hazardous Materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water and Sewer Infrastructure	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Solid Waste and Sanitation Services	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Energy	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Transportation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Air Quality	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Greenhouse Gas Emissions	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Noise	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Health	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Neighborhood Character	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>

2. Are there any aspects of the project relevant to the determination of whether the project may have a significant impact on the environment, such as combined or cumulative impacts, that were not fully covered by other responses and supporting materials?

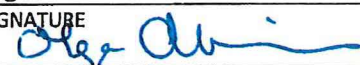
YES NO

If there are such impacts, attach an explanation stating whether, as a result of them, the project may have a significant impact on the environment.

3. Check determination to be issued by the lead agency:

- Positive Declaration:** If the lead agency has determined that the project may have a significant impact on the environment, and if a Conditional Negative Declaration is not appropriate, then the lead agency issues a *Positive Declaration* and prepares a draft Scope of Work for the Environmental Impact Statement (EIS).
- Conditional Negative Declaration:** A *Conditional Negative Declaration* (CND) may be appropriate if there is a private applicant for an Unlisted action AND when conditions imposed by the lead agency will modify the proposed project so that no significant adverse environmental impacts would result. The CND is prepared as a separate document and is subject to the requirements of 6 NYCRR Part 617.
- Negative Declaration:** If the lead agency has determined that the project would not result in potentially significant adverse environmental impacts, then the lead agency issues a *Negative Declaration*. The *Negative Declaration* may be prepared as a separate document (see [template](#)) or using the embedded Negative Declaration on the next page.

4. LEAD AGENCY'S CERTIFICATION

TITLE Deputy Director, Environmental Assessment & Review Division	LEAD AGENCY New York City Department of City Planning
NAME Olga Abinader	DATE September 4 th , 2015
SIGNATURE 	

Technical Analyses

I. Project Summary

The Applicant, 321 New Canal LLC, seeks the grant of a special permit pursuant to Section 74-711 of the Zoning Resolution (ZR) to modify ZR 42-14(D) to allow retail use (UG 6) on the ground floor and cellar and ZR 42-10 to allow residential use (Use Group 2) on the second through fourth floors of an existing four-story building at 321 Canal Street (Block 230, Lot 5), within an M1-5B Zoning District, in the SoHo-Cast Iron Historic District, Manhattan Community District 2.*

The building is located on the north side of Canal Street between Greene and Mercer Streets and is a four-story building. Lot 5 has a total lot area of 1,884 square feet. The existing building contains approximately 4,786 gross square feet (gsf). The subject building was completed as a residence in 1821.

The applicant proposes to use a total of approximately 725 gsf in the cellar and 1,755.42 gsf on the ground floor for UG 6 retail uses, and approximately 2,305 gsf of UG 2 residential uses (3 residential units), on the above floors. An approximately 129 gsf residential lobby would be provided on the ground floor. Pursuant to approved plans and with the proposed actions, the second and third floors would be extended into the rear yard by approximately 338 gsf (this enlargement is compliant with the bulk regulations in the M1-5B district). In addition, the rooftops of the ground and the third floors would serve as terraces for the residential units. Overall, the enlarged building will contain approximately 5,462 gsf and a total 2.5 floor area ratio (FAR).

The building, in its existing state, has been stabilized. The building has been gutted and some internal repairs have been done to make the building structurally safe, pursuant to Department of Buildings (DOB) approvals granted on February 28, 2013 (Job No. 120950140); July 24, 2014 (Job No. 121622235); January 8, 2015 (Job No. 122022658); and November 13, 2014 (Job No. 122155808) (see Appendix C). Any building expansion and renovation of dormers, facades and interior spaces is expected to take place only upon approval of the actions sought at the City Planning Commission (CPC). The windows of the building have been removed, and no new windows have been installed at this time. The applicant intends on providing a window that meets the City Environmental Quality Review (CEQR)-related requirements identified in the Noise Analysis section to the LPC for approval at a later date.

**Filed simultaneously with the proposed project is a special permit application for the adjacent building at 323 Canal Street Block 230, Lot 6, to allow UG 2 and 6 uses.*

II. Project Background

Previously, 321 Canal Street had undocumented retail uses on the ground floors. The building had been vacant for the past two years. Restoration of the front façade received LPC approval in a Certificate of Appropriateness dated August 9, 2013 (see Appendix A). The applicant has obtained LPC approvals for emergency repair and facade restoration work, and has started restoring the front and rear facades to its original Federal style. The restoration work commenced in January and is ongoing.

The building received a partial demolition permit from DOB dated January 8, 2015 (see Appendix C).

The planned rear façade extension of the second, third and fourth floors was approved in a Certificate of Appropriateness dated September 30, 2014 (see Appendix B).

Previously, the building was stabilized pursuant to a directive from DOB Assistant Commissioner Tim Lynch. In connection with such stabilization work, there was a program in place to retain any original brick or stone material, have it catalogued and stored on-site so that the front facade can be fully restored with either all, or predominantly, original fabric.

Pursuant to LPC and DOB permits, the applicant stabilized the building. In addition, LPC approved plans for a restoration of the building, which will be partially historic with original fabric (i.e. brick, stone and roofing). LPC approved plans were filed at DOB, work on the building commenced in January 2015 and is ongoing. With respect to the front of the building, the original envelope is being maintained, including the roof line and materials. In the event the change in use application is approved, there are planned modifications so as to include a slight extension in the rear of the building, which is not visible from a public thoroughfare and has been approved by LPC. This extension is necessary to ensure that the units, which in the Applicant's opinion were small and substandard, are reasonable in size and comply with the Multiple Dwelling Law and the Americans with Disabilities Act. The building has been vacant for more than two years.

III. Description of the Proposed Development

The proposed action will facilitate a proposal by the Applicant to the 2nd through 4th floors to UG 2 residential uses with three dwelling units, one unit on each floor, and to use the ground floor and the cellar for UG 6 retail uses. There would be a residential entrance on the ground floor. The ground floor would have a retail store and the cellar would contain accessory storage for the retail use. The renovation would be completed in connection with a front and rear façade restoration of the proposed development. The restoration work has been approved by LPC and is currently in progress. The proposed project does not raise the height of the existing buildings, but increases the FAR to 2.5.

The application for a special permit would bring the uses on the subject site into conformance with what has been historically present on the site. Further, a change in use would allow a use that, while not as-of-right, has become prevalent within the SoHo-Cast Iron Historic District.

The proposed construction would enlarge the building at the second and third floors by moving the rear wall 16' 8" thereby increasing the floors by approximately 676 gsf. The existing footprint would be maintained at the ground floor and fourth floor.

IV. Build Year

It is expected that construction will be completed in 2018.

V. Purpose and Need for the Proposed Action

The applicant is seeking approval of a special permit, pursuant to ZR Section 74-711, to modify the use regulations Section 42-14(D) to allow retail use (UG 6) on the ground floor and cellar and of Section 42-10 to allow residential use (UG 2) on the second through fourth floors. The currently permitted uses such as light manufacturing and wholesale use would not justify the substantial added cost for the applicant to bring the buildings up to code.

VI. Development Site

The subject development site is located in Block: 230, Lot: 5 in Manhattan.

VII. No-Action Scenario

Without the proposed action it is unlikely that the applicant will develop the property. For the purposes of analysis in the No-Action Scenario, it is expected that the building, which has been vacant for over two years and has no certificate of occupancy, would remain vacant.

VIII. With-Action Scenario

Under the Reasonable Worst Case Development Scenario With-Action Scenario for the existing 4-story building of 5,462 gfs, the applicant is proposing that the 2nd through 4th floors be occupied with UG 2 residential uses with three dwelling units, one unit on each floor (floors 2 through 4), and to occupy the ground floor and the cellar with UG 6 retail uses. The result of the proposed action would be a four-story building of 5,462 gsf.

If the special permit is granted by the City Planning Commission (CPC), the proposed work would enlarge the building at the rear of the second and third floors. The existing footprint would be maintained at the ground floor and fourth floors.

The first floor and cellar would be approximately 2,480 gsf with retail use. The second through fourth floors would be 2,305 with residential use.

Recent development trends in the area surrounding the project site have evolved from primarily a manufacturing district to a mixed-use district characterized by Joint Living-Work Quarters for Artists (JLWQA), residential, high end retail, and some remaining light manufacturing uses.

Land Use, Zoning & Public Policy

Land Use

321 Canal Street consists of a four-story building located on the north side of Canal Street between Greene and Mercer Streets.

According to the Department of City Planning Land Use Map (Attachment 2), the land uses in the 400' study area include: commercial, mixed-use residential, multi-family residential, industrial/manufacturing and public facilities and institutions.

A field survey of the study area found that both the area north of Canal Street which is in the SoHo-Cast Iron Historic District, and the area south of Canal Street which is in Tribeca, are in transition with most buildings either already converted to, or in the construction process of converting to, residential and commercial mixed-use, JLWQA uses, many with high-end retail on the ground floor (art galleries, high fashion clothing stores and the like).

Zoning

The project site is in an M1-5B zoning district within the SoHo-Cast Iron Historic District, Manhattan Community District 2. The site, which is located in Block 230, Lot 5, has a total lot area of approximately 1,884 square feet and the building totals 4,786 gsf. The building is 4 stories (48 feet high). The subject building was built as a residence in 1821, and is located within the SoHo-Cast Iron Historic District.

The subject site is located in an M1-5B zoning district. The immediate area around the site is zoned predominately M1-5A, M1-5B, and C6-2A.

No changes in zoning would occur in the 400 foot radius study area.

No-Action Scenario

Without the proposed action it is unlikely that the applicant will develop the property. For the purposes of analysis in the No-Action Scenario, it is expected that the building, which has been vacant for over two years and has no certificate of occupancy, would remain vacant.

With-Action Scenario

Under the RWCDS With-Action scenario for the existing 4-story building of 4,786 gsf, the applicant is proposing to occupy the second through fourth floors with UG 2 residential use with three dwelling units, one unit on each floor (floors 2 through 4), and to use the ground floor and the cellar as UG 6 retail uses.

If the special permit is granted by the CPC the proposed work would enlarge the building at the second and third floors by moving the rear wall by 16' 8". The existing footprint would be maintained at the ground floor and fourth floors. The result of the proposed action would be a four-story building of 5,462 gsf.

The first floor and cellar would be 2,481 gsf with retail use. The first through fourth floors would be approximately 2,305 gsf with residential use, including a 129 gsf residential lobby.

The change in use to residential on floors 2 through 4 and retail on the ground floor and cellar is in keeping with the ongoing trend in the surrounding community which is undergoing a major transformation. The incremental difference (increase) between scenarios is 676 gsf.

Public Policy

No changes related to public policy are expected to occur in the affected area.

Historic & Cultural Resources

The building at 321 Canal Street was built circa 1821 as a residence and is located in the SoHo-Cast Iron Historic District.

Previously 321 Canal Street had undocumented retail uses on the ground floor. The building had been vacant for the past two years. Restoration of the front façade received LPC approval on May 8, 2014 and the rear façade received LPC approval on July 15, 2014. The applicant has obtained LPC approvals for emergency repair and façade restoration work, and has started restoring the front and rear facades to its original Federal style. The buildings received a partial demolition permit from DOB in the spring of 2013.

Previously, the building was stabilized pursuant to a directive from DOB Assistant Commissioner Tim Lynch. In connection with such stabilization work, there was a program in place to retain any original brick or stone material, have it catalogued and stored on-site so that the front façade can be fully restored with either all or predominantly original fabric. See attached Appendix C.

Pursuant to LPC and DOB permits, the applicant stabilized the building. In addition, LPC approved plans for a restoration of the building, which will be partially historic with original fabric (i.e. brick, stone and roofing). In addition, the LPC approved plans were filed at DOB and work on the building will commence soon. With respect to the front of the building, the original envelope is being maintained, including the roof line and materials, and there will soon be modifications so as to include a slight extension in the rear of the building, which is not visible from a public thoroughfare and has been approved by LPC. This extension is necessary to ensure that the units, which were small and substandard, are reasonable in size and comply with the Multiple Dwelling Law and the Americans with Disabilities Act.

The following work was approved by LPC (see Attachment 7):

August 9, 2013 Certificate of Appropriateness #14-7210 for demolition, emergency stabilization, and front façade work;

June 17, 2014 MOU #15-8983/COFA #14-7210 for special permit 74-711; and

September 30, 2014 COFA #16-3167 for rear façade, exterior bulk (roof-fenestrations-dormers), interior design and layout.

No-Action Scenario

Without the proposed action it is unlikely that the applicant will develop the property. For the purposes of analysis in the No-Action Scenario, it is expected that the building, which has been vacant for over two years and has no certificate of occupancy, would remain vacant.

With-Action Scenario

Under the RWCDS With-Action scenario for the existing 4-story building of 4,786 gsf, the applicant is proposing to occupy the second through fourth floors with UG 2 residential use with three dwelling units, one unit on each floor (floors 2 through 4), and to use the ground floor and the cellar as UG 6 retail uses.

If the special permit is granted by the CPC the proposed work would enlarge the building at the second and third floors by moving the rear wall by 16' 8". The existing footprint would be maintained at the ground floor and fourth floors. The result of the proposed action would be a four-story building of 5,462 gsf.

The first floor and cellar would be 2,481 gsf with retail use. The first through fourth floors would be approximately 2,305 gsf with residential use, including a 129 gsf residential lobby.

The change in use to residential on floors 2 through 4 and retail on the ground floor and cellar is in keeping with the ongoing trend in the surrounding community which is undergoing a major transformation. The incremental difference (increase) between scenarios is 676 gsf.

The work would be in keeping with the LPC approvals and therefore there would be no significant impact to Cultural and Historic Resources as a result of the With-Action or the No-Action scenarios.

Hazardous Materials

The building was originally completed in 1821 as a 3-story brick residence. Sometime in the mid-19th century the ground floor was converted to commercial use (see attachment for information provided to the Landmarks Preservation Commission). Records indicate that in 1947, Met Exchange Machinery and Tools was located at the building. This was typical of wholesale business along Canal Street at the time. Prior to becoming vacant Manny Jewelry was listed at the building.

There will be no soil disturbance in connection with the building renovation and minor construction on the second and third floors.

Air Quality

Stationary Source

The applicant proposes to use natural gas. No HVAC system is in place at this time. A new HVAC system is expected to be provided that would meet City Environmental Quality Review (CEQR)-related requirements identified in this section.

To preclude the potential for significant adverse air quality impacts related to stationary source HVAC emissions, an (E) designation would be incorporated into the special permit for Block 230, Lot 5. The text for the (E) designation E-364 (assigned to CEQR Number 16DCP026M) is as follows:

Block 230, Lot 5

Any new residential and/or commercial development on Block 230 Lot 5 must exclusively use natural gas as the type of fuel for HVAC systems and hot water equipment, and ensure that the heating, ventilating and air conditioning and/or the hot water equipment stack(s) is located at least 30 feet away from the lot line facing Grand Street, to avoid any potential significant air quality impacts.

With the above (E) designation, no significant adverse impacts related to stationary source air quality would result from the proposed action. No further analyses are required at this time.

Industrial Sources

The proposed action would permit residential use within an M1-5B zoning district. Despite the area's manufacturing zoning, local development consists of a mix of residential and commercial uses.

Because the proposed action would introduce a residential use into a manufacturing district, the potential for exposure of project occupants to hazardous industrial emissions is a concern. However, a field survey of the study area found no evidence of industrial stacks or vents. The entire study area is either already converted or in the active process of converting to various types of residential and residential live/work uses, many with high-end retail on the ground floor. Therefore, it is unlikely that any significant impacts would occur to air quality either as a result of the proposed actions or to the future residents of the building.

Based on a land use map of the area, there are 17 sites listed as manufacturing/industrial uses within 400 feet of the subject property. An inquiry was made on April 24, 2015 to the Department of Environmental Protection (DEP) to determine if any active process permits were held by businesses located within the 400-foot zone. The DEP responded in an email dated April 24, 2015 that there are no active permits (see Attachment 8).

The following sites were checked for current uses:

Block	Lot	Address
194	19	313 Church Street
194	20	315 Church Street
194	15	34 Walker Street
194	14	36 Walker Street
194	22	36 Lispenard Street
194	20	38 Lispenard Street
194	23	40 Lispenard Street
194	30	56 Lispenard Street
230	7505	21 Mercer Street
230	32	29 Mercer Street
230	26	91 Grand Street
230	27	93 Grand Street
230	28	95 Grand Street
230	9	6 Greene Street
230	13	10 Greene Street
229	13	14-16 Wooster Street
229	15	18 Wooster Street

No significant adverse impacts related to air quality industrial sources are expected to result from the proposed action. No further assessments are needed at this time.

Noise

This analysis is based on a EAS dated December 10, 2014 for a project at 11 Greene Street (341 Canal Street) (CEQR#07DCP038IVI) at the corner of Canal Street in Manhattan. 11 Greene Street (341

Canal Street) is located approximately one half- block west of the subject location at 321 Canal Street. Both locations are on the north side of Canal Street.

The updated noise survey measurements were performed using Bruel & Kjaer (B&K) Sound Level Meters (SLM) Type 2260 B&K 1/2 inch microphones Type 4189, and a B&K Sound Level Calibrator Type 4231. The Bruel & Kjaer SLMs are a Type I instrument according to ANSI Standard S1.4-1983 (R2006). At the survey location the microphone was mounted at a height of approximately 5 feet above the ground. The SLMs field calibration was checked before and after readings with a B&K Type 4231 Sound Level Calibrator using the appropriate adaptor. Measurements at the location were made on the A-scale. The data were digitally recorded by the SLM and displayed at the end of the measurement period in units of dB(A). All measurement procedures were based on the guidelines outlined in ANSI Standard S1.13-2005.

Noise Survey Results

Noise readings were taken at three locations, one the corner of Canal Street and Greene Street and two locations further north on Greene Street. Since the subject of this EAS fronts exclusively on Canal Street, only the readings taken at Canal Street are considered relevant for this report.

Sound Attenuation Requirements

At the lot line facade on Canal Street and Greene Street, the maximum L10 of 79 dB(A) was established in the refined attenuation requirements. Therefore, based on the test results, the 2014 CEQR Technical Manual Required Attenuation for residential uses is 35 dB(A). Nonresidential uses require 5 dB(A) less attenuation.

Since 321 Canal Street is a lot line building like the 11 Greene Street building, the same minimum attenuation requirements should apply with the provision of an alternative means of ventilation in compliance with the 2014 CEQR Technical Manual Requirements.

The building will have no noise producing equipment. Windows for the building are not yet in place. To preclude potential for significant adverse noise impacts, an (E) designation would be incorporated into the special permit for Block 230, Lot 5. The text for the (E) designation E-364 (assigned to CEQR Number 16DCP026M) is as follows:

Block 230, Lot 5

For all residential/commercial units in the building, a closed window condition with a minimum of 35 dB(a) window/wall attenuation must be provided in order to maintain an acceptable interior noise level.

With the above (E) designation, no significant adverse impacts related to noise would result from the proposed action. No further analyses are required at this time.

Neighborhood Character

An assessment of neighborhood character is generally needed when a proposed project has the potential to result in significant adverse impacts on or moderate effects on a specific range of technical areas presented in the CEQR Technical Manual. These elements are believed to define a neighborhood's character, specifically:

- Land Use, Zoning, and Public Policy
- Socioeconomic Conditions
- Open Space
- Historic & Cultural Resources
- Urban Design and Visual Resources

- Shadows
- Transportation
- Noise

On the Full Form EAS, yes responses were provided for the following elements of the CEQR assessment:

- Open Space: Yes, the project site is located in an underserved area of Manhattan, but will introduce a small number of residents, well below the CEQR assessment threshold
- Historic & Cultural Resources: Yes, the site is within an historic district, but as part of the ZR 74-711 review process LPC will be reviewing / approving a Certificate of Appropriateness
- Hazardous Materials: Yes, there were RECs reported to have been on the site, but the site was fully investigated under the auspices of the DEP
- Noise: Yes, the project would be located near a heavy trafficked roadway, but appropriate window wall attenuation is being included within the project description

A preliminary assessment determines if anticipated changes in these elements may affect one or more contributing elements of neighborhood character. The assessment should answer the following two questions:

1. *What are the defining features of the neighborhood?*

The neighborhood is within the SoHo-Cast Iron Historic District and is located on the northern side of Canal Street, on a block bounded by Mercer Street to the east, Canal Street to the south, Greene Street to the west and Grand Street to the north.

The defining features of the site is that it is a mix of heights and bulk throughout the SoHo-Cast Iron Historic District, with many buildings that are non-complying with respect to FAR, setbacks, and rear yards, as they were built prior to 1961. Though retail use on the ground floor is not permitted as-of-right pursuant to the ZR, they are permitted by special permit by the CPC and are commonly found throughout SoHo.

The buildings surrounding the building range from four to seven stories in height and are predominantly mixed-use. North of the building, along Mercer and Greene Streets, buildings are residential, manufacturing, commercial or JLWQA on the upper floors and UG 6 on the ground floor.

2. *Does the project have the potential to affect the defining features of the neighborhood, either through the potential for a significant adverse impact or a combination of moderate effects in relevant technical areas?*

The cumulative effects of all environmental issues do not result in any significant adverse impacts. Any impacts that may occur are addressed by the fact that an (E) designation (E-364) has been placed on the site that directly relates to air quality and noise.

The SoHo neighborhood has for over the 40 years been in transition from its historic industrial / manufacturing origins to a growing and vibrant residential community as well as a shopping and sightseeing destination.

The SoHo-Cast Iron Historic District in lower Manhattan consists of about 26 blocks and approximately 500 buildings with cast iron facades. The neighborhood is bounded by Houston Street, Lafayette Street, Canal Street and West Broadway. The SoHo neighborhood continues to develop as a retail and entertainment destination for New York City residents and visitors. Many buildings in surrounding area are Joint Living-Work Quarters for Artists (JLWQA) or have residential occupancy on the upper floors. Retail and commercial uses on the ground floors are common and may include furniture showrooms, wine shops, clothing shops and art galleries. SoHo was designated as a Historic District by the LPC in 1973, extended in 2010.

The SoHo-Cast Iron Historic District was listed on the National Register of Historic Places in 1978. The scope, size, and location of the proposed project would not create a significant adverse change any of the distinctive features noted above. The restoration of the Canal Street facade under the direction of the New York City Landmarks Preservation Commission would enhance the streetscape, by allowing repair and restoration of a structure in need of repair. The reintroduction of retail and commercial uses on the first floor and in the cellar would provide a continuum of similar uses that are now being found long both of these streets. The introduction of 15 residential units above the ground floor will help support this vibrant and growing commercial, retail, and residential area.

No significant adverse neighborhood character impacts are anticipated with the CPC's approval of this Special Permit request. No additional assessments are required at this time.

Attachment 1

Site Location Map



74°02.000' W

74°01.000' W

74°00.000' W

WGS84 73°59.000' W

40°45.000' N

40°45.000' N

40°44.000' N

40°44.000' N

40°43.000' N

40°43.000' N

40°42.000' N

40°42.000' N

74°02.000' W

74°01.000' W

74°00.000' W

WGS84 73°59.000' W

MN 133°

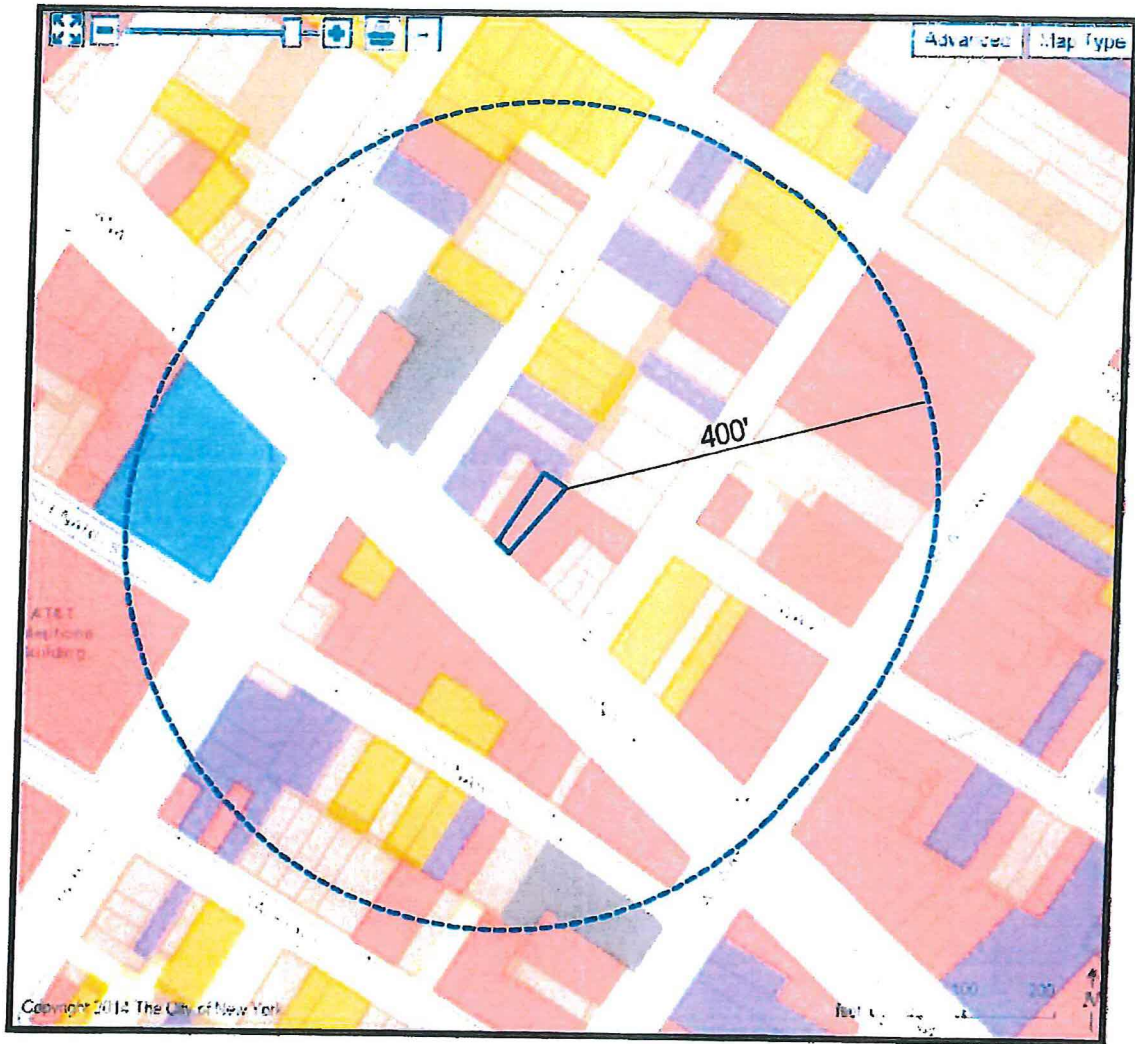
0 1000 FEET 0 300 1000 METERS

Printed from TOPOI ©2001 National Geographic Holdings (www.topo.com)

Attachment 2

Land Use Map

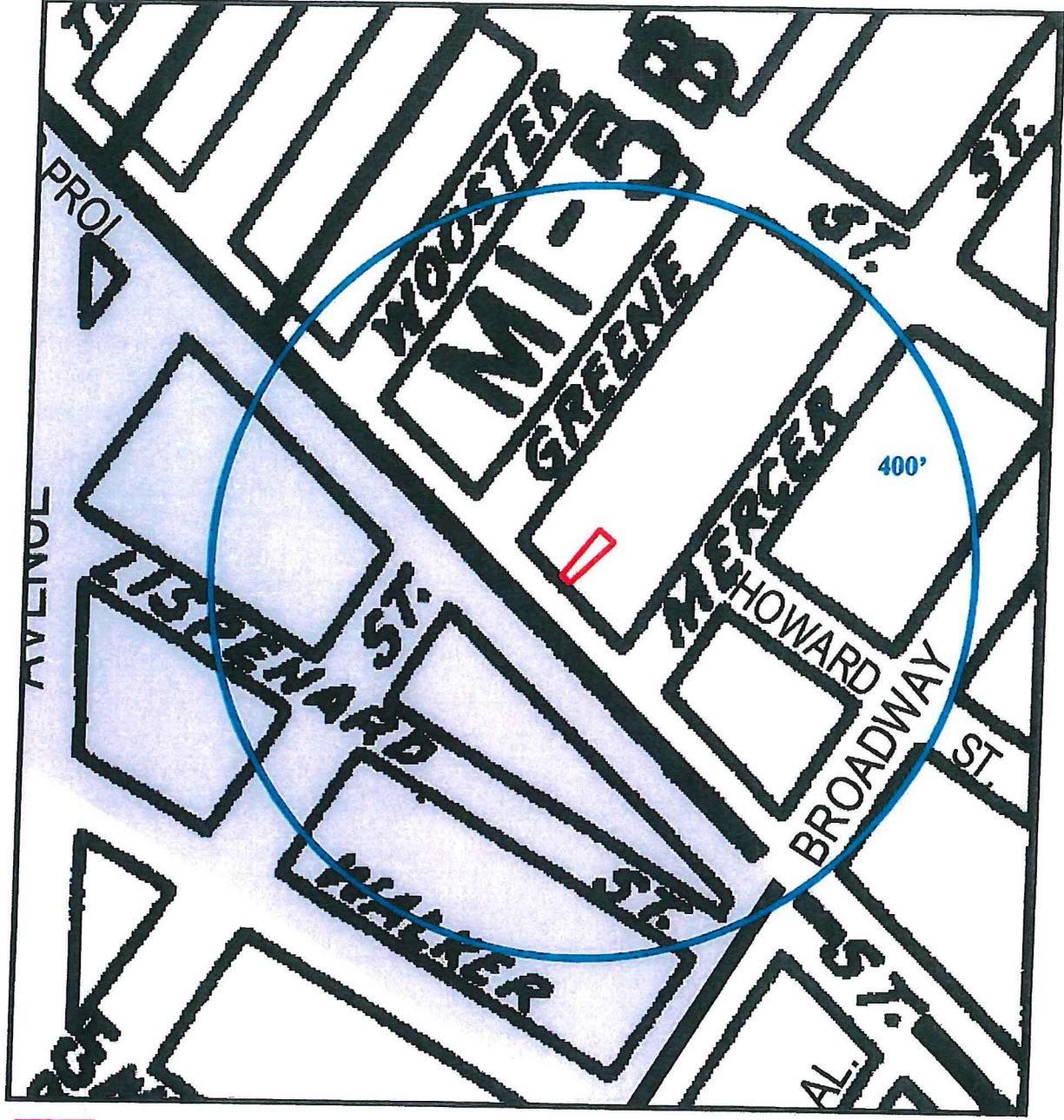
Land Use Map



Attachment 3











Zoning Map




Zoning Map



 **Project site**



-  C1-1
-  C1-2
-  C1-3
-  C1-4
-  C1-5
-  C2-1
-  C2-2
-  C2-3
-  C2-4
-  C2-5

-  SPECIAL PURPOSE DISTRICT
The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.
-  D - RESTRICTIVE DECLARATION
-  E - CITY ENVIRONMENTAL QUALITY REVIEW DECLARATION

Attachment 4

Tax Map



NYC Digital Tax Map
 Effective Date : 06-31-2010 10:46:44
 End Date : Current
 Manhattan Block: 230



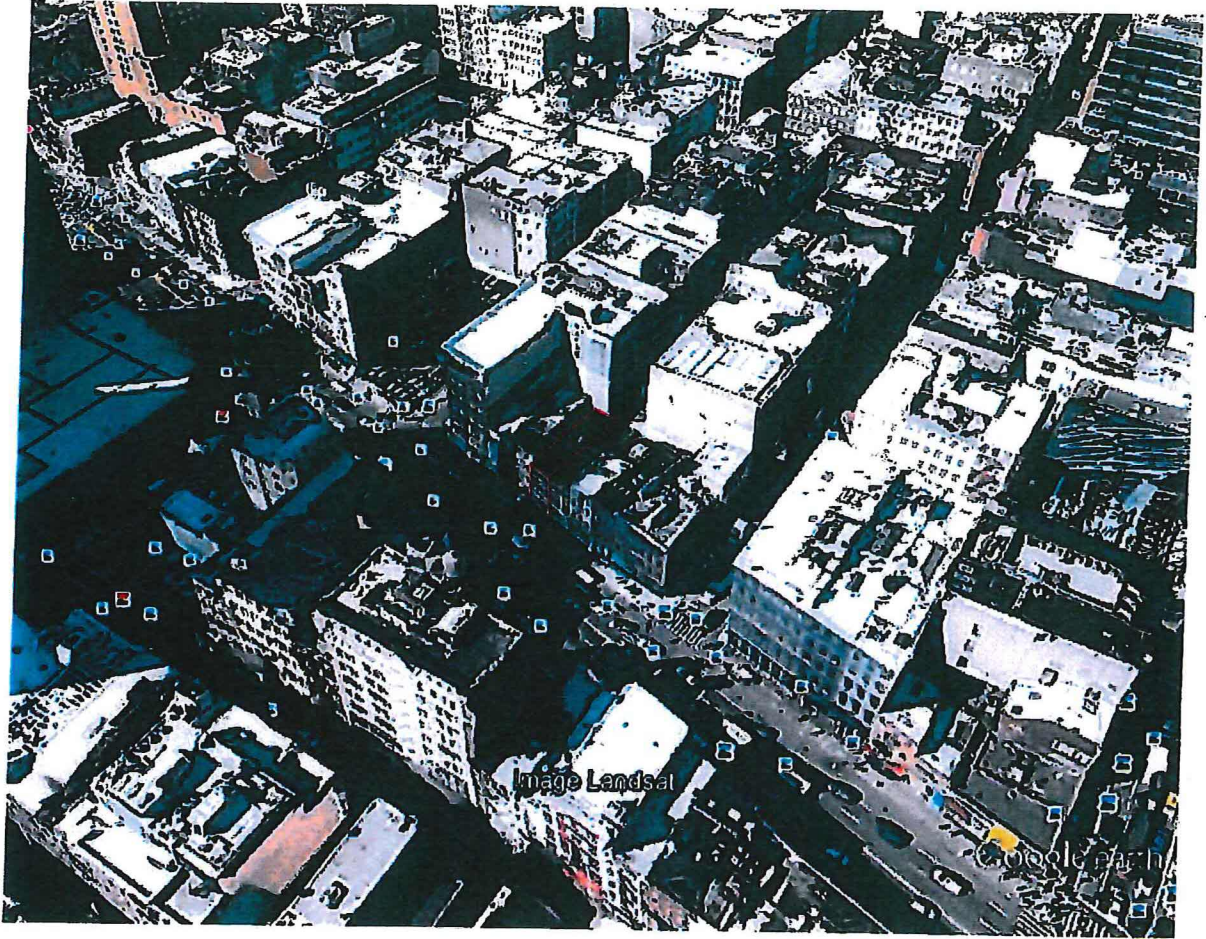
- Legend**
- Street
 - Address Text
 - Proprietary Mark
 - Boundary Lines
 - Lot
 - Let Fee Possession: Hoops
 - Regular
 - Underwater
 - Tax Lot Polygon
 - Condo Number
 - Tax Block Polygon



Scale: Feet
 0 50 100 200 400

Attachment 5

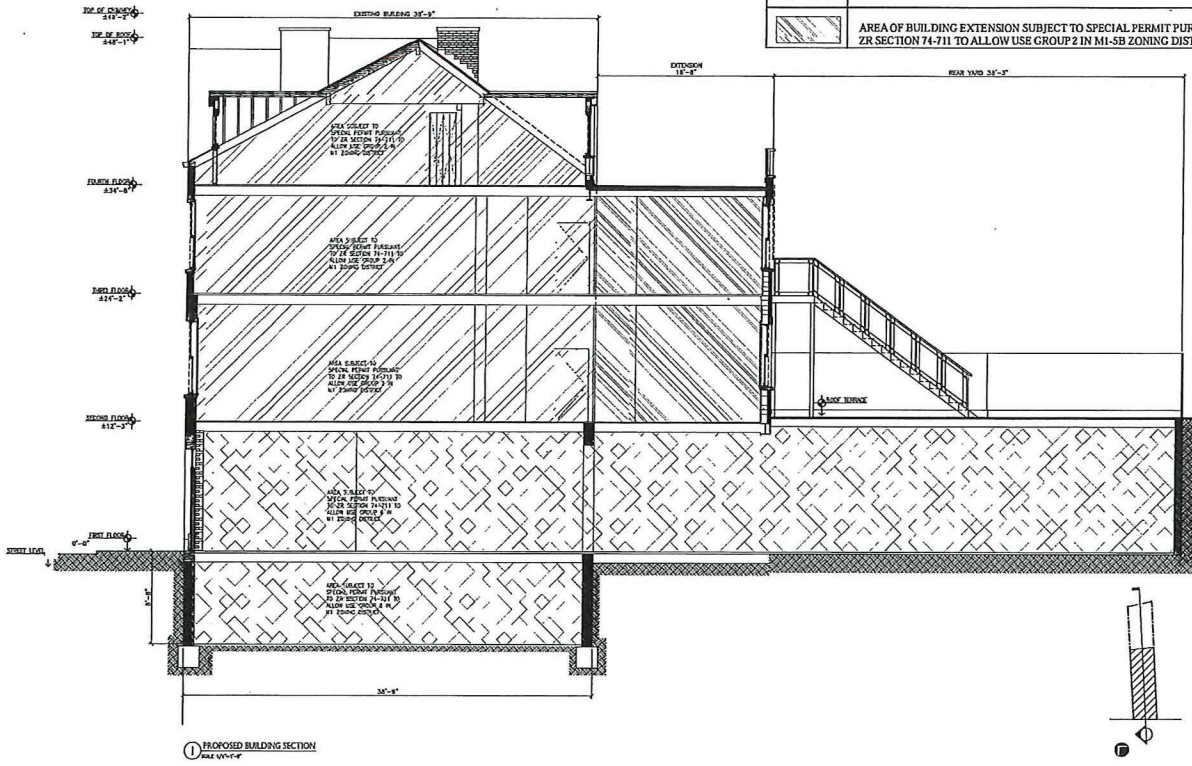
Aerial Photo



Attachment 6

Site Plans

LEGEND	
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-SB ZONING DISTRICT
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-SB ZONING DISTRICT
	AREA OF BUILDING EXTENSION SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-SB ZONING DISTRICT



321 CANAL ST.
NEW YORK, NY 10013

PREPARED FOR:
OWNER:
321 CANAL LLC
UNITED AMERICAN LAND LLC
430 WEST BROADWAY
NEW YORK, NY 10012

ARCHITECT:
REGISTERED CIVIL ARCHITECT, LLC
10 East 53rd St., 7th Floor
New York, NY 10016
T: 212.684.8819
F: 212.677.8843

Structural Engineer:
200 BROADWAY, LLC
115 West 30th Street
New York, NY 10001
T: 212.684.4420
F: 212.684.4421

MEP Engineer:
T2 Engineering, P.C.
300 Park Avenue South, Suite 610
New York, NY 10017
T: 212.233.0112
F: 212.233.0112

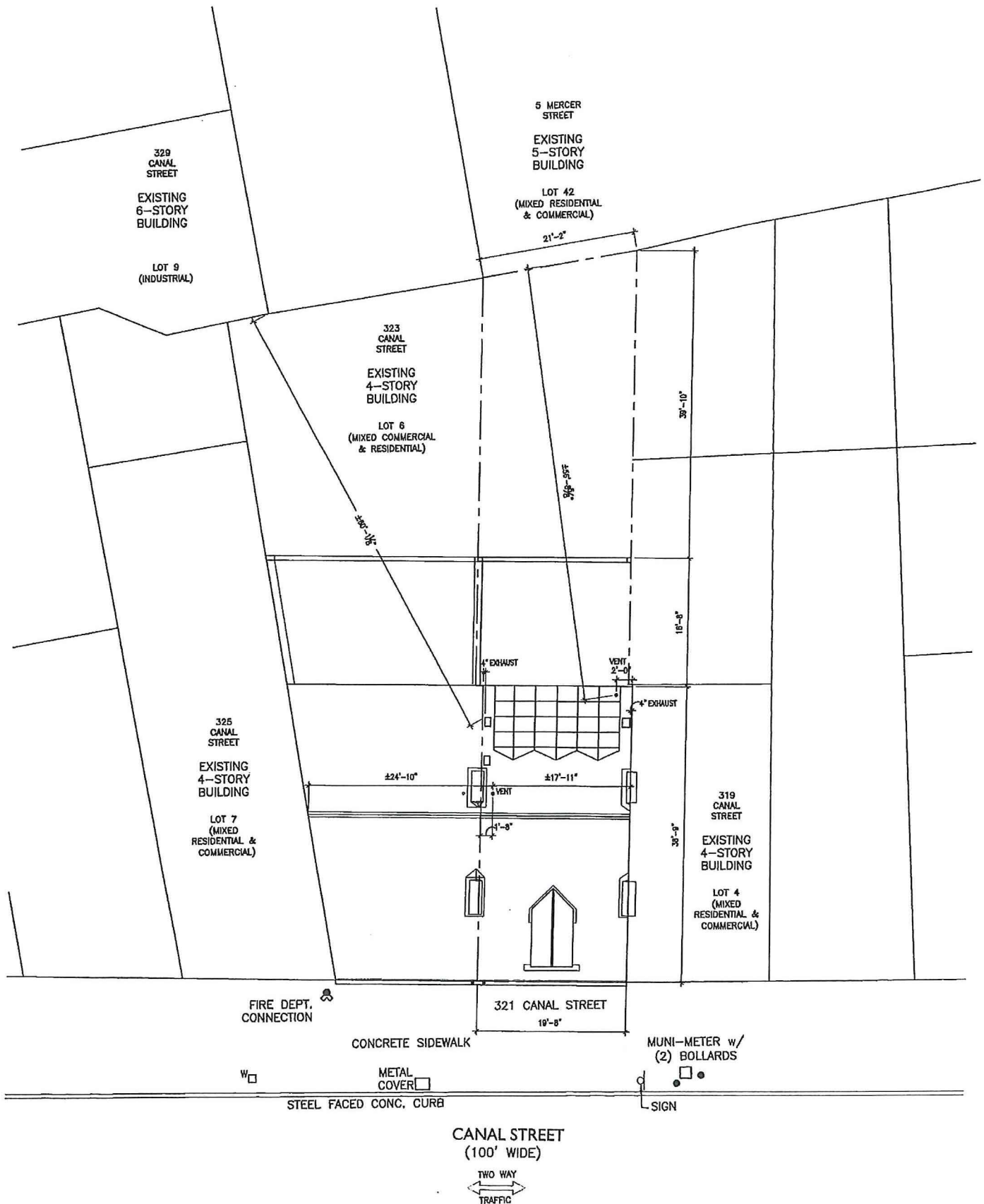
Lead Surveyor:
CALLENDER GROUP
171 Church Lane, Suite 1
Brooklyn, NY 11202
T: 718.638.8700
F: 718.638.8700

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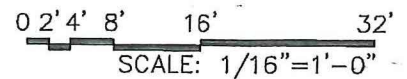


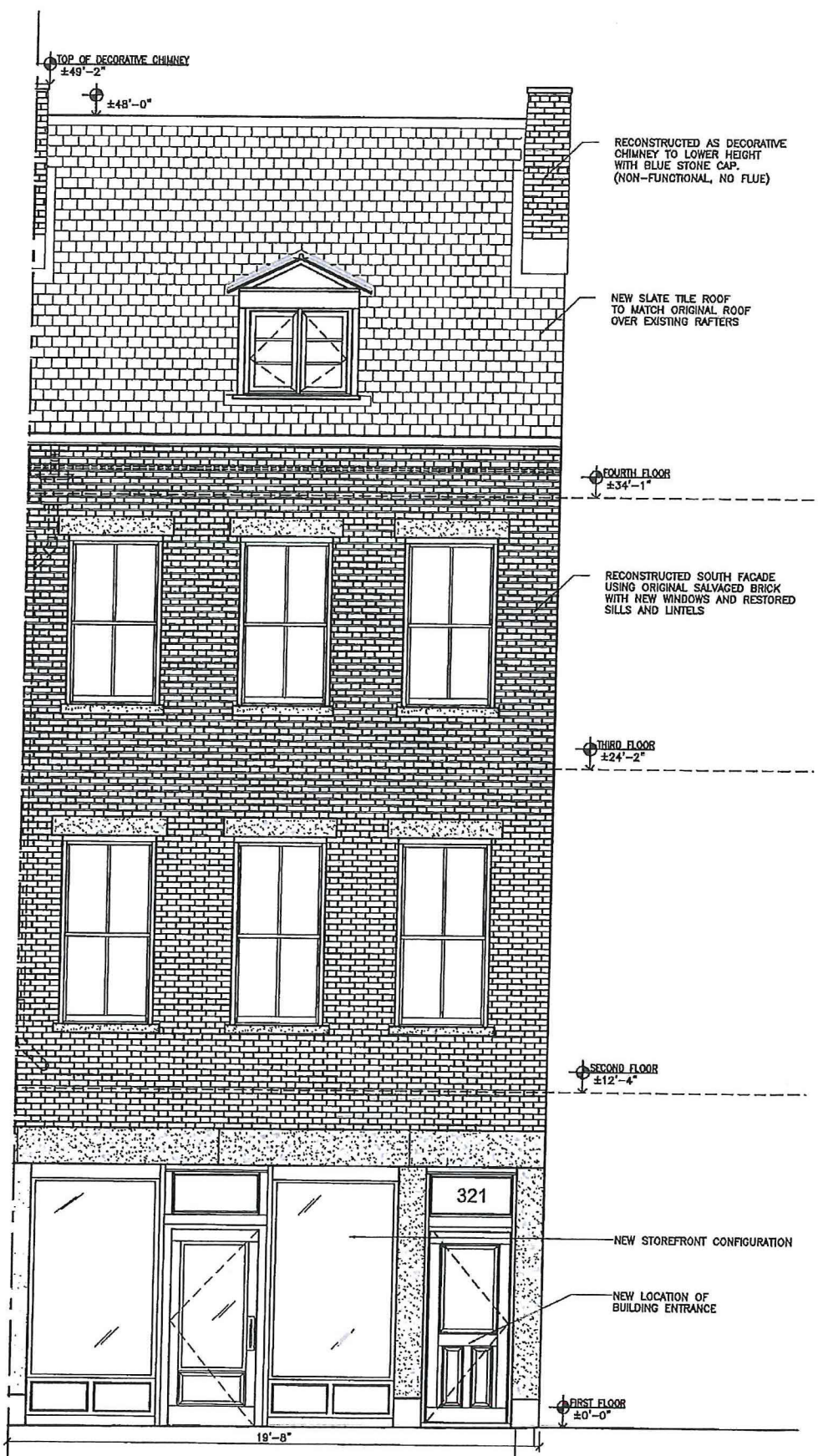
PROPOSED SECTION
NORTH-SOUTH

CONTINUED SHEETS FIELD VERIFY ALL DIMENSIONS	
RELATE NO. 426	DATE: 05/05/2014
SCALE: AS SHOWN	DESIGNED BY: PC
DATE: 05/05/2014	DATE: 05/05/2014
A-300.0	
SHEET 14 OF 15	
ARCHITECT'S SEAL	



321 CANAL STREET SITE PLAN
SCALE 1/16"=1'-0"





RECONSTRUCTED AS DECORATIVE CHIMNEY TO LOWER HEIGHT WITH BLUE STONE CAP. (NON-FUNCTIONAL, NO FLUE)

NEW SLATE TILE ROOF TO MATCH ORIGINAL ROOF OVER EXISTING RAFTERS

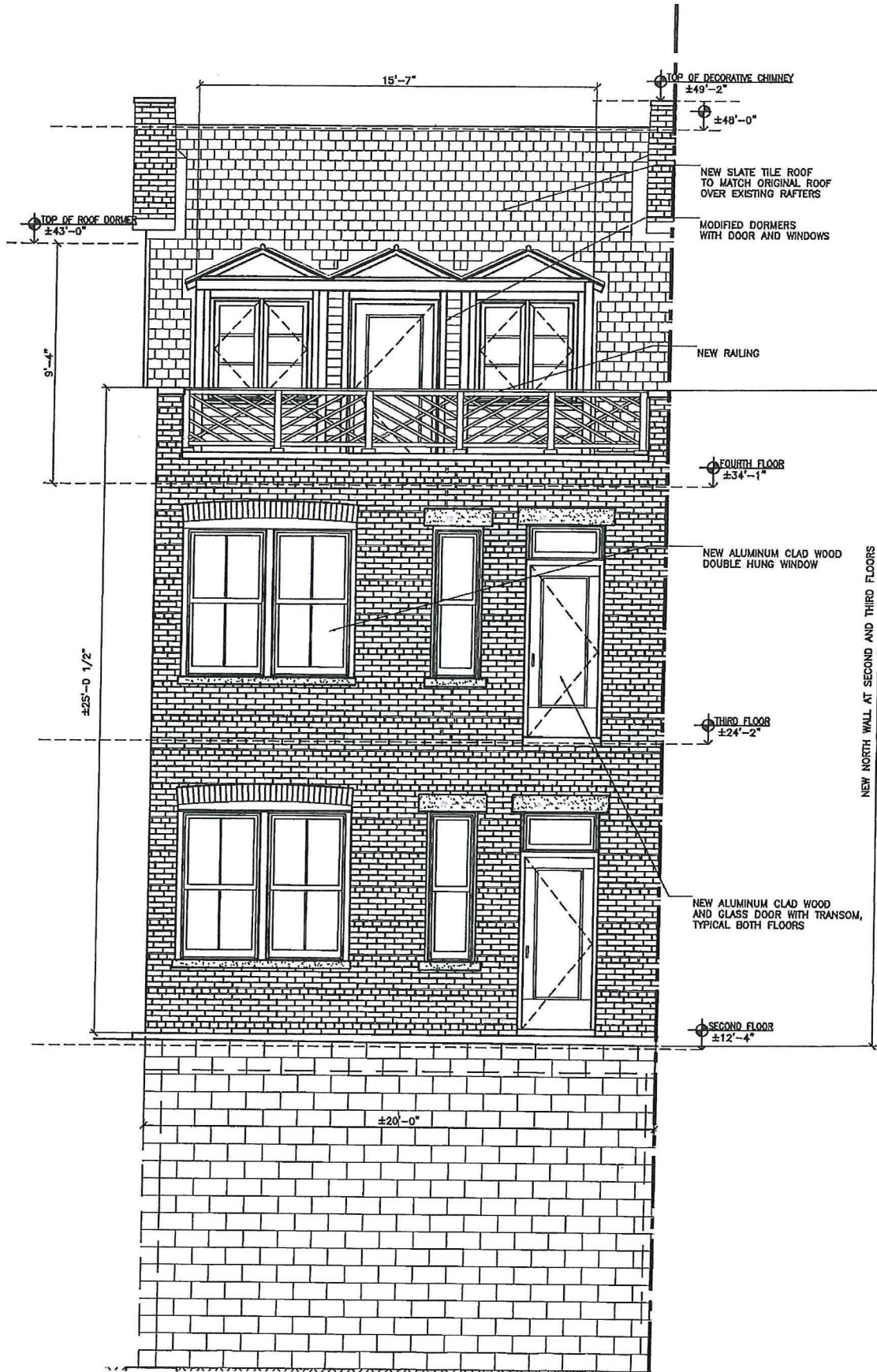
RECONSTRUCTED SOUTH FACADE USING ORIGINAL SALVAGED BRICK WITH NEW WINDOWS AND RESTORED SILLS AND LINTELS

NEW STOREFRONT CONFIGURATION

NEW LOCATION OF BUILDING ENTRANCE

1 321 CANAL STREET PROPOSED SOUTH FACADE
SCALE 3/16"=1'-0"

0 1' 2' 4' 8'
SCALE: 3/16"=1'-0"



1
321 CANAL STREET PROPOSED NORTH FACADE
 SCALE 3/16"=1'-0"

0 1' 2' 4' 8'
 SCALE: 3/16"=1'-0"

Attachment 7

**LPC Certificate of
Appropriateness**

Appendix A



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
 1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007
 TEL: 212 669-7700 FAX: 212 669-7780



PERMIT

CERTIFICATE OF APPROPRIATENESS

ISSUE DATE: 08/09/2013	EXPIRATION DATE: 05/21/2019	DOCKET #: 14-7482	COFA #: COFA 14-7210
ADDRESS 321 CANAL STREET <u>HISTORIC DISTRICT</u> SOHO-CAST IRON		BOROUGH: MANHATTAN	BLOCK/LOT: 230/5

Display This Permit While Work Is In Progress

ISSUED TO:

Albert Laboz
321 Canal LLC
430 West Broadway
New York, NY 10012

Pursuant to Section 25-307 of the Administrative Code of the City of New York, the Landmarks Preservation Commission, at the Public Meeting of May 21, 2013, following the Public Hearing of the same date, voted to grant a Certificate of Appropriateness for the proposed work at the subject premises, as put forth in your application completed April 25, 2013, and as you were notified in Status Update Letter 14-4266, issued on May 21, 2013.

The proposal, as approved, consists of installing interior shoring and bracing to stabilize and maintain the interior floor framing and partitions, the masonry party walls and the timber-framed pitched roof, including dormers and chimneys; removing deteriorated and/or non-historic windows, doors, storefront infill and signage, fire escapes and all miscellaneous attachments to the façade; deconstructing the Canal Street façade and rear facade in their entirety, including removing by hand and salvaging the original cast iron column, the original brick and the original brownstone sills, lintels, columns and steps, and cleaning and storing these materials onsite for reuse in the future reconstruction of the façade; and installing temporary barriers and/or enclosures to protect the building until the reconstruction of the facade is approved by the Commission; as shown in existing condition photographs, preliminary survey and shoring drawings, an existing conditions report, dated 5/13/13, and existing conditions documentation drawings, dated 5/15/13, prepared by Page Ayres Cowley Architects, submitted as components of the application and presented at the Public Hearing and Public Meeting.

In reviewing the proposal, the Commission noted that the SoHo-Cast Iron Historic District Designation Report describes 321 Canal Street as a Federal style rowhouse built in 1821 and altered in the mid 19th century to

accommodate a commercial ground floor; and that in terms of its style, scale, materials and details, the building contributes to the special architectural and historic character for which the SoHo-Cast Iron Historic District was designated.

With regard to this proposal, the Commission found that both the front and rear façades of this building are structurally unsound at several documented locations; that the roof will be shored and braced and will remain intact as the front and rear facades are disassembled; that the two wythe brick façades featuring a Flemish bond pattern with three punched openings with brownstone lintels and sills have been well documented with photographs and survey drawings to ensure that they can accurately be reconstructed; that the façades will be dismantled by hand to ensure the stability of the party walls and the adjacent properties, as well as the retention and future reuse of the historic building fabric in the reconstruction; that the salvaged masonry will be kept in a dry, clean secure area on site for reuse in the future reconstruction of the façade; and that the work is designed to be in compliance with the Department of Buildings regulations. Based on these findings, the Commission determined the work to be appropriate to the building and to the SoHo-Cast Iron Historic District and voted to approve this application.

However, in voting to grant this approval, the Commission stipulated that two final signed and sealed Department of Buildings filing drawings showing the approved proposal be submitted to the Landmarks Preservation Commission for review and approval.

Subsequently, on August 1, 2013, the Landmarks Preservation Commission received drawings G-100.00 through G-103.00, DM-100.00 and DM-101.00, dated June 2013, prepared by Page Ayres Cowley, RA; and drawings SOE-001.00, SOE-201.00 through SOE-203.00, and SOE-301.00, dated 5/10/13, prepared by Stuart Gold, PE. Accordingly, the staff of the Commission reviewed the drawings, and found that the proposal approved by the Commission had been maintained. Based on this and the above findings, the drawings have been marked approved with a perforated seal, and Certificate of Appropriateness 14-7210 is being issued.

PLEASE NOTE: this permit is issued contingent upon the Commission's review and approval of material specifications, detail drawings and final Department of Buildings filing drawings for the reconstruction of the façades and/or any additional new work. No work can begin until the final drawings have been marked approved by the Landmarks Preservation Commission with a perforated seal. Please submit these drawings to the Landmarks Preservation Commission staff when they become available.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

All approved drawings are marked approved by the Commission with a perforated seal indicating the date of approval. The work is limited to what is contained in the perforated documents. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fines. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to Cory Scott Herrala.

Robert B. Tierney
Chair

**PLEASE NOTE: PERFORATED DRAWINGS AND A COPY OF THIS PERMIT HAVE BEEN SENT TO:
Gustavo Carrera, Page Ayres Cowley Architects**

cc: Sarah Carroll, LPC Director of Preservation; John Weiss, LPC Deputy Counsel; Howard Zipser, Attorney,
Akerman Senterfitt

Appendix B



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
 1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007
 TEL: 212 669-7700 FAX: 212 669-7780



PERMIT

CERTIFICATE OF APPROPRIATENESS

ISSUE DATE: 09/30/14	EXPIRATION DATE: 6/3/2020	DOCKET #: 163084	COFA #: COFA 16-3167
ADDRESS: 321 CANAL STREET <u>HISTORIC DISTRICT</u> SOHO-CAST IRON		BOROUGH: MANHATTAN	BLOCK/LOT: 777 / 777

Display This Permit While Work Is In Progress

ISSUED TO:

Jason Laboz
321 New Canal LLC
430 West Broadway
New York, NY 10012

Pursuant to Section 25-307 of the Administrative Code of the City of New York, the Landmarks Preservation Commission, at the Public Meeting of June 3, 2014, following the Public Hearing of the same date, voted to grant a Certificate of Appropriateness for the proposed work at the subject premises, as put forward in your application completed May 8, 2014, as you were notified in Status Update Letter 15-8975, issued on June 16, 2014. The approval will expire June 3, 2020.

The proposal, as approved, consists of alterations at the rear facade, including the construction of a two-story rear yard addition clad in brick, with white-painted one-over-one and two-over-two double-hung wood windows in single and paired configurations, set on the roof of the existing one-story rear yard extension, with an exterior stair leading from the third floor to a new deck constructed on the roof of the existing extension, and the construction of a dormer at the rear slope of the roof, with casement windows and a door leading to a deck on the roof of the new addition, as shown drawings 01-A through 011-A, all dated May 1, 2014, and photographs, all prepared and submitted as components of the application by Page Ayres Cowley Architects, and presented at the Public Hearing and Public Meeting.

In reviewing the proposal, the Commission noted that the SoHo-Cast Iron Historic District designation report describes 321 Canal Street as a Federal style rowhouse built in 1821 and altered in the mid 19th century to accommodate a commercial ground floor; and that in terms of its style, scale, materials and details, the building contributes to the special architectural and historic character for which the SoHo-Cast Iron Historic District was designated. The Commission further noted that the building had a one-story full-

lot rear extension at the time of designation; that Certificate of Appropriateness 94-0108 (LPC # 92-2882), was issued on January 28, 1994 for the installation of new painted wood storefront infill and double-hung windows on the upper floors of the front facade; that Notice of Compliance 98-4376 (LPC 98-4134) was issued on February 23, 1998, for work completed pursuant to Certificate of Appropriateness 94-0108; that Notice of Violation 04-0496 was issued on April 19, 2004, for the "alterations to shopfront, including removal of a section of the bulkhead, and installation of lighting and conduit without permit(s)"; that Notice of Violation 04-0701 was issued on April 14, 2004 for the "replacement of shopfront and installation of signage ("Canal Electronics Warehouse"), security roll-down gates with exterior housing, security camera and neon without permit(s)"; that Notice of Violation 04-0702 issued on April 14, 2004 for the "Replacement of 2nd and 3rd floor windows at front facade without permit(s)"; that Notice of Violation 11-0088 was issued on July 29, 2010, for "Installation of retractable awning without permit(s)"; that Notice of Violation 11-0899 was issued on July 29, 2010 for the "Installation of flagpole and banner ("Canal Electronics Warehouse") without permit(s)"; that Certificate of Appropriateness 14-7210 (LPC # 14-7482) was issued on August 1, 2013, for the deconstruction of the Canal Street and rear façades in their entirety; and that Miscellaneous/Amendment 15-7035 (LPC # 15-3266) was issued on May 5, 2014, for the reconstruction of the Canal Street facade.

With regard to this proposal, the Commission found that the rear façade is not visible from any public thoroughfare; that the height of the proposed addition will preserve the pitched roof, a character defining feature of this building and will not overwhelm the building; that this block is occupied by larger buildings which were built as store and loft buildings, or buildings altered for commercial use prior to designation, therefore, the size of the proposed additions will not overwhelm the adjacent buildings or diminish a cohesive central greenspace; that because the existing one-story full-lot rear yard extension was in place at this property at the time of designation, the proposed construction will not eliminate any green space; that the rear façade of the building has been previously altered with the construction of the one story addition extending to the rear lot-line and other façade alterations; that the existing building is not part of a row of matching buildings, therefore the proposed alterations will not diminish the unity of a group of buildings; that the design of the proposed rear façade will maintain the residential character and scale of this type of building; that aligning the rear dormer with the location of the historic rear façade will recall the historic rear façade; that the brick cladding, multi-light double-hung windows on the second and third floors, casement windows on the fourth floor, slate cladding on the pitched roof and the wood clapboards on the sides of the dormer set into the pitched roof will recall the historic rear façade elements on this and other buildings of this age and type and serve the long term preservation of the building; that the proposed work will not diminish the special architectural and historic character of the SoHo-Cast Iron Historic District; and that for these reasons the proposed alterations are in keeping with the building, the SoHo-Cast Iron Historic District, and this street. Based on these findings, the Commission determined the work to be appropriate to the building and to the SoHo-Cast Iron Historic District and voted to approve this application. The work, therefore, is approved.

However, in voting to grant this approval, the Commission stipulated that the applicant work with staff to more fully develop the details of the proposed rear dormer; and that two sets of final signed and sealed Department of Buildings filing drawings showing the approved proposal be submitted to the Landmarks Preservation Commission for review and approval.

Subsequently, on September 15, 2014, the Landmarks Preservation Commission received drawings G-001.00 through G-003.00, G-100.00, G-101.00, Z-100.00, DM-100.00, DM-101.00, A-100.00 through A-103.00, A-200.00, A-201.00, A-300.00, A-301.00, A-500.00, A-600.00, and A-700.00 through A-703.00, all dated August 22, 2014, prepared by Page Ayres Cowley, Architect, LLC; drawings S-001.00, S-200.00 through S-204.00, S-301.00 and S-302.00, prepared by Stuart Gold, PE, and drawings EN-101.00, M-101.00

through M-103.00, M-201.00 through M-204.00, P-101.00 through P-106.00, P-201 through P-203.00, SP-101.00 through SP-103.00, and SP-201.00, and SP-202.00, prepared by TSF Engineering, P. C., all dated August 22, 2014 and submitted as components of this application by Page Ayres Cowley, Architects, LLC. Accordingly, the staff of the Commission reviewed the drawings, and found that the proposal approved by the Commission had been maintained; and that the applicant has provided additional details for the rear dormer. Based on this and the above findings, the drawings have been marked approved with a perforated seal, and Certificate of Appropriateness 16-3167 is being issued.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

All approved drawings are marked approved by the Commission with a perforated seal indicating the date of the approval. The work is limited to what is contained in the perforated document. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fine. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to John Graham.

Meenakshi Srinivasan
Chair

PLEASE NOTE: PERFORATED DRAWINGS AND A COPY OF THIS PERMIT HAVE BEEN SENT TO:
Gustavo Carrera, Page Ayres Cowley Architect, LLC

cc: Page Ayres Cowley Architect, LLC

Appendix C



PW1: Plan / Work Application

Must be typewritten.



1 Location Information Required for all applications.

House No(s) 321 Street Name CANAL STREET
Borough MANHATTAN Block 00230 Lot 00005 BIN 1002982 C.B. No. 102
Work on Floor(s) 001 to 004 Apt./Condo No(s)

2 Applicant Information Required for all applications. Fax, mobile telephone and e-mail address are optional information.

Last Name TURNER First Name DAVID Middle Initial
Business Name DAVID TURNER ARCHITECT, P.C. Business Telephone (212) 594-0840
Business Address 450 7TH AVENUE, SUITE 1907 Business Fax (212) 594-1530
City NEW YORK State NY Zip 10123 Mobile Telephone
E-Mail DAVIDTURNER@VERIZON.NET License Number 016162
Choose one: P.E. R.A. Sign Hanger Other, please specify:

3 Filing Representative Complete only if different from applicant specified in section 2. Fax, mobile phone, and e-mail are optional info.

Last Name KOHAN First Name PARVIZ Middle Initial
Business Name DAVID TURNER ARCHITECT, PC Business Telephone (212) 594-0840
Business Address 450 7TH AVENUE, SUITE 1907 Business Fax (212) 594-1530
City NEW YORK State NY Zip 10123 Mobile Telephone
E-Mail DAVIDTURNER@VERIZON.NET Registration Number

4 Filing Status Required for all applications. Choose one and provide specified associated information.

Initial Filing 5, 7, 11, 12A, 25-26 Prior to Approval Actions 25-26 Reinstatement 24-26
Review is requested under which Building Code? Amend Existing Filing 4A Withdrawal 26
2008 1968 Prior to 1968 Subsequent Filing 6-7, 8A (All-2 only), 11 Specified in 4A and 6
Choose Standard Plan Examination or Review Post Approval Amendment (PAA) 4A, 6, 24-25 Entire Job
one: Professional Certification PC1, POC1 Will PAA affect filing fees? Yes No 4A Indicate existing document number
Professional Cert. of Objections All New (Superseding) Applicant 4A, 25-26 affected by filing:

5 Job/Project Types Choose one and provide specified associated information.

Alteration Type 1 6A-E, 8B-C, 9-10, 13C-F, 14 & Alteration Type 1, OT: "No Work" 8C, 9-10 & Full Demolition 6B, 8D, 9B-D, &
18-20, 22, PW1A, PD1, select all that apply: 12, 13C-F, 14, 18-19, 22, PW1A, PD1 13D-E, 14, 21A, 22
Change in Exits Alteration Type 2 5A, 6A-D, 8A-B, 9-10, & Sign 5A, 6B-D, 9B, 22-23
Change in Number of Stories 13C-E, 14, 20, 22 Subdivision 9B, 12A-B
Change in Number of Dwelling Units Alteration Type 3 5A, 6B-F, 8C, 9-10, 13C-E, 22 Condominium Improved 17
Change in Occupancy / Use New Building 6A-E, 8F-G, 9A-C, 9L, 10, 12, 13A-E 5A Directive 14 acceptance requested?
Change inconsistent with current Cert. of Occup. (13B: 2008 Code only), 14, 18-20, PW1A, PD1 Yes No

6 Work Types Select all that apply but no more than allowed by job and filing type. "OT" required on all NB and Alteration 1 initial applications.

6A BL - Boiler PW1C FS - Fuel Storage PW1C PL - Plumbing PW1B CC - Curb Cut 16
FA - Fire Alarm FP - Fire Suppression SD - Standpipe PW1B OT/ANT - Antenna
FB - Fuel Burning PW1C MH - Mechanical SP - Sprinkler PW1B OT/BPP - Builders Pavement Plan 8D
6B EQ - Construction Equipment 15 6C OT/GC - General Construction 6D OT - Other, describe: OT/FPP - Fire Protection Plan
OT/MAR - Marquee 8E, 26B

DOB Reference Number: T00000490443-000073
User Ref ID: 321CANAL

7 Plans/Construction Documents Submitted Plans are required for most applications.

- AR - Architectural BP - BPP Checklist DM - Demolition (Full/Partial) EN - Energy Analysis FO - Foundation or NP - No Plans ME - Mechanical OT - Other PL - Plumbing ST - Structural ZO - Zoning

8 Additional Information

8A WT Cost WT Cost WT Cost 8B Is a building enlargement proposed? 8C Estimated Job Cost \$ 186000 8D Street Frontage: linear ft. 8E Height: ft. Width: ft. 8F Name of cluster or development below: Project lead job no. 8G Total Construction Floor Area: sq. ft.

9 Additional Considerations, Limitations or Restrictions

9A Structural peer review required per BC §1627 If yes, 9F 9B Filed to Comply with Local Law If yes, 9G 9C Adult Establishment: If yes, plot diagram (except DM) 9D Includes permanent removal of standpipe, sprinkler or fire suppression related systems 9E Work includes partial demolition as defined in AC §28-101.5 If yes, 21B 9L Work includes lighting fixture and/or controls, installation or replacement. [§ECC 404 and 505] 9M CRFN(s) Restrictive Declaration / Easement (max. 4): 9N CRFN(s) Zoning Exhibit (I, II, III, etc. - max. 4):

10 NYCECC Compliance New York City Energy Conservation Code

To the best of my knowledge, belief and professional judgment, all work under this application is in compliance with the NYCECC* 11A Related DOB Job Numbers 11B Primary application job no. DOB Reference Number: T00000490443-000073 User Ref ID: 321CANAL 01/11

11 Job Description

NEW STOREFRONT, BATHROOM, AND RENOVATION OF UPPER 3 FLOORS.

11A Related DOB Job Numbers

Blank table for related DOB job numbers.

11B Primary application job no.

DOB Reference Number: T00000490443-000073

User Ref ID: 321CANAL

12 Zoning Characteristics			
12A District(s) M1-5B Overlay(s) Special Dist.(s) Map Number 12A	12B Street legal width: 60 ft. Street Status: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private If the zoning lot includes multiple tax lots, list all tax lots here >		
12C Proposed Use* COMMERCIAL	Zoning Floor Area 4076 sq. ft.	District M1-5B	FAR 2.22
Proposed Lot Details: Lot Type: <input type="checkbox"/> Corner <input checked="" type="checkbox"/> Interior <input type="checkbox"/> Through Lot Coverage 100 % Lot Area 1829 sq. ft. Lot Width 20 ft.		Proposed Yard Details: Check tier if no yards: <input checked="" type="checkbox"/> or Front Yard _____ ft. Rear Yard _____ ft. Rear Yard Equivalent _____ ft. Side Yard 1 _____ ft. Side Yard 2 _____ ft.	
Proposed Totals 4076 sq. ft.		Existing Total 4076 sq. ft.	
Proposed Other Details: Enclosed Parking? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, no. of parking spaces: _____ Perimeter Wall Height 0 ft.			
*Use can be one of the following: residential, commercial, manufacturing, or community facility. List only one use per line.			

13 Building Characteristics *Main use/dominant occupancy per AC §28-101.5. **Use 2008 Code equivalents only. †Residential w/other use.			
13A Primary structural system, choose one: <input type="checkbox"/> Masonry <input type="checkbox"/> Concrete (CIP) <input type="checkbox"/> Concrete (Precast) <input type="checkbox"/> Wood <input type="checkbox"/> Steel (Structural) <input type="checkbox"/> Steel (Cold-Formed) <input type="checkbox"/> Steel (Encased in Concrete)			
13B Existing Structural Occupancy Category Seismic Design Category		Proposed 2008 Code Designations?	
13C Occupancy Classification* COM		2008 Code Designations? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Construction Classification 3		2008 Code Designations? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Multiple Dwelling Classification		2008 Code Designations?	
13D Building Type: <input type="checkbox"/> 1, 2, or 3 Family <input checked="" type="checkbox"/> Other Mixed use building?† <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
13E Existing		Proposed	
Building Height 45 ft.		Building Height 45 ft.	
Building Stories 4		Building Stories 4	
Dwelling Units		Dwelling Units	
13F Building was originally erected pursuant to which Building Code: <input type="checkbox"/> 2008 <input checked="" type="checkbox"/> 1968 <input type="checkbox"/> Prior to 1968 The earliest Code with which this building or any part of it is required to comply: <input checked="" type="checkbox"/> 2008 <input type="checkbox"/> 1968 <input type="checkbox"/> Prior to 1968			

14 Fill Choose one.
<input checked="" type="checkbox"/> Not Applicable <input type="checkbox"/> On-Site <input type="checkbox"/> Off-Site <input type="checkbox"/> Under 300 cubic yards

15 Construction Equipment
<input type="checkbox"/> Chute <input type="checkbox"/> Sidewalk Shed <input type="checkbox"/> Supported Scaffold <input type="checkbox"/> Other: _____ <input checked="" type="checkbox"/> Fence Size: _____ linear ft. Construction Material: PLYWOOD BSA/MEA Approval No. _____

16 Curb Cut Description
Size of cut (with splays): _____ ft. Distance to nearest corner: _____ ft. to street: _____

17 Tax Lot Characteristics
Original tax lots being merged or reapportioned (if applicable): _____ Tentative tax lot numbers (new tax lots only): _____

18 Fire Protection Equipment																		
<table style="width:100%;"> <tr> <td></td> <td style="text-align:center;">Existing</td> <td style="text-align:center;">Proposed</td> </tr> <tr> <td></td> <td style="text-align:center;">Yes No</td> <td style="text-align:center;">Yes No</td> </tr> <tr> <td>Fire Alarm</td> <td style="text-align:center;"><input checked="" type="checkbox"/> <input type="checkbox"/></td> <td style="text-align:center;"><input type="checkbox"/> <input checked="" type="checkbox"/></td> </tr> <tr> <td>Fire Suppression</td> <td style="text-align:center;"><input checked="" type="checkbox"/> <input type="checkbox"/></td> <td style="text-align:center;"><input type="checkbox"/> <input checked="" type="checkbox"/></td> </tr> <tr> <td>Sprinkler</td> <td style="text-align:center;"><input checked="" type="checkbox"/> <input type="checkbox"/></td> <td style="text-align:center;"><input type="checkbox"/> <input checked="" type="checkbox"/></td> </tr> <tr> <td>Standpipe</td> <td style="text-align:center;"><input checked="" type="checkbox"/> <input type="checkbox"/></td> <td style="text-align:center;"><input type="checkbox"/> <input checked="" type="checkbox"/></td> </tr> </table>		Existing	Proposed		Yes No	Yes No	Fire Alarm	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/>	Fire Suppression	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/>	Sprinkler	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/>	Standpipe	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/>
	Existing	Proposed																
	Yes No	Yes No																
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19 Open Spaces																								
<table style="width:100%;"> <tr> <td></td> <td style="text-align:center;">Existing</td> <td style="text-align:center;">Proposed</td> <td></td> <td style="text-align:center;">Existing</td> <td style="text-align:center;">Proposed</td> </tr> <tr> <td>Plaza Area</td> <td style="text-align:center;">sq. ft.</td> <td style="text-align:center;">sq. ft.</td> <td>Arcade Area</td> <td style="text-align:center;">sq. ft.</td> <td style="text-align:center;">sq. ft.</td> </tr> <tr> <td>Parking Area</td> <td style="text-align:center;">sq. ft.</td> <td style="text-align:center;">sq. ft.</td> <td>Parking Spaces</td> <td></td> <td></td> </tr> <tr> <td>Loading Berths</td> <td style="text-align:center;">sq. ft.</td> <td style="text-align:center;">sq. ft.</td> <td>Loading Berths</td> <td></td> <td></td> </tr> </table>		Existing	Proposed		Existing	Proposed	Plaza Area	sq. ft.	sq. ft.	Arcade Area	sq. ft.	sq. ft.	Parking Area	sq. ft.	sq. ft.	Parking Spaces			Loading Berths	sq. ft.	sq. ft.	Loading Berths		
	Existing	Proposed		Existing	Proposed																			
Plaza Area	sq. ft.	sq. ft.	Arcade Area	sq. ft.	sq. ft.																			
Parking Area	sq. ft.	sq. ft.	Parking Spaces																					
Loading Berths	sq. ft.	sq. ft.	Loading Berths																					

20 Site Characteristics
Yes No <input type="checkbox"/> <input checked="" type="checkbox"/> Tidal / Fresh Water Wetlands <input type="checkbox"/> <input checked="" type="checkbox"/> Urban Renewal <input checked="" type="checkbox"/> <input type="checkbox"/> Fire District <input type="checkbox"/> <input checked="" type="checkbox"/> Flood Hazard Area

21 Demolition Details *Mechanical equipment other than handheld devices to be used for demolition or removal of debris (BC §3306.4).*

Yes No

21A Demo. filing is for a secondary structure? *If yes, specify structure being demolished:*
 Mechanical means* from out of building? *If yes, mechanical means will demolish:* entire structure or part of structure
 Mechanical means* from within building? *If yes, describe equipment proposed:*

21B Demolition work affects the exterior building envelope

22 Asbestos Abatement Compliance *Choose one.*

The scope of work requires related asbestos abatement as defined in the regulations of the NYC Department of Environmental Protection (DEP).
 The scope of work does not require related asbestos abatement as defined in the regulations of the NYC DEP.
 The scope of work is exempt from the asbestos requirement as defined in the regulations promulgated by the NYC DEP (15 RCNY 1-23(b)).

23 Sign

Purpose:	Type:	Estimated Cost: \$	23A Illuminated type: <input type="checkbox"/> Direct <input type="checkbox"/> Flashing <input type="checkbox"/> Indirect
<input type="checkbox"/> Advertising	<input type="checkbox"/> Illuminated 23A	Total Square Feet: _____	Yes No
<input type="checkbox"/> Non-Advertising	<input type="checkbox"/> Non-Illuminated	Height above Curb: _____ ft. in.	<input type="checkbox"/> <input type="checkbox"/> If sign projects beyond building line, is owner billed for annual permit? <i>If no, specify in 26B</i>
Location: <input type="checkbox"/> Ground <input type="checkbox"/> Roof 23B <input type="checkbox"/> Wall	Height above Roof: _____ ft. in.		23B <input type="checkbox"/> <input type="checkbox"/> Is roof sign tight, closed or solid?
Yes No			23C Sign wording. <i>If extensive, provide only key wording.</i>
<input type="checkbox"/> <input type="checkbox"/> Is sign inside building line? <i>If no, sign projects by:</i> _____ ft. in.			
<input type="checkbox"/> <input type="checkbox"/> Designed for changeable copy? <i>If no, 23C</i>			
<input type="checkbox"/> <input type="checkbox"/> Does an OAC have an interest in this sign or location? <i>If yes, 23G</i>			
<input type="checkbox"/> <input type="checkbox"/> Within 900' and within view of an arterial highway? <i>If yes, 23D</i>			23D Distance from Arterial Highway: _____ ft.
<input type="checkbox"/> <input type="checkbox"/> Within 200' and within view of a park 1/2 acre or more? <i>If yes, 23E</i>			23E Distance from Park 1/2 acre or more: _____ ft.
_____ <i>If answer is "yes" to either of the above two questions and this is an advertising sign, OAC sign number is required in section 23F</i>			23F OAC Sign Number: _____
			23G OAC Registration Number: _____

24 Comments *Place additional comments on an AI-1 form. See Guide for proper incorporation of professional certification statements.*

25 Applicant's Statements and Signatures *Required for all applications.*

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department. I prepared or supervised the preparation of the construction documents and specifications herewith submitted and to the best of my knowledge and belief, the construction documents and work shown thereon comply with the provisions of the NYC Administrative Code and other applicable laws and rules. (check here if except as set forth in the accompanying documents. I acknowledge that I have read and complied with all instructions pertaining to this application and supplementery schedules submitted. Cluster Development Statement (if applicable): I hereby state that all specifications relating to this job are identical to those previously filed under the group lead job number, except as specified herein.

Yes No

For Initial New Building and Alteration 1 applications filed under the 2008 NYC Building Code only: does this building qualify for high-rise designation?

Directive 14 Initial applications only: I certify that the construction documents submitted and all construction documents related to this application do not require a new or amended Certificate of Occupancy as there is no change in use, exits, or occupancy.

Name (please print) _____
 DAVID TURNER
 Signature _____ Date _____
 P.E. / R.A. Seal (apply seal, then sign and date over seal)



DOB Reference Number: T00000490443-000073
 User Ref ID: 321CANAL

26 Property Owner's Statements and Signatures

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department. Furthermore, I understand that I am responsible for insuring that a final inspection be performed when the permitted work is complete, and that a satisfactory report of final inspection be submitted, along with all required submittal documents, so that the NYC Department of Buildings may issue a letter of completion or certificate of occupancy within the time prescribed by law.

I have authorized the applicant to file this application for the work specified herein and all future amendments. I will not knowingly authorize any work that is not in compliance with the New York City Energy Conservation Code (NYCECC).

Yes No

- Fee Deferred Request Statement
Fee Exemption Request Statement
Owner's Certifications: Regarding Occupied Housing
The site of the building to be altered or demolished, or the site of the new building to be constructed, contains one or more occupied dwelling units that will remain occupied during construction.
The site of the building to be altered or demolished, or the site of the new building to be constructed, contains occupied housing accommodations subject to rent control or rent stabilization under Chapters 3 and 4 of Title 26 of the New York City Administrative Code.
Owner's Certification for Adult Establishments
Owner's Certification for Directive 14 Applications (if applicable)

Owner type: Individual, DCAS, HHC, NYCHA, Partnership, DOE, HPD, NYS, Corporation 26A, Other Government, Condo Unit Owner or Co-Op Tenant-shareholder 26A. Is the owner a non-profit organization? Yes No

Name (please print): ALBERT LABOZ

Relationship to Owner:

Business Name/Agency: 321 CANAL LLC

Street Address: 430 WEST BROADWAY

City: NEW YORK State: NY Zip: 10012

Telephone Number: (212) 431-7500 Fax:

E-Mail Address:

Signature and Date

26A Condo/Co-Op Board or Corporation Second Officer

Name (please print):

Title:

Street Address:

City: State: Zip:

Telephone Number: Fax:

E-Mail Address:

Signature and Date

*Signature required for authorized representative of Condo or Co-Op board. Second officer signature not required for corporations.

26B Lessee Responsible for Annual Sign or Marquee Permit

Name (please print):

Relationship to Owner:

Business Name/Agency:

Street Address:

City: State: Zip:

Telephone Number: Fax:

E-Mail Address:

Internal Use Only

Pre-Filer Name:
Pre-Filer Signature: Date:
Cost Estimate: \$
Amount Due: \$ Verified by Date
Initial Amount Paid: \$
Balance Due: \$
Stamps, Certifications and Notes:



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
 1 CENTRE STREET 9TH FLOOR NORTH NEW YORK, N.Y. 10007
 TEL: 212 669-7700 FAX: 212 669-7780



PERMIT

CERTIFICATE OF NO EFFECT

ISSUE DATE: 09/19/12	EXPIRATION DATE: 09/19/2016	DUCKET #: 127814	CNE #: CNE 13-5719
ADDRESS 321 CANAL STREET HISTORIC DISTRICT SOHO-CAST IRON		BOROUGH: MANHATTAN	BLOCK/LOT: 230 / 5

Display This Permit While Work Is In Progress

ISSUED TO:

Albert Laboz
321 Canal LLC
430 West Broadway
New York, NY 10123

Pursuant to Section 25-306 of the Administrative Code of the City of New York, the Landmarks Preservation Commission hereby approves certain alterations to the subject premises as proposed in your application completed on September 19, 2012.

The approved work consists of alterations to include interior alterations at all floors, and also exterior alterations including, at the front facade, the removal of the modern green-painted metal storefront infill, the roll-down security gate, tracks, housing, and the control box installed above the east end of the security gate housing, the security camera, the flagpole brackets for the banner stretched between the second and third floors, and the six modern tilt-and-turn windows at the second and third floor windows, all installed without permits, and the installation of new black-painted wood storefront infill, with a stone base, paneled bulkheads, a large display window, a recessed entrance with wood and glass doors at the entrance to the retail space and the residential entrance, with the address painted on the glass panel at the residential entrance and an intercom call box adjacent to the residential entrance, and a bracketed signband; the installation of new off-white painted double-hung wood-windows set into the existing openings, including six-over-six sash on the second and third floors, and three-over-three sash set into the historic dormer on the fourth floor, and, at the rear facade, not visible from any public way, the installation of a perimeter fence set on the parapet of the existing one-story rear yard extension; the removal of the modern fire escape; the removal of modern concrete block infill at the window openings; and the installation of new one-over-one double-hung windows on the second and third floors, and new metal doors on the second floor leading

to the roof of the extension, and a new fire escape, all as shown in drawings A-100.00, A-101.00, A-104.00 through A-108.00, all dated August 3, 2012, and A-102.00 and A-103.00, both dated September 19, 2012, and in photographs of the existing conditions, all prepared and submitted as components of this application by David Turner Architect, and in photographs from Commission files.

In reviewing the proposal, the Commission notes that the SoHo-Cast Iron Historic District designation report describes 321 Canal Street as a Federal style rowhouse, built in 1821, and altered in the mid-19th century to accommodate a commercial ground floor; and that the building's style, scale, materials and details are among the features that contribute to the special architectural and historic character of the SoHo-Cast Iron Historic District. The Commission further notes that Landmarks Preservation Commission Certificate of Appropriateness 94-0108 (LPC # 92-2882), was issued on January 28, 1994, for the installation of new painted wood storefront infill and double-hung windows on the upper floors of the front facade; that the approved work was completed as noted in Notice of Compliance 98-4376 (LPC 98-4134) issued on February 23, 1998; that in 2004 staff noted that the front facade had been altered without permits; and that the following Landmarks Preservation Commission Notices of Violation remain in place against this property: 04-0496, issued April 19, 2004, for the "Alterations to shopfront, including removal of a section of the bulkhead, and installation of lighting and conduit without permit(s)"; 04-0701, issued April 14, 2004, for the "Replacement of shopfront and installation of signage ("Canal Electronics Warehouse"), security roll-down gates with exterior housing, security camera and neon without permit(s)"; 04-0702, issued April 14, 2004, for the "Replacement of 2nd and 3rd floor windows at front facade without permit(s)"; 11-0088, issued on July 29, 2010, for "Installation of retractable awning without permit(s)"; and 11-0899, issued on July 29, 2010, for the "Installation of flagpole and banner ("Canal Electronics Warehouse") without permit(s)".

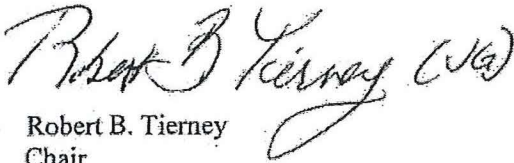
With regard to this proposal, the Commission finds that the interior alterations will have no effect upon the significant protected features of the building; that the removal of the existing modern elements on the front and rear facades will eliminate features that detracts from the architectural and historic character of the building and the streetscape; that the proposed storefront will closely resemble the previously approved storefront infill; that the design configuration, material, finish and details of the proposed storefront, featuring a large display window, paneled wood bulkheads, and a painted finish, is in keeping with historic storefronts found in buildings of this age and type; that, concerning the installation of new windows on the primary south-facing facade, the Commission finds, in accordance with the provisions set forth in Title 63 of the Rules of the City of New York, Section 3-04 (c) (2) (i), that the historic windows in place at the time of designation were previously replaced pursuant to Certificate of Appropriateness 94-0108; that those approved windows on the second and third floors were later replaced without permits; that the proposed replacement windows match the historic windows in terms of configuration, operation, details, material and finish, and the previously approved windows; that, with regard to the proposal to replace windows on the rear facade, the Commission finds, in accordance with the provisions set forth in Title 63 of the Rules of the City of New York, Section 3-04 (d) (2), that the proposed windows will be installed in existing openings that are to be enlarged in width according to § 2-15 of this title, and such enlargement or reduction also does not alter or destroy protected features or detract from the significant architectural features of the building or adjacent buildings; that the windows on the top floor of the rear facade are not to be enlarged or reduced; and that the proposed windows do not replace "special" windows as defined in the definitions (§ 3-01) and illustrated in Appendix A of this chapter; that, concerning the removal of the fire escape on the rear facade, the Commission finds, in accordance with the provisions set forth in Title 63 of the Rules of the City of New York, Section 2-13, that the fire escape is not a significant feature on the building; that the fire escape is not original to the building; that the fire escape does not have architectural merit in itself; and that the fire escape is not mentioned in the SoHo-Cast Iron Historic District Designation Report; that the building is not located within an historic district in which fire escapes are significant architectural elements that contribute to the special architectural and historic character for which the SoHo-Cast Iron Historic District was designated; that any damage to the facade will be repaired to match the adjacent

fabric; that removal of the fire escape will not leave gaps, holes, or unsightly conditions on the façade; and that the proposed work will enhance the special architectural and historic character of the building and the SoHo-Cast Iron Historic District. The work, therefore, is approved. Please note that the cited Landmarks Preservation Commission violations, 04-0496, 04-0701, 04-0702, 11-0088 and 11-0089, will remain in force against the property until the approved work is completed and inspected for compliance. Upon completion, please send photographs of the completed work, along with a written request for a Notice of Compliance. Upon determination that the work has been completed in accordance with this permit, staff will issue the Notice of Compliance.

The Commission has reviewed the application and these drawings and finds that the work will have no effect on significant protected features of the building.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

All approved drawings are marked approved by the Commission with a perforated seal indicating the date of approval. The work is limited to what is contained in the perforated documents. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fines. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to John Graham.



Robert B. Tierney
Chair

**PLEASE NOTE: PERFORATED DRAWINGS AND A COPY OF THIS PERMIT HAVE BEEN SENT TO:
David H. Turner R. A., David Turner Architect, P. C.**

cc: David Turner Architect, P. C., attn: David H. Turner R. A.



PW1A: Schedule A - Occupancy / Use

Must be typewritten.

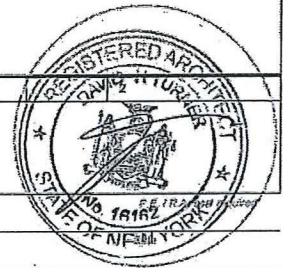
Sheet 1 of 2



Floor	Existing Legal Use						Proposed Use <small>*Use 2008 Code equivalents only even for older Codes.</small>					
	Maximum Number of Persons	Live Load (psf)	2008 Code Designations?	Building Code Occupancy Group(s)	Dwelling/Rooming Units (BC)	Zoning Use Group(s)	Maximum Number of Persons	Live Load (psf)	2008 Code Designations only*	Building Code Occupancy Group(s)	Dwelling/Rooming Units (BC)	Zoning Use Group(s)
CEL CEL			<input type="checkbox"/> Yes <input type="checkbox"/> No					<input checked="" type="checkbox"/> Yes	M			6
	Description: ACCESSORY STORAGE						Description: ACCESSORY STORAGE					
001 001			<input type="checkbox"/> Yes <input type="checkbox"/> No					<input checked="" type="checkbox"/> Yes	M			6
	Description: RETAIL						Description: RETAIL					
002 002			<input type="checkbox"/> Yes <input type="checkbox"/> No					<input checked="" type="checkbox"/> Yes	R-2			2
	Description: RETAIL						Description: ONE (1) CLASS A APARTMENT					
003 003			<input type="checkbox"/> Yes <input type="checkbox"/> No					<input checked="" type="checkbox"/> Yes	R-2			2
	Description: ONE (1) CLASS A APARTMENT						Description: ONE (1) CLASS A APARTMENT					
004 004			<input type="checkbox"/> Yes <input type="checkbox"/> No					<input checked="" type="checkbox"/> Yes	R-2			2
	Description: ONE (1) CLASS A APARTMENT						Description: ONE (1) CLASS A APARTMENT					

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I hereby state all the above information is complete and correct to the best of my knowledge.

Applicant's Name (Please print)
DAVID TURNER
Signature



DOB Reference Number: T00000490443-000073
User Ref. ID: 321CANAL

2 Building Notes to appear on the Certificate of Occupancy

3 Applicant's Statements and Signatures Required for all applications.

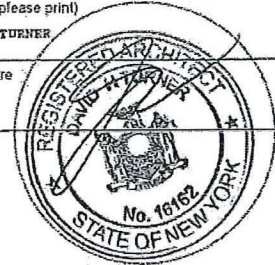
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Name (please print)

DAVID TURNER

Signature

Date



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

DOB Reference Number: T00000430443-000073

User Ref ID: 321CANAL



PW1B: Schedule B
Plumbing, Sprinkler, Standpipe

Must be typewritten.

Page 1 of 2



1 Location Information Required for all applications.

House No(s) 321 Street Name CANAL STREET
Borough MANHATTAN Block 230 Lot 5 BIN 1002982 CB No. 102
Work on Floor(s) 001 to 004

2 Work Type Information Required for all applications. Select all that apply. Filing components/fixtures? Yes No

Plumbing - PL Sprinkler - SP Standpipe - SD
Cost: \$ 30000 Cost: \$ Cost: \$
Total sprinkler heads in 8B: 0 Total sprinkler heads in 8A: _____
To remove violation(s): 1) _____ To remove violation(s): 1) _____
2) _____ 2) _____

3 Drainage Information

Storm Drainage Discharges into: select one. Sanitary Drainage Discharges into: select one.
 Storm Sewer Combined Sewer Private Disposal Sanitary Sewer Combined Sewer Private Disposal

4 Sewer Work Select all that apply.

SD-1, SD-2, SD-3 Site Connection Septic Tank

5 Cap / Remove / Replace / Relocate Components If this section is completed, components are required.

Cap or Remove Describe all:
 Replace or Relocate Describe all:

6 Gas and Gas Equipment Data

Gas piping involved? Yes No Describe gas fired equipment:
3 (4) RANGE STOVES

Total Location(s), floor/apt. - list all that apply:
Meters total: 3 CELLAR (EXISTING)
Risers total: 3 CELLAR THRU 4TH
Gas Usage: Heat Dryer Water Heater Tankless Coil
 HVAC Cooking Fire Place Boiler Pilot for Oil Burner
 Other:

Name (please print)
DAVID TURNER
Signature _____ Date _____

P.E. / R.A. Seal (apply seal, then sign and date over seal)

7 Applicant's Statements and Signatures Required for all applications.

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both.

DOB Reference Number: T00000490443-000073
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8 Equipment Information <i>For new work only.</i>		Floors indicate no. of proposed components and/or "X" for piping											
System (work type)	Components (Piping / Equipment / Fixture)	1	2	3	4								
		8A Sprinkler (SP)	P* Sprinkler Piping - Dry										
<i>Must not be off domestic.</i>	P* Sprinkler Piping - Wet												
	E* Dry Pipe Valve												
	E* Booster Pump - SP												
	F Floor/Riser Control Valve												
	F Siamese FDC												
	F Sprinkler Heads												
	F Sprinkler Heads over 999												
8B Sprinkler (PL)**	F Sprinkler Heads (thirty or less)												
8C Fire Standpipe (SD)	P* Standpipe Piping												
	E* Fire Pump												
	E* Special Service Fire Pump												
	F Floor/Riser Control Valve												
	F Hose Cabinet/Rack/Valve												
	F Siamese FDC												
	8D Water/San. (PL)	P* Sanitary Piping (Soil & Venting)											
	P* Water Piping												
	P Water Service Piping												
	E Sewer Ejection Pump												
	F Bathtubs/Whirlpools/Hot Tub/Sauna		1	1	1								
	F Bidet												
	F Chiller/Cooler												
	F Dishwasher		1	1	1								
	F Domestic Water Tank/Pump												
	F Drinking Fountain												
	F Floor Drain												
	F Grease Trap/Oil Separator												
	F Ice Maker												
	F In-sink Garbage Disposal												
	F Lavatory (Common Wash Basin)	1	1	1	1								
	F Laundry - Standpipe												
	F Pool												
	F RPZ/Backflow Preventer (Primary)												
	F RPZ/Backflow Preventer (Secondary)												
	F Sink - Non Residential												
	F Sink - Residential		1	1	1								
	F Stall Shower												
	F Tankless Coil												
	F Toilet (Water Closet)	1	1	1	1								
	F Urinal												
	F Washing Machine												
	F Water Heater (Non-Gas)												
8E Storm (PL)	P* Storm Drainage Piping												
	E Sump Pump												
	F Area/Yard Drain												
	F Detention Tank												
	F Dry Well/Retention												
	F Root Drain												
8F Gas (PL)	P* Gas Piping												
	E Emergency Shut-off Valve												
	E* Fire Suppression Shut-off Valve												
	E Gas Booster Pump												
	F Cooking Equipment (non-residential)												
	F Cooking Equipment (residential)		1	1	1								
	F Gas Boiler (<350K non-comm, <6 family)												
	F Gas Burner												
	F Gas Dryer												
	F Gas Furnace												
	F Gas Meter												
	F Gas Water Heater												
8G Medical (PL)	P* Medical Gas Piping												
	E Assorted Medical Equipment												

** Must be off domestic.

* indicates test may be required.



PW1: Plan / Work Application

Must be typewritten.



1 Location Information *Required for all applications.*

House No(s) 321 Street Name CANAL STREET
 Borough MANHATTAN Block 00230 Lot 00005 BIN 1002982 C.B. No. 102
 Work on Floor(s) 001 to 003 Apt. / Condo No(s)

2 Applicant Information *Required for all applications. Fax, mobile telephone and e-mail address are optional information.*

Last Name COWLEY First Name PAGE Middle Initial A
 Business Name PAGE AYERS COWLEY ARCHITECTS LLC Business Telephone (212) 673-6910
 Business Address 10 EAST 33RD STREET, 7TH FLOOR Business Fax
 City NEW YORK State NY Zip 10016 Mobile Telephone
 E-Mail PCOWLEY@PAC-ARCHITECTS.COM License Number 01B125
 Choose one: P.E. R.A. Sign Hanger Other, please specify:

3 Filing Representative *Complete only if different from applicant specified in section 2. Fax, mobile phone, and e-mail are optional info.*

Last Name JEAN/NOEL/GHANSIAM First Name J/L/G Middle Initial
 Business Name NOEL BUILDING CONSULTING, INC. Business Telephone (212) 267-7679
 Business Address 42 BROADWAY, 1127 Business Fax (646) 448-3196
 City NEW YORK State NY Zip 10004 Mobile Telephone
 E-Mail KWILLIAMS@NOEL-BLDG.COM Registration Number

4 Filing Status *Required for all applications. Choose one and provide specified associated information.*

Initial Filing 5, 7, 11, 12A, 25-26 Prior to Approval Actions 25-26 Reinstatement 24-26
 Review is requested under which Building Code? Amend Existing Filing 4A Withdrawal 26
 2008 1968 Prior to 1968 Subsequent Filing 6-7, 8A (Alt-2 only), 11 Specified in 4A and 6
 Choose Standard Plan Examination or Review Post Approval Amendment (PAA) 4A, 6, 24-25 Entire Job
 one: Professional Certification PC1, POC1 Will PAA affect filing fees? Yes No 4A indicate existing document number affected by filing:
 Professional Cert of Objections Alt New (Superseding) Applicant 4A, 25-26

5 Job/Project Types *Choose one and provide specified associated information.*

Alteration Type 1 6A-E, 8B-C, 9-10, 13C-F, 14 & Alteration Type 1, OT: "No Work" 8C, 9-10 & Full Demolition 6B, 8D, 9B-D, &
 18-20, 22, PW1A, PD1, select all that apply: 12, 13C-F, 14, 18-19, 22, PW1A, PD1 13D-E, 14, 21A, 22
 Change in Exits Alteration Type 2 5A, 6A-D, 8A-B, 9-10, & Sign 5A, 6B-D, 9B, 22-23
 Change in Number of Stories 13C-E, 14, 20, 22 Subdivision 9B, 12A-B
 Change in Number of Dwelling Units Alteration Type 3 5A, 6B-F, 8C, 9-10, 13C-E, 22 Condominium Improved 17
 Change in Occupancy / Use New Building 6A-E, 8F-G, 9A-C, 9L, 10, 12, 13A-E 5A Directive 14 acceptance requested?
 Change inconsistent with current Cert. of Occup. (13B: 2008 Code only), 14, 18-20, PW1A, PD1 Yes No

6 Work Types *Select all that apply but no more than allowed by job and filing type. "OT" required on all NB and Alteration 1 initial applications.*

6A <input type="checkbox"/> BL - Boiler PW1C	<input type="checkbox"/> FS - Fuel Storage PW1C	<input type="checkbox"/> PL - Plumbing PW1B	6E <input type="checkbox"/> CC - Curb Cut 16
<input type="checkbox"/> FA - Fire Alarm	<input type="checkbox"/> FP - Fire Suppression	<input type="checkbox"/> SD - Standpipe PW1B	6F <input type="checkbox"/> OT/ANT - Antenna
<input type="checkbox"/> FB - Fuel Burning PW1C	<input type="checkbox"/> MH - Mechanical	<input type="checkbox"/> SP - Sprinkler PW1B	<input type="checkbox"/> OT/BPP - Builders Pavement Plan 8D
6B <input type="checkbox"/> EQ - Construction Equipment 15	6C <input type="checkbox"/> OT/GC - General Construction	6D <input checked="" type="checkbox"/> OT - Other, describe: FACADE REPAIR	<input type="checkbox"/> OT/FPP - Fire Protection Plan
			<input type="checkbox"/> OT/MAR - Marquee 8E, 26B

DOB Reference Number: T00000851473-000034
 User Ref ID: 321 CANA

7 Plans/Construction Documents Submitted *Plans are required for most applications.*

- AR - Architectural
 BP - BPP Checklist
 DM - Demolition (Full/Partial)
 EN - Energy Analysis
 FO - Foundation or
 NP - No Plans
 ME - Mechanical
 OT - Other
 PL - Plumbing
 ST - Structural
 ZO - Zoning

8 Additional Information

8A	WT	Cost	WT	Cost	WT	Cost	8B	Is a building enlargement proposed? <input checked="" type="checkbox"/> No enlargement is proposed <input type="checkbox"/> Yes 12, PD1 <input type="checkbox"/> Horizontal <input type="checkbox"/> Vertical Additional Construction Floor Area: _____ sq. ft.	8C	Estimated Job Cost \$ 100000
	OT	100000							8D	Street Frontage: _____ linear ft.
									8E	Height: _____ ft. Width: _____ ft.
									8F	Name of cluster or development below: _____
8G Total Construction Floor Area: _____ sq. ft.									Project lead job no. _____	

9 Additional Considerations, Limitations or Restrictions

9A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Structural peer review required per BC §1627 <i>If yes, 9F</i>	9F	Structural Peer Reviewer License No. _____ P.E.		
9B	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Filed to Comply with Local Law <i>If yes, 9G</i> <input type="checkbox"/> Other, specify: _____ <input type="checkbox"/> Restrictive Declaration / Easement <i>If yes, 9M</i> <input type="checkbox"/> Zoning Exhibit (I, II, III, etc.) <i>If yes, 9N</i> <input type="checkbox"/> Requesting legalization of work where no work w/o a permit violations have been issued	<input checked="" type="checkbox"/> Landmark <input type="checkbox"/> "Little E" Hazmat Site <input type="checkbox"/> Unmapped Street <input type="checkbox"/> Filing to Address Violation(s) <i>If yes, 9H</i>	9G	Local Law No(s) _____ Year _____	
9C	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Adult Establishment <i>If yes, plot diagram (except DM)</i> Compensated Development (Inclusionary Housing) Low Income Housing (Inclusionary Housing) Single Room Occupancy (SRO) Multiple Dwelling Filing includes Lot Merger / Reapportionment <i>If yes, 17</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Included in LMCCC Infill Zoning Loft Board Quality Housing Site Safety Job/Project	9H	Violation No(s) _____
9D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Includes permanent removal of standpipe, sprinkler or fire suppression related systems		9I	BSA Calendar No(s) _____	
9E	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Work includes partial demolition as defined in AC §26-101.5 <i>If yes, 21B</i> Structural Stability affected by proposed work		9J	CPC Calendar No(s) _____	
9L	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Work includes lighting fixture and/or controls, installation or replacement. [§ECC 404 and 505]		9K	High-Rise Team Tracking Number: _____	
9M	CRFN(s) Restrictive Declaration / Easement (max. 4): _____					
9N	CRFN(s) Zoning Exhibit (I, II, III, etc. - max. 4): _____					

10 NYCECC Compliance *New York City Energy Conservation Code*

To the best of my knowledge, belief and professional judgment, all work under this application is in compliance with the NYCECC*
 Energy analysis is on another job number: _____
 Yes No
 This application is, or is part of, a project that utilizes trade-offs among different major systems
 This application utilizes trade-offs within a single major system
 To the best of my knowledge, belief and professional judgment, all work under this application is exempt from the NYCECC* in accordance with one of the following: *Choose one*
 The work is an alteration of a State or National historic building.
 The scope of work is entirely in a "low-energy building" and is limited to the building envelope.
 The scope of work does not affect the energy use of the building.
 This is a post-approval amendment and exempt under a prior edition of the energy code. See statement of exemption on attached drawings.
* Note: Exceptions to Section ECC 101.4.3 are NOT exemptions. For exceptions, check compliance statement and use the Energy Analysis.

11 Job Description **11A Related DOB Job Numbers**

EMERGENCY DECONSTRUCTION OF FRONT AND REAR FAÇADE. NO CHANGE OF USE EGRESS OR OCCUPANCY UNDER THIS APPLICATION.	

11B Primary application job no. _____

DOB Reference Number: T00000851473-000034
 User Ref ID: 321 CANA

12 Zoning Characteristics

12A District(s) M1-5B 12B Street legal width: _____ ft.
 Overlay(s) _____ Street Status: Public Private
 Special Dist.(s) _____
 Map Number 12A _____
If the zoning lot includes multiple tax lots, list all tax lots here ▶

12C Proposed: Use*	Zoning	Floor Area	District	FAR	Proposed Lot Details:	Proposed Yard Details:
		sq. ft.			Lot Type: <input type="checkbox"/> Corner <input type="checkbox"/> Interior <input type="checkbox"/> Through	Check here if no yards: <input type="checkbox"/> or
		sq. ft.			Lot Coverage _____ %	Front Yard _____ ft.
		sq. ft.			Lot Area _____ sq. ft.	Rear Yard _____ ft.
		sq. ft.			Lot Width _____ ft.	Rear Yard Equivalent _____ ft.
		sq. ft.			Proposed Other Details:	Side Yard 1 _____ ft.
		sq. ft.			Enclosed Parking? <input type="checkbox"/> Yes <input type="checkbox"/> No	Side Yard 2 _____ ft.
Proposed Totals		sq. ft.			If yes, no. of parking spaces: _____	
Existing Total		sq. ft.			Perimeter Wall Height _____ ft.	

*Use can be one of the following: residential, commercial, manufacturing, or community facility. List only one use per line.

13 Building Characteristics *Main use/dominant occupancy per AC §28-101.5. **Use 2008 Code equivalents only. †Residential w/other use.

13A Primary structural system, choose one: Masonry Concrete (CIP) Concrete (Precast)
 Wood Steel (Structural) Steel (Cold-Formed) Steel (Encased in Concrete)

13B	Existing	Proposed	13D Building Type:
Structural Occupancy Category			<input type="checkbox"/> 1, 2, or 3 Family <input checked="" type="checkbox"/> Other
Seismic Design Category			Mixed use building?† <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
13C Occupancy Classification*	COM	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	2008 Code Designations?
Construction Classification	3	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	2006 Code Designations?
Multiple Dwelling Classification	JAR		

13E

	Existing	Proposed
Building Height	47 ft.	
Building Stories	3	
Dwelling Units		

13F Building was originally erected pursuant to which Building Code: 2008 1968 Prior to 1968
 The earliest Code with which this building or any part of it is required to comply: 2008 1968 Prior to 1968

14 Fill Choose one.

Not Applicable On-Site Off-Site Under 300 cubic yards

15 Construction Equipment

Chute Sidewalk Shed Construction Material: _____
 Fence Size: _____ linear ft. BSA/MEA Approval No. _____
 Supported Scaffold Other: _____

16 Curb Cut Description

Size of cut (with splays): _____ ft.
 Distance to nearest corner: _____ ft.
 to street: _____

17 Tax Lot Characteristics

Original tax lots being merged or reapportioned (if applicable):

 Tentative tax lot numbers (new tax lots only):

18 Fire Protection Equipment

	Existing		Proposed	
	Yes	No	Yes	No
Fire Alarm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fire Suppression	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sprinkler	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Standpipe	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

19 Open Spaces

	Existing		Proposed	
	sq. ft.	sq. ft.	sq. ft.	sq. ft.
Plaza Area				
Parking Area				
Loading Berths				
Arcade Area				
Parking Spaces				
Loading Berths				

20 Site Characteristics

Yes No
 Tidal / Fresh Water Wetlands
 Urban Renewal
 Fire District
 Flood Hazard Area

26 Property Owner's Statements and Signatures

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department. Furthermore, I understand that I am responsible for insuring that a final inspection be performed when the permitted work is complete, and that a satisfactory report of final inspection be submitted, along with all required submittal documents, so that the NYC Department of Buildings may issue a letter of completion or certificate of occupancy within the time prescribed by law.

Owner type: Individual DCAS HHC NYCHA
 Partnership DOE HPD NYS
 Corporation 26A Other Government
 Condo Unit Owner or Co-Op Tenant-shareholder 26A
Is the owner a non-profit organization? Yes No

Name (please print): JASON LABOZ
Relationship to Owner: PARTNER
Business Name/Agency: 321 NEW CANAL LLC
Street Address: 321 CANAL STREET
City: NEW YORK State: NY Zip: 10012
Telephone Number: (212) 431-7500 Fax:
E-Mail Address: INFO@UNTERDLAND.COM
Signature and Date: [Signature] 7/15/13

I have authorized the applicant to file this application for the work specified herein and all future amendments. I will not knowingly authorize any work that is not in compliance with the New York City Energy Conservation Code (NYCECC)

Yes No

- Fee Deferred Request Statement**
I hereby request a fee deferral for the work proposed on this application and understand that all fees must be paid before issuance of any Certificate of Occupancy or job sign-off.
- Fee Exemption Request Statement**
In accordance with §28-112.1 of the NYC Administrative Code I hereby state that the proposed work involves a building or property owned or used exclusively for the purposes indicated in such section.
- Owner's Certifications Regarding Occupied Housing**
The site of the building to be altered or demolished, or the site of the new building to be constructed, contains one or more occupied dwelling units that will remain occupied during construction. These occupied dwelling units have been clearly identified on the submitted construction documents.
- The site of the building to be altered or demolished, or the site of the new building to be constructed, contains occupied housing accommodations subject to rent control or rent stabilization under Chapters 3 and 4 of Title 26 of the New York City Administrative Code. If yes, select one of the following:
 - The owner is not required to notify the Division of Housing and Community Renewal (DHCR) of the owner's intention to file because the nature and scope of the work proposed, pursuant to DHCR regulations, does not require notification
 - The owner has notified the Division of Housing and Community Renewal (DHCR) of its intention to file such construction documents/apply for such permit and has complied with all requirements imposed by the regulations of such agency as preconditions for such [filing/application].
- Owner's Certification for Adult Establishments**
I authorize and intend to create, enlarge, or extend an establishment with adult activity and/or adult material as defined in ZR §12-10 "adult establishment" or related sign at the subject premises.
- Owner's Certification for Directive 14 Applications (if applicable)**
I have read and am fully aware of the applicant's statement that the construction documents submitted and all construction documents related to this application will not require a new or amended Certificate of Occupancy as there is no change in use, exits, or occupancy. Furthermore, I understand that I am responsible for retaining a qualified design professional to perform a final inspection when the permitted work is complete and this professional must submit a satisfactory final inspection report to the NYC Department of Buildings within the time following inspection prescribed by Department rule.

26A Condo/Co-Op Board or Corporation Second Officer

Name (please print):
Title:
Street Address:
City: State: Zip:
Telephone Number: Fax:
E-Mail Address:
Signature and Date: [Signature]
**Signature required for authorized representative of Condo or Co-Op board. Second officer signature not required for corporations.*

26B Lessee Responsible for Annual Sign or Marquee Permit

Name (please print):
Relationship to Owner:
Business Name/Agency:
Street Address:
City: State: Zip:
Telephone Number: Fax:
E-Mail Address:

Internal Use Only

Pro-Filer Name:	
Pro-Filer Signature:	Date:
Cost Estimate: \$	
Amount Due: \$	Verified by ▼ Date ▼
Initial Amount Paid: \$	
Balance Due: \$	
Stamps, Certifications and Notes:	



PW1: Plan / Work Application

Must be typewritten.



1 Location Information Required for all applications.

House No(s) 321 Street Name CANAL STREET
Borough MANHATTAN Block 00230 Lot 00005 BIN 1003982 C.B. No. 102
Work on Floor(s) 001 to 004, ROF Apt. / Condo No(s)

2 Applicant Information Required for all applications. Fax, mobile telephone and e-mail address are optional information.

Last Name COWLEY First Name PAGE Middle Initial
Business Name PAGE AYRES COWLEY ARCHITECTS LLC Business Telephone (212) 673-6910
Business Address 10 EAST 33RD STREET, 7TH FLOOR Business Fax
City NEW YORK State NY Zip 10016 Mobile Telephone
E-Mail PCOWLEY@PAC-ARCHITECTS.COM License Number 018125
Choose one: [] P.E. [x] R.A. [] Sign Hanger [] Other, please specify:

3 Filing Representative Complete only if different from applicant specified in section 2. Fax, mobile phone, and e-mail are optional info.

Last Name IS/YS/TR/SA/LO First Name MI/KE/BA/SA/HE Middle Initial
Business Name OUTSOURCE CONSULTANTS INC. Business Telephone (212) 732-0555
Business Address 237 WEST 35TH STREET, FLOOR 12A Business Fax
City NEW YORK State NY Zip 10001 Mobile Telephone
E-Mail JPICCININNO@OUTSOURCECONSULTANTS.COM Registration Number

4 Filing Status Required for all applications. Choose one and provide specified associated information.

[x] Initial Filing 5, 7, 11, 12A, 25-26 [] Prior to Approval Actions 25-26 [] Reinstatement 24-26
Review is requested under which Building Code? [] Amend Existing Filing 4A [] Withdrawal 26
[] 2008 [x] 1968 [] Prior to 1968 [] Subsequent Filing 6-7, 8A (Alt-2 only), 11 [] Specified in 4A and 6
Choose [x] Standard Plan Examination or Review [] Post Approval Amendment (PAA) 4A, 6, 24-25 [] Entire Job
one: [] Professional Certification PC1, POC1 Will PAA affect filing fees? [] Yes [] No 4A Indicate existing document number
[] Professional Cert. of Objections All [] New (Superseding) Applicant 4A, 25-26 affected by filing:

5 Job/Project Types Choose one and provide specified associated information.

[] Alteration Type 1 6A-E, 8B-C, 9-10, 13C-F, 14 & [] Alteration Type 1, OT: "No Work" 8C, 9-10 & [] Full Demolition 6B, 8D, 9B-D, &
18-20, 22, PW1A, PD1, select all that apply: 12, 13C-F, 14, 18-19, 22, PW1A, PD1 13D-E, 14, 21A, 22
[] Change in Exits [x] Alteration Type 2 5A, 6A-D, 8A-B, 9-10, & [] Sign 5A, 6B-D, 9B, 22-23
[] Change in Number of Stories 13C-E, 14, 20, 22 [] Subdivision 9B, 12A-B
[] Change in Number of Dwelling Units [] Alteration Type 3 5A, 6B-F, 8C, 9-10, 13C-E, 22 [] Condominium [] Improved 17
[] Change in Occupancy / Use [] New Building 6A-E, 8F-G, 9A-C, 9L, 10, 12, 13A-E 5A Directive 14 acceptance requested?
[] Change inconsistent with current Cert. of Occup. (13B; 2008 Code only), 14, 18-20, PW1A, PD1 [x] Yes [] No

6 Work Types Select all that apply but no more than allowed by job and filing type. "OT" required on all NB and Alteration 1 Initial applications.

6A [] BL - Boiler PW1C [] FS - Fuel Storage PW1C [] PL - Plumbing PW1B 6E [] CC - Curb Cut 16
[] FA - Fire Alarm [] FP - Fire Suppression [] SD - Standpipe PW1B 6F [] OT/ANT - Antenna
[] FB - Fuel Burning PW1C [] MH - Mechanical [] SP - Sprinkler PW1B [] OT/BPP - Builders Pavement Plan 8D
6B [] EQ - Construction Equipment 15 6C [] OT/GC - General Construction 6D [x] OT - Other, describe: FACADE REPAIR [] OT/FPP - Fire Protection Plan
[] OT/MAR - Marquee 8E, 26B

DOB Reference Number: T00000996507-000034
Dear Ref ID: 148373-07

7 Plans/Construction Documents Submitted *Plans are required for most applications.*

- AR - Architectural
 BP - BPP Checklist
 DM - Demolition (Full/Partial)
 EN - Energy Analysis
 FO - Foundation or
 NP - No Plans
 ME - Mechanical
 OT - Other
 PL - Plumbing
 ST - Structural
 ZO - Zoning

8 Additional Information

8A WT	Cost	WT	Cost	WT	Cost	8B Is a building enlargement proposed? <input checked="" type="checkbox"/> No enlargement is proposed <input type="checkbox"/> Yes: 1Z, PD1 <input type="checkbox"/> Horizontal <input type="checkbox"/> Vertical Additional Construction Floor Area: sq. ft.	8C Estimated Job Cost \$ 95000
OT	95000						8D Street Frontage: _____ linear ft. 8E Height: _____ ft. Width: _____ ft. 8F Name of cluster or development below: Project lead job no. _____
8G Total Construction Floor Area: _____ sq. ft.						8G Total Construction Floor Area: _____ sq. ft.	

9 Additional Considerations, Limitations or Restrictions

9A <input type="checkbox"/> <input checked="" type="checkbox"/> Structural peer review required per BC §1627 <i>if yes, 9F</i>	9B <input type="checkbox"/> <input checked="" type="checkbox"/> Filled to Comply with Local Law <i>if yes, 9G</i> <input type="checkbox"/> <input checked="" type="checkbox"/> Other, specify: _____ <input type="checkbox"/> <input checked="" type="checkbox"/> Restrictive Declaration / Easement <i>if yes, 9M</i> <input type="checkbox"/> <input checked="" type="checkbox"/> Zoning Exhibit (I, II, III, etc.) <i>if yes, 9N</i> <input type="checkbox"/> <input checked="" type="checkbox"/> Requesting legalization of work where no work w/o a permit violations have been issued	9C <input type="checkbox"/> <input checked="" type="checkbox"/> Adult Establishment <i>if yes, plot diagram (except DM)</i> <input type="checkbox"/> <input checked="" type="checkbox"/> Compensated Development (Inclusionary Housing) <input type="checkbox"/> <input checked="" type="checkbox"/> Low Income Housing (Inclusionary Housing) <input type="checkbox"/> <input checked="" type="checkbox"/> Single Room Occupancy (SRO) Multiple Dwelling <input type="checkbox"/> <input checked="" type="checkbox"/> Filing Includes Lot Merger / Reapportionment <i>if yes, 17</i>	9D <input type="checkbox"/> <input checked="" type="checkbox"/> Includes permanent removal of standpipe, sprinkler or fire suppression related systems	9E <input type="checkbox"/> <input checked="" type="checkbox"/> Work includes partial demolition as defined in AC 528-101.5 <i>if yes, 21B</i> <input type="checkbox"/> <input checked="" type="checkbox"/> Structural Stability affected by proposed work	9F Structural Peer Reviewer License No. _____ P.E. 9G Local Law No(s) _____ Year _____ 9H Violation No(s) _____ 9I BSA Calendar No(s) _____ 9J CPC Calendar No(s) _____ 9K High-Rise Team Tracking Number: _____
9L <input type="checkbox"/> <input checked="" type="checkbox"/> Work includes lighting fixture and/or controls, installation or replacement. [SECC 404 and 505]	9M CRFN(s) Restrictive Declaration / Easement (max. 4): _____	9N CRFN(s) Zoning Exhibit (I, II, III, etc. - max. 4): _____			

10 NYCECC Compliance *New York City Energy Conservation Code*

To the best of my knowledge, belief and professional judgment, all work under this application is in compliance with the NYCECC*
 Energy analysis is on another job number: _____
 Yes No
 This application is, or is part of, a project that utilizes trade-offs among different major systems
 This application utilizes trade-offs within a single major system
 To the best of my knowledge, belief and professional judgment, all work under this application is exempt from the NYCECC* in accordance with one of the following: *Choose one*
 The work is an alteration of a State or National historic building.
 The scope of work is entirely in a "low-energy building" and is limited to the building envelope.
 The scope of work does not affect the energy use of the building.
 This is a post-approval amendment and exempt under a prior edition of the energy code. See statement of exemption on attached drawings.
* Note: Exceptions to Section ECC 101.4.3 are NOT exemptions. For exceptions, check compliance statement and use the Energy Analysis.

11 Job Description

FACADE REPLACEMENT AS INDICATED ON PLANS FILED HEREWITH. NO CHANGE IN USE, EGRESS OR OCCUPANCY.

11A Related DOB Job Numbers	121622235

11B Primary application job no. _____

12 Zoning Characteristics			
12A District(s) <u>M1-5B</u> Overlay(s) Special Dist.(s) Map Number <u>12A</u>	12B Street legal width: _____ ft. Street Status: <input type="checkbox"/> Public <input type="checkbox"/> Private If the zoning lot includes multiple tax lots, list all tax lots here ►		
12C Proposed Use* Zoning Floor Area District FAR	Proposed Lot Details: Lot Type: <input type="checkbox"/> Corner <input type="checkbox"/> Interior <input type="checkbox"/> Through Lot Coverage _____ % Lot Area _____ sq. ft. Lot Width _____ ft. Proposed Other Details: Enclosed Parking? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, no. of parking spaces: Perimeter Wall Height _____ ft.	Proposed Yard Details: Check here if no yards: <input type="checkbox"/> or Front Yard _____ ft. Rear Yard _____ ft. Rear Yard Equivalent _____ ft. Side Yard 1 _____ ft. Side Yard 2 _____ ft.	
Proposed Totals Existing Total	sq. ft. sq. ft. sq. ft. sq. ft. sq. ft. sq. ft.	District FAR	Proposed Totals Existing Total
*Use can be one of the following: residential, commercial, manufacturing, or community facility. List only one use per line.			

13 Building Characteristics *Main use/dominant occupancy per AC §28-101.5. **Use 2008 Code equivalents only. †Residential w/other use.			
13A Primary structural system, choose one: <input type="checkbox"/> Masonry <input type="checkbox"/> Concrete (CIP) <input type="checkbox"/> Concrete (Precast) <input type="checkbox"/> Wood <input type="checkbox"/> Steel (Structural) <input type="checkbox"/> Steel (Cold-Formed) <input type="checkbox"/> Steel (Encased in Concrete)			
13B Structural Occupancy Category Seismic Design Category 13C Occupancy Classification* Construction Classification Multiple Dwelling Classification	Existing 2008 Code Designations? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Proposed 2008 Code Designations? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	13D Building Type: <input type="checkbox"/> 1, 2, or 3 Family <input checked="" type="checkbox"/> Other Mixed use building?† <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 13E Existing Proposed Building Height 47 ft. _____ ft. Building Stories 4 _____ Dwelling Units _____
13F Building was originally erected pursuant to which Building Code: <input type="checkbox"/> 2008 <input type="checkbox"/> 1968 <input type="checkbox"/> Prior to 1968 The earliest Code with which this building or any part of it is required to comply: <input type="checkbox"/> 2008 <input type="checkbox"/> 1968 <input type="checkbox"/> Prior to 1968			

14 Fill Choose one.

Not Applicable On-Site Off-Site Under 300 cubic yards

15 Construction Equipment

Chute Sidewalk Shed Fence Supported Scaffold Other: _____

Construction Material: _____
 Size: _____ linear ft. BSA/MEA Approval No. _____

16 Curb Cut Description

Size of cut (with aprays): _____ ft.
 Distance to nearest corner: _____ ft.
 to street: _____

17 Tax Lot Characteristics

Original tax lots being merged or reapportioned (if applicable):

--	--	--	--	--	--	--	--	--	--

Tentative tax lot numbers (new tax lots only):

--	--	--	--	--	--	--	--	--	--

18 Fire Protection Equipment

	Existing		Proposed	
	Yes	No	Yes	No
Fire Alarm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fire Suppression	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sprinkler	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Standpipe	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

19 Open Spaces

	Existing		Proposed		Arcade Area	Existing		Proposed	
	sq. ft.	sq. ft.	sq. ft.	sq. ft.		sq. ft.	sq. ft.	sq. ft.	sq. ft.
Plaza Area									
Parking Area									
Loading Berths									

20 Site Characteristics

Yes No

Tidal / Fresh Water Wetlands

Urban Renewal

Fire District

Flood Hazard Area

21 Demolition Details *Mechanical equipment other than hand-held devices to be used for demolition or removal of debris (BC §3306.4).

Yes No

21A Demo. filing is for a secondary structure? If yes, specify structure being demolished:

Mechanical means* from out of building? If yes, mechanical means will demolish: entire structure or part of structure

Mechanical means* from within building? If yes, describe equipment proposed:

21B Demolition work affects the exterior building envelope

22 Asbestos Abatement Compliance Choose one.

The scope of work requires related asbestos abatement as defined in the regulations of the NYC Department of Environmental Protection (DEP).

The scope of work does not require related asbestos abatement as defined in the regulations of the NYC DEP.

The scope of work is exempt from the asbestos requirement as defined in the regulations promulgated by the NYC DEP (15 RCNY 1-23(b)).

23 Sign

Purpose:	Type:	Estimated Cost: \$	23A Illuminated type: <input type="checkbox"/> Direct <input type="checkbox"/> Flashing <input type="checkbox"/> Indirect
<input type="checkbox"/> Advertising	<input type="checkbox"/> Illuminated 23A	Total Square Feet:	Yes No
<input type="checkbox"/> Non-Advertising	<input type="checkbox"/> Non-Illuminated	Height above Curb: ft. in.	<input type="checkbox"/> <input type="checkbox"/> If sign projects beyond building line, is owner billed for annual permit? If no, specify in 26B
Location: <input type="checkbox"/> Ground <input type="checkbox"/> Roof 23B <input type="checkbox"/> Wall	Height above Roof: ft. in.		23B <input type="checkbox"/> <input type="checkbox"/> Is roof sign tight, closed or solid?
Yes No			23C Sign wording. If extensive, provide only key wording.
<input type="checkbox"/> <input type="checkbox"/> Is sign inside building line? If no, sign projects by: ft. in.			23D Distance from Arterial Highway: ft.
<input type="checkbox"/> <input type="checkbox"/> Designed for changeable copy? If no, 23C			23E Distance from Park 1/2 Acre or more: ft.
<input type="checkbox"/> <input type="checkbox"/> Does an OAC have an interest in this sign or location? If yes, 23G			23F OAC Sign Number:
<input type="checkbox"/> <input type="checkbox"/> Within 900' and within view of an arterial highway? If yes, 23D			23G OAC Registration Number:
<input type="checkbox"/> <input type="checkbox"/> Within 200' and within view of a park 1/2 acre or more? If yes, 23E			

→ If answer is "yes" to either of the above two questions and this is an advertising sign, OAC sign number is required in section 23F

24 Comments Place additional comments on an A-1 form. See Guide for proper incorporation of professional certification statements.

25 Applicant's Statements and Signatures Required for all applications.

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. It is also unlawful for any person to knowingly or negligently make a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the completion of a project required under the provisions of this code or of a rule of any agency. I may be barred from filing further applications or documents with the Department of Buildings or supervised the preparation of the construction documents and specifications herewith submitted and to the best of my knowledge and belief, the construction documents and work shown thereon comply with the provisions of the NYC Administrative Code and other applicable laws and rules. (I-check here if not applicable set forth in the accompanying documents. I acknowledge that I have read and complied with all instructions pertaining to this application and supplement any schedules submitted.

Cluster Development Statement (if applicable): I hereby state that all specifications relating to this job are identical to those previously filed under the group lead job number, except as specified herein.

Yes No

For initial New Building and Alteration 1 applications filed under the 2008 NYC Building Code only: does this building qualify for high-rise designation?

Directive 14 Initial applications only: I certify that the construction documents submitted and all construction documents related to this application do not require a new or amended Certificate of Occupancy as there is no change in use, egress, or occupancy.

Name (please print) _____

PAGE _____

Signature _____ Date 1/30/2014

P.E./R.A. Seal (apply seal, then sign and date over seal)

DOB Reference Number: T00000996507-000034

User Ref ID: 140373-0T

01/11

26 Property Owner's Statements and Signatures

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department. Furthermore, I understand that I am responsible for insuring that a final inspection be performed when the permitted work is complete, and that a satisfactory report of final inspection be submitted, along with all required submittal documents, so that the NYC Department of Buildings may issue a letter of completion or certificate of occupancy within the time prescribed by law.

I have authorized the applicant to file this application for the work specified herein and all future amendments. I will not knowingly authorize any work that is not in compliance with the New York City Energy Conservation Code (NYCECC).

Yes No

- Fee Deferred Request Statement
Fee Exemption Request Statement
Owner's Certifications Regarding Occupied Housing
The owner is not required to notify the Division of Housing and Community Renewal (DHCR) of the owner's intention to file because the nature and scope of the work proposed, pursuant to DHCR regulations, does not require notification.
The owner has notified the Division of Housing and Community Renewal (DHCR) of its intention to file such construction documents/apply for such permit and has complied with all requirements imposed by the regulations of such agency as preconditions for such [filing/application].
Provide date DHCR notified:
Owner's Certification for Adult Establishments
I authorize and intend to create, enlarge, or extend an establishment with adult activity and/or adult material as defined in ZR §12-10 "adult establishment" or related sign at the subject premises.
Owner's Certification for Directive 14 Applications (if applicable)
I have read and am fully aware of the applicant's statement that the construction documents submitted and all construction documents related to this application will not require a new or amended Certificate of Occupancy as there is no change in use, exts. or occupancy. Furthermore, I understand that I am responsible for retaining a qualified design professional to perform a final inspection when the permitted work is complete and this professional must submit a satisfactory final inspection report to the NYC Department of Buildings within the time following inspection prescribed by Department rule.

Owner type: Individual DCAS HHC NYCHA
Partnership DOE HPD NYS
Corporation 26A Other Government
Condo Unit Owner or Co-Op Tenant-shareholder 26A
Is the owner a non-profit organization? Yes No

Name (please print): ALBERT LABOZ
Relationship to Owner: MEMBER
Business Name/Agency: 323 EQUITIES LLC
Street Address: 430 WEST BROADWAY
City: NEW YORK State: NY Zip: 10013
Telephone Number: (212) 431-7500 Fax:
E-Mail Address: CAS@DUNFORDLAND.COM
Signature and Date: [Signature] 5-9-14

26A Condo/Co-Op Board or Corporation Second Officer

Name (please print):
Title:
Street Address:
City: State: Zip:
Telephone Number: Fax:
E-Mail Address:
Signature and Date*

*Signature required for authorized representative of Condo or Co-Op board. Second officer signature not required for corporations.

26B Lessee Responsible for Annual Sign or Marquee Permit

Name (please print):
Relationship to Owner:
Business Name/Agency:
Street Address:
City: State: Zip:
Telephone Number: Fax:
E-Mail Address:

Table with 2 columns: Internal Use Only, and rows for Pre-Filer Name, Pre-Filer Signature, Date, Cost Estimate, Amount Due, Verified by, Date, Initial Amount Paid, Balance Due, Stamps, Certifications and Notes.



PW1: Plan / Work Application

Must be typewritten.



1 Location Information *Required for all applications.*

House No(s) 321 Street Name CANAL STREET

Borough MANHATTAN Block 00230 Lot 00005 BIN 1002982 C.B. No. 102

Work on Floor(s) 001 to 004, CEL, ROF Apt. / Condo No(s)

2 Applicant Information *Required for all applications. Fax, mobile telephone and e-mail address are optional information.*

Last Name GOLD First Name STUART Middle Initial

Business Name S.D.G ENGINEERING P.C. Business Telephone (516) 944-5430

Business Address 121 HUNTINGTON ROAD Business Fax (516) 944-5431

City PORT WASHINGTON State NY Zip 11050 Mobile Telephone

E-Mail STRUCGOLD@VERIZON.NET License Number 069355

Choose one: P.E. R.A. Sign Hanger Other, please specify:

3 Filing Representative *Complete only if different from applicant specified in section 2. Fax, mobile phone, and e-mail are optional info.*

Last Name CH/IS/SA/SO/TR/YS/LA First Name O/MI/B/B/RA/K/R Middle Initial

Business Name OUTSOURCE CONSULTANTS, INC. Business Telephone (212) 732-0555

Business Address 237 WEST 35TH STREET, FLOOR 12A Business Fax

City NEW YORK State NY Zip 10001 Mobile Telephone

E-Mail SPALMIOTTO@OUTSOURCECONSULTANTS.COM Registration Number

4 Filing Status *Required for all applications. Choose one and provide specified associated information.*

Initial Filing 5, 7, 11, 12A, 25-26 Prior to Approval Actions 25-26 Reinstatement 24-26

Review is requested under which Building Code? Amend Existing Filing 4A Withdrawal 26

2008 1968 Prior to 1968 Subsequent Filing 6-7, 8A (All-2 only), 11 Specified in 4A and 6

Choose Standard Plan Examination or Review Post Approval Amendment (PAA) 4A, 6, 24-25 Entire Job

one: Professional Certification PC1, POC1 Will PAA affect filing fees? Yes No 4A Indicate existing document number affected by filing:

Professional Cert. of Objections A11 New (Superseding) Applicant 4A, 25-26

5 Job/Project Types *Choose one and provide specified associated information.*

Alteration Type 1 6A-E, 8B-C, 9-10, 13C-F, 14 & Alteration Type 1, OT: "No Work" 8C, 9-10 & Full Demolition 6B, 8D, 9B-D, & 18-20, 22, PW1A, PD1, select all that apply: 12, 13C-F, 14, 18-19, 22, PW1A, PD1 13D-E, 14, 21A, 22

Change in Exits Alteration Type 2 5A, 6A-D, 8A-B, 9-10, & Sign 5A, 6B-D, 9B, 22-23 13C-E, 14, 20, 22 Subdivision 9B, 12A-B

Change in Number of Stories Alteration Type 3 5A, 6B-F, 8C, 9-10, 13C-E, 22 Condominium Improved 17

Change in Number of Dwelling Units New Building 6A-E, 8F-G, 9A-C, 9L, 10, 12, 13A-E 5A Directive 14 acceptance requested? Yes No

Change in Occupancy / Use Change inconsistent with current Cert. of Occup. (13B: 2008 Code only), 14, 18-20, PW1A, PD1

6 Work Types *Select all that apply but no more than allowed by job and filing type. "OT" required on all NB and Alteration 1 initial applications.*

6A <input type="checkbox"/> BL - Boiler PW1C	<input type="checkbox"/> FS - Fuel Storage PW1C	<input type="checkbox"/> PL - Plumbing PW1B	6E <input type="checkbox"/> CC - Curb Cut 16
<input type="checkbox"/> FA - Fire Alarm	<input type="checkbox"/> FP - Fire Suppression	<input type="checkbox"/> SD - Standpipe PW1B	6F <input type="checkbox"/> OT/ANT - Antenna
<input type="checkbox"/> FB - Fuel Burning PW1C	<input type="checkbox"/> MH - Mechanical	<input type="checkbox"/> SP - Sprinkler PW1B	<input type="checkbox"/> OT/BPP - Builders Pavement Plan 8D
6B <input type="checkbox"/> EQ - Construction Equipment 15	6C <input type="checkbox"/> OT/GC - General Construction	6D <input checked="" type="checkbox"/> OT - Other, describe: STRUCTURAL	<input type="checkbox"/> OT/FPP - Fire Protection Plan
			<input type="checkbox"/> OT/MAR - Marquee 8E, 26B

DOB Reference Number: T00001082471-000036
User Ref ID: 140373STR

7 Plans/Construction Documents Submitted *Plans are required for most applications.*

AR - Architectural BP - BPP Checklist DM - Demolition (Full/Partial) EN - Energy Analysis FO - Foundation or NP - No Plans
 ME - Mechanical OT - Other PL - Plumbing ST - Structural ZO - Zoning

8 Additional Information

8A	WT	Cost	WT	Cost	WT	Cost	8B	Is a building enlargement proposed? <input checked="" type="checkbox"/> No enlargement is proposed <input type="checkbox"/> Yes 12, PD1 <input type="checkbox"/> Horizontal <input type="checkbox"/> Vertical Additional Construction Floor Area: _____ sq. ft.	8C	Estimated Job Cost \$ 25000
	OT	25000							8D	Street Frontage: _____ linear ft.
									8E	Height: _____ ft. Width: _____ ft.
									8F	Name of cluster or development below: _____
8G							Total Construction Floor Area: _____ sq. ft.			Project lead job no. _____

9 Additional Considerations, Limitations or Restrictions

9A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Structural peer review required per BC §1627 <i>If yes, 9F</i>	9F	Structural Peer Reviewer License No. _____ P.E.	
9B	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Filed to Comply with Local Law <i>If yes, 9G</i> <input type="checkbox"/> Other, specify: _____ <input type="checkbox"/> Restrictive Declaration / Easement <i>If yes, 9M</i> <input type="checkbox"/> Zoning Exhibit (I, II, III, etc.) <i>If yes, 9N</i> <input type="checkbox"/> Requesting legalization of work where no work w/o a permit violations have been issued	<input checked="" type="checkbox"/> Landmark <input type="checkbox"/> "Little E" or RD Site <input type="checkbox"/> Unmapped Street <input type="checkbox"/> Filing to Address Violation(s) <i>If yes, 9H</i>	9G	Local Law No(s) _____ Year _____
9C	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Adult Establishment <i>If yes, plot diagram (except DM)</i> <input type="checkbox"/> Compensated Development (Inclusionary Housing) <input type="checkbox"/> Low Income Housing (Inclusionary Housing) <input type="checkbox"/> Single Room Occupancy (SRO) Multiple Dwelling <input type="checkbox"/> Filing includes Lot Merger / Reapportionment <i>If yes, 17</i>	<input type="checkbox"/> Included in LMCCC <input type="checkbox"/> Infill Zoning <input type="checkbox"/> Loft Board <input type="checkbox"/> Quality Housing <input type="checkbox"/> Site Safety Job/Project	9H	Violation No(s) _____
9D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Includes permanent removal of standpipe, sprinkler or fire suppression related systems		9I	BSA Calendar No(s) _____
9E	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Work includes partial demolition as defined in AC §28-101.5 <i>If yes, 21B</i> <input checked="" type="checkbox"/> Structural Stability affected by proposed work		9J	CPC Calendar No(s) _____
9L	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Work includes lighting fixture and/or controls, installation or replacement. [SECC 404 and 505]		9K	High-Rise Team Tracking Number: _____
9M	CRFN(s) Restrictive Declaration / Easement (max. 4): _____				
9N	CRFN(s) Zoning Exhibit (I, II, III, etc. - max. 4): _____				

10 NYCECC Compliance *New York City Energy Conservation Code.*

To the best of my knowledge, belief and professional judgment, all work under this application is in compliance with the NYCECC*
 Energy analysis is on another job number: _____
 Yes No
 This application is, or is part of, a project that utilizes trade-offs among different major systems
 This application utilizes trade-offs within a single major system

To the best of my knowledge, belief and professional judgment, all work under this application is exempt from the NYCECC* in accordance with one of the following: *Choose one*
 The work is an alteration of a State or National historic building.
 The scope of work is entirely in a "low-energy building" and is limited to the building envelope.
 The scope of work does not affect the energy use of the building.
 This is a post-approval amendment and exempt under a prior edition of the energy code. See statement of exemption on attached drawings.

*Note: Exceptions to Section ECC 101.4.3 are NOT exemptions. For exceptions, check compliance statement and use the Energy Analysis.

11 Job Description **11A Related DOB Job Numbers**

STRUCTURAL MODIFICATIONS INCLUDING BRACING AND SHORING IN CONJUNCTION WITH FAÇADE DECONSTRUCTION APPLICATION FILED UNDER DOB# 121622235.	121622235

11B Primary application job no. _____

12 Zoning Characteristics

12A District(s) M1-5B
 Overlay(s)
 Special Dist.(s)
 Map Number 12A

12B Street legal width: _____ ft.
 Street Status: Public Private
 If the zoning lot includes multiple tax lots, list all tax lots here ▶

12C Proposed: Use*	Zoning Floor Area	District	FAR	Proposed Lot Details:	Proposed Yard Details:
	sq. ft.			Lot Type: <input type="checkbox"/> Corner <input type="checkbox"/> Interior <input type="checkbox"/> Through	Check here if no yards: <input type="checkbox"/> or
	sq. ft.			Lot Coverage _____ %	Front Yard _____ ft.
	sq. ft.			Lot Area _____ sq. ft.	Rear Yard _____ ft.
	sq. ft.			Lot Width _____ ft.	Rear Yard Equivalent _____ ft.
	sq. ft.			Proposed Other Details:	Side Yard 1 _____ ft.
	sq. ft.			Enclosed Parking? <input type="checkbox"/> Yes <input type="checkbox"/> No	Side Yard 2 _____ ft.
Proposed Totals	sq. ft.			If yes, no. of parking spaces: _____	
Existing Total	sq. ft.			Perimeter Wall Height _____ ft.	

*Use can be one of the following: residential, commercial, manufacturing, or community facility. List only one use per line.

13 Building Characteristics *Main use/dominant occupancy per AC §28-101.5. **Use 2008 Code equivalents only. †Residential w/other use.

13A Primary structural system, choose one: Masonry Concrete (CIP) Concrete (Precast)
 Wood Steel (Structural) Steel (Cold-Formed) Steel (Encased in Concrete)

13B Existing Proposed
 Structural Occupancy Category
 Seismic Design Category
 2008 Code Designations? Yes No

13C Occupancy Classification* COM Yes No
 Construction Classification 3 Yes No
 Multiple Dwelling Classification JAR

13D Building Type: 1, 2, or 3 Family Other
 Mixed use building?† Yes No

13E Existing Proposed
 Building Height 47 ft. _____ ft.
 Building Stories 4
 Dwelling Units

13F Building was originally erected pursuant to which Building Code: 2008 1968 Prior to 1968
 The earliest Code with which this building or any part of it is required to comply: 2008 1968 Prior to 1968

14 Fill Choose one.

Not Applicable On-Site Off-Site Under 300 cubic yards

15 Construction Equipment

Chute Sidewalk Shed Fence Supported Scaffold Other: _____
Construction Material: _____
Size: _____ linear ft. BSA/MEA Approval No. _____

16 Curb Cut Description

Size of cut (with splays): _____ ft.
Distance to nearest corner: _____ ft.
to street: _____

17 Tax Lot Characteristics

Original tax lots being merged or reapportioned (if applicable):
Tentative tax lot numbers (new tax lots only):

18 Fire Protection Equipment

	Existing	Proposed
	Yes No	Yes No
Fire Alarm	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
Fire Suppression	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
Sprinkler	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
Standpipe	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>

19 Open Spaces

	Existing	Proposed		Existing	Proposed
	sq. ft.	sq. ft.		sq. ft.	sq. ft.
Plaza Area			Arcade Area		
Parking Area			Parking Spaces		
Loading Berths			Loading Berths		

20 Site Characteristics

Yes No
 Tidal / Fresh Water Wetlands
 Urban Renewal
 Fire District
 Flood Hazard Area

21 Demolition Details *Mechanical equipment other than handheld devices to be used for demolition or removal of debris (BC §3306.4).*

Yes No

21A Demo. filing is for a secondary structure? *If yes, specify structure being demolished:*

Mechanical means* from out of building? *If yes, mechanical means will demolish:* entire structure or part of structure

Mechanical means* from within building? *If yes, describe equipment proposed:*

21B Demolition work affects the exterior building envelope

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The scope of work requires related asbestos abatement as defined in the regulations of the NYC Department of Environmental Protection (DEP).

The scope of work does not require related asbestos abatement as defined in the regulations of the NYC DEP.

The scope of work is exempt from the asbestos requirement as defined in the regulations promulgated by the NYC DEP (15 RCNY 1-23(b)).

23 Sign

Purpose:	Type:	Estimated Cost: \$	23A Illuminated type: <input type="checkbox"/> Direct <input type="checkbox"/> Flashing <input type="checkbox"/> Indirect
<input type="checkbox"/> Advertising	<input type="checkbox"/> Illuminated 23A	Total Square Feet:	Yes No
<input type="checkbox"/> Non-Advertising	<input type="checkbox"/> Non-Illuminated	Height above Curb: ft. in.	<input type="checkbox"/> <input type="checkbox"/> If sign projects beyond building line, is owner billed for annual permit? <i>If no, specify in 26B</i>
Location: <input type="checkbox"/> Ground <input type="checkbox"/> Roof 23B <input type="checkbox"/> Wall	Height above Roof: ft. in.		23B <input type="checkbox"/> <input type="checkbox"/> Is roof sign tight, closed or solid?
Yes No			23C Sign wording. <i>If extensive, provide only key wording.</i>
<input type="checkbox"/> <input type="checkbox"/> Is sign inside building line? <i>If no, sign projects by:</i> ft. in.			23D Distance from Arterial Highway: ft.
<input type="checkbox"/> <input type="checkbox"/> Designed for changeable copy? <i>If no, 23C</i>			23E Distance from Park 1/2 acre or more: ft.
<input type="checkbox"/> <input type="checkbox"/> Does an OAC have an interest in this sign or location? <i>If yes, 23G</i>			23F OAC Sign Number:
<input type="checkbox"/> <input type="checkbox"/> Within 900' and within view of an arterial highway? <i>If yes, 23D</i>			23G OAC Registration Number:
<input type="checkbox"/> <input type="checkbox"/> Within 200' and within view of a park 1/2 acre or more? <i>If yes, 23E</i>			

If answer is "yes" to either of the above two questions and this is an advertising sign, OAC sign number is required in section 23F

24 Comments *Place additional comments on an A1-1 form. See Guide for proper incorporation of professional certification statements.*

25 Applicant's Statements and Signatures *Required for all applications.*

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a contractor or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Any contractor who knowingly or negligently made a false statement or knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the contractor, in violation of any of the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department of Buildings or the preparation of the construction documents and specifications herewith submitted and to the best of my knowledge and belief, the construction documents and specifications thereon comply with the provisions of the NYC Administrative Code and other applicable laws and rules, except as noted in the accompanying documents. I acknowledge that I have read and complied with all instructions pertaining to this application and all construction documents submitted. (If applicable) I hereby state that all specifications relating to this job are identical to those of the group lead job number, except as specified herein.

Yes No

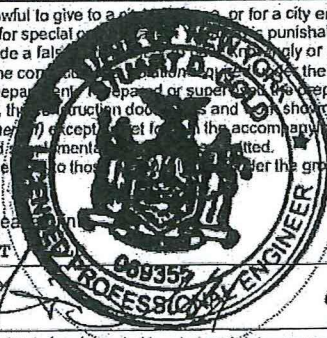
For initial New Building and Alteration 1 applications filed under the 2008 NYC Building Code only: does this building qualify for high-rise designation?

Directive 14 initial applications only: I certify that the construction documents submitted and all construction documents related to this application do not require a new or amended Certificate of Occupancy as there is no change in use, exits, or occupancy.

Name (please print) _____
STUART

Signature _____ Date 9/15/14

P.E. / R.A. Seal (apply seal, then sign and date over seal)



DOB Reference Number: T00001082471-000036
User Ref ID: 1403738TR

26 Property Owner's Statements and Signatures

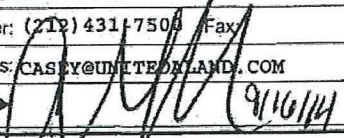
Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department. Furthermore, I understand that I am responsible for insuring that a final inspection be performed when the permitted work is complete, and that a satisfactory report of final inspection be submitted, along with all required submittal documents, so that the NYC Department of Buildings may issue a letter of completion or certificate of occupancy within the time prescribed by law.

I have authorized the applicant to file this application for the work specified herein and all future amendments. I will not knowingly authorize any work that is not in compliance with the New York City Energy Conservation Code (NYCECC).


Yes No

- Fee Deferred Request Statement**
I hereby request a fee deferral for the work proposed on this application and understand that all fees must be paid before issuance of any Certificate of Occupancy or job sign off.
- Fee Exemption Request Statement**
In accordance with §28-112.1 of the NYC Administrative Code I hereby state that the proposed work involves a building or property owned or used exclusively for the purposes indicated in such section.
- Owner's Certifications Regarding Occupied Housing**
The site of the building to be altered or demolished, or the site of the new building to be constructed, contains one or more occupied dwelling units that will remain occupied during construction. These occupied dwelling units have been clearly identified on the submitted construction documents.
- The site of the building to be altered or demolished, or the site of the new building to be constructed, contains occupied housing accommodations subject to rent control or rent stabilization under Chapters 3 and 4 of Title 26 of the New York City Administrative Code. If yes, select one of the following:
 - The owner is not required to notify the Division of Housing and Community Renewal (DHCR) of the owner's intention to file because the nature and scope of the work proposed, pursuant to DHCR regulations, does not require notification.
 - The owner has notified the Division of Housing and Community Renewal (DHCR) of its intention to file such construction documents/apply for such permit and has complied with all requirements imposed by the regulations of such agency as preconditions for such [filing/application].
Provide date DHCR notified:
- Owner's Certification for Adult Establishments**
I authorize and intend to create, enlarge, or extend an establishment with adult activity and/or adult material as defined in ZR §12-10 "adult establishment" or related sign at the subject premises.
- Owner's Certification for Directive 14 Applications (if applicable)**
I have read and am fully aware of the applicant's statement that the construction documents submitted and all construction documents related to this application will not require a new or amended Certificate of Occupancy as there is no change in use, exits, or occupancy. Furthermore, I understand that I am responsible for retaining a qualified design professional to perform a final inspection when the permitted work is complete and this professional must submit a satisfactory final inspection report to the NYC Department of Buildings within the time following inspection prescribed by Department rule.

Owner type: Individual DCAS HHC NYCHA
 Partnership DOE HPD NYS
 Corporation 26A Other Government
 Condo Unit Owner or Co-Op Tenant-shareholder 26A
 Is the owner a non-profit organization? Yes No

Name (please print): **ALBERT LABOZ**
 Relationship to Owner: **MEMBER**
 Business Name/Agency: **321 NEW CANAL, LLC**
 Street Address: **430 WEST BROADWAY**
 City: **NEW YORK** State: **NY** Zip: **11013**
 Telephone Number: **(212) 431-7500** Fax:
 E-Mail Address: **CASY@UNITEDLAND.COM**
 Signature and Date:  9/16/14

26A Condo/Co-Op Board or Corporation Second Officer

Name (please print):
 Title:
 Street Address:
 City: State: Zip:
 Telephone Number: Fax:
 E-Mail Address:
 Signature and Date* 

*Signature required for authorized representative of Condo or Co-Op board. Second officer signature not required for corporations.

26B Lessee Responsible for Annual Sign or Marquee Permit

Name (please print):
 Relationship to Owner:
 Business Name/Agency:
 Street Address:
 City: State: Zip:
 Telephone Number: Fax:
 E-Mail Address:

Internal Use Only	
Pre-Filer Name:	
Pre-Filer Signature:	Date:
Cost Estimate: \$	
Amount Due: \$	Verified by ▼ Date ▼
Initial Amount Paid: \$	
Balance Due: \$	
Stamps, Certifications and Notes:	

ENVIRONMENTAL REVIEW

Project number: DEPARTMENT OF CITY PLANNING / 77DCP244M

Project:

Date received: 6/3/2015

Comments: as indicated below. Properties that are individually LPC designated or in LPC historic districts require permits from the LPC Preservation department. Properties that are S/NR listed or S/NR eligible require consultation with SHPO if there are State or Federal permits or funding required as part of the action.

The applicant states that there will be no in-ground disturbance as a result of this action.

Properties with Architectural significance:

- 1) ADDRESS: 323 CANAL STREET, BBL: 1002300006, LPC FINDINGS: DESIGNATED LPC HISTORIC DISTRICT; PERMIT FROM THE LPC PRESERVATION DEPARTMENT REQUIRED, STATE/NATIONAL REGISTER FINDINGS: PROPERTY W/IN NATIONAL REGISTER HD
- 2) ADDRESS: 321 CANAL STREET, BBL: 1002300005, LPC FINDINGS: DESIGNATED LPC HISTORIC DISTRICT; PERMIT FROM THE LPC PRESERVATION DEPARTMENT REQUIRED, STATE/NATIONAL REGISTER FINDINGS: PROPERTY W/IN NATIONAL REGISTER HD

All work to take place as per LPC Certificates of Appropriateness 16-3167 and 16-3174, to be appended to the EAS.

Gina Santucci

6/5/2015

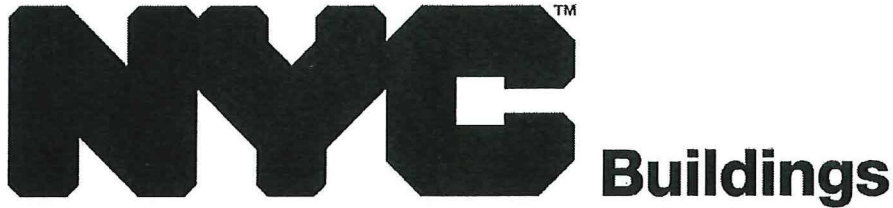
SIGNATURE

Gina Santucci, Environmental Review Coordinator

DATE

File Name: 30541_FSO_GS_06052015.doc

Appendix D



Work Permit Department of Buildings

Permit Number: 122022658-01-EW-OT

Issued: 01/08/2015

Expires: 09/22/2015

Address: MANHATTAN 321 CANAL STREET

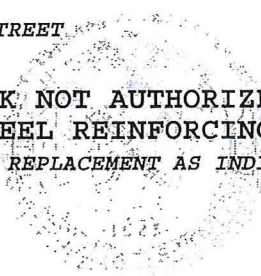
Issued to: MICHAEL BRESNICK

Business: E & S AND SONS CORP

Contractor No: GC-30505

Description of Work: CONCRETE WORK NOT AUTHORIZED - CONCRETE PLACEMENT, FORMWORK, STEEL REINFORCING NOT PERMITTED.

ALTERATION TYPE 2 - FACADE FACADE REPLACEMENT AS INDICATED ON PLANS FILED HEREWITH. NO CHANGE IN USE, EGRESS OR OCCUPANCY.



Review is requested under Building Code: 1968

SITE FILL: NOT APPLICABLE

To see a Zoning Diagram (ZD1) or to challenge a zoning approval filed as part of a New Building application or Alteration application filed after 7/13/2009, please use "My Community" on the Buildings Department web site at www.nyc.gov/buildings.

Emergency Telephone Day or Night: 311

Borough Commissioner:

Commissioner of Buildings:

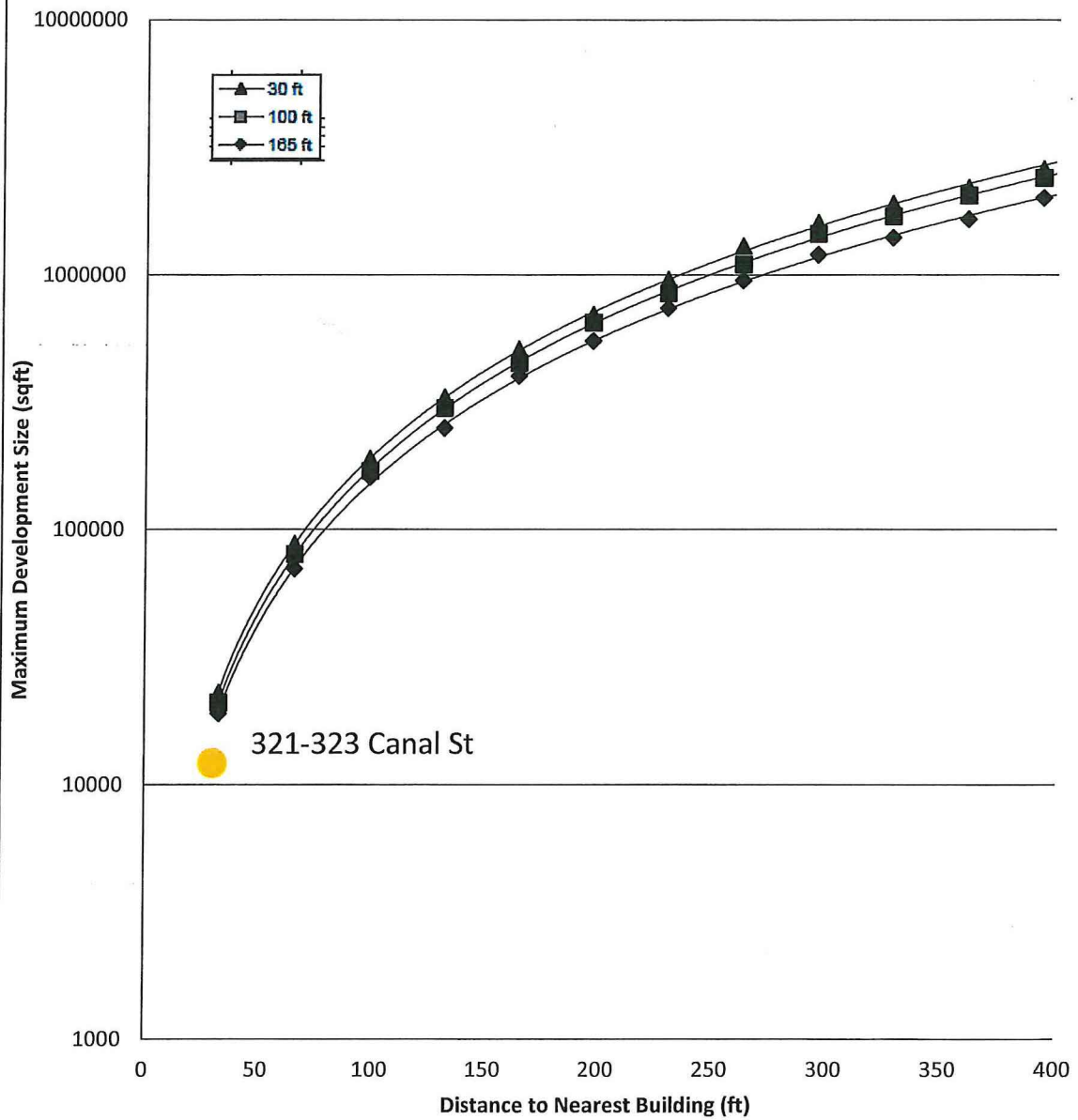
Tampering with or knowingly making a false entry in or falsely altering this permit is a crime that is punishable by a fine, imprisonment or both.

01 08/14/2015

Attachment 8

Air Quality

Nitrogen Oxides Boiler Screen for Residential Development Natural Gas Fig 17-7



From: Kelpin, Gerry <Gerryk@dep.nyc.gov>
To: 'eceaethan@aol.com' <eceaethan@aol.com>
Subject: RE: Potential Industrial sources in Canal Street area
Date: Fri, Apr 24, 2015 5:26 pm

All the addresses have been checked and no industrial emission permits were found.

From: eceaethan@aol.com [<mailto:eceaethan@aol.com>]
Sent: Friday, April 24, 2015 1:37 PM
To: Kelpin, Gerry; Kelpin, Gerry
Cc: eceaethan@aol.com
Subject: Potential Industrial sources in Canal Street area

Hi Gerry, The addresses listed below are for buildings identified as industrial on the DCP land use map. The locations are all within the 400' study radius of the subject projects at 321 & 323 Canal Street in Manhattan.

The addresses are as follows:

313 Church St.
315 Church St.
34 Walker St.
36 Walker St.
36 Lispenard St.
38 Lispenard St.
40 Lispenard St.
56 Lispenard St.
21 mercer St.
29 Mercer St.
91-93 Grand St.
95 Grand St.
6 Greene St.
10 Greene St.
14-16 Wooster St.
18 Wooster St.

The buildings are in the SoHo Cast Iron Historic district and Tribeca. No emission sources were in evidence and the buildings appear to be either converted to residential and office uses, many with ground floor retail.

Please advise if you have any records of existing industrial emission permits for these locations.

Many thanks, Ethan Eldon.

eceaethan@aol.com

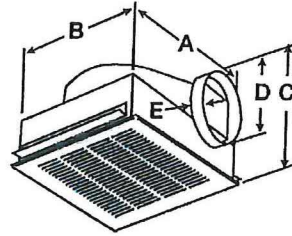
Model SP-B and SP-C Deluxe and Standard Ceiling Fan



Model SP-B Dimensions

Model	A	B	C*	D	E	Designer Grille	Decorative Grille	Unit Weight
50, 70 & 80	13 3/8 (352)	11 1/4 (292)	7 (179)	6 (152)	1 1/4 (32)	14 1/8 x 13 1/4 (378 x 337)	15 1/4 (387) sq.	9 (4)
90, 110, 150, 200	13 3/8 (352)	11 1/4 (292)	7 (179)	6 (152)	1 1/4 (32)			10 (5)

All dimensions are in inches (millimeters) and weight in pounds (kilograms). *Add 1 1/2 in. (38 mm) to C dimension for incandescent light. Mounting bracket width is 1 1/2 in. (38 mm). For complete dimensional information, see CAPS submittal drawings.



*Note: Amp draw is approximate and may vary based on motor manufacturer.

Model	Energy Star	RPM	Amps*	Watts	CFM / Static Pressure in Inches wg											
					0	0.1	0.125	0.25	0.375	0.5	0.625	0.75	0.875	1		
SP-B50 _{2,3,5}	★	625	0.50	37.8	CFM	67	54	51	40	29						
					Sones	1.2	1.4	1.4	2.0	3.0						
SP-B70 _{2,3,5}	★	675	0.53	45.1	CFM	77	71	68	57	49	39					
					Sones	1.2	1.4	1.4	2.0	2.5	3.0					
SP-B80 _{2,3,5}	★	900	0.60	54.3	CFM	87	80	78	68	61	54	44	30			
					Sones	2.0	2.0	2.5	2.5	3.0	3.5	4.5	4.5			
SP-B90 _{2,3,4,5}	★	700	0.65	49.7	CFM	101	89	88	75	59	45	30				
					Sones	1.5	2.0	2.0	2.5	3.0	3.5	4.0				
SP-B110 _{2,3,4,5,6}	★	950	1.14	80.2	CFM	133	114	110	97	95	94	91	85	72	50	
					Sones	1.5	1.5	1.5	2.0	2.0	3.0	3.5	4.0	4.5		
SP-B150 _{2,3,4,5,6}	★	1050	1.70	128	CFM	160	156	155	154	152	149	147	138	123	92	
					Sones	2.5	2.5	2.5	3.0	3.5	3.5	4.0	4.5	4.5	5.0	
SP-B200 _{3,4,5,6}	★	1100	2.20	172	CFM	197	195	194	191	187	184	181	166	151	128	
					Sones	3.5	4.0	4.0	4.5	4.5	5.0	5.0	5.5	5.5	5.5	

2 Available with light

3 Available with CRD - Ceiling Radiation Damper

4 Also available with 50 Hz motors (See page 20 for performance)

5 UL Listed for use above tubs.

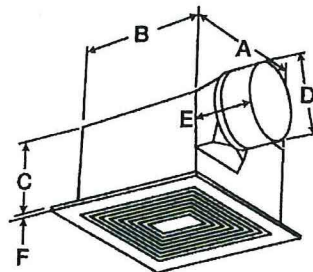
6 Available with 277 volt motor.

Performance certified is for model SP exhaust for installation type B: Free Inlet, Ducted outlet. Performance ratings include the effects of an inlet grille and backdraft damper. Speed (rpm) shown is nominal. Performance is based on actual speed of test. The sound ratings shown are loudness values in spherical fan sones at 5 ft (1.5m) in a spherical free field calculated per Annex B of AMCA 311. Values shown are for installation type B: free Inlet spherical fan sone levels.

Model SP-C Dimensions

Model	A	B	C	D	E	F	Decorative Grille	Unit Weight
50	7 1/2 (191)	7 1/2 (191)	3 3/8 (92)	3 (76)	1 1/4 (41)	1/2 (13)	9 1/4 x 9 (235 x 229)	5 (2)

All dimensions are in inches (millimeters) and weight in pounds (kilograms). For complete dimensional information, see CAPS submittal drawings.



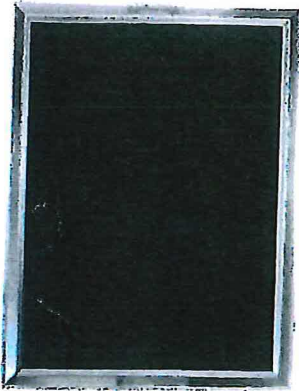
*Note: Amp draw is approximate and may vary based on motor manufacturer.

Model	RPM	Amps*	Watts	CFM / Static Pressure in Inches wg							
				0	0.1	0.125	0.25	0.375	0.5	0.625	
SP-C50	1680	0.80	46	CFM	52	49	49	47	44	38	29
				Sones	3.0	3.0	3.0	3.0	3.5	4.0	4.0

Performance certified is for model SP exhaust for installation type B: Free inlet, Ducted outlet. Performance ratings include the effects of an inlet grille and backdraft damper. Speed (rpm) shown is nominal. Performance is based on actual speed of test. The sound ratings shown are loudness values in spherical fan sones at 5 ft (1.5m) in a spherical free field calculated per Annex B of AMCA 311. Values shown are for installation type B: free Inlet spherical fan sone levels.

3320 Series Commercial Fan Forced Wall Heater

40



Manufactured in U.S.A.

Features

- Disconnect switch.
- Automatic fan delay circuit.
- Powder coated 18 gauge steel grill with extruded Aluminum front frame.
- Automatic reset thermal limit.
- Steel block fin element.
- Vane axial fan blade:
 - 600 RPM motor; 175 CFM
- Rough-in dimensions:
 - 14-3/16" Wide x 19-7/16" High x 4" Deep
- Grill dimensions:
 - 15-29/32" Wide x 20-27/32" High



Product Specifications

Furnish and install Heavy-Duty Forced Air wall heaters, where specified. The heaters shall be constructed of a heavy 18 gauge steel housing with an extruded Aluminum frame. The rough-in dimensions are 19-7/16" High x 14-3/16" Wide x 4" Deep. The units shall be available in ratings from 750 to 4800 Watts at 240, 208, and 277 Volts. The heaters shall have a low-speed 600 RPM, 4-pole motor which drives a vane axial blower to deliver a quiet 175 CFM of down flow air. The heating element shall be of the sealed tubular type with large, parallel steel fins for quick heat transfer. Unit shall have as a standard, a thermal overload cut-off for added safety, fan delay switch and built-in tamper proof thermostat which shall be calibrated to provide a range of 55°F. to 85°F. and manual disconnect switch.

Optional accessories shall include a surface and semi-recess mounting adapter. All heaters shall be listed by ETL. The heating element shall be supplied with a manufactures 1-year limited warranty.

Standard Models

UPC#	MODEL	WATTS	BTU's	VOLTS	AMPS	WT. LBS.
686334	IN-BUILT SINGLE POLE TAMPERPROOF THERMOSTAT (50° - 90° TEMPERATURE RANGE) FOR DOUBLE POLE THERMOSTAT REPL. ACCE. "T" IN MODEL NUMBER WITH "T2"					
382052	E3321TD-RP	750	2560	120	6.25	26
381994	E3322TD-RP	1000	3413		8.3	
380881	E3323TD-RP	1500	5120		12.5	
380935	F3326TD-RP	4000	13800	208	19.2	29
381024	F3327TD-RP	4800	16560		23	
380942	HF3323TD-RP	1500 / 1125	5120 / 3840	240 / 208	6.2 / 5.4	27
380959	HF3324TD-RP	2000 / 1500	6284 / 5120		8.3 / 7.2	
380966	HF3325TD-RP	3000 / 2250	10350 / 7763		12.5 / 10.8	
380973	HF3326TD-RP	4000 / 3000	13800 / 10350	240	16.7 / 14.4	29
381031	H3327TD-RP	4800	16560		20	
380980	G3323TD-RP	1500	5120	277	4.1	26
380997	G3324TD-RP	2000	6284		7.2	27
381000	G3325TD-RP	3000	10350		10.8	29
381017	G3326TD-RP	4000	13800	14.4		
381048	G3327TD-RP	4800	16560	17.3		
398077	J3326TD-RP	4000	13800	208	11.11	30
398084	J3327TD-RP	4800	16560		13.33	
398091	K3326TD-RP	4000	13800	240	9.64	30
398107	K3327TD-RP	4800	16560		11.57	
International Models						
396424	M3324TD-RP	3360/1680	11468/5734	220	15.3/7.64	27
396437	M3325TD-RP	4032/2016	13761/6881		18.3/9.16	

Accessories

UPC	MODEL	DESCRIPTION	TYPE	WT. lbs.
686334				
377850	BOX 3310	Additional Rough-in Box		3
378451	3320EX33	4" Surface Mounting Frame	Field Installed	1
382939	3320EX16	2" semi recess extender		1
—	Suffix - HD	16 Gauge Steel Heavy Duty Grill	Factory Installed	2

4400 Series Low Profile Commercial Fan Forced Wall Heater - With Wall Box



Manufactured in U.S.A.



- Powder coated 20 gauge steel front with extruded Aluminum frame.
- Manual reset thermal limit.
- Finned tubular steel element.

- Propeller style fan blade - 2200 RPM/70 CFM
- Weight 9 lbs.
- Rough in dimensions:
 - 14-1/2" Wide x 7-1/8" High x 3-1/2" Deep
- Grill dimensions: 16-7/8" Wide x 8" High
- Unit not approved for ceiling mount applications.
- Unit can be positioned to allow left, right or top discharge.

Standard Models

UPC	MODEL	VOLTS	WATTS	MAX BTU'S	AMPS
686334	DOUBLE POLE IN-BUILT THERMOSTAT (RANGE 50° - 90° F)				
328326	F4420T2RP	208	2000	6826	9.6
328333	HF4475T2RP	240/208	750 / 562	2560 / 1920	3.1 / 2.7
328340	HF4410T2RP		1000 / 750	3413 / 2580	4.2 / 3.6
328357	HF4415T2RP		1500 / 1125	5120 / 3840	6.3 / 5.4
328364	HF4420T2RP		2000 / 1500	6826 / 5120	8.3 / 7.2
SINGLE POLE IN-BUILT THERMOSTAT (RANGE 50° - 90° F)					
328371	E4475TRP	120	750	2560	6.25
328388	E4410TRP		1000	3413	8.33
328395	E4415TRP		1500	5120	12.5
328401	F4420TRP		2000	6826	9.6

Accessories

UPC	MODEL	DESCRIPTION	WT. LBS.
686334			
329910	4400EX8	1" SEMI RECESSING EXTENDER	2
329903	4400EX16	2" SEMI RECESSING EXTENDER	3
329897	4400EX32	4" SURFACE MOUNTING FRAME	4
328449	4300PB	WALL PLATE ADAPTOR (OD 21.5"x12.25")	1



Submittal Data Sheet

Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Performance

Indoor Unit Model No: _____ Non-Ducted
 Outdoor Unit Model No: _____ 3MXS24JVJU
 Cooling Capacity (Btu/hr): _____ 24000
 Sensible Capacity (Btu/hr): _____ 0
 Cooling Input Power (kW): _____
 Cooling EER (Btu/hr / kW): _____ 12.5
 SEER: _____ 16.6
 Heating Capacity (Btu/hr): _____ 30000
 Heating Input Power (kW): _____
 Heating COP (Btu/hr / Btu/hr): _____ 3.2
 HSPF: _____ 9.0

Indoor Unit Type: _____
 Condensing Unit Type: _____ 3 Zone Multi Heat Pump
 Cooling Nominal Conditions: _____
 Indoor: 80°F DB/67°F WB
 Outdoor: 95°F DB/75°F WB
 Water Cooled:
 Heating Nominal Conditions: _____
 Indoor: 47°F DB/43°F WB
 Outdoor: 47°F DB/43°F WB
 Water Cooled:
 Nominal Piping Length: _____ 25
 Nominal Height Separation: _____ 0
 Nominal Water Flow Rate: _____

Indoor Unit Details

Power Supply (V/Hz/Ph): _____ N/A
 Power Supply Connections: _____
 Min. Circuit Amps MCA (A): _____
 Max. Fusible Amps MFA (A): _____
 Dimensions (HxWxD): _____ N/A
 Panel (HxWxD): _____ N/A
 Net Weight (lbs): _____
 Weight with Panel (lbs): _____

Airflow Rate (CFM wet coil): _____ N/A
 Moisture Removal (pt/h): _____
 Gas Pipe Connection (inch): _____
 Liquid Pipe Connection (inch): _____
 Condensate Connection (inch): _____
 Sound Pressure Level (dBA): _____
 Sound Power Level (dBA): _____
 Nominal External Static Pressure (inH2O): _____
 Max Ext Static Pressure (inH2O): _____

Condensing Unit Details

Power Supply (V/Hz/Ph): _____ 208-230/60/1ph
 Power Supply Connections: _____ L1, L2, Ground
 Min. Circuit Amps MCA (A): _____ 17.8
 Max. Fusible Amps MFA (A): _____ 20
 Max. Starting Current MSC(A): _____ 12
 Rated Load Amps RLA (A): _____ 10.4
 Total Overcurrent Amps (A): _____
 Dimensions (HxWxD): _____ 30-5/16x35-7/16x12-5/8
 Net Weight (lbs): _____ 168
 Compressor Type: _____ Inverter
 Capacity Control Range (%): _____
 Capacity Index Limit: _____

Airflow Rate (CFM): _____ 2062
 Gas Pipe Connection (inch): _____ data book
 Liquid Pipe Connection (inch): _____ 1/4 x3
 H/L Pressure Connection (inch): _____
 H/L Equalizing Connection (inch): _____
 Water Inlet Connection (inch FPT): _____
 Water Outlet Connection (inch FPT): _____
 Condensate Drain Outlet (inch FPS): _____
 Sound Pressure Level (dBA): _____ 52
 Sound Power Level (dBA): _____
 Unit Heat Rejection (kW): _____
 Max. No. of Indoor Units: _____ 3

System Details

Refrigerant Type: _____ R-410A
 Holding Refrigerant Charge (lbs): _____ 6.83
 Additional Charge (oz/ft): _____ 0.22
 Pre-charge Piping (Length ft): _____ 131.6 ft
 Max. Pipe Length (Total ft): _____ 230/82 ft
 Max. Pipe Length (Vertical ft): _____ 49.2 ft

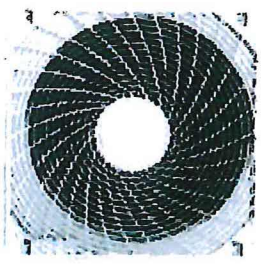
Cooling Operation Range (°F): _____ 14 - 115
 Cooling Range w/Baffle (°F): _____ 14 - 115
 Heating Operation Range (°F): _____ 5 - 72
 Heating Range w/Baffle (°F): _____ 5 - 72
 Cooling Inlet Water Temp (°F): _____
 Heating Inlet Water Temp (°F): _____
 Water Flow Range (GPM): _____



Submittal Data Sheet

Project Name: _____
Location: _____
Engineer: _____
Submitted to: _____
Submitted by: _____
Reference: _____

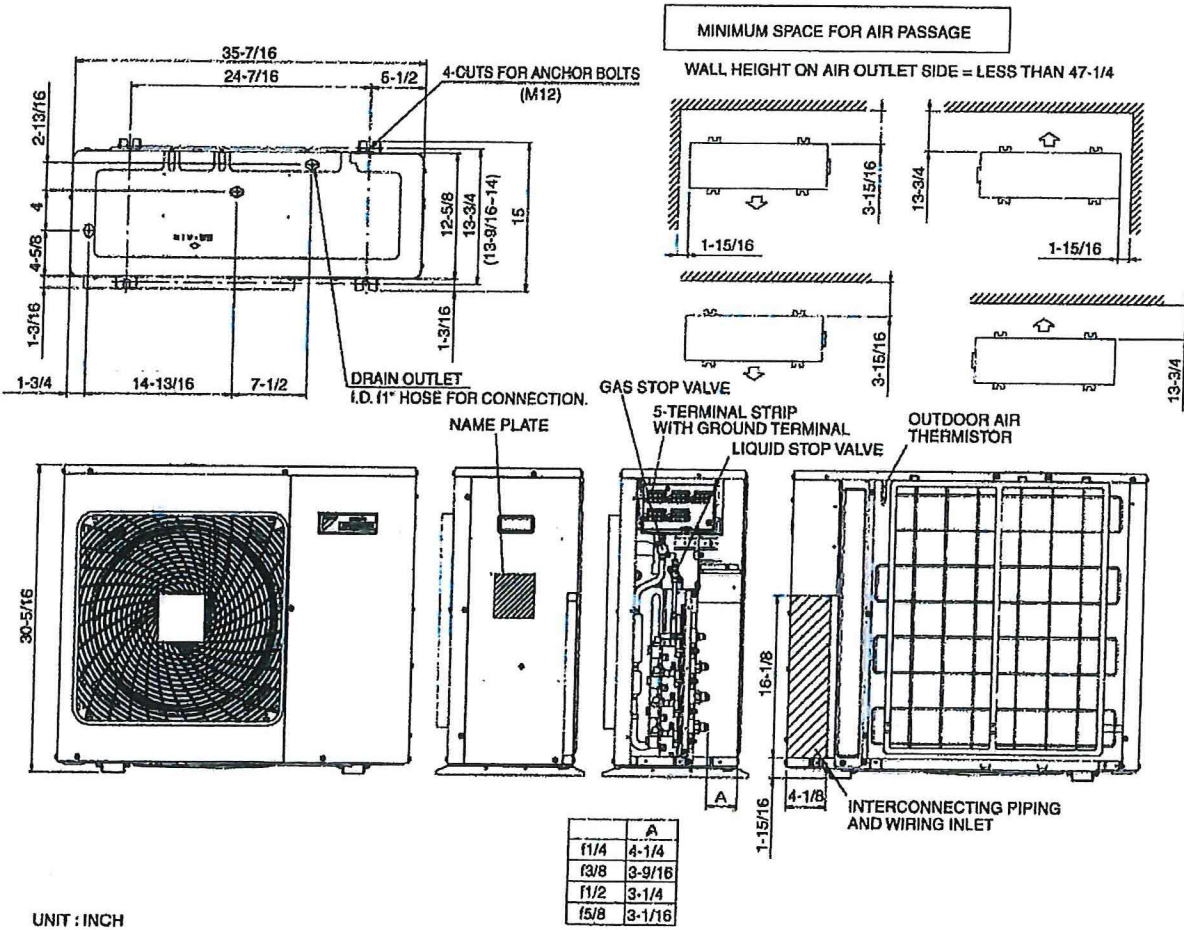
Approval: _____
Date: _____
Construction: _____
Unit #: _____
Drawing #: _____



Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Dimensional Drawing - Condensing Unit





Submittal Data Sheet

Project Name: _____
Location: _____
Engineer: _____
Submitted to: _____
Submitted by: _____
Reference: _____

Approval: _____
Date: _____
Construction: _____
Unit #: _____
Drawing #: _____

Notes

Std U.S. Warranty: 7yrs Compressor, 5yrs Parts, 1yr Limited Labor



Submittal Data Sheet

Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Performance

Outdoor Unit Model No:	RXYMQ36PVJU
Type:	Non-Ducted
Rated Cooling Capacity (Btu/hr):	36000
Nom Cooling Capacity (Btu/hr):	36000
Cooling Input Power (kW):	3.05
SEER:	14.9
IEER:	
Rated Heating Capacity (Btu/hr):	40000
Nom Heating Capacity (Btu/hr):	42000
Heating Input Power (kW):	3.27
Heating COP (Btu/hr / Btu/hr):	2.8
HSPF:	7.9
Heating COP 17F (Btu/hr / Btu/hr):	

Condensing Unit Type:	VRV-III-S Heat Pump
Unit Combination:	
Rated Cooling Conditions	Indoor: 80°F DB/67°F WB Outdoor: 95°F DB/75°F WB
Rated Heating Conditions	Indoor: 70°F DB/60°F WB Outdoor: 47°F DB/43°F WB
Rated Piping Length (ft)	25 / 25
Rated Height Difference (ft)	0

Condensing Unit Details

Power Supply (V/Hz/Ph):	208-230/60/1ph
Power Supply Connections:	L1, L2, Ground
Min. Circuit Amps MCA (A):	27
Max. Overcurrent Protection (MOP)(A):	30
Max. Starting Current MSC(A):	-
Rated Load Amps RLA (A):	17.6
Dimensions Height (Inch):	52-15/16
Dimensions Width (Inch):	35-7/16
Dimensions Depth (Inch):	12-5/8
Net Weight (lbs):	283

Compressor Type:	Inverter
Capacity Control Range (%):	29 - 100
Capacity Index Limit:	18 - 46.8 (130%)
Airflow Rate (CFM):	3740
Gas Pipe Connection (inch):	5/8
Liquid Pipe Connection (inch):	3/8
H/L Pressure Connection (inch):	
H/L Equalizing Connection (inch):	
Sound Pressure Level (dBA):	58
Sound Power Level (dBA):	70.1c / 57.1h
Max. No. of Indoor Units:	6

System Details

Refrigerant Type:	R-410A
Holding Refrigerant Charge (lbs):	8.8
Additional Charge (lbs/ft):	install data
Pre-charge Piping (Length ft):	-
Max. Pipe Length (Total ft):	492 ft
Max. Pipe Length (Vertical ft):	164 ft / 130 ft
Max Height Separation (Ind to Ind ft):	49 ft

Cooling Operation Range (°F):	23 - 115
Cooling Range w/Baffle (°F):	
Heating Operation Range (°F):	0 - 77 / (-4) - 60
Heating Range w/Baffle (°F):	

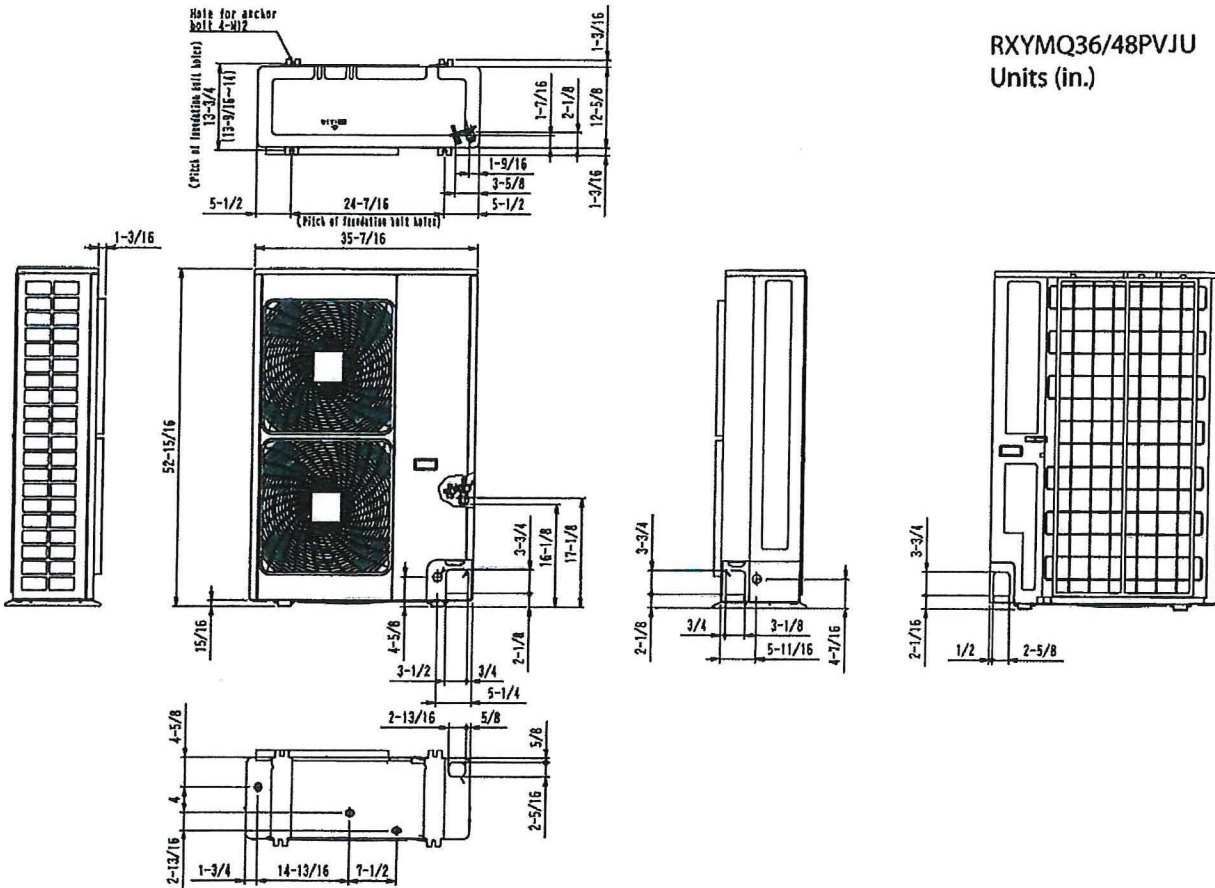
Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Dimensional Drawing - Condensing Unit

RXYMQ36PVJU

RXYMQ36/48PVJU
Units (in.)



Submittal Data Sheet

Project Name: _____
Location: _____
Engineer: _____
Submitted to: _____
Submitted by: _____
Reference: _____

Approval: _____
Date: _____
Construction: _____
Unit #: _____
Drawing #: _____



RXYMQ36PVJU
Std U.S. Warranty: 7yrs Compressor, 1yrs Parts



Submittal Data Sheet

Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Performance

Indoor Unit Model No:	CTXS09HVJU
Cooling Capacity (Btu/hr):	8500
Sensible Capacity (Btu/hr):	0
Cooling Input Power (kW):	0.04
Heating Capacity (Btu/hr):	10000
Heating Input Power (kW):	0.045
Nominal Ext Static Pressure (inH2O):	0
Max Ext Static Pressure (inH2O):	0

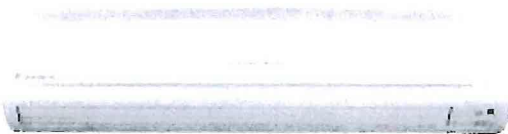
Indoor Unit Type:	Wall Mounted (for Multi)
Cooling Nominal Conditions	Indoor: 80°F DB/67°F WB
	Outdoor: 95°F DB/75°F WB
Heating Nominal Conditions	Indoor: 70°F DB/60°F WB
	Outdoor: 47°F DB/43°F WB
Nominal Piping Length	25
Nominal Height Separation	0

Indoor Unit Details

Power Supply (V/Hz/Ph):	208-230/60/1ph
Power Supply Connections:	L1, L2, Ground
Min. Circuit Amps MCA (A):	data book
Max. Fusible Amps MFA (A):	data book
Dimensions (HxWxD):	11-7/16x31-5/16x9-3/8
Panel (HxWxD):	N/A
Net Weight (lbs):	20
Weight with Panel (lbs):	

Airflow Rate (CFM wet coil)	388/335/283
Moisture Removal (pt/h):	
Gas Pipe Connection (inch):	3/8
Liquid Pipe Connection (inch):	1/4
Condensate Connection (inch):	11/16
Sound Pressure Level (dBA):	44
Sound Power Level (dBA):	

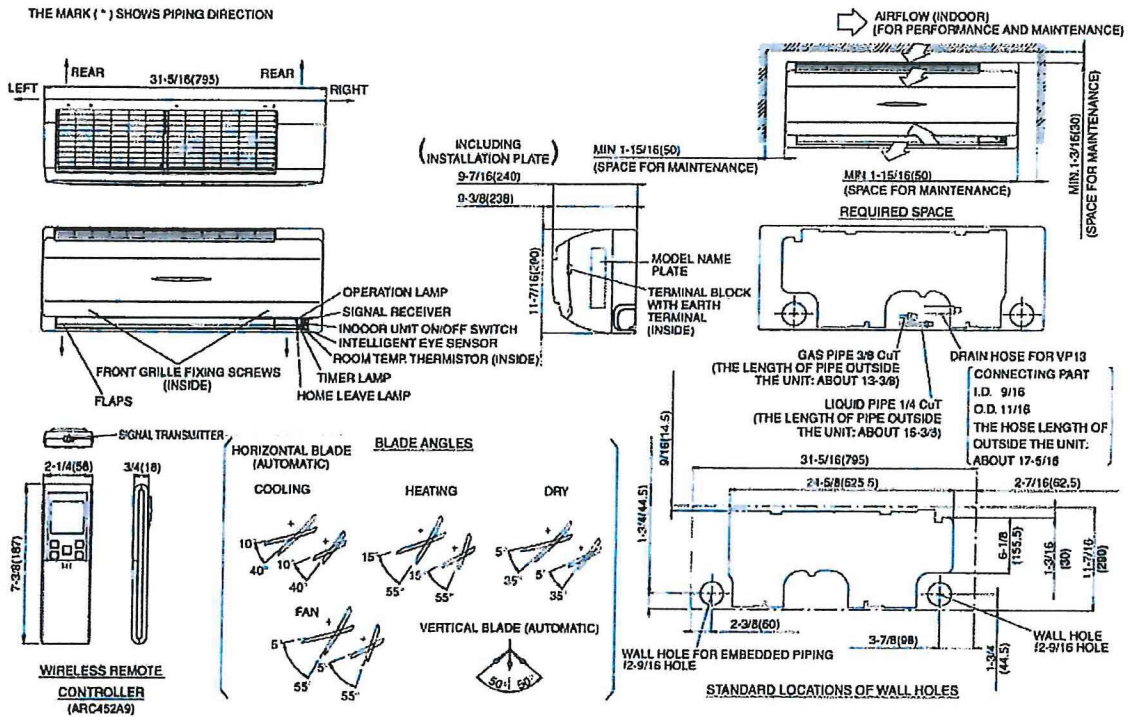
Appearance - Indoor Unit



Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Dimensional Drawing - Indoor Unit





Submittal Data Sheet

Project Name: _____
Location: _____
Engineer: _____
Submitted to: _____
Submitted by: _____
Reference: _____

Approval: _____
Date: _____
Construction: _____
Unit #: _____
Drawing #: _____

Notes

Includes Intelligent Eye occupancy sensor: Options include Wired Remote Controller, Std U.S. Warranty: 5yrs Parts, 1yr Limited Labor



Submittal Data Sheet

Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Performance

Indoor Unit Model No: FTXS18LVJU
 Outdoor Unit Model No: _____
 Rated Cooling Capacity (Btu/hr): 18000
 Sensible Capacity (Btu/hr): 14790
 Max/Min Cooling Capacity (Btu/hr / kW): .itabook/databook
 Cooling Input Power (kW): _____
 SEER: data book
 Rated Heating Capacity (Btu/hr): 21600
 Max/Min Heating Capacity (Btu/hr / kW): .tabook/databook
 Heating Input Power (kW): _____
 Heating COP (Btu/hr / Btu/hr): data book
 HSPF: data book

Indoor Unit Type: _____
 Condensing Unit Type: Wall Mounted
 Rated Cooling Conditions: Indoor: 80°F DB/67°F WB
 Outdoor: 95°F DB/75°F WB
 Rated Heating Conditions: Indoor: 70°F DB/60°F WB
 Outdoor: 47°F DB/43°F WB
 Rated Piping Length(ft): 25
 Rated Height Separation(ft): 0

Indoor Unit Details

Power Supply (V/Hz/Ph): 208-230/60/1ph
 Power Supply Connections: L1, L2, Ground
 Min Circuit Amps MCA (A): data book
 Max Overcurrent Amps MFA (A): data book
 Dimensions (HxWxD): 13x45-11/16x16-7/8
 Panel (HxWxD): N/A
 Net Weight (lbs): 31
 Weight with Panel (lbs): _____

Airflow Rate (CFM wet coil): 583/484/360
 Moisture Removal (pt/h): 1
 Gas Pipe Connection (inch): 1/2
 Liquid Pipe Connection (inch): 1/4
 Condensate Connection (inch): 5/8
 Sound Pressure Level (dBA): 45
 Sound Power Level (dBA): _____
 Static Pressure Rated/Max (inWg): 0/0

Condensing Unit Details

Power Supply (V/Hz/Ph): _____
 Power Supply Connections: _____
 Min. Circuit Amps MCA (A): _____
 Max. Overcurrent Amps MFA (A): _____
 Max. Starting Current MSC(A): data book
 Rated Load Amps RLA (A): data book
 Dimensions (HxWxD): 28-15/16x32-1/2x11-13/16
 Net Weight (lbs): _____

Compressor Type: Inverter
 Capacity Control Range (%): _____
 Airflow Rate (CFM): 1780
 Gas Pipe Connection (inch): _____
 Liquid Pipe Connection (inch): _____
 Sound Pressure Level (dBA): _____
 Sound Power Level (dBA): _____

System Details

Refrigerant Type: R-410A
 Holding Refrigerant Charge (lbs): -
 Additional Charge (oz/ft): -
 Pre-charge Piping (Length ft): -
 Max. Pipe Length (Total ft): data book

Max. Pipe Length (Vertical ft): data book
 Cooling Operation Range (°F): 14 - 115
 Cooling Range w/Baffle (°F): _____
 Heating Operation Range (°F): 5 - 64
 Heating Range w/Baffle (°F): _____

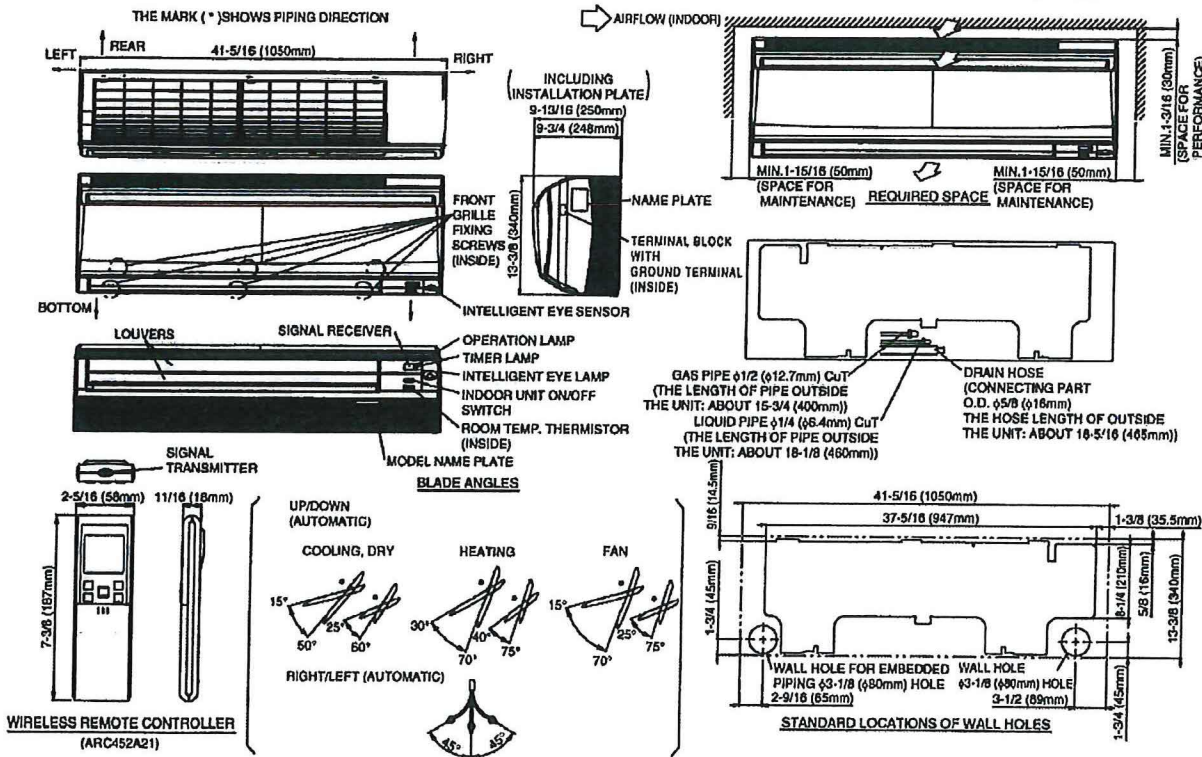
Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

Dimensional Drawing - Indoor Unit

FTXS18LVJU

FTXS15,18_LVJU



Submittal Data Sheet

Project Name: _____
 Location: _____
 Engineer: _____
 Submitted to: _____
 Submitted by: _____
 Reference: _____

Approval: _____
 Date: _____
 Construction: _____
 Unit #: _____
 Drawing #: _____

FTXS18LVJU



FTXS18LVJU

Options include Wind Baffle, Wired Remote Controller, Mounting Bracket, Std U.S. Warranty: 7yrs Compressor, 5yrs Parts

Options include Wind Baffle, Wired Remote Controller, Mounting Bracket, Std U.S. Warranty: 7yrs Compressor, 5yrs Parts

Attachment 8

Photographs

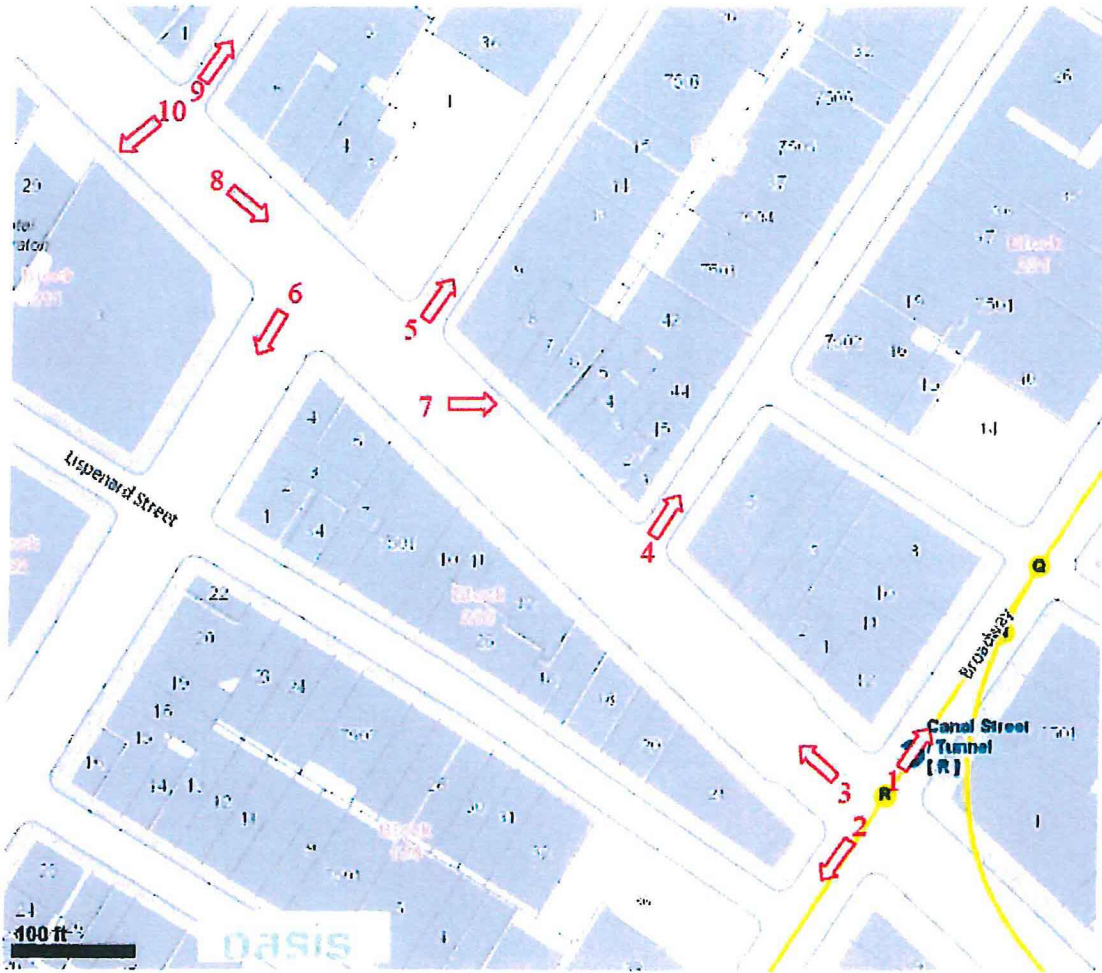


Photo Index



1. View North on Broadway from Canal Street



2. View South on Broadway from Canal Street.



3. View West on Canal Street from corner of Broadway (project site has Green Street bridge).



4. View North on Mercer Street from corner of Canal Street.



5. View North on Wooster Street from Canal Street.



6. View South of Church Street from North side of Canal Street.



7. View East on Canal Street toward Mercer Street (project site has a street bridge in front).



8. View East on Canal Street at the corner of Greene Street.

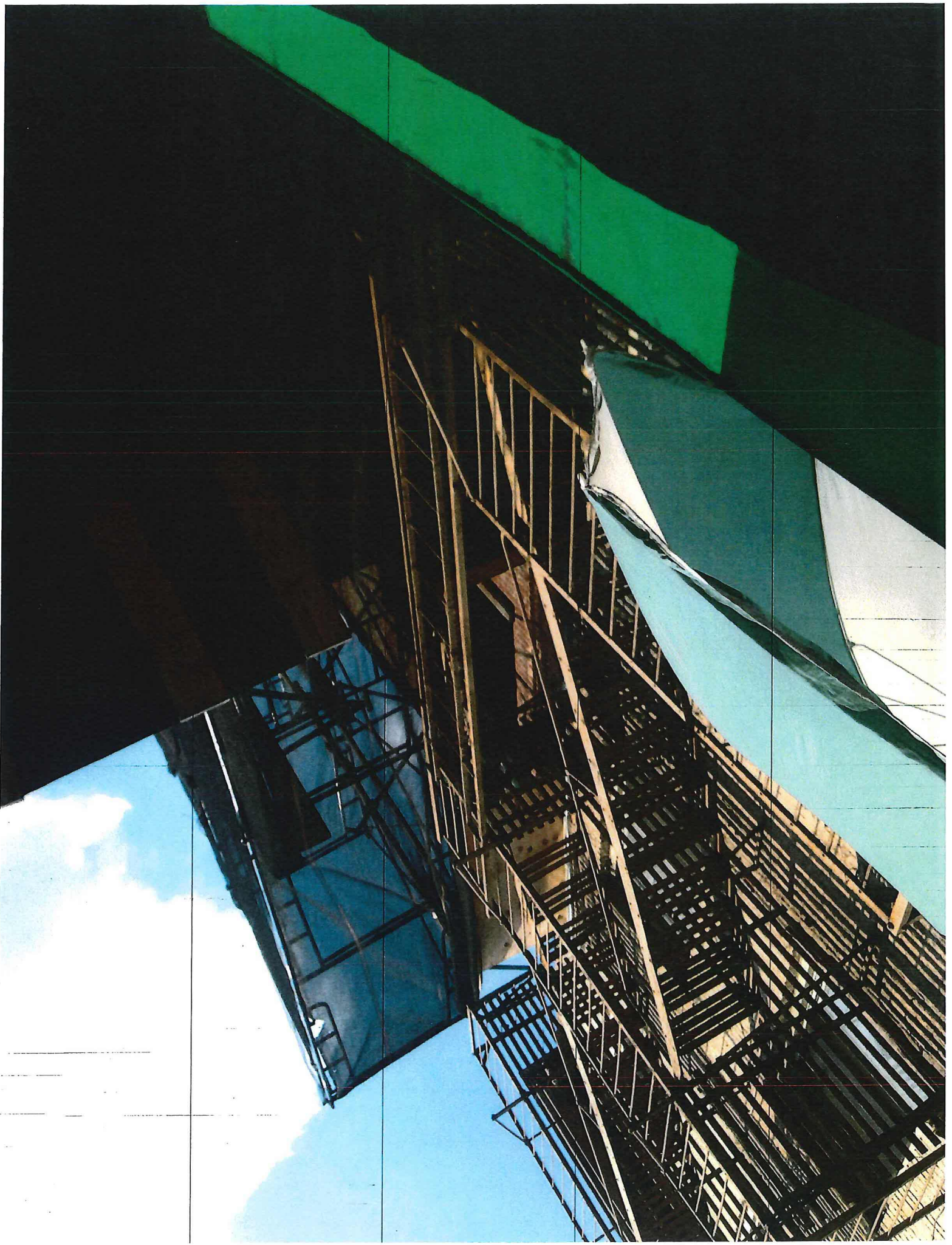


9. View Wooster Street from Canal Street



10. View South across Canal Street from corner of Wooster Street





Attachment 9

Noise Data

Introduction and Product Performance

STC and OITC Class Values

Marvin Sound Transmission Class and Outdoor - Indoor Transmission Class Values						
Product Type	Exterior Glazing	Airspace	Interior Glazing	STC	OITC	Additional Information
Ultimate Double Hung						
WUDH 3026	1/8" (3) Annealed	7/16" (11)	1/8" (3) Annealed	35	26	3/32" (2) Wood Storm Comb
WUDH 3026	3/16" (5) Annealed	3/8" (10)	1/8" (3) Annealed	36	27	3/32" (2) Wood Storm Comb
WUDH 3026	5/32" (4) Annealed	3/8" (10)	1/4" (6) Lami	37	28	3/32" (2) Wood Storm Comb
WUDHP 6878	1/4" (6) Annealed	9/16" (14)	1/4" (6) Lami	34	28	2" (51) Sash
CUDH 3026	1/8" (3) Annealed	7/16" (11)	1/8" (3) Annealed	28	23	
CUDH 3026	1/4" (6) Lami	1/4" (6)	3/16" (5) Annealed	34	30	
CUDH 3026	7/32" (6) Lami	9/32" (7)	7/32" (6) Lami	34	29	
CUDH 3026	3/16" (5) Annealed	3/8" (10)	1/8" (3) Annealed	33	28	
CUDH 3026	1/8" (3) Annealed	7/16" (11)	1/8" (3) Annealed	38	29	1/8" (3) Clad Storm Comb
CUDH 3026	1/4" (6) Lami	1/4" (6)	3/16" (5) Annealed	42	31	1/8" (3) Clad Storm Comb
CUDH 3026	7/32" (6) Lami	9/32" (7)	7/32" (6) Lami	42	31	1/8" (3) Clad Storm Comb
CUDH 3026	3/16" (5) Annealed	3/8" (10)	1/8" (3) Annealed	40	30	1/8" (3) Clad Storm Comb
CUDHP 6878	1/4" (6) Annealed	9/16" (14)	1/4" (6) Lami	34	28	
Ultimate Double Hung Magnum						
CUDHM FS 48" (1219) X 60" (1524)	1/4" (6) LAMI	3/8" (10)	1/4" (6) LAMI	33	28	
CUDHM FS 48" (1219) X 60" (1524)	1/4" (6) LAMI	5/16" (8)	5/16" (8) LAMI	34	29	
CUDHM FS 48" (1219) X 60" (1524)	1/8" (3) Annealed	1/4" (6)	1/8" (3) Annealed	28	24	Tri-pane: 2 air spaces, 1/4" air space, 1/8" glass
WUDHM FS 48" (1219) X 60" (1524)	1/4" (6) LAMI	3/8" (10)	1/4" (6) LAMI	33	27	
WUDHM FS 48" (1219) X 60" (1524)	1/4" (6) LAMI	5/16" (8)	5/16" (8) LAMI	34	29	
WUDHM FS 48" (1219) X 60" (1524)	1/8" (3) Annealed	1/4" (6)	1/8" (3) Annealed	28	24	Tri-pane: 2 air spaces, 1/4" air space, 1/8" glass
Ultimate Casement						
Values for wood and clad product UCA, UCART, UPCA, UCAP, UCARTP, UPCAP						
UCA 2460 3/4" (19)	1/8" (3) Annealed	1/2" (13)	1/8" (3) Annealed	29	23	
UCA 2460 1" (25)	3/16" (5) Annealed	9/16" (14)	1/4" (6) Annealed	34	27	
UCA 2460 3/4" (19)	1/8" (3) Annealed	1/2" (13)	1/8" (3) Annealed	46	34	with interior sash 1/8" glass, 4 1/4" airspace
UCA 2460 1" (25)	3/16" (5) Annealed	9/16" (14)	1/4" (6) Annealed	47	36	with interior sash 1/8" glass, 4 1/4" airspace
UCAP 4860 1" (25)	3/16" (5) Annealed	5/8" (16)	3/16" (5) Annealed	31	25	
UCAP 4860 1" (25)	3/16" (5) Annealed	9/16" (14)	1/4" (6) Annealed	34	28	
Ultimate Gilder						
CUGL 5040	1/8" (3) Annealed	7/16" (11)	1/8" (3) Annealed	27	22	
CUGL 5040	1/8" (3) Annealed	3/8" (10)	3/16" (5) Annealed	32	26	
CUGL 5040	1/8" (3) Annealed	7/16" (11)	1/8" (3) Annealed	33	25	1/8" Combination to the exterior
CUGL 5040	1/8" (3) Annealed	3/8" (10)	3/16" (5) Annealed	37	27	1/8" Combination to the exterior
CUGLP 4050	3/16" (5) Annealed	5/16" (8)	3/16" (5) Annealed	31	26	
CUGLP 4050	1/8" (3) Annealed	3/8" (10)	3/16" (5) Annealed	31	26	
Direct Glaze						
CDG Rect FS 47 3/16" x 59 3/32"	1/4" (6) Annealed	1/4" (6)	1/4" (6)	36	28	two rows HM88 Heat Mirror Film and three airspaces
CDG Rect FS 47 3/16" x 59 3/32"	3/16" (3.9) Annealed	7/16" (11.5)	3/16" (3.9)	28	24	
CDG Rect FS 47 3/16" x 59 3/32"	1/4" (6.4) Annealed	7/16" (11.1)	1/4" (6.4) Lami	33	27	
Magnum Tilt Turn						
CMTT FS 48" (1219) x 72" (1829)	1/8" (3) Annealed	5/8" (16)	1/8" (3) Annealed	31	25	
CMTT FS 48" (1219) x 72" (1829)	3/16" (5) Annealed	15/32" (12)	1/4" (6) Lami	36	29	
Sliding Patio Door						
CSPD 6068	1/8" (3) Tempered	7/16" (11)	1/4" (6) Lami	33	28	
Ultimate Sliding French Door						
WSFD 6068	1/4" (6) Lami	3/8" (10)	1/8" (3) Tempered	32	28	
CSFD 6068	1/8" (3) Tempered	7/16" (11)	1/4" (6) Lami	32	28	
Ultimate Inswing French Door						
WUIFD 6068	1/4" (6) Lami	7/16" (11)	1/8" (3) Tempered	33	28	
CUIFD 6068	1/8" (3) Tempered	1/2" (13)	1/8" (3) Tempered	30	25	
CUIFD 6068	1/8" (3) Tempered	3/8" (10)	1/4" (6) Lami	30	27	
CUIFD 6068	1/4" (6) Lami	1/4" (6)	1/4" (6) Lami	34	29	