

April 16, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-23-08409

74 Wellington Court – Fiske Terrace-Midwood Park

Historic District

Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 870 9410 2125

Passcode: 613401

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

74 WELLINGTON CT, BROOKLYN, NY 11230

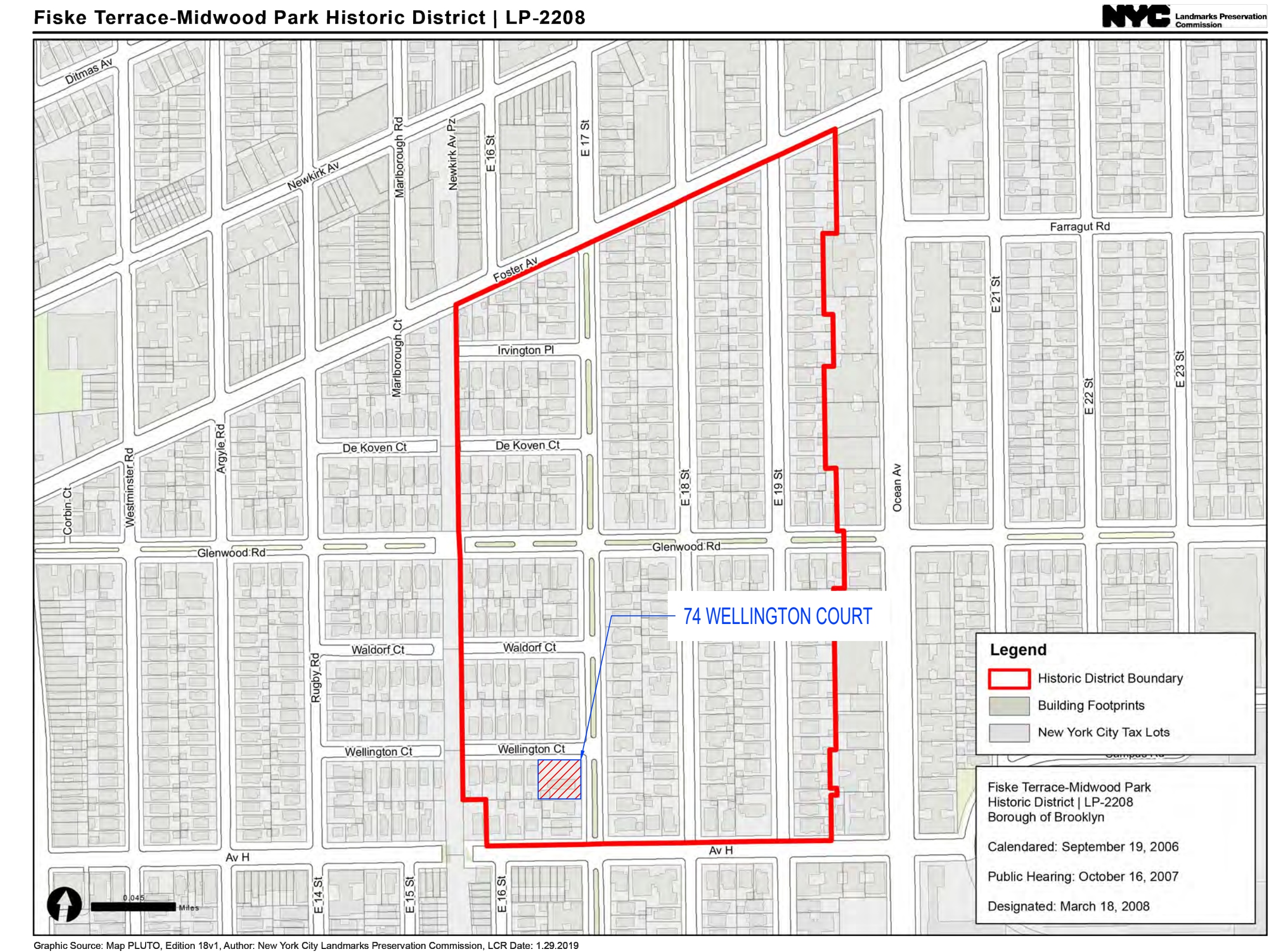
PROPERTY INFORMATION:

BLOCK: 6691 ZONE: R2 B.I.N.: 3253659
 LOT: 38 MAP#: 22C C.B.#: 314

FISKE TERRACE-MIDWOOD PARK HISTORIC DISTRICT: LP-2208
DESIGNATION DATE: MARCH 18 2008
CONSTRUCTION DATE: C. 1905
ARCHITECT/BUILDER: A. WHITE PIERCE
STYLE: COLONIAL REVIVAL WITH ALTERATIONS
MATERIAL: WOOD FRAME, BRICK, WOOD SHINGLES, BRICK
BUILDING CODE: 1968 CODE
OCCUPANCY GROUP: R-1 (SINGLE-FAMILY DETACHED)
CONSTRUCTION CLASS: 1
LOT FRONTAGE: 117.5 LF
LOT DEPTH: 115 LF
LOT AREA: 13,513 SQ.FT.
NO. OF STORIES: 2.75-STORY



BUILDING HISTORIC PHOTO



HISTORIC DISTRICT PROPERTY LOCATION MAP



EXISTING BUILDING FRONT VIEW



EXISTING BUILDING SIDE VIEW



EXISTING BUILDING REAR VIEW



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Project Address:

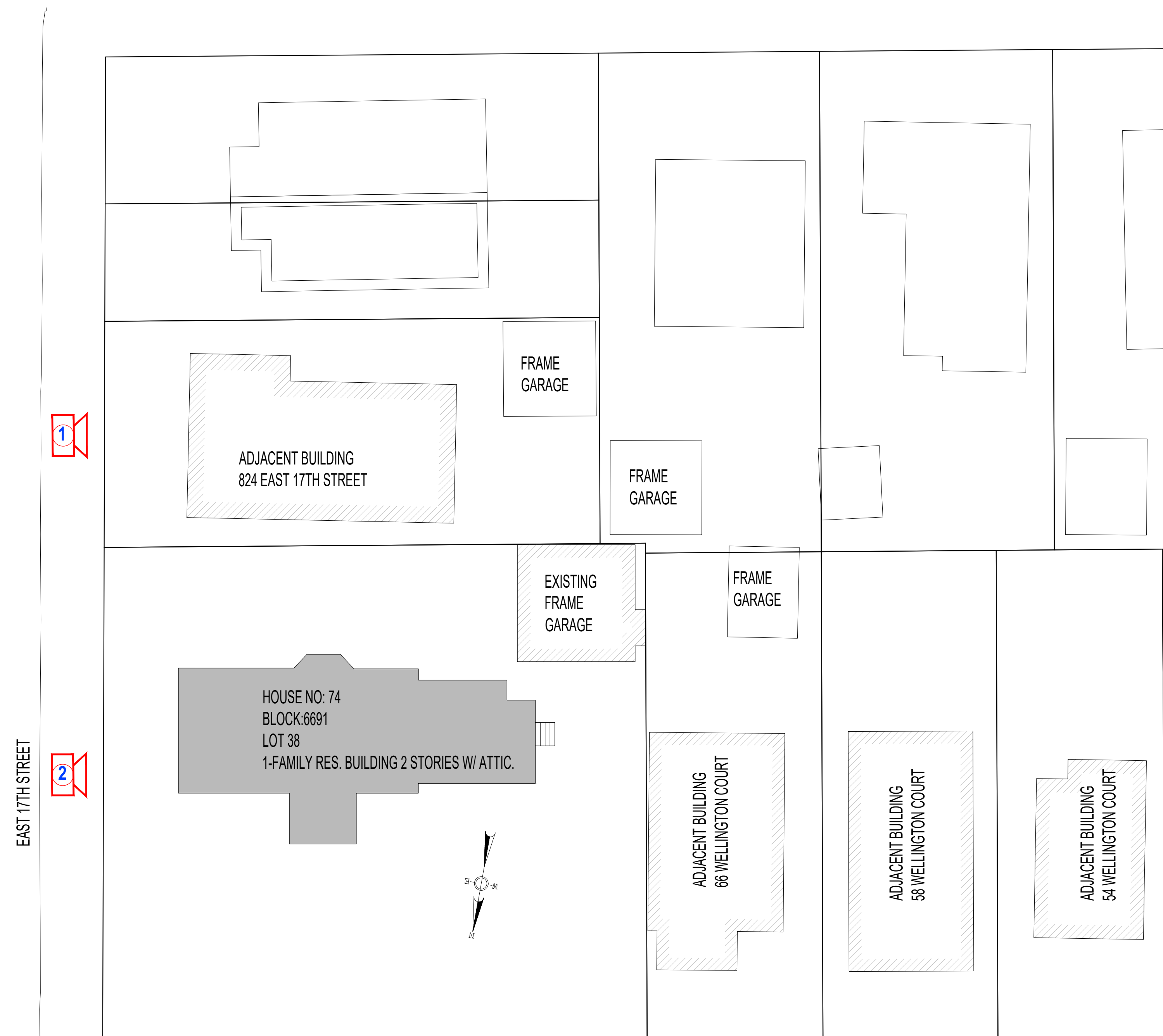
74 WELLINGTON COURT
 BROOKLYN, NY 11230

Drawn By: Y.Z.
 Checked By: M.R. & A.S.
 Date: 04/15/2024
 Scale: As Noted

NOTE: AE Design Solution Inc and its principal / employees were not retained for any supervision of the actual construction of this project.

Sheet No.: 1 of 21

EXISTING BUILDING AERIAL PLAN



EAST 17TH STREET

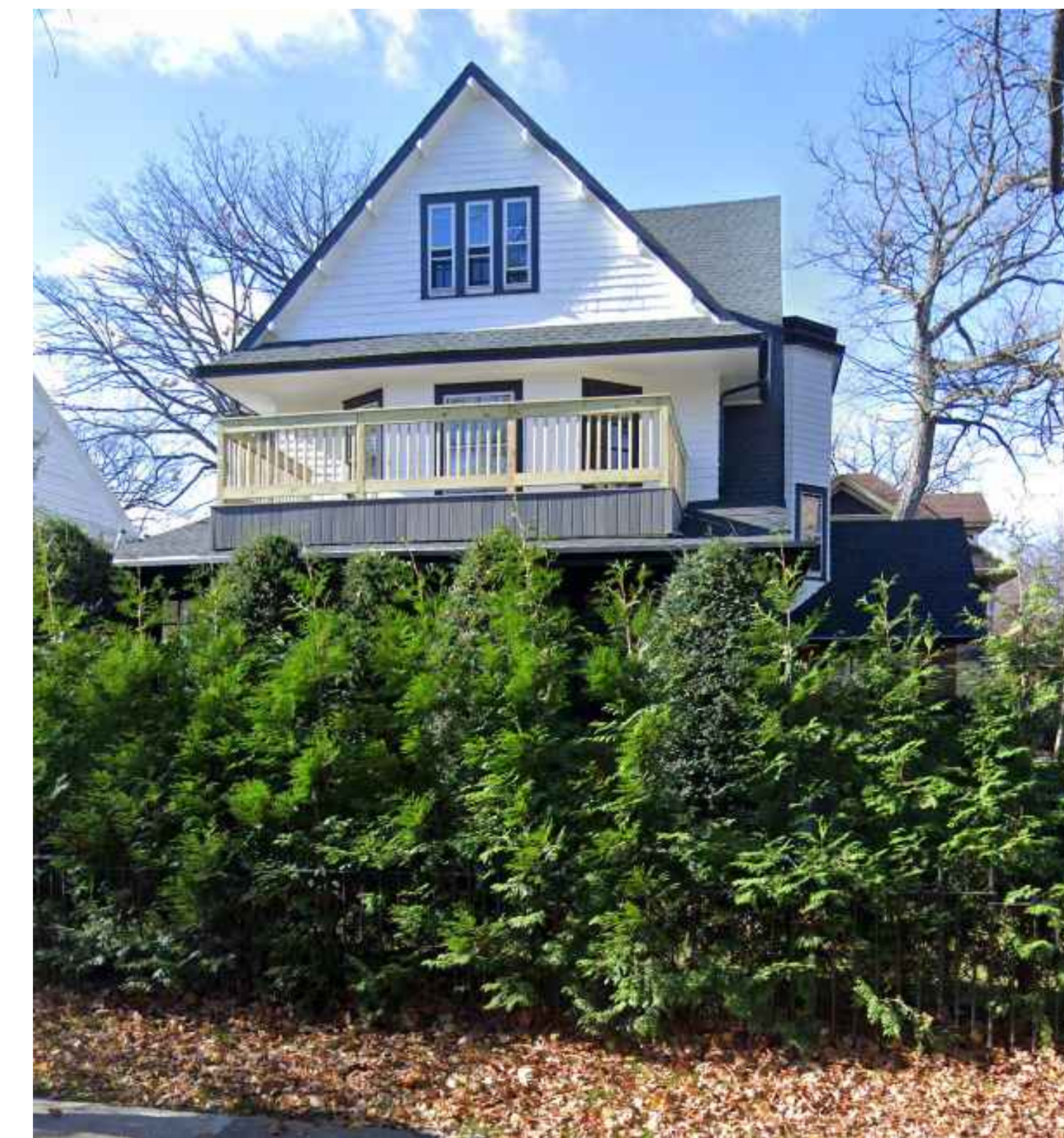
WELLINGTON COURT

LEGEND	
	PHOTO TAG

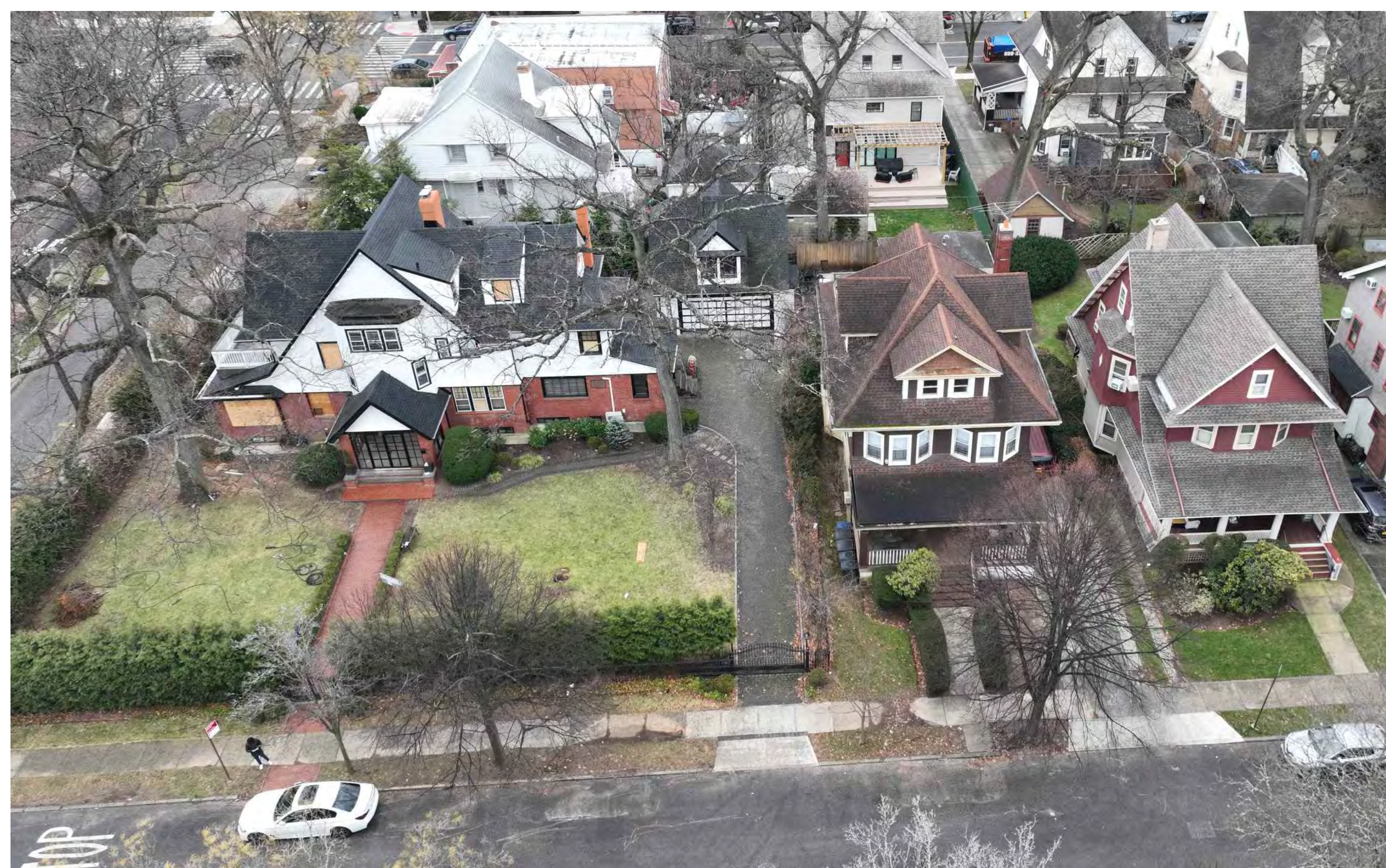
STREET VIEW OF EXISTING BUILDING & ADJACENT BUILDINGS



#1 824 E 17 ST
ADJACENT BUILDING



#2 74 WELLINGTON CT EXISTING BUILDING
SIDE VIEW @ EAST 17 ST



#3 74 WELLINGTON CT
EXISTING BUILDING FRONT

#4 66 WELLINGTON CT
ADJACENT BUILDING

#5 58 WELLINGTON CT
ADJACENT BUILDING



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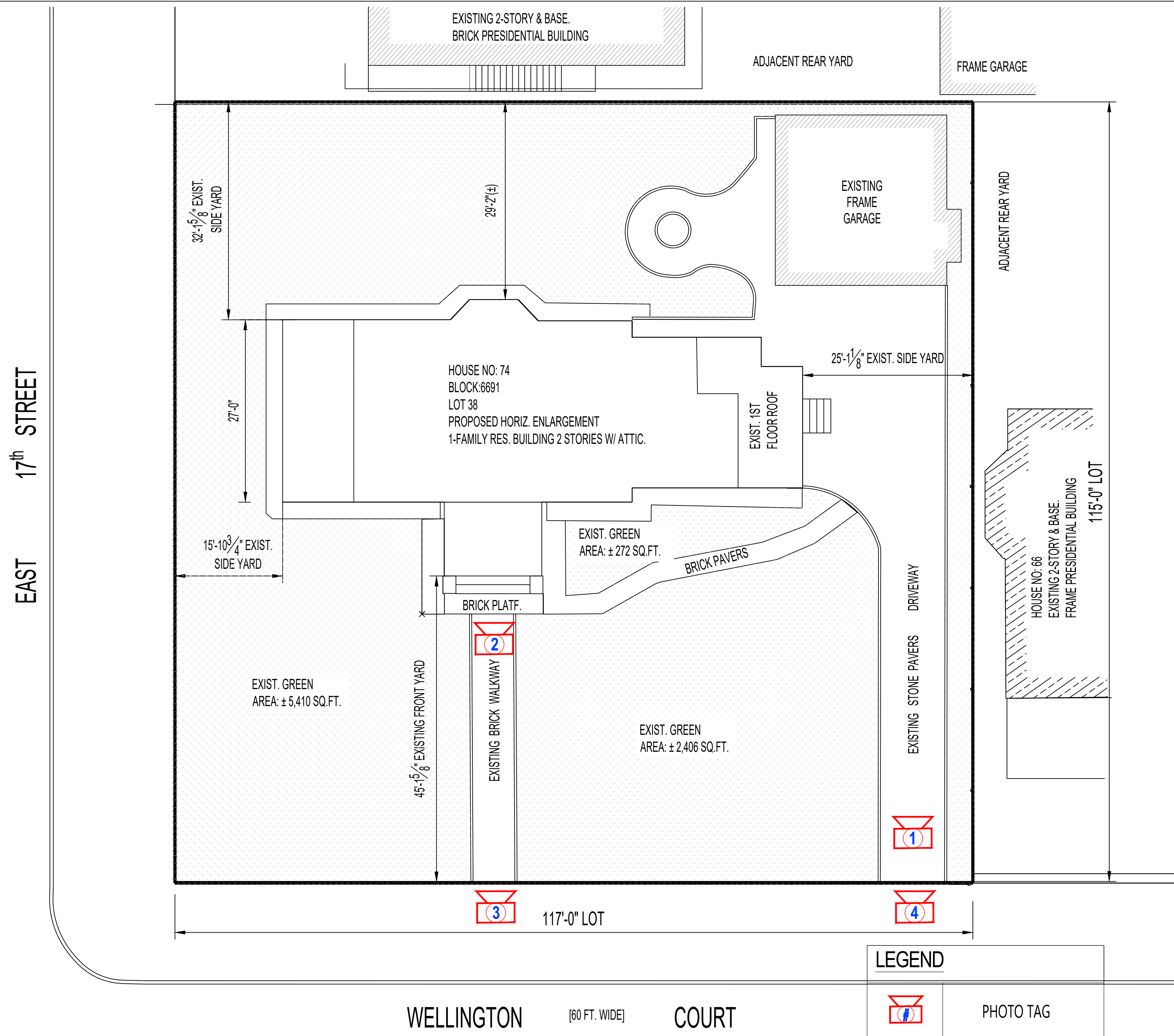
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LEGALIZE THE VIOLATIONS OF (23-0501, 23-0502, 23-0503, 23-0504)



ORIGINAL DRIVEWAY PAVEMENT
(PHOTO FROM GOOGLE VIEW IN 2019)

1 DRIVEWAY PAVEMENT



DRIVEWAY PAVEMENT CHANGED IN 2020
(PHOTO FROM GOOGLE VIEW IN 2020)



ORIGINAL FRONT ENTRANCE & STEPS

2 FRONT ENTRANCE & STEPS

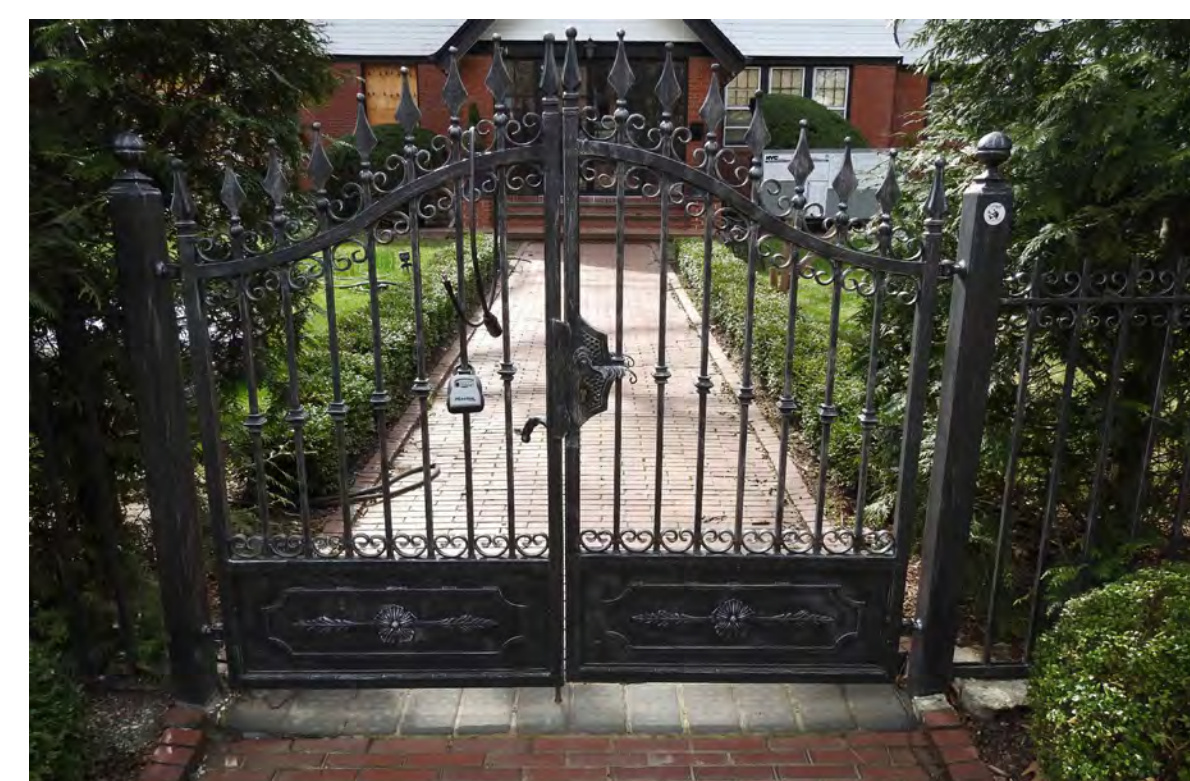


FRONT ENTRANCE & STEP CHANGE IN 2020



ORIGINAL FRONT ENTRANCE GATE

3 FRONT ENTRANCE GATE



FRONT ENTRANCE GATE CHANGED IN 2020



ORIGINAL DRIVEWAY ENTRANCE GATE

4 DRIVEWAY GATE



DRIVEWAY ENTRANCE GATE CHANGED IN 2020



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Sheet No.: 3 of 21

NOTE: AE Design Solution Inc and its principal / employees were not retained for any supervision of the actual construction of this project.



EAST FACADE DESIGNATION PHOTO



EAST FACADE EXISTING CONDITION PHOTO

ILLEGAL DECK AND BALCONY RAILING TO BE REMOVED



PROPOSED EAST FACADE RENDERING



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EAST FACADE - VIEW FROM EXISTING ILLEGAL WOOD DECK & BALCONY RAILINGS TO INTERIOR
(PHOTO FACING EAST & FRONT/NORTH FACADE)



EAST FACADE - VIEW FROM EXISTING ILLEGAL WOOD DECK & BALCONY RAILINGS TO INTERIOR
(PHOTO FACING EAST & REAR/SOUTH FACADE)



EAST FACADE - VIEW OF ROOF LINE OVER DECK/RAILINGS FACING THE NORTH/FRONT FACADE

ILLEGAL DECK AND BALCONY RAILINGS (3 SIDES) TO BE REMOVED



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Project Address:

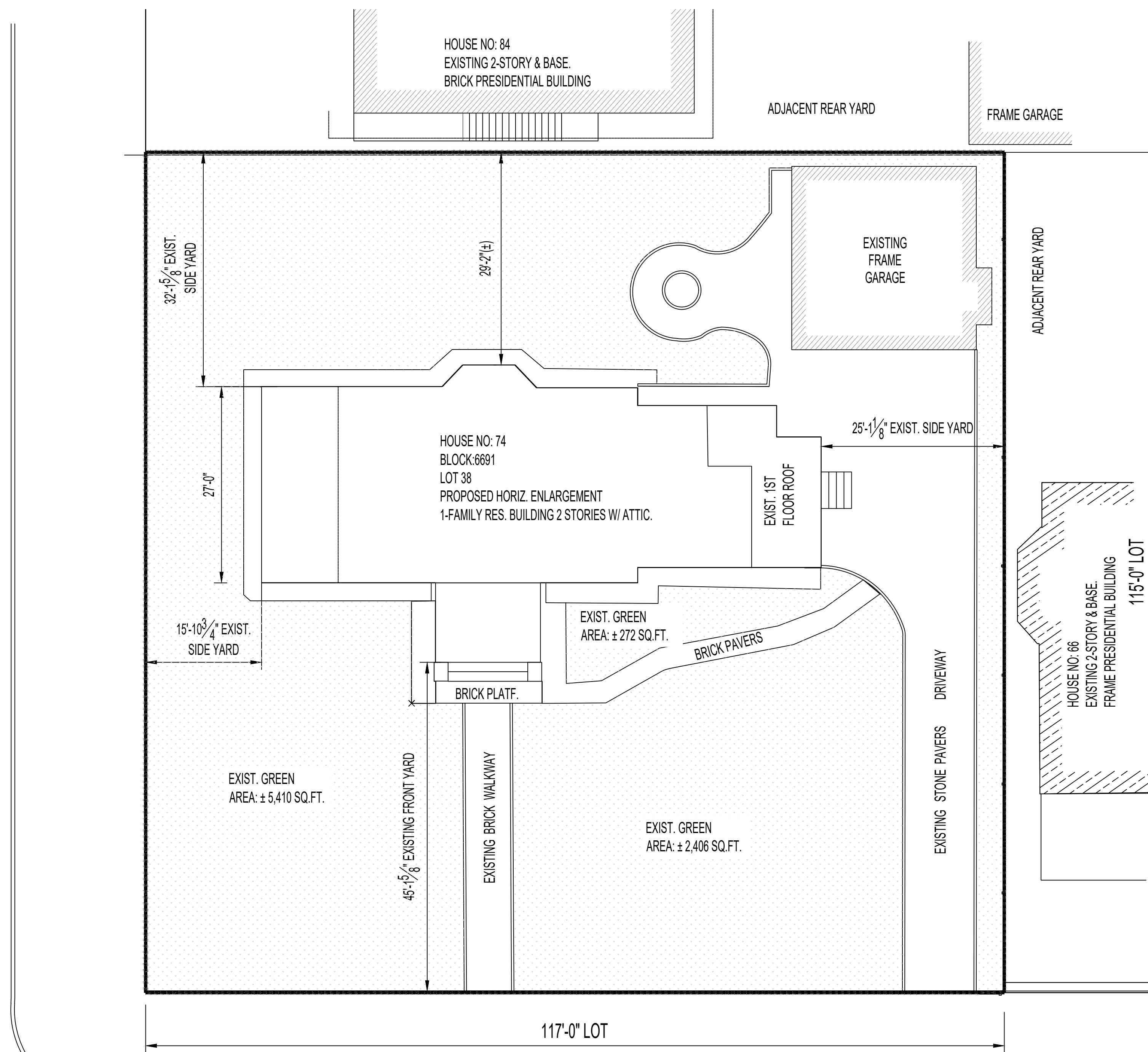
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Sheet No.: 5 of 21

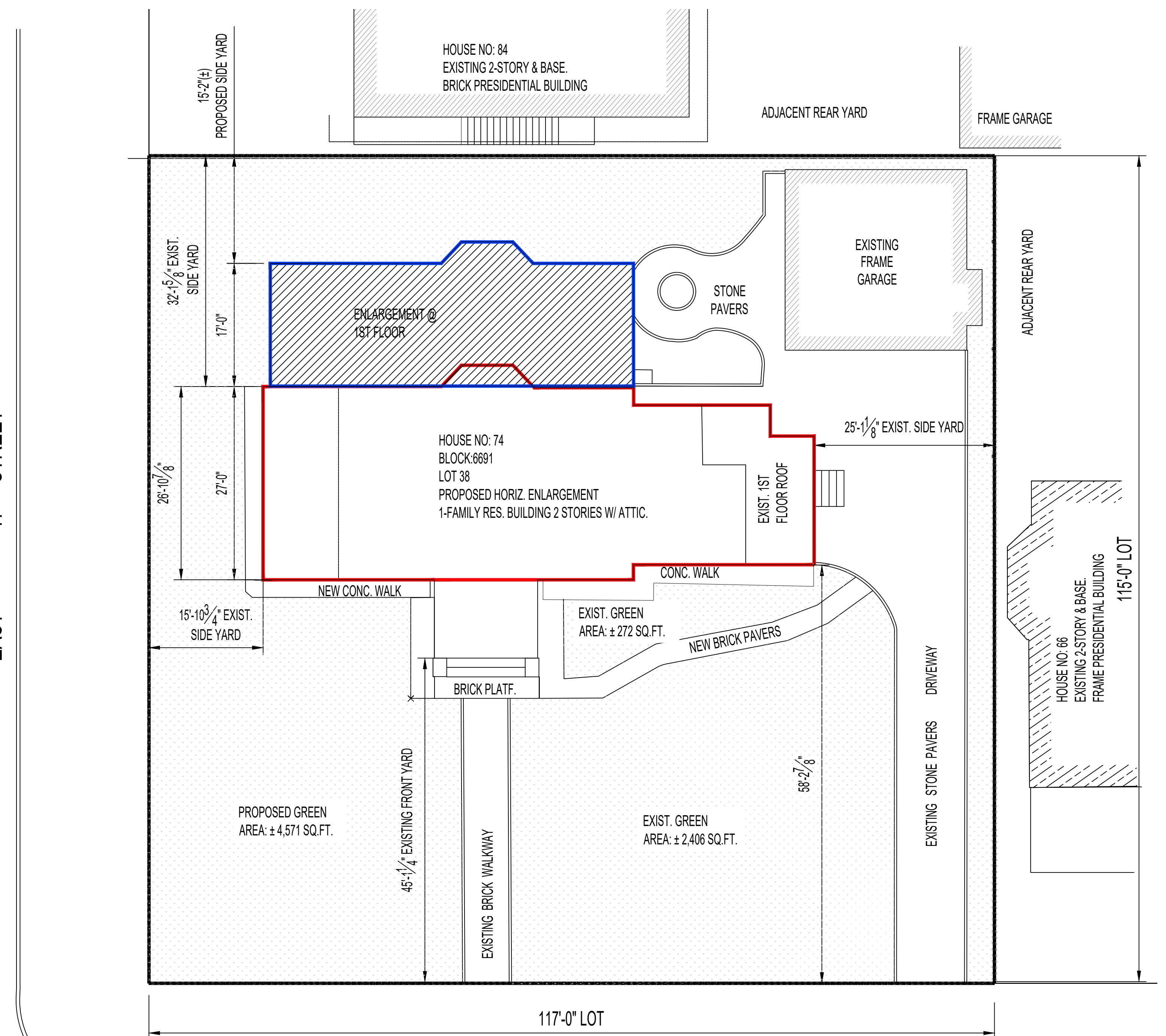
EXISTING PLOT PLAN



WELLINGTON [60 FT. WIDE] COURT

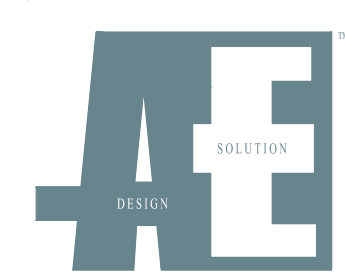
EXISTING TOTAL GREEN AREA: 8,088 SQ.FT.

PROPOSED PLOT PLAN



WELLINGTON [60 FT. WIDE] COURT

PROPOSED TOTAL GREEN AREA: 5,815SQ.FT.



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Email: info@aesolinc.com

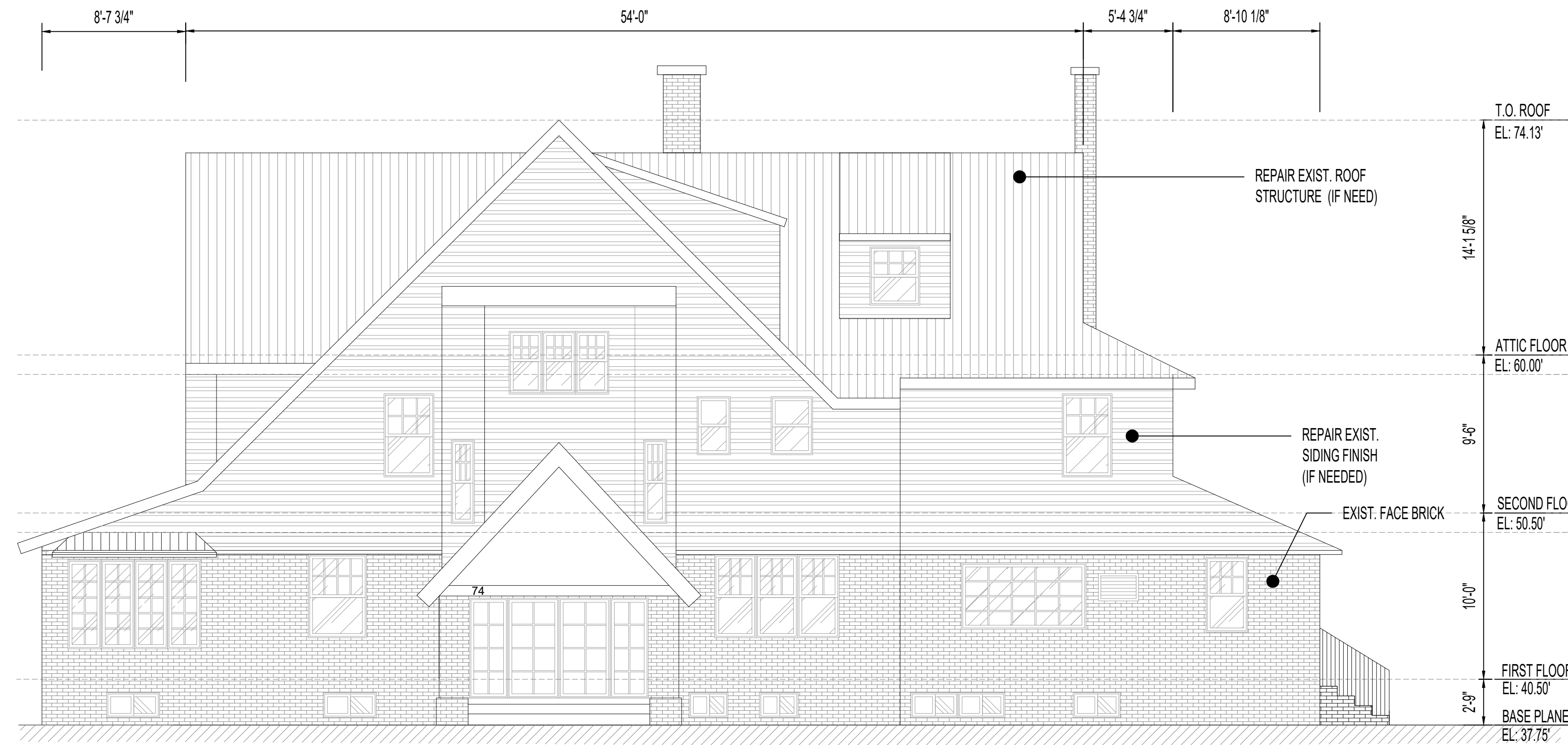
Project Address:

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Checked By: M.R. & A.S.
Date: 04/15/2024
Scale: As Noted
Sheet No.: 6 of 21

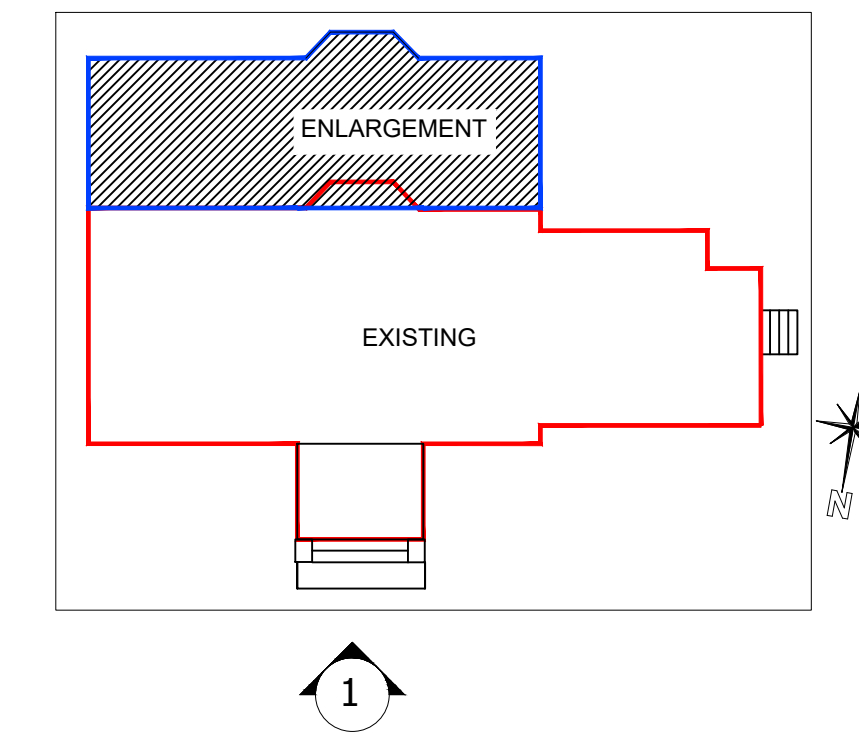
NOTE: AE Design Solution Inc and its principal / employees were not retained for any supervision of the actual construction of this project.

NORTH ELEVATION (FRONT)



1 NORTH ELEVATION (FRONT) ELEVATION
Scale: Not To Scale

KEY PLAN:



NO CHANGE



EXISTING BUILDING FRONT PHOTO

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Email: info@aeisinc.com

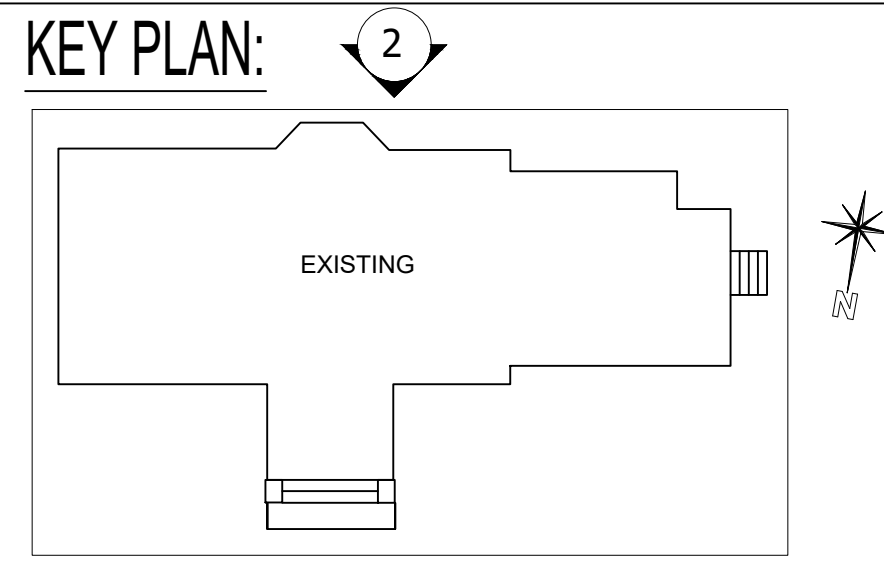
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EXISTING SOUTH ELEVATION (REAR)

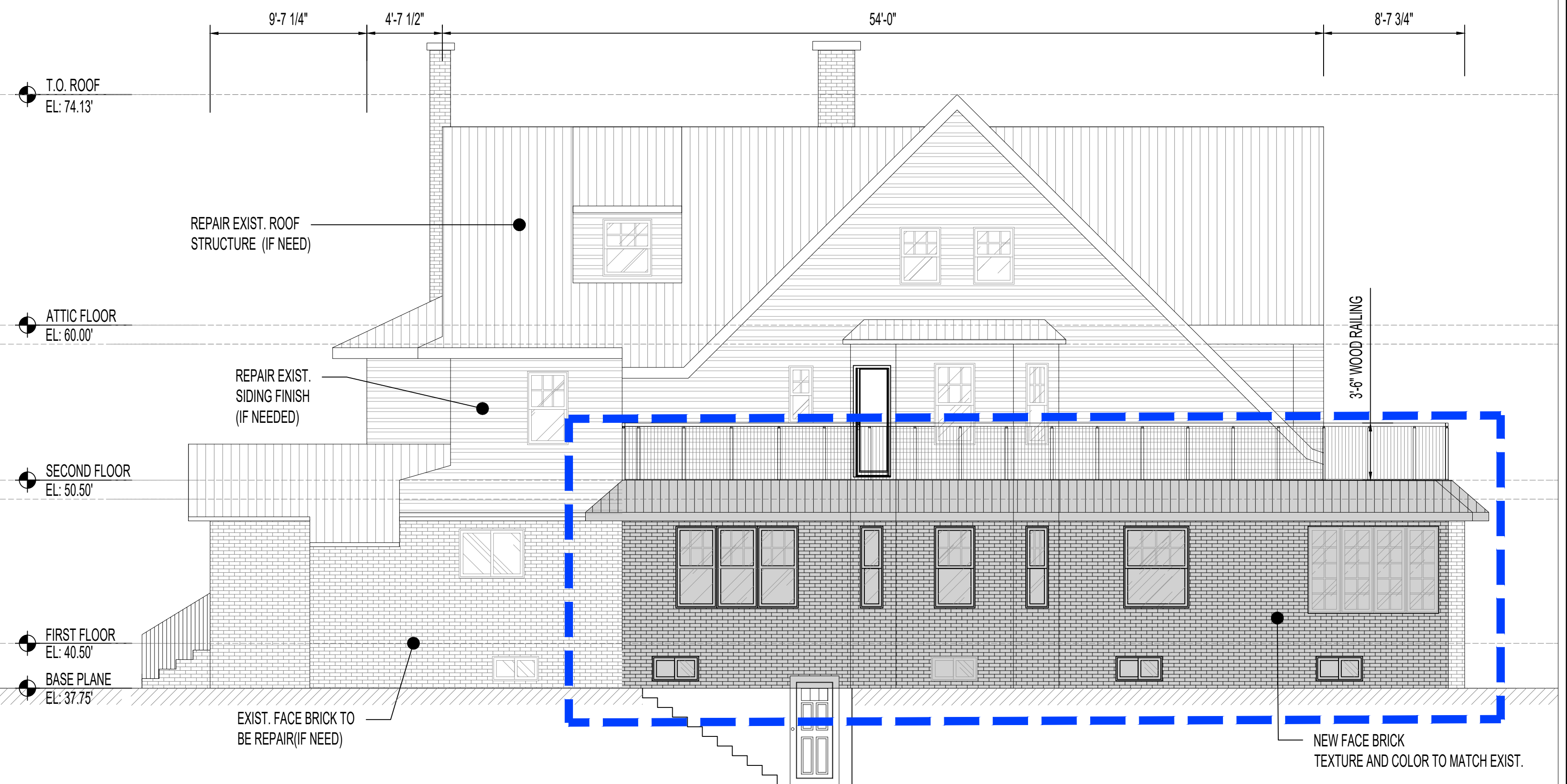
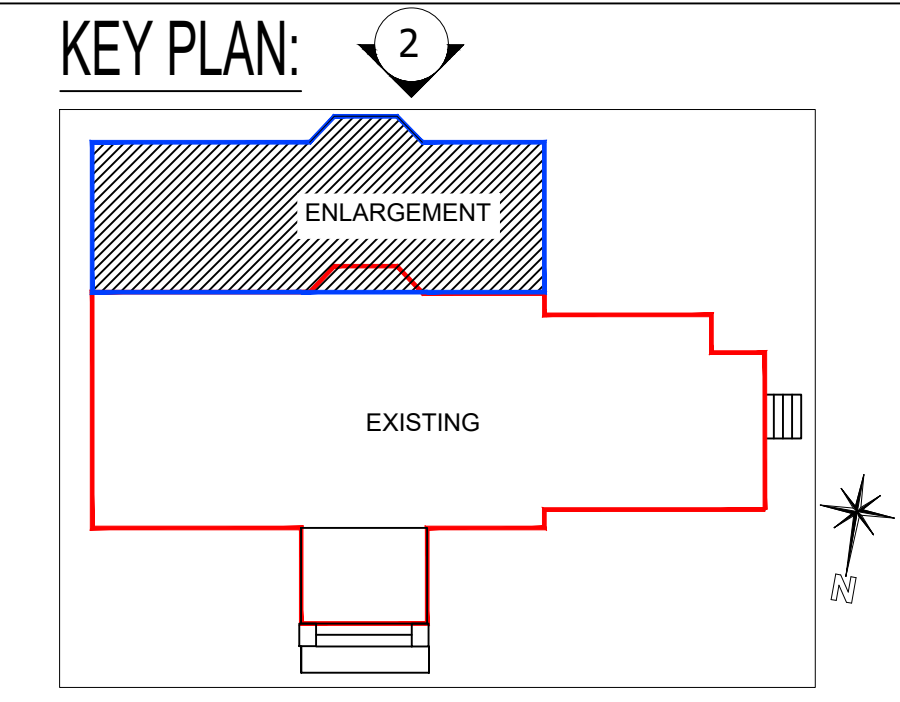


2 SOUTH ELEVATION (REAR) ELEVATION
Scale: Not To Scale



EXISTING BUILDING REAR PHOTO

PROPOSED SOUTH ELEVATION (REAR)



2 SOUTH ELEVATION (REAR) ELEVATION
Scale: Not To Scale



RENDERING BUILDING REAR

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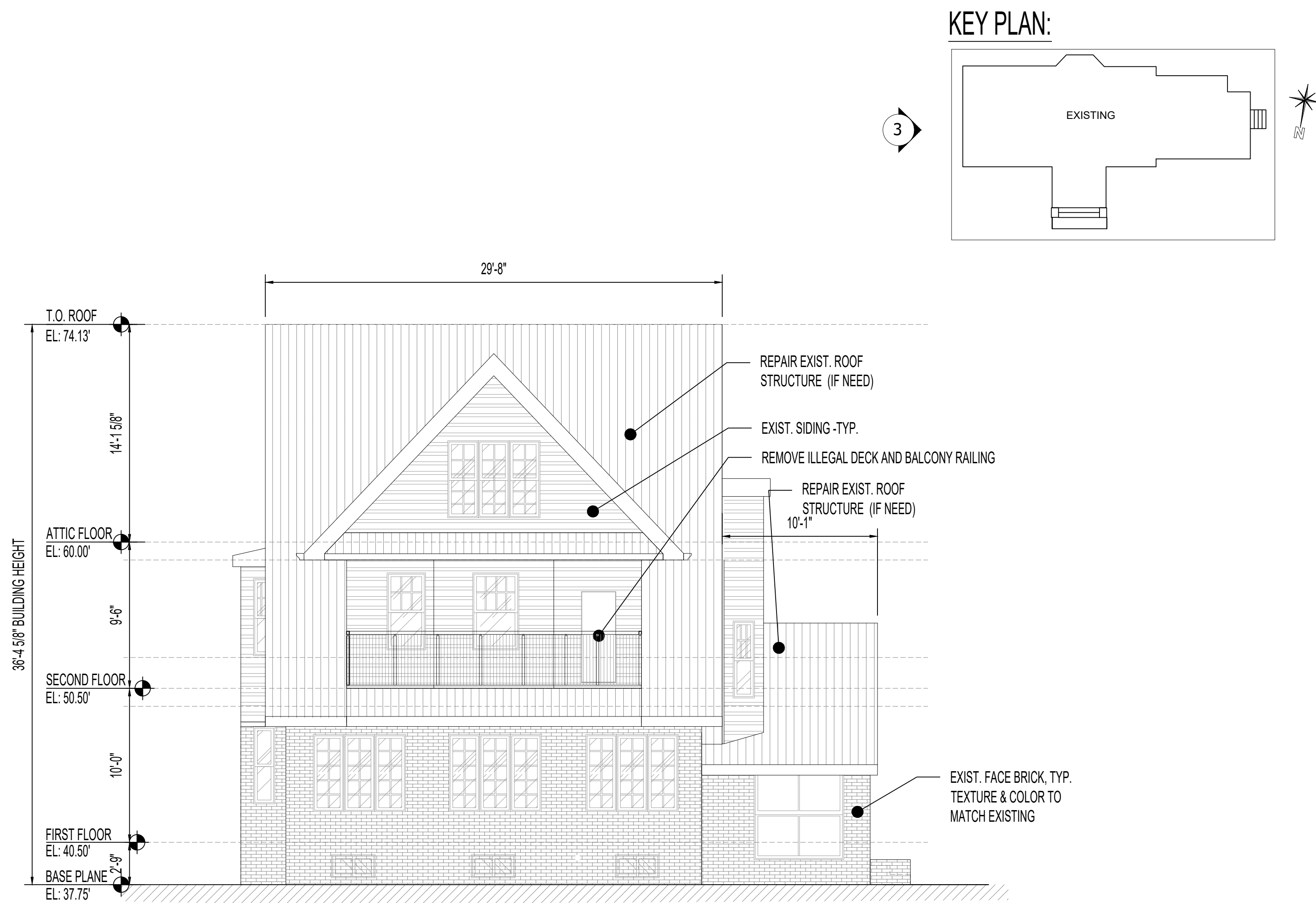


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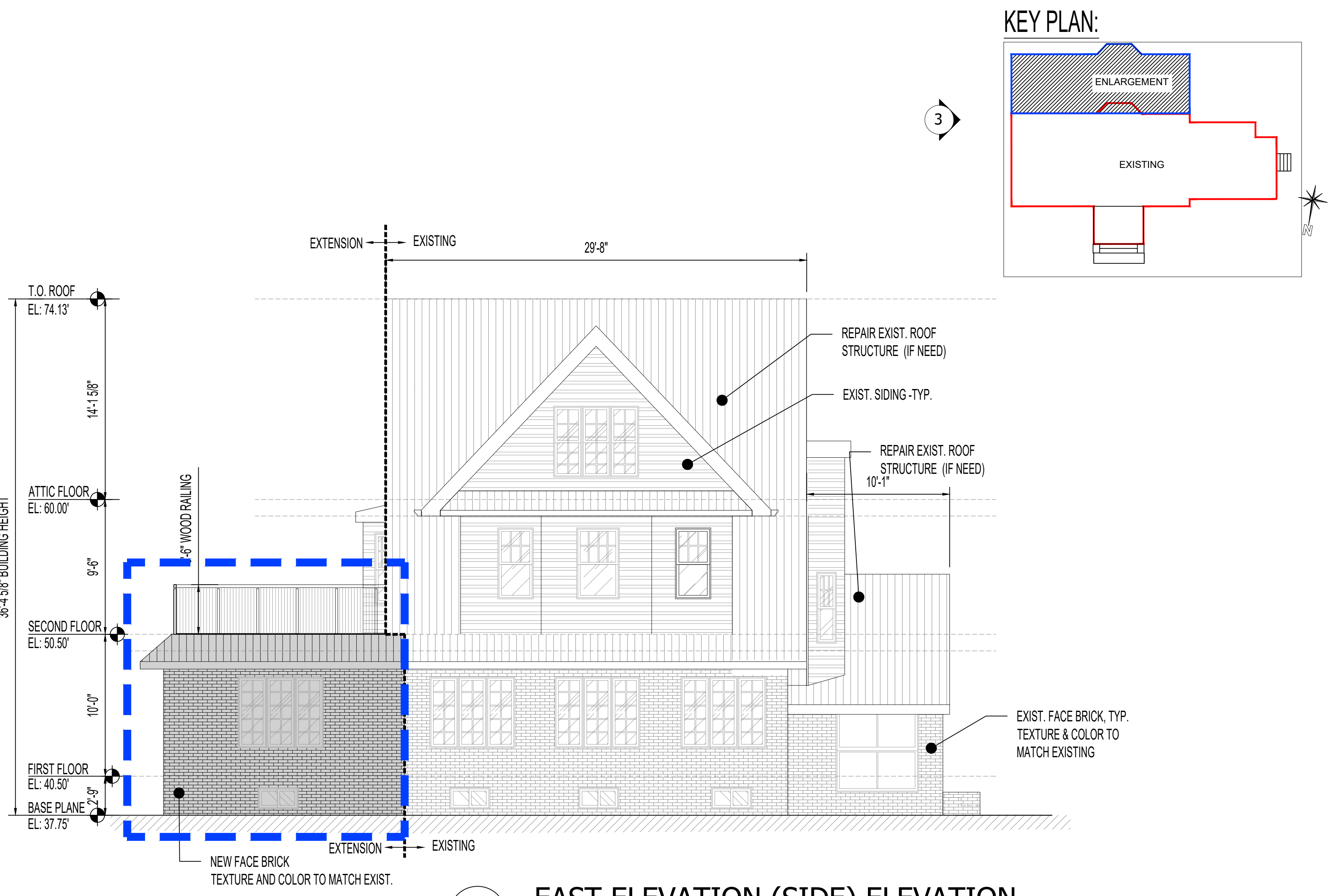
Drawn By: Y.Z.
Checked By: M.R. & A.S.
Date: 04/15/2024
Scale: As Noted
Sheet No.: 8 of 21

EXISTING EAST ELEVATION (LEFT SIDE)



3 EAST ELEVATION (SIDE) ELEVATION
Scale: 1/8"=1'-0"

PROPOSED EAST ELEVATION (LEFT SIDE)



3 EAST ELEVATION (SIDE) ELEVATION
Scale: 1/8"=1'-0"



EAST FACADE DESIGNATION PHOTO



RENDERING BUILDING EAST SIDE



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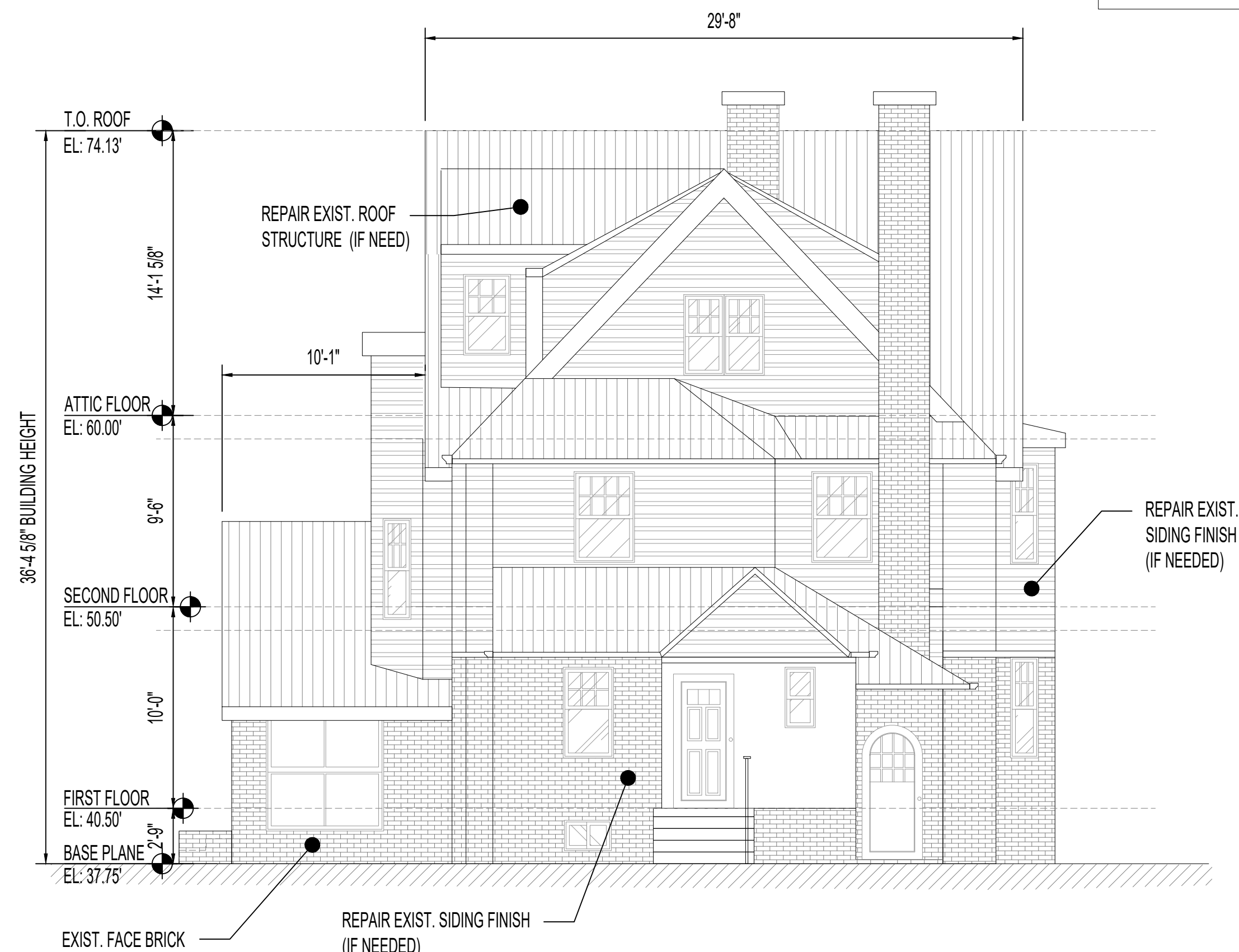
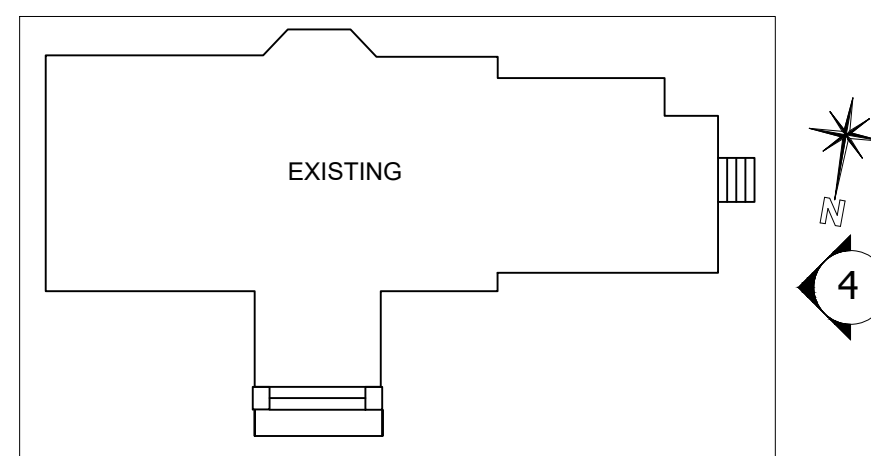
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Date: 04/15/2024
Scale: As Noted

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EXISTING WEST ELEVATION (RIGHT SIDE)

KEY PLAN:

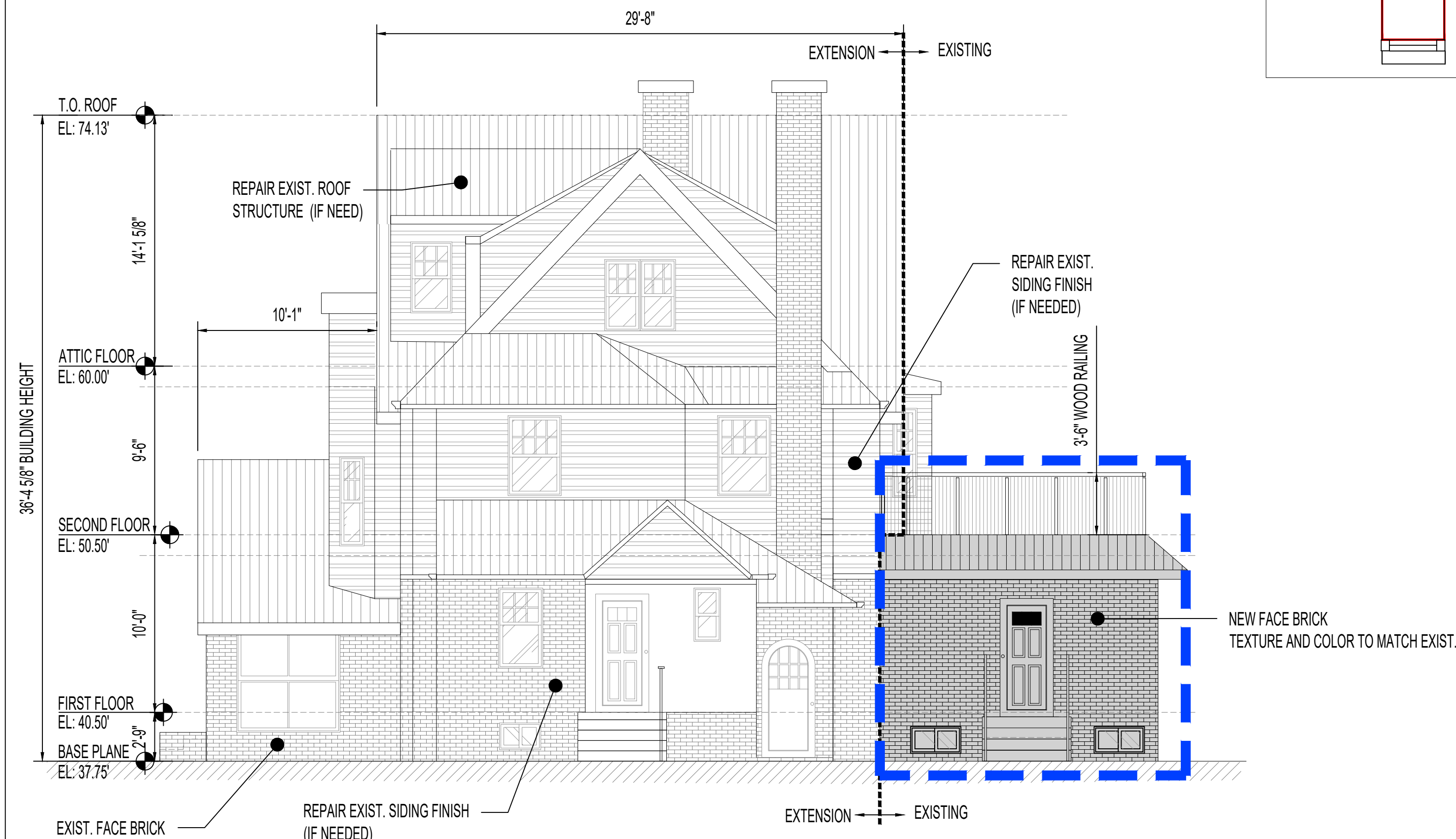
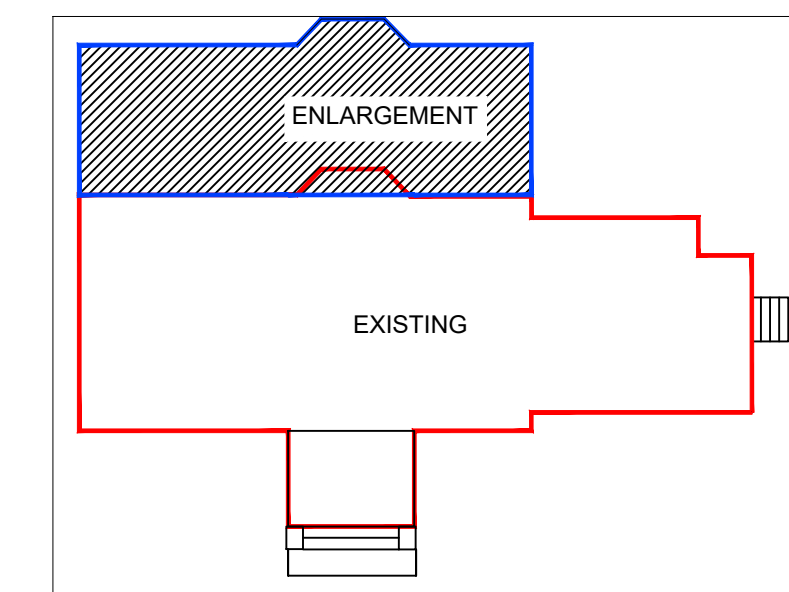


WEST ELEVATION (SIDE) ELEVATION

Scale: Not To Scale

PROPOSED WEST ELEVATION (RIGHT SIDE)

KEY PLAN:



WEST ELEVATION (SIDE) ELEVATION

Scale: Not To Scale



EXISTING BUILDING WEST SIDE PHOTO



RENDERING BUILDING WEST

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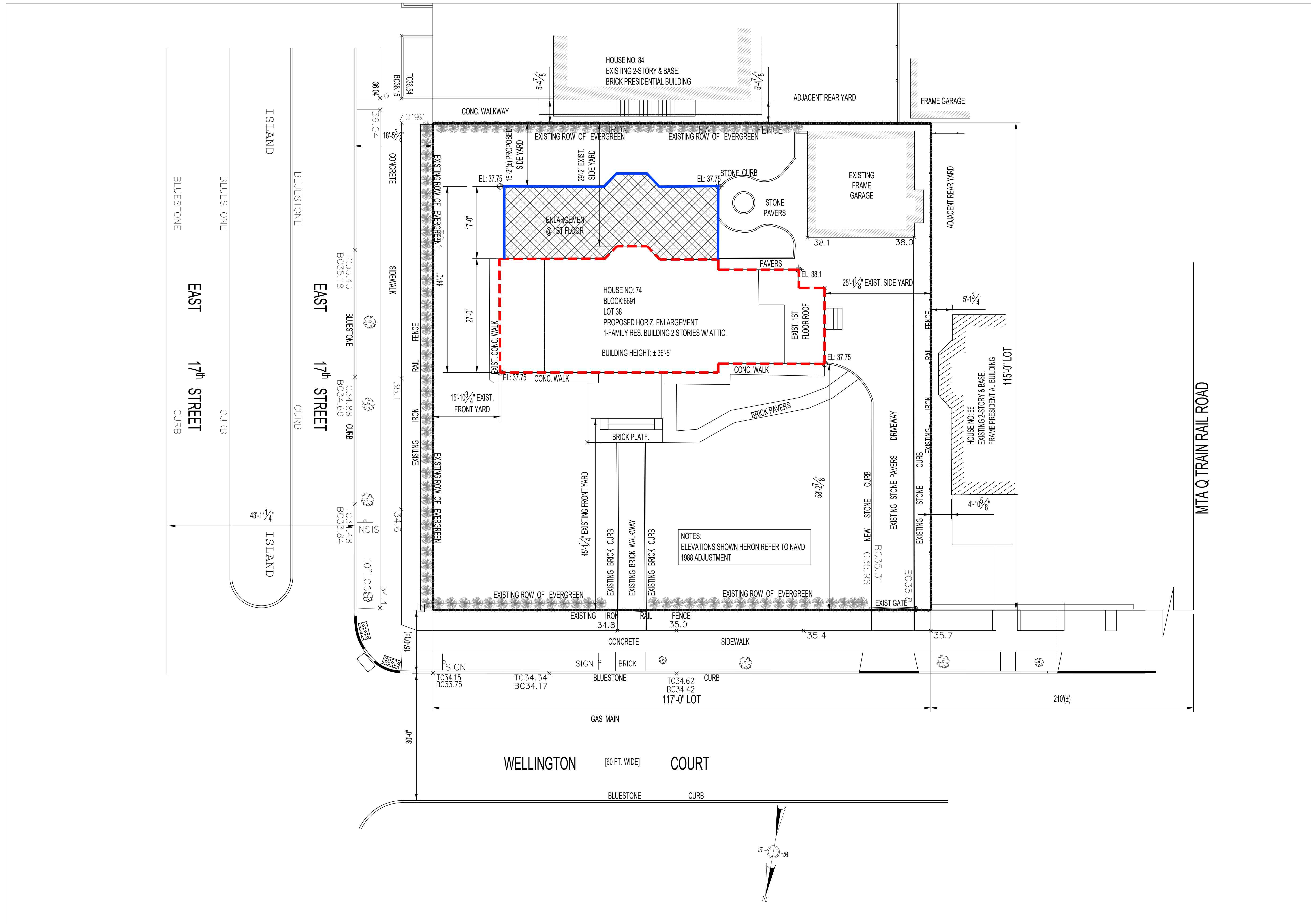
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Date: 04/15/2024
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PROPOSED PLOT PLAN



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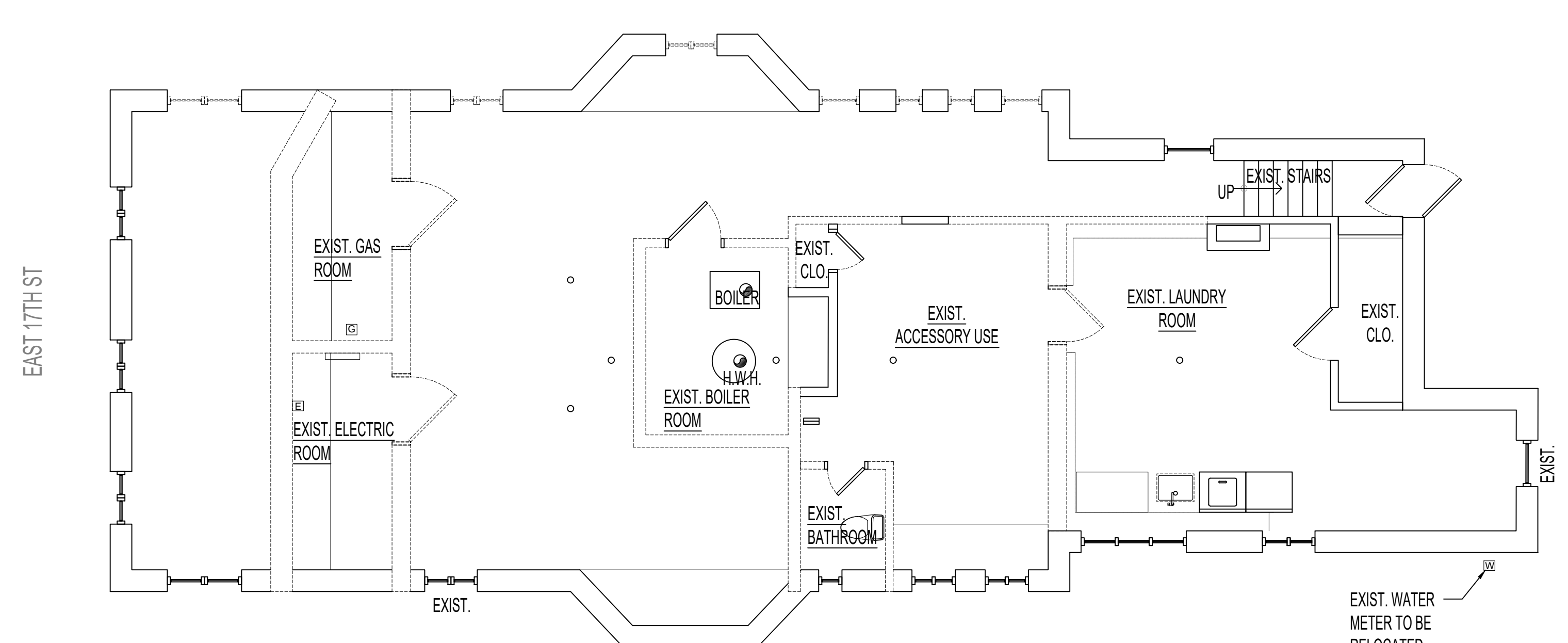
Drawn By: Y.Z.
 Checked By: M.R. & A.S.
 Date: 04/15/2024
 Scale: As Noted

Sheet No.: 11 of 21

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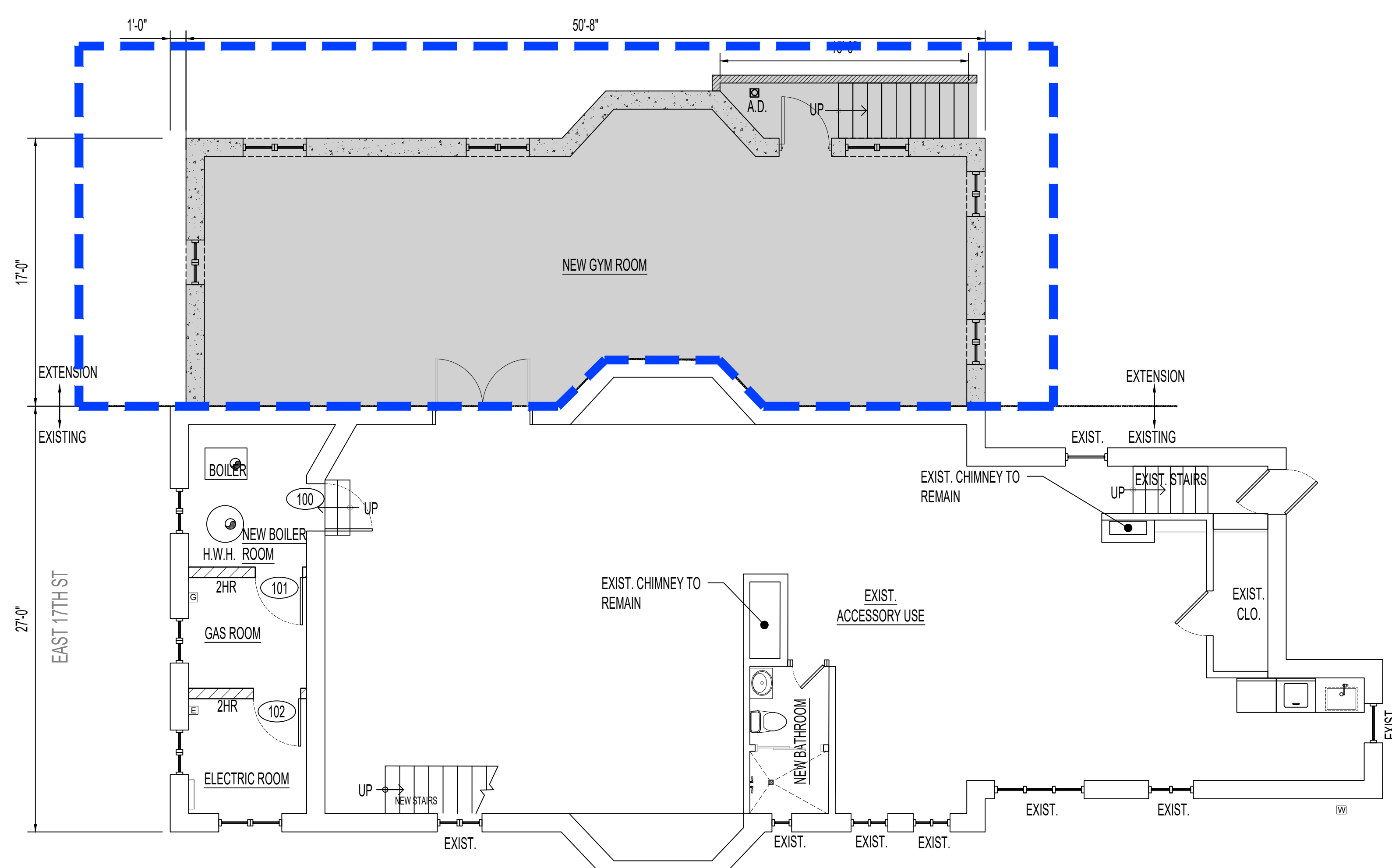
EXISTING FLOOR PLAN (CELLAR)

PROPOSED FLOOR PLAN (CELLAR)



1 EXISTING CELLAR PLAN
Scale: 1/8" = 1'-0"

WELLINGTON CT



1 PROPOSED CELLAR PLAN
Scale: 1/8" = 1'-0"

WELLINGTON CT

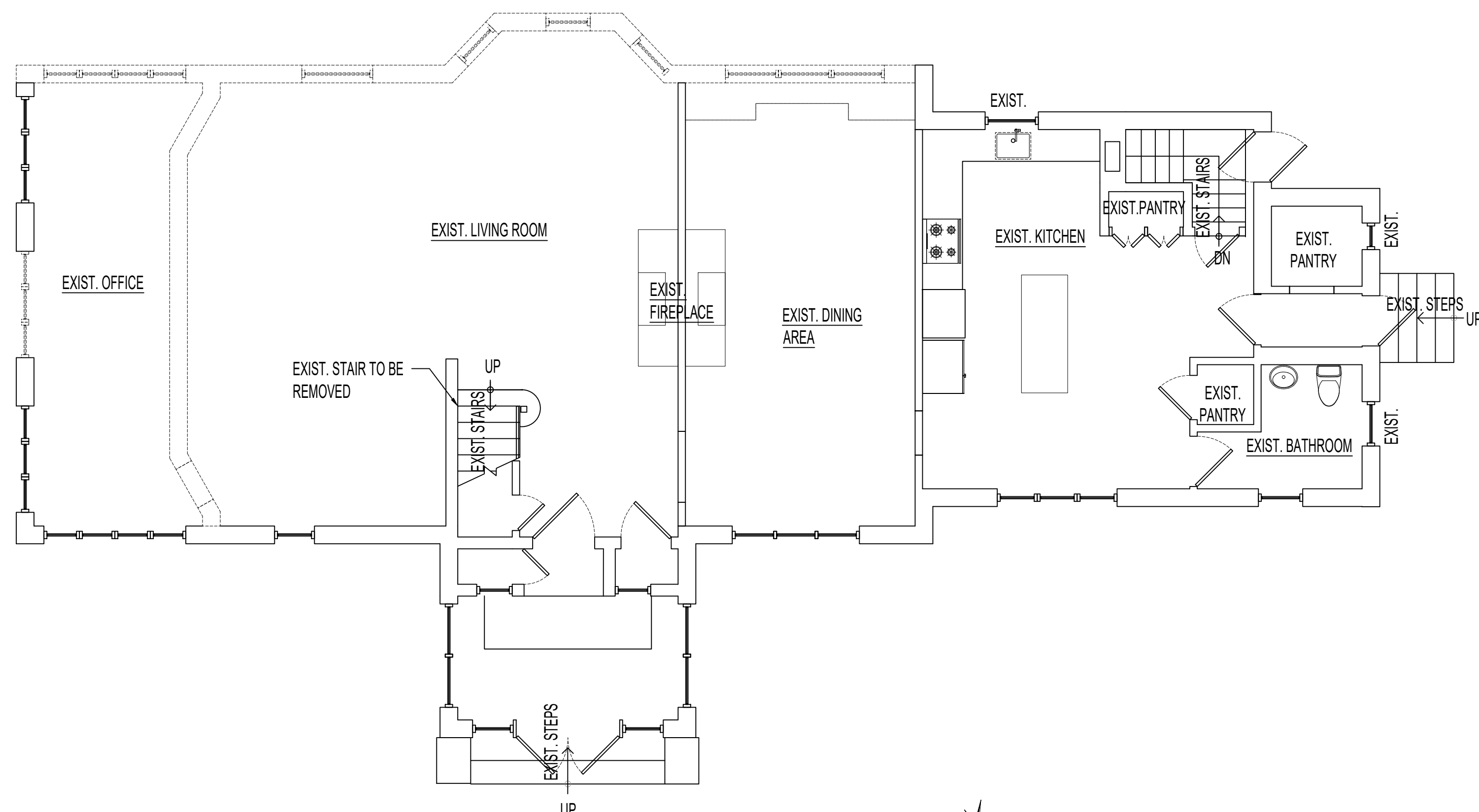
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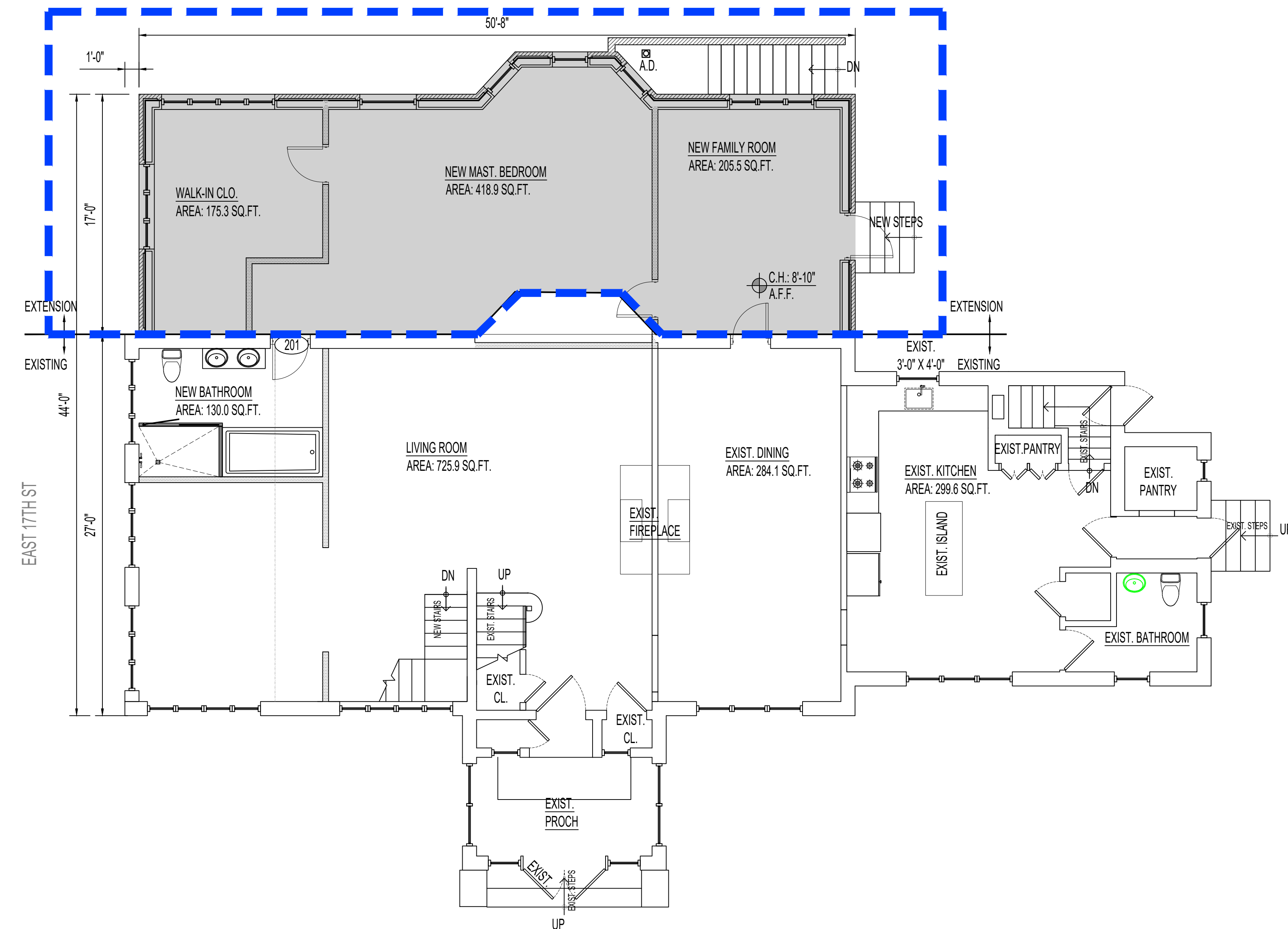
EXISTING FLOOR PLAN (FIRST FLOOR)



2 FIRST FLOOR DEMOLITION PLAN
Scale: 1/8" = 1'-0"

WELLINGTON CT

PROPOSED FLOOR PLAN (FIRST FLOOR)



2 PROPOSED FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

WELLINGTON CT



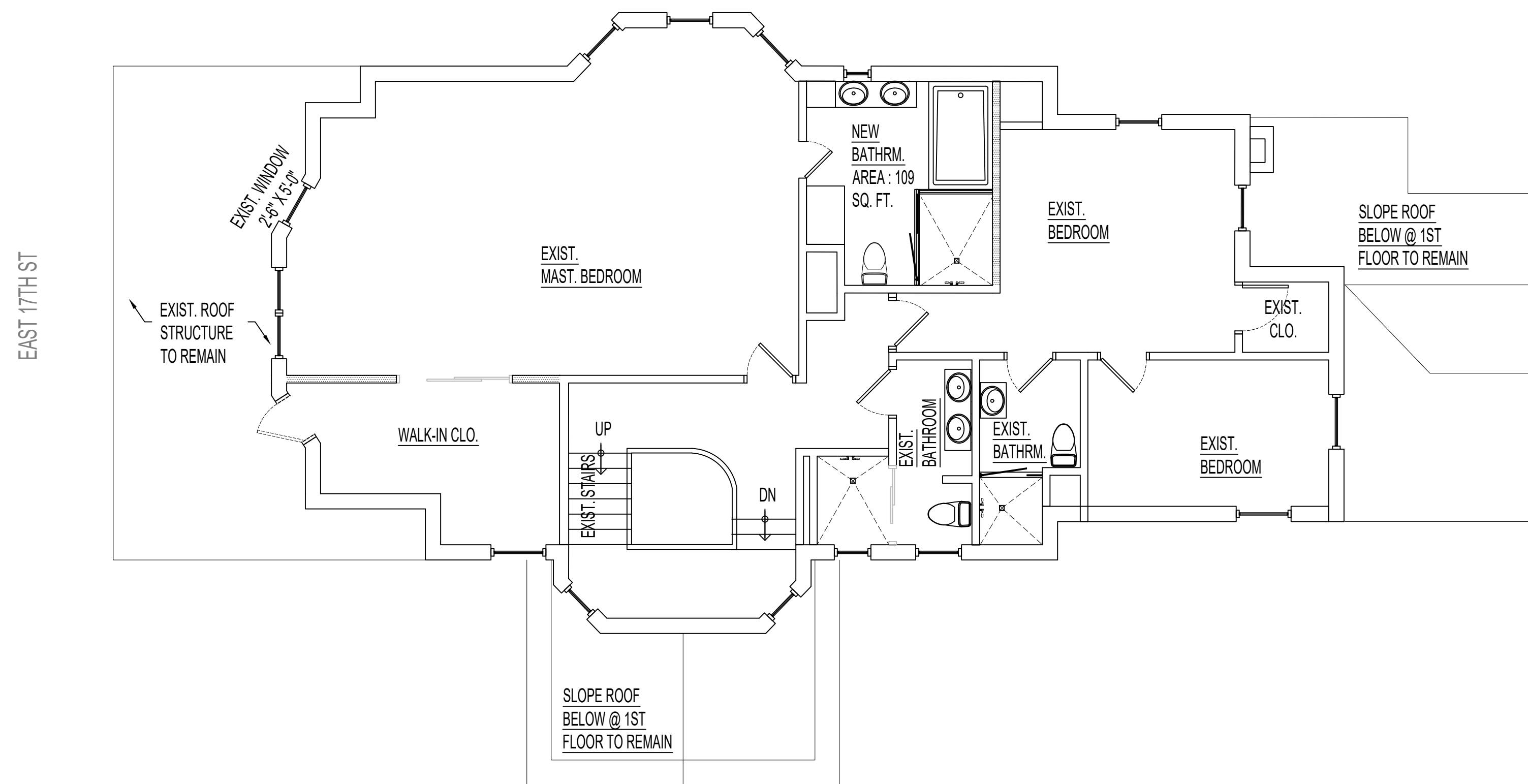
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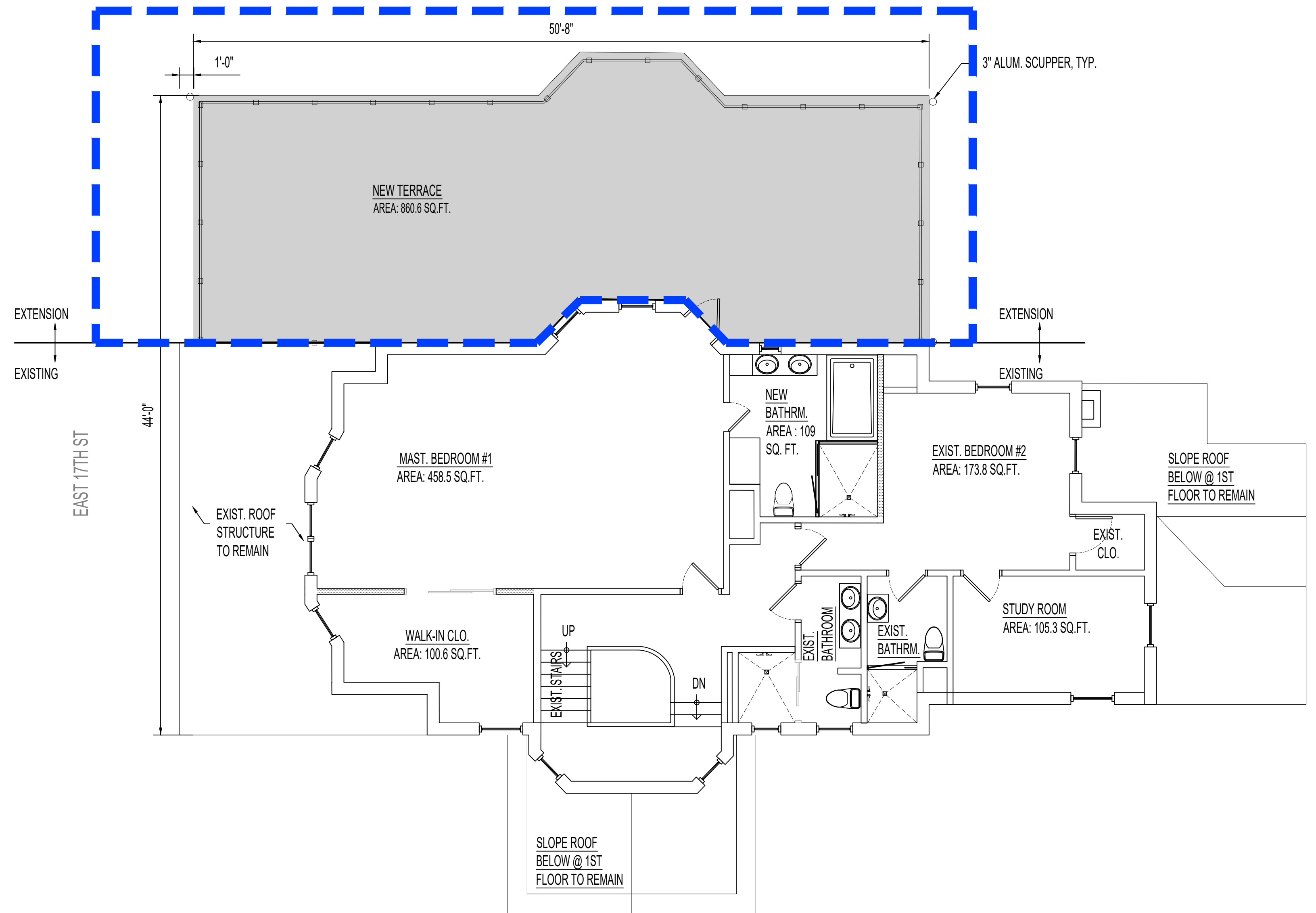
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EXISTING FLOOR PLAN (SECOND FLOOR)



3 EXISTING SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0"
 WELLINGTON CT

PROPOSED FLOOR PLAN (SECOND FLOOR)



3 PROPOSED SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0"
 WELLINGTON CT



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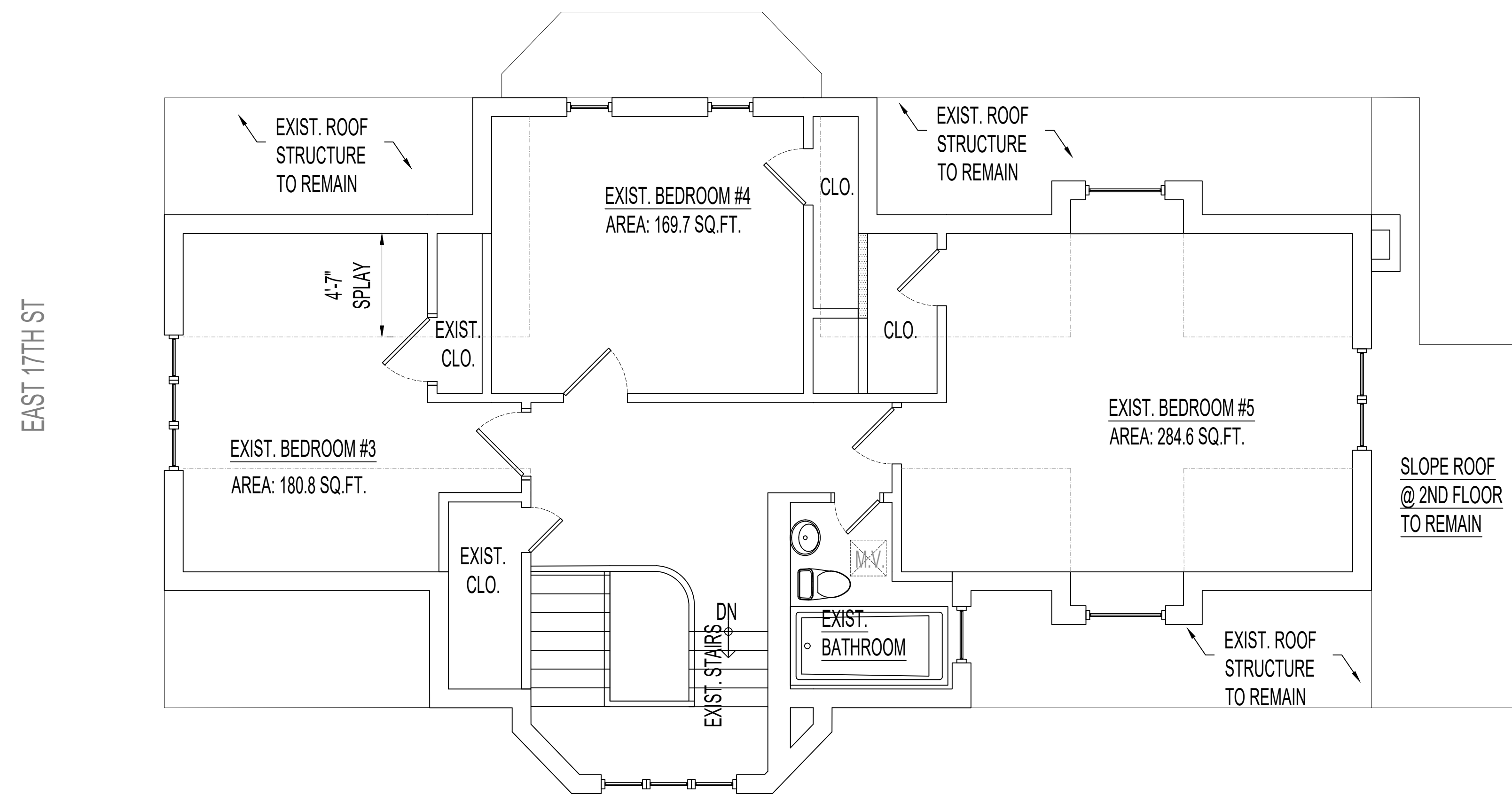
Project Address:
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 Checked By: M.R. & A.S.
 Date: 04/15/2024
 Scale: As Noted
 Sheet No.: 14 of 21

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FLOOR PLAN (ATTIC FLOOR)

NO CHANGE

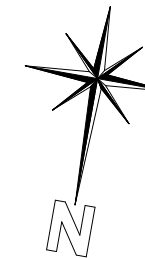


4

EXISTING ATTIC FLOOR PLAN

WELLINGTON CT

Scale: 1/8" = 1'-0"



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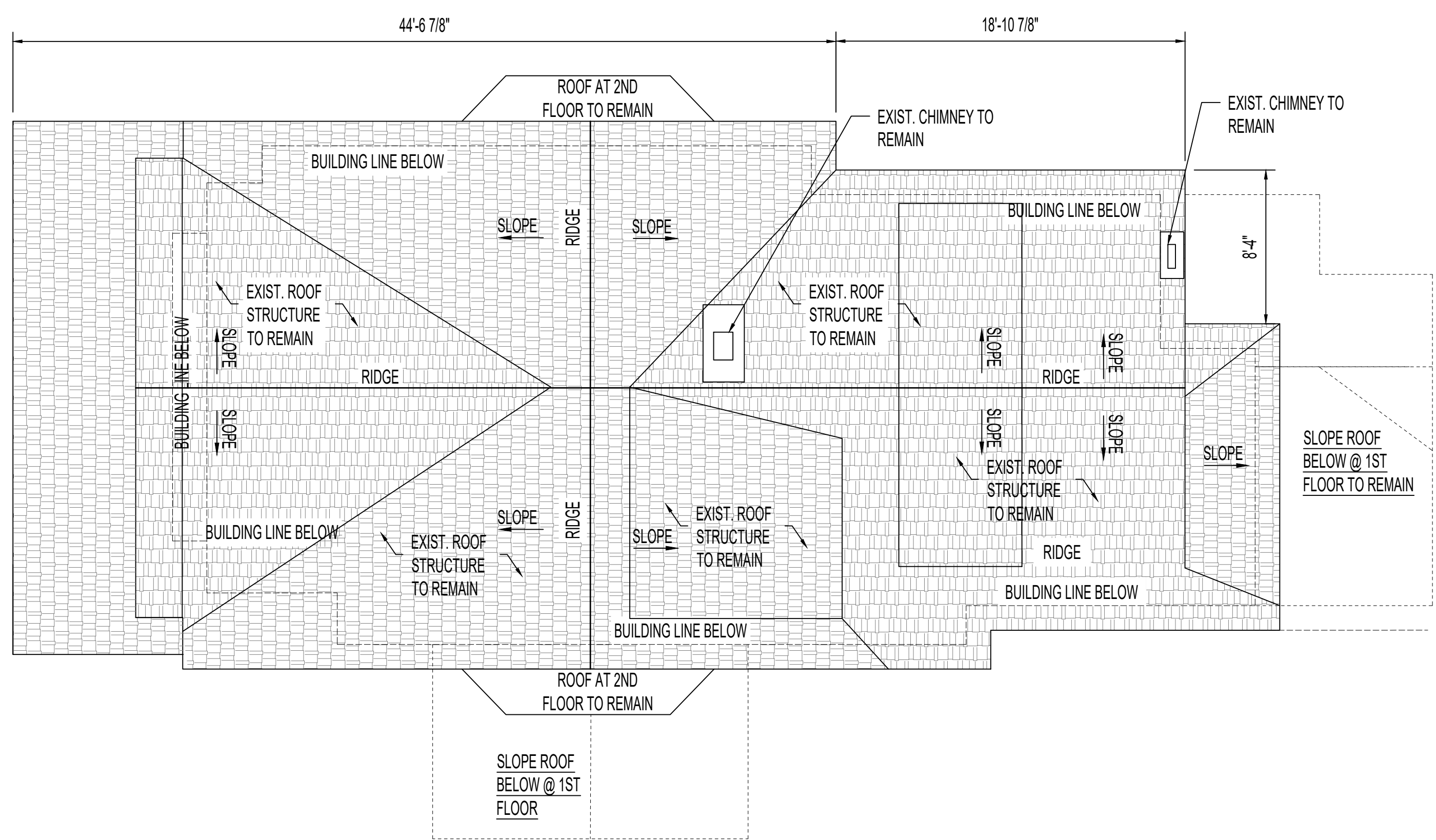
Date: 04/15/2024

Scale: As Noted

Sheet No.: 15 of 21

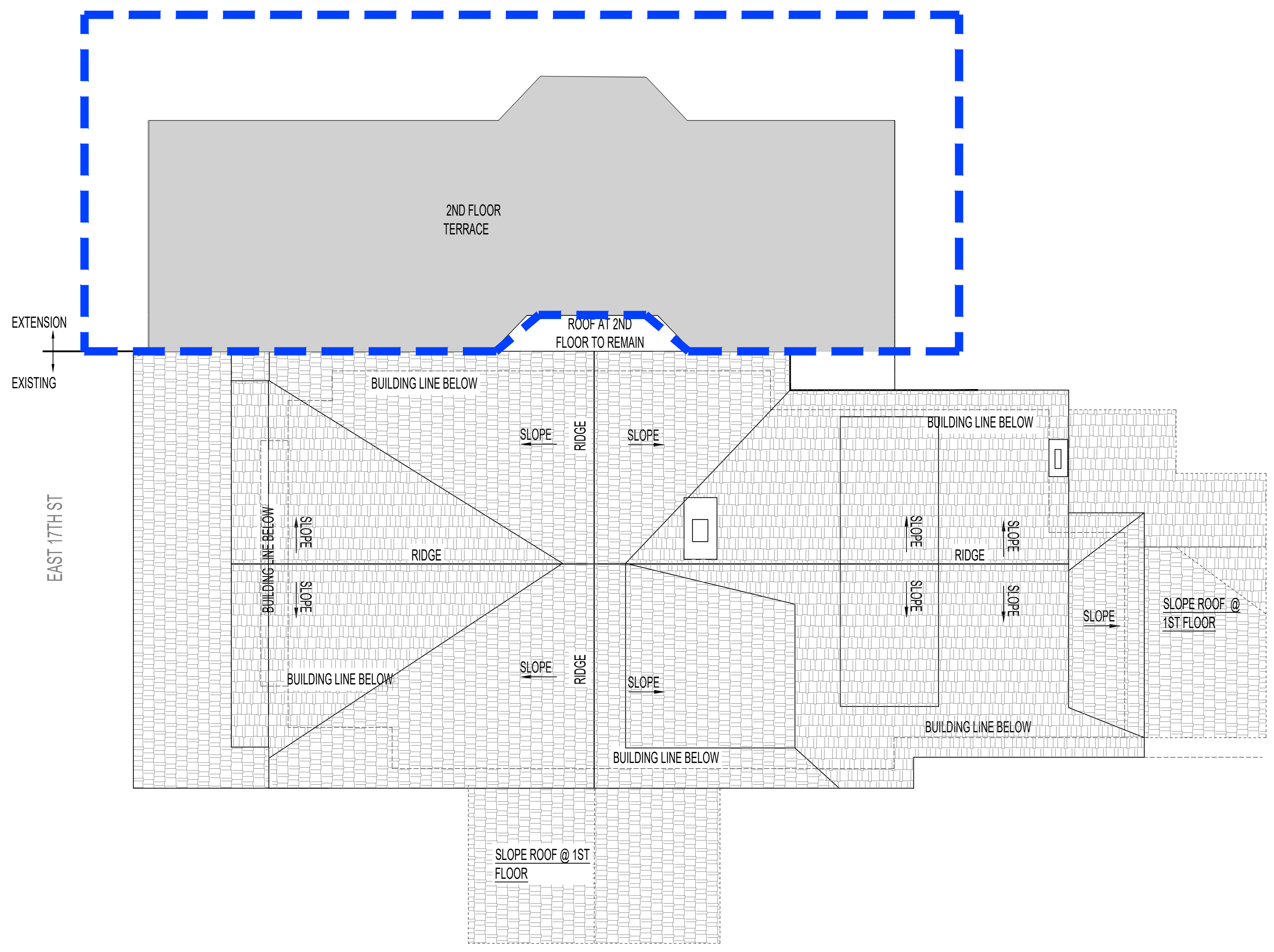
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EXISTING FLOOR PLAN (ROOF)



5 EXISTING ROOF PLAN
Scale: Not To Scale

PROPOSED FLOOR PLAN (ROOF)



5 PROPOSED ROOF PLAN
Scale: 1/8"=1'-0"



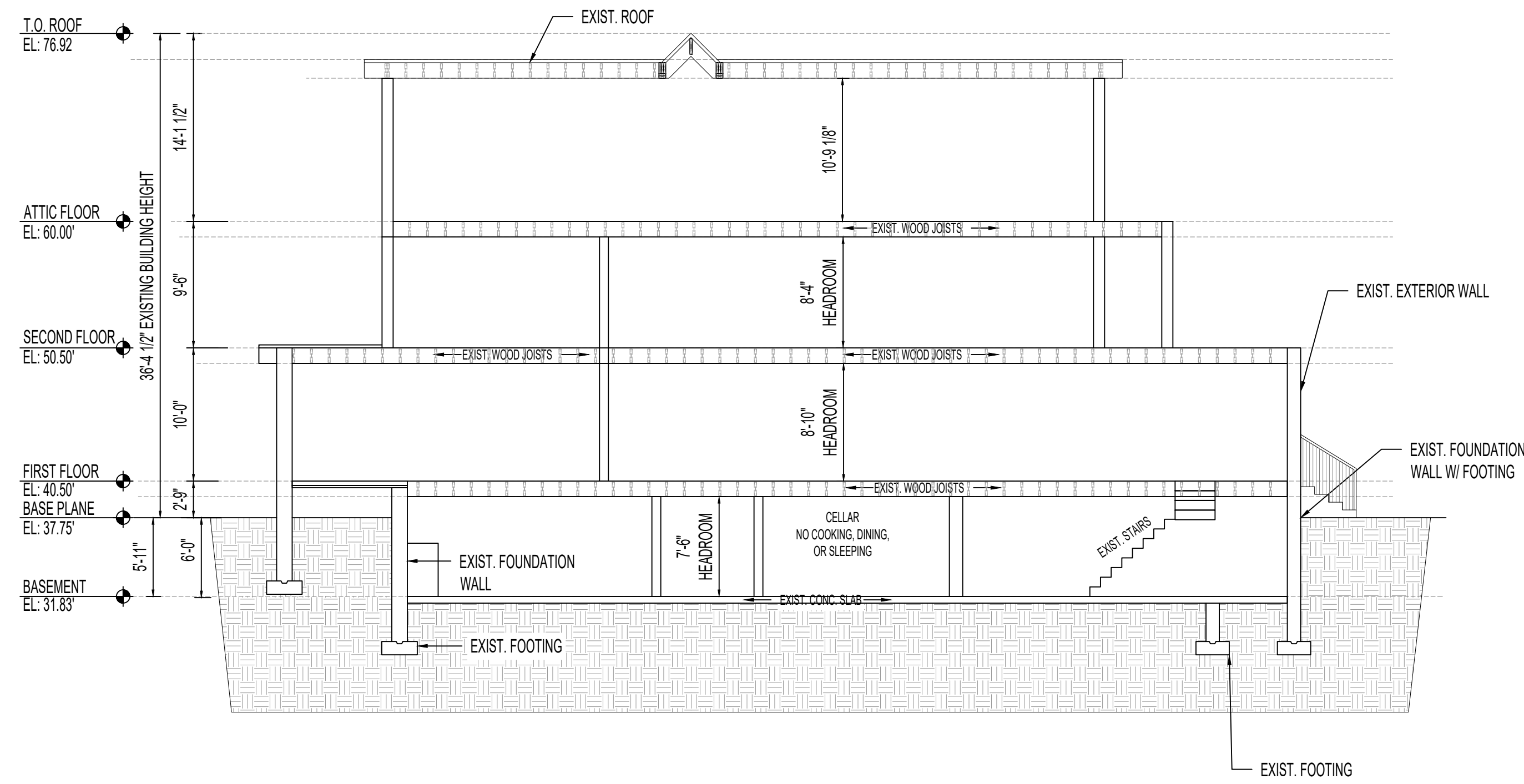
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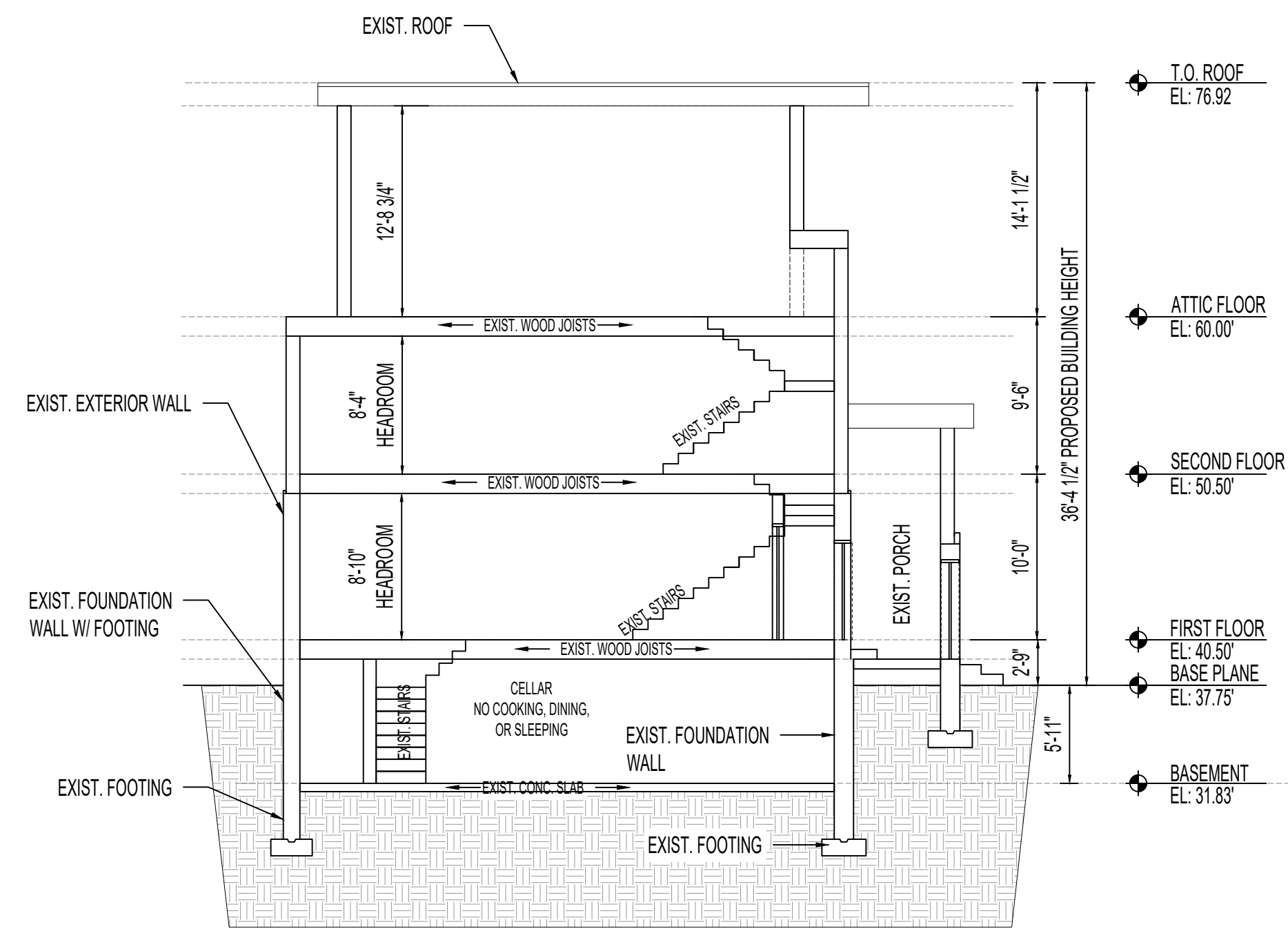
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EXISTING BUILDING SECTIONS

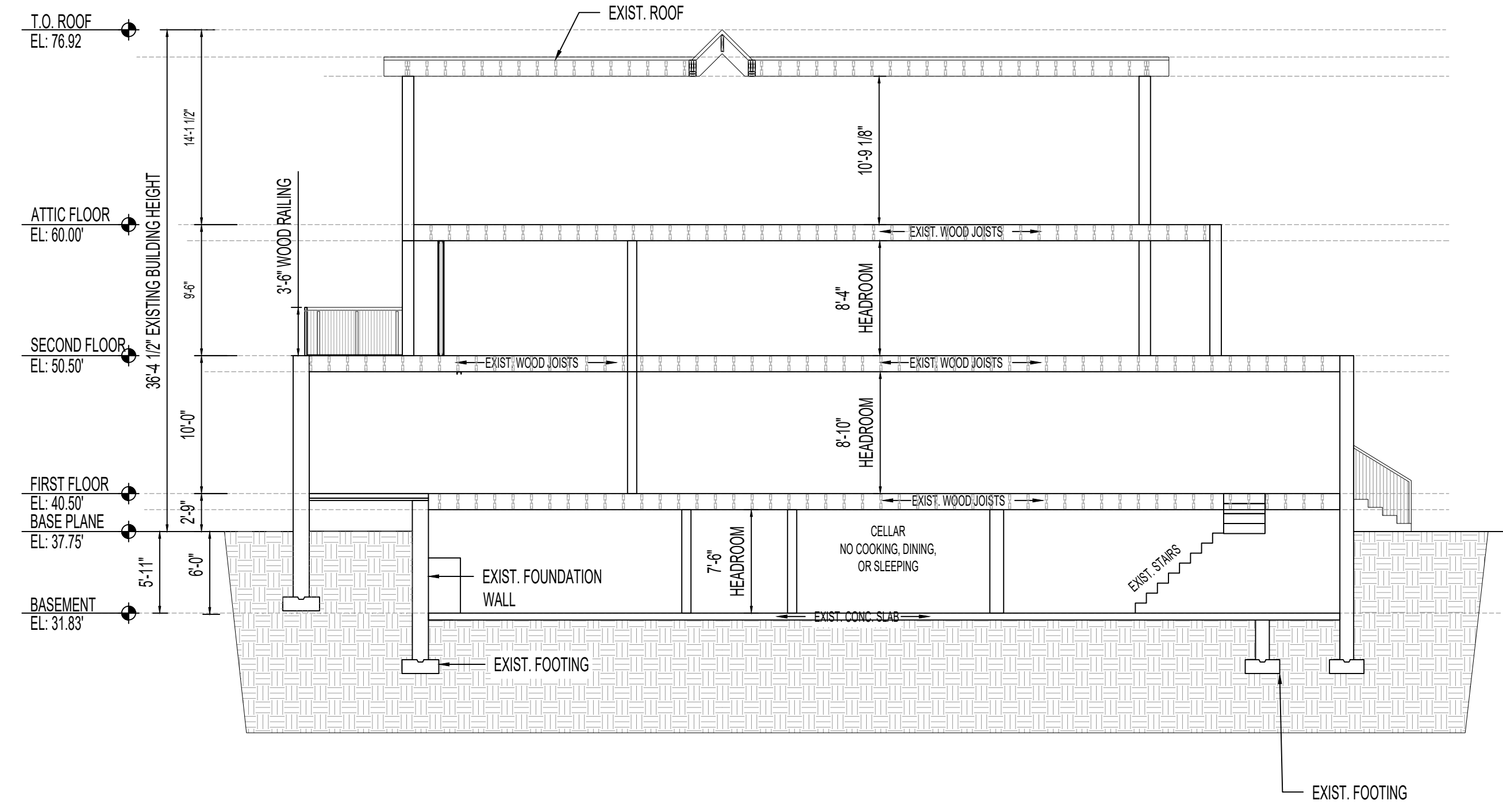


A EXISTING LONGITUDINAL SECTION
Scale: 1/8"=1'-0"

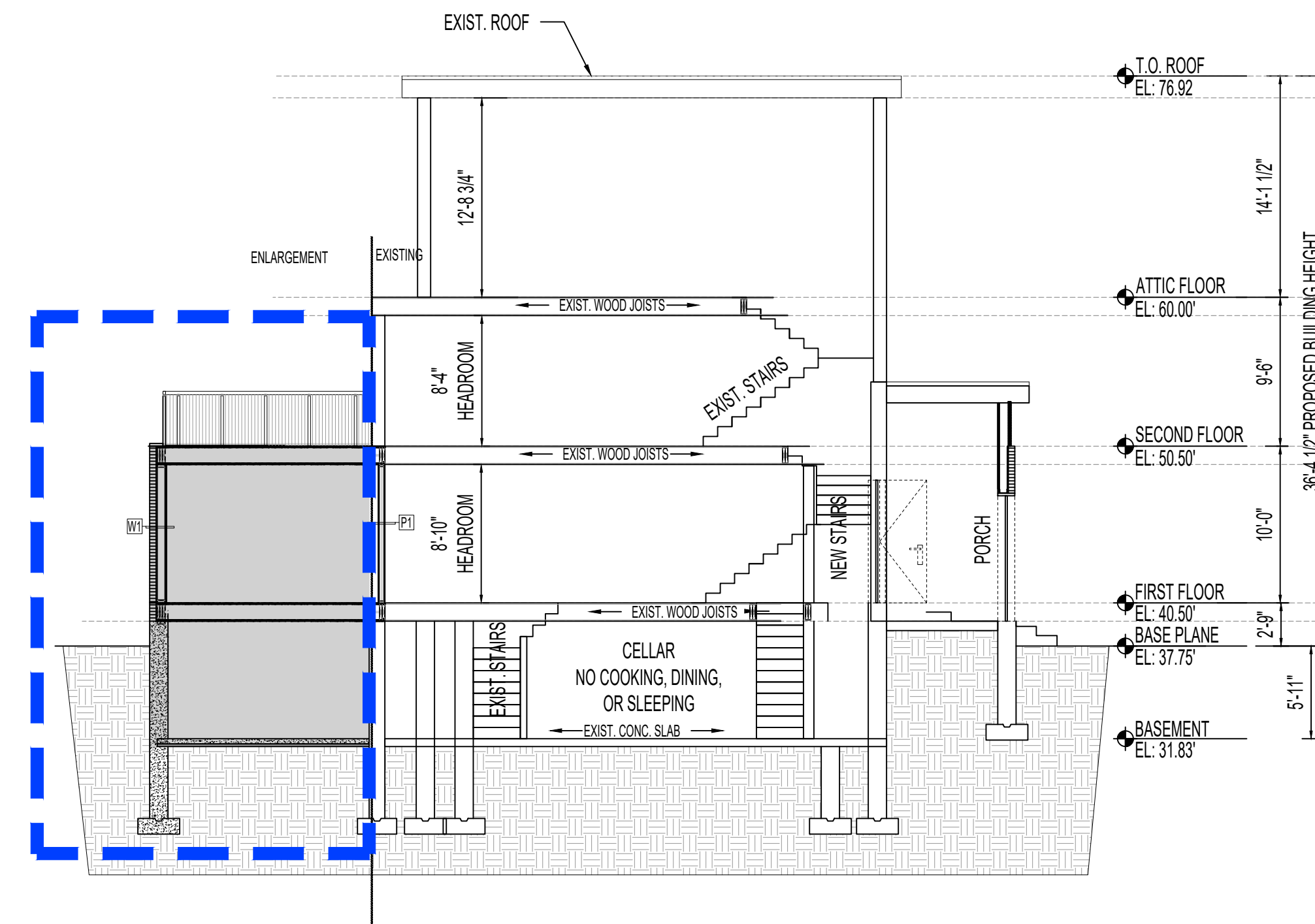


B EXISTING CROSS SECTION
Scale: 1/8"=1'-0"

PROPOSED BUILDING SECTIONS



C PROPOSED LONGITUDINAL SECTION
Scale: 1/8"=1'-0"



D PROPOSED CROSS SECTION
Scale: 1/8"=1'-0"



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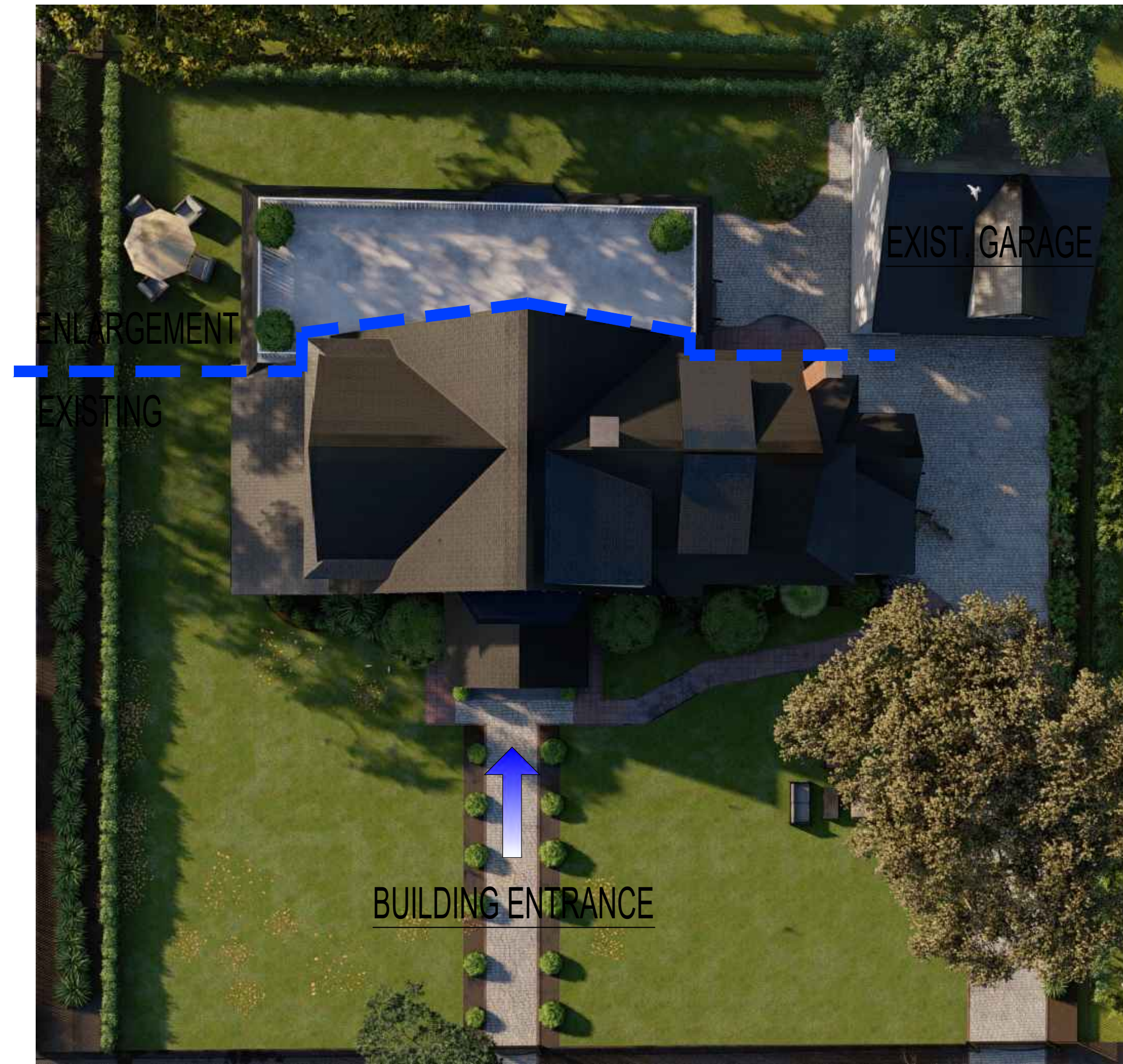
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Sheet No.: 17 of 21

PHOTOMONTAGES OF PROPOSED BUILDING



PROPOSED AXONOMETRIC EAST-NORTH (FRONT) VIEW



PROPOSED BUILDING ROOF VIEW



PROPOSED PERSPECTIVE SOUTH (REAR)-EAST VIEW



PROPOSED PERSPECTIVE WEST-SOUTH (REAR) VIEW



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August 2, 2023

Belden Tri-State Building Materials
3337th Avenue 5th Floor
New York NY 10001

Attention: Robert Ascrizzi

Re: 74 Wellington Court, Brooklyn NY

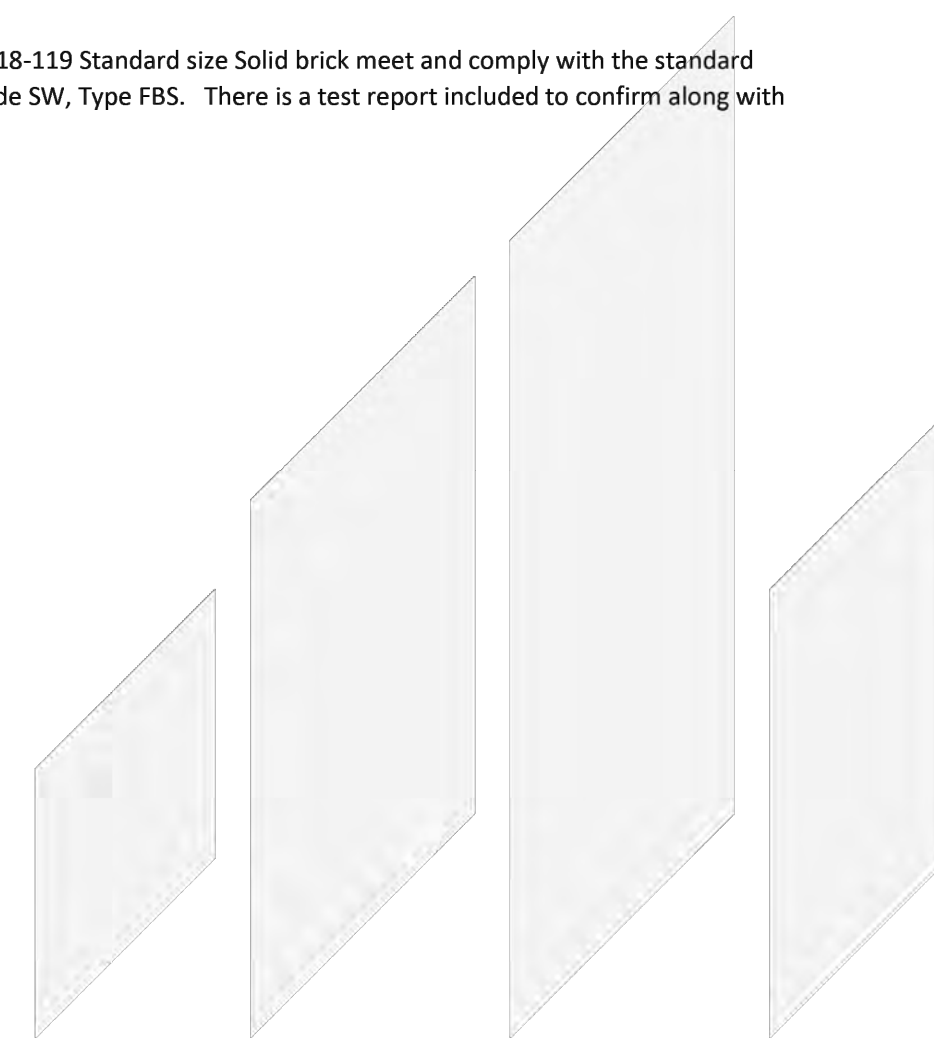
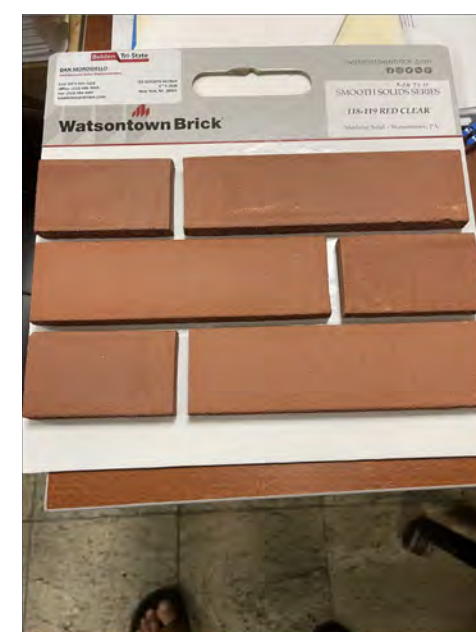
Dear Robert,

This letter will certify that our 118-119 Standard size Solid brick meet and comply with the standard specification of ASTM C216, Grade SW, Type FBS. There is a test report included to confirm along with an MSDS sheet.

Sincerely,

WatsonTown Brick Company

Margie Miller



WATSONTOWN BRICK COMPANY : 86 Portway Road, WatsonTown, PA 17777 | (570) 538-2555



TEST REPORT



Results of Tests on Brick conducted in accordance with ASTM C216-13 Standard Method for Sampling and Testing Brick and Structural Clay Tile

Name: WatsonTown Brick Company Plant: WatsonTown Brick Company
P. O. Box 88 WatsonTown, PA 17777 Report Number: WBC-0070
Phone: 570-538-2555 Received Date: 01/19/2014 *Temperature: 70 - 77F
Fax: 570-538-5903 Sampled Date: 01/19/2014 *Humidity: 45% - 55%
Lot: Product Code:

Sample Description: **Smooth Solid**

Table with 5 columns: 1, 2, 3, 4, 5, Average. Rows include 24 Hour Submersion in Cold Water (%), 5 Hour Submersion in Boiling Water (%), and Saturation Coefficient (Ratio of 24H to 5H).

*Measurement Uncertainty ± 0.55 %

Compressive Strength

Table with 5 columns: 1, 2, 3, 4, 5, Average. Rows include psi and MPa.

*Measurement Uncertainty ± 231 psi

Efflorescence

Table with 5 columns: 1, 2, 3, 4, 5, Average. Rows include Not Effloresced and Effloresced.

IRA (Oven Dried Method)

Table with 5 columns: 1, 2, 3, 4, 5, Average. Row includes g/min/20 in.².

*Measurement Uncertainty ± 1.5 g/min/30 in.²

Abrasion Resistance

Table with 5 columns: 1, 2, 3, 4, 5, Average. Row includes 0.00, 0.08, 0.04, 0.04, 0.05, 0.06.

The brick represented by the test results shown here comply with the physical property requirements of the standards listed below:

ASTM C 13 - 13 Standard Specification for Sewer and Manhole Brick (Made From Clay or Shale)

Grade: SM / MX MS

ASTM C 82 - 13 Standard Specification for Building Brick (Solid Masonry Units Made From Clay or Shale)

Grade: MW, NW

ASTM C 902 - 14 Standard Specification for Flexitarian and Light Traffic Paving Brick

Class: MX, NX

Type: I, II, III

John Sanders, Ph.D., PE, Director

Gary W. Parker, Laboratory Supervisor

Lab Reference: 5489.9936 Page 1 of 2

Table titled 'ROOF DRAINAGE SYSTEMS' with columns for Description, Color, White 30", Brown, Natural Clay, High Gloss White 80", and Royal Brown. Rows include Straight Back Gutter, Hem Back Gutter, Miter (Inside/Outside), Strip Miter, Bay Strip Miter, End w/Drop, Left End, Right End, Connector, and Seamer with 1 oz. SeamerMate.

EXTERIOR WALL AND GUTTER MATERIAL

FIRST FLOOR EXTERIOR WALL BRICK BY WATSONTOWN BRICK ROOF ALUMINUM GUTTER BY AMERIMAX, FINISH COLOR TO MATCH EXISTING GUTTER

Sterling Double Hungs

Patents 7,296,381 | 7,448,164 | 8,196,355 | 8,429,856



Sterling double hungs are made to blend seamlessly with the grandest décor. A patented interior wood cover conceals the jambliner, while giving the windows a rich, full-wood appearance. The lock system boosts performance to a level not often reached by double hung windows.

- #### Sterling Double Hung Standard Features
- 1-3/4" thick sash
 - Overall jamb width is 4-9/16" (basic box width is 4-9/16")
 - Frame thickness is 3/4" at side jambs and head
 - Sill thickness is 1-3/16", slope is 1/4"
 - Constructed of pine, with pine interior stops and wood mill casings on mullion units
 - Energy efficient, insulating LoE-2/0 glass
 - Glazed to the interior with beveled wood glazing beads
 - 1-15/16" exterior brickmould applied
 - All exterior wood parts are preservative-treated
 - Exterior frame and sash are latex primed
 - Wood interior head parting stop
 - Fully weatherstripped for a tight seal
 - Clay-colored heavy duty sash lock with a dual positioning lever allows sash to be unlocked, operated and tilted in from one location
 - Spring-loaded block-and-tackle mechanical balances to carry the sash weight
 - Concealed PVC jambliners
 - Patented wood-wrapped jambliner closure on the interior (interior interior is primed white or primed, then jambliner will be white) and a primed, extruded aluminum jambliner closure on the exterior hides PVC jambliners
 - Pine-veneered head and seat boards; unique narrow mullions on bay units



A wood wrapped jambliner closure on the interior (shown) and a primed, extruded aluminum jambliner closure on the exterior hide the PVC jambliners.



Heavy duty sash lock with dual positioning lever allows sash to be unlocked, operated, and tilted in from one location.

Hardware

Sterling double hungs feature a pick resistant cam lock with a concealed locking mechanism and tilt latches installed into an interlock channel. Optional sash lift handles are available for easy operation. All double hung hardware is available in Clay standard, White, Beige, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Umber, and Matte Black finishes.

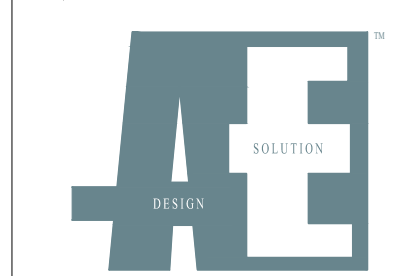


Sterling Double Hung Optional Features

- LoE-180
- LoE-240
- LoE-366
- ThermaPlus™ LoE
- Patterned, bronze- or gray-tint
- Tempered or laminated
- Other options standard to the industry
- Performance divided lites with 5/8" 7/8" 1-1/8", 1-3/4", 2-1/4", or 4-1/2" bars
- True divided lites with 5/8" LoE insulating glass and 1-1/8" bars
- Grilles-in-the-air-space
- Interior removable wood grilles with 7/8" or 1-1/8" bars and full surrounds
- Exterior Finishes
- K-Kon II exterior paint finish
- Other Options (custom options are also available)
- Other wood species and FSC-certified wood
- Interior refinishing
- Interior casing
- Prep for stool
- 3-1/2" flat or profiled brickmould, backband on 3-1/2" brickmould and other custom millwork
- Projected sill nosing, extended sill horns or no nosing
- Ovolo and square profile glazing beads and interior divided lite bars
- Class 5 balances available for larger units
- Sash locks in White, Beige, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Umber, and Matte Black finishes
- Sash lift handles in Clay, White, Beige, Brass, Antique Brass, Satin Nickel, Antique Nickel, Rustic Umber, and Matte Black finishes
- Custodial locks
- Universal design crank handle hardware kit in White
- Full or half screens with aluminum frames and options for BetterVue® or UltraVue® fiberglass screen mesh or aluminum screen mesh in either aluminum or charcoal colors; frames will match the exterior color of the unit
- Retractable screen kit
- Retractable screen covers available as beveled standard or square
- StormGuard combination storm/screen units
- Extension jambs (up to 12" applic; over 12" shipped loose for field application)
- Sash limiters for safety
- Galvanized steel installation clips
- Insulated platforms, support brackets and oak-veneered head and seat boards for bay units
- High performance and K-Force® impact performance modifications

WINDOW FRAME MATERIAL

WINDOW WOOD FRAME & CLEAR GLASSES BY STERLING FINISH COLOR MATCH EXISTING WINDOW



71 Leonard Street, New York, NY 10013
Telephone: 212.226.6816
Email: info@aesolinc.com

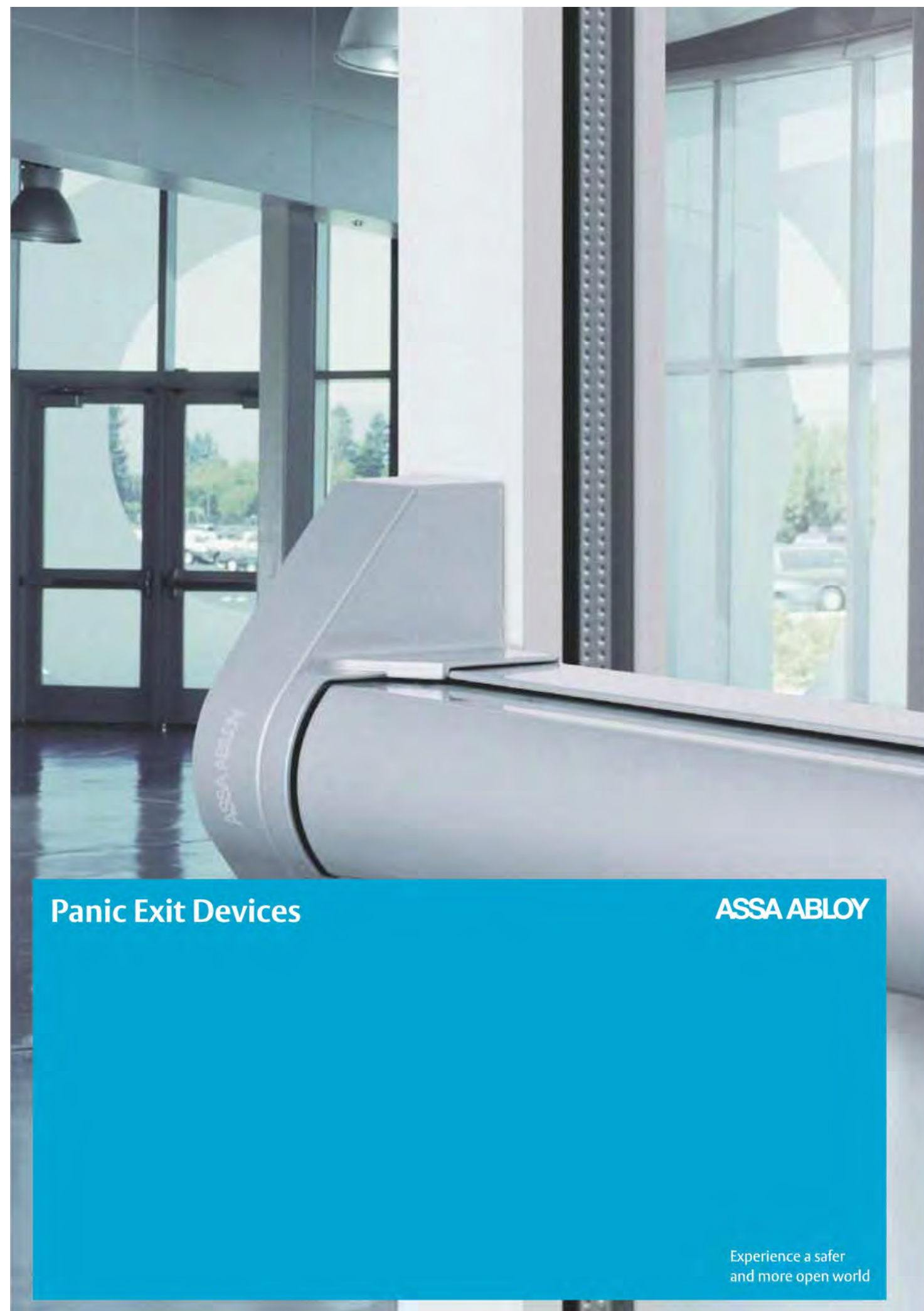
Project Address:

74 WELLINGTON COURT
BROOKLYN, NY 11230

Drawn By: Y.Z.
Checked By: M.R. & A.S.
Date: 04/15/2024
Scale: As Noted

NOTE: AE Design Solution Inc and its principal / employees were not retained for any supervision of the actual construction of this project.

NEW EXTERIOR CELLAR DOOR MATERIAL



Panic Exit Devices

ASSA ABLOY

Experience a safer and more open world

ASSA ABLOY Panic Exit Device Features & Benefits

ASSA ABLOY

Panic Exit Device

ASSA ABLOY

Panic Exit Device - Touch Bar

ASSA ABLOY

Panic Exit Devices

Key features:

- Surface mounted
- Slim, neat design, surface mounted
- 200,000 cycles tested
- Fire rated
- Wide range of option

Benefits:

- Ease of installation
- Superior aesthetics
- High durability
- Suitable for fire rated doors
- External cylinder and lever option available

Standard & Certification

BS EN 1125
EN1634

Technical details:

- Cross and Push bar
- Modular type – stock reduction
- 1, 2, 3 locking point versions (vertical and lateral) – RIM
- For doors up to 1200 x 2400mm in standard
- Easy installation and adjustment
- Wide range of finishes
- Compatible accessories
- Wide range of outside trims
- Hold Open and Micro switch versions
- Glass door kit
- Certified according to EN 1125:2008
- Durability of 2,00,000 cycles
- For Fire Rated applications (not HO version)
- Suitable for single and double doors



This new range of product is based on a new modular concept and a common design, under a unique platform for both push and cross bar panic exit devices.

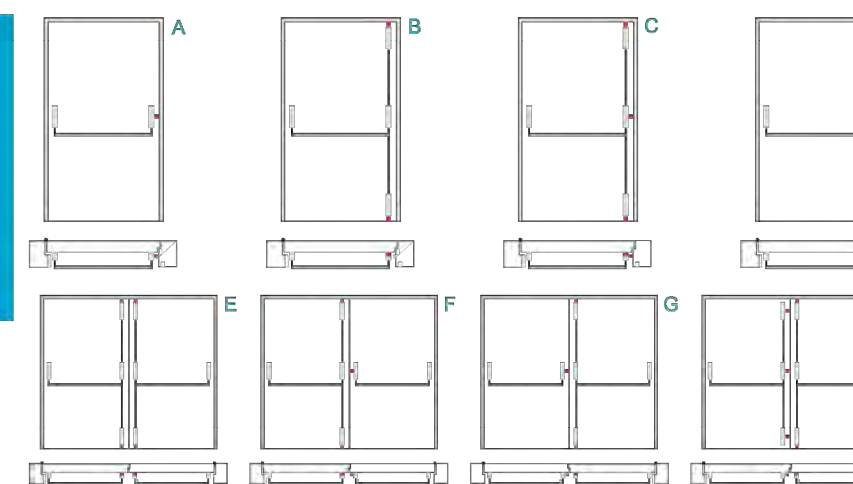
Panic Exit Devices standard finishes

Cover & Fix bar	Tube		
	Red (RAL 3000)	Silver (RAL 9006)	S/Steel
Cross bar:	R	G	I
Black (RAL 9000)	N	NR	
Silver (RAL 9006)	G	GG	
S/Steel effect	S		SI
S/Steel	I		II

Push bar:

Cover & Fix bar	Active bar		
	Red (RAL3000)	Silver (RAL 9006)	S/Steel
Cross bar:	R	G	I
Black (RAL 9000)	N	NR	
Silver (RAL 9006)	G	GG	
S/Steel effect	S		SI

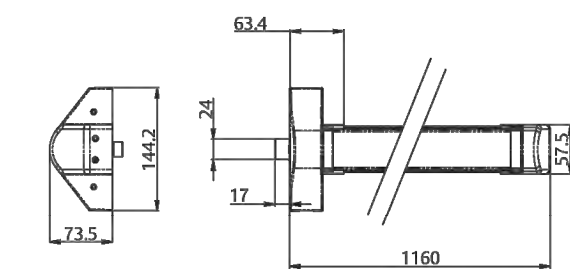
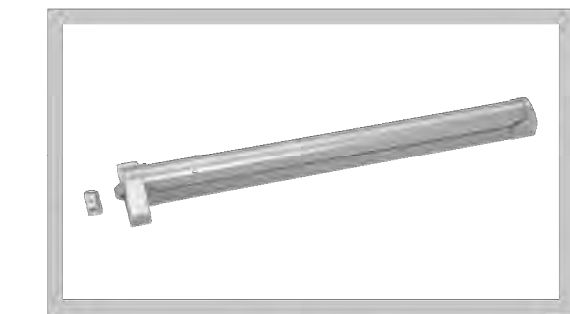
Typical door installation



Panic Exit Device PED 300 Touch Bar - Rim Device

ASSA ABLOY PED 300:

- Panic exit device with central locking point - RIM



Panic Exit Device Characteristics of PED 300

Characteristics of PED 300:

- Modular push bar type
- For fire and smoke applications
- High durability 2,00,000 cycles
- One central locking point
- For one or double leaf door up to 200 kg
- For all types of door
- For doors up to 1200 mm width in standard
- For doors up to 1400 mm width in option
- Steel pulman latch in standard
- Dead latch in standard
- Steel or zinc alloy swing latch
- Zinc alloy cover 38 mm width
- Aluminium touch bar 1046 mm long
- Bar to be cut
- 73 mm projection
- HO function in option
- Micro switch version in option

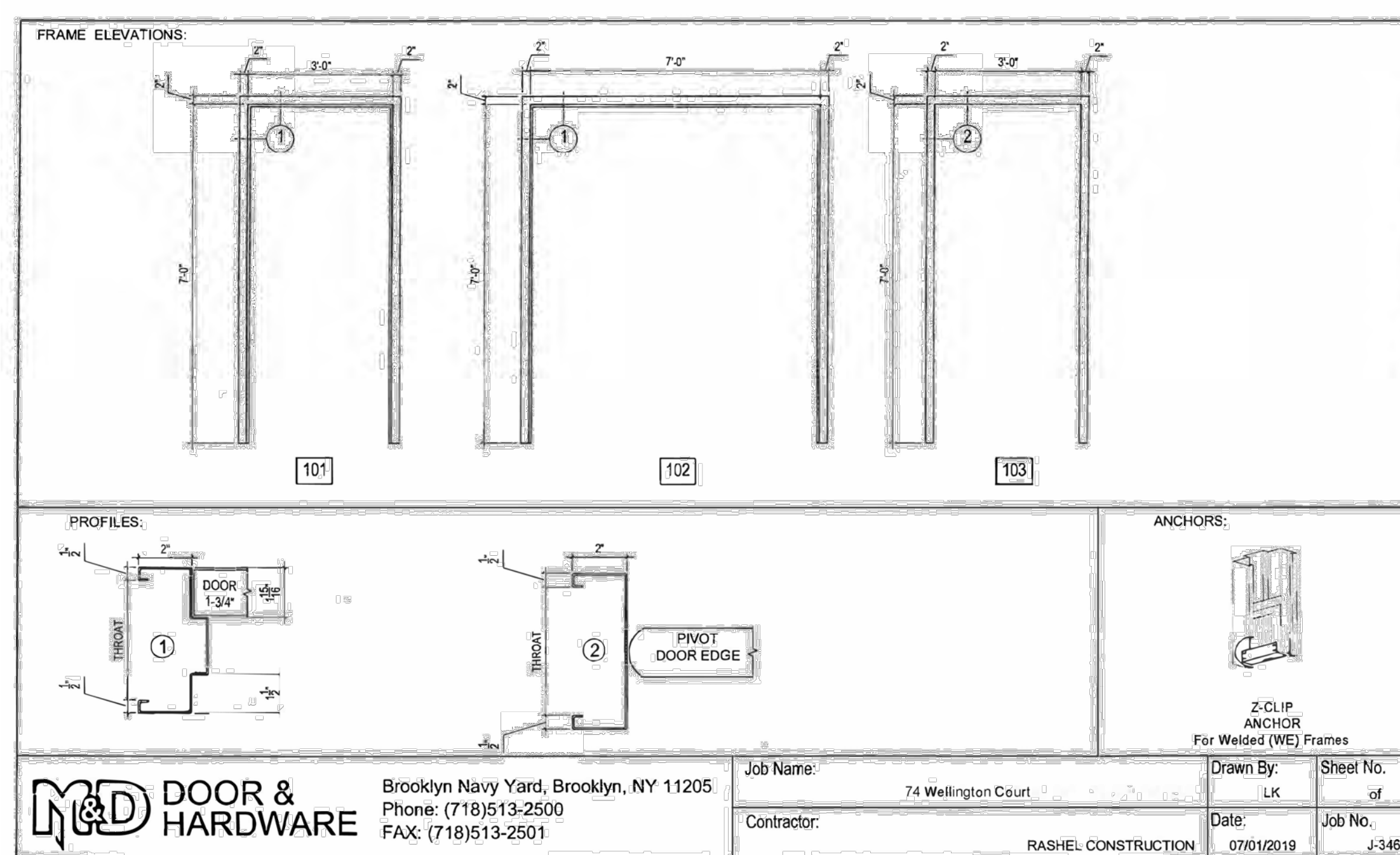
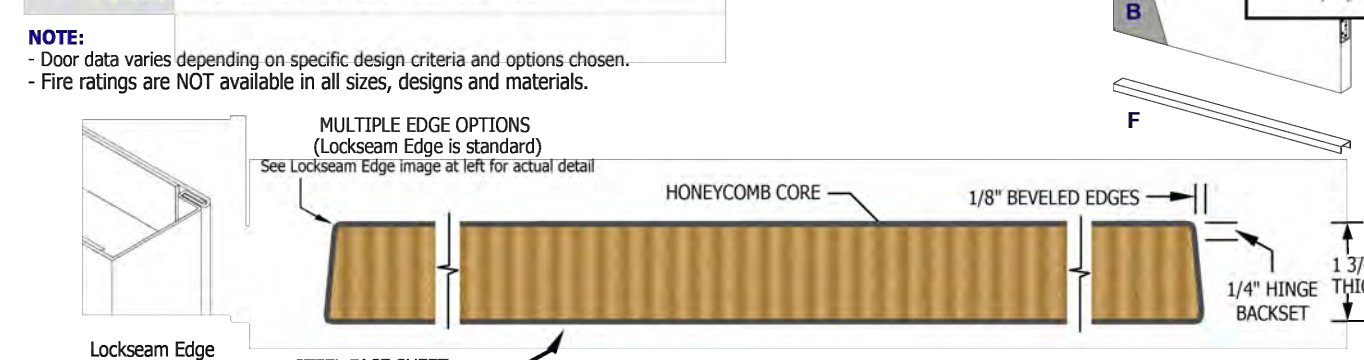
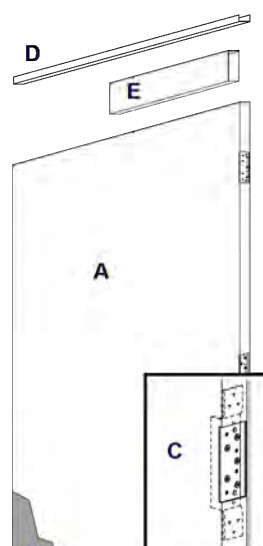


TECHNICAL DATA

HMD-HC HOLLOW METAL DOOR SERIES

1 3/4" Thick, Honeycomb Core Steel Doors
Flush Design, Hinge & Lock Edges Beveled, Handed

Description	Honeycomb core: The most economical door core in the commercial door industry. For interior and exterior applications.
Elevation	Flush design is standard. A variety of vision kits w/ glass and louvers are available. See options page for sample elevation types.
NAAMM, SDI & ANSI	Can be custom engineered to meet the specifications of the project as required by the architect or specifier to meet most NAAMM-HMMA, SDI or ANSI specifications.
Steel Material	1. A40 Galvanneal Steel 2. A60 Galvanneal Steel 3. G90 Galvanized
Faces	20, 18, 16, or 14 Gauge Steel (see A)
Door Edges	1-3/4" thick, beveled 1/8" in 2"; 1 3/8" thick is optional
Vertical Edges	1. Lockseam Edge (mechanically interlocked) - Standard 2. Tack-Welded Edges - Optional 3. Welded Seamless Edge - Optional
Top / Bottom	1. 18 Gauge Inverted End Channels welded to face sheets - Standard (see D & F) 2. Steel Top Cap - Optional 3. Steel Bottom Cap - Optional 4. Vinyl Cap at Top/Standard Bottom - Optional
Hinges	10 Gauge high frequency dual purpose w/ return bend for added strength & rigidity (see C)
Locks	161 Single Bore (ANSI A115.2), 86 Mortise Edge Pocket (ANSI A115.2), PR (rim Panic reinf). Additional lock preparations are available. Consult our customer service department for details.
Closers	18 Gauge Surface Closer Reinforced. (see E)
Core	Honeycomb - Structural 1" Hexagonal Cells: 80 lb Per Ream: 1.03 PCF. Core is permanently bonded to the face sheets with a heat resistant, structurally reinforced, resin-based epoxy adhesive. (see B)
Impact Resist.	Core Impact Resistance is Estimated at: 45 psi.
STC	No formal STC test. Sound Control is Estimated at: STC 32.
Fire Rating	45 min, 90 min, 3 Hours
Test Laboratory	Intertek Testing (WH), Underwriter's Labs (UL)
Finish	1. Gray (zinc-iron alloy coating) - non-painted. Finish painting by others. 2. Prime-painted is optional, but not required for finish painting.
Status	Stock and Custom Engineered Doors are Available



M&D DOOR & HARDWARE

Brooklyn Navy Yard, Brooklyn, NY 11205
Phone: (718)513-2500
FAX: (718)513-2501

Job Name: 74 Wellington Court
Contractor: RASHEL CONSTRUCTION

Drawn By: LK
Date: 07/01/2019
Sheet No. of
Job No. J-3487

Metropolitan Door Industries Corp.
350 Thorens Avenue
Garden City Park, NY 11040

Toll Free: 888.MDI.DOOR (888.634.3667)
Phone: 516.294.1801
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www.metropolitandoor.com



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Date: 04/15/2024

Scale: As Noted

Sheet No.: 20 of 21

NOTE: AE Design Solution Inc and its principal / employees were not retained for any supervision of the actual construction of this project.



Millions of families have found shelter and peace of mind under a Timberline® roof. And now, a good thing just got even better again.

We protect what matters most™



Pewter Gray

Pewter Gray can add dramatic counterpoint to contemporary exterior color palettes, as well as to stucco or brick facades.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

NEW ROOFING MATERIAL



71 Leonard Street, New York, NY 10013
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Email: info@aesunc.com

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April 16, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-23-08409

74 Wellington Court – Fiske Terrace-Midwood Park

Historic District

Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 870 9410 2125

Passcode: 613401

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.