

The current proposal is:

Preservation Department – Item 12, LPC-24-06886

613 West 155th Street – Audubon Terrace Historic District Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 835 5784 7531

Passcode: 865955

By Phone: 1 646-558-8656 US (New

York) 877-853-5257 (Toll free) US

888 475 4499 (Toll free)

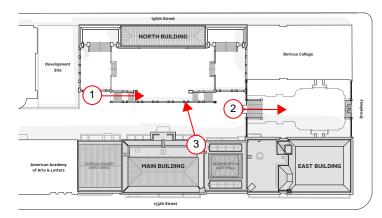
Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

NYC LPC APPLICATION - PUBLIC HEARING PRESENTATION 9 APRIL 2024

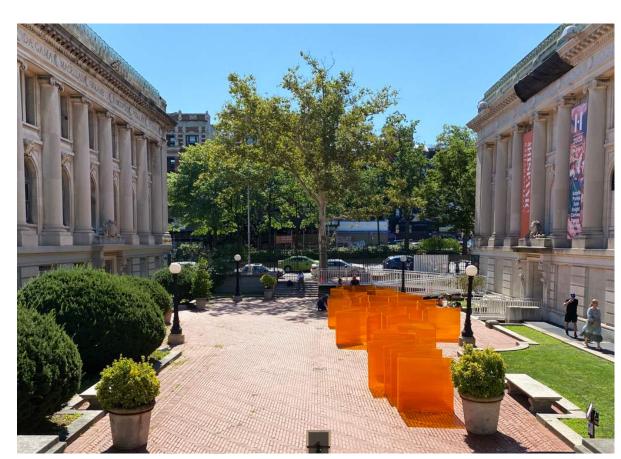


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SITE PLAN



2 - View of Broadway Terrace looking east, 2023 (HSML East Building on right)



1 - View of Upper Terrace looking east, 2019 (HSML Main Building on right, HSML North Building on left)



3 - View of North Building, looking north, 2024



SOTO PENETRABLE

INSTALLATION SCHEDULE

MAY 12, 2023

LPC PERMIT CNE-23-10214 ISSUED FOR ONE
(1) YEAR OF SOTO PENETRABLE
INSTALLATION

MAY 25, 2023

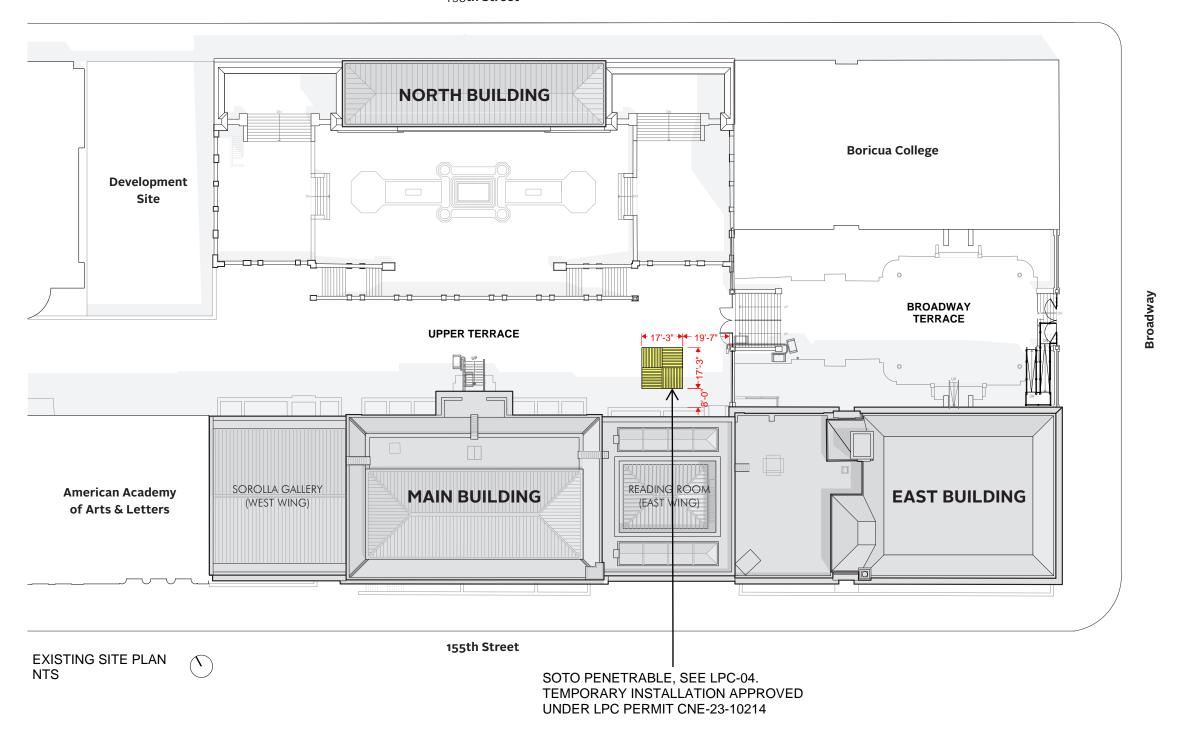
DOB PERMIT M00863646-I1-GC ISSUED FOR SOTO PENETRABLE INSTALLATION

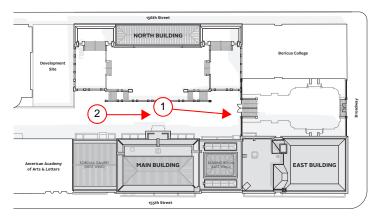
JUNE 27, 2023

INSTALLATION OF SOTO PENETRABLE COMPLETE

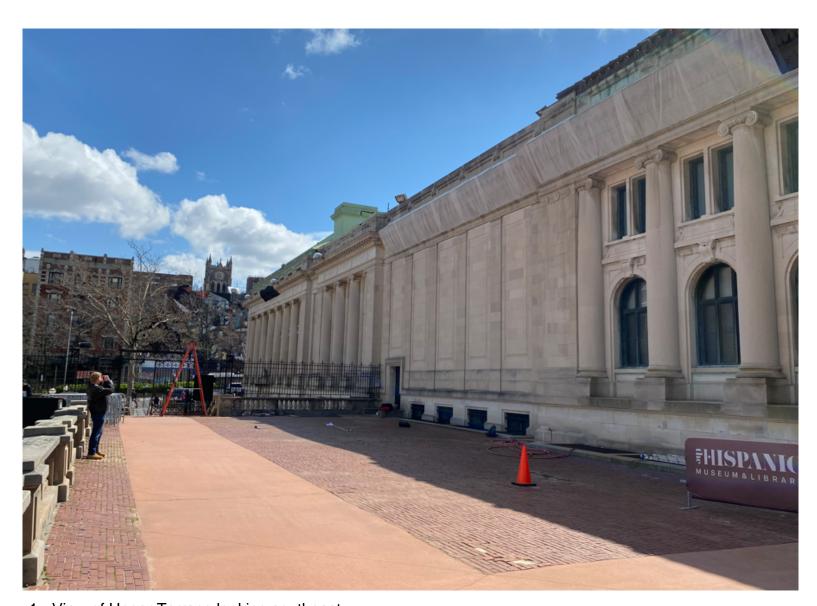
JUNE 8, 2026

DISMANTLE SOTO PENETRABLE

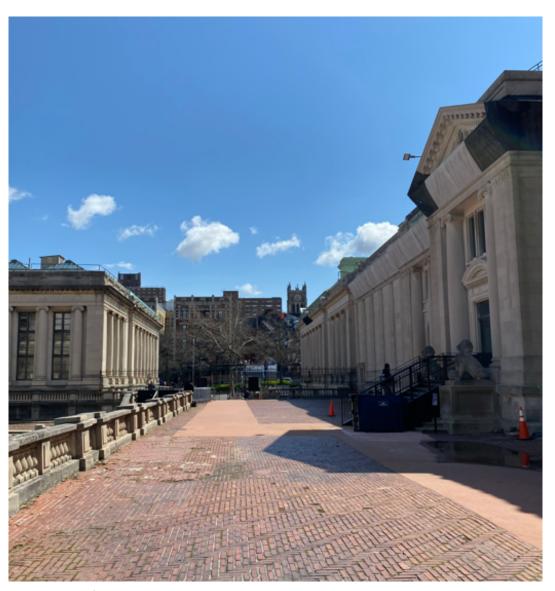




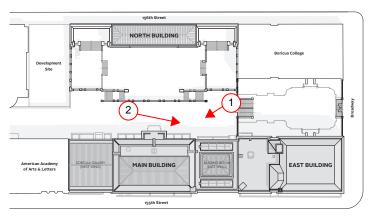
SITE PLAN



1 - View of Upper Terrace looking southeast



2 - View of Upper Terrace looking east



1 - View of Upper Terrace looking southeast

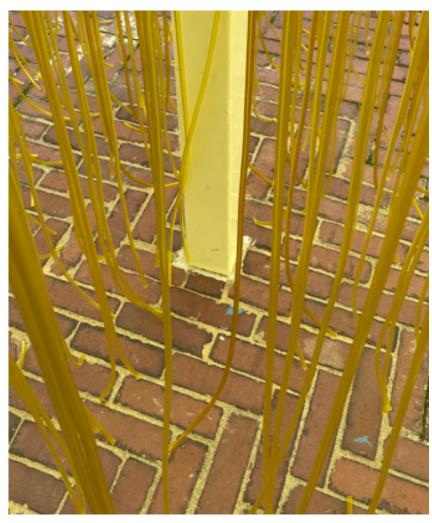
SITE PLAN

NOTES

- 1. Penetrable consists of an open cubic steel frame, supporting a canopy of aluminum channels, with amber-colored plastic PVC tubing secured through holes in the aluminum channels. The sculpture is approximately 17' x 17' x 19' (LxWxH).
- 2. Existing pavers were removed and salvaged on site to allow for the concrete foundation installation that is required for the artwork's steel frame installation. Salvaged pavers were reinstalled where possible following concrete installation. New pavers were cut to size as needed and installed around the *Penetrable* steel frame. New pavers are to match the existing pavers.
- 3. Following removal of *Penetrable*, all new pavers will be removed and salvaged pavers will be reinstalled to match the existing paving pattern.
- 4. Refer to attached DOB filing drawings prepared by Murray Engineering for layout, installation details, and brick paver specifications.



2 - View of Upper Terrace looking east



3 - Close up view of frame base installation



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APPENDIX

Soto Installation DOB Drawings

17. CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 2 WEEKS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE

INSTALLATION. THE CONTRACTOR SHALL HIRE A REGISTERED AND EXPERIENCED PROFESSIONAL ENGINEER TO DESIGN.

SUPERVISE AND INSPECT ALL SHORING AND EXCAVATION REQUIRED FOR THIS PROJECT. THIS ENGINEER SHALL PREPARE

AND SUBMIT A SEPARATE SET OF DRAWINGS TO THE BUILDING DEPARTMENT OUTLINING ALL ENGINEERED SHORING.

EXCAVATION AND SPECIAL SITE CONSIDERATIONS, INCLUDING PROTECTION OF ADJACENT STRUCTURES AND PROPERTY

19. CONTRACTOR SHALL BE RESPONSIBLE TO GENERATE A SET OF AS BUILT DOCUMENTS AFTER COMPLETION OF WORK. THIS

20. NO NEW SLAB REPAIR SECTIONS ARE TO BE CAST ON UNCONTROLLED FILL, SOIL, ORGANIC MATERIAL, FROZEN GROUND,

"PENETRABLE" ARTPIECE IS UNDERSTOOD TO BE MADE/COMPOSED OF STRUCTURAL STEEL. REFER TO OWNER-PROVIDED

DRAWINGS BY PARADIGMA DIRECTLY FROM OWNERSHIP. INSTALLER OF "PENETRABLE" TO ENSURE INSTALLATION MEETS

ALL STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL

4. ALL WELDING WORK SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE AWS D1.1. ALL WELDING WORK SHALL

STRUCTURAL DRAWINGS, ARCHITECTURAL DRAWINGS, MECHANICAL DRAWINGS, AND DRAWINGS OF OTHER TRADES.

8. WHERE NO WELDING IS SHOWN IN CONNECTING THE STEEL ELEMENTS, PROVIDE A 1/4" FILLET WELD ALL AROUND, UNLESS

9. CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATION WITH THE TOP OF CONCRETE ELEVATION. IN

10. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE LATERAL SUPPORT OF THE PENETRABLE DURING CONSTRUCTION

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE, ACI 318, LATEST EDITION, AND THE NEW

2. ALL CONCRETE FOR CAST IN PLACE WORK SHALL BE STONE CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH

5. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. ALL REINFORCEMENT SHALL BE SECURELY TIED IN

CONDITIONS NOT SHOWN SHALL BE PROVIDED AS SHOWN IN SIMILAR CONDITIONS. ALL INSERTS AND OTHER OBJECTS

ALL CONCRETE PLACED AGAINST PERMANENT SHEETING. THESE DIMENSIONS ARE TYPICAL, UNLESS OTHERWISE NOTED

7. MINIMUM CLEAR CONCRETE COVER SHALL BE 3 INCHES FOR ALL CONCRETE CAST AGAINST EARTH; AND 4 INCHES FOR

1. EXCEPT WHERE INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR

ANCHORAGE SYSTEM

HOLLOW DRILL BIT INSTALLATION

HOLLOW DRILL BIT INSTALLATION

HILTI RE 500 V3 ADHESIVE w/ SAFE SET | ESR-3814

HILTI HY 200 V3 ADHESIVE w/ SAFE SET | ESR-4868

ICC-ES REPORT

ESR-4868

ESR-3814

ESR-4266

ESR-3027

ESR-4386

ESR-1546

IFSR-4143

FSR-4561

IFSR-4143

TYPES OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE ICC-ES REPORT AND

HILTI HY 200 V3 ADHESIVE

HILTI HY 500 V3 ADHESIVE

HILTI KWIK BOLT TZ 2

HILTI HY 270 ADHESIVE

HILTI KWIK BOLT TZ 2

2. ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER

METHOD AS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. SUBSTITUTION REQUESTS FOR ALTERNATE

ICC-ES REPORT SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE, SEISMIC USE, LOAD RESISTANCE,

ADHESIVE ANCHORS INSTALLED IN A HORIZONTALLY OR UPWARDLY INCLINED ORIENTATION INTO CONCRETE AND

CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ON-SITE ANCHOR

OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE

CONTINUOUS OR PERIODIC SPECIAL INSPECTION FOR POST INSTALLED ANCHORS SHALL BE PERFORMED IN

INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. CONTRACTOR SHALL SUBMIT

PRODUCTS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR

PERFORMANCE VALUES OF THE SPECIFIED PRODUCT IN BOTH DRY AND WATER SATURATED CONCRETE, INCLUDING AN

SUPPORTING A SUSTAINED TENION LOAD SHALL BE INSTALLED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER. INSTALLER

SHALL BE CERTIFIED THROUGH THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM OR APPROVED

DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL INSTALLING ANCHORS HAVE RECEIVED THE

ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE

SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE

HILTI KWIK HUS EZ

HILTI HSL-4

HILTI HDL

ANCHORAGE TO HOLLOW / | HILTI HY 270 ADHESIVE WITH

INSTALLATION CATEGORY, IN-SERVICE TEMPERATURE, INSTALLATION TEMPERATURE, ETC.

NOTIFIED PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION EFFORTS.

MULTI-WYTHE MASONRY | SCREEN TUBE

REQUIRED TRAINING PRIOR TO THE COMMENCEMENT OF WORK.

DRAWINGS.

6. SHOP DRAWINGS SHALL INDICATE ALL NECESSARY REINFORCING. DETAILING AND AMOUNT OF REINFORCING FOR

WHICH MAY AFFECT PLACING OF REINFORCING BARS SHALL BE INDICATED ON THE SHOP DRAWINGS.

OF 4000 PSI. DESIGN IS ADEQUATE WITH COMPRESSIVE STRENGTH OF 2,500 PSI AS PER NOTE-3 IN "INSPECTION."

ALL NEW STEEL PLATES NOT ORIGINALLY INCLUDED IN "PENETRABLE" DRAWINGS OR DESIGN SHALL CONFORM TO ASTM

CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND COORDINATE DIMENSIONS, CLEARANCES, ETC. BETWEEN

7. ALL WELDING ELECTRODES SHALL BE E70XX LOW HYDROGEN UNLESS OTHERWISE STIPULATED ON PENETRABLE

CASE OF CONFLICT, CONTRACTOR SHALL MAKE ALLOWANCE FOR MOST RIGID REQUIREMENTS.

YORK CITY BUILDING CODE. DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, LATEST EDITION

BE DONE BY AWS CERTIFIED WELDERS. FIELD WELDING SHALL BE DONE BY THE MANUAL SHIELDED METAL ARC WELDING

"PENETRABLE" DRAWINGS BY PARADIGMA FOR DIMENSIONS, FRAMING LOCATIONS, EXTERIOR PAINT SPECIFICATIONS,

MEMBER SIZES AND SPACING, AND CONNECTION DETAILS FOR ARTPIECE. CONTRACTOR TO OBTAIN PENETRABLE

FOR BUILDINGS" - 13TH EDITION AND ALL CURRENT SUPPLEMENTS. FOR OTHER CODE AND SPECIFICATION

WEIGHT OF "PENETRABLE" IS APPROXIMATELY 8900 LBS TO BE VERIFIED IN FIELD BY INSTALLER.

MUD, SOFT CLAYS OR OTHER OBJECTIONABLE OR UNAPPROVED MATERIALS. ANY EXISTING SOIL ON WHICH NEW

AS-BUILT SET SHALL INCLUDE ALL COORDINATION, ADDITIONS AND REVISIONS MADE TO THE PLANS, DETAILS AND JOB

SPECIFICATIONS. THE INTENTION OF THIS RECORD SET WILL BE AS NECESSARY FOR THE OWNERS' RECORDS, THE LOCAL

18. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING OF "PENETRABLE" ART PIECE AS REQUIRED FOR ITS

SPECIAL INSPECTION ENGINEER SHALL BE PROVIDED THE SAME NOTICE.

CONCRETE IS TO BE CAST SHALL HAVE MIN. 2 TSF SUITABLE BEARING MATERIAL

MUNICIPALITIES' REQUEST AND THE ENGINEER'S RECORDS.

REQUIRED N.Y.C. BUILDING CODE REQUIREMENTS AS APPLICABLE.

A36. ALL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE B MINIMUM.

A LARGER WELD SIZE IS REQUIRED AS A MINIMUM WELD SIZE BY AISC.

GENERAL CONSTRUCTION NOTES (CAST IN PLACE CONCRETE MATERIAL)

REQUIREMENTS SECTION - EXCEMPTION FROM CONCRETE TESTING.

FOR BATCHING, MIXING, FINISHING, CURING ETC. SHALL BE AS PER ACI 301.

GENERAL CONSTRUCTION NOTES (POST-INSTALLED ANCHOR INSTALLATION):

MANFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS:

REBAR DOWELING

ANCHORAGE TO SOLID

GROUTED MASONRY

THROUGH TEMPORARY BRACING OR GUYS.

PLACE AND ADEQUATELY SUPPORTED.

GENERAL CONSTRUCTION NOTES (STEEL MATERIAL):

613 WEST 155TH STREET, NEW YORK, N.Y. 10032

"PENETRABLE" ART PIECE

murray—engineering.com

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DOB STAMPS AND SIGNATURES

OF DETAIL LETTER IF

DRAWING # — ELEVATION LEVEL

LEGEND / REFERENCE SYMBOLS

GRAPHIC SYMBOLS INDICATED IN LEGEND MAY NOT BE APPLICABLE TO THIS PROJECT.

DESIGNATION FOR BUILD

SECTIONS/ELEVATIONS.

DRAWING # WHERE

SECTION/ELEVATION

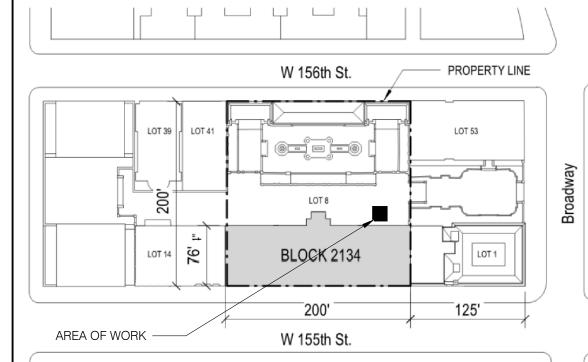
REVISION NUMBER

LIST OF DRAWING

SCALE: 3/4" = 1'-0"

A-100.00 SLAB AREA REMOVAL: PART PLAN, ELEVATION AND NOTES

AND ELEVATION



SCALE: N.T.S. MANHATTAN 609 - 613 WEST 155TH STREET 2134

1081864, 1081861, 1063245 OCC. CL.: CON. CL.: # STORIES: HT. BUILDING: 60'-0"

HISPANIC SOCIETY OF AMERICA HISTORIC DISTRICT: AUDUBON TERRACE HISTORIC DISTRICT

NOTES

BUILDING DEPARTMENT NOTES

EXAMINATION WILL BE UNDER THE 2022 NYC BUILDING CODE

CONTRACTORS SHALL PROTECT STRUCTURAL INTEGRITY OF BUILDING, AND SHALL IN NO WAY TAMPER WITH STRUCTURAL ELEMENTS WITHOUT PRIOR WRITTEN INSPECTION & APPROVAL BY ENGINEER.

THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO INSPECTION REQUIREMENTS MADE WITNESS BY OR UNDER THE DIRECT SUPERVISION OF AN ENGINEER ACCEPTABLE TO THE ENGINEER OF RECORD, RETAINED BY THE OWNER AND PAID FOR BY CONTRACTOR. THE ENGINEER OF RECORD IN NO WAY GUARANTEES THE PERFORMANCE OF THE ENGINEER PERFORMING THE CONTROLLED INSPECTION.

THE TERM TENANT / OWNER SHALL MEAN:

HISPANIC SOCIETY MUSEUM & LIBRARY.

DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALE DIMENSIONS.

CONTRACTOR SHALL STUDY ALL NOTES AND ALL DRAWINGS CAREFULLY IN ORDER TO UNDERSTAND THE SCOPE OF THE WORK, THE CONTRACTOR SHALL REPORT TO THE ENGINEER ANY ERROR, INCONSISTENCY, OR OMISSION HE MAY

IT IS IMPORTANT THAT EACH CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH ALL FIELD CONDITIONS AFFECTING HIS/HER WORK. HE/SHE SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ELEVATIONS, AND LOCATIONS, ETC. REQUIRED FOR HIS/HER INSTALLATION WHETHER OR NOT SHOWN ON THE DRAWINGS OR DESCRIBED IN THE SPECIFICATIONS SUBMISSION OF A PROPOSAL OR BID SHALL BE EVIDENCE THAT THIS EXAMINATION HAS BEEN MADE BY THE CONTRACTOR AND ALL SUB CONTRACTORS. NO LATER CLAIMS WILL BE RECOGNIZED.

CONTRACTOR SHALL MAKE SURE THAT ALL TRADES WORK CONFORMS TO CITY, FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL SUPERSEDE DRAWINGS, NOTES, AND DIMENSIONS IN ALL CASES. THE ENGINEER SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS STARTED. NON-FAMILIARITY WITH GOVERNING RULES AND REGULATIONS SHALL NOT BE CAUSE FOR AN EXTRA. IN THE EVENT THAT WORK HAS TO BE REPLACED FOR

NON-COMPLIANCE, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY COST RESULTING THEREOF THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR WORK UNDERTAKEN AND SHALL ARRANGE FOR ALL INSPECTIONS REQUIRED BY LOCAL AUTHORITIES AND SHALL ASCERTAIN SIGN OFF AND APPROVALS AS REQUIRED. ANY COST RESULTING FROM POOR METHODS OR MATERIALS OR WORK COVERED PRIOR TO APPROVAL SHALL BE BORN BY THE CONTRACTOR. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ASSISTING IN

OBTAINING A CERTIFICATE OF OCCUPANCY, IF REQUIRED. THE CONTRACTOR SHALL DIRECT AND SUPERVISE THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS. METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SHALL COORDINATE THE WORK.

ALL DRAWINGS, CONSTRUCTION NOTES, GENERAL NOTES, CONDITIONS OF CONTRACT AND SPECIFICATIONS ARE COMPLEMENTARY TO EACH OTHER. ANY WORK SHOWN OR REFERRED TO ON ANY ONE OR MORE DOCUMENTS SHALL BE

PROVIDED AS THOUGH SHOWN ON ALL RELATED DOCUMENTS. EACH CONTRACTOR IS EXPECTED TO FURNISH ALL MATERIAL AND PROVIDE ALL NECESSARY LABOR AND APPLIANCES FOR INSTALLATION OF HIS WORK, COMPLETE IN EVERY DETAIL. ALL WORK TO BE PERFORMED WITH THE HIGHEST DEGREE OF SKILL. COMPETENCE. QUALITY AND IN A WORKMAN LIKE MANNER.

PRIOR TO BEGINNING ANY WORK, THE GENERAL CONTRACTOR SHALL FURNISH A SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF HIS WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE: ALL ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION WITH A PROJECTED COMPLETION DATE.

DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL FIELD CONDITIONS AND WORK OF OTHER TRADES PERMIT. ANY PIPING, WIRING, OR MATERIALS, ETC. NOT SPECIFICALLY SHOWN OR SPECIFIED BUT NEEDED TO COMPLETE THE WORK SHALL BE DEEMED TO BE PART OF THESE SPECIFICATIONS AND SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR WITHOUT EXTRA CHARGE TO THE OWNER.

13. THE GENERAL CONTRACTOR, UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS. ALL WORK OF ALL CONTRACTORS ON THE JOB SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTED TRADE

PRACTICE AND AS PER MANUFACTURER'S RECOMMENDATIONS

15. SHOULD IT BE FOUND BY THE ENGINEER THAT THE MATERIALS OR EQUIPMENT, SUBMITTED OR FURNISHED AND INSTALLED, FAIL TO COMPLY WITH THE SPECIFICATIONS AND PLANS, IT SHALL BE REJECTED AND REPLACED BY THE CONTRACTOR. ALL THE WORK DISTURBED BY THE CHANGES NECESSITATED IN CONSEQUENCE OF SAID DEFECTS OR IMPERFECTIONS. SHALL BE MADE GOOD AT THE CONTRACTORS EXPENSE

16. ALL " EXISTING TO REMAIN", " EXISTING TO BE RELOCATED", AND NEW ITEMS INSTALLED BY THE GENERAL CONTRACTOR SHALL BE THOROUGHLY CLEANED PRIOR TO RE-USE OR COMPLETION OF WORK. 17. ANY BLEMISHES, MARRING OR DAMAGE TO ADJACENT WORK OR ANY PART OF THE PREMISES DUE TO INSTALLATION OR

APPLICATION OF WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR CAUSING SUCH DAMAGE AT

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TRADES. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF WORK.

19. THE CONTRACTOR SHALL DO ALL THE CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

20. CONTRACTOR TO KEEP NOISE TO A MINIMUM 21. CONTRACTOR TO MAINTAIN ALL FACILITIES FOR UTILITIES.

22. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS/OCCUPANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.

23. CONTRACTOR TO MAINTAIN ALL WORKING HOURS PER OWNER. AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS 8:00 AM TO 5:00 P.M. MONDAY THROUGH FRIDAY, EXCEPT LEGAL HOLIDAYS. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTING OF HEATING, WATER OR ELECTRICAL SERVICES TO OTHER

24. CONSTRUCTION WORK WILL BE CONTAINED TO THE PROPOSED CONSTRUCTION AREA.

25. THE CONTRACTOR SHALL AT THE COMPLETION OF THE WORK ON A DAILY BASIS AS THE WORK PROGRESSES, REMOVE FROM THE PREMISES ALL SURPLUS MATERIALS, EQUIPMENT, PACKAGING AND DEBRIS (INCLUDING THAT OF COMPANIES OUTSIDE HIS JURISDICTION) WHETHER OR NOT IN THE CONTRACT, AND LEAVE THE WORK AREAS BROOM CLEAN.

26. THE AMOUNT OF EXTRAS AND CREDITS FOR CHANGED ITEMS SHALL BE AGREED UPON IN WRITING BY THE OWNER, THE ENGINEER AND THE CONTRACTOR PRIOR TO THEIR IMPLEMENTATION THE CONTRACTOR SHALL NOT PROCEED WITH CHANGES UNTIL HE RECEIVES WRITTEN AUTHORIZATION FROM THE OWNER.

FINAL REQUISITION FOR PAYMENT SHALL BE SUBMITTED WITH LIEN WAIVERS FROM ALL CONTRACTORS AS WELL AS SUPPLIERS. THE ENGINEER SHALL NOT AUTHORIZE PAYMENT UNTIL ALL PAPERWORK HAS BEEN RECEIVED. TEN PERCENT RETAINAGE SHALL BE HELD FOR A PERIOD OF THIRTY DAYS FROM DATE OF FINAL ACCEPTANCE.

28. ALL CONTRACTORS SHALL FULLY GUARANTEE ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MIN. PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION AS EVIDENCED BY FINAL PAYMENT. GUARANTEES SHALL BE SUBMITTED IN WRITING BY EACH CONTRACTOR. 29. EXCEPT AS CALLED FOR ON THE DRAWINGS, SHOULD JOB CONDITIONS REQUIRE RELOCATION OF EXISTING TELEPHONE

OR ELECTRICAL OUTLETS FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR APPROVAL OF ALTERNATE LOCATION PRIOR TO THE START OF ANY WORK. 30. THE CONTRACTOR SHALL NOT DRILL HOLES INTO EXISTING SLABS OR STRUCTURAL MEMBERS FOR THE PURPOSE OF

SUPPORTING ANY LOADS UNLESS INDICATED ON DRAWINGS. OTHERWISE, WRITTEN APPROVAL SHALL BE OBTAINED FROM THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE A MINIMUM OF THREE (3) FIRE EXTINGUISHERS OR MORE. SAID FIRE

EXTINGUISHERS SHALL BE KEPT AND MAINTAINED ON THE PREMISES BY THE CONTRACTOR FOR THE DURATION OF THE

32. ALL MATERIALS SHALL WHEN APPLICABLE AND REQUIRED, COMPLY WITH THE DIRECTIONS OF THE BOARD OF STANDARDS AND APPEALS (B.S.A.) AND THE MANUFACTURER SHALL BE ABLE TO PRODUCE A B.S.A. OR M.E.A. NUMBER ON DEMAND. 33. BEFORE COMMENCEMENT OF WORK, CERTIFICATES OF INSURANCE SHALL BE FURNISHED TO THE OWNER AND ENGINEER, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS MAINTAIN INSURANCE AT ALL TIMES WITH COMPANIES AND ON FORMS SATISFACTORY TO MEPC TEN DAY ADVANCE WRITTEN NOTICE SHALL BE GIVEN TO THE OWNER BY THE INSURANCE CARRIER OF ANY CHANCE OR CANCELLATION OF COVERAGE SET FORTH ABOVE.

ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARD OF THE BUILDING AND THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH SUCH REQUIREMENTS.

35. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR

36. WHATEVER WORK IS DONE WHERE NO DEFINITE DETAILS OR INSTRUCTIONS ARE GIVEN. THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.

MARKS PRESERVATION COMMISSION ENERGY CONSERVATION NOTES:

NIC APPROVAL - 05/12/2023 - DP R NYC ENERGY CONSERVATION CODE, LOCAL LAW 85 EXCEMPTIONS, BUILDING IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND THEREFORE EXEMPT FROM ENERGY CODE COMPLIANCE.

PROTECTION NOTES:

BUILDINGS IMMEDIATELY ADJACENT TO AREA OF WORK WILL BE OCCUPIED. CONDUCT WORK SO OPERATIONS OF OCCUPIED BUILDINGS WILL NOT BE DISRUPTED.

PROTECT AREA OF WORK AS REQUIRED BY THE 2022 NEW YORK CITY BUILDING CODE

PROTECT ADJACENT ROOF, FACADE, SIDEWALKS, BUILDING ENTRIES, AND OTHER BUILDING FACILITIES AS APPLICABLE DURING CONSTRUCTION, MAINTAIN EXITS FROM EXISTING BUILDINGS.

PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES. EXISTING UTILITIES: MAINTAIN UTILITY SERVICES TO REMAIN AND PROTECT FROM DAMAGE DURING CONSTRUCTION.

DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT OCCUPIED OR OPERATING FACILITIES UNLESS AUTHORIZED IN WRITING BY THE PROPERTY MANAGER AND AUTHORITIES HAVING JURISDICTION. PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND

THAT ARE EXPOSED TO NEW CONSTRUCTION OPERATIONS. AT THE END OF EACH WORK DAY, CLEAN ADJACENT STRUCTURES OF DUST AND DIRT CAUSED BY CONSTRUCTION

PRIOR TO THE START OF CONSTRUCTION. PROVIDE INVENTORY AND PHOTOGRAPHIC RECORD OF THE EXISTING CONDITIONS OF THE ADJACENT PROPERTIES TO MANAGEMENT AND ARCHITECT OF RECORD, SUBMIT INFORMATION REPORT INCLUDING DRAWINGS THAT INDICATES THE MEASURES PROPOSED FOR PROTECTING INDIVIDUALS AND

INSTALLATION OF "PENETRABLE" ART PIECE. NO CHANGE IN USE, EGRESS OR OCCUPANCY

INSPECTION REQUIREMENTS:

1. ALL MATERIALS, ASSEMBLIES, METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH NEW YORK CITY BUILDING CODE REQUIREMENTS FOR ACCEPTANCE AND SPECIAL INSPECTION (CHAPTER 17 OF NYC BUILDING CODE).

3. OWNER IS TO ENGAGE AN INDEPENDENT, QUALIFIED SPECIAL INSPECTOR PRIOR TO THE COMMENCEMENT OF WORK. THE

INSPECTOR MUST MEET THE REQUIREMENTS OUTLINED IN ARTICLE 115. 4. CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 2 WEEKS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE SPECIAL INSPECTION ENGINEER SHALL BE PROVIDED THE SAME NOTICE.

a. CONCRETE - CAST-IN-PLACE - BC 1705.3 (IF ALTERNATE IS REQUIRED)

b. STRUCTURAL STABILITY - BC 1705.25

SPECIAL INSPECTIONS REQUIRED:

c. POST-INSTALLED ANCHORS - 1705.37

EXEMPTION FROM CONCRETE TESTING

d. FINAL (TR1) - 28-114, 28-116, BC 110.5

TABLE BC 1705.3 ITEMS 5 AND 6 ONLY; TR3 FORM AND TR2 FORM;

THE WORK MEETS THE EXEMPTION CRITERIA OF DEPT. OF BUILDINGS BULLETIN 2009-026. ITEM IV. AND I HEREBY ELECT TO WAIVE THE REQUIREMENT OF CONCRETE TESTING AND WAIVE THE TR2 FORM AND TR3 FORM. THE CRITERIA THAT IS BEING MET ARE AS FOLLOWS:

1. CONCRETE VOLUME TOTALS FOR PROJECT:

(N) SLAB ATTACHMENT OPTION: (1.5 FT x 1.5 FT x 10 IN) X 4 LOCATIONS= 7.5 CF = 0.28 CY TOTAL CONCRETE VOLUME: 7.5 CF = 0.28 CY < 50 CY LIMIT

THE TOTAL AMOUNT OF STRUCTURAL CONCRETE SPECIFIED FOR THIS PROJECT IS 0.13 CUBIC YARDS AS PER THE CALCULATIONS ABOVE IF THE ALTERNATE SLAB ATTACHMENT IS USED, AND MEETS THE LESS THAN 50 CUBIC YARDS

THE STRUCTURAL DESIGN OF THE CONCRETE ON THIS PROJECT IS BASED ON A DESIGN COMPRESSIVE STRENGTH OF 2.500 PSI. REGARDLESS OF THE SPECIFIED COMPRESSIVE STRENGTH NOTED ON THIS DRAWING.

GENERAL CONSTRUCTION NOTES: IT IS THE INTENTION OF THIS SET OF DESIGN DRAWINGS TO PROVIDE AND OUTLINE A STRUCTURAL SYSTEM THAT ALLOWS THE CONTRACTOR TO ADEQUATELY BUDGET AND PLAN TO PRODUCE CONSTRUCTION SHOP DRAWINGS FOR THE FABRICATION AND ASSEMBLY OF THE BUILDING SYSTEM. IT IS EXPECTED THAT THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROFESSIONAL EXPERTISE, INCLUDING A LICENSED PROFESSIONAL ENGINEER, REQUIRED FOR THE REMAINING COORDINATION, DETAILING AND MISCELLANEOUS DESIGN NOT INCLUDED HEREIN.

2. THE STRUCTURAL PLANS AND SPECIFICATIONS COMPLY WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING

3. THE DESIGN, DETAILS AND NOTES INCLUDED HEREIN ARE IN COMPLIANCE WITH SEISMIC DESIGN PER SECTION BC1615 AND BC1616 OF THE NEW YORK CITY BUILDING CODE.

4. ALL WORK SHALL COMPLY WITH THE NEW YORK CITY BUILDING CODE, AND ALL OTHER APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION. ALL REFERENCED STANDARDS REFER TO THE EDITION IN FORCE AT THE TIME THESE PLANS AND SPECIFICATIONS ARE

ISSUED FOR PERMIT JOB SAFETY AND PROCEDURES FOR SAFE CONSTRUCTION ARE OF UTMOST IMPORTANCE, AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7. WORK NOT EXPRESSLY SHOWN ON SPECIFIC PARTS OF THE DRAWINGS OR SPECIFICATIONS, BUT REASONABLY IMPLIED BY SIMILAR WORK SHOWN, SHALL BE REPEATED. 8. WORK THESE DRAWINGS WITH THE SPECIFICATIONS AND DRAWINGS/REPORTS OF OTHER TRADES, AND ALL OTHER

RELATED DOCUMENTS, AS/IF APPLICABLE 9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK BETWEEN NEW CONSTRUCTION AND EXISTING

CONSTRUCTION. 10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEMBERS AND MATERIALS TO CONFORM TO ACTUAL SITE CONDITIONS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER AND ARCHITECT IMMEDIATELY IF SITE CONDITIONS DO NOT MATCH THE DESIGN DRAWING'S PLANS AND DETAILS. ALL DEVIATIONS SHALL BE NOTED IN EITHER SKETCH OR WRITTEN FORM TO THE ENGINEER AND ARCHITECT FOR REVIEW.

1. $\,$ CONTRACTOR SHALL TAKE CARE TO PROTECT ALL EXISTING STRUCTURES AND UTILITIES FROM DAMAGE. IF EXISTING UTILITIES ARE UNCOVERED AT (N) SLAB/FOOTING AREAS, NOTIFY E.O.R. IMMEDIATELY. CONTRACTOR NOT TO DISTURB OR DAMAGE EXISTING UTILITIES.

12. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS. DRAWINGS SHALL TAKE PRECEDENCE OVER SPECIFICATIONS. 13. IF THERE APPEARS TO BE A CONFLICT BETWEEN NOTES, DETAILS, OR SPECIFICATIONS, CONTRACTOR SHALL APPLY THE

MOST RIGID REQUIREMENTS TO THE WORK. CONTRACTOR SHALL NOT DEVIATE FROM DRAWINGS WITHOUT WRITTEN

14. CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND/OR SHORING FOR ALL STRUCTURAL WORK AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.

15. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL FOR ALL STRUCTURAL ELEMENTS / TRADES. SHOP DRAWINGS SHALL BE PROVIDED IN A TIMELY FASHION TO ALLOW ADEQUATE TIME FOR REVIEW AND REVISIONS

16. THE OWNER IS TO ENGAGE AN INDEPENDENT, QUALIFIED SPECIAL INSPECTOR PRIOR TO THE COMMENCEMENT OF WORK.

G-001.00 cover sheet and notes.

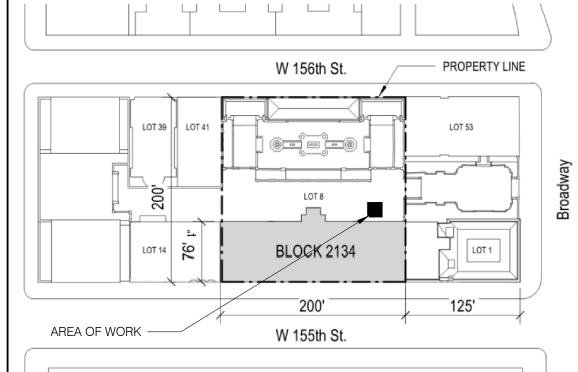
G-002.00 PAVER SPECIFICATION NOTES

G-100.00 "PENETRABLE" ART PIECE ATTACHMENT PLAN AND DETAILS

3. ALL CONCRETE FOR SLABS ON GRADE SHALL BE STONE CONCRETE WITH A 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI 4. NO ADMIXTURES SHALL BE ALLOWED WITHOUT PRIOR REVIEW AND ACCEPTANCE BY THE ENGINEER. ALL REQUIREMENTS

PROPERTY NOT WITHIN SFHA

PLOT / KEY PLAN



PLOT PLAN

PROJECT DATA BOROUGH: BUILDING #: STREET: BLOCK: **ZONING DIST.:**

PUBLIC FACILITIES AND INSTITUTIONS CLASS 1 FIREPROOF STRUCTURE

ACCORDANCE WITH SECTION 4.3/4.4 OF THE ICC-ES REPORT FOR THE INDIVIDUAL ANCHOR. SPECIAL INSPECTOR SHALL BE LANDMARK:

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COVER SHEET AND NOTES



S3808.0 B.M. /A.P

SECTION 32 14 12 BRICK PAVING

PART 1 GENERAL

- 1.1 GENERAL REQUIREMENTS
- A. WORK OF THIS SECTION, AS SHOWN OR SPECIFIED, SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- 1.2 SECTION INCLUDES
- A. THE WORK OF THIS SECTION INCLUDES ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE BRICK PAVING
- AS SHOWN ON THE DRAWINGS AND/OR SPECIFIED HEREIN, INCLUDING BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:
- A.1. BRICK PAVING OVER CONCRETE SUB-SLABS.

A.2. MORTAR AND GROUT.

- 1.3 RELATED SECTIONS
- A. CONCRETE SUB-SLAB DIVISION 3.
- B. EARTHWORK SECTION 312000.
- 1.4 QUALITY ASSURANCE
- A. QUALIFICATIONS OF INSTALLERS: USE ONLY PERSONNEL WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE SKILLS REQUIRED AND COMPLETELY FAMILIAR WITH THE REQUIREMENTS ESTABLISHED FOR THIS WORK.
- 1.5 SUBMITTALS
- A. MANUFACTURER'S DATA: FOR INFORMATION ONLY, SUBMIT TWO (2) COPIES OF MANUFACTURER'S TECHNICAL INFORMATION AND INSTALLATION INSTRUCTIONS FOR BRICK PAVERS.
- B. SAMPLES: SUBMIT FULL-SIZE SAMPLE BRICK FOR TYPE AND COLOR REQUIRED, REPRESENTATIVE OF THE EXPECTED RANGE OF COLOR AND PATTERN VARIATION. SAMPLE SUBMITTALS WILL BE REVIEWED FOR COLOR, TEXTURE AND PATTERN ONLY. COMPLIANCE WITH ALL OTHER REQUIREMENTS IS THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
- 1.6 PRODUCT HANDLING
- A. PROTECT MASONRY MATERIALS DURING STORAGE AND CONSTRUCTION AGAINST MOISTURE AND SOILAGE OR INTERMIXTURE WITH EARTH OR OTHER TYPES OF MATERIALS.
- 1.7 JOB CONDITIONS
- A. COLD WEATHER REQUIREMENTS
 - A.1. PROTECT MASONRY AGAINST FREEZING WHEN THE TEMPERATURE OF THE SURROUNDING AIR IS FORTY (40) DEGREES F. AND FALLING. HEAT MATERIALS AND PROVIDE TEMPORARY PROTECTION OF COMPLETED PORTIONS OF MASONRY WORK. COMPLY WITH THE REQUIREMENTS OF THE "CONSTRUCTION AND PROTECTION RECOMMENDATIONS FOR COLD WEATHER MASONRY CONSTRUCTION" OF THE TECHNICAL NOTES ON BRICK AND TILE CONSTRUCTION BY THE BRICK INSTITUTE OF AMERICA (BIA).
 - A.2. DO NOT USE FROZEN MATERIALS OR MATERIALS MIXED OR COATED WITH ICE OR FROST. FOR MASONRY WHICH IS SPECIFIED TO BE
 - WETTED, COMPLY WITH THE BIA RECOMMENDATIONS. A.3. DO NOT BUILD ON FROZEN SUBGRADE OR SETTING BEDS. REMOVE AND REPLACE MASONRY WORK DAMAGED BY FROST OR FREEZING.
- A.4. DO NOT LOWER THE FREEZING POINT OF MORTAR BY USE OF ADMIXTURES OR ANTI-FREEZE AGENTS.
- 1.8 MOCK-UP PANEL
- A. PRIOR TO THE INSTALLATION OF BRICK PAVING WORK, PROVIDE SAMPLE PANEL USING MATERIALS, BOND AND JOINT FACE SHOWN OR SPECIFIED FOR FINAL WORK, AND PROVIDE SPECIAL FEATURES AS DIRECTED FOR CAULKING AND CONTIGUOUS WORK. BUILD PANEL AT THE SITE, AS DIRECTED, OF FULL THICKNESS AND APPROXIMATELY FOUR (4) FEET BY THREE (3) FEET UNLESS OTHERWISE SHOWN. PROVIDE THE RANGE OF COLOR, TEXTURE AND WORKMANSHIP TO BE EXPECTED IN THE COMPLETED WORK. OBTAIN ARCHITECT'S ACCEPTANCE OF VISUAL QUALITIES OF THE PANEL BEFORE START OF BRICK PAVING WORK. RETAIN PANEL DURING CONSTRUCTION AS A STANDARD FOR JUDGING COMPLETED WORK.
- A. SUBMIT TEST DATA FROM INDEPENDENT TESTING LABORATORY INDICATING THAT BRICK MEETS THE MINIMUM STANDARDS OF ASTM C-902, CLASS SX, TYPE 1.

PART 2 PRODUCTS

- 2.1 BRICK
- A. MATCH EXISTING.
- B. PAVERS SHALL BE MANUFACTURED FROM EXTRUDED FIRECLAY OR SHALE AND SHALL CONFORM TO ASTM C- 902, CLASS SX, TYPE 1
- C. ALL BRICK SHALL BE FACTORY WAXED ON EXPOSED FACE ONLY WITH A TEMPORARY WAX COATING TO PROTECT BRICK FROM STRAINING AND GROUTING. WAX MUST BE COMPLETELY REMOVED BEFORE APPLICATION OF FINISH. BRICK SHALL BE SHIPPED WITH WAX COATING FACING WAX COATING OF ADJACENT BRICK.
- 2.2 MATERIALS FOR APPLICATION OVER CONCRETE SUB-SLAB
- A. MATERIALS FOR INSTALLING AND GROUTING BRICK PAVERS SHALL BE PORTLAND CEMENT/SAND MORTAR GAUGED WITH LATEX SETTING LIQUID AND LATEX ADMIXTURE AS MANUFACTURED BY LATICRETE INTERNATIONAL, INC., BOIARDI, OR APPROVED EQUAL.
 - A.2. AGGREGATE FOR CEMENT SETTING BEDS: SAND AS RECOMMENDED IN ASTM C398, UNIFORMLY GRADED FROM COARSE TO FINE, WITH ONE-HUNDRED (100) PERCENT PASSING THE NO. 4 SIEVE AND NOT MORE THAN FIVE (5) PERCENT PASSING THE NO. 100 SIEVE.
 - A.3. COLORED PIGMENTED GROUT: MANUFACTURER'S STANDARD FACTORY PRE-PACKAGED MIXTURE OF CEMENT, FINE AGGREGATES AND COLOR FAST PIGMENTS FORMULATED FOR MIXING WITH LIQUID LATEX ADMIXTURE; PROVIDE COLOR MATCH INDICATED OR, IF NOT OTHERWISE INDICATED, AS SELECTED BY THE ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.
 - A.4. LATEX ADDITIVES: INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- a. SETTING LIQUID: PROVIDE ONE OF THE FOLLOWING OR AN APPROVED EQUAL
- 1). LATICRETE 4237 (LATICRETE INTERNATIONAL)
- 2). BOIARDI 753 (BOIARDI)
- b. GROUT AND MORTAR ADMIXTURE: PROVIDE ONE OF THE FOLLOWING OR AN APPROVED EQUAL. 1).LATICRETE 3701 (LATICRETE
- INTERNATIONAL) 2). BOIARDI 150 (BOIARDI)
- B. REINFORCED MESH WHERE REQUIRED SHALL BE 2" X 2" X 16 GAUGE WELDED GALVANIZED REINFORCING MESH.
- C. SEALANT AND RELATED MATERIALS SHALL CONFORM TO THE FOLLOWING:

A.1. PORTLAND CEMENT: ASTM C150, TYPE 1, LIGHT COLOR.

- 1. JOINT FILLERS: CLOSED CELL EXTRUDED NEOPRENE GASKET CONFORMING TO ASTM C509, GRADE 4, BLACK.
- 2. SEALANT: TWO (2) PART SELF-LEVELING POLYURETHANE SEALANT COMPLYING WITH ASTM C-920, TYPE M, CLASS 25, GRADE P&NS, EQUAL TO SIKAFLEX-2C NS/SL MADE BY SIKA CHEMICAL CO., OR APPROVED EQUAL MADE BY TREMCO OR PECORA. COLOR OF SEALANT AS SELECTED BY THE ARCHITECT.
- 3. BACK-UP ROD: "ETHAFOAM" OR APPROVED EQUAL.
- 4. PRIME JOINTS USING PRIMER RECOMMENDED BY SEALANT MANUFACTURER

PART 3 EXECUTION

- 3.1 INSPECTION
- A. EXAMINE THE AREAS AND CONDITIONS UNDER WHICH BRICK PAVERS ARE TO BE INSTALLED AND CORRECT ANY CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF THE WORK. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED TO PERMIT PROPER INSTALLATION OF THE WORK.
- 3.2 INSTALLATION
- A. GENERAL
 - A.1. DO NOT USE BRICK WITH CHIPS, CRACKS, VOIDS, DISCOLORATIONS, AND OTHER DEFECTS WHICH MIGHT BE VISIBLE OR CAUSE STAINING IN THE FINISHED WORK.
 - A.2. CUT BRICK WITH MOTOR DRIVEN SAW EQUIPMENT DESIGNED TO CUT MASONRY WITH CLEAN, SHARP, UNCHIPPED EDGES. CUT UNITS AS REQUIRED TO PROVIDE PATTERN SHOWN AND TO FIT ADJOINING WORK NEATLY. USE FULL UNITS WITHOUT CUTTING WHEREVER POSSIBLE.
 - A.3. SET BRICK IN THE PATTERNS SHOWN WITH UNIFORM JOINTS OF THE WIDTH INDICATED. A.4. TOLERANCES: MAINTAIN SURFACE PLANE FOR FINISHED BRICK PAVING NOT EXCEEDING A TOLERANCE OF 1/8" IN TEN (10) FEET WHEN
 - TESTING WITH A TEN (10) FOOT STRAIGHTEDGE.
 - A.5. WET BRICK SEVERAL HOURS BEFORE LAYING IN ACCORDANCE WITH BRICK MANUFACTURER'S INSTRUCTIONS.
 - B.1. PREPARATION OF SUB-BASE: CLEAN CONCRETE SUB-BASE TO REMOVE DIRT, DUST, DEBRIS, FILM OR CURING COMPOUND, AND LOOSE PARTICLES. SATURATE CONCRETE SUB-BASE WITH CLEAN WATER SEVERAL HOURS BEFORE PLACING SETTING BED. ABOUT ONE HOUR PRIOR TO PLACING SETTING BED, REMOVE SURFACE WATER.
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3). 5 GALLONS LATEX SETTING LIQUID (ADJUST QUANTITY OF LIQUID TO PROPER CONSISTENCY)

b. JOINT GROUT MIX

- 1). 50 LBS, DRY JOINT FILLER OF COLOR TO MEET WITH ARCHITECT'S APPROVAL 2). 1 GALLON LATEX ADMIX (ADJUST QUANTITY OF ADMIX TO PROPER CONSISTENCY)

- c. THICK BED MORTAR 1). 1 BAG PORTLAND CEMENT
- 2). 3 CUBIC FEET COARSE SAND (ASTM C33)
- 3). 3 GALLONS LATEX ADMIX (ADJUST QUANTITY OF ADMIX TO PROPER CONSISTENCY)
- B.1. MACHINE MIXING: MIXER SHALL BE A ROTATING BLADE TYPE MORTAR MIXER. PLACE LATICRETE LIQUID IN MIXER, START MACHINE AND ADD SAND, THEN CEMENT. MIX ONLY LONG ENOUGH TO WET OUT THE BATCH. DO NOT OVER MIX. STOP MIXER AND DUMP MORTAR FROM MIXER
- B.2. HAND MIXING: PRE-MIX THE DRY INGREDIENTS (SAND AND CEMENT). PLACE LATICRETE LIQUID IN CLEAN CONTAINER OR MIXING BOX, ADD DRY MATERIAL AND MIX. ADJUST AMOUNT OF LIQUID OR DRY MATERIAL TO OBTAIN TROWELABLE CONSISTENCY.
- C. SETTING

B3. MIXING

- C.1. BED THICKNESS SHALL BE AS DETAILED ON THE DRAWINGS. THE PREPARED MORTAR SHALL BE SPREAD APPROXIMATELY 1/2 THE DESIRED BED THICKNESS AND THEN 2" X 2" X 16 GAUGE, WELDED, GALVANIZED REINFORCING MESH SHALL BE LAID. THE WIRE SHALL BE LAPPED THREE (3) INCHES AND ADDITIONAL MORTAR SHALL THEN BE PLACED ON TOP OF THE WIRE TO BRING THE BED TO THE DESIRED THICKNESS. THE MORTAR SHALL BE RODDED AND COMPACTED WITH A STEEL TROWEL.
- C.2. BEFORE PLACING THE BRICK ON A GREEN OR WET SCREED BED, A SLURRY COAT SHALL BE APPLIED TO THE MORTAR BED USING A FLAT TROWEL. THICKNESS OF THE BOND COAT SHALL BE APPROXIMATELY 1/16". A SKIM COAT SHALL BE APPLIED TO THE BACK OF EACH PAVER JUST PRIOR TO PLACING ON THE BED.
- C.3. PAVER SHALL BE PLACED IN THE WET SLURRY COAT BEFORE THE SURFACE DRIES. UNIFORM JOINTS SHALL BE MAINTAINED WITH A NOMINAL
- WIDTH AS SHOWN ON THE DRAWINGS. C.4. AFTER EACH PIECE IS LAID, IT SHALL BE BEAT IN WITH A WOODEN BLOCK OR RUBBER MALLET TO LEVEL THE SURFACE AND EMBED THE PAVER.
- C.5. SURFACE SHALL BE PITCHED AS SHOWN ON DRAWINGS.

BEATING SHALL BE DONE BEFORE MORTAR TAKES INITIAL SET.

- D. JOINT TREATMENT: AFTER ALL PAVER UNITS HAVE BEEN SET AND SETTING BED IS THOROUGHLY CURED, BRUSH ALL JOINTS CLEAN. THOROUGHLY WET RAKED OUT PORTION OF JOINT AND THEN FILL SOLID WITH COLORED JOINT GROUT. STRIKE JOINT NEATLY AND TOOL TO A DENSE, SLIGHTLY CONCAVE SURFACE, FLUSH WITH PAVER SURFACE. DO NOT FILL EXPANSION OR CONTROL JOINTS WITH JOINT GROUT. THE CONTRACTOR MAY, AT HIS OPTION, BUTTER EDGES OF PAVERS AS THEY ARE LAID WITH GROUT MIX AND TOOL JOINTS AS DESCRIBED HEREIN. GROUTING OF JOINTS AS DONE IN TILE WORK IS NOT PERMITTED; EVERY EFFORT MUST BE MADE TO KEEP GROUT AND MORTAR OFF WEARING SURFACE.
- E.A. EXCESS MATERIALS SHALL BE CLEANED FROM THE BRICK SURFACE WITH WATER IMMEDIATELY AS THE WORK PROGRESSES. CLEANING SHALL BE DONE WHILE MORTAR IS FRESH AND BEFORE IT HARDENS ON THE SURFACE.
- E.B. DIFFICULT TO CLEAN CEMENT FILM OR MORTAR SHALL BE REMOVED FROM THE FINISHED WORK USING "SURE KLEAN 600 DETERGENT" MADE BY PROSOCO OR APPROVED EQUAL.
- F. CONTROL AND EXPANSION JOINTS
- F.1. CONTROL AND EXPANSION JOINTS SHALL BE INSTALLED WHERE PAVERS ABUT RESTRAINING SURFACES SUCH AS WALLS, CURBS, COLUMNS. ETC., AND DIRECTLY OVER ANY JOINTS IN THE STRUCTURAL SLAB AND OTHER AREAS NOTED ON THE DRAWINGS. JOINTS SHALL BE FILLED WITH JOINT FILLER, BACK-UP ROD AND SEALANT AS SPECIFIED HEREIN FOLLOWING MANUFACTURER'S INSTRUCTIONS.
- 3.3 REPAIR, POINTING, CLEANING AND PROTECTION
- A. REMOVE AND REPLACE MASONRY UNITS WHICH ARE LOOSE, CHIPPED, BROKEN, STAINED, OR OTHERWISE DAMAGED, OR IF UNITS DO NOT MATCH ADJOINING UNITS. PROVIDE NEW UNITS TO MATCH ADJOINING UNITS AND INSTALL IN FRESH MORTAR OR GROUT, POINTED TO ELIMINATE EVIDENCE OF REPLACEMENT.
- B. POINTING: DURING THE TOOLING OF JOINTS, ENLARGE VOIDS OR HOLES AND COMPLETELY FILL WITH MORTAR OR GROUT. POINT UP
- JOINTS AT SEALANT TYPE JOINTS TO PROVIDE A NEAT, UNIFORM APPEARANCE, PROPERLY PREPARED FOR APPLICATION OF SEALANT.
- C. CLEANING: REMOVE EXCESS MORTAR/GROUT FROM EXPOSED BRICK SURFACES, WASH SCRUB CLEAN. D. REMOVE WAX PROTECTIVE COATING USING METHODS AS RECOMMENDED BY BRICK MANUFACTURER.
- E. INSTALLER SHALL ADVISE CONTRACTOR OF PROCEDURES REQUIRED TO PROTECT THE BRICK PAVING FROM DETERIORATION, DISCOLORATION OR DAMAGE DURING CONSTRUCTION AND UNTIL ACCEPTANCE OF THE WORK.

END OF SECTION



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REV.	DATE	DESCRIPTION			
1	2023-04-21	ISSUED FOR LPC & DOB FILING			
2	2023-05-05 REISSUED PER LPC COMMENTS & DOB FILING				

PROJECT

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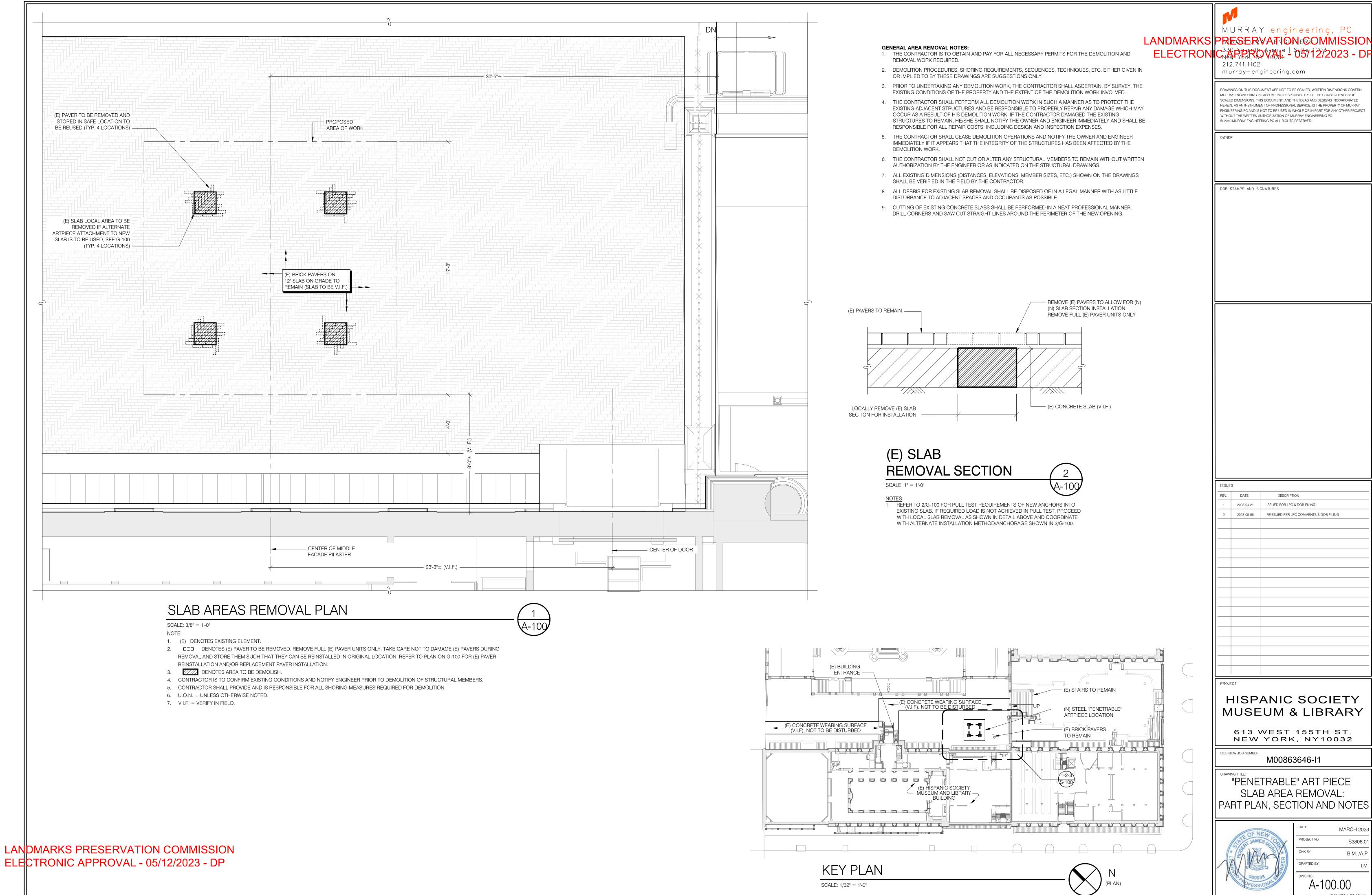
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PAVER SPECIFICATION **NOTES**





S3808.0



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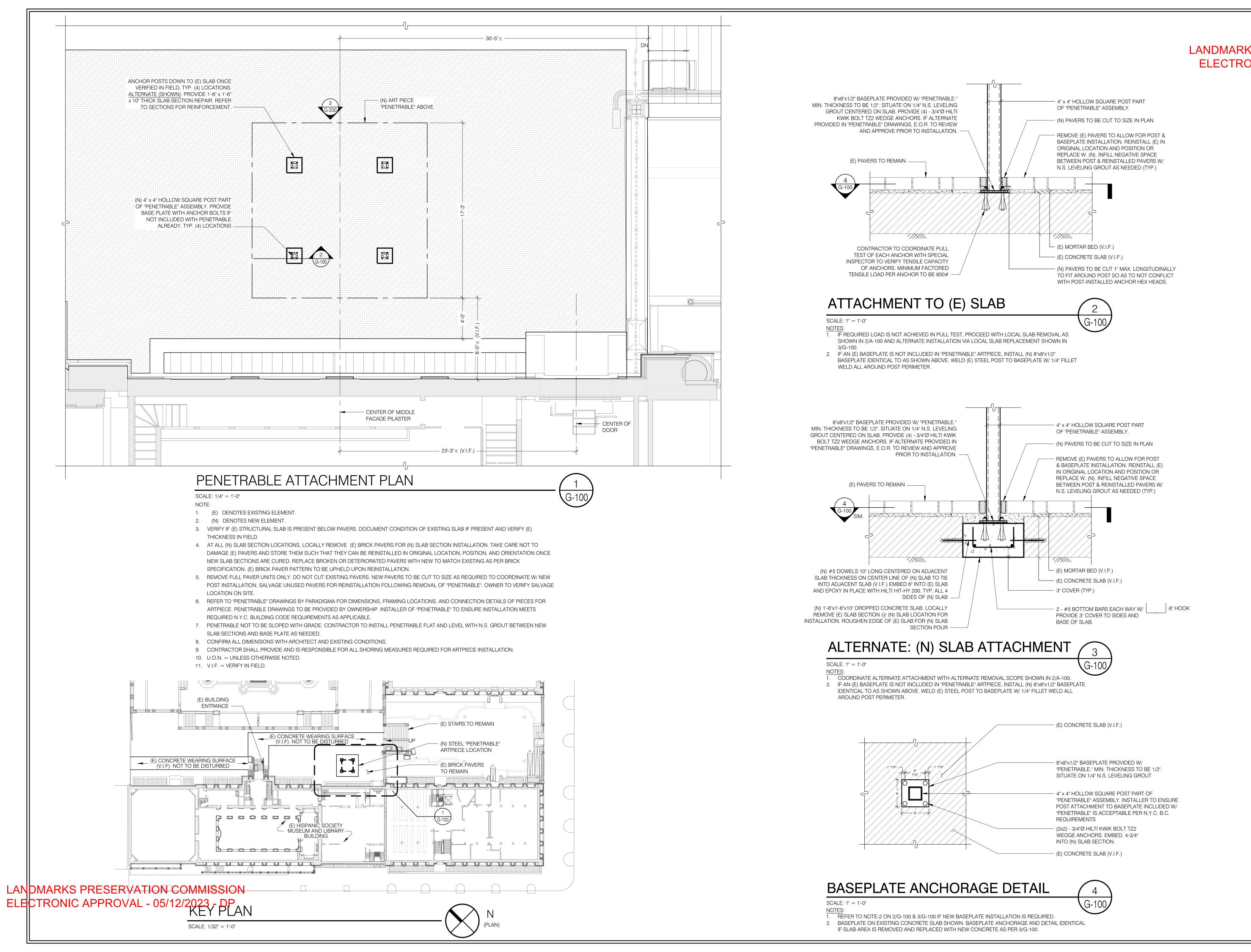
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"PENETRABLE" ART PIECE SLAB AREA REMOVAL: PART PLAN, SECTION AND NOTES

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REV. DATE DESCRIPTION

1 2023-04-21 ISSUED FOR LPC & DOB FILING

2 2023-05-05 REISSUED PER LPC COMMENTS & DOB FILING

PROJECT

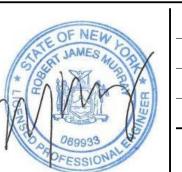
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RAWING TITLE:

"PENETRABLE" ART PIECE ATTACHMENT PLAN AND DETAILS



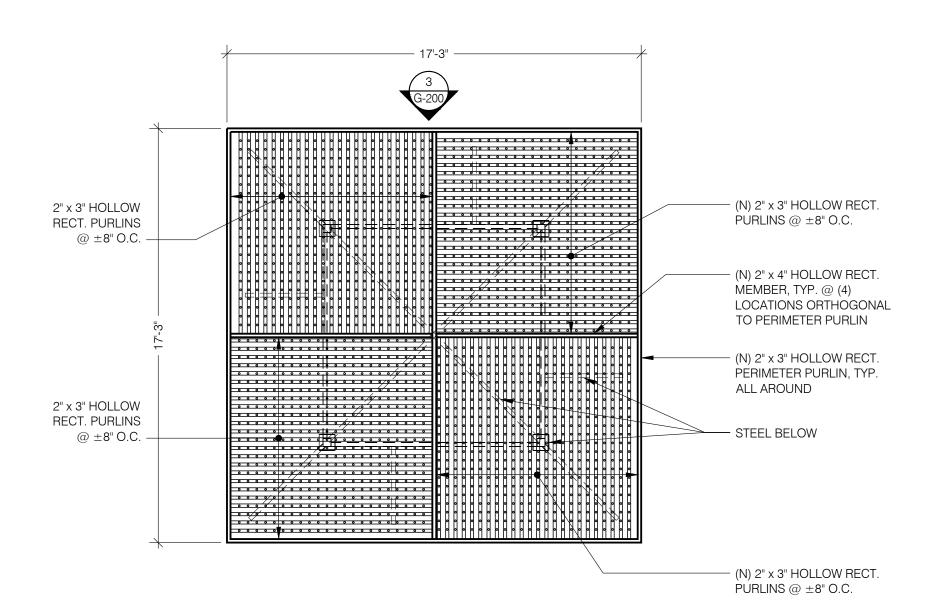
DATE MARCH 2023

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CHK BY: B.M. /A.P.

DRAFTED BY: I.M.

DWG NO.

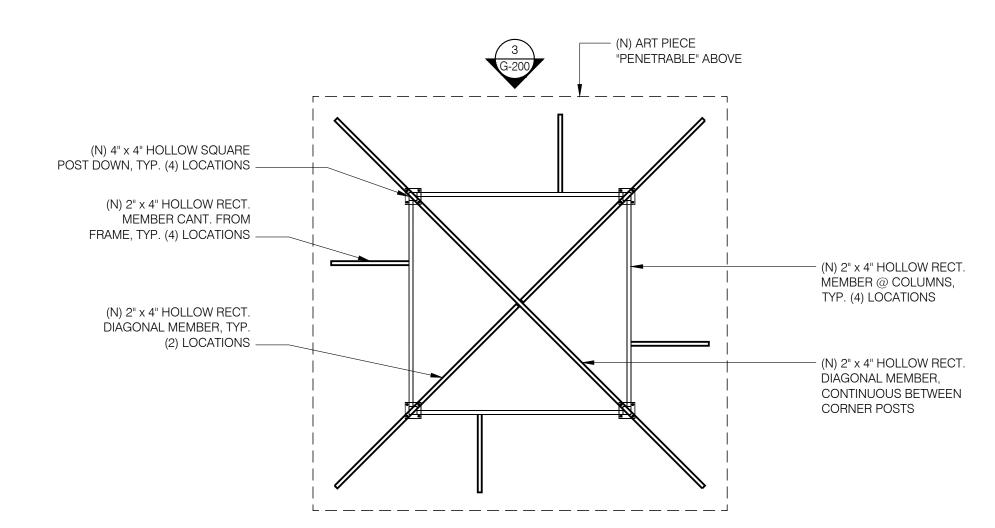


PENETRABLE HIGH ROOF PLAN

SCALE: 1/8" = 1'-0"

(E) DENOTES EXISTING ELEMENT.

- 2. (N) DENOTES NEW ELEMENT.
- 3. REFER TO "PENETRABLE" DRAWINGS BY PARADIGMA FOR DIMENSIONS, FRAMING LOCATIONS, EXTERIOR PAINT SPECIFICATIONS, AND MEMBER SIZES AND SPACING, AND CONNECTION DETAILS FOR ARTPIECE. PENETRABLE DRAWINGS TO BE PROVIDED BY OWNERSHIP. INSTALLER OF "PENETRABLE" TO ENSURE INSTALLATION MEETS REQUIRED N.Y.C. BUILDING CODE REQUIREMENTS AS APPLICABLE.
- 4. CONFIRM ALL DIMENSIONS WITH ARCHITECT AND EXISTING CONDITIONS.
- 5. CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL SHORING MEASURES REQUIRED.
- 6. U.O.N. = UNLESS OTHERWISE NOTED.
- 7. V.I.F. = VERIFY IN FIELD.



PENETRABLE LOW ROOF SUPPORT PLAN

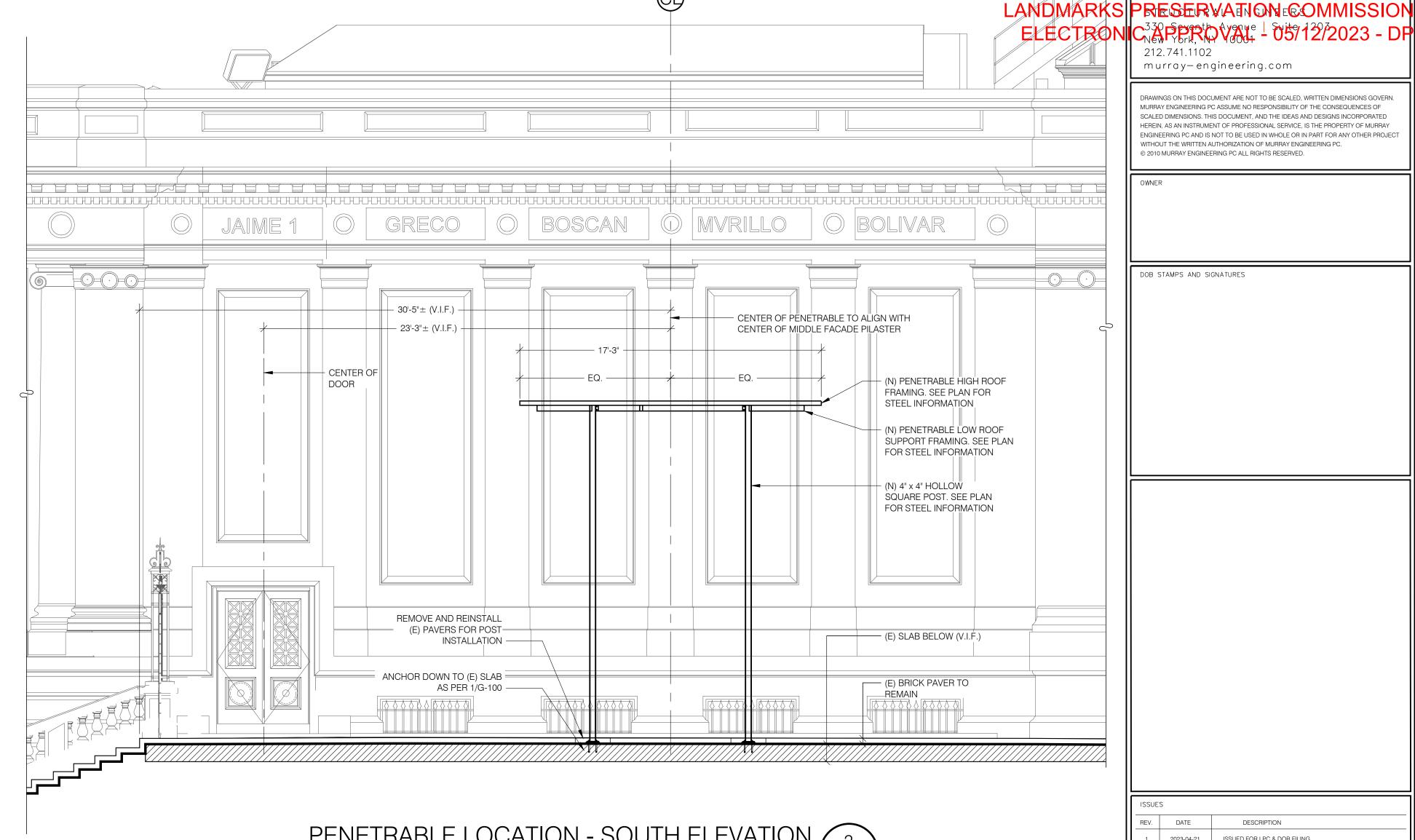
SCALE: 1/4" = 1'-0"

NOTE:

- (E) DENOTES EXISTING ELEMENT.
- 2. (N) DENOTES NEW ELEMENT. 3. REFER TO "PENETRABLE" DRAWINGS BY PARADIGMA FOR DIMENSIONS, FRAMING LOCATIONS, EXTERIOR PAINT SPECIFICATIONS, AND MEMBER SIZES AND SPACING, AND CONNECTION DETAILS FOR ARTPIECE. PENETRABLE

DRAWINGS TO BE PROVIDED BY OWNERSHIP. INSTALLER OF "PENETRABLE" TO ENSURE INSTALLATION MEETS

- REQUIRED N.Y.C. BUILDING CODE REQUIREMENTS AS APPLICABLE.
- 4. CONFIRM ALL DIMENSIONS WITH ARCHITECT AND EXISTING CONDITIONS.
- 5. CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL SHORING MEASURES REQUIRED.
- 6. U.O.N. = UNLESS OTHERWISE NOTED.
- 7. V.I.F. = VERIFY IN FIELD.



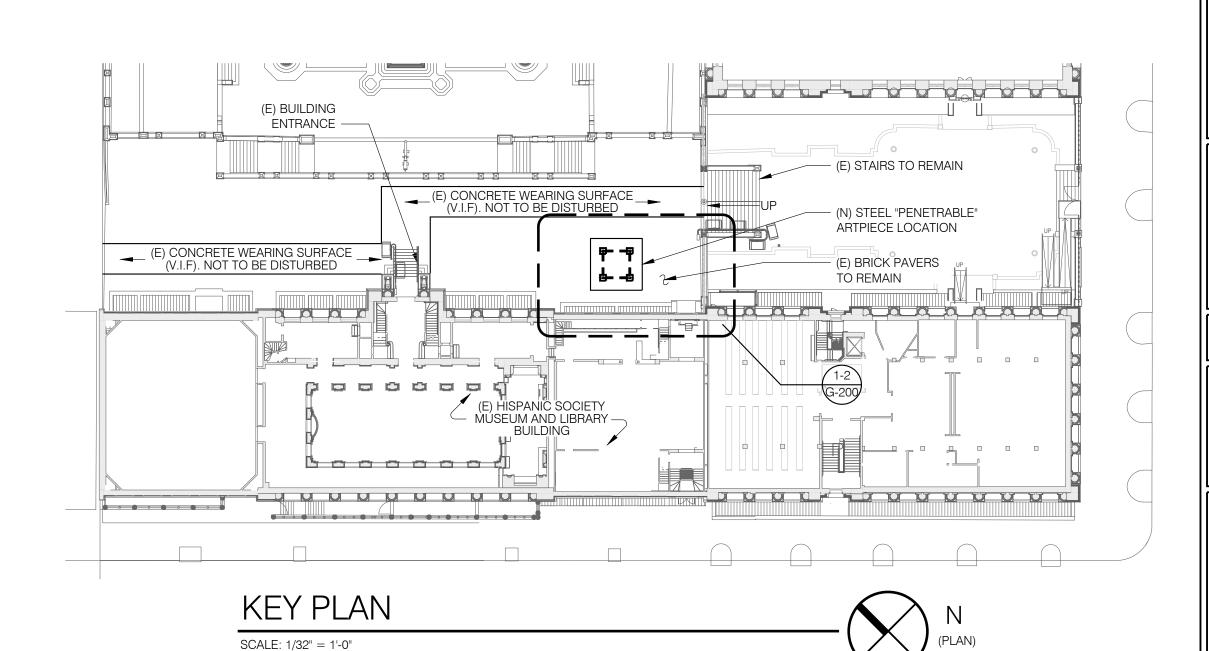
PENETRABLE LOCATION - SOUTH ELEVATION 3 SCALE: 1/4" = 1'-0"

NOTE:

(E) DENOTES EXISTING ELEMENT

2. (N) DENOTES NEW ELEMENT.

- 3. REFER TO "PENETRABLE" DRAWINGS BY PARADIGMA FOR DIMENSIONS, FRAMING LOCATIONS, AND CONNECTION DETAILS OF PIECES FOR ARTPIECE. PENETRABLE DRAWINGS TO BE PROVIDED BY OWNERSHIP. INSTALLER OF "PENETRABLE" TO ENSURE INSTALLATION MEETS REQUIRED N.Y.C. BUILDING CODE REQUIREMENTS AS APPLICABLE
- 4. CONFIRM ALL DIMENSIONS WITH ARCHITECT AND EXISTING CONDITIONS.
- 5. U.O.N. = UNLESS OTHERWISE NOTED.
- 6. V.I.F. = VERIFY IN FIELD.



AND ELEVATION

DOB NOW JOB NUMBER:

MURRAY engineering, PC

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"PENETRABLE" ART PIECE

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murray—engineering.com

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MARCH 2023

LANDMARKS PRESERVATION COMMISSION ELECTRONIC APPROVAL - 05/12/2023 - DP



The current proposal is:

Preservation Department – Item 12, LPC-24-06886

613 West 155th Street – Audubon Terrace Historic District Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 835 5784 7531

Passcode: 865955

By Phone: 1 646-558-8656 US (New

York) 877-853-5257 (Toll free) US

888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.