

April 9, 2024
Public Hearing

The current proposal is:

Preservation Department – Items 1-6, LPC-24-00926, LPC-24-04539, LPC-24-04537,
LPC-24-04553, LPC-24-00269, & LPC-24-07619

**214-230 Court Street – Cobble Hill Historic District
Borough of Brooklyn**

To testify virtually, please join Zoom

Webinar ID: 835 5784 7531

Passcode: 865955

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

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214, 216, 218, 222, 228, 230 Court Street

Brooklyn, NY 11201

Project Data:

Historic District: Cobble Hill Historic District | LP-0320

Year Built: (214, 216, 218 Court): 1850 – 1854, developed and owned by: John Greacen, Jr.
(222, 228, 230 Court): Pre 1855, developed and owned by: N/A

Architect: Sotir Associates – Hany Demetry, RA

Project Scope: DOB Forensic Engineering unit required work for Emergency replacement of the front wythe of brick.

Building Type: Row Houses 3 story, commercial at 1st floor with 2 family dwellings at 2nd and 3rd floors

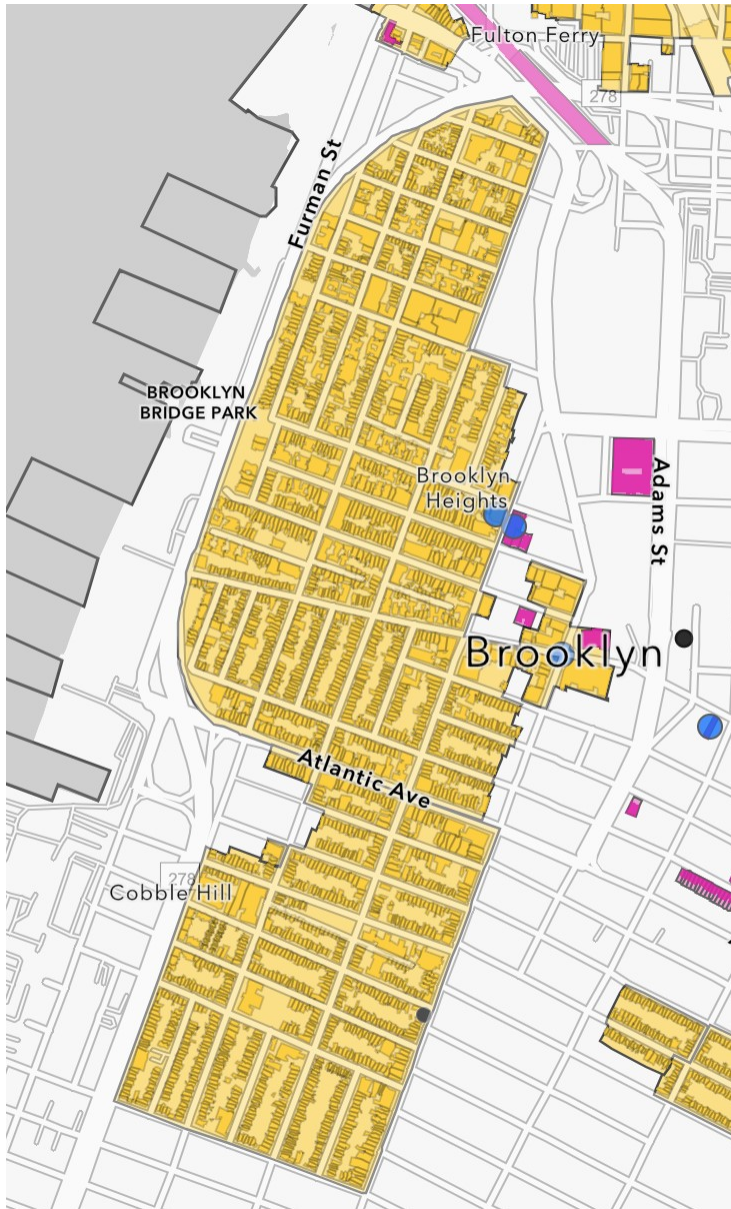
Block/Lot: Block: 307 / Lots: 28, 29, 30, 32, 35, 36

Prepared and presented by:

Sotir Associates

9118 5th Avenue, Brooklyn, NY 11209

hdemetry@sotirassociates.com 646.663.3400 04/02/2024



Project Data:

Project Scope: Emergency replacement of front wythe of brick, as ordered and approved by the DOB forensic engineering unit. All front facades of buildings under review to be replaced with new face brick with proper header ties to the interior wythe of brick. All lintels and sills to be cleaned and reinstalled in place. Top Cornices to be removed and re-installed. Patched as needed and painted to match existing colors.

Finish material: Front façades are proposed to be exposed face brick

Buildings Type: Rowhouses

230

228

222

218

216

214



Streetscape Photo



Historic Pictures

230



228



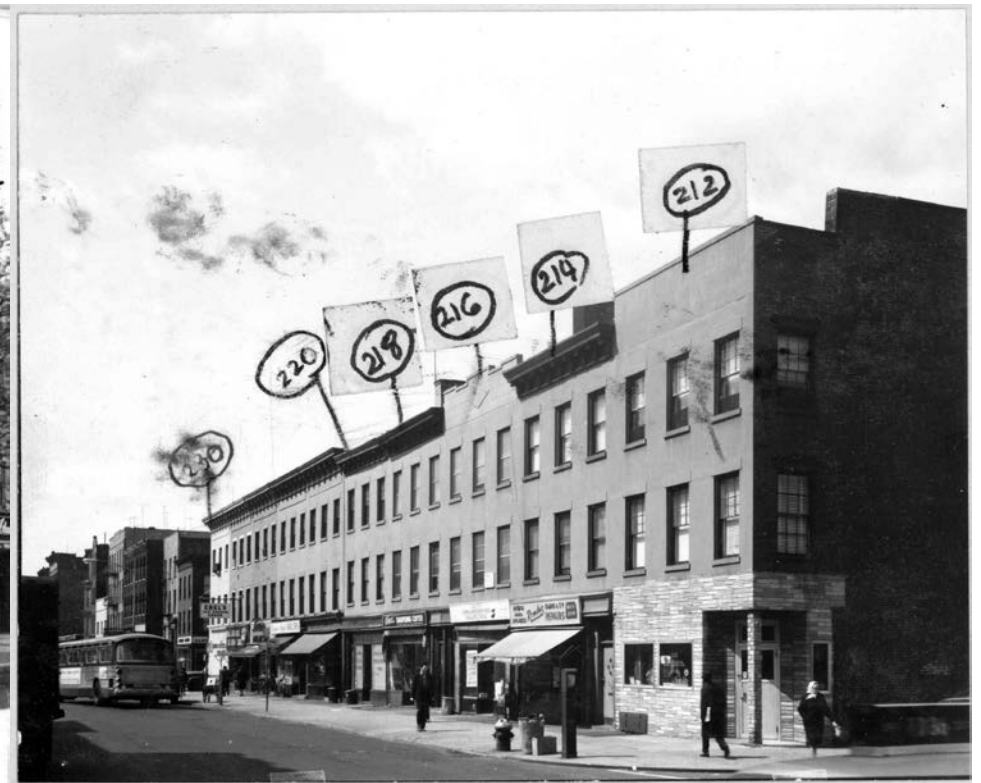
222



Historic Pictures



230-228-226 COURT ST.
(CORNER BALTIC ST.)



Landmarks designation pictures

218



216



214



Current pictures

230



228



222

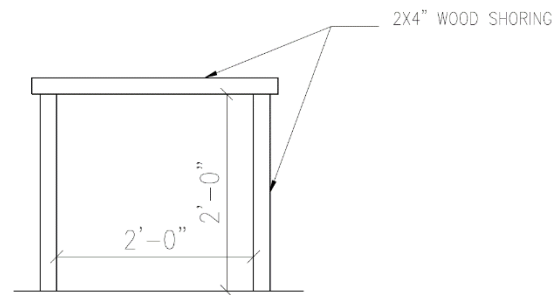


Current pictures



GENERAL NOTES FOR PROBES INVESTIGATIONS PROCEDURES:

1. THE CONTRACTOR IS TO PROTECT ALL TENANTS AND PEDESTRIANS DURING THE PREPARATION OF THE PROBES.
2. FOLLOW LANDMARK, DOB, AND OSHA REGULATIONS DURING THE INVESTIGATIONS.
3. REPAIR 2 FEET X 2 FEET OPENING ON THE EXISTING BRICK AS MARKED ON THE ELEVATION.
4. THE CONTRACTOR SHALL SAVE AND PROTECT ALL BRICKS TO BE REUSED AS NEEDED.
5. THE CONTRACTOR SHALL SHORE THE OPENING BY USING 2X4" WOOD SHORING AROUND THE OPENINGS.
6. THE CONTRACTOR SHALL KEEP AND SAVE ANY EXISTING TIES LOCATED IN THE PROBES LOCATION.
7. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TARP TO PROTECT THE PROBES LOCATION FROM WEATHER DURING THE INVESTIGATIONS PERIOD.
8. THE CONTRACTOR SHALL PROVIDE ACCESS TO THE ENGINEER, DOB, AND THE ARCHITECT TO INVESTIGATE EACH AND EVERY PROBE.
9. ACCORDING TO THE INVESTIGATION RESULTS AND THE DIRECTION OF THE DESIGN TEAM, THE CONTRACTOR SHALL RESTORE THE FACADE BRICKS TO MATCH THE EXISTING WALL (SHAPE AND COLOR USING THE REMOVED BRICKS).



2 SHORING OF THE OPENING
S-100 SCALE 1-1/2"=1'-0"

Probe pictures



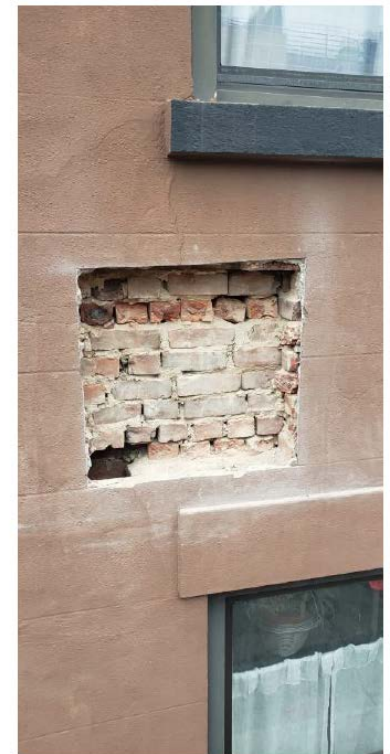
Exterior View: showing proposed 3 probes location



Exterior View: showing proposed enlargement probe # 1



Exterior View: showing proposed enlargement probe # 2

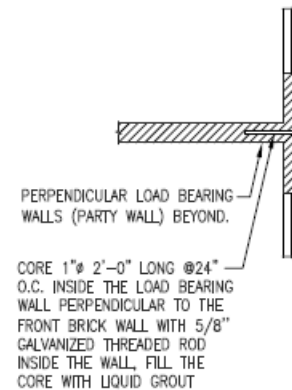


Exterior View: showing proposed enlargement probe # 3



TYING THE FRONT WALL TO THE PERPENDICULAR WALL USING THREADED ROD

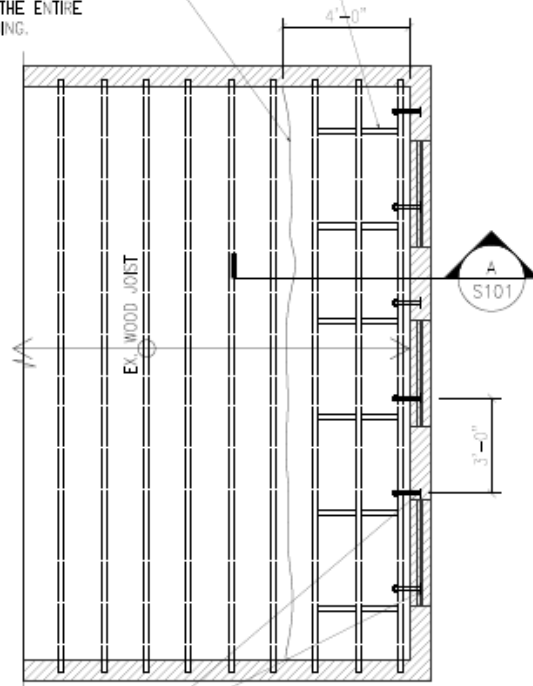
- A) THE CONTRACTOR SHALL SURVEY THE WIDTH OF THE BUILDING FROM INSIDE AND OUTSIDE AND LOCATE THE PERPENDICULAR LOAD BEARING WALLS (PARTY WALL) AT EACH SIDE OF THE BUILDING.
- B) THE CONTRACTOR SHALL LOCATE THE CENTER OF THE PARTY WALL FROM THE OUTSIDE AND MARK UP THE LOCATION OF THE PROPOSED THREADED ROD @ THE CENTER OF THE LOAD BEARING WALL AND SPACED 2 FT VERTICALLY.
- C) THE CONTRACTOR SHALL CREATE A CORE 1" DIAMETER 2 FEET LONG INSIDE THE LOAD BEARING WALL PERPENDICULAR TO THE FRONT BRICK WALL, CLEAN THE CORE FROM THE DUST, THEN FILL THE CORE WITH LIQUID GROUT USING A FUNNEL TUBE OR A GUN WITH A LONG HOSE/NOSE. AFTER THE CLEANING AND FILLING THE CORE WITH LIQUID GROUT, THE CONTRACTOR SHALL INSERT 5/8" THREADED ROD INSIDE THE WALL, (THE THREADED ROD SHALL BE GALVANIZED AND PROTECTED AGAINST RUST). THREADED ROD SHALL BE INSTALLED 2 FEET HORIZONTALLY THROUGH THE FRONT BRICK WALL AND INSIDE THE PERPENDICULAR PARTY WALL. THE THREADED ROD SHALL BE INSTALLED EVERY 2 FEET VERTICALLY BETWEEN THE FRONT WALL AND THE PERPENDICULAR LOAD BEARING WALL AT EACH SIDE OF THE BUILDING.
- D) THE THREADED ROD CONNECTIONS WILL CREATE A POSITIVE CONNECTION BETWEEN THE FAÇADE BRICK WALL AND THE PERPENDICULAR WALL AND THE FRONT WALL, THIS WILL ENSURE THAT THE FRONT BRICK WALL AND THE PERPENDICULAR LOAD BEARING WALLS OF THE BUILDING IS WORKING TOGETHER.
- E) DURING THE INTERIOR FINISHES WORK, IF CONTRACTOR FOUND ANY CRACK OR DAMAGE, OR SEPARATION BETWEEN THE PERPENDICULAR WALL AND THE FRONT WALL, THE CONTRACTOR SHALL REPOINT THE WALL FIRST AND TIE THESE WALLS TOGETHER USING A BENT PLATE HORIZONTALLY AT THE INTERIOR CORNER OF THE BUILDING TYING THE 2 SIDES OF THE WALL.



1
S-101 TYING THE WALL TO THE FLOOR DIAPHRAGM
SCALE: 1/2"=1'-0"

WOOD BLOCKING BETWEEN THE WOOD JOIST AND THE FLOOR THE WOOD BLOCKING SHALL BE 2"WIDTH X THE DEPTH MATCHING THE WOOD JOISTS AT EACH LOCATION, @ 3'-0" O.C. THE WOOD BLOCKING SHALL BE NAILED BY 4-D16 TOE NAILS ON BOTH SIDES OF THE JOIST AND ALSO NAILED TO THE FLOOR DIAPHRAGM USING FINISH NAILS.

SAW CUT THE CEILING FINISHES FOR 4 FEET LONG TO EXPOSE A MINIMUM OF 3 JOINTS PARALLEL TO THE EXTERIOR BRICK WALL CONTINUOUSLY FOR THE ENTIRE WIDTH OF THE BUILDING.



5/8" GALVANIZED THREADED ROD WITH 4X4X3/8" PLATE IN THE COLLAR JOINT WITHIN THE FAÇADE AND WASHER AND NUTS @ 3 FT O.C. HORIZONTALLY SPACED AT 3RD, AND ROOF LEVELS.

1 TYING THE WALL TO THE FLOOR DIAPHRAGM
SCALE: 1/2"=1'-0"

TYING THE WALL TO THE FLOOR DIAPHRAGM:

TYING THE WALL TO THE FLOOR DIAPHRAGM SYSTEM USING 5/8" GALVANIZED THREADED ROD WITH 4X4X3/8" PLATE IN THE COLLAR JOINT WITHIN THE FAÇADE AND WASHER AND NUTS @ 3 FT O.C. HORIZONTALLY SPACED AT 3RD, AND ROOF LEVELS.

THE CONTRACTOR SHALL FOLLOW THE DETAILS WHICH WILL BE PREPARED BY MJ ENGINEERING AND ASSIGNED TO THE CONTRACTOR FOR THE REPAIR.

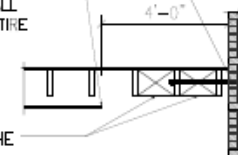
THE EXTERIOR BRICK WALL SHOULD BE TIGHT TO THE WOOD FRAMING JOISTS AT EACH FLOOR LEVEL, THE WOOD FRAMING JOISTS ARE POSITIONED PARALLEL TO THE BRICK WALL (THERE IS NO TIES BETWEEN THE WOOD FRAME DIAPHRAGM AND THE BRICK WALL).

THE CONTRACTOR SHALL FOLLOW THE FOLLOWING SEQUENCE.

- A) SAW CUT THE CEILING FINISHES FOR 4 FEET LONG TO EXPOSE A MINIMUM OF 3 JOINTS PARALLEL TO THE EXTERIOR BRICK WALL CONTINUOUSLY FOR THE ENTIRE WIDTH OF THE BUILDING.
- B) THE CONTRACTOR SHALL INSTALL WOOD BLOCKING BETWEEN THE WOOD JOIST AND THE FLOOR DIAPHRAGM (PLYWOOD); THE WOOD BLOCKING SHALL BE 2"WIDTH X THE DEPTH MATCHING THE WOOD JOISTS AT EACH LOCATION, THE WOOD BLOCKING SHALL BE NAILED BY 4-D16 TOE NAILS ON BOTH SIDES OF THE JOIST AND ALSO NAILED TO THE FLOOR DIAPHRAGM USING FINISH NAILS. WOOD BLOCKING SHALL BE INSTALLED @ 3FT O.C.
- C) THE CONTRACTOR SHALL TIE EXTERIOR WALL TO THE FLOOR DIAPHRAGM USING 5/8" GALVANIZED THREADED ROD WITH STAR WASHER APPROVED BY LPCP AT 3FT O.C.
- D) THE CONTRACTOR SHALL REPEAT ALL THE ABOVE HORIZONTALLY AT EVERY FLOOR LEVEL INCLUDING THE ROOF LEVEL.
- E) BY COMPLETING ALL THE ABOVE STEPS, THE WALL IS TIED TO THE FLOOR WOOD DIAPHRAGM WITH POSITIVE TIES AT EACH FLOOR LEVEL (EVERY 3 FEET O.C.). THE THREADED ROD PROCESS WILL PROVIDE A CONTINUOUS HORIZONTAL STRAPPING, BRACING CONNECTION BETWEEN THE FRONT BRICK WALL AND THE FLOOR DIAPHRAGM AT EACH FLOOR LEVEL.

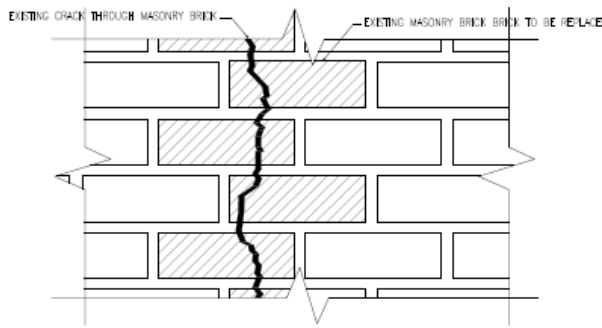
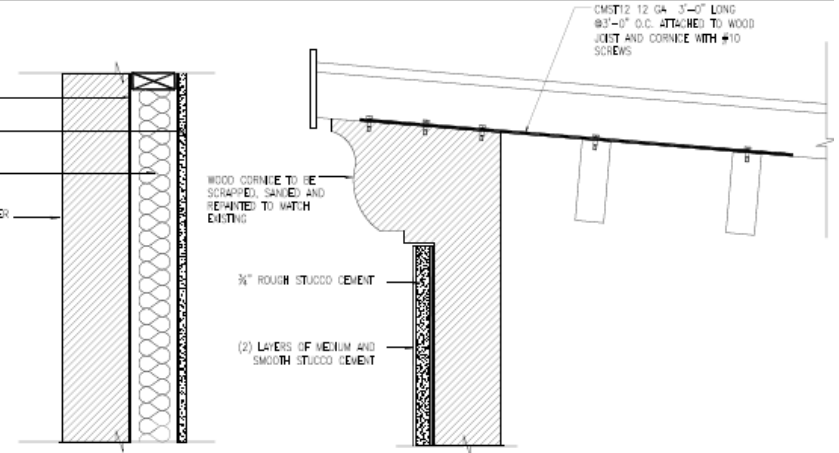
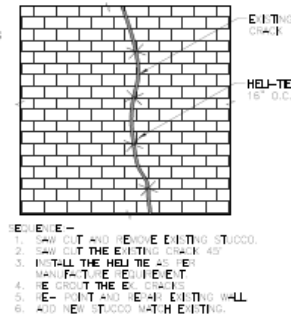
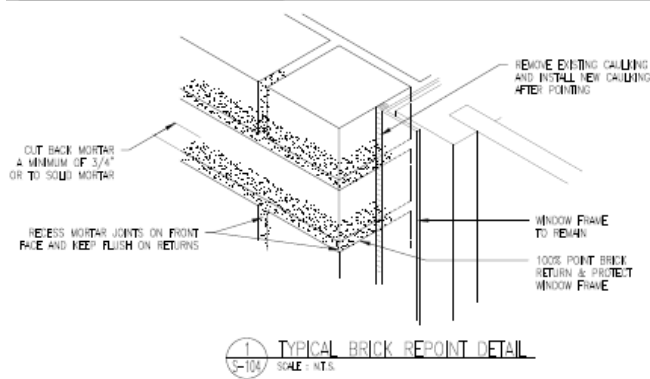
5/8" GALVANIZED THREADED ROD WITH 4X4X3/8" PLATE IN THE COLLAR JOINT WITHIN THE FAÇADE AND WASHER AND NUTS @ 3 FT O.C. HORIZONTALLY SPACED AT 3RD, AND ROOF LEVELS.

SAW CUT THE CEILING FINISHES FOR 4 FEET LONG TO EXPOSE A MINIMUM OF 3 JOINTS PARALLEL TO THE EXTERIOR BRICK WALL CONTINUOUSLY FOR THE ENTIRE WIDTH OF THE BUILDING.



WOOD BLOCKING BETWEEN THE WOOD JOIST AND THE FLOOR THE WOOD BLOCKING SHALL BE 2"WIDTH X THE DEPTH MATCHING THE WOOD JOISTS AT EACH LOCATION, @ 3'-0" O.C. THE WOOD BLOCKING SHALL BE NAILED BY 4-D16 TOE NAILS ON BOTH SIDES OF THE JOIST AND ALSO NAILED TO THE FLOOR DIAPHRAGM USING FINISH NAILS.

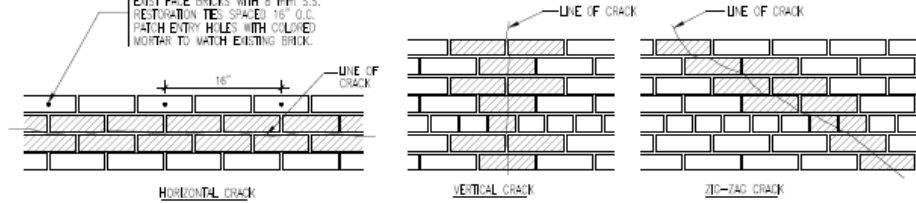
A SECTION(A-A)
SCALE: 1/2"=1'-0"



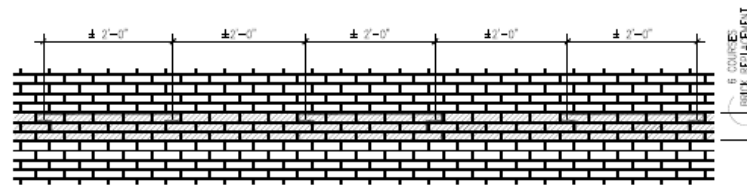
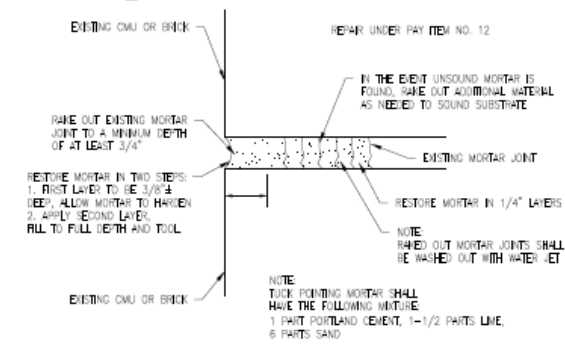
5 TYPICAL EXTERIOR WALL
SCALE: 3/4"=1'-0"

6 CORNICE DETAIL
SCALE: 3/4"=1'-0"

FOR CAVITY WALLS, PRIOR TO REMOVAL OF EXISTING FACE BRICKS, SECURE EXIST FACE BRICKS WITH 8 mm S.S. RESTRAINT TIES SPACED 16" O.C. PATCH ENTRY HILES WITH COLORED MORTAR TO MATCH EXISTING BRICK.

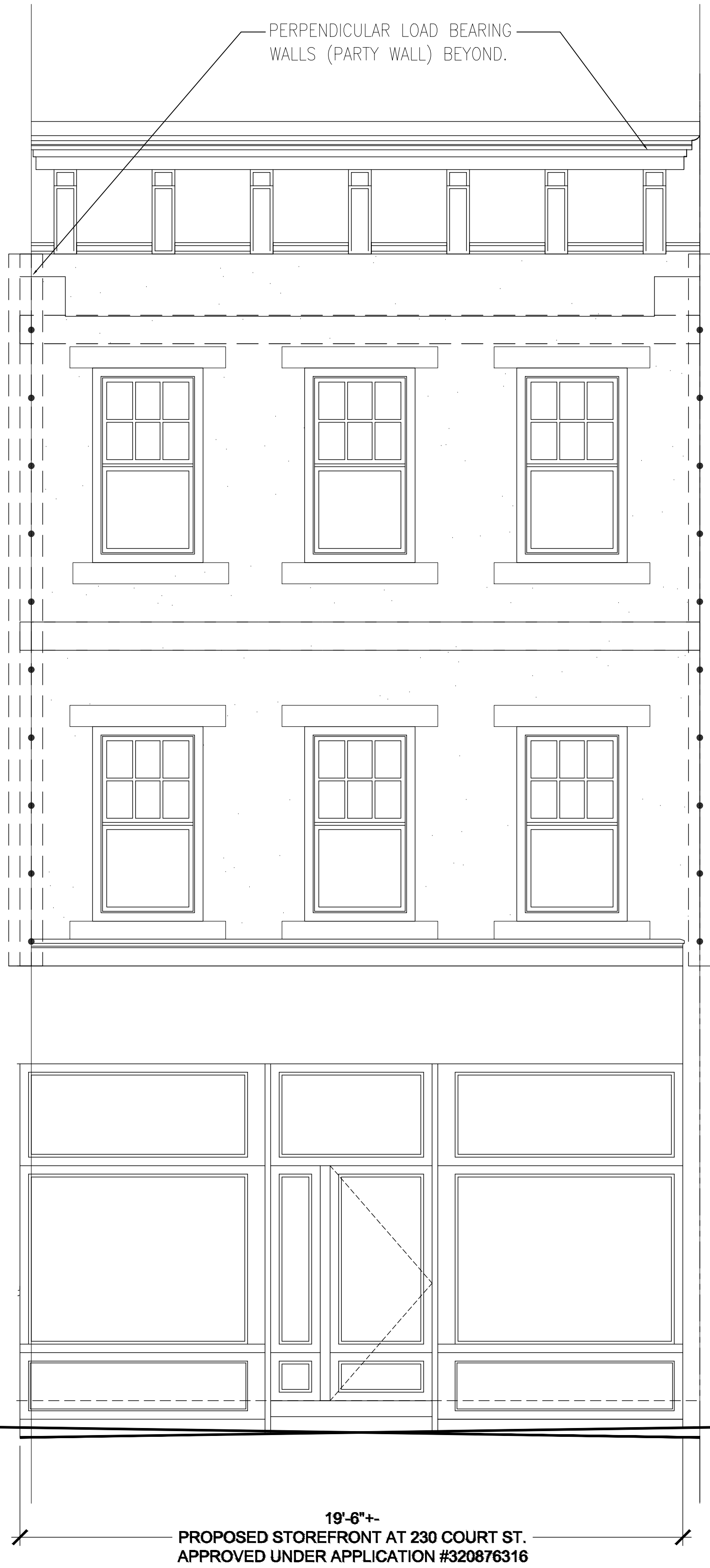


NOTES: 1. REPLACE HATCHED BRICKS WITH NEW BRICKS.
2. DO NOT RE-LAY WEATHER BRICKS IF NOT CRACKED.
3. THE RE-LEVELMENT OF BRICKS SHALL BE PERFORMED IN SECTIONS OF 3'-0" EACH MAXIMUM.

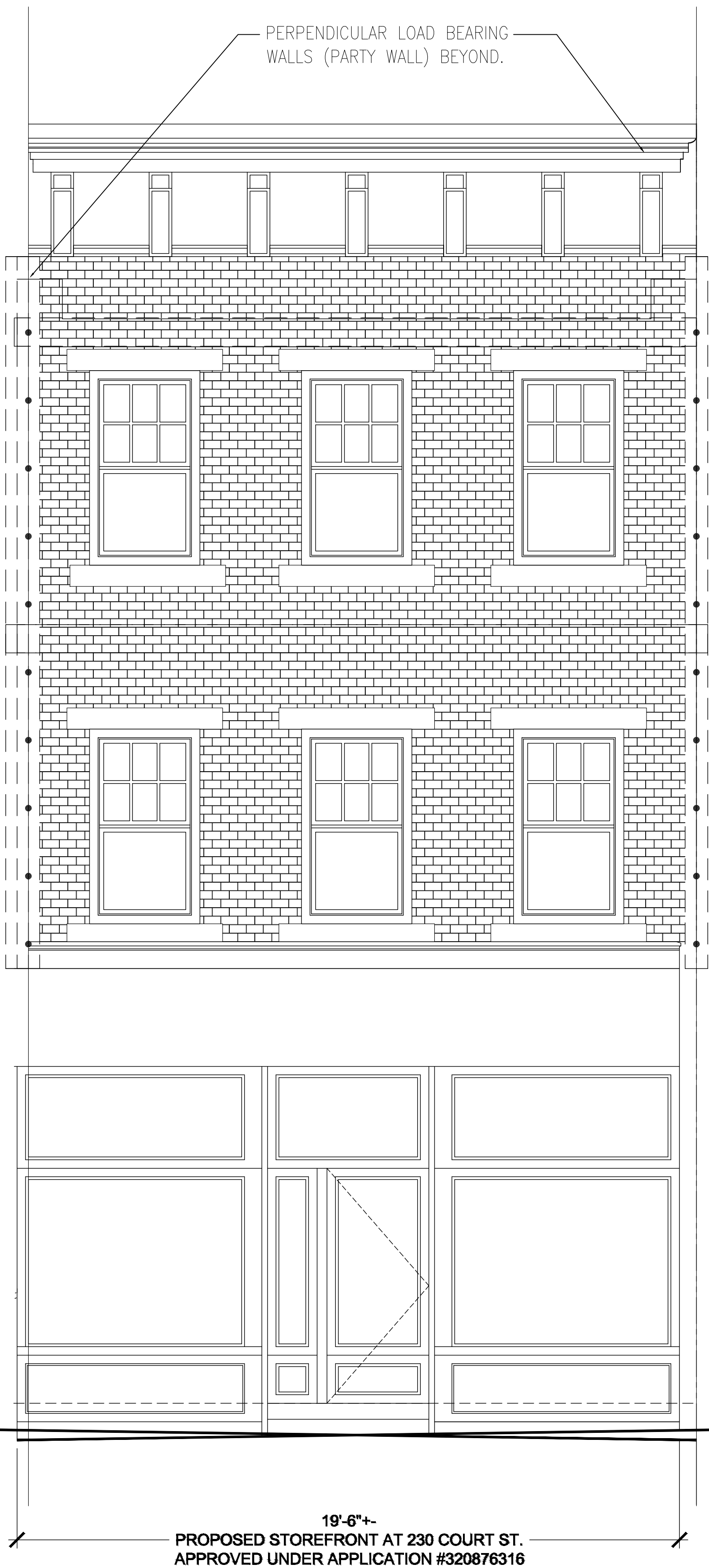


NOTES:
1. REMOVE BRICK IN 3'-0" MAX. SECTIONS HOME BY 6 COURSES VERTICAL SHORE AND BRACE BRICKS ABOVE BRICKWORK TO ENSURE INTEGRITY OF BRICK FACING.
2. SEQUENCE OF REPAIR LEFT TO RIGHT.

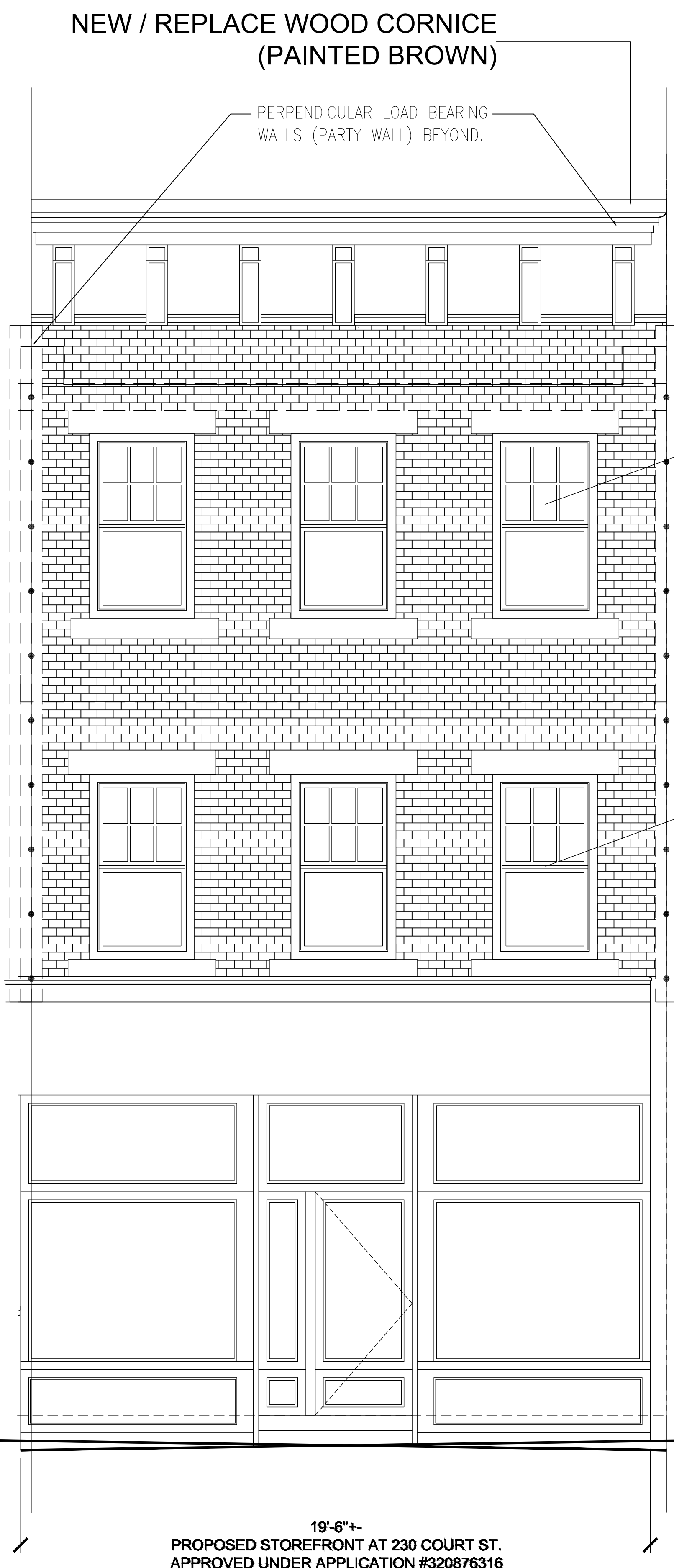
TYPICAL ELEVATION OF 214, 216, & 218



EXISTING BUILDING CONDITION
NO CHANGE



PROPOSED OPTION A
REPLACE OUTER WYTHE ONLY
AND MAINTAIN OTHER
ELEMENTS



PROPOSED OPTION B
FULL RECONSTRUCTION WITH REPLACEMENT OF FRONT STREET WALL,
NEW DOUBLE HUNG SIX-OVER-ONE WINDOWS WITH BROWNSTONE-TINTED
CAST STONE SILLS AND NEW / REPLACED BROWN WOOD CORNICE
216 - NEW PROPOSED BROWN WOOD CORNICE

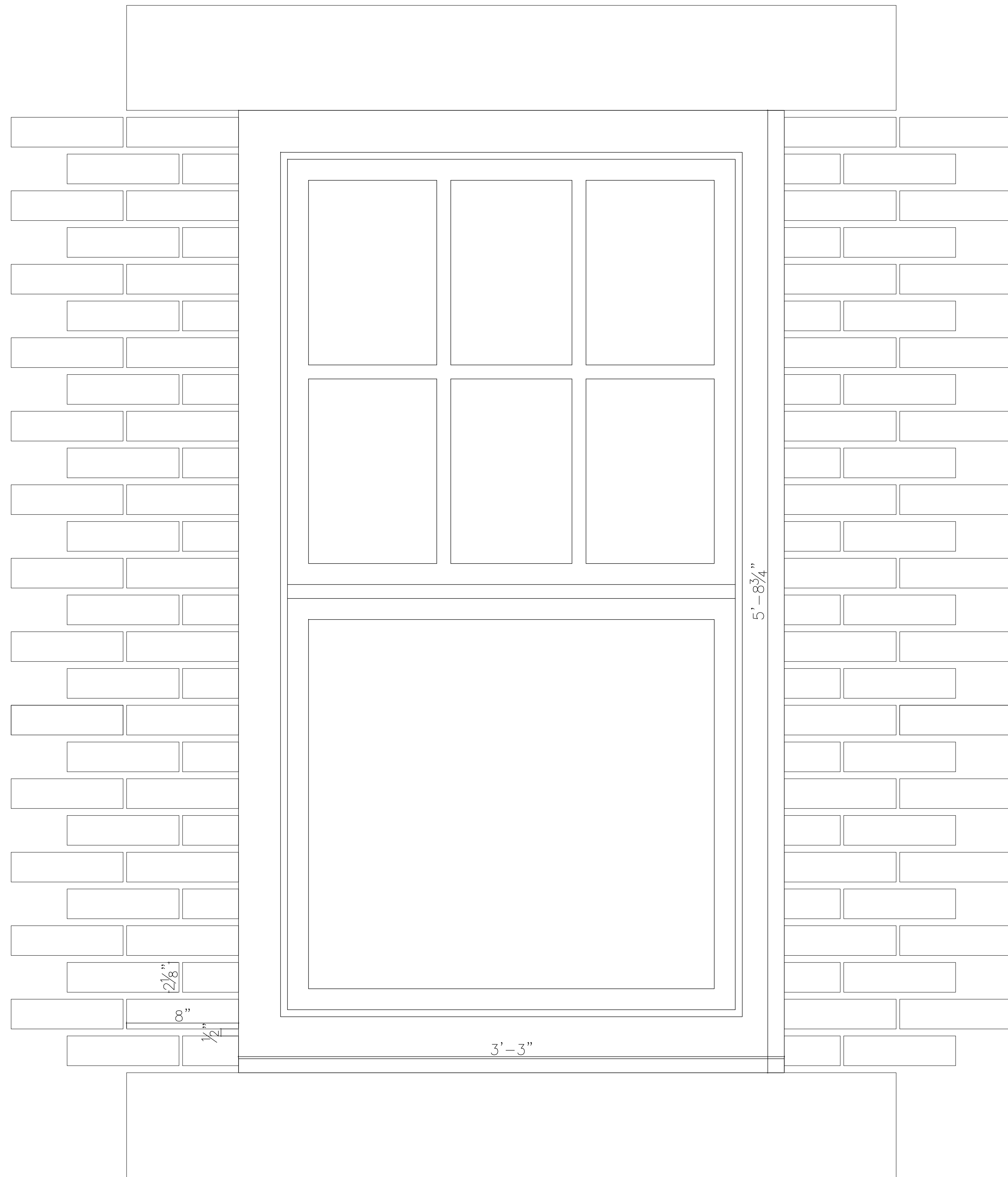
214, 216, & 218 Wythe pictures



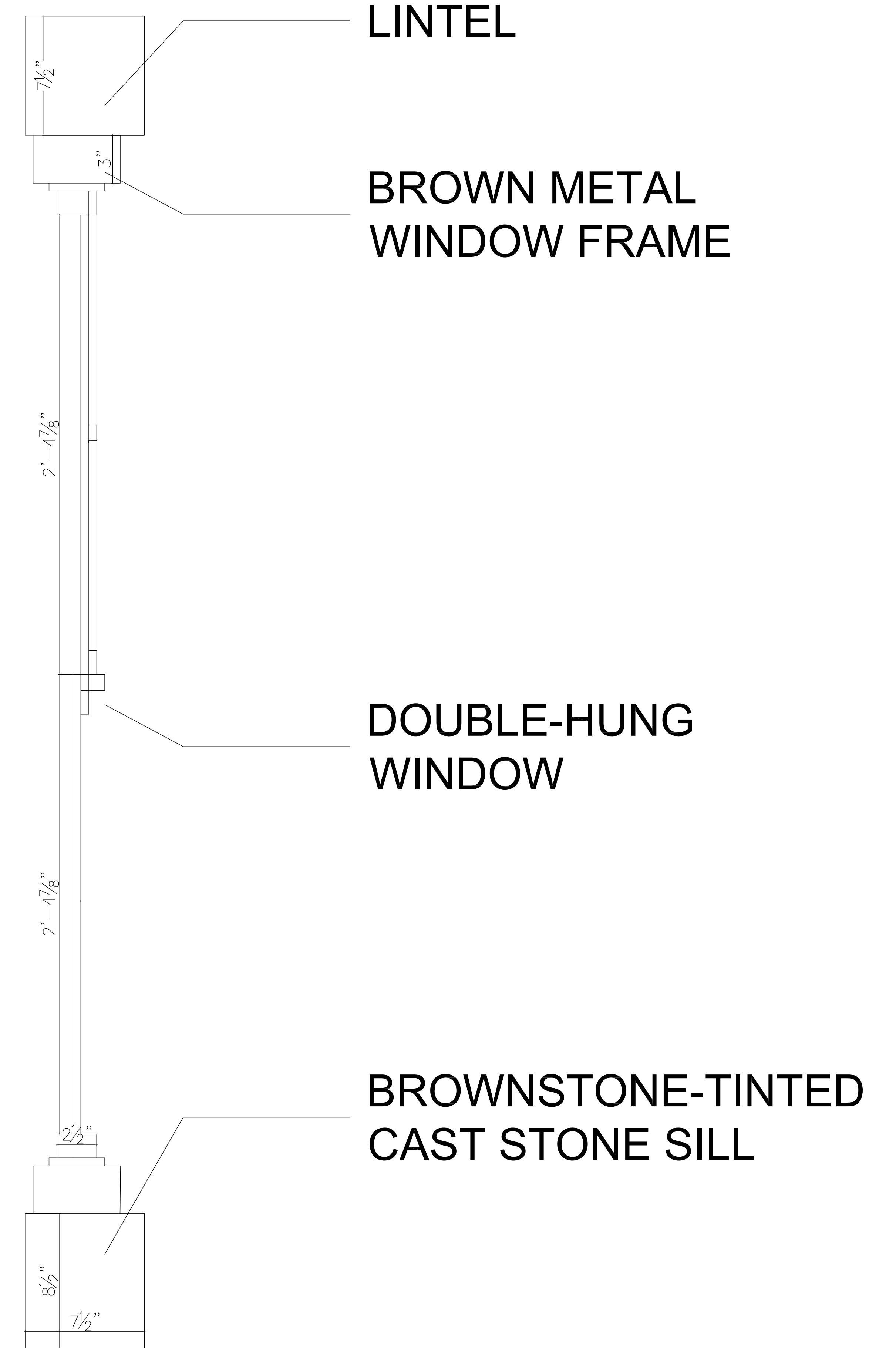
214, 216, & 218 Cornice pictures



WINDOW DETAILS FOR 214, 216, & 218

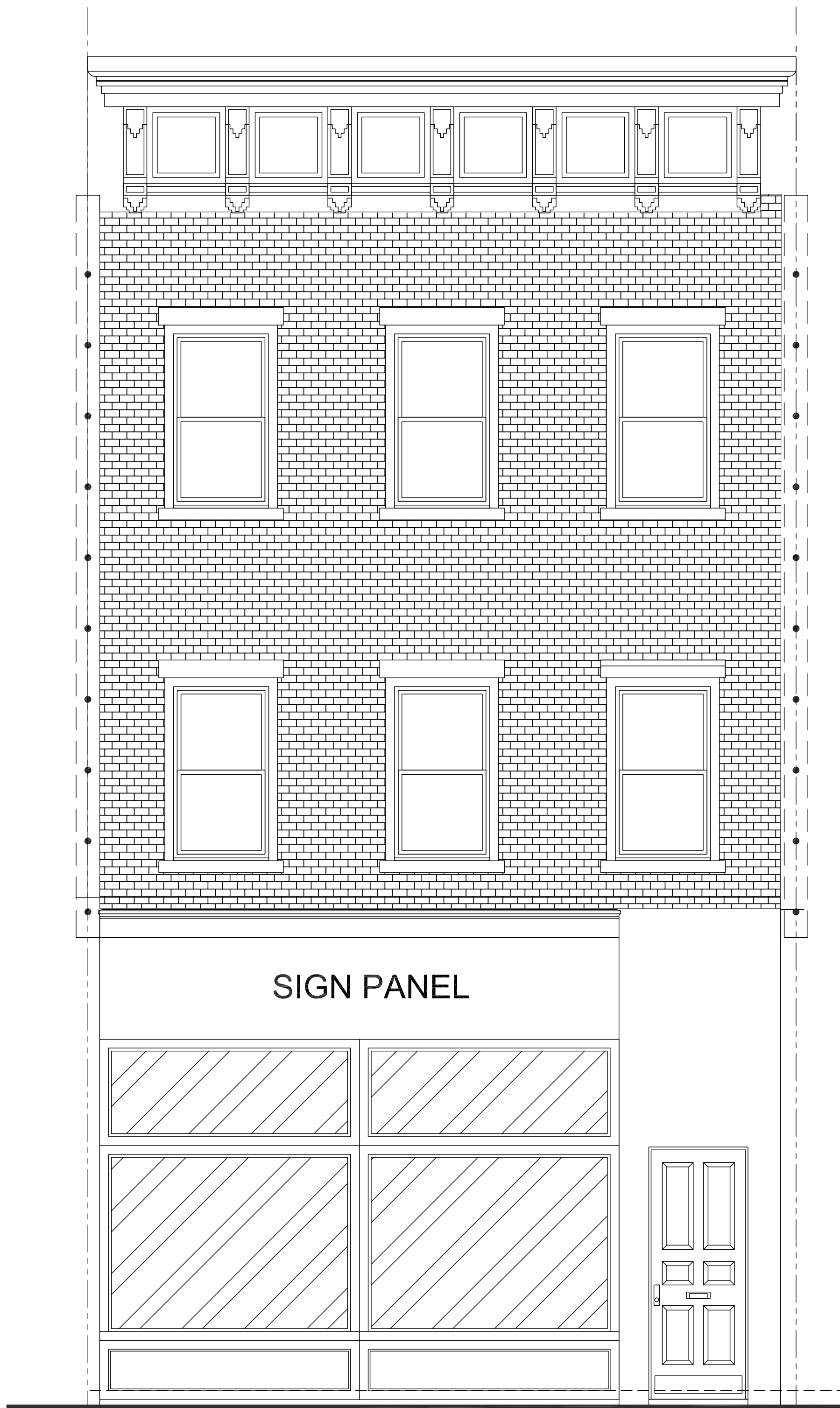


214, 216, & 218 WINDOW ELEVATION

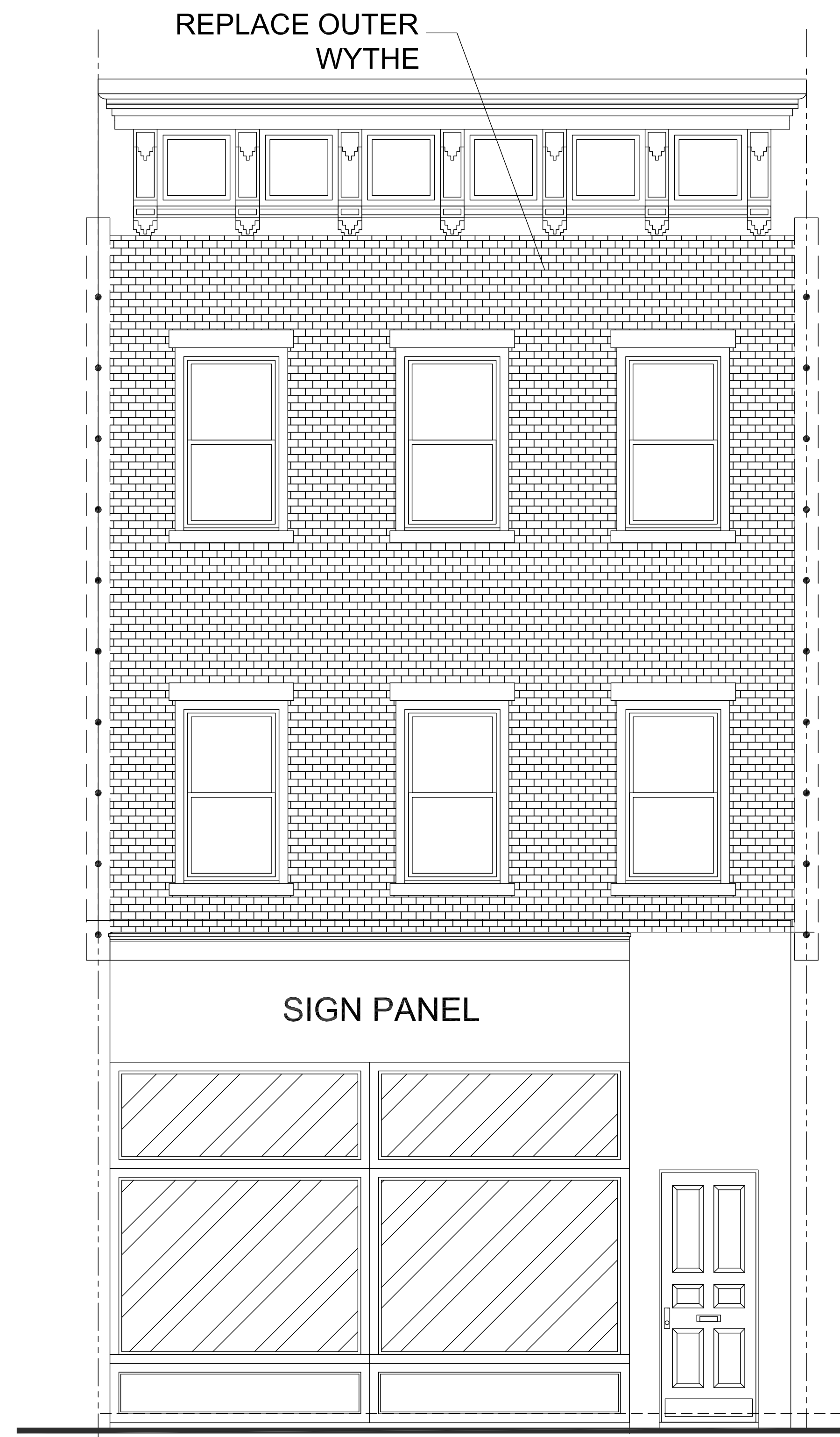


214, 216, & 218 WINDOW SECTION

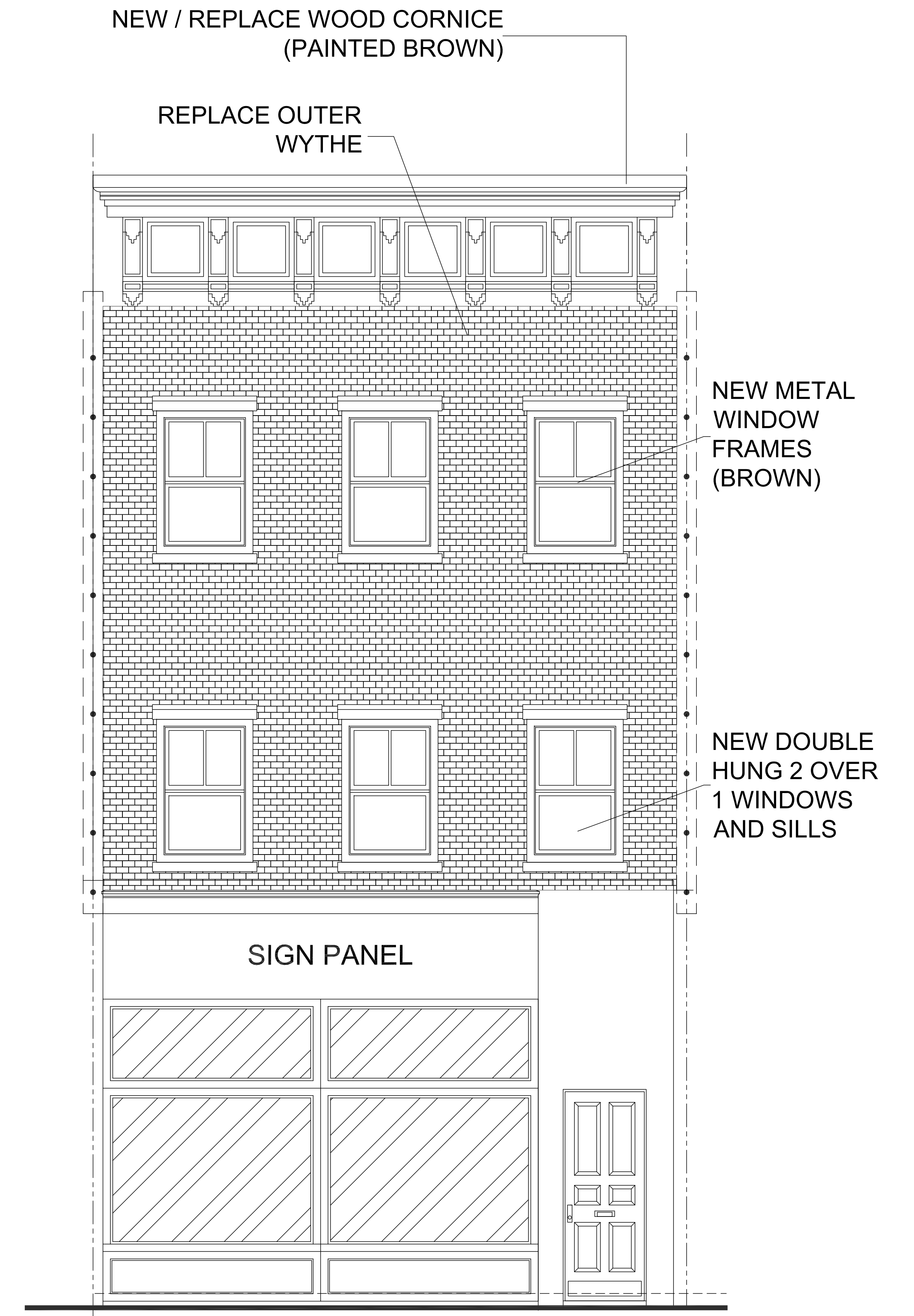
TYPICAL ELEVATION OF 222, 228, & 230



EXISTING BUILDING
CONDITION
NO CHANGE



PROPOSED OPTION A
REPLACE OUTER WYTHE ONLY
AND MAINTAIN OTHER
ELEMENTS



PROPOSED OPTION B
FULL RECONSTRUCTION WITH REPLACEMENT OF FRONT STREET WALL,
NEW DOUBLE HUNG TWO-OVER-ONE WINDOWS WITH BROWNSTONE-TINTED
CAST STONE LINTELS AND SILLS, NEW / REPLACED BROWN WOOD CORNICE

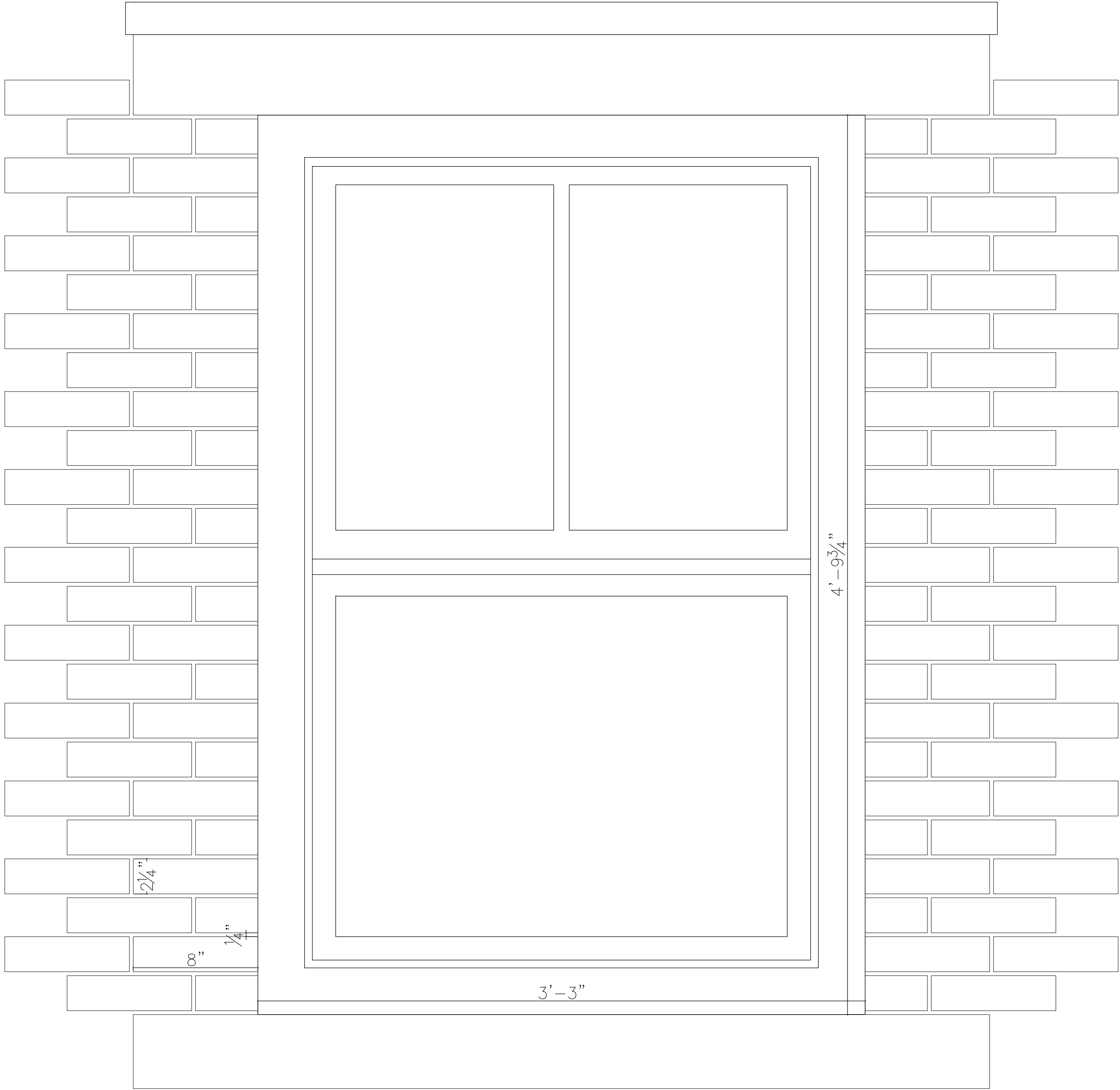
222, 228, & 230 Wythe pictures



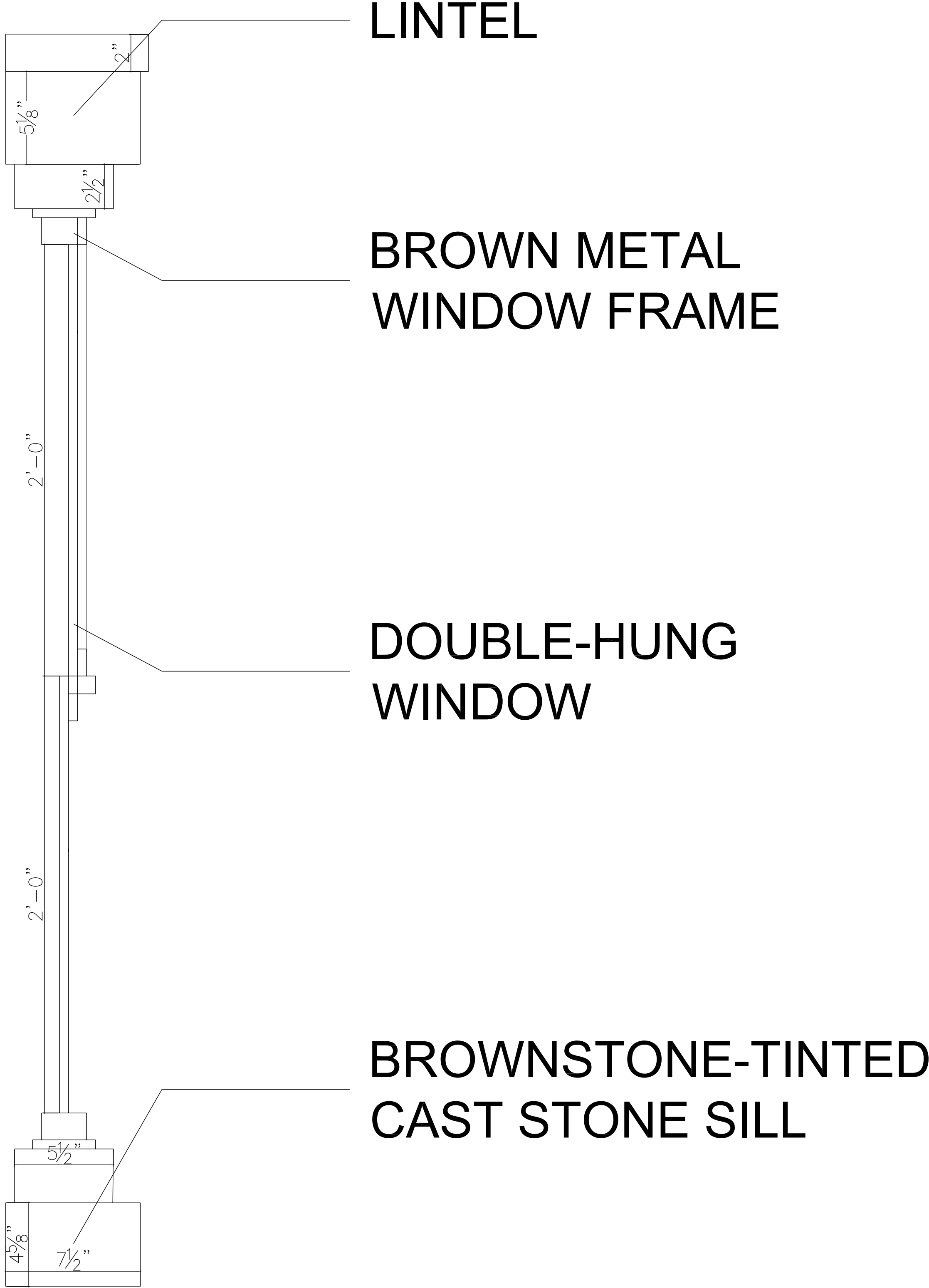
222, 228, & 230 Cornice pictures



WINDOW DETAILS FOR 222, 228, & 230



222, 228, & 230 WINDOW ELEVATION



LINTEL

BROWN METAL WINDOW FRAME

DOUBLE-HUNG WINDOW

BROWNSTONE-TINTED CAST STONE SILL

222, 228, & 230 WINDOW SECTION

228 Lintel detail



228 Brick apron detail



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Appendix



Exterior View: showing proposed 3 probes location



Exterior View: showing proposed probe # 2 location



Exterior View: showing proposed 3 probes location



Exterior View: showing proposed enlargement probe # 2



Exterior View: looking upwards towards the parapet's cornice



Exterior View: showing proposed enlargement probe # 3



Exterior View: showing proposed enlargement probe # 3



2 ft X 2 ft wide with one wythe (front wythe) only removed.
There are header course ties the brick wythes every 16" O.C. vertically, continues header course between the inside wythe and outside wythe, the header course is the only existing brick tying the wythes together perpendicular to the wall plane



Exterior View: showing proposed enlargement probe # 1



Exterior View: where vertical cracking has been observed Between the Third and Second Flrs,



parapet coping



Exterior View: showing the front facade and the proposed 3 probes location



Exterior View: showing proposed probe #1



Exterior View: showing proposed probe #1



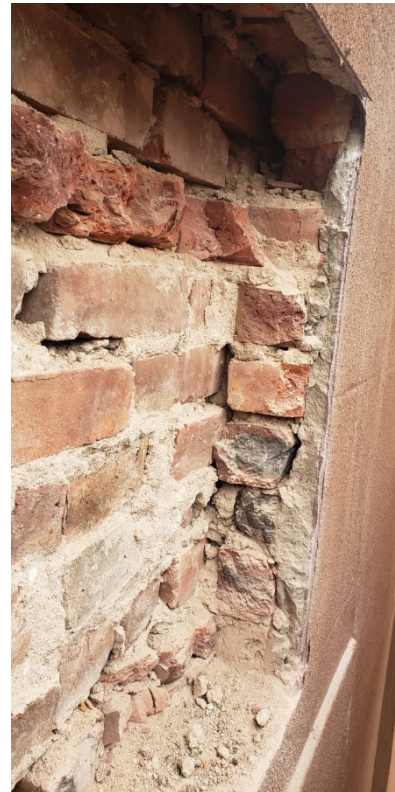
Exterior View: showing proposed enlargement probe #1



Exterior View: showing proposed enlargement probe #1



Exterior View: showing proposed enlargement probe #1



Exterior View: showing proposed enlargement probe #2



Exterior View: showing proposed enlargement probe #3



Exterior View: showing proposed enlargement probe #3



Exterior View: showing proposed enlargement probe #3



Exterior View: showing proposed 3 probes location



Exterior View: showing proposed probe #2 & #3 locations



Exterior View: showing proposed 3 probes location



Exterior View: showing the front facade



Exterior View: showing proposed probe #1 & cornice



Exterior View: showing proposed enlargement probe #1



Exterior View: showing cavity in the wall



Exterior View: showing cavity in the wall



Exterior View: showing proposed enlargement probe #2, and vertical cracking between the 2nd and the 3rd floors



2 ft X 2 ft wide with one wythe (front wythe) only removed.
There are header course ties the brick wythes every 16" O.C. vertically, continues header course between the inside wythe and outside wythe, the header course is the only existing brick tying the wythes together perpendicular to the wall plane



Exterior View: showing proposed enlargement probe #3



Exterior View: showing proposed enlargement probe #3



Exterior View: showing proposed enlargement probe #3



Exterior View: showing proposed probe #1



Exterior View: showing proposed enlargement probe #1



Exterior View: showing proposed enlargement probe #1



Exterior View: showing proposed enlargement probe #2



Exterior View: showing proposed 2 probes location



Exterior View: showing proposed enlargement probe #2



Exterior View: showing proposed enlargement probe #2



Exterior View: showing proposed enlargement probe # 2



Exterior View: showing the brick veneer condition



Exterior View: showing proposed enlargement probe #2



228 Exterior View: showing proposed probe locations



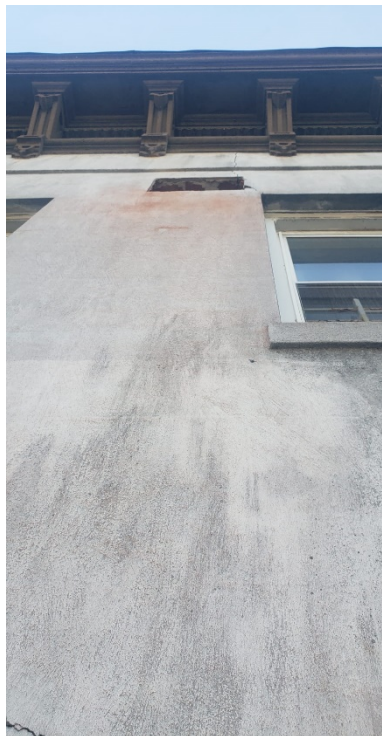
228 Exterior View: showing proposed probe locations



230 exterior View: showing prop enlargement at 2nd & 3rd floor



230 exterior View: showing prop enlargement at 2nd floor



230 exterior View: showing prop enlargement at 3rd floor



230 exterior View: showing cracks

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