

COURSE 206

Filing Representative Training
for

Class 2 Code and Zoning Representatives

Includes:

- Housing Preservation and Development Form
- NYC Loft Board
- Accessibility
- Means of Egress

HPD Forms 1, 2 & 3

Presented by:

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Borough Commissioner

Prepared by:

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Assistant General Counsel

This Session will address the three **HPD Anti-Harassment Forms**

- **HPD1** the Anti-Harassment Area Checklist (*required in areas 1 – 4*);
- **HPD2** the Clinton Special District Anti-Harassment Checklist (*req in 5*)
- **HPD3** the Single Room Occupancy Multiple Dwelling (SRO MD) Anti-Harassment Checklist (*required in bldgs of type 6*)

and the requirements for obtaining a **Certificate Of No Harassment when working** in any of the Special Areas defined in the Zoning Resolution as the:

- *1. Greenpoint -Williamsburg Anti-harassment Area (ZR 23-013), the*
- *2. Special Hudson Yard District (ZR 93-90), the*
- *3. Special West Chelsea District (ZR 98-70), the*
- *4. Special Garment Center P-2 Preservation Area (ZR 121-50), & the*
- *5. Clinton Special District (ZR 96-00), as well as for work filed in an*
- *6. SRO Restricted Building.*

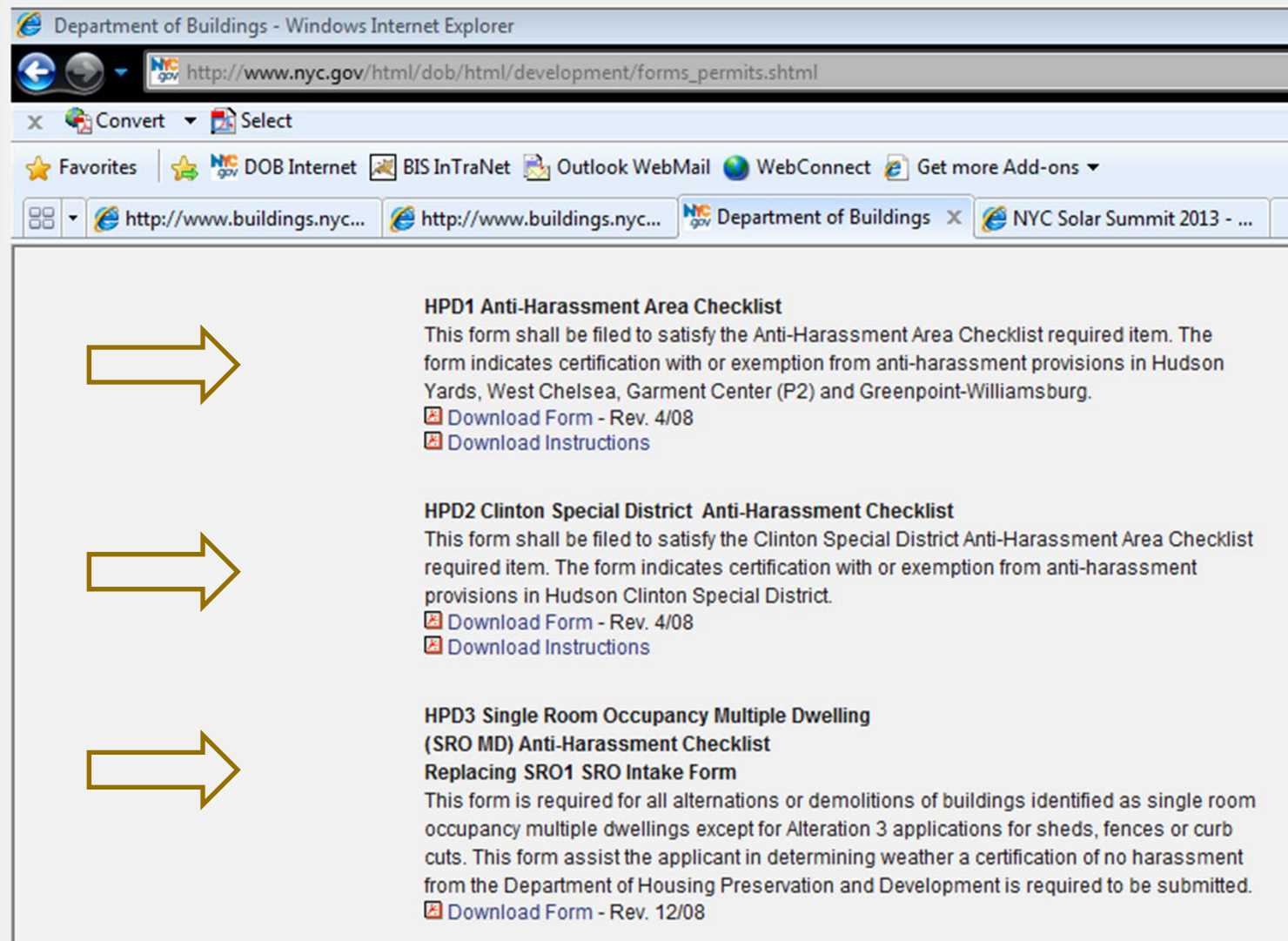
The screenshot shows the NYC Buildings website interface. On the left, there is a navigation menu with the following items: Home, About the Buildings Department, Careers, Rebuilding After Sandy, Buildings Information, Development, Safety & Enforcement, Community Partnerships, Homeowners & Tenants, Sustainability, Codes & Reference, News & Services, and Contact the Buildings Department. Below the menu is a search bar and a 'Search' button. A yellow arrow points from the 'Forms' link in the 'Buildings Information' section of the menu to the 'Forms' section in the main content area.

The main content area features a large banner image of a man writing on a clipboard, with a text box that reads: "Free Design Consultations Starting March 4, the Department is design consultations for property owners and design professionals who are planning to reconstruct buildings damaged by Hurricane Sandy. These consultations will ensure that the latest standards are incorporated. Click here for more information." Below the banner are several smaller images and text boxes: "Building Tools", "NYC Development Hub & Electronic Filing (eFiling)", "State of Construction: Podcasts", "License Search", and "Building on My Block".

On the right side of the page, there is a "Forms" section with a list of form categories:

- Amusement Rides
- Appointments
- Boilers
- Builders Pavement Plan
- Certification & Material Acceptance
- Cranes & Derricks
- Easements & Restrictive Declarations
- Electrical
- Elevators
- Energy Code
- Facade
- Licensing
- Local Laws
- PENS
- Padlock
- Plan/Work & Permits
- Plumbing
- Public Challenges
- Signs
- Tax Abatement
- Technical
- Unsafe Buildings
- Violations
- Waterfront

Below the list is a section titled "Filling-In & Electronically Submitting Forms" with the text: "The Department of Buildings (DOB) provides 'Fill-in' and 'Electronic Submission' forms for your convenience. These forms are not to be altered or changed in any way. Persons that..."



Department of Buildings - Windows Internet Explorer

http://www.nyc.gov/html/dob/html/development/forms_permits.shtml

Convert Select

Favorites | DOB Internet | BIS InTraNet | Outlook WebMail | WebConnect | Get more Add-ons

http://www.buildings.nyc... | http://www.buildings.nyc... | Department of Buildings | NYC Solar Summit 2013 - ...

HPD1 Anti-Harassment Area Checklist
This form shall be filed to satisfy the Anti-Harassment Area Checklist required item. The form indicates certification with or exemption from anti-harassment provisions in Hudson Yards, West Chelsea, Garment Center (P2) and Greenpoint-Williamsburg.
[Download Form - Rev. 4/08](#)
[Download Instructions](#)

HPD2 Clinton Special District Anti-Harassment Checklist
This form shall be filed to satisfy the Clinton Special District Anti-Harassment Area Checklist required item. The form indicates certification with or exemption from anti-harassment provisions in Hudson Clinton Special District.
[Download Form - Rev. 4/08](#)
[Download Instructions](#)

HPD3 Single Room Occupancy Multiple Dwelling (SRO MD) Anti-Harassment Checklist
Replacing SRO1 SRO Intake Form
This form is required for all alternations or demolitions of buildings identified as single room occupancy multiple dwellings except for Alteration 3 applications for sheds, fences or curb cuts. This form assist the applicant in determining weather a certification of no harassment from the Department of Housing Preservation and Development is required to be submitted.
[Download Form - Rev. 12/08](#)

NYC BUILDINGS HPD-1: Anti-Harassment Area Checklist

Must be typewritten. Orient and affix 610 job number label here

1 Location Information Required for all applications.

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BiN	CB No.
District	<input type="checkbox"/> Special Hudson Yards District (ZR § 93-90) <input type="checkbox"/> Special West Chelsea District (ZR § 98-70)		<input type="checkbox"/> Greenpoint-Williamsburg Anti-harassment Area (ZR § 23-013) <input type="checkbox"/> Special Garment Center P-2 Preservation Area (ZR § 121-50)	

2 Applicant of Record Required for all applications.

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	License Number	<input type="checkbox"/> RA <input type="checkbox"/> PE

3 Exemption/Certification Declaration Required for all applications.

HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (d))

Structure is located on a cure requirement lot, or a cure compliance lot (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or cure compliance lot (as defined in ZR § 93-90(a)).

Must comply with and check i. - v. below:

i. HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d))

ii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 93-90 (d)(2)(i) have been listed

iii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 93-90 (a)(16)) for both the cure requirement lot and cure compliance lot.

iv. On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(d)(2)(ii)).

For v., check box that applies (one box only)

v. On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(d)(iv), or

The cure requirement lot is not the cure compliance lot AND associated cure compliance lot controlled by not-for-profit (ZR § 93-90(d)(v)(B))

*Required information already on COB

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)

4 Exemption Description if the proposed work or structure is exempt from certification, indicate below.

Exempt Alterations

Material Alteration Work to be performed pursuant to the alteration permit does not include a material alteration (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1))

Alterations to Provide Accessibility (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3))

Not a multiple dwelling and does not contain any dwelling units (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.

A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.

A city-owned multiple dwelling.

An exempt hotel as defined in ZR § 93-90(a)(8).

A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards; October 4, 2004 for Greenpoint-Williamsburg; and December 20, 2004 for West-Chelsea), restricted to clubhouse or school dormitory use.

An exempt institutional residence (as defined in ZR § 93-90(a)(9)).

A multiple dwelling that is the subject of an HPD program (HPD determination attached).

5 Applicant's Statements and Signatures Required for all applications.

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

Name (please print) _____

Signature _____ Date _____

P.E. / R.A. Seal (apply seal, then sign and date over seal)

4/08

When do you need it?

If your building is located in the

- **Greenpoint-Williamsburg Anti-Harassment Area** (ZR 23-013); the
- **Special Hudson Yards District** (ZR 93-90); the
- **Special West Chelsea District** (ZR 98-70); and the
- **Special Garment Center P-2 Preservation Area** (ZR 121-50).

The Required item applies to:

- **New Buildings** (all work types);
- **Alteration 1s** (all work types);
- **Alteration 2s** (Plumbing, OT/GC or OT-other);
and
- **Alteration 3s** (OT/GC or OT-other)
or any
- **Subdivision applications** on properties located within the:
 - **Special Hudson Yards District**, the
 - **Special West Chelsea District**, the
 - **Special Garment Center P-2 Preservation Area** or the
 - **Greenpoint-Williamsburg Anti-Harassment Area**.

NYC BUILDINGS HPD-1: Anti-Harassment Area Checklist
Must be typewritten.

Orient and affix SIS job number label face

1 Location Information Required for all applications.

House No(s)	Street Name	Work Proposed on Floor No(s)			
Borough	Block	Lot	BIN	CB No.	
District	<input type="checkbox"/> Special Hudson Yards District (ZR § 93-90)		<input type="checkbox"/> Greenpoint-Williamsburg Anti-harassment Area (ZR § 23-013)		
	<input type="checkbox"/> Special West Chelsea District (ZR § 98-70)		<input type="checkbox"/> Special Garment Center P-2 Preservation Area (ZR § 121-50)		

2 Applicant of Record Required for all applications.

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	Mobile Telephone	License Number
		<input type="checkbox"/> RA <input type="checkbox"/> PE

3 Exemption/Certification Declaration Required for all applications.

HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (c))

Structure is located on a cure requirement lot or a cure compliance lot (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or cure compliance lot (as defined in ZR § 93-90(a))

Must comply with and check I - v. below:

I. HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d))

II. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 93-90 (a)(16)) for both the cure requirement lot and cure compliance lot

For v., check box that applies (one box only)

v. On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(d)(iv)), or

The cure requirement lot is not the cure compliance lot AND associated cure compliance lot controlled by not-for-profit (ZR § 93-90(d)(v)(b))

*Required information already on COB

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)

4 Exemption Description if the proposed work or structure is exempt from certification, indicate below.

Exempt Alterations

Material Alteration Work to be performed pursuant to the alteration permit does not include a material alteration (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1))

Alterations to Provide Accessibility (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3))

Not a multiple dwelling and does not contain any dwelling units (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.

A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.

A city-owned multiple dwelling.

An exempt hotel as defined in ZR § 93-90(a)(8).

A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards, October 4, 2004 for Greenpoint-Williamsburg, and December 20, 2004 for West-Chelsea), restricted to clubhouse or school dormitory use.

An exempt institutional residence (as defined in ZR § 93-90(a)(9)).

A multiple dwelling that is the subject of an HPD program (HPD determination attached).

6 Applicant's Statements and Signatures Required for all applications.

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

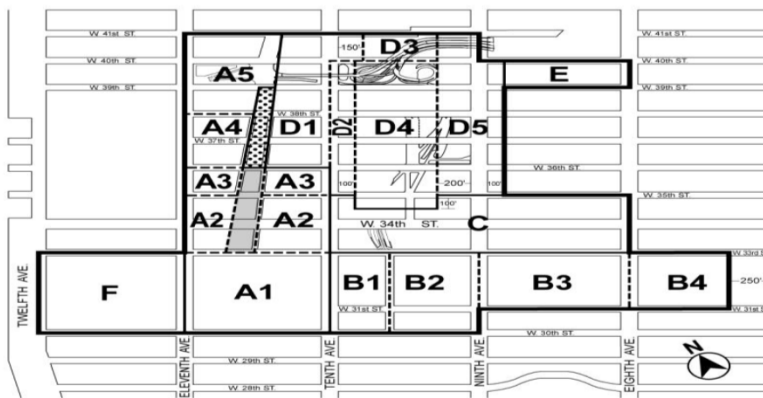
Name (please print) _____

Signature _____ Date _____

P.E. / R.A. Seal (apply seal, then sign and date over seal)

4/06

- Appendix A
- Special Hudson Yards District, Subdistrict and Subareas:




- Special Hudson Yards District
 - Subdistricts
 - - - Subareas within subdistricts
 - Phase 1 Hudson Boulevard and Park
 - ▨ Phase 2 Hudson Boulevard and Park
- Large-Scale Plan Subdistrict A**
 Eastern Rail Yards Subarea A1
 Four Corners Subarea A2
 Subareas A3 through A5
- Farley Corridor Subdistrict B**
 Western Blocks Subarea B1
 Central Blocks Subarea B2
 Farley Post Office Subarea B3
 Pennsylvania Station Subarea B4
- 34th Street Corridor Subdistrict C**
- Hell's Kitchen Subdistrict D**
 Subareas D1 through D5
- South of Port Authority Subdistrict E**
- Western Rail Yard Subdistrict F**

How do I know if my building is located in one of these Districts

- Please refer to the New York City Zoning Resolution:
- The maps outlining the special districts are appended to the respective texts establishing the special anti harassment areas
- (For example see ZR 93-90 Appendix A: Special Hudson Yards District).

Section 1: Location Information:

- For the location where the work will be done provide:
 - the house number, the street name, the floors on which work is being done,
 - the Borough, the block, the lot number, the BIN and the community board number.
- Check one of the four boxes indicating the anti-harassment district where building is located.



HPD-1: Anti-Harassment Area Checklist

Must be typewritten.

Orient and affix BIS job number label here

1 Location Information *Required for all applications.*

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.
District	<input type="checkbox"/> Special Hudson Yards District (ZR § 93-90)		<input type="checkbox"/> Greenpoint-Williamsburg Anti-harassment Area (ZR § 23-013)	
	<input type="checkbox"/> Special West Chelsea District (ZR § 98-70)		<input type="checkbox"/> Special Garment Center P-2 Preservation Area (ZR § 121-50)	

2 Applicant of Record *Required for all applications.*

Section 2: Applicant of Record:

- Last and first name, middle initial, business name, phone number, address, fax, city, state, zip code and license number of the applicant who prepared the plans and specifications for this application.
- Check the PE or RA Box.

Special West Chelsea District (ZRC § 90-70)
 Special Garment Center P-2 Preservation Area (ZRC § 121-90)

2 Applicant of Record <i>Required for all applications.</i>				
Last Name	First Name	Middle Initial		
Business Name	Business Telephone		Business Fax	
Business Address			Business Telephone	
City	State	Zip	Mobile Telephone	
E-Mail		License Number		<input type="checkbox"/> RA <input type="checkbox"/> PE
3 Exemption/Certification Declaration <i>Required for all applications.</i>				

HPD-1: Anti-Harassment Area Checklist
Must be typewritten.

Orient and affix this job number label here

1 Location Information Required for all applications.

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.
District	<input type="checkbox"/> Special Hudson Yards District (ZR § 93-90)		<input type="checkbox"/> Greenpoint-Williamsburg Anti-Harassment Area (ZR § 23-013)	
	<input type="checkbox"/> Special West Chelsea District (ZR § 96-70)		<input type="checkbox"/> Special Garment Center P-2 Preservation Area (ZR § 121-50)	

2 Applicant of Record Required for all applications.

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
		Mobile Telephone

3 Exemption/Certification Declaration Required for all applications.

HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (c))

Structure is located on a cure requirement lot or a cure compliance lot (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or cure compliance lot (as defined in ZR § 93-90(a))

Must comply with and check I - v, below:

I. HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d))

II. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 93-90 (a)(16)) for both the cure requirement lot and cure compliance lot.

III. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 93-90 (c)(2)(i) have been listed

IV. On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure compliance lot have been listed (ZR § 93-90(d)(2)(ii)).

For v., check box that applies (one box only)

On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(d)(v)).

or

The cure requirement lot is not the cure compliance lot AND associated cure compliance lot controlled by not-for-profit (ZR § 93-90(d)(v)(b)).

*Required information already on CO#

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)

4 Exemption Description If the proposed work or structure is exempt from certification, indicate below.

Exempt Alterations

Material Alteration Work to be performed pursuant to the alteration permit does not include a material alteration (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1))

Alterations to Provide Accessibility (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3)).

Not a multiple dwelling and does not contain any dwelling units (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.

A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.

A city-owned multiple dwelling.

An exempt hotel as defined in ZR § 93-90(a)(8).

A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards, October 4, 2004 for Greenpoint-Williamsburg, and December 20, 2004 for West-Chelsea), restricted to clubhouse or school dormitory use.

An exempt institutional residence (as defined in ZR § 93-90(a)(9)).

A multiple dwelling that is the subject of an HPD program (HPD determination attached).

5 Applicant's Statements and Signatures Required for all applications.

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

Name (please print) _____

Signature _____ Date _____

P.E. / R.A. Seal (apply seal, then sign and date over seal)

4/08

Exemption/Certification Statement:

- Applicants must indicate on the form if the proposed work is exempt from HPD anti-harassment provisions, requires HPD certification or is located on a cure requirement or cure compliance lot.

Certification Required:

- If an HPD Certificate of No Harassment is required as per
- ZR 93 -90(b)(1) and (c), certify compliance by checking the box and attach the HPD Certificate of No Harassment.

3	Exemption/Certification Declaration <i>Required for all applications.</i>
<input type="checkbox"/> HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (c))	
<input type="checkbox"/> Structure is located on a <i>cure requirement lot</i> or a <i>cure compliance lot</i> (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or <i>cure compliance lot</i> (as defined in ZR § 93-90(a))	
Must comply with and check i. - v. below:	
i. <input type="checkbox"/> HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d))	iii. <input type="checkbox"/> On the Schedule A*, the CRFN numbers for all <i>restrictive declarations</i> filed on all tax lots required by section ZR § 93-90 (d)(2)(i) have been listed
ii. <input type="checkbox"/> Proof of recordation of the appropriate <i>restrictive declaration</i> (as defined in ZR § 93-90 (a)(16)) for both the <i>cure requirement lot</i> and <i>cure compliance lot</i> .	iv. <input type="checkbox"/> On the Schedule A*, the occupancy restrictions of the <i>restrictive declaration</i> for the <i>cure compliance lot</i> have been listed (ZR § 93-90(d)(2)(iii)).
For v., check box that applies (one box only)	
v. <input type="checkbox"/> On the Schedule A*, the occupancy restrictions of the <i>restrictive declaration</i> for the <i>cure requirement lot</i> have been listed (ZR § 93-90(d)(iv). or <input type="checkbox"/> The <i>cure requirement lot</i> is not the <i>cure compliance lot</i> AND associated <i>cure compliance lot</i> controlled by not-for-profit (ZR § 93-90(d)(iv)(b))	
*Required information already on CO# _____	
<input type="checkbox"/> The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)	

HPD-1: Anti-Harassment Area Checklist
Must be typewritten.

Orient and affix this job number label here

1 Location Information Required for all applications.

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.
District	<input type="checkbox"/> Special Hudson Yards District (ZR § 93-90) <input type="checkbox"/> Special West Chelsea District (ZR § 98-70)		<input type="checkbox"/> Greenpoint-Williamsburg Anti-harassment Area (ZR § 23-013) <input type="checkbox"/> Special Garment Center P-2 Preservation Area (ZR § 121-50)	

2 Applicant of Record Required for all applications.

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	Mobile Telephone	License Number

RA PE

3 Exemption/Certification Declaration Required for all applications.

HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (c)).

Structure is located on a cure requirement lot or a cure compliance lot (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or cure compliance lot (as defined in ZR § 93-90(a)).

Must comply with and check i - v below:

i. HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d)).

ii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 93-90 (d)(2)(i) have been listed.

iii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 93-90 (a)(16)) for both the cure requirement lot and cure compliance lot.

iv. On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure compliance lot have been listed (ZR § 93-90(d)(2)(ii)).

For v., check box that applies (one box only)

v. On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(d)(iv), or

The cure requirement lot is not the cure compliance lot AND associated cure compliance lot controlled by not-for-profit. (ZR § 93-90(d)(v)(b)).

*Required information already on COF

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)

4 Exemption Description If the proposed work or structure is exempt from certification, indicate below.

Exempt Alterations

Material Alteration Work to be performed pursuant to the alteration permit does not include a material alteration (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1)).

Alterations to Provide Accessibility (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3))

Not a multiple dwelling and does not contain any dwelling units (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.

A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.

A city-owned multiple dwelling.

An exempt hotel as defined in ZR § 93-90(a)(8).

A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards, October 4, 2004 for Greenpoint-Williamsburg, and December 20, 2004 for West Chelsea), restricted to clubhouse or school dormitory use.

An exempt institutional residence (as defined in ZR § 93-90(a)(9)).

A multiple dwelling that is the subject of an HPD program (HPD determination attached).

5 Applicant's Statements and Signatures Required for all applications.

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

Name (please print) _____

Signature _____ Date _____

P.E. / R.A. Seal (apply seal, then sign and date over seal)

4/08

Cure Requirement / Cure Compliance Lot:

- If the structure is located on a cure requirement lot or cure compliance lot as per ZR 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen or a cure compliance lot as per ZR 93-90(a), certify compliance by checking the second box in Section 3.

You must also certify compliance with subsections i-v by checking each box:

- For subsection v, only check **one** of the two boxes depending if the application for the cure requirement lot and associated cure compliance lot is controlled by a not-for-profit or not (ZR 93-90(d)(iv)(b)).

Cure Requirement / Cure Compliance Lot Schedule A Requirements:

For A2 or A3 applications, if the existing schedule A does not have the required information, you must file an A1 to amend the Certificate of Occupancy and Schedule A.

If the existing Schedule A does have the required information, include the CO number in the space provided.

3	Exemption/Certification Declaration <i>Required for all applications.</i>
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HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (c))

Structure is located on a *cure requirement lot* or a *cure compliance lot* (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or *cure compliance lot* (as defined in ZR § 93-90(a))

Must comply with and check i. - v. below:

i. <input type="checkbox"/> HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d))	iii. <input type="checkbox"/> On the Schedule A*, the CRFN numbers for all <i>restrictive declarations</i> filed on all tax lots required by section ZR § 93-90 (d)(2)(i) have been listed
ii. <input type="checkbox"/> Proof of recordation of the appropriate <i>restrictive declaration</i> (as defined in ZR § 93-90 (a)(16)) for both the <i>cure requirement lot</i> and <i>cure compliance lot</i> .	iv. <input type="checkbox"/> On the Schedule A*, the occupancy restrictions of the <i>restrictive declaration</i> for the <i>cure compliance lot</i> have been listed (ZR § 93-90(d)(2)(iii)).

For v., check box that applies (one box only)

v. On the Schedule A*, the occupancy restrictions of the *restrictive declaration* for the *cure requirement lot* have been listed (ZR § 93-90(d)(iv)).
or
 The *cure requirement lot* is not the *cure compliance lot* AND associated *cure compliance lot* controlled by not-for-profit (ZR § 93-90(d)(iv)(b))

*Required information already on CO# _____

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)

HPD-1: Anti-Harassment Area Checklist
Must be typewritten.

Client and utility (SU) job number label here

1 Location Information *Required for all applications.*

House No(s)	Street Name	Work Proposed on Floor No(s)	
Borough	Block	Lot	CB No.
District	<input type="checkbox"/> Special Hudson Yards District (ZR § 93-90)		<input type="checkbox"/> Greengpoint-Williamsburg Anti-harassment Area (ZR § 23-013)
	<input type="checkbox"/> Special West Chelsea District (ZR § 98-70)		<input type="checkbox"/> Special Garment Center P-2 Preservation Area (ZR § 121-50)

2 Applicant of Record *Required for all applications.*

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	License Number	<input type="checkbox"/> RA <input type="checkbox"/> PE

3 Exemption/Certification Declaration *Required for all applications.*

HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (c))

Structure is located on a cure requirement lot or a cure compliance lot (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or cure compliance lot (as defined in ZR § 93-90(a))

Must comply with and check 1 - v. below:

HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d))

On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 93-90 (c)(2)(i) have been listed

Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 93-90 (a)(16)) for both the cure requirement lot and cure compliance lot

On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(c)(2)(ii))

For v., check box that applies (one box only)

On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(d)(v)).

or

The cure requirement lot is not the cure compliance lot AND associated cure compliance lot controlled by not-for-profit (ZR § 93-90(d)(v)(b))

*Required information already on CO#

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)

4 Exemption Description *if the proposed work or structure is exempt from certification, indicate below.*

Exempt Alterations

Material Alteration Work to be performed pursuant to the alteration permit does not include a material alteration (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1))

Alterations to Provide Accessibility (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3))

Not a multiple dwelling and does not contain any dwelling units (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.

A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.

A city-owned multiple dwelling.

An exempt hotel as defined in ZR § 93-90(a)(8).

A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards, October 4, 2004 for Greengpoint-Williamsburg, and December 20, 2004 for West-Chelsea), restricted to clubhouse or school dormitory use.

An exempt institutional residence (as defined in ZR § 93-90(a)(9)).

A multiple dwelling that is the subject of an HPD program (HPD determination attached).

Name (please print)	Signature	Date

5 Applicant's Statements and Signatures *Required for all applications.*

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

P.E. / R.A. Seal. (apply seal, then sign and date over seal)

4/08

If you are claiming that the proposed work is exempt, you must specify why:

An exempted alteration involves work that is not a “material alteration.”

Per ZR 93-90(b)(13), a “material alteration” includes, but is not limited to an alteration that:

- reduces or increases floor area
- converts floor area from residential to non-residential use
- changes the number or layout of dwelling units
- adds or removes kitchens or bathrooms.

Exempt demolition:

The proposed work does not include the full or partial demolition of a multiple dwelling as defined in ZR 93-90(b)(1).

4 Exemption Description If the proposed work or structure is exempt from certification, indicate below.

Exempt Alterations

- Material Alteration** Work to be performed pursuant to the alteration permit does not include a *material alteration* (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1)).
- Alterations to Provide Accessibility** (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

- Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3))

- Not a multiple dwelling and does not contain any *dwelling units* (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.
- A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.
- A city-owned multiple dwelling.
- An *exempt hotel* as defined in ZR § 93-90(a)(8).
- A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards, October 4, 2004 for Greenpoint-Williamsburg, and December 20, 2004 for West-Chelsea), restricted to clubhouse or school dormitory use.
- An *exempt institutional residence* (as defined in ZR § 93-90(a)(9)).
- A multiple dwelling that is the subject of an HPD program (HPD determination attached).

Exempt structures:

Exempt structures are listed in ZR 93-90(b)(3).

4 Exemption Description If the proposed work or structure is exempt from certification, indicate below.

Exempt Alterations

- Material Alteration** Work to be performed pursuant to the alteration permit does not include a *material alteration* (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1))
- Alterations to Provide Accessibility** (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

- Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3))

- Not a multiple dwelling and does not contain any *dwelling units* (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.
- A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.
- A city-owned multiple dwelling.
- An *exempt hotel* as defined in ZR § 93-90(a)(8).
- A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards, October 4, 2004 for Greenpoint-Williamsburg, and December 20, 2004 for West-Chelsea), restricted to clubhouse or school dormitory use.
- An *exempt institutional residence* (as defined in ZR § 93-90(a)(9)).
- A multiple dwelling that is the subject of an HPD program (HPD determination attached).

HPD-1: Anti-Harassment Area Checklist
Must be typewritten.

Orient and affix BIS job number label here

1 Location Information *Required for all applications.*

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.
District	<input type="checkbox"/> Special Hudson Yards District (ZR § 93-90) <input type="checkbox"/> Special West Chelsea District (ZR § 98-70)		<input type="checkbox"/> Greenpoint-Williamsburg Anti-Harassment Area (ZR § 23-013) <input type="checkbox"/> Special Garment Center P-2 Preservation Area (ZR § 121-50)	

2 Applicant of Record *Required for all applications.*

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	Mobile Telephone	License Number
		<input type="checkbox"/> RA <input type="checkbox"/> PE

3 Exemption/Certification Declaration *Required for all applications.*

HPD Certificate of No Harassment attached (ZR § 93-90(b)(1) and (c))

Structure is located on a cure requirement lot or a cure compliance lot (as defined in ZR § 93-90(a) or 93-90(e) for demolitions in subareas 4 and 5 of Hell's Kitchen) or cure compliance lot (as defined in ZR § 93-90(a))

Must comply with and check I - v. below:

I. HPD Certification of Cure Compliance attached (ZR § 93-90 (b)(1) and (d))

II. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 93-90 (d)(2)(i) have been listed

III. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 93-90 (b)(16)) for both the cure requirement lot and cure compliance lot.

IV. On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure compliance lot have been listed (ZR § 93-90(d)(2)(ii)).

For v., check box that applies (one box only)

On the Schedule A*, the occupancy restrictions of the restrictive declaration for the cure requirement lot have been listed (ZR § 93-90(d)(iv)).

or

The cure requirement lot is not the cure compliance lot AND associated cure compliance lot controlled by not-for-profit. (ZR § 93-90(d)(iv)(b))

*Required information already on COE

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 4)

4 Exemption Description *If the proposed work or structure is exempt from certification, indicate below.*

Exempt Alterations

Material Alteration Work to be performed pursuant to the alteration permit does not include a material alteration (as defined in ZR § 93-90(a)(13)) of a multiple dwelling (ZR § 93-90(b)(1))

Alterations to Provide Accessibility (HPD Determination attached) (ZR § 93-90(b)(2)).

Exempt Demolitions

Work to be performed pursuant to the demolition permit does not include the full or partial demolition of a multiple dwelling (ZR § 93-90(b)(1)).

Exempt Structures (ZR § 93-90(b)(3))

Not a multiple dwelling and does not contain any dwelling units (as defined in ZR § 93-90 (a)(7)), as per attached Certificate of Occupancy.

A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an interim Multiple Dwelling.

A city-owned multiple dwelling.

An exempt hotel as defined in ZR § 93-90(a)(6).

A multiple dwelling which occupancy is, and was on the applicable referral date (June 21, 2004 for Hudson Yards; October 4, 2004 for Greenpoint-Williamsburg and December 20, 2004 for West-Chelsea), restricted to clubhouse or school dormitory use.

An exempt institutional residence (as defined in ZR § 93-90(a)(9)).

A multiple dwelling that is the subject of an HPD program (HPD determination necessary)

5 Applicant's Statements and Signatures *Required for all applications.*

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under § 205.124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

Name (please print) _____

Signature _____ Date _____

P.E. / R.A. Seal (apply seal, then sign and date over seal)

4/08

Remember:

Only a licensed PE/RA can submit this form.

NYC BUILDINGS HPD-2: Clinton Special District Anti-Harassment Checklist

Must be typewritten.

Orbit and affix BIS job number label here

1 Location Information *Required for all applications*

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.

2 Applicant of Record *Required for all applications.*

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address		Business Fax
City	State	Zip
E-Mail	Mobile Telephone	
License Number		
License Type: <input type="checkbox"/> P.E. <input type="checkbox"/> R.A.		

3 Clinton Special District Location *Check area that applies*

Preservation Area (complete Section 4, 5, and 7 only)

Perimeter Area (complete Section 4, 6 and 7 only)

Other area within Clinton Special District, therefore exempt from requirements in Section 4, 5 and 6. Go directly to Section 7.

4 Certification/Exemption Declaration *Check all that apply.*

HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only

HPD Certification attached (ZR § 96-24) - Perimeter Area Only

Structure is located on a cure requirement lot or cure compliance lot (as defined in ZR § 96-110(a))

Must comply with and check I - iv, below:

i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))

ii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 96-110 (a)(11), (d)(1) and (d)(2)(i)) for both the cure requirement lot and cure compliance lot.

iii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed

For iv., check box that applies (one box only)

iv. On the Schedule A*, the occupancy restrictions of the restrictive declarations have been listed (ZR § 96-110(d)(2)(iv))

or

Application for cure requirement lot and associated cure compliance lot controlled by not-for-profit as per ZR § 96-110(d)(2)(ii) and (iv)

**Required information already on CO# _____*

CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

4/08

When do you need it?

- If your building is located in the **Clinton Special District:**
ZR Article IX Chapter 6 -
ZR 96-00 & Appendix A
- You must submit this Form to satisfy the **Clinton District BIS “Anti-Harassment Checklist Required Item”.**

Required item applies for:

NYC BUILDINGS HPD-2: Clinton Special District Anti-Harassment Checklist

Must be typewritten.

Orient and affix SIS (do number label here)

1 Location Information *Required for all applications*

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.

2 Applicant of Record *Required for all applications.*

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	License Number	
License Type: <input type="checkbox"/> P.E. <input type="checkbox"/> R.A.		

3 Clinton Special District Location *Check area that applies*

Preservation Area (complete Section 4, 5, and 7 only)

Perimeter Area (complete Section 4, 6 and 7 only)

Other area within Clinton Special District, therefore exempt from requirements in Section 4, 5 and 6. Go directly to Section 7.

4 Certification/Exemption Declaration *Check all that apply.*

HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only

HPD Certification attached (ZR § 96-24) - Perimeter Area Only

Structure is located on a cure requirement lot or cure compliance lot (as defined in ZR § 96-110(a))

Must comply with and check i - iv, below:

i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))

ii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 96-110 (a)(1), (d)(1) and (d)(2)(i)) for both the cure requirement lot and cure compliance lot.

iii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed

For iv., check box that applies (one box only)

iv. On the Schedule A*, the occupancy restrictions of the restrictive declarations have been listed (ZR § 96-110(d)(2)(iv)) or

Application for cure requirement lot and associated cure compliance lot controlled by not-for-profit as per ZR § 96-110(d)(2)(ii) and (iv)

**Required information already on CO# _____*

CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

4/08

- New Buildings (all work types)
- Alteration 1 (all work types)
- Alteration 2 (Plumbing, OT/GC or OT-Other)
- Alteration 3 (OT/GC or OT-Other)
- Subdivision applications on properties within the **Clinton Special District.**

NYC BUILDINGS HPD-2: Clinton Special District Anti-Harassment Checklist

Must be typewritten.

Orient and affix SIS (SIS number label here)

1 Location Information *Required for all applications*

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.

2 Applicant of Record *Required for all applications.*

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	License Number	
License Type: <input type="checkbox"/> P.E. <input type="checkbox"/> R.A.		

3 Clinton Special District Location *Check area that applies*

Preservation Area (complete Section 4, 5, and 7 only)

Perimeter Area (complete Section 4, 6 and 7 only)

Other area within Clinton Special District, therefore exempt from requirements in Section 4, 5 and 6. Go directly to Section 7.

4 Certification/Exemption Declaration *Check all that apply.*

HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only

HPD Certification attached (ZR § 96-24) - Perimeter Area Only

Structure is located on a cure requirement lot or cure compliance lot (as defined in ZR § 96-110(a))

Must comply with and check i - iv, below:

i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))

ii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 96-110 (a)(11), (d)(1) and (d)(2)(i)) for both the cure requirement lot and cure compliance lot.

iii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed

For iv., check box that applies (one box only)

iv. On the Schedule A*, the occupancy restrictions of the restrictive declarations have been listed (ZR § 96-110(d)(2)(iv)) or

Application for cure requirement lot and associated cure compliance lot controlled by not-for-profit as per ZR § 96-110(d)(2)(ii) and (iv)

**Required information already on CO# _____*

CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

4/08

In **Section 1** provide the **Location Information** for the Application being filed:

On line 1:

- the **House Number**, the **Street Name** and the **floors on which work is being done**.

On line 2:

- the **Borough**, **Block**, **Lot**, **BIN** and the **Community Board Number**.

NYC BUILDINGS HPD-2: Clinton Special District Anti-Harassment Checklist

Must be typewritten.

Orient and affix B.S. (to number label here)

1 Location Information *Required for all applications*

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.

2 Applicant of Record *Required for all applications.*

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	Mobile Telephone	
License Number		
License Type: <input type="checkbox"/> P.E. <input type="checkbox"/> R.A.		

3 Clinton Special District Location *Check area that applies*

Preservation Area (complete Section 4, 5, and 7 only)

Perimeter Area (complete Section 4, 6 and 7 only)

Other area within Clinton Special District, therefore exempt from requirements in Section 4, 5 and 6. Go directly to Section 7.

4 Certification/Exemption Declaration *Check all that apply.*

HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only

HPD Certification attached (ZR § 96-24) - Perimeter Area Only

Structure is located on a cure requirement lot or cure compliance lot (as defined in ZR § 96-110(a))

Must comply with and check i. - iv. below:

i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))

ii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 96-110 (a)(11), (d)(1) and (d)(2)(i)) for both the cure requirement lot and cure compliance lot.

iii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed

For iv., check box that applies (one box only)

iv. On the Schedule A*, the occupancy restrictions of the restrictive declarations have been listed (ZR § 96-110(d)(2)(iv)) or

Application for cure requirement lot and associated cure compliance lot controlled by not-for-profit as per ZR § 96-110(d)(2)(ii) and (iv)

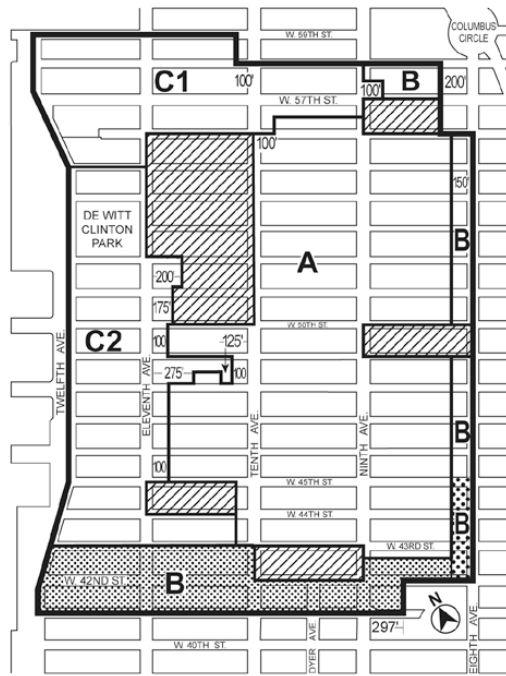
*Required information already on CO# _____

CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))

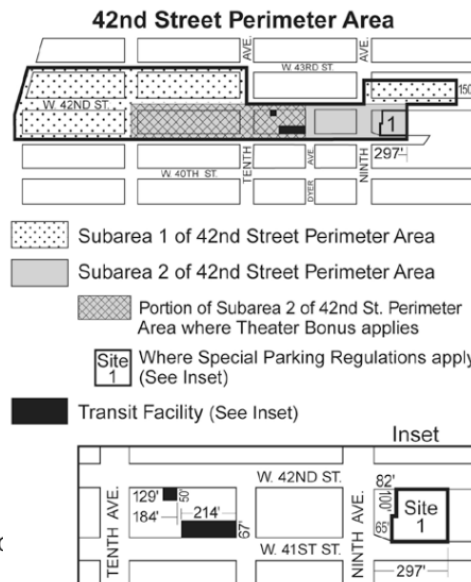
The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

4/08

- **Section 2:**
- provide the complete **Applicant of Record** information:
- Last and First Name, Middle Initial
- Business name & Phone Number
- Business address & Fax Number
- City, State, Zip Code & Mobil Nr.
- Email & Applicant's License Nr.
- Check the PE or RA Box.



- Special Clinton District Boundary
- Area Boundary
- A** Preservation Area
- B** Perimeter Area
- Portion of Perimeter Area B also subject to additional 42nd Street Perimeter Area regulations. (See map below)
- Portion of Perimeter Area B also subject to Article VIII, Chapter I (Special Midtown District)
- C** Other Areas (Northern Subarea C1, Western Subarea C2)
- Excluded Area



How do I know if my building is located in the **Clinton Special District**?

Please refer to the New York City Zoning Resolution Article IX Chapter 6:

The maps outlining the **Clinton Special District** are found in Appendix A.

When completing Section 3, determine if the work is being done in a:

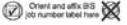
1. Preservation Area (then complete Sections 4, 5 and 7); or in a
2. Perimeter Area (the complete Sections 4, 6 and 7); or an
3. Other area within the Clinton Special District (go directly to 7).

3 Clinton Special District Location *Check area that applies.*

Preservation Area (complete Section 4, 5, and 7 only)

Perimeter Area (complete Section 4, 6 and 7 only)

Other area within Clinton Special District, therefore exempt from requirements in Section 4, 5 and 6. Go directly to Section 7.

NYC BUILDINGS HPD-2: Clinton Special District Anti-Harassment Checklist 

Must be typewritten.

1 Location Information *Required for all applications*

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.

2 Applicant of Record *Required for all applications.*

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	Mobile Telephone	
License Number		
License Type: <input type="checkbox"/> P.E. <input type="checkbox"/> R.A.		

3 Clinton Special District Location *Check area that applies*

Preservation Area (complete Section 4, 5, and 7 only)

Perimeter Area (complete Section 4, 6 and 7 only)

Other area within Clinton Special District, therefore exempt from requirements in Section 4, 5 and 6. Go directly to Section 7.

4 Certification/Exemption Declaration *Check all that apply.*

HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only

HPD Certification attached (ZR § 96-24) - Perimeter Area Only

Structure is located on a cure requirement lot or cure compliance lot (as defined in ZR § 96-110(a))

Must comply with and check i - iv, below:

i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))

ii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 96-110 (a)(1), (d)(1) and (d)(2)(i)) for both the cure requirement lot and cure compliance lot.

iii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed

For iv., check box that applies (one box only)

iv. On the Schedule A*, the occupancy restrictions of the restrictive declarations have been listed (ZR § 96-110(d)(2)(iv)) or

Application for cure requirement lot and associated cure compliance lot controlled by not-for-profit as per ZR § 96-110(d)(2)(ii) and (iv)

**Required information already on CO# _____*

CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

Certification/Exemption Declaration:

If a **Certificate of No Harassment** is required and one has been obtained from HPD then indicate if the work is located in the

- Preservation Area [ZR 96-110(b)(1) & (c)]
- or the
- Perimeter Area [ZR 96-24]

and attach the Certificate to the application.

If the work is located on a
cure requirement or cure compliance lot:
 Additional requirements apply
 Complete Sub-Sections i – iv

4 Certification/Exemption Declaration *Check all that apply.*

HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only

HPD Certification attached (ZR § 96-24) - Perimeter Area Only

Structure is located on a *cure requirement lot or cure compliance lot* (as defined in ZR § 96-110(a))

Must comply with and check i. - iv. below :

i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))

ii. Proof of recordation of the appropriate *restrictive declaration* (as defined in ZR § 96-110 (a)(11), (d)(1) and (d)(2)(i)) for both the *cure requirement lot and cure compliance lot*.

iii. On the Schedule A*, the CRFN numbers for all *restrictive declarations* filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed

For iv., check box that applies (one box only)

iv. On the Schedule A*, the occupancy restrictions of the *restrictive declarations* have been listed (ZR § 96-110(d)(2)(iv))

or

Application for *cure requirement lot* and associated *cure compliance lot* controlled by not-for-profit as per ZR § 96-110(d)(2)(iii) and (iv)

*Required information already on CO# _____

CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

Work on cure compliance/cure requirement lots require:

- HPD Certification of Cure Compliance
- Proof of recordation of the appropriate restrictive declaration
- Schedule A must include the CRFN numbers for all restrictive declarations filed on all required tax lots
- Occupancy restrictions of the restrictive declaration must also be listed on the Schedule A

Refer to ZR 96-110(d)(2)(iii) where cure compliance /cure requirement lot is controlled by not-for-profit.

For Alt 2 and Alt 3 applications, if the existing Schedule A does not have the required information, you must file an Alt 1 to amend the C of O.

NYC BUILDINGS HPD-2: Clinton Special District Anti-Harassment Checklist

Must be typewritten.

1 **Location Information** Required for all applications

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.

2 **Applicant of Record** Required for all applications.

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	Mobile Telephone	
License Number		
License Type: <input type="checkbox"/> P.E. <input type="checkbox"/> R.A.		

3 **Clinton Special District Location** Check area that applies

Preservation Area (complete Section 4, 5, and 7 only)

Perimeter Area (complete Section 4, 6 and 7 only)

Other area within Clinton Special District, therefore exempt from requirements in Section 4, 5 and 6. Go directly to Section 7.

4 **Certification/Exemption Declaration** Check all that apply.

HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only

HPD Certification attached (ZR § 96-24) - Perimeter Area Only

Structure is located on a cure requirement lot or cure compliance lot (as defined in ZR § 96-110(a))

Must comply with and check i - iv, below:

i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))

ii. Proof of recordation of the appropriate restrictive declaration (as defined in ZR § 96-110 (a)(11), (d)(1) and (d)(2)(i)) for both the cure requirement lot and cure compliance lot.

iii. On the Schedule A*, the CRFN numbers for all restrictive declarations filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed

For iv., check box that applies (one box only)

iv. On the Schedule A*, the occupancy restrictions of the restrictive declarations have been listed (ZR § 96-110(d)(2)(iv)) or

Application for cure requirement lot and associated cure compliance lot controlled by not-for-profit as per ZR § 96-110(d)(2)(ii) and (iv)

*Required information already on CO# _____

CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))

The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

4/08

City Planning Commission Special Permit:

- If a City Planning Commission Special Permit is required for demolition, development or enlargement or extension of a community facility as per ZR §96-107, 96-108 and 96-110-(b), check that box in Section 4 of the form and attach a copy of the CPC Special Permit.

Exempt Alteration/Demolition:

- If it is an exempt alteration or demolition or an exempt structure check the box and continue to Section 5 or 6.

4	Certification/Exemption Declaration <i>Check all that apply.</i>
----------	---

- HPD Certificate of No Harassment attached (ZR § 96-110(b)(1) and (c)) - Preservation Area only
 - HPD Certification attached (ZR § 96-24) - Perimeter Area Only
 - Structure is located on a *cure requirement lot* or *cure compliance lot* (as defined in ZR § 96-110(a))
Must comply with and check i. - iv. below :
 - i. HPD Certification of Cure Compliance attached (ZR § 96-110(b)(1) and (d))
 - ii. Proof of recordation of the appropriate *restrictive declaration* (as defined in ZR § 96-110 (a)(11), (d)(1) and (d)(2)(i)) for both the *cure requirement lot* and *cure compliance lot*.
 - iii. On the Schedule A*, the CRFN numbers for all *restrictive declarations* filed on all tax lots required by section ZR § 96-110 (d)(2)(i) have been listed**For iv., check box that applies (one box only)**
 - iv. On the Schedule A*, the occupancy restrictions of the *restrictive declarations* have been listed (ZR § 96-110(d)(2)(iv))
or
 - Application for *cure requirement lot* and associated *cure compliance lot* controlled by not-for-profit as per ZR § 96-110(d)(2)(iii) and (iv)
- *Required information already on CO# _____

- CPC Special Permit for demolition, development, enlargement or extension of community facility attached (ZR § 96-107, 96-108, and 96-110(b))
- The proposed work is an exempt alteration/demolition or is on an exempt structure (indicated type of exemption in Section 5 or 6)

Section 5 of the Form-Exemption Description for Preservation Area:

Only complete this section if the proposed work on the property is located in the Preservation Area (indicated in Section 3) and is exempt from Anti-Harassment Certification.

See ZR § 96-109 and 96-110 for exempt alterations.

See ZR § 96-108 regarding exempt demolitions, and specify basis of exemption:

- Work to be performed is not in a building containing dwelling units;
- Work to be performed does not include the demolition of, or partial demolition involving a decrease of more than 20 percent in the amount of residential floor area.

See ZR § 96-110 for exempt structures, and clearly identify basis of exemption by checking the sub-box describing the exemption.

HPD-2 PAGE 2

5 Exemption Description - Preservation Area - If the proposed work is exempt from certification, indicate below.

Exempt Alterations (ZR §§ 96-109 and 96-110)

Material Alteration Work to be performed pursuant to the alteration permit (i) does not include a *material alteration* (as defined in ZR § 96-01) of a multiple dwelling, and (ii) is not subject to ZR § 96-108, because such work does not include a partial demolition involving a decrease of more than 20 percent in the amount of residential floor area (as defined in ZR § 12-10), in a building (as defined in ZR § 12-10), containing dwelling units (as defined in ZR 96-110(a)(5)).

Alterations to Provide Accessibility (HPD Determination attached) (ZR § 96-109).

Exempt Demolitions (ZR § 96-108)

No Dwelling units Work to be performed is not in a building (as defined in ZR § 12-10) containing dwelling units (as defined in ZR § 96-110(a)(5)).

Partial Demolition Under 20% Work to be performed does not include the demolition of, or a partial demolition involving a decrease of more than 20 percent in the amount of residential floor area (as defined in ZR § 12-10).

Unsafe Building Building is an unsafe building (as defined in ZR § 12-10) requiring demolition

Exempt Structures (ZR § 96-110(b)(2))

Not a multiple dwelling and does not contain any dwelling units (as defined in ZR § 96-110(a)(5)), as per attached Certificate of Occupancy.

A city-owned multiple dwelling.

A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.

A multiple dwelling which occupancy is, and was on September 5, 1973, restricted to clubhouse or school dormitory use.

An exempt institutional residence (as defined in ZR § 96-110(a)(7)).

A multiple dwelling that is the subject of an HPD program (HPD Determination attached), (ZR § 96-109)

An exempt hotel (as defined in ZR § 96-110(a)(6)).

6 Exemption Description - Perimeter Area - If the proposed work is exempt from certification, indicate below.

Exempt for the following reasons (as defined in ZR § 12-10) :

Not a demolition permit

No residential uses on the zoning lot

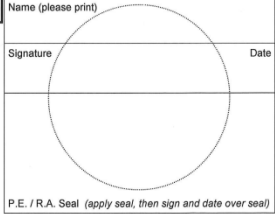
Not a development

Not an enlargement

Not an extension

7 Applicant's Statements and Signatures Required for all applications.

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

Name (please print)	
Signature	Date
	
P.E. / R.A. Seal (apply seal, then sign and date over seal)	

4/08

HPD-2

PAGE 2

5 Exemption Description - Preservation Area - If the proposed work is exempt from certification, indicate below.

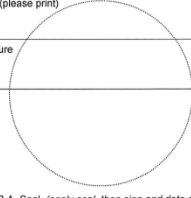
- Exempt Alterations** (ZR §§ 96-109 and 96-110)
 - Material Alteration** Work to be performed pursuant to the alteration permit (i) does not include a *material alteration* (as defined in ZR § 96-01) of a multiple dwelling, and (ii) is not subject to ZR § 96-103, because such work does not include a partial demolition involving a decrease of more than 20 percent in the amount of *residential floor area* (as defined in ZR § 12-10), in a *building* (as defined in ZR § 12-10), containing *dwelling units* (as defined in ZR 96-110(a)(5)).
 - Alterations to Provide Accessibility** (HPD Determination attached) (ZR § 96-109).
- Exempt Demolitions** (ZR § 96-108)
 - No Dwelling units** Work to be performed is not in a *building* (as defined in ZR § 12-10) containing *dwelling units* (as defined in ZR § 96-110(a)(5)).
 - Partial Demolition Under 20%** Work to be performed does not include the demolition of, or a partial demolition involving a decrease of more than 20 percent in the amount of *residential floor area* (as defined in ZR § 12-10).
 - Unsafe Building** Building is an unsafe *building* (as defined in ZR § 12-10) requiring demolition
- Exempt Structures** (ZR § 96-110(b)(2))
 - Not a multiple dwelling and does not contain any *dwelling units* (as defined in ZR § 96-110(a)(5)), as per attached Certificate of Occupancy.
 - A city-owned multiple dwelling.
 - A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.
 - A multiple dwelling which occupancy is, and was on September 5, 1973, restricted to clubhouse or school dormitory use.
 - An exempt institutional residence (as defined in ZR § 96-110(a)(7)).
 - A multiple dwelling that is the subject of an HPD program (HPD Determination attached). (ZR § 96-109)
 - An exempt hotel (as defined in ZR § 96-110(a)(6)).

6 Exemption Description - Perimeter Area - If the proposed work is exempt from certification, indicate below.

- Exempt for the following reasons (as defined in ZR § 12-10):
 - Not a *demolition permit*
 - No *residential uses* on the zoning lot
 - Not a *development*
 - Not an *enlargement*
 - Not an *extension*

7 Applicant's Statements and Signatures Required for all applications.

I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.

Name (please print)	
Signature	Date
	
P.E. / R.A. Seal (apply seal, then sign and date over seal)	

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Section 6 of the Form-Exemption Description for Perimeter Area:

- Only complete this section if the proposed work on the property is located in the Perimeter Area (indicated in Section 3) and is exempt from Anti-Harassment Certification.
- If the work requires HPD Certification as per ZR § 96-24, certify by checking that box in Section 6 and attach the Certification.
- If the work is exempt as per ZR § 12-10, certify by checking that box in Section 6 and the sub-box that describes the exemption.

HPD-2




PAGE 2

5 Exemption Description - Preservation Area - If the proposed work is exempt from certification, indicate below.

- Exempt Alterations** (ZR §§ 96-109 and 96-110)
 - Material Alteration** Work to be performed pursuant to the alteration permit (i) does not include a *material alteration* (as defined in ZR § 96-01) of a multiple dwelling, and (ii) is not subject to ZR § 96-108, because such work does not include a partial demolition involving a decrease of more than 20 percent in the amount of *residential floor area* (as defined in ZR § 12-10), in a *building* (as defined in ZR § 12-10), containing *dwelling units* (as defined in ZR 96-110(a)(5)).
 - Alterations to Provide Accessibility** (HPD Determination attached) (ZR § 96-109).
- Exempt Demolitions** (ZR § 96-108)
 - No Dwelling units** Work to be performed is not in a *building* (as defined in ZR § 12-10) containing *dwelling units* (as defined in ZR § 96-110(a)(5)).
 - Partial Demolition Under 20%** Work to be performed does not include the demolition of, or a partial demolition involving a decrease of more than 20 percent in the amount of *residential floor area* (as defined in ZR § 12-10).
 - Unsafe Building** Building is an *unsafe building* (as defined in ZR § 12-10) requiring demolition.
- Exempt Structures** (ZR § 96-110(b)(2))
 - Not a multiple dwelling and does not contain any *dwelling units* (as defined in ZR § 96-110(a)(5)), as per attached Certificate of Occupancy.
 - A city-owned multiple dwelling.
 - A multiple dwelling initially occupied for residential purposes after January 1, 1974 that was not an Interim Multiple Dwelling.
 - A multiple dwelling which occupancy is, and was on September 5, 1973, restricted to clubhouse or school dormitory use.
 - An *exempt institutional residence* (as defined in ZR § 96-110(a)(7)).
 - A multiple dwelling that is the subject of an HPD program (HPD Determination attached), (ZR § 96-109)
 - An *exempt hotel* (as defined in ZR § 96-110(a)(6)).

6 Exemption Description - Perimeter Area - If the proposed work is exempt from certification, indicate below.

- Exempt for the following reasons (as defined in ZR § 12-10) :
 - Not a *demolition permit*
 - No *residential uses* on the zoning lot
 - Not a *development*
 - Not an *enlargement*
 - Not an *extension*

7 Applicant's Statements and Signatures <i>Required for all applications.</i>	Name (please print)				
I hereby state that all of the above information is correct and complete to the best of my knowledge. Falsification of any statement is a misdemeanor under §26-124 of the Administrative Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine, or both.	<table border="1"> <tr> <td data-bbox="674 1068 730 1089">Signature</td> <td data-bbox="919 1068 953 1089">Date</td> </tr> <tr> <td colspan="2" data-bbox="674 1094 953 1214" style="text-align: center;">  </td> </tr> </table>	Signature	Date		
Signature	Date				
					
P.E. / R.A. Seal (apply seal, then sign and date over seal)					

4/08

Remember:

Only a licensed PE/RA can submit this form.

NYC Buildings HPD3: Single Room Occupancy Multiple Dwelling (SRO MD) Anti-Harassment Checklist
Must be typewritten.

Orient and affix BIS job number label here

1 Location Information Required for all applications

House No(s)	Street Name	Work Proposed on Floor No(s)		
Borough	Block	Lot	BIN	CB No.

2 Applicant of Record Required for all applications

Last Name	First Name	Middle Initial
Business Name	Business Telephone	
Business Address	Business Fax	
City	State	Zip
E-Mail	License Number	<input type="checkbox"/> PE <input type="checkbox"/> RA

3 Exemption/Certification Declaration Required for all applications. For every yes/no question required, you must answer "yes" or "no".

In accordance with 26 RCNY § 10-02, Rules of the Department of Housing Preservation and Development, I certify that the scope of work for the job number identified above:

Yes No

- increases or decreases the number of dwelling units
- increases or decreases the number of kitchens or bathrooms (include kitchens or bathrooms either 1) located within a dwelling unit, or 2) serving occupants of a dwelling unit even though the kitchen or bathroom may not be located within a dwelling unit)
- alters the layout, configuration or location of any portion of a dwelling unit
- alters the layout, configuration or location of any portion of a kitchen or bathroom (include kitchens or bathrooms either 1) located within a dwelling unit, or 2) serving occupants of a dwelling unit even though the kitchen or bathroom may not be located within a dwelling unit)
- demolishes any dwelling unit and/or demolishes any portion of the building serving dwelling units (such as lobbies, lounges, recreation spaces, tenant storage, laundry rooms, etc.)
- Changes the use or occupancy of any dwelling unit and/or changes the use or occupancy of any portion of the building serving dwelling units (such as lobbies, lounges, recreation spaces, tenant storage, laundry rooms, etc.)

Check this box if all six boxes above are checked "no". Therefore, per 26-107.3 and 26 RCNY § 10-02, a Certificate of No Harassment IS NOT required. Submit this completed form with your application for construction document approval (please proceed to Section 4).

If any of the above boxes are checked "yes". In such case, I further certify that the scope of work for the job number identified above:

Yes No

- is comprised solely of work for the purpose of making the public areas of a multiple dwelling accessible to persons with disabilities without altering the configuration of any dwelling unit
- is comprised solely of work for the purpose of making dwelling unit accessible to persons with disabilities
- is comprised solely of work performed by a city agency or by a contractor pursuant to a contract with a city agency

Check only one of the following

- Any of the three boxes above are checked "yes". Therefore, per 26-107.3, a Certificate of No Harassment IS NOT required. Submit this completed form with your application for construction document approval.
- All of the three above boxes are checked "no". Therefore, per 26-107.3, a Certificate of No Harassment IS required. Submit this completed form with your application for construction document approval, and attach the Certificate of No Harassment from the Department of Housing Preservation and Development.

4 Applicant's Statements and Signatures Required for all applications

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)	
Signature	Date

P.E. / R.A. Seal (apply seal, then sign and date over seal)

When do you need it?

If you are performing alteration/demolition work in a "single room occupancy multiple dwelling," you must submit the HPD3 form.

- **§28-107.2 Definitions.** The following words and terms shall,
- for the purposes of this article and elsewhere in the code, have
- the meanings shown herein.
- **CLASS A MULTIPLE DWELLING, CLASS B MULTIPLE DWELLING, FURNISHED ROOM HOUSE, ROOMING UNIT AND SINGLE ROOM OCCUPANCY.**
- Shall have the meanings set forth in section 27-2004 of the New York city housing maintenance code.
- **SINGLE ROOM OCCUPANCY MULTIPLE DWELLING.**
- A single room occupancy multiple dwelling means:
- 1. A "class A multiple dwelling" used in whole or part as a "rooming house" or "furnished room house," or for "single room occupancy" pursuant to section 248 of the New York state multiple dwelling law;
- 2. A "class A multiple dwelling" containing "rooming units"; or
- 3. A "class B multiple dwelling."
- **Exception:** The term single room occupancy multiple dwelling shall not include:
- 1. College or school dormitories;
- 2. Clubhouses;
- 3. Luxury hotels, as such term is defined by the commissioner of housing preservation and development; or
- 4. Residences whose occupancy is restricted to an institutional use such as housing intended for use by the employees of a single company or institution;
- 5. City-owned multiple dwellings; or
- 6. Any multiple dwelling containing fewer than nine "class B" dwelling units; used for single room occupancy unless the total number of such units is more than fifty percent of the total number of dwelling units in such multiple dwelling; or
- 7. Any multiple dwelling that:
- 7.1. Is the subject of a program approved by the commissioner of housing preservation and development and related to the rehabilitation of a single room occupancy multiple dwelling or the provision of housing for persons of low or moderate income, other than a program consisting solely of real property tax abatement or tax exemption; and
- 7.2. Has been exempted from the provisions of this article by the commissioner of housing preservation and development by this article.

What is a

“single room occupancy multiple dwelling”?

The definition of a “single room occupancy multiple dwelling” [SRD MD] is found in the

Administrative Code (AC) Section 28-107.2

BIS Menu | Property Profile FAQs | Glossary | May 3, 2013




NYC Department of Buildings
Property Profile Overview

345 WEST 86 STREET	MANHATTAN 10024	BIN# 1033935
WEST 80 STREET 343 - 347	Health Area : 3120 Census Tract : 175 Community Board : 107 Buildings on Lot : 1	Tax Block : 1248 Tax Lot : 11 Condo : NO Vacant : NO

[View DCP Addresses...](#) [Browse Block](#)

[View Zoning Documents](#) [View Challenge Results](#) [View Certificates of Occupancy](#)

STOP WORK ORDER EXISTS ON THIS PROPERTY

Cross Street(s): WEST END AVENUE, RIVERSIDE DRIVE

DOB Special Place Name:
DOB Building Remarks:

Landmark Status:	L - LANDMARK	Special Status:	N/A
Local Law:	YES	Loft Law:	NO
SRO Restricted:	YES	TA Restricted:	NO
UB Restricted:	NO	Grandfathered Sign:	NO
Little 'E' Restricted:	N/A	City Owned:	NO
Legal Adult Use:	NO		
Additional BINs for Building:	NONE		

Special District: UNKNOWN

This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, or Coastal Erosion Hazard Area. [Click here for more information](#)

Department of Finance Building Classification: HS-HOTELS

Please Note: The Department of Finance's building classification information shows a building's tax status, which may not be the same as the legal use of the structure. To determine the legal use of a structure, research the records of the Department of Buildings.

	Total	Open
Complaints	395	5
Violations-DOB	51	28
Violations-ECB (DOB)	70	23
<small>This property has 4 open DOB and 3 open ECB "Work Without A Permit" Violations and may be subject to DOB civil penalties upon application for a permit. After obtaining the permit, a certificate of correction must be filed on the ECB violations.</small>		
Jobs/Filings	9	
ARA / LAA Jobs	8	
Total Jobs	17	
Actions	43	

OR Enter Action Type:

OR Select from List:

AND

If you have any questions please review these [Frequently Asked Questions](#), the [Glossary](#), or call the 311 Citizen Service Center by dialing 311 or (212) NEW YORK outside of New York City.

[BIS Menu](#) | Property Profile

How do I know if my building is a single-room occupancy multiple dwelling?

- The BIS property profile indicates whether a building is SRO restricted or not.
- A building that is SRO restricted is usually a “single room occupancy multiple dwelling.”
- However, you should not rely on the BIS property profile alone as it is not always correct.
- You should consult other DOB records such as COs, I-cards, etc. [in reference to BC 28-107.2].
- If you have any questions, you can always ask us.

What if I think BIS has the building improperly SRO restricted?

- You should contact DOB's IT unit. It will forward your request to DOB Legal for review.
- Please state why you think the property is incorrectly flagged.

- **Exception:** The term single room occupancy multiple dwelling shall not include:
 - 1. College or school dormitories;
 - 2. Clubhouses;
 - 3. Luxury hotels, as such term is defined by the commissioner of housing preservation and development; or
 - 4. Residences whose occupancy is restricted to an institutional use such as housing intended for use by the employees of a single company or institution;
 - 5. City-owned multiple dwellings; or
 - 6. Any multiple dwelling containing fewer than nine "class B" dwelling units; used for single room occupancy unless the total number of such units is more than fifty percent of the total number of dwelling units in such multiple dwelling; or
 - 7. Any multiple dwelling that:
 - 7.1. Is the subject of a program approved by the commissioner of housing preservation and development and related to the rehabilitation of a single room occupancy multiple dwelling or the provision of housing for persons of low or moderate income, other than a program consisting solely of real property tax abatement or tax exemption; and
 - 7.2. Has been exempted from the provisions of this article by the commissioner of housing preservation and development.

What if I think the property falls under one of AC 28-107.2's exceptions?

- Again, contact DOB's IT unit if you believe exception 1,2,4,5 or 6 applies.
- Your request will be forwarded to DOB Legal for review.
- For exceptions 3 and 7, HPD must grant an exemption, and you must begin this application process at HPD.

What if the building is an SRO, what do I do now?

- If you are doing work that does NOT require a Certificate of No Harassment, all you need to do is submit the HPD3 form.
- If you are doing work that requires a Certificate of No Harassment, and you have already obtained the CONH from HPD, complete the HPD-3 form and attach the CONH to your HPD-3 form.
- If you have not obtained a CONH, you must go to HPD and begin the application process.

Per AC 28-107, DOB is not able to approve your application without the CONH.

What type of work requires a Certificate of No Harassment?

- Complete part one of **Section 3** of the HPD3 form [taken from 28 RCNY 10-02].

3 Exemption/Certification Declaration *Required for all applications. For every yes/no question required, you must answer "yes" or "no".*

In accordance with 28 RCNY § 10-02, Rules of the Department of Housing Preservation and Development, I certify that the scope of work for the job number identified above:

Yes No

- increases or decreases the number of dwelling units
- increases or decreases the number of kitchens or bathrooms (include kitchens or bathrooms either 1) located within a dwelling unit, or 2) serving occupants of a dwelling unit even though the kitchen or bathroom may not be located within a dwelling unit)
- alters the layout, configuration or location of any portion of a dwelling unit
- alters the layout, configuration or location of any portion of a kitchen or bathroom (include kitchens or bathrooms either 1) located within a dwelling unit, or 2) serving occupants of a dwelling unit even though the kitchen or bathroom may not be located within a dwelling unit)
- demolishes any dwelling unit and/or demolishes any portion of the building serving dwelling units (such as lobbies, lounges, recreation spaces, tenant storage, laundry rooms, etc.)
- Changes the use or occupancy of any dwelling unit and/or changes the use or occupancy of any portion of the building serving dwelling units (such as lobbies, lounges, recreation spaces, tenant storage, laundry rooms, etc.)

- Check this box if all six boxes above are checked "no". Therefore, per 28-107.3 and 28 RCNY § 10-02, a **Certificate of No Harassment IS NOT required**. Submit this completed form with your application for construction document approval (please proceed to Section 4).

If any of the above boxes are checked "yes". In such case, I further certify that the scope of work for the job number identified above:

Yes No

- is comprised solely of work for the purpose of making the public areas of a multiple dwelling accessible to persons with disabilities without altering the configuration of any dwelling unit
- is comprised solely of work for the purpose of making dwelling unit accessible to persons with disabilities
- is comprised solely of work performed by a city agency or by a contractor pursuant to a contract with a city agency

Check only one of the following

- Any of the three boxes above are checked "yes". Therefore, per 28-107.3, a **Certificate of No Harassment IS NOT required**. Submit this completed form with your application for construction document approval.
- All of the three above boxes are checked "no". Therefore, per 28-107.3, a **Certificate of No Harassment IS required**. Submit this completed form with your application for construction document approval, and attach the Certificate of No Harassment from the Department of Housing Preservation and Development.

What type of work requires a Certificate of No Harassment?

- Now Complete part two of **Section 3** of the HPD3 form [taken from 28 RCNY 10-02].

3 Exemption/Certification Declaration *Required for all applications. For every yes/no question required, you must answer "yes" or "no".*

In accordance with 28 RCNY § 10-02, Rules of the Department of Housing Preservation and Development, I certify that the scope of work for the job number identified above:

Yes No

- increases or decreases the number of dwelling units
- increases or decreases the number of kitchens or bathrooms (include kitchens or bathrooms either 1) located within a dwelling unit, or 2) serving occupants of a dwelling unit even though the kitchen or bathroom may not be located within a dwelling unit)
- alters the layout, configuration or location of any portion of a dwelling unit
- alters the layout, configuration or location of any portion of a kitchen or bathroom (include kitchens or bathrooms either 1) located within a dwelling unit, or 2) serving occupants of a dwelling unit even though the kitchen or bathroom may not be located within a dwelling unit)
- demolishes any dwelling unit and/or demolishes any portion of the building serving dwelling units (such as lobbies, lounges, recreation spaces, tenant storage, laundry rooms, etc.)
- Changes the use or occupancy of any dwelling unit and/or changes the use or occupancy of any portion of the building serving dwelling units (such as lobbies, lounges, recreation spaces, tenant storage, laundry rooms, etc.)

- Check this box if all six boxes above are checked "no". Therefore, per 28-107.3 and 28 RCNY § 10-02, a **Certificate of No Harassment IS NOT required**. Submit this completed form with your application for construction document approval (please proceed to Section 4).

If any of the above boxes are checked "yes". In such case, I further certify that the scope of work for the job number identified above:

Yes No

- is comprised solely of work for the purpose of making the public areas of a multiple dwelling accessible to persons with disabilities without altering the configuration of any dwelling unit
- is comprised solely of work for the purpose of making dwelling unit accessible to persons with disabilities
- is comprised solely of work performed by a city agency or by a contractor pursuant to a contract with a city agency

Check only one of the following

- Any of the three boxes above are checked "yes". Therefore, per 28-107.3, a **Certificate of No Harassment IS NOT required**. Submit this completed form with your application for construction document approval.
- All of the three above boxes are checked "no". Therefore, per 28-107.3, a **Certificate of No Harassment IS required**. Submit this completed form with your application for construction document approval, and attach the Certificate of No Harassment from the Department of Housing Preservation and Development.

Remember:

Only a licensed PE/RA can submit this form

and the fact that you may be doing work in a unit that

IS NOT an SRO unit DOES NOT mean

that a CONH is not required.



NYC Loft Board

Lanny Alexander
Executive Director/General Counsel
New York City Loft Board

- Article 7-C of the Multiple Dwelling Law (MDL) regulates the conversion of certain loft buildings in New York City from commercial and or manufacturing use to residential use.
- It also created a new classification of buildings known as interim multiple dwellings (IMD).
- MDL §282 established a nine member board appointed by the Mayor.

To be eligible for Loft Law coverage a commercial or manufacturing building:

- Must be residentially occupied by at least three independent families during the period of April 1, 1980 through December 1, 1981
- Local zoning resolution permits residential use as of right or by minor modification of administrative certification of a local planning agency, or within a study area for possible rezoning, had a special permit granted
- Building not owned by the City

The 1987 amendment:

- Added new window period: April 1, 1980 through December 1, 1981 and had residential occupants on May 1, 1987
- Removed the zoning prohibitions set forth in the earlier version

The 2010 amendment:

- Added a new window period of twelve consecutive months during the period commencing January 1, 2008, and ending December 31, 2009
- Exempted buildings in an industrial business zone except buildings in the Williamsburg/Greenpoint or North Brooklyn industrial business zones and buildings located in that portion of the Long Island city industrial business zone
- Exempted from the three family requirement buildings located in a small area of Chelsea (only two families required)

Provided that the unit:

- Is not located in a basement or cellar;
- Has at least one entrance that does not require passage through another residential unit to obtain access to the unit;
- Has at least one window opening onto a street or a lawful yard or court as defined in the zoning resolution;
and
- is at least five hundred fifty square feet in area.

- The legislature directed the Loft Board to determine whether each use set forth in groups 15 through 18, as defined in the zoning resolution, constitutes a use inherently incompatible with residential use; and amend its rules to ensure greater protection to the residential tenants by determining if buildings contain unsafe commercial, manufacturing or industrial activities

The amendment to the rule clarifies what uses in Use Groups 15 through and including 18 are “inherently incompatible” with residential use

- Relates solely to eligibility of a building to become an IMD, and is not for the purpose of determining eligibility for a Certificate of Occupancy
- Is modeled on criteria set out in the Special Mixed Use District regulations set out in Chapter 3 of Article XII of the NYC Zoning Resolution

- Owner begins the legalization process required in Article 7-C of the Multiple Dwelling Law (Loft Law) by hiring an architect to file alteration application and plans with DOB
- Owner then files plans and a narrative statement with Loft Board and Narrative Statement process begins and serves Narrative Statement on the tenants
- Tenants can issue a waiver if they have no objection to the plans; or
- If tenants object, Loft Board holds Narrative Statement conferences with owner and tenants to resolve issues relating to proposed legalization work.

- LAFAYETTE STREET, BOWERY
- DOB Special Place Name:
- DOB Building Remarks:
- Landmark Status: L – LANDMARK Special Status: N/A
- Local Law: YES
- **Loft Law: YES (or pending if a coverage application is pending)**
- SRO Restricted: NO
- TA Restricted: NO

Once a building is registered, the Loft Board puts a hold on the building.

- P.E. may approve plans for IMD work only after receiving Loft Board Certification
- P.E. may approve plans for non-IMD work only after receiving a Loft Board Letter of No Objection (“LONO”)

DOB plan examiner reviews plans and issues an Objection Sheet

- Number 69 on the required items list requires owner to provide a Loft Board certificate as one of the required items
- The Loft Board issues this certificate after all other objections are cleared and when all issues between landlord and tenants are resolved

LOFT BOARD CERTIFICATION OF COMPLIANCE
WITH THE NARRATIVE STATEMENT PROCESS

Owner's Mailing Address:

Re: IMD #:

L.B. Cert. #:

NS #:

Dear Owner:

This letter certifies compliance with all requirements of 29 RCNY §2-01(d)(2).

Address Block Lot/Alt. Application NS and Plans Date NS dated- Amended Plans dated-

The original of this letter, with the raised seal affixed, must be submitted to the appropriate Borough Office of the Department of Buildings before you may obtain a building permit.

AFFIX LOFT BOARD SEAL:

Very truly yours,
Lanny R. Alexander

LOFT BOARD RULE 2-01(d)(4) Letter of No Objection (LONO)

For non- legalization work owner must obtain a LONO from us before any permit is issued. Considerations:

- Are there any unpaid fines?
- Is IMD Registration up to date?
- Where is building in legalization process?
- If it has a C of O, have they applied to leave jurisdiction?
- If no C of O, does it have a current permit and a current progress report?
- Is it in the Narrative Statement (NS) process: if it has closed NS, has it filed for an Alt-1 permit?
- If it has an Open NS is taking reasonable and necessary steps to complete the NS process?
- If it is not yet in the NS process, has it filed an alteration application?

Dear Owner:

Regarding the request made on your behalf for a Loft Board letter of no objection concerning: Alt. App Plan # Plan Date Address
IMD #
Block Lot

The Loft Board DOES NOT OBJECT to the Department of Buildings approval of the above-referenced alteration application. You may submit this letter to the Department of Buildings to satisfy the DOB requirement for a Loft Board letter of no objection only in connection with the work proposed under the above-referenced alteration application and plans.

AFFIX LOFT BOARD SEAL:

Very truly yours,
Lanny R. Alexander
Executive Director

- The Loft Board monitors progress by having owners submit monthly status reports to the Loft Board and by conducting conferences
- Project Managers are responsible for:
 - Monitoring progress
 - Helping owners with any issues that hinder the progress towards legalization

Owner complies with Article 7-B by completing required work items and DOB filings:

- Owner documents compliance by filing Article 7-B Compliance Form or Temporary Certificate of Occupancy (TCO) with the Loft Board
- Owner completes all work to obtain a final Certificate of Occupancy (CO)
- Owner resolves any open DOB applications, and removes any DOB and Environmental Control Board (ECB) violations

Certificates of Occupancy in an M1-5 Zone

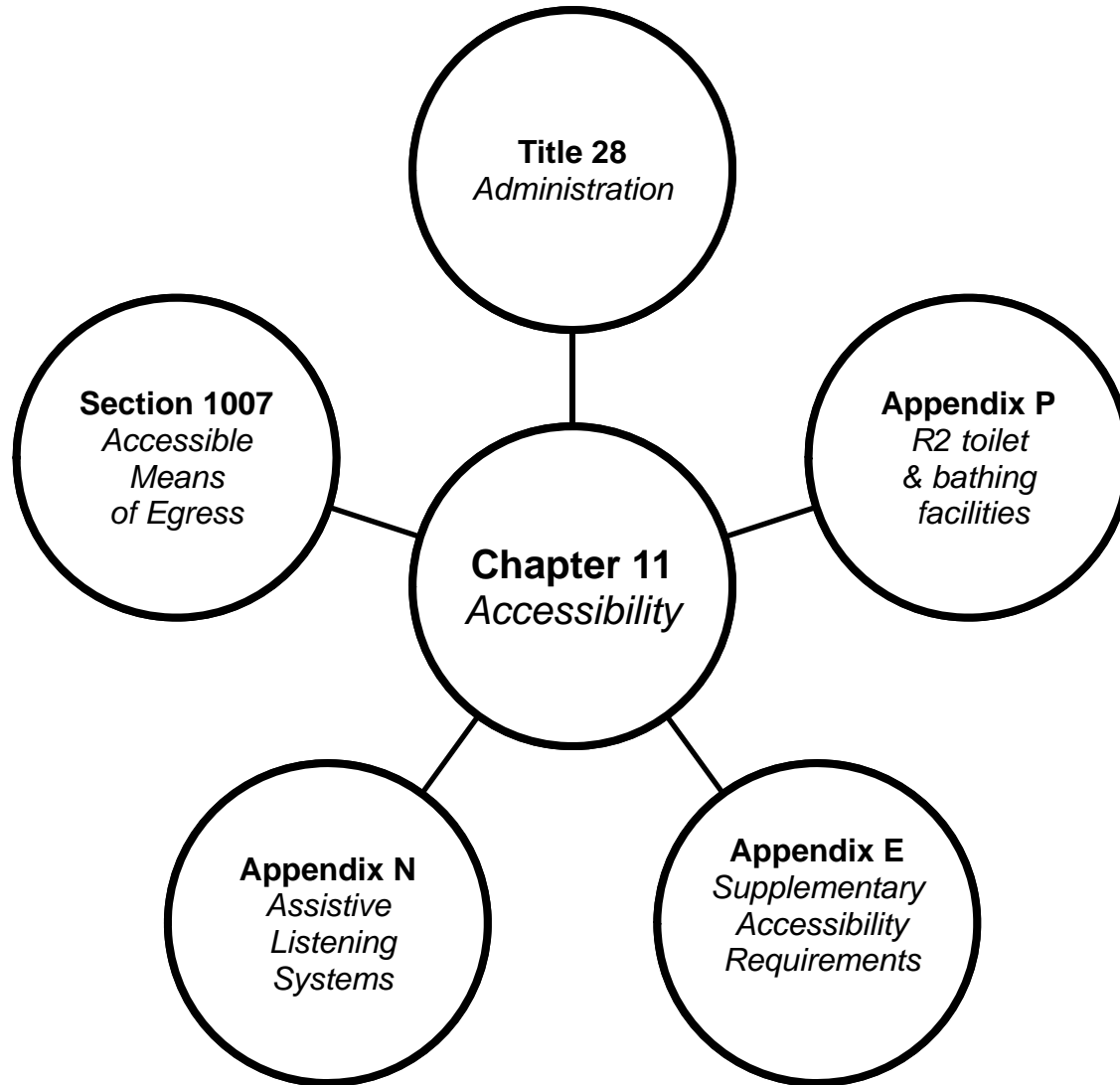
- Under Article 7-B of the Multiple Dwelling Law -- Joint Live Work Quarters for Artists (JLWQA) -- residential occupancy is permitted in an M1-5 zones only by certified artists.
- However, an IMD unit in the M1-5 zone may also be residentially occupied and the residential occupant does not need to be a certified artist.
- The certificates of occupancy for IMD units in the M1-5 zones should list all IMD units as JLWQA with an asterisk next to each IMD unit. At the bottom of the C/O, it should say that those units were legalized pursuant to MDL Article 7-C and therefore no artist certificate is required for that unit.

Owner Obtains a Certificate of Occupancy



Accessibility

Keith Wen, R.A.
Executive Director, Technical Policy

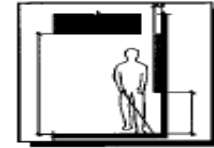
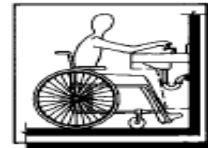


A More
Up-to-Date
Standard

ICC/ANSI A117.1-2003

American National Standard

ICC/ANSI A117.1-2003



*Accessible and Usable
Buildings and Facilities*



Entrances (BC 1105)

A photograph of a person in a wheelchair navigating a ramp with handrails in a building hallway. The ramp is made of wooden steps and has metal handrails on both sides. The person is wearing a dark jacket and is pushing the wheelchair up the ramp. In the background, there is a doorway with a red exit sign above it and a decorative floral arrangement on the wall.

Public entrance: 100% Accessible

Service entrance: Must be accessible if it is the only entrance to a building

Restricted entrance: 100% Accessible



Vertical Platform Lift

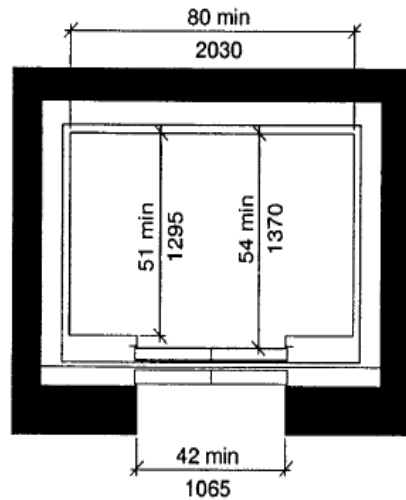


Both vertical and inclined platform lifts are generally not permitted in New Construction except for:

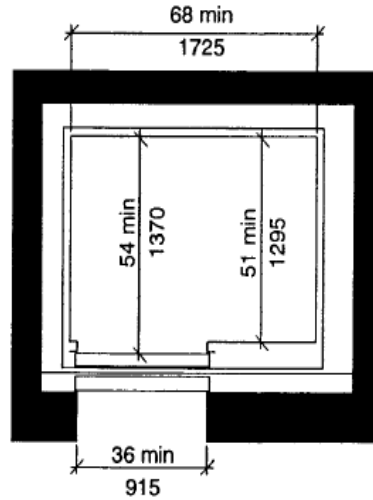
- Performance area in Group A
- Wheelchair spaces in assembly area
- Spaces not open to the public with no more than 5 occupants
- Within dwelling units
- Courtroom uses (interior only)

- Travels along a stairway where penetration of a floor is not desirable
- Must not reduce min. egress width along path of travel in fold-down position



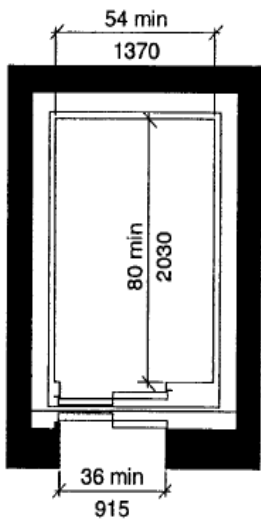


(a) Centered Door Location

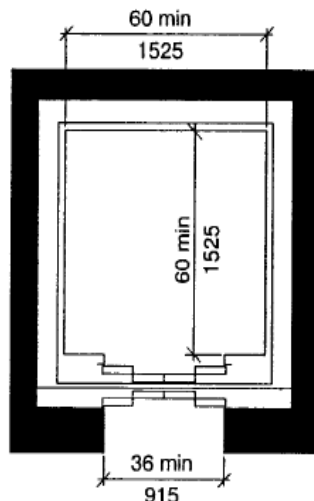


(b) Side (Off-Centered Door) Location

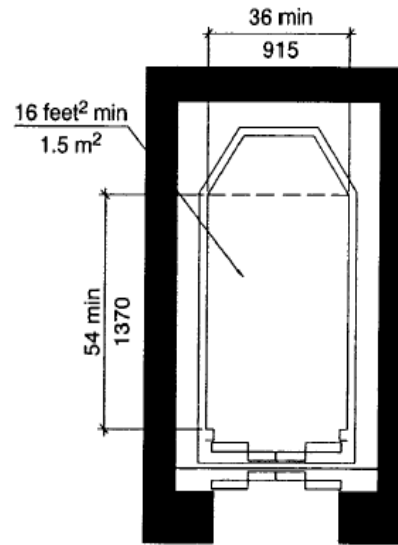
- Acceptable inside dimension of elevator cars in buildings less than 5-stories in height



(c) Any Door Location



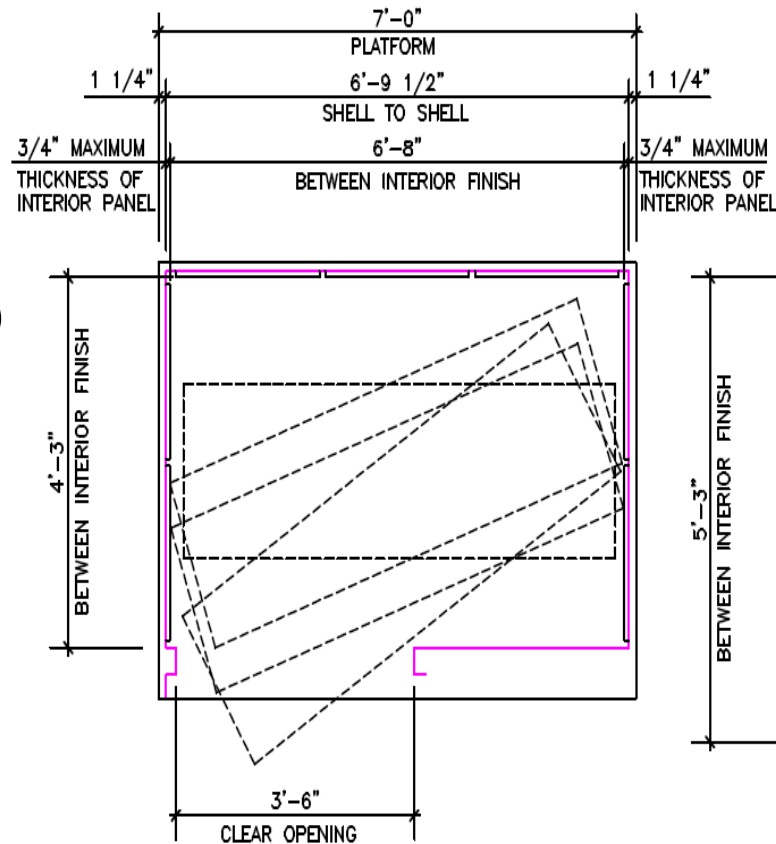
(d) Any Door Location



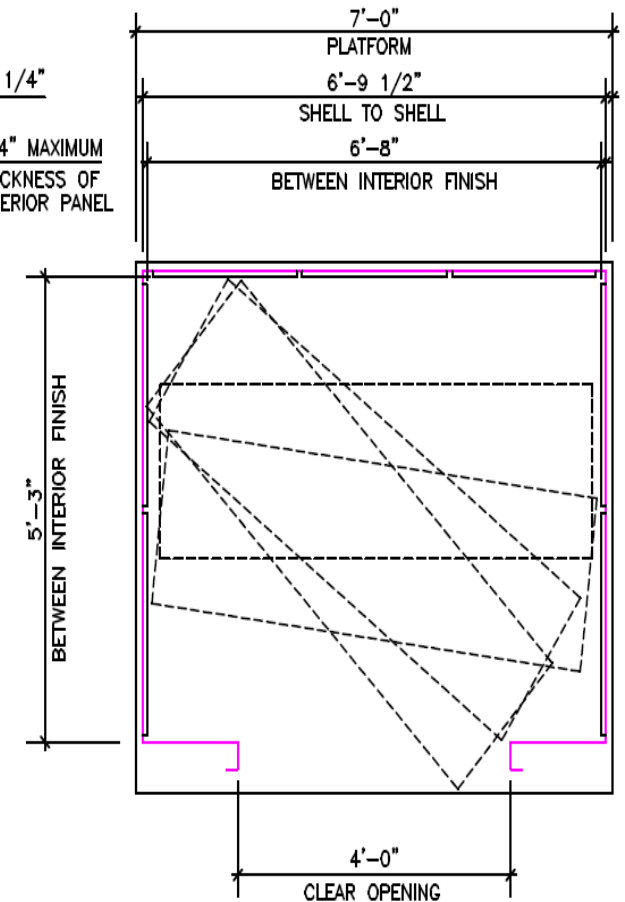
(e) Existing Car Configurations

- Building 5-stories or more in height must accommodate ambulance stretcher (24" x 76")

Sample elevator sizes



STANDARD 2500 Lbs. CAPACITY CAR
 76" x 24" STRETCHER SHOWN DOTTED
 O.K. TO MANEUVER

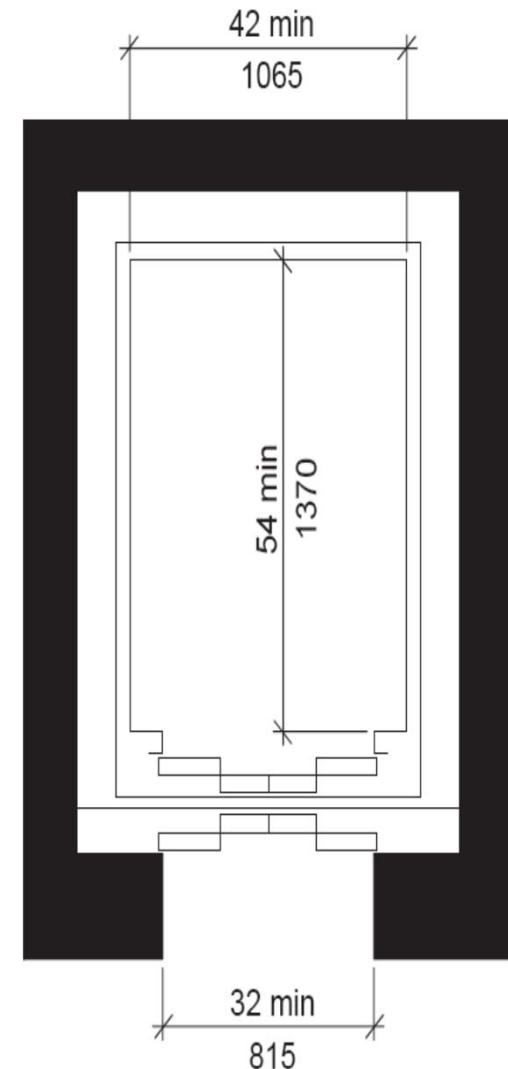


STANDARD 3500 Lbs. CAPACITY CAR WITH NON-STANDARD OPENING DOOR
 76" x 24" STRETCHER SHOWN DOTTED
 O.K. TO MANEUVER

In new construction LULA can only be used:

- In buildings < 10,000 SF, and an elevator is not required by Chapter 30, and that it serves not more than 3 contiguous floors
- Where a wheelchair lift or a private residence elevator is permitted
- Houses of worship

Max. rise of LULA is limited to 25'



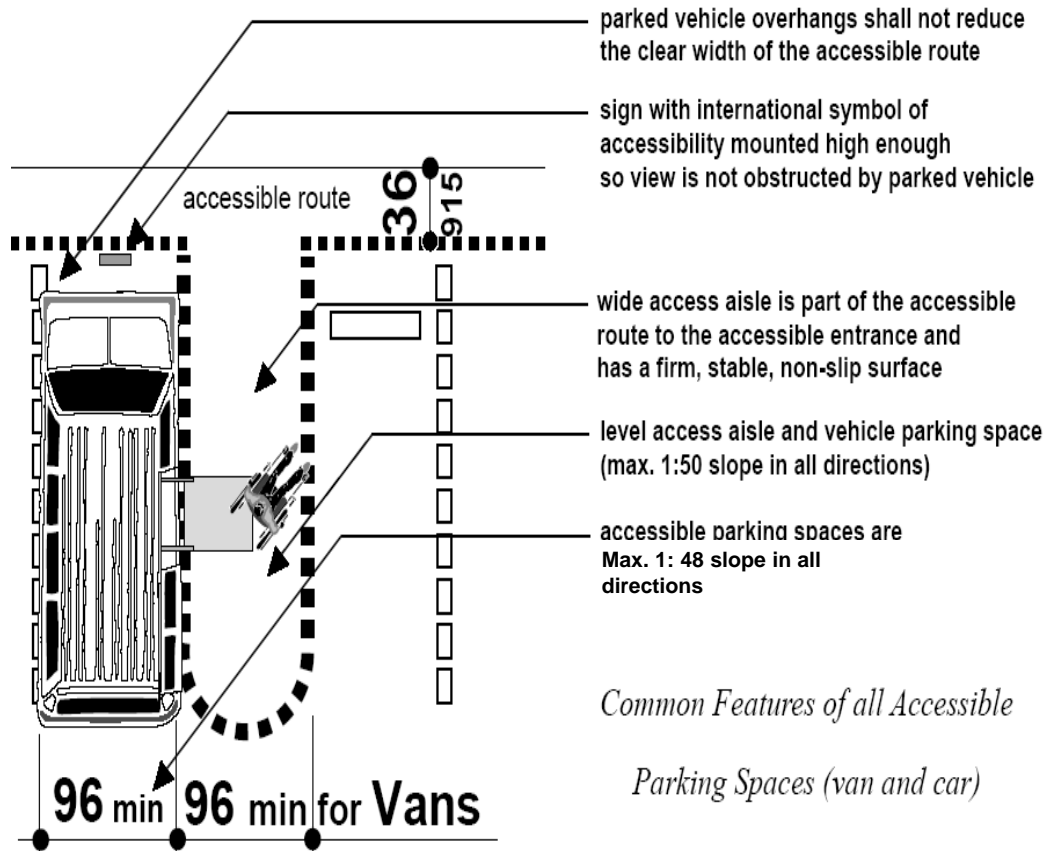
Accessible Parking (BC 1106):

- 5% accessible parking required
- Van accessible parking: 1 per 6 or fraction of 6 accessible spaces but not less than 1
- Hospitals and Rehab Centers: higher number of accessible parking (10% & 20% respectively, equal to ADA)

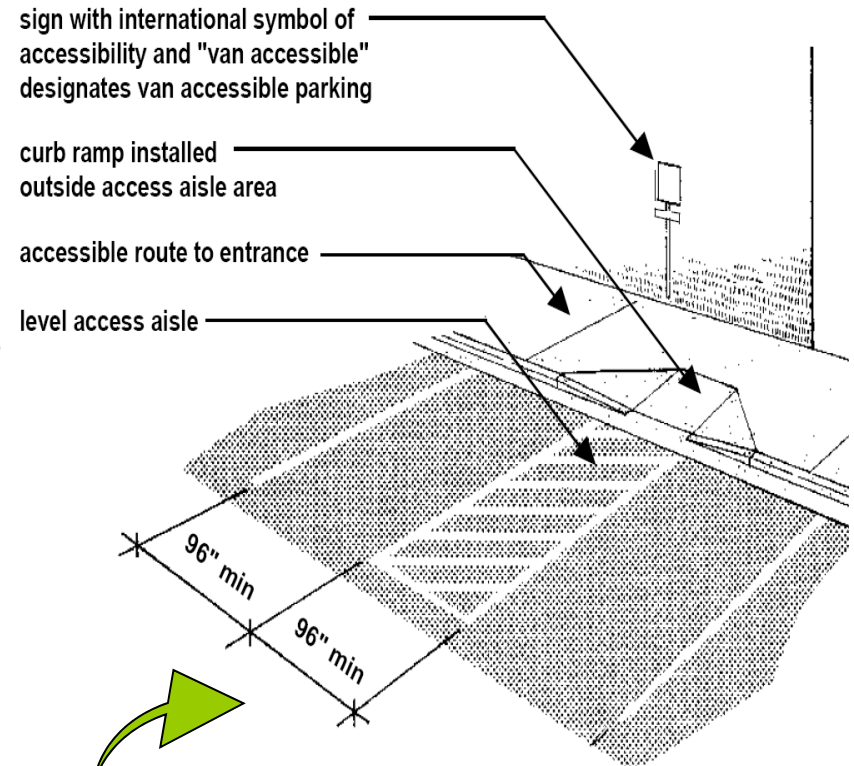


Type of vehicle	Width of Parking space	Width of Access aisle	Combined width
Van (Option 1)	132"	60"	16'-0"
Van (Option 2)	96"	96"	16'-0"
Car	96"	60"	13'-0"

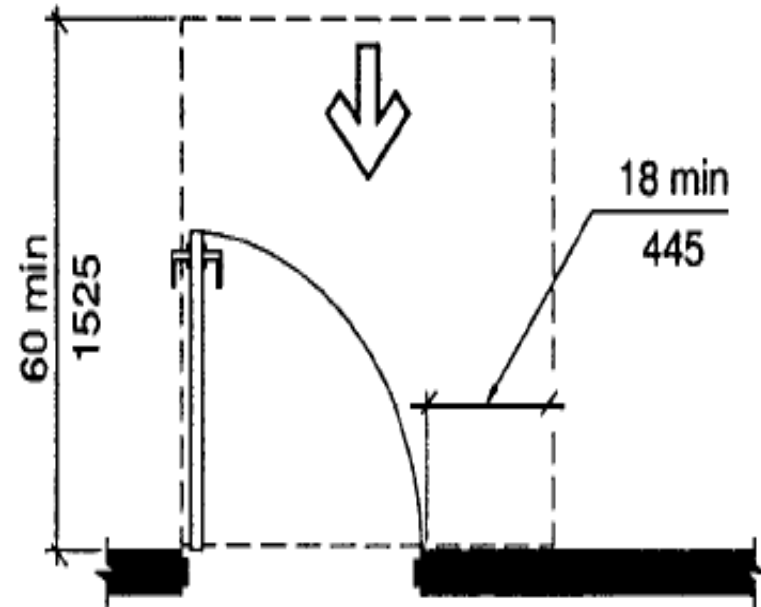
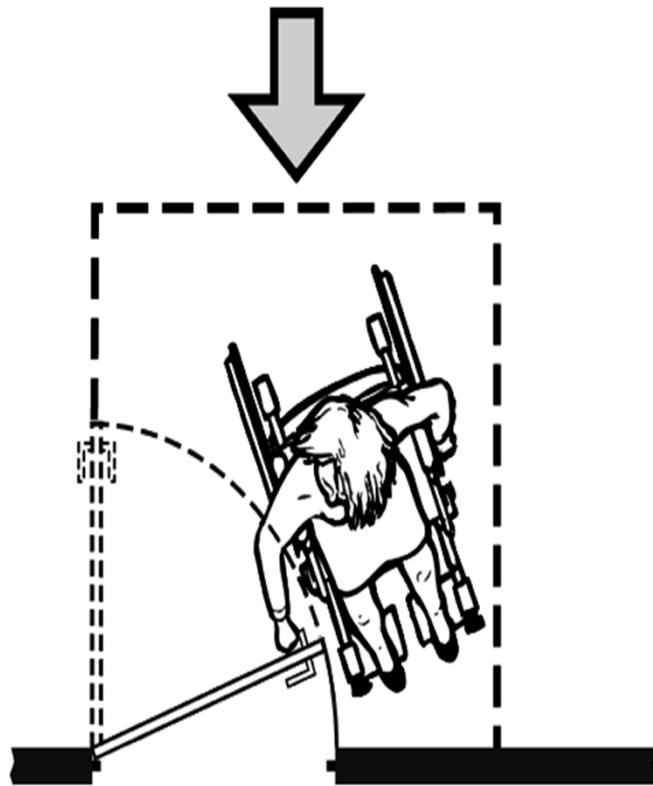
Parking Spaces



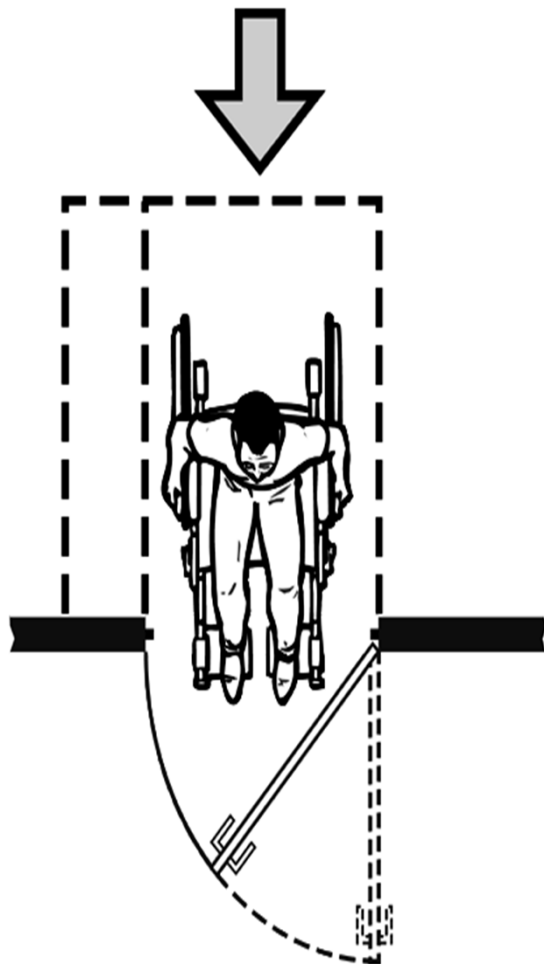
Common Features of all Accessible Parking Spaces (van and car)



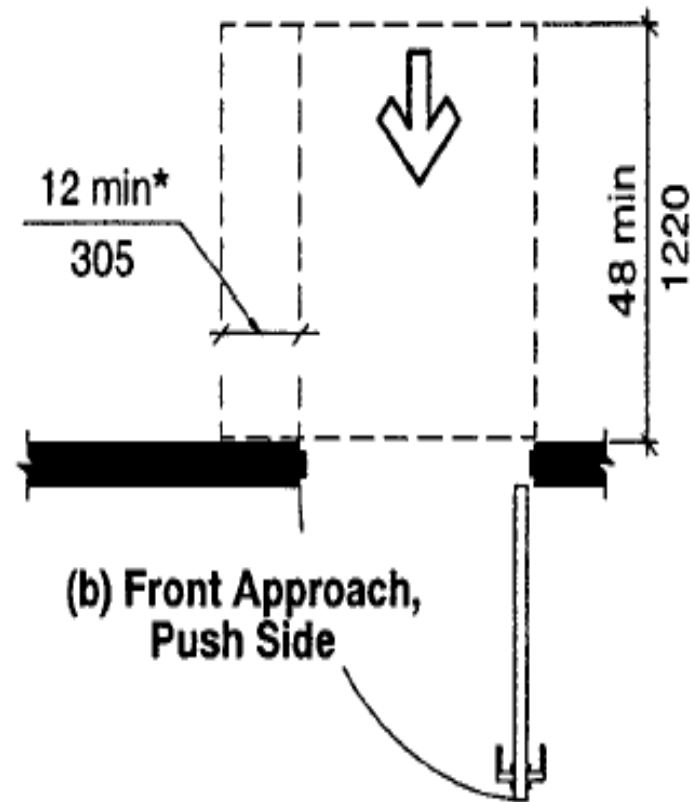
11' parking + 5' aisle is also allowed for vans



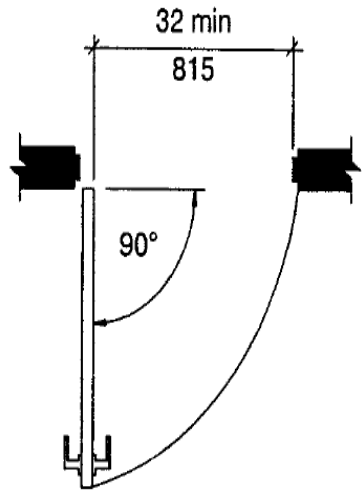
(a) Front Approach, Pull Side



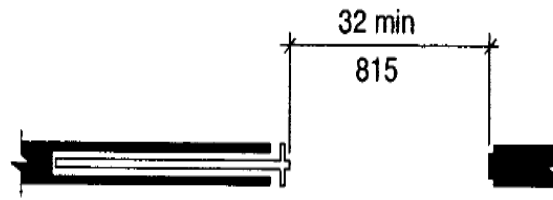
*If both closer and latch are provided



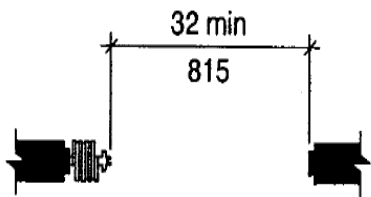
Measuring Door Opening Width



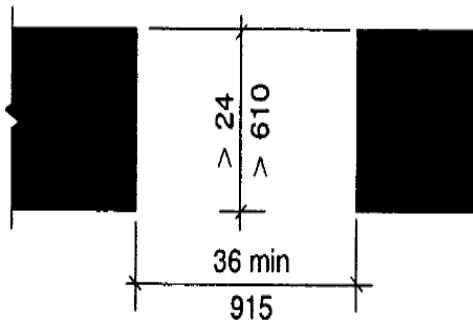
(a) Hinged Door



(b) Sliding Door



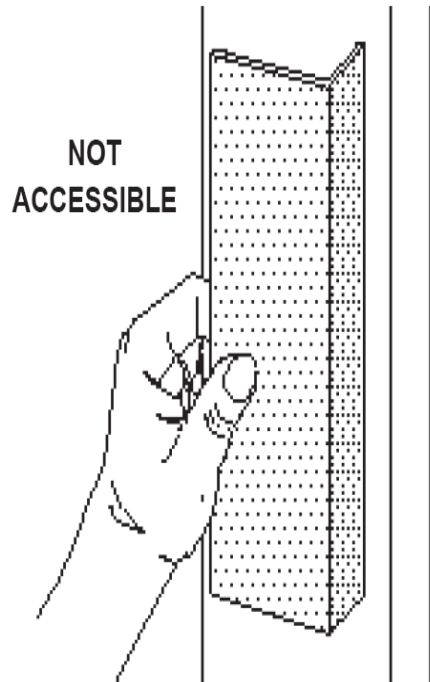
(c) Folding Door



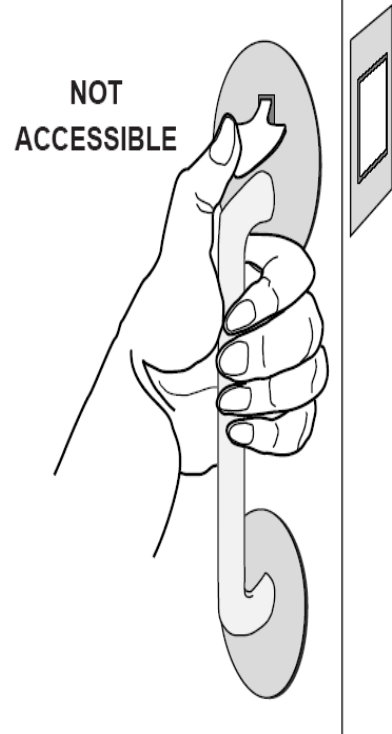
(d) Doorways without Doors



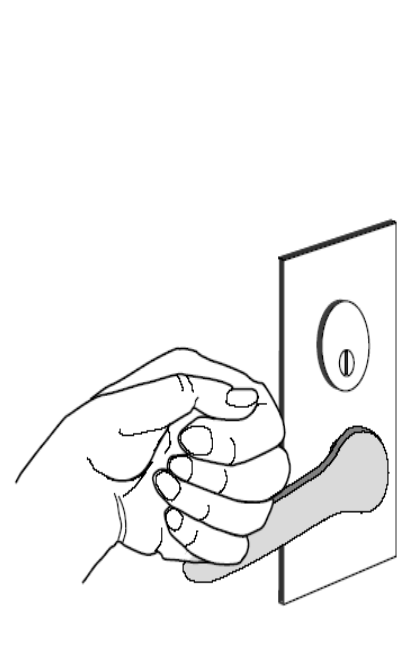
Fig. 404.2.2
Clear Width of Doorways



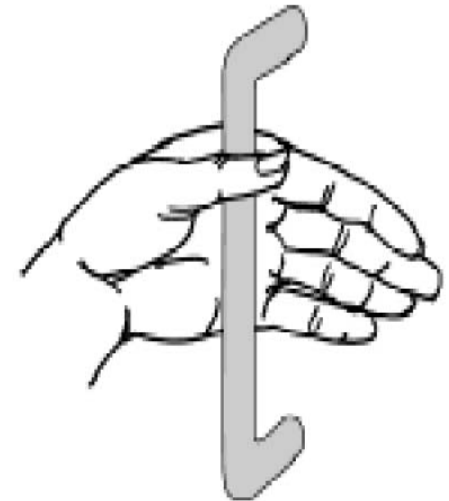
This panel-type handle is not accessible because it requires the user to tightly grasp the handle to pull the door open.



This handle with a thumb latch is not accessible because one must grasp the handle and pinch down on the thumb latch at the same time.



A lever handle is accessible because it can be operated without tight grasping, pinching or twisting.



A loop-type handle is also accessible because it can be used without grasping, pinching or twisting.

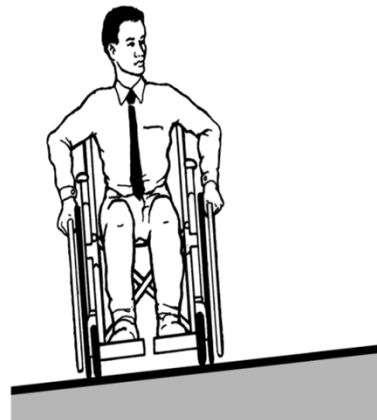
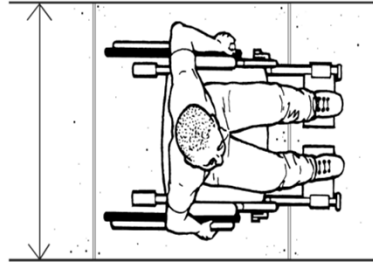


Ramp Slope and Width

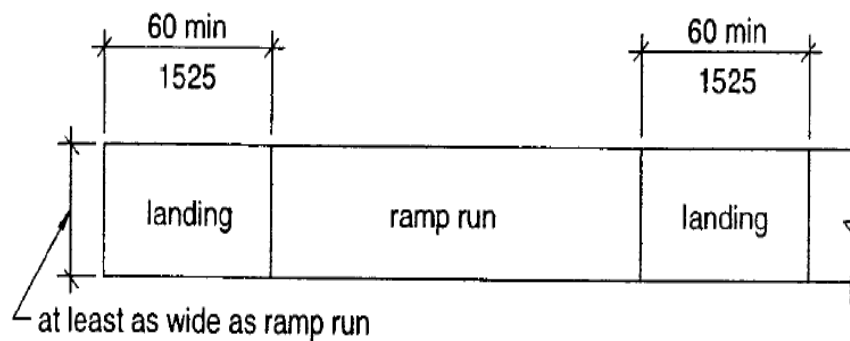
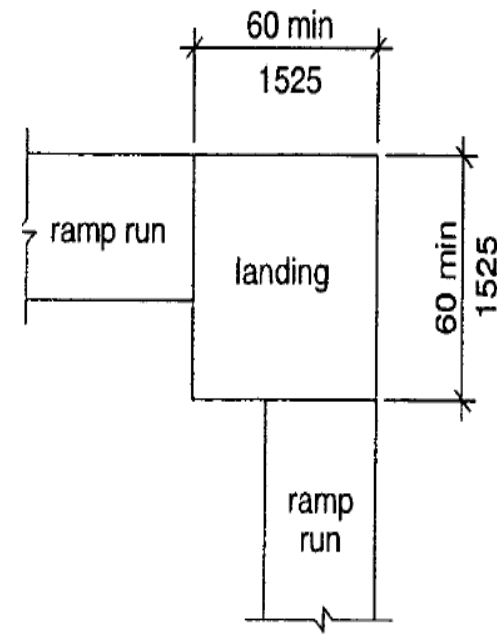
Slope: Max. 1:12

Cross Slope: Max. 1:48

Clear Width: Min. 36"
between handrails



Ramp Landings



(a)

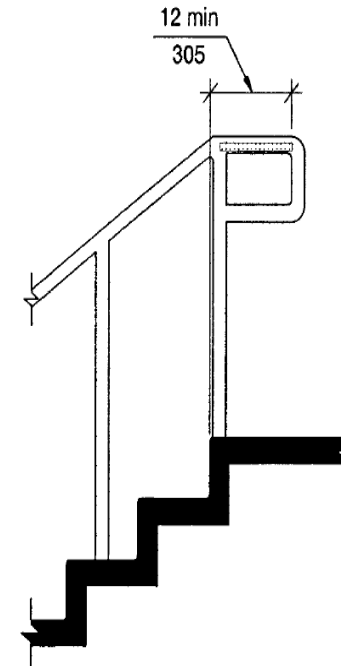


Fig. 505.10.2
Top Handrail Extensions at Stairs

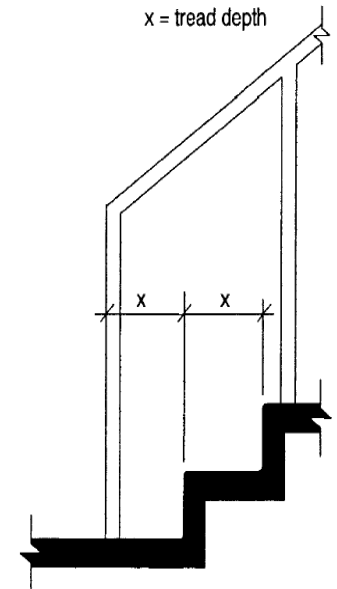
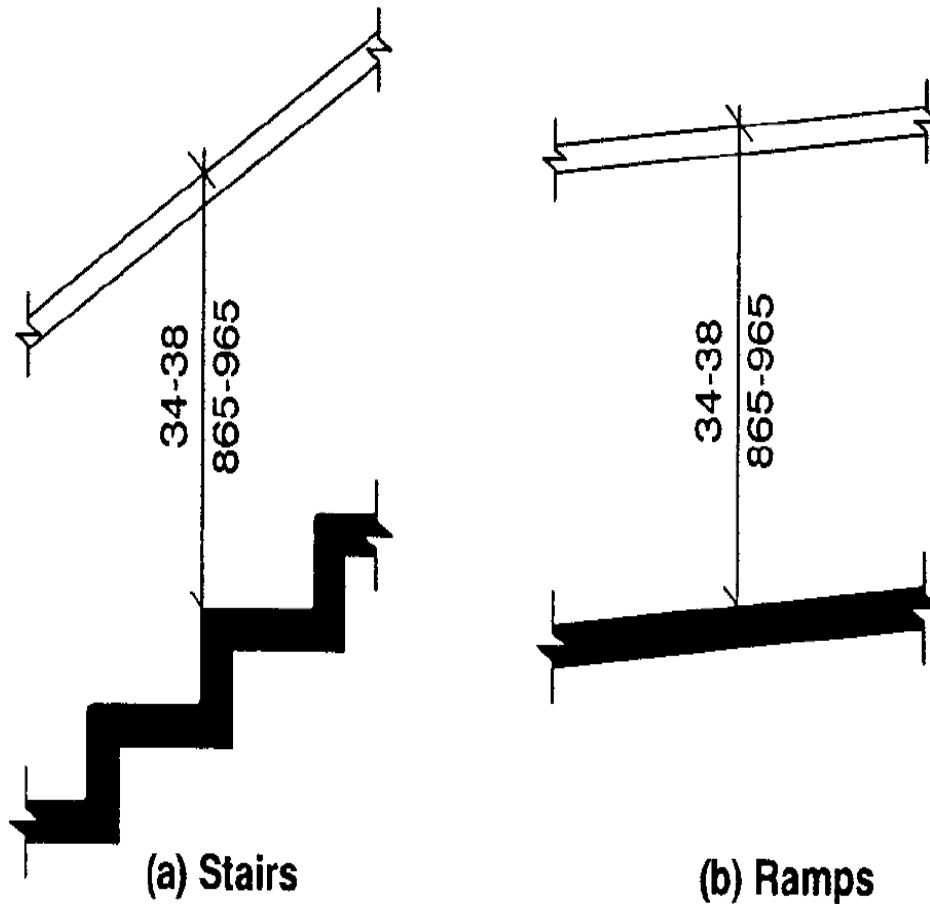


Fig. 505.10.3
Bottom Handrail Extensions at Stairs

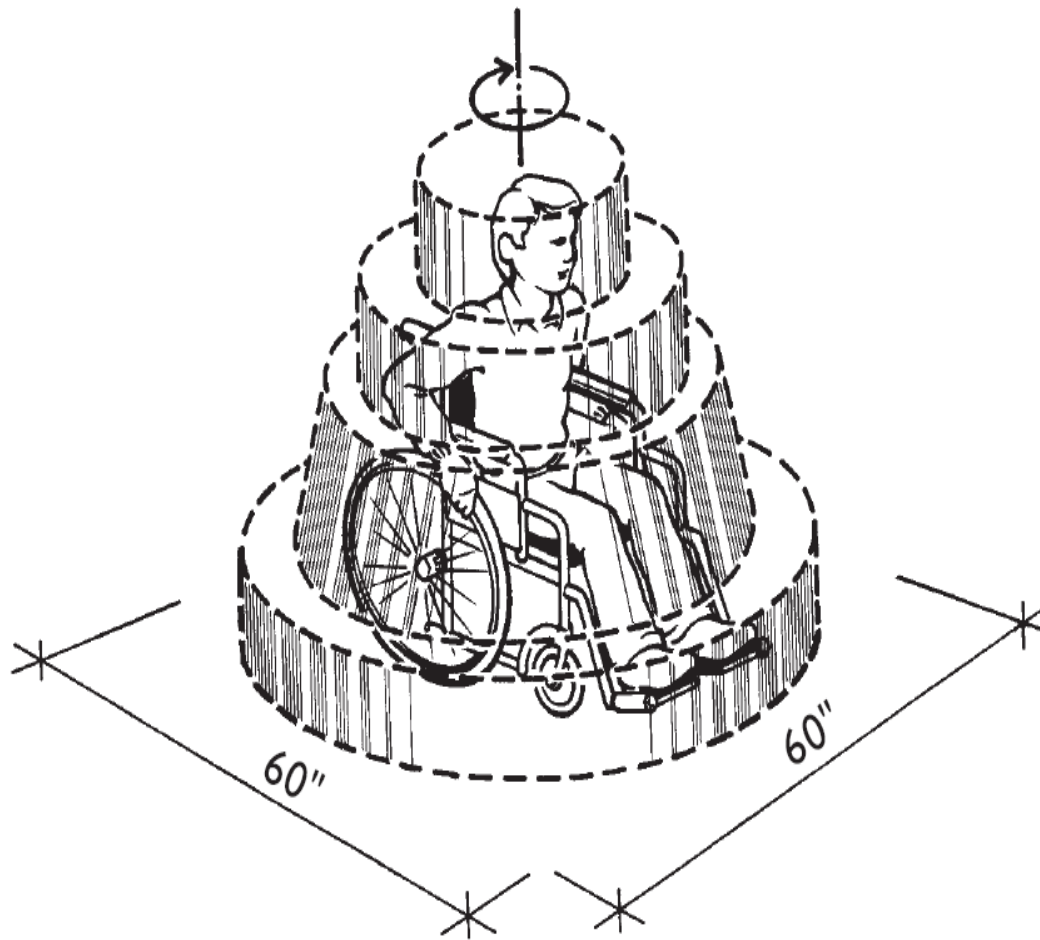
NOT ACCESSIBLE



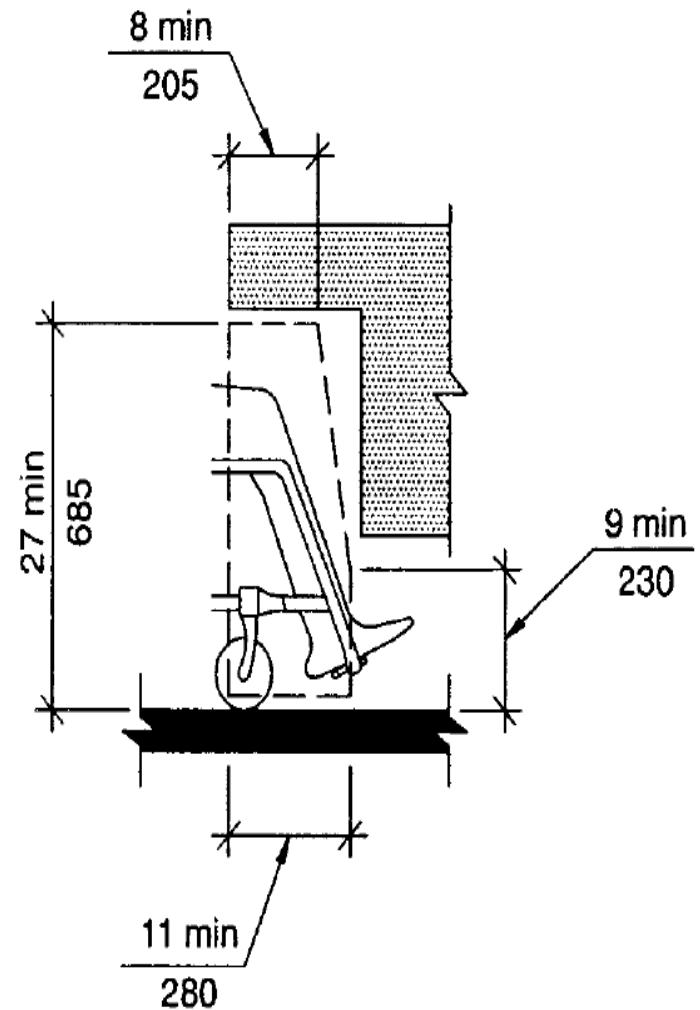
- Ramps with a rise greater than 6" must have handrails on both sides

**Fig. 505.4
Handrail Height**

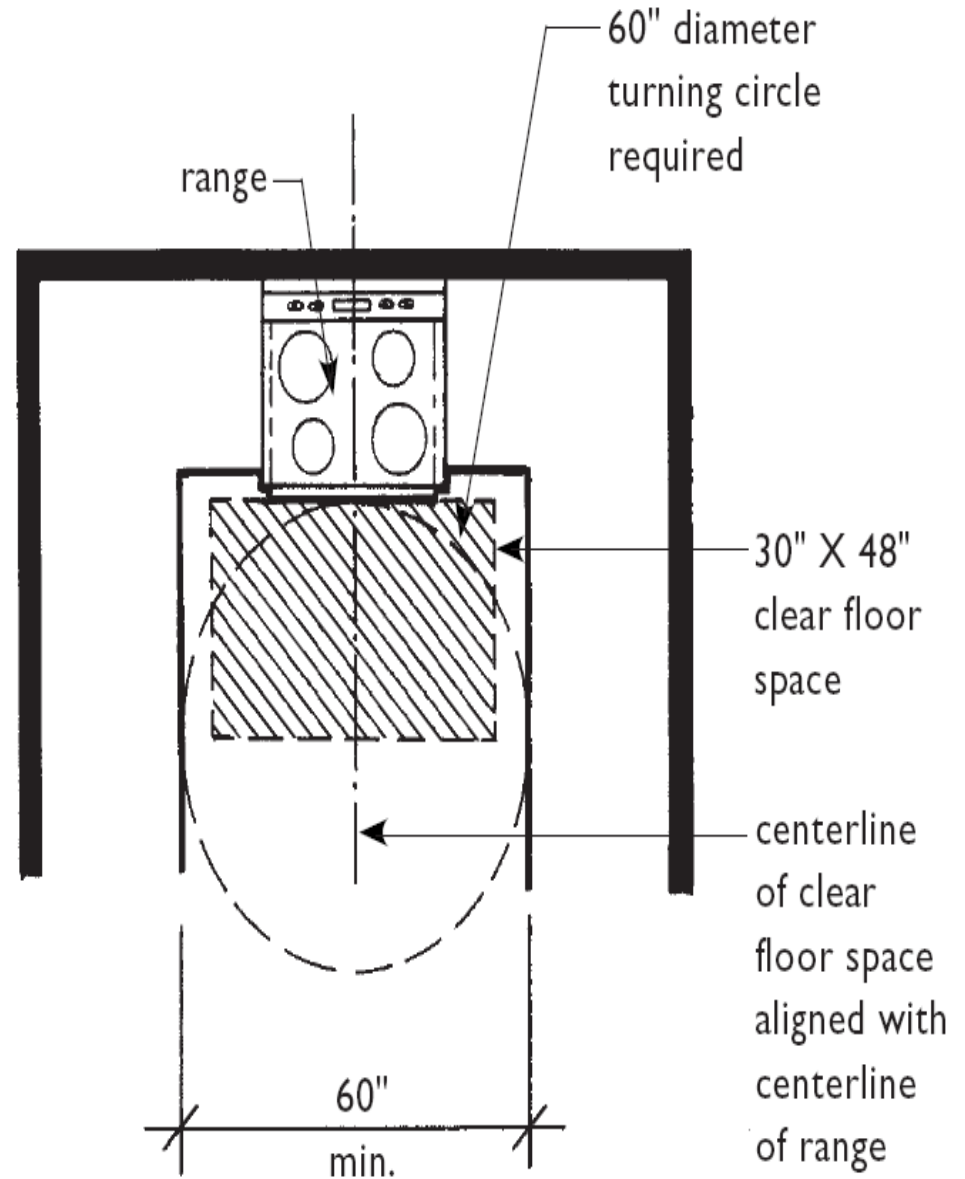
Wheelchair Turning Space



Pivoting Turn Space

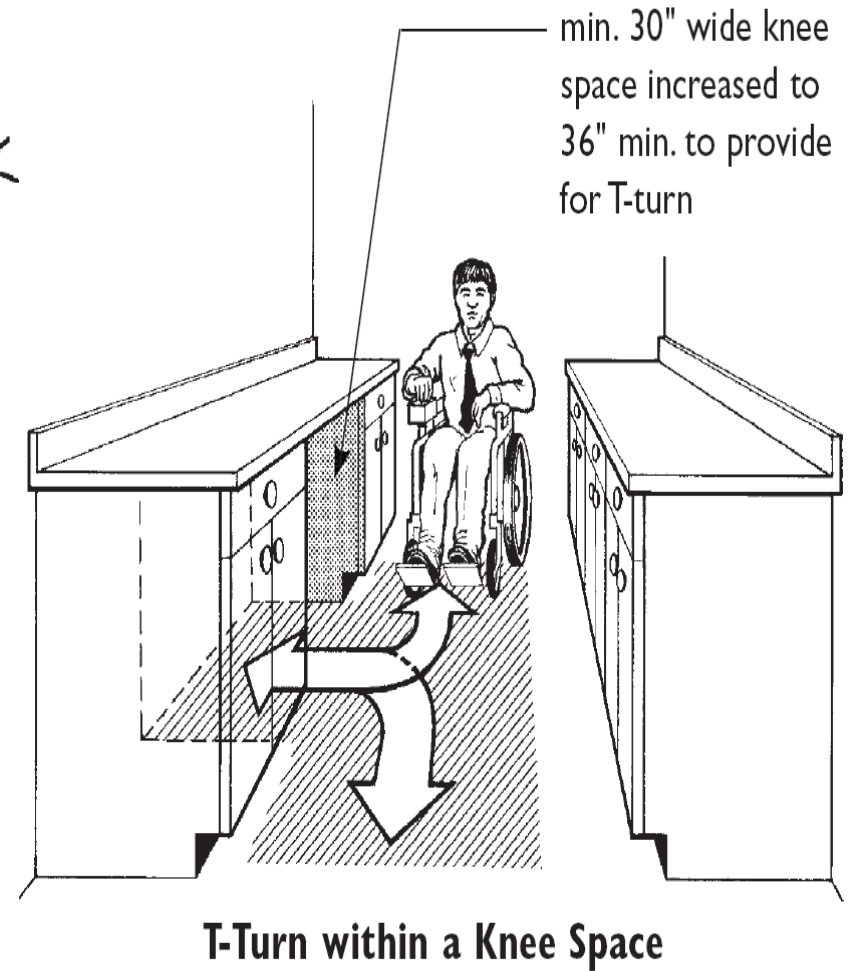
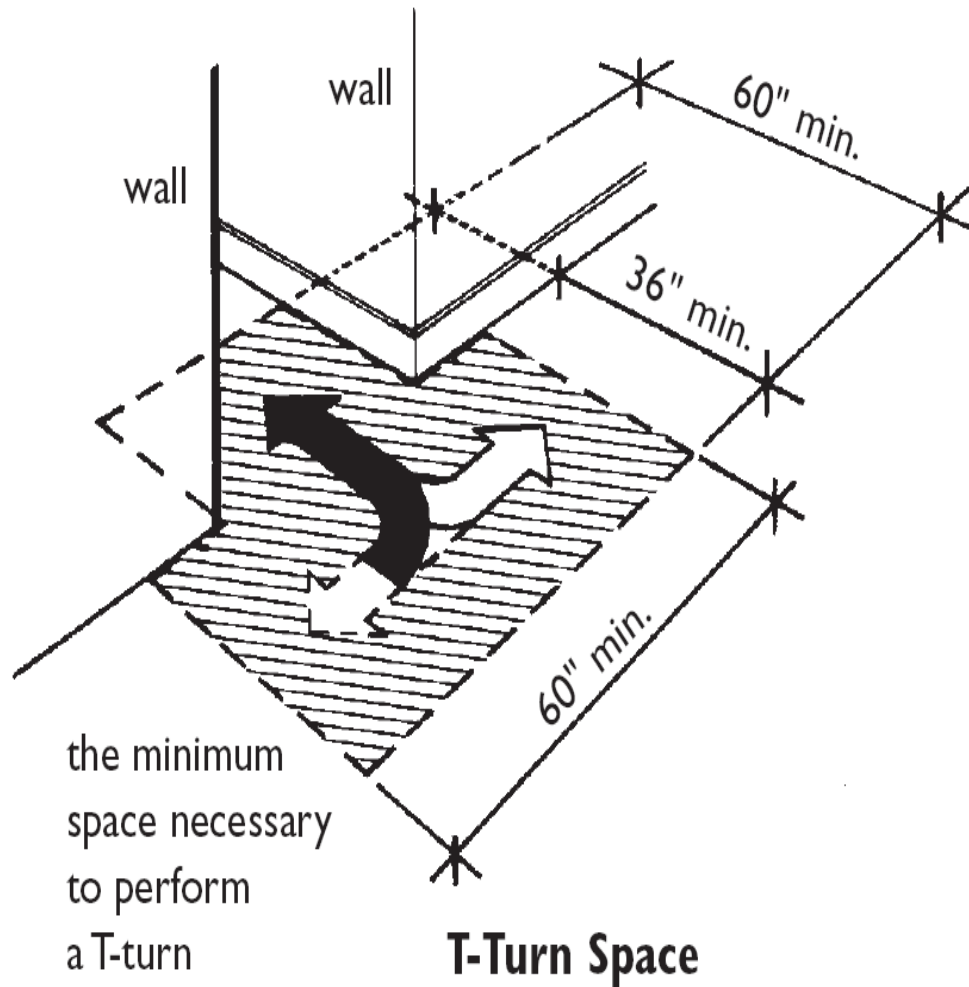


Example of Turning Circle Application



**60" Diameter Turning Circle
when Sink (Only), Cooktop, or Range
is at Bottom of U-Shaped Kitchen**

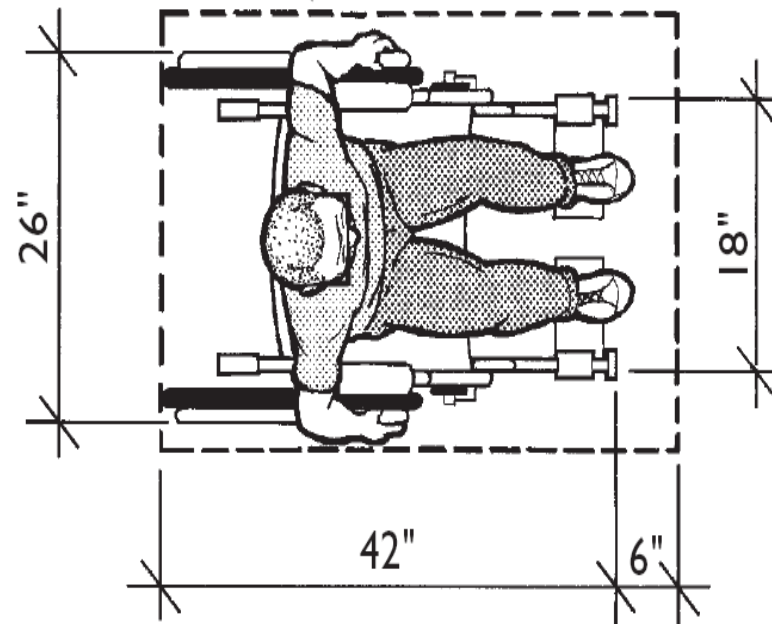
T-Turn Space



Wheelchair Clear Floor Space

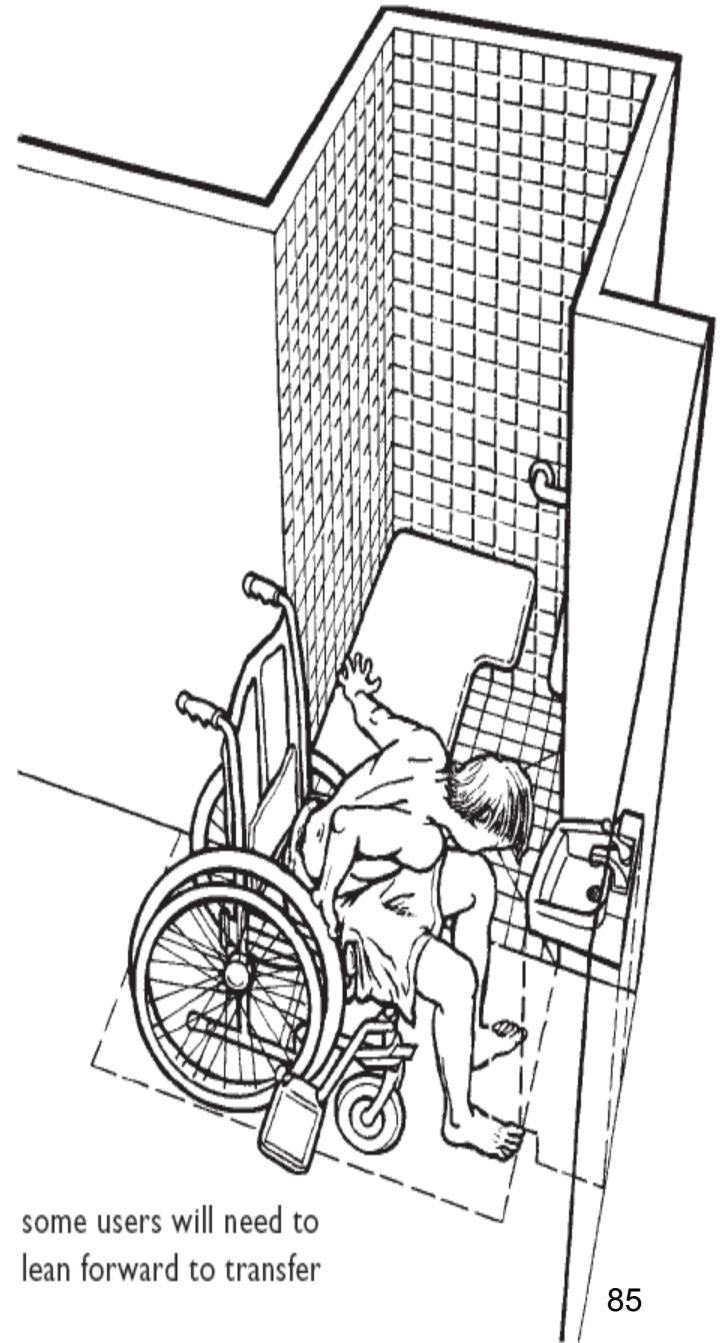
30" X 48" clear floor space

footrests and toes may extend farther for some people



Space Allowances and Approximate Dimensions of Adult-Sized Wheelchairs

Example of Wheelchair Clear Floor Space Application



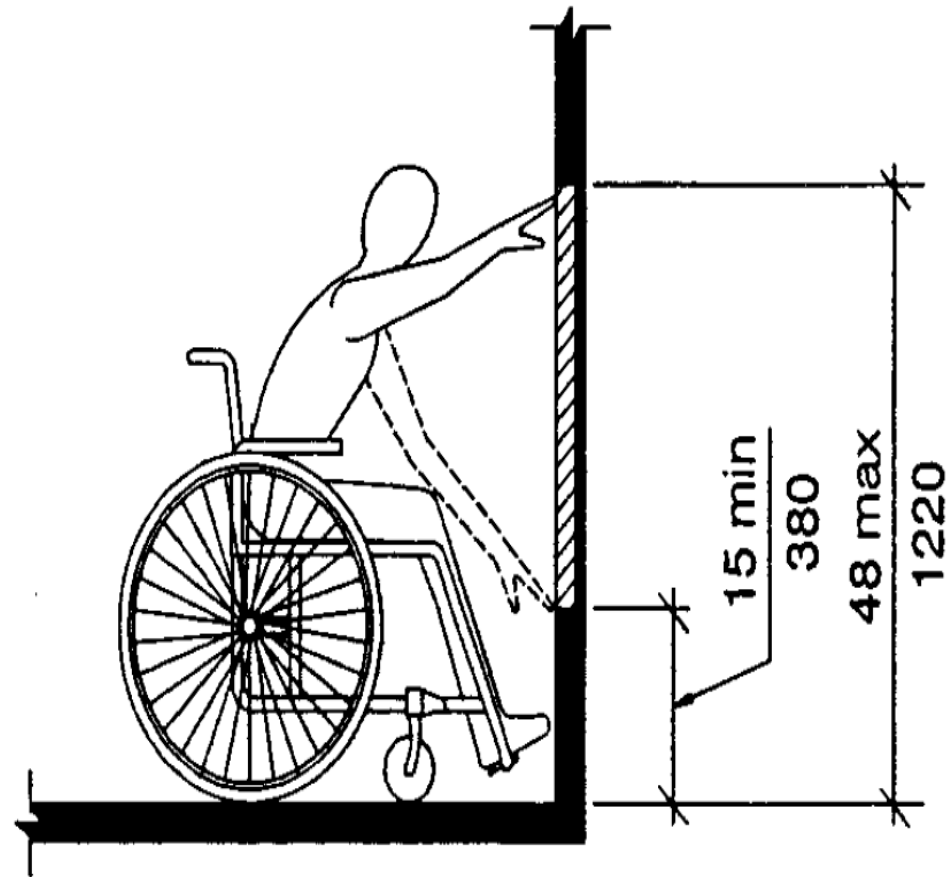
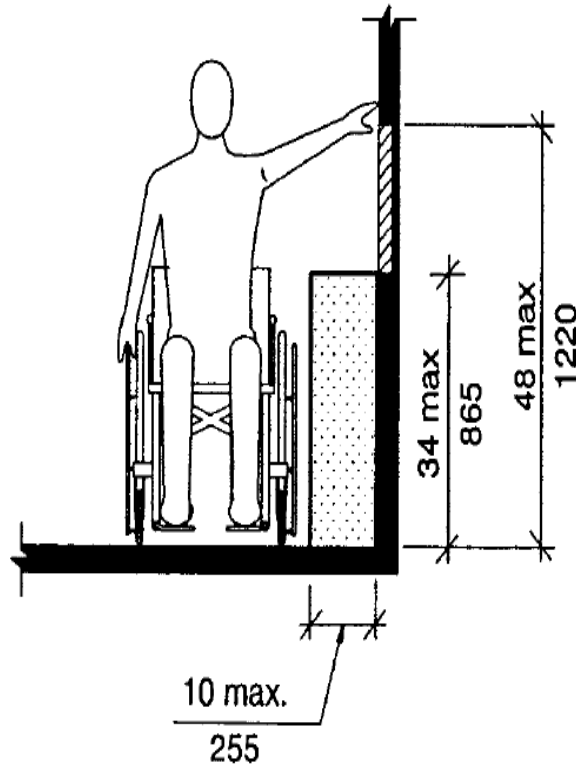
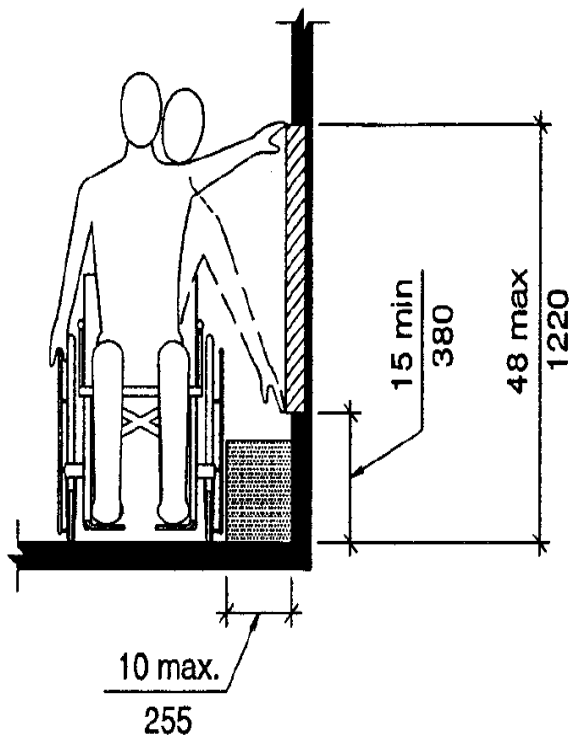
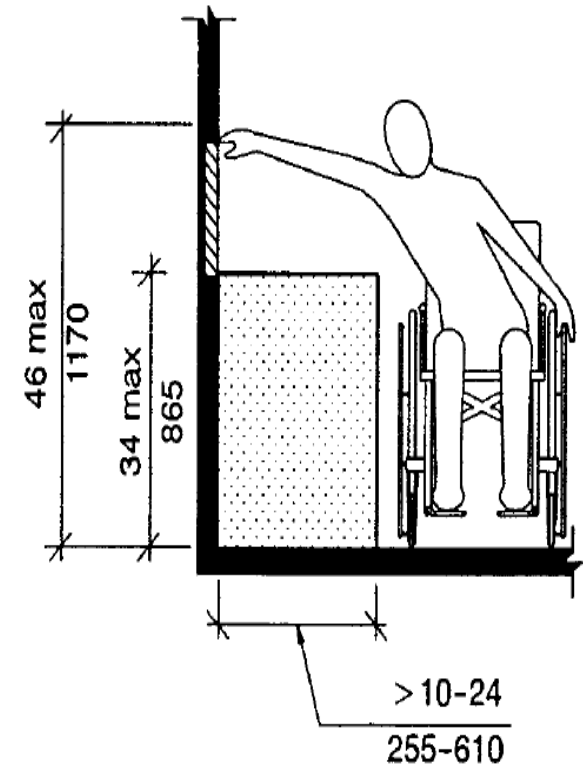


Fig. 308.2.1
Unobstructed Forward Reach



(a)



(b)

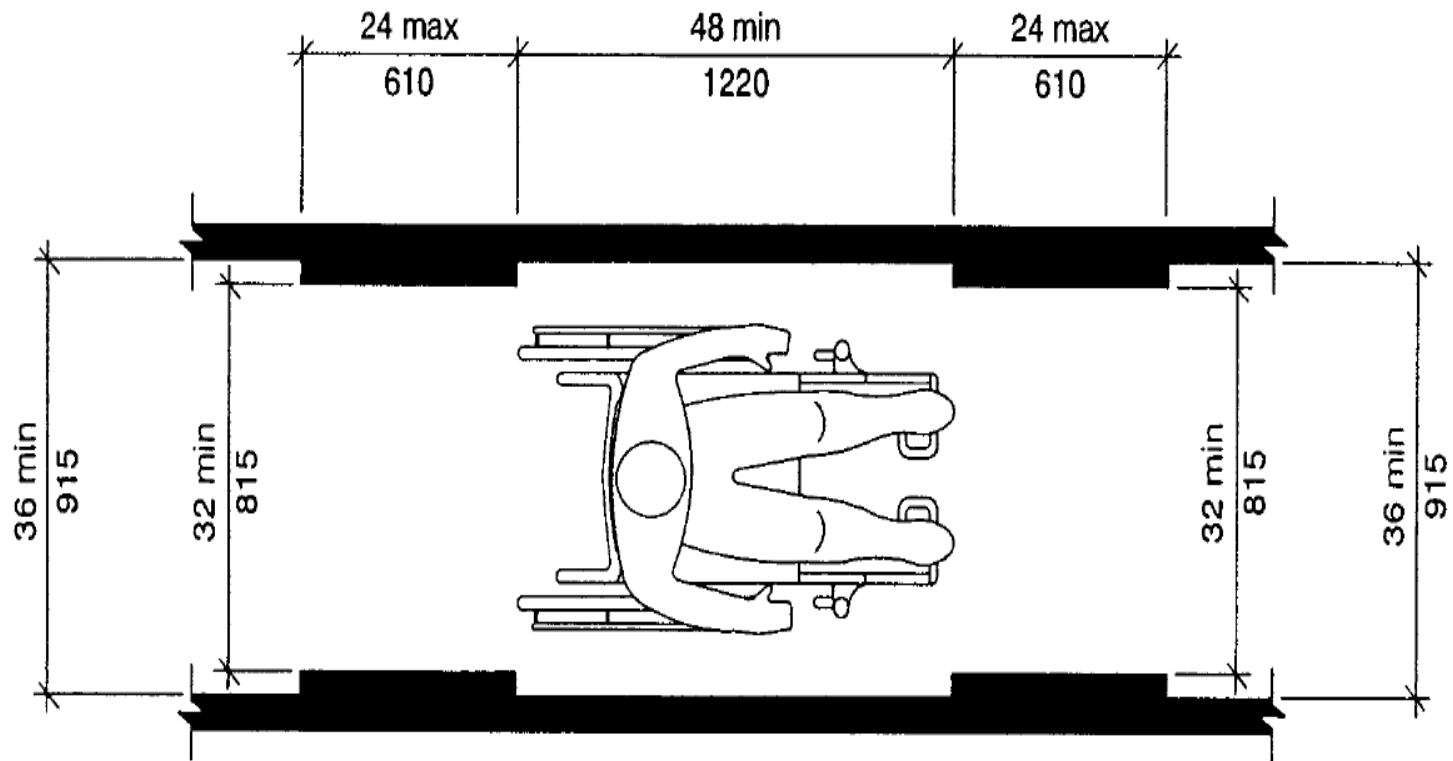
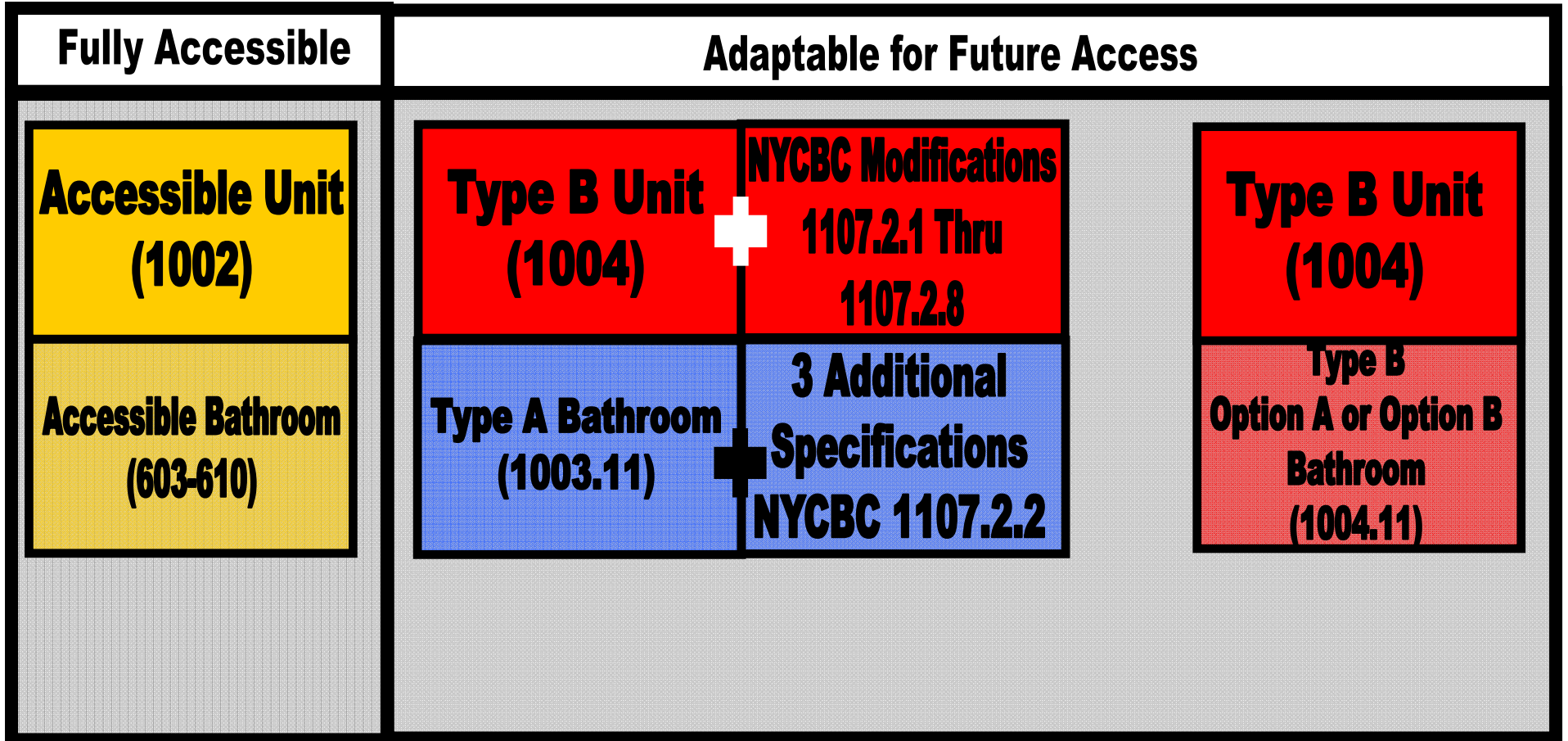


Fig. 403.5
Clear Width of an Accessible Route

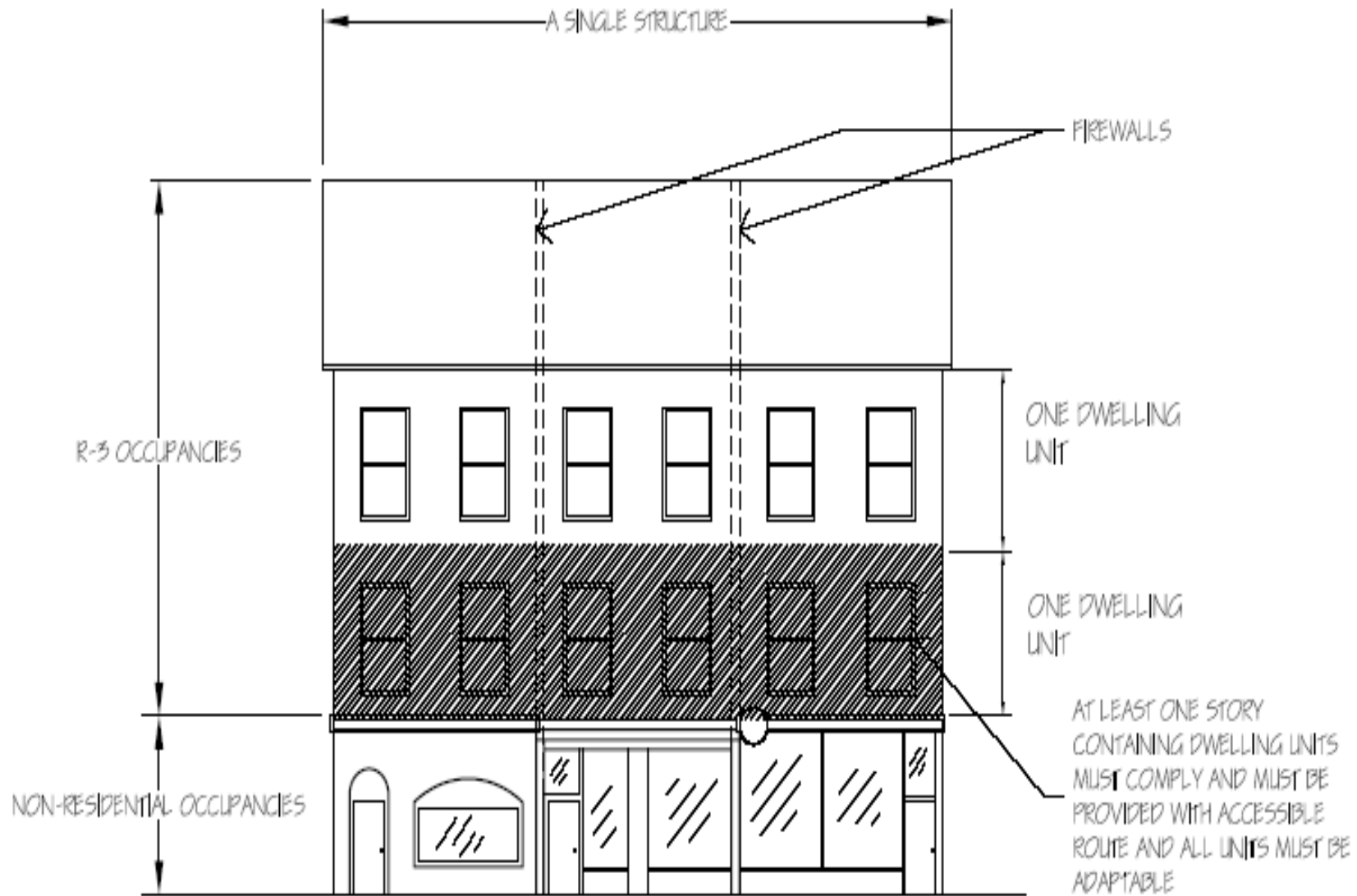
Residential Requirements





Accessibility Requirements for R-3 Occupancies





Dwelling Units not on the ground floor

UNITS REQUIRED
TO COMPLY WITH
SECTION 1107.7.1.1



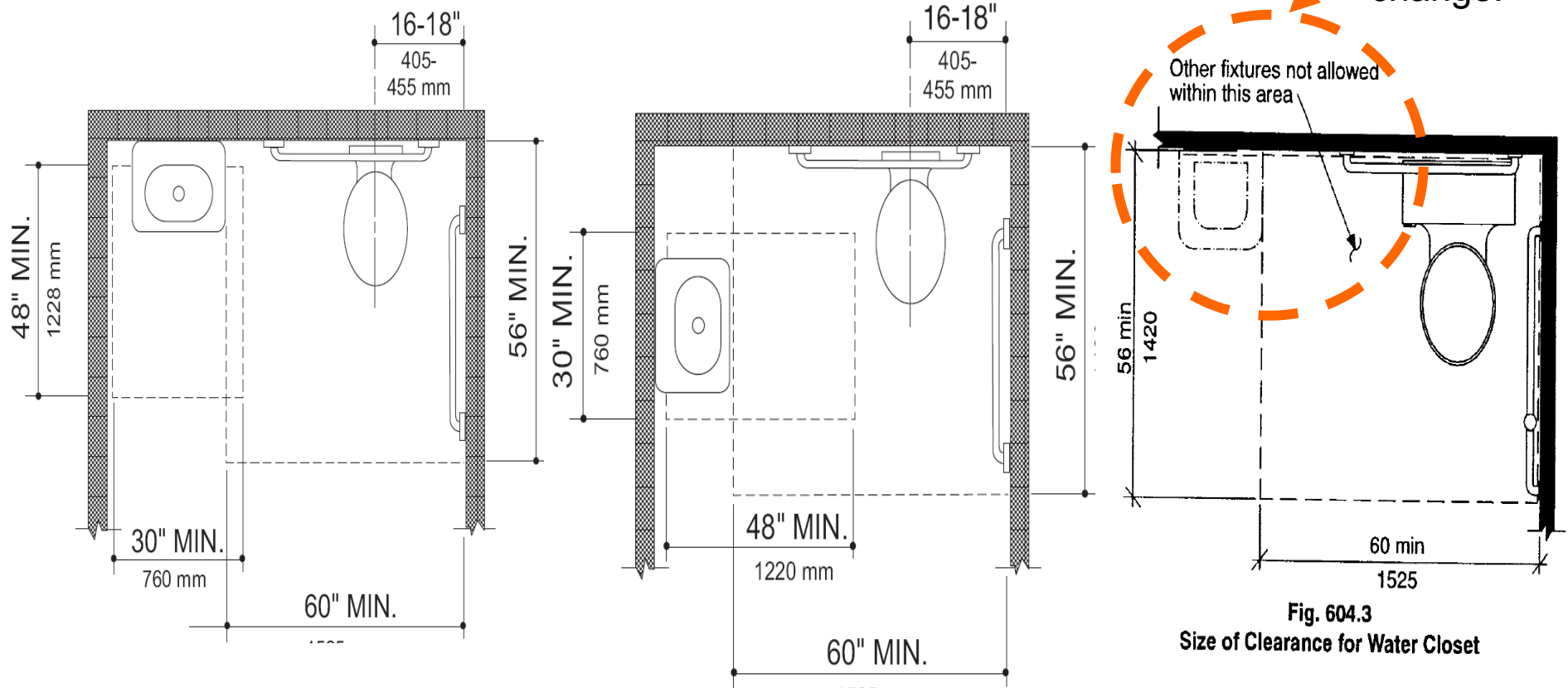
NOTE: NO ELEVATOR SERVICE

Non-residential Plumbing Facilities Requirements

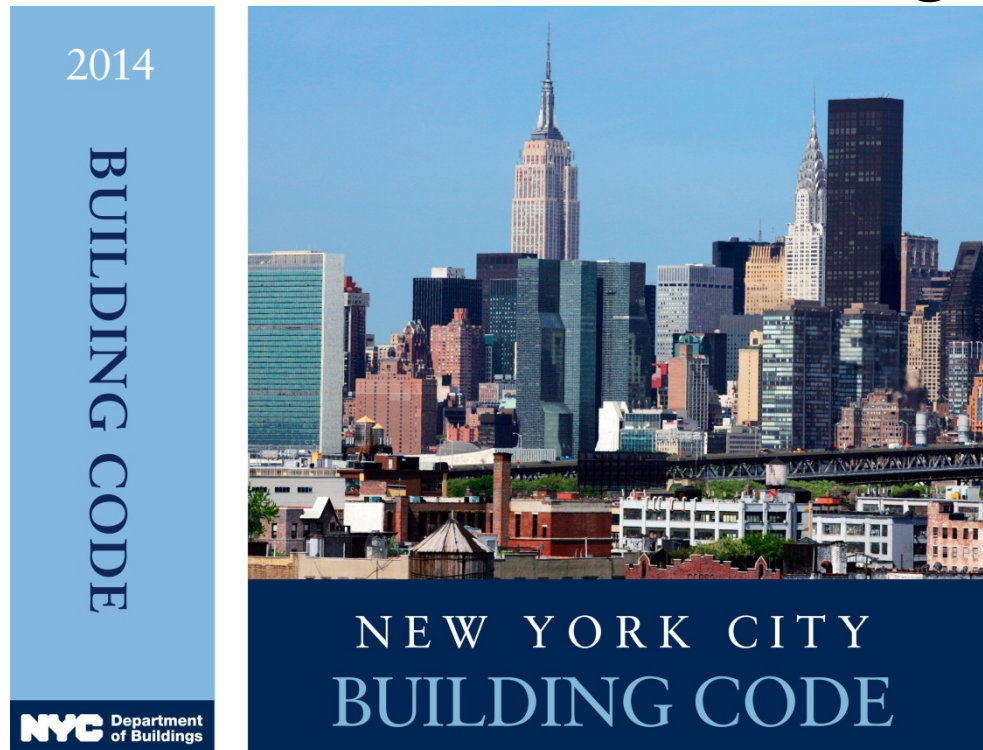


- At least one of each type of fixture shall be accessible
- A urinal is not required to be accessible if it is the only urinal in the toilet room
- Unisex toilet room** is required in **Assembly** and **Mercantile** occupancies where the number of water closets is 6 or more, male and female combined
- Where toilet stall is provided, at least one must be wheelchair accessible
- Where the combined total of water closet stalls and urinals in a toilet room is 6 or more, one **Ambulatory stall** is required

Unisex/Single User Toilet Rooms



Changes in Accessibility Provisions in the 2014 NYC Building Code



Code and Zoning Representative
Training Module 14.1.3

Local Law 58/87 Repealed

- **Local Law 141 of 2013** (Int. No. 1056-A) - A local law to amend the administrative code of the city of New York, the New York city plumbing code, the New York city building code, the New York city mechanical code and the New York city fuel gas code in relation to bringing such codes up to date with the 2009 editions of the international building, mechanical, fuel gas and plumbing codes, with differences that reflect the unique character of the city and clarifying and updating administration and enforcement of such codes and the 1968 code, and **repealing section 27-123.1 and 27-123.2 of the administrative code of the city of New York, subarticle 2 of article 2 of subchapter 4 of chapter 1 of title 27 of the administrative code of the city of New York, articles 8, 9 and 10 of subchapter 4 of chapter 1 of title 27 of the administrative code of the city of New York and reference standard RS 4 of the building code Reference Standards** set forth in the appendix to chapter 1 of title 27 of the administrative code of the city of New York

Special provisions for prior code buildings

- 1. Change of occupancy or how such space is used**
- 2. Requirements based on value of alterations**
- 3. Directional signage**
- 4. Waiver recommendations**

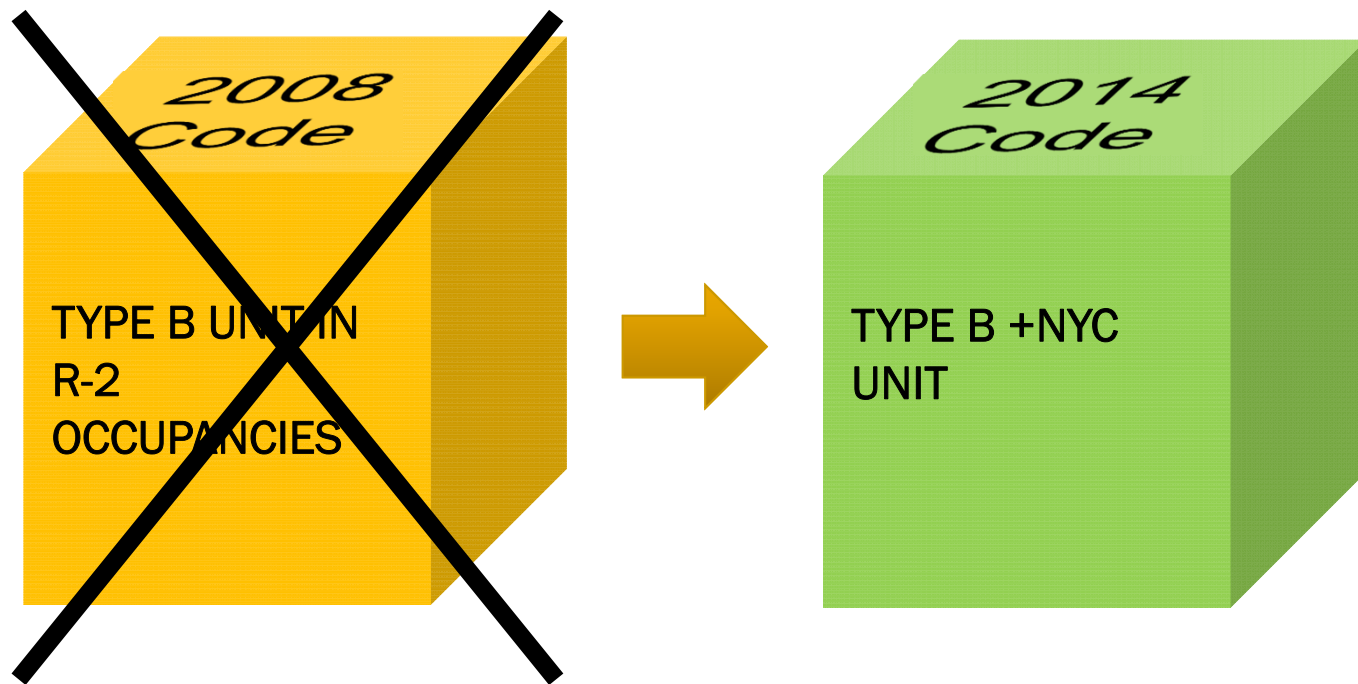
**ACCESSIBLE AND
USABLE BUILDINGS
AND FACILITIES**

ICC A117.1-2009



American National Standard

Type B+NYC Unit



Toilet & Bathing Room



Unisex rooms---may be used in lieu of separate sex plumbing facilities for small occupant loads (See PC Chapter 4)



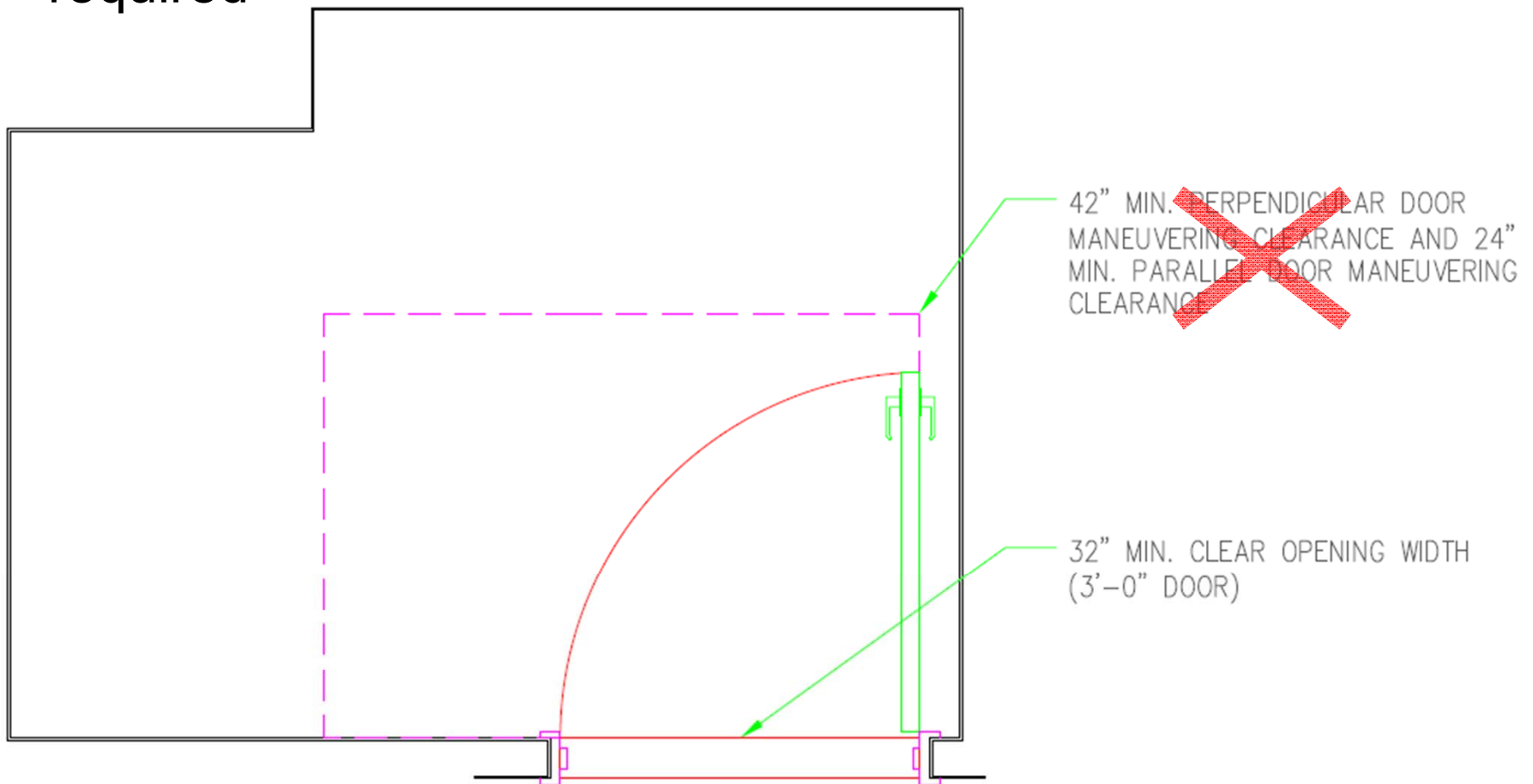
Family/Assisted-use rooms---required for large occupant loads in A and M occupancies to have accessible facilities with privacy. Replaces the term "Unisex toilet room/bathing room"

- One of the previous allowances for Limited-Use/Limited-Application (LULA) elevators has been removed: for new buildings < 10,000 SF
- Prior code buildings may continue to use the allowance

Appendix P bathroom door

Appendix P bathrooms:

- Door maneuvering clearance inside the toilet room not required



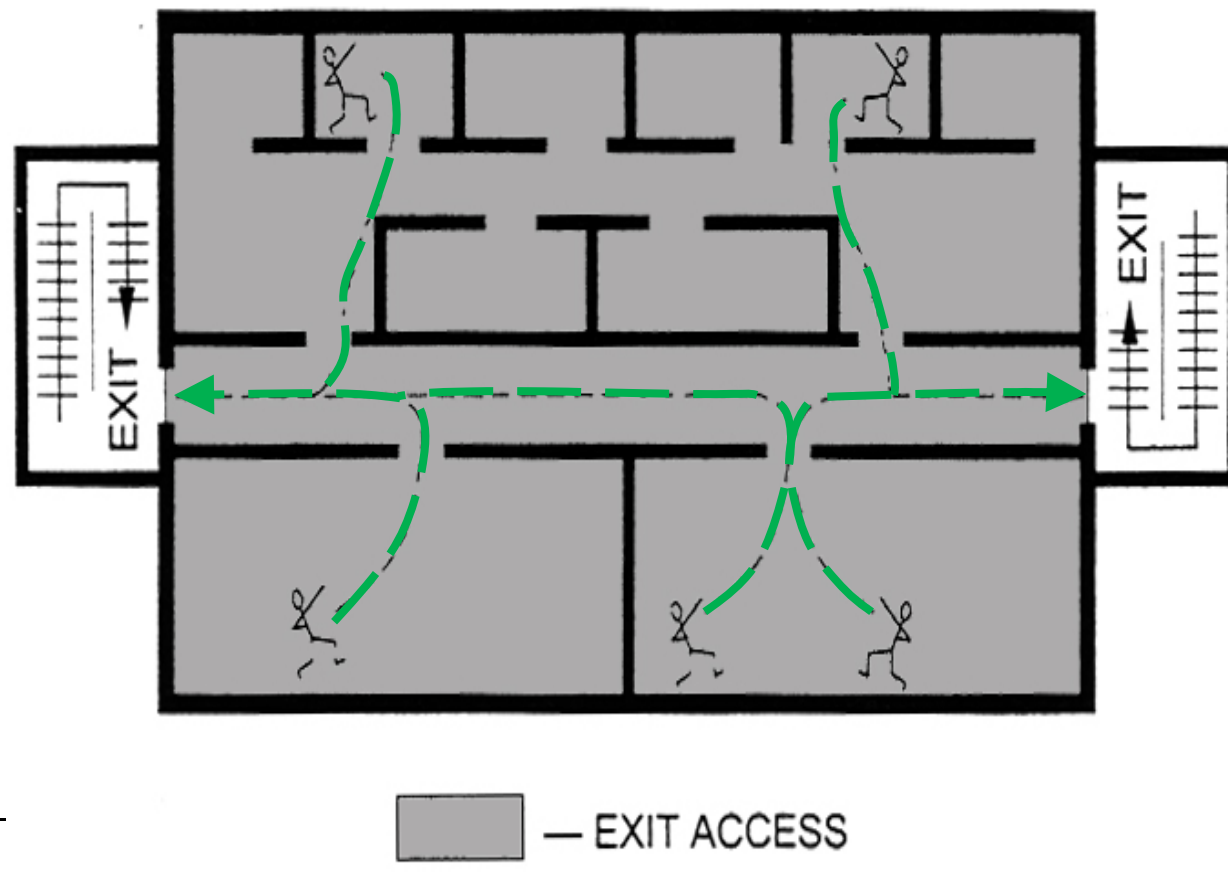
Previous allowance for reversible door for Appendix P bathroom is no longer permitted. ~~The door and frames are provided with mortised hinge and latch blanks to permit future reversal of the door on the same frames using common hand tools and without further alterations to the door and frames. Such future swing of the door shall not obstruct the maneuvering clearances required at the door or doorway.~~

Means of Egress

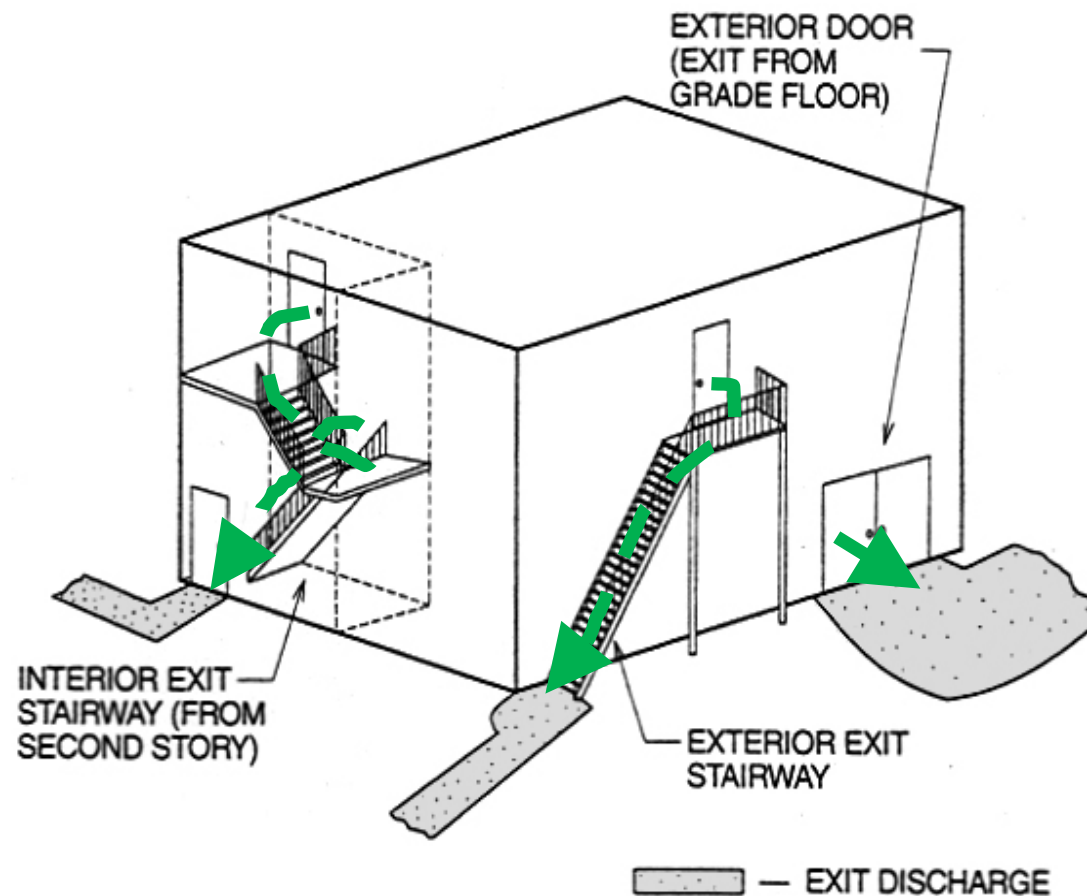
Keith Wen, R.A.
Executive Director, Technical Policy

Means of Egress: A continuous and unobstructed path of vertical and horizontal egress travel from any occupied portion of a building or structure to a public way. A means of egress consists of three separate and distinct parts: the **exit access**, the **exit** and the **exit discharge**.

- Begins at the furthest occupied point in a room and ends at the entrance to an *exit*
- The travel distance within an exit access is measured



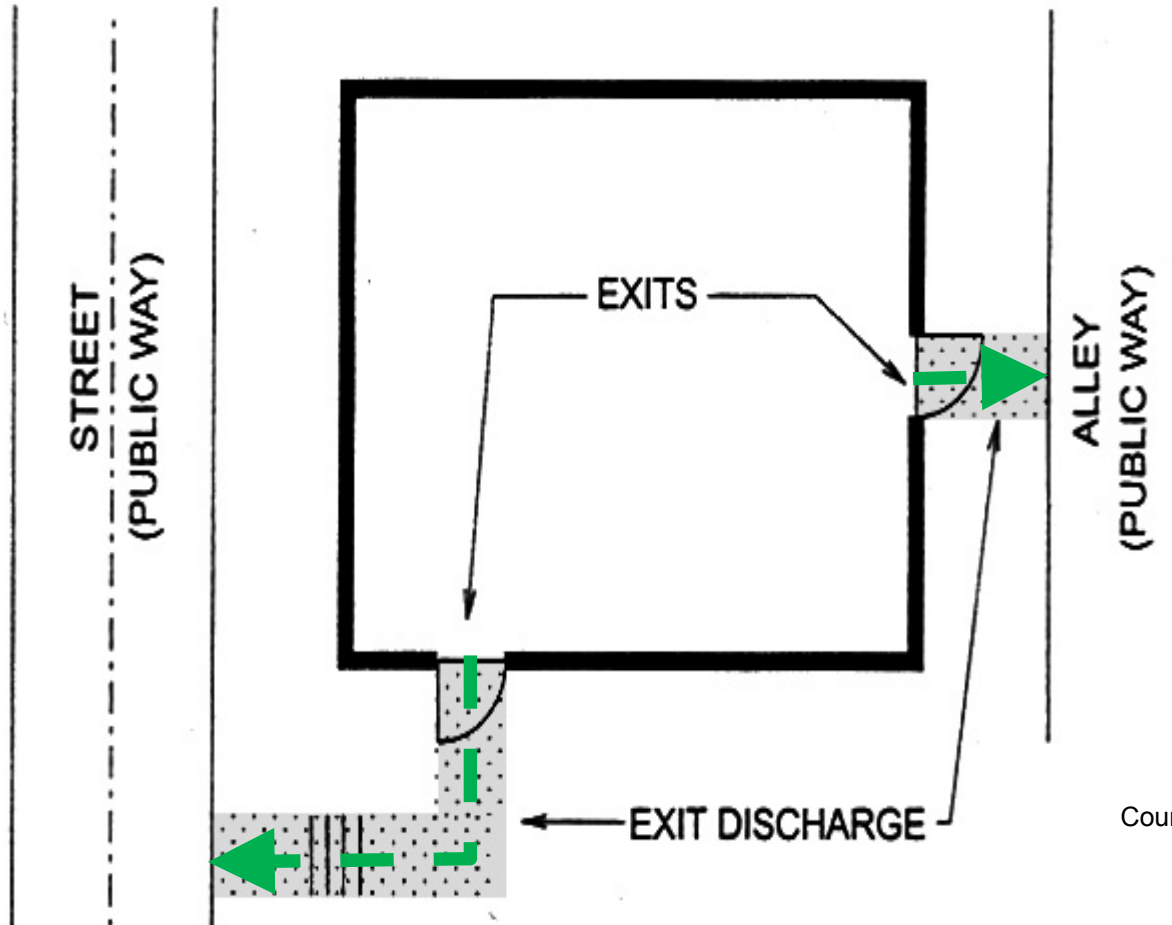
- Provides a protected path of egress travel between the *exit access* and *exit discharge*
- Travel distance is generally not an issue within an *exit*



Courtesy of ICC

Exit discharge (BC 1023)

- The portion between the *exit* termination and a public way
- Travel distance is not limited at and beyond the *exit disch*



Courtesy of ICC



**Elevators, escalators and moving
walks:**

**Cannot be used as a
component of a required
means of egress**

(BC 1003.7)

Means of
Egress
Illumination
(BC 1006)

Illumination is required at all times in:

- Exits
- Exit discharges, and
- Public corridors

Illumination is required in Exit Access during occupancy

Exceptions: Group U, aisle access way in assemblies, dwelling units in I-1, R-1, R-2 and R-3, and sleeping units in Group I.

Exit signs or directional exit signs **are** required:

- At exit and exit access doors
- Where exit/path of egress travel is not obvious
- In corridors every 100' or where the length exceeds the listed viewing distance of the signs

Exit signs **are not** required:

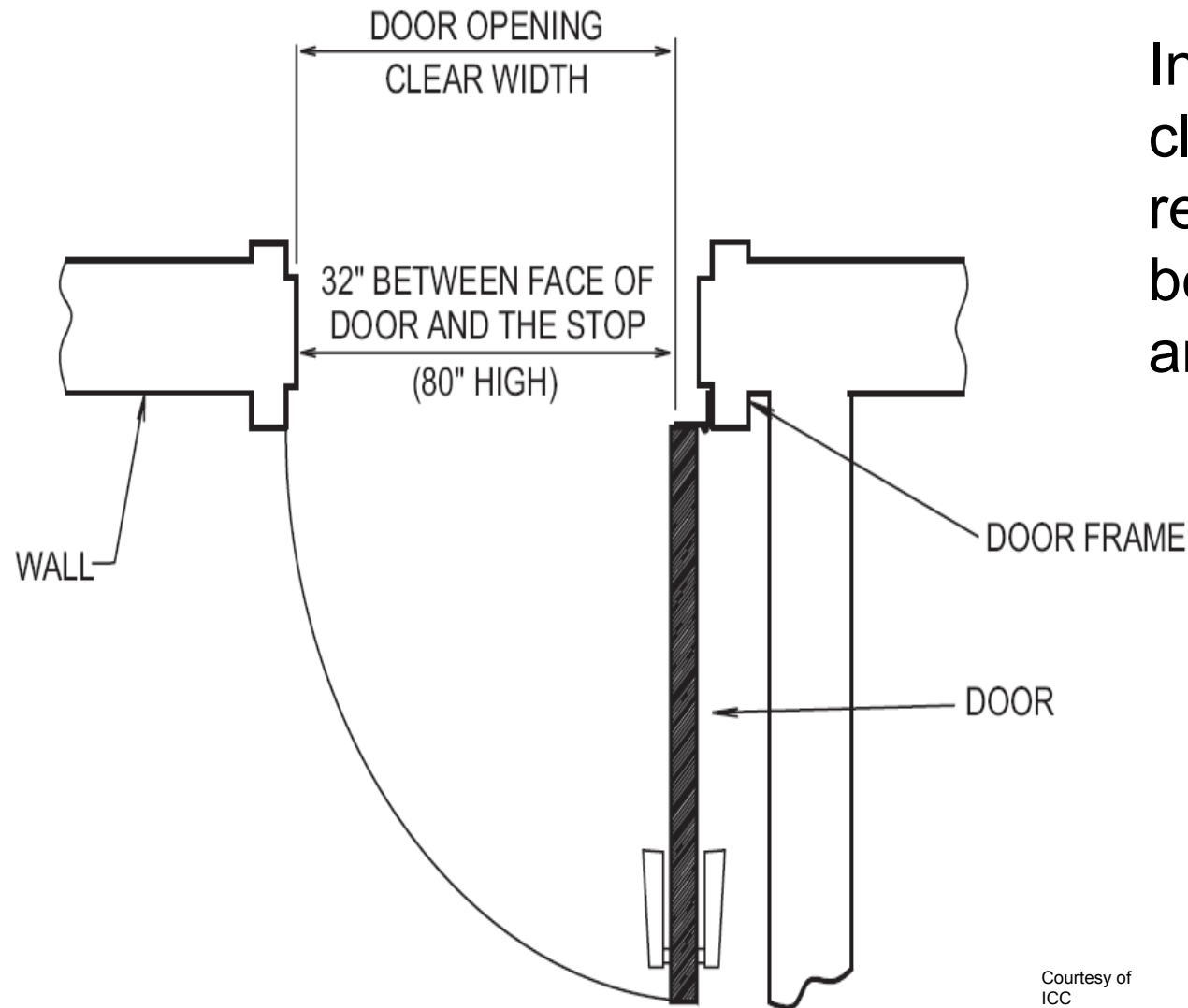
- In rooms or areas where only 1 exit or exit access is required
- Within dwelling units in I-1 and R occupancies
- In sleeping areas in I-3
- In A-4 and A-5 seating side of vomitories where exit signs are in the concourse

Exit signs shall be internally or externally illuminated

- The word “**EXIT**” must be in red
- Must be illuminated at all times
- Must continue to illuminate for 90 mins. after power loss, and be connected to storage batteries, unit equipment or on-site generator

- Must be readily distinguishable
- Mirrors or similar reflecting materials prohibited on means of egress doors
- Shall not be concealed by curtains, drapes, decorations or similar materials

Size of Doors (BC 1008.1.1)



In general, 32" min. clear width is required (measured between face of door and stop)



36" Door

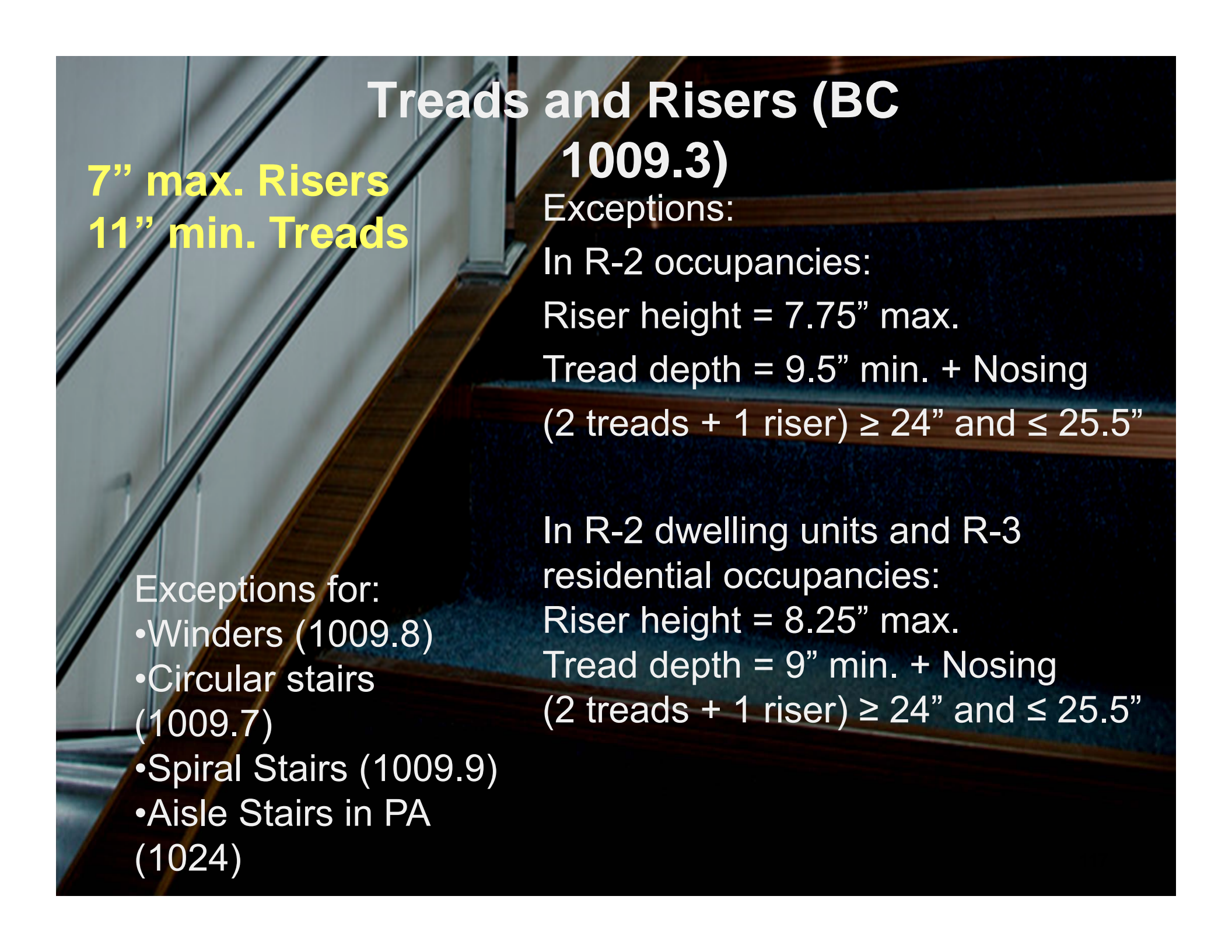
Courtesy of ICC

Means of Egress Stairs (BC 1009)

Generally minimum 44" of width

- 36" width acceptable for stairways that serve a very small occupant load (i.e. 50 persons cumulative for all stories)
- 36" width acceptable in Group R-2 occupancies if ≤ 125 feet high and each stairway serves ≤ 30 occupants/floor

84" min. headroom height (80" min. in R-2/R-3, and 78" min. in spiral stairs). All measured from edge of nosing to ceiling



Treads and Risers (BC 1009.3)

7" max. Risers
11" min. Treads

Exceptions:

In R-2 occupancies:

Riser height = 7.75" max.

Tread depth = 9.5" min. + Nosing
(2 treads + 1 riser) \geq 24" and \leq 25.5"

In R-2 dwelling units and R-3
residential occupancies:

Riser height = 8.25" max.

Tread depth = 9" min. + Nosing
(2 treads + 1 riser) \geq 24" and \leq 25.5"

Exceptions for:

- Winders (1009.8)
- Circular stairs
(1009.7)
- Spiral Stairs (1009.9)
- Aisle Stairs in PA
(1024)

Handrails are required on each side of stairs and ramps

Exceptions:

- Assembly aisle stairs with center handrail
- Single handrail:
 - Stairs within dwelling units, spiral stairs, and aisle stairs serving seating on one side
 - Enclosed exit stairs < 44" wide and not serving as accessible means of egress
- No handrail:
 - Decks, patios and walkways with single change and ample landing spaces
 - Single riser at the entrance/exit in R-3 occupancies
 - Single riser within dwelling units in R-2 and R-3 occupancies

- Required on open sides of most walking surfaces that are more than 30” above the adjacent surfaces
- In general, at least 42” high, with balusters preventing 4” sphere to pass through



Interior exit stairways/ramps must be enclosed with fire barriers, and:

- When connecting ≥ 4 stories, 2-hour fire-resistance-rating is required (incl. basement, not mezzanines)
- When connecting < 4 stories, 1-hour fire-resistance-rating is required (incl. basement, not mezzanines)

Stairway Identification (BC 1019.1.7)

In stairways connecting > 3 stories, a sign is required at each floor landing, and must designate:

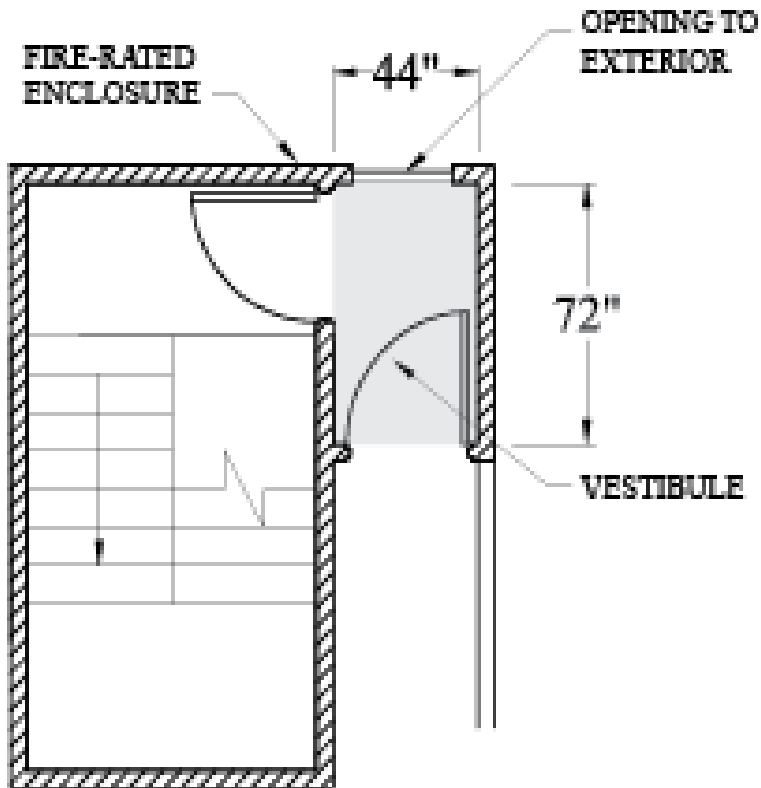
- The floor level
- The terminus of the top and bottom of the stair
- The identification of the stair (i.e. Stair A, Stair B, etc.)
- The story of the exit discharge
- Direction to the exit discharge
- Availability of roof access from the stairway (FDNY use)
- Stair ID sign is also required on both sides of the stair door, mounted at 5' AFF



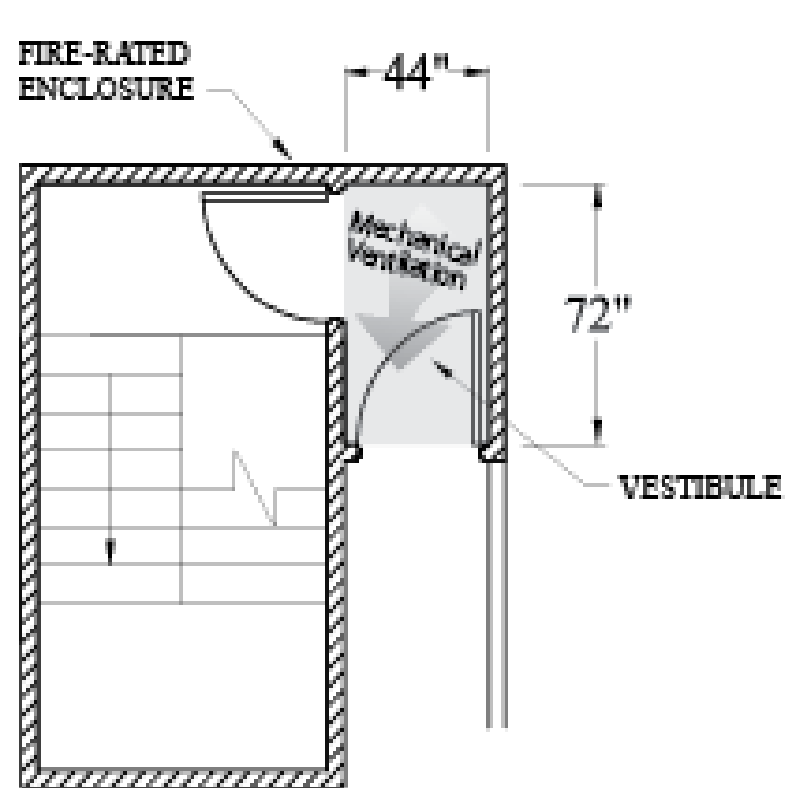
Required in stairways:

- Serving occupied floor > 75' above lowest level of FDNY vehicle access (See BC 403.13 for R-2 exception)
- Serving occupied floor > 30' below the level of exit discharge

Smokeproof Enclosures (BC 1019.1.8)

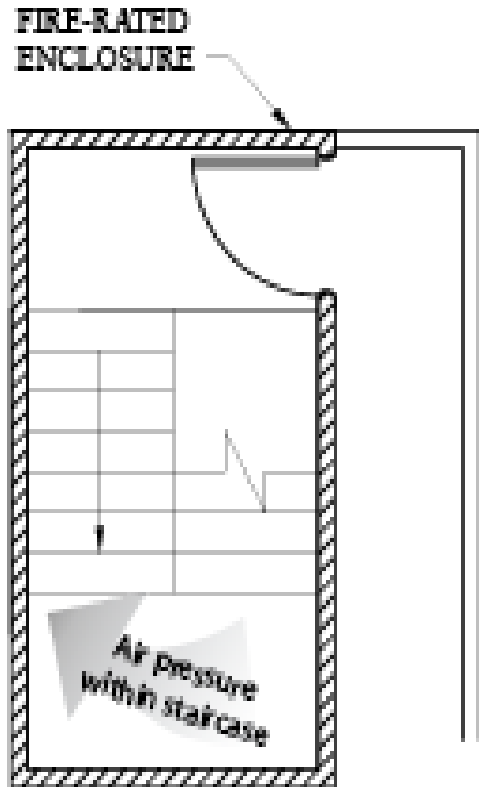


**NATURALLY VENTILATED
VESTIBULE**

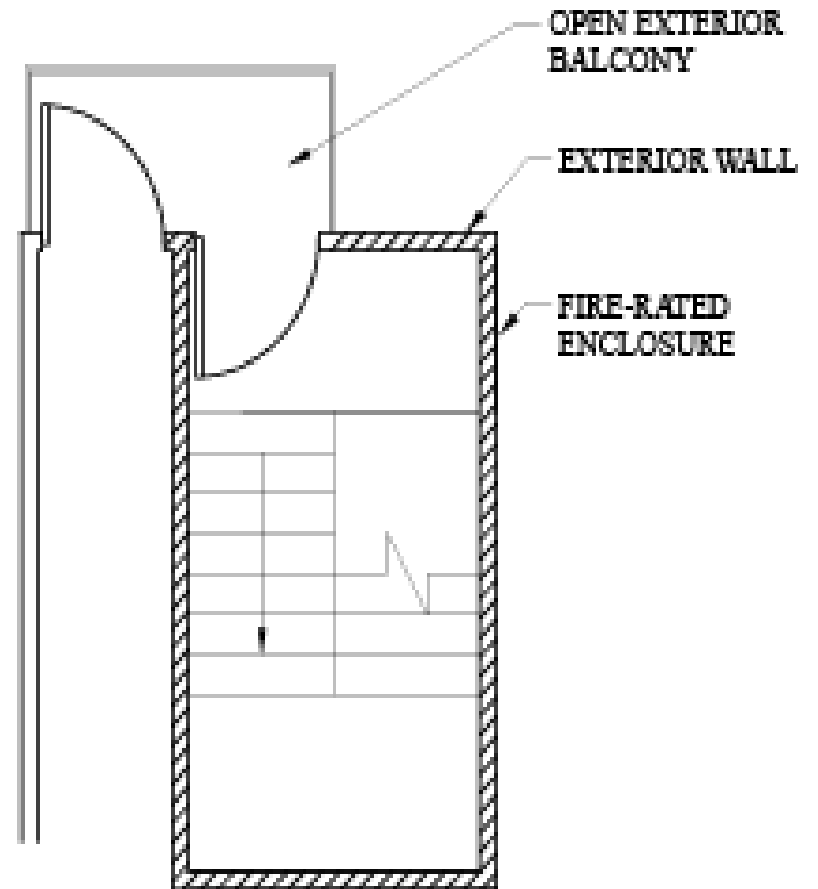


**MECHANICALLY VENTILATED
VESTIBULE**

Smokeproof Enclosures (BC 1019.1.8)



STAIR PRESSURIZATION



OPEN EXTERIOR BALCONY

Occupant Load
(BC 1004)

The number of occupants used to establish means of egress requirements is based on the largest number established by these three conditions:

- **Actual number**
- **Number by Table 1004.1.2**
- **Number by combination**

by Special Approval only:

Modifications (1004.1.4)

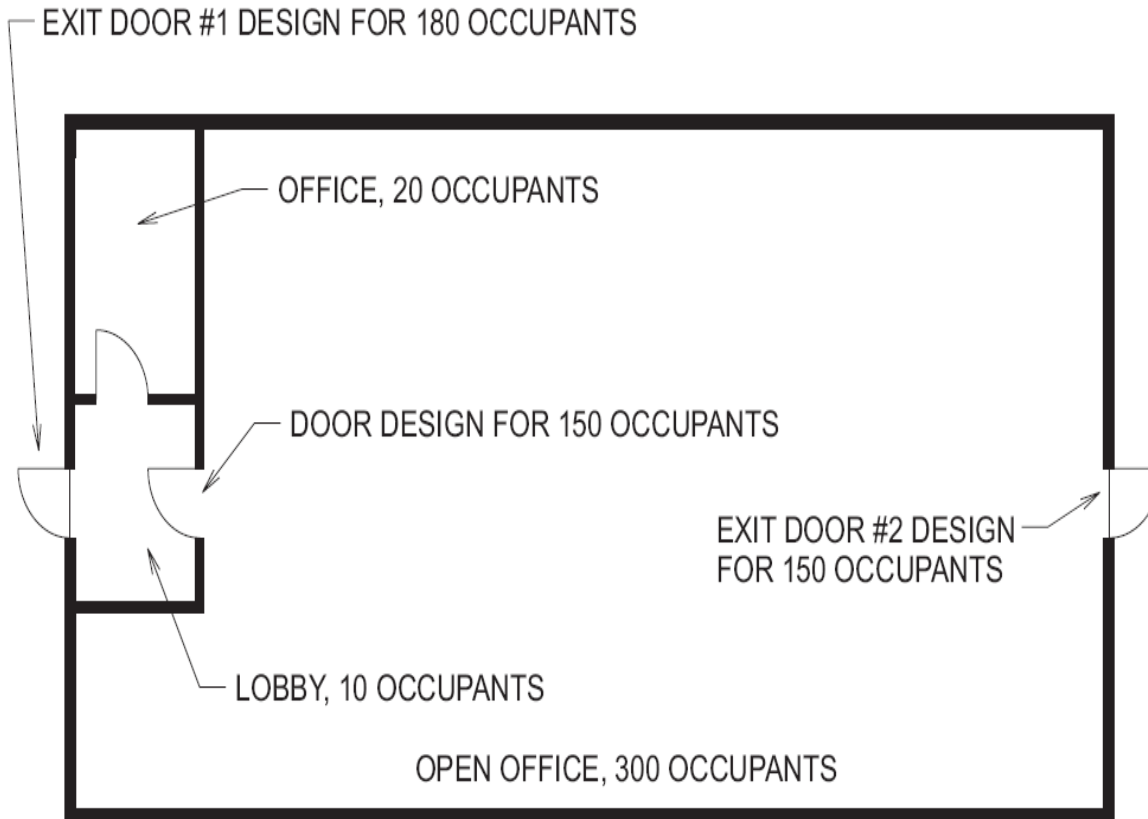
Unlisted occupancies (1004.1.5)

Actual number is used:

- When a certain number of occupants is expected, and;
- When such number exceeds the number given by Table 1004.1.2

- Lists maximum floor area per occupant based on ACTUAL USE of the room/space
- Uses both gross and net floor area for various occupancies
- For example:
 - In Business occupancies: 100 Gross SF/occupant required
 - In Assembly occupancies (without fixed seats): 7 Net SF/occupant required

Number by Combination (BC 1004.1.3)



- Used when occupants egress from an accessory space to a primary space
- Cumulative of both the accessory space and the primary space

EXIT DOOR #1 DESIGN:

# OF OCCUPANTS FROM OPEN OFFICE	=	150
# OF OCCUPANTS FROM BUILDING OFFICE	=	20
# OF OCCUPANTS FROM LOBBY	=	10
TOTAL # OF OCCUPANTS (BY COMBINATION)	=	180

Courtesy of
ICC

The occupant load may exceed Table 1004.1.2 provided:

- Other code requirements are met (e.g. egress width, no. of exits, no. of plumbing fixtures etc.), and;
- Not to exceed an occupant load of 5 SF/occupant



Minimum Egress Width (BC 1005.1)

Minimum Egress Width is calculated as follows:

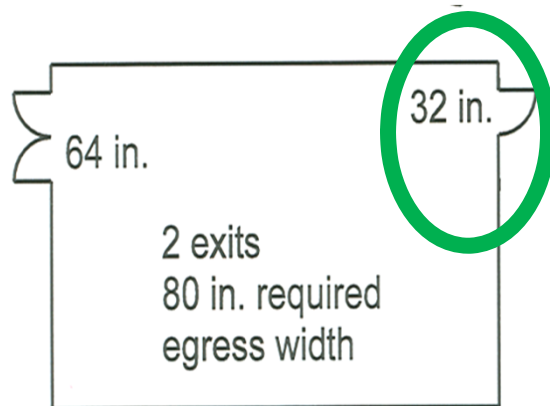
- *No. of Occupants X Factor, and not less than specified elsewhere in this code (e.g. 1008.1.1.1, 1009.1, 1016, 1020.2 etc.)*

**TABLE 1005.1
EGRESS WIDTH PER OCCUPANT SERVED**

OCCUPANCY	Stairways (inches per occupant)	Other components (inches per occupant)
Occupancies other than those listed below	0.3	0.2
Hazardous: H-1, H-2, H-3 and H-4	0.7	0.4

Example: Business area w/10 persons: $10 \times 0.3 = 3''$, Section BC 1009.1 Exception 1 requires 36''. Therefore 36'' min. stair width.

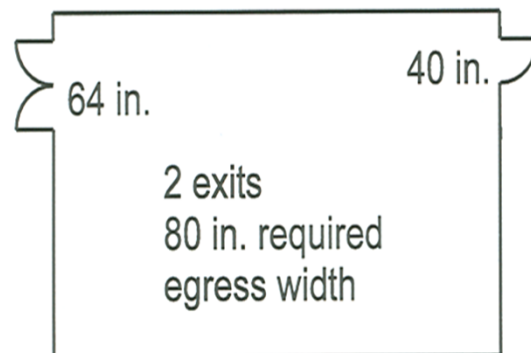
Minimum Egress Width (BC 1005.1)



Not Permitted
Loss of single exit could result in less than 1/2 of required width remaining

Where multiple egress is required:

- Must maintain at least 50% capacity if one means of egress is lost



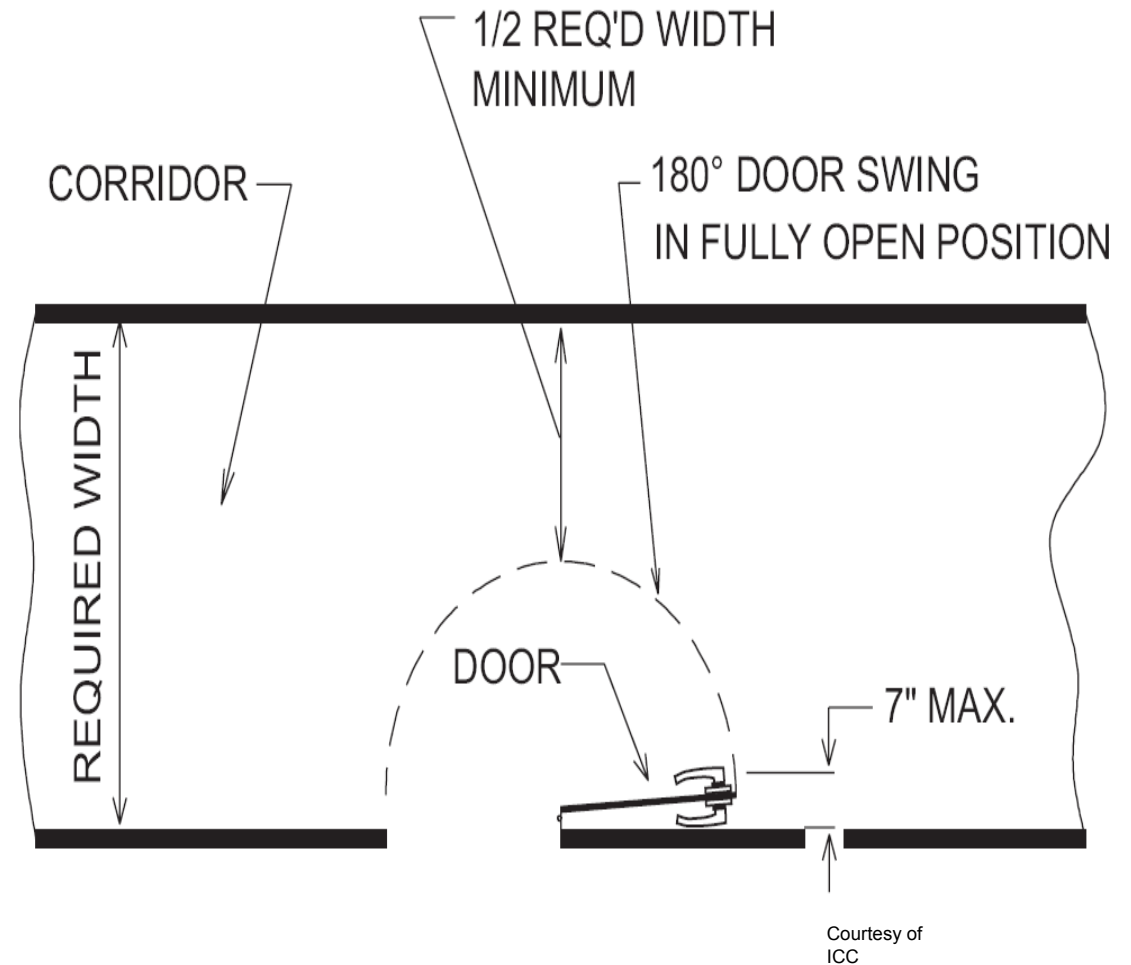
OK
Although double doors give greater than 1/2 of available width, not less than 1/2 of required width would still remain

Courtesy of ICC

Door Encroachment (BC 1005.2)

Doors opening into the path of egress:

- Shall not reduce the required width to less than $\frac{1}{2}$ during the course of swing, and
- Shall not project more than 7" into the required width when fully open



Determine the Travel Distance (BC 1015.1)

- “...measured from the most remote point within a story to the entrance to an exit...”
- Should be identified on the drawings
- **IMPORTANT:** BC 1018.2 Building with one exit has more restrictive travel distance (Table 1015.1 footnote a)

Travel Distance (BC 1015.1)

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (feet)	WITH SPRINKLER SYSTEM (feet)
A	See Section 1024.7	
E, F-1, I-1, M, R, S-1	150	200 ^b
B	200	300 ^c
F-2, S-2, U	200	250 ^b
H-1	Not permitted	75 ^c
H-2	Not permitted	100 ^c
H-3	Not permitted	150 ^c
H-4	Not permitted	175 ^c
H-5	Not permitted	200 ^c
I-2, I-3, I-4	150	200 ^c

1013.3 Common path of egress travel. In occupancies other than Groups H-1, H-2 and H-3, the common path of egress travel shall not exceed 75 feet (22 860 mm). In occupancies in Groups H-1, H-2, and H-3, the common path of egress travel shall not exceed 25 feet (7620 mm).

Exceptions:

1. The length of a common path of egress travel in an occupancy in Groups B, F and S shall not be more than 100 feet (30 480 mm), provided that the building is equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.
2. Where a tenant space in an occupancy in Groups B, S and U has an occupant load of not more than 30, the length of a common path of egress travel shall not be more than 100 feet (30 480 mm).

To an exit

To where there is access to 2 exits in separate directions

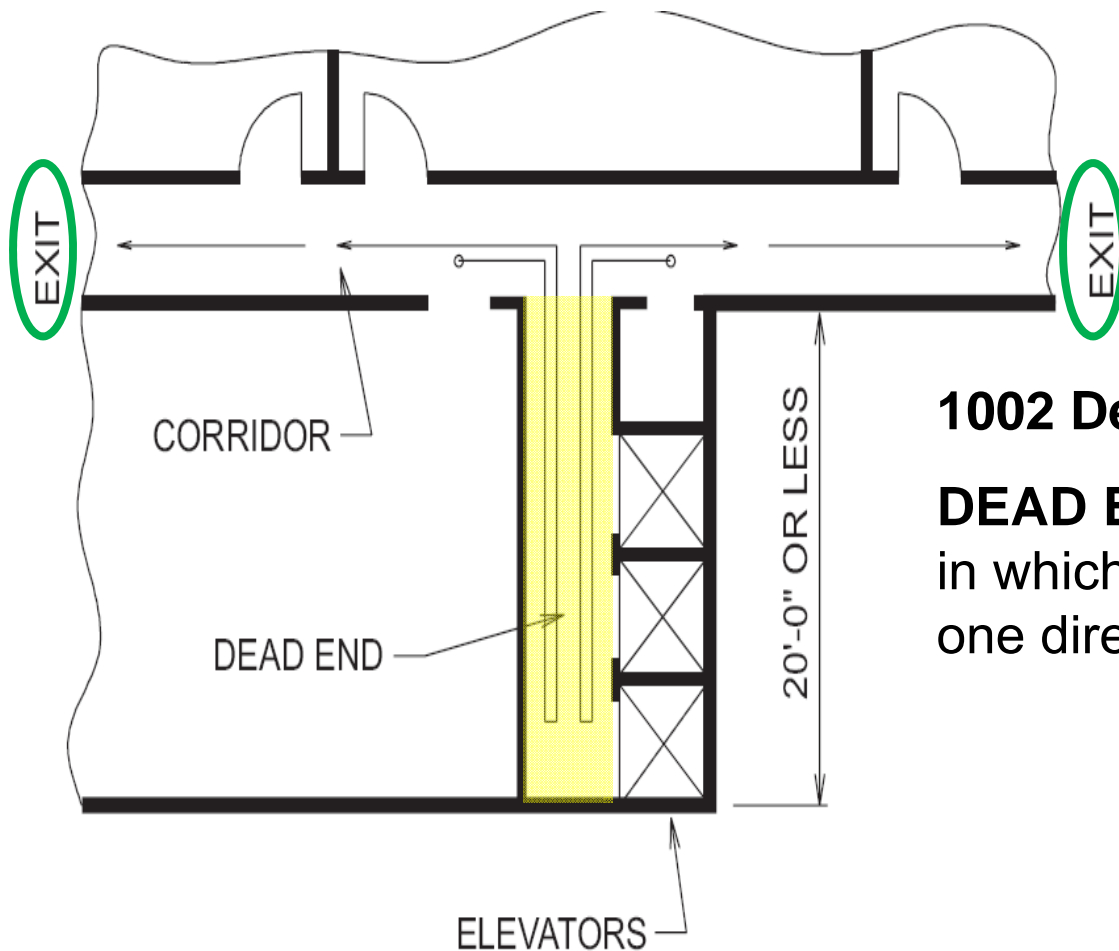
To an exit

Measured from the most remote point of the space

Common path of travel limited in length

Length of common path of travel is included in the normal travel distance limitation

1016.3 Dead ends. Where more than one exit or exit access doorway is required, the exit access shall be arranged such that there are no dead ends in corridors more than 20 feet (6096 mm) in length.



Exceptions:

- For certain I-3, B, F, and R-2 occupancies

1002 Definition.

DEAD END. A portion of a corridor in which the travel to an exit is in one direction only.

BC 1014.1 Spaces with one exit (including ground floor discharging at grade directly to the exterior in):

- A multi-story building (per 1018.1 Exception)
- 1st floor of a 1-story building (per 1018.1 Exception)
- A single-level building (per 1018.2 Item 3)

BC 1018.1 Exits within a story

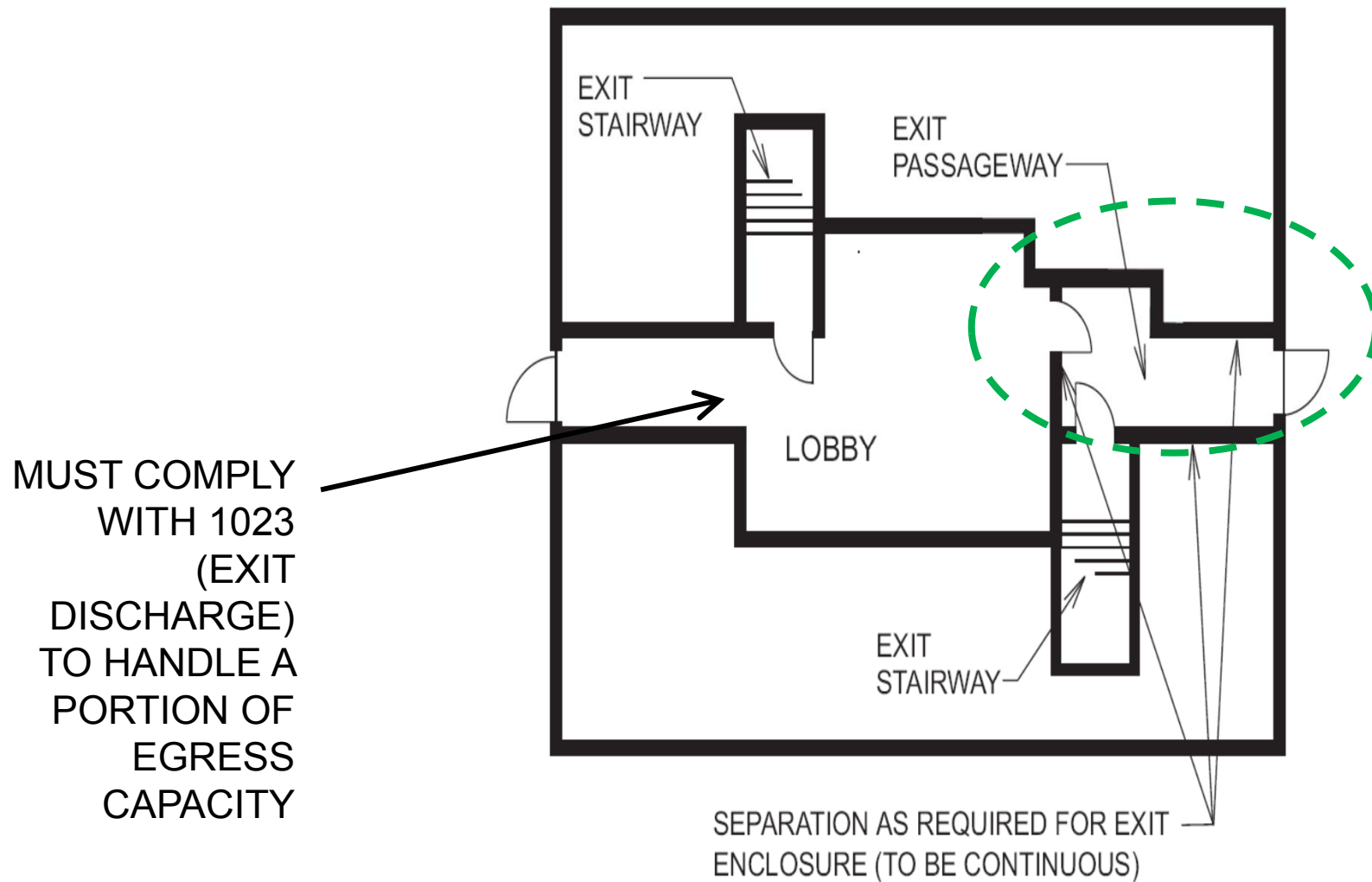
BC 1018.2 Buildings with one exit

Scissor stairs may be counted as 2 exit stairways in the following:

- In **R-2** occupancies with 2-hr-rated masonry (or equivalent) enclosure & separation, and 15 feet separation between exit doors
- In **B** occupancies of Type I or II construction $\leq 60'$ in height, ≤ 2000 SF/story, ≤ 50 feet travel distance, and with 2-hr-rated masonry (or equivalent) enclosure & separation, and 15 feet separation between exit doors

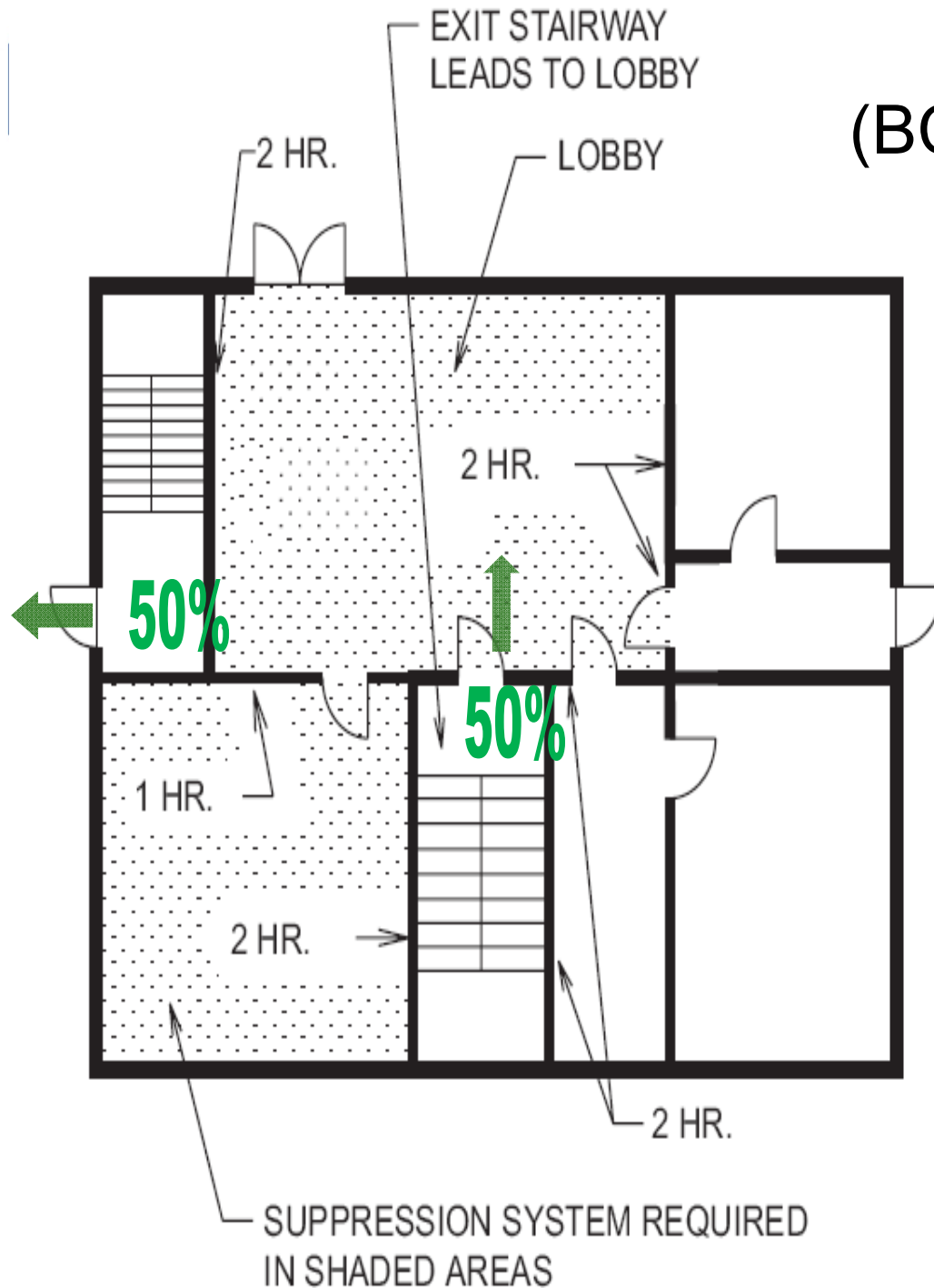
- Must be at least 1-hr. fire barrier, but not less than that required for connecting vertical exit enclosure
- Width per 1005.1, but no less than 44" (36" OK < 50 occupants)
- Openings & penetrations limitations similar to those of exit enclosure
- Fire-rated door required where exit stairway meets exit passageway
- Elevators shall not open into exit passageways

Exit Passageways (BC 1020)



- Directly to the exterior at grade
- With restrictions, 50% through a protected area (lobby) or a vestibule at the level of discharge
- With restrictions, 100 % through a protected area (lobby) in R-2 occupancies
- Through an egress court where exterior walls surrounding the court is protected per BC 1023.5

Exit Discharge Options (BC 1023.1 Exceptions 1)

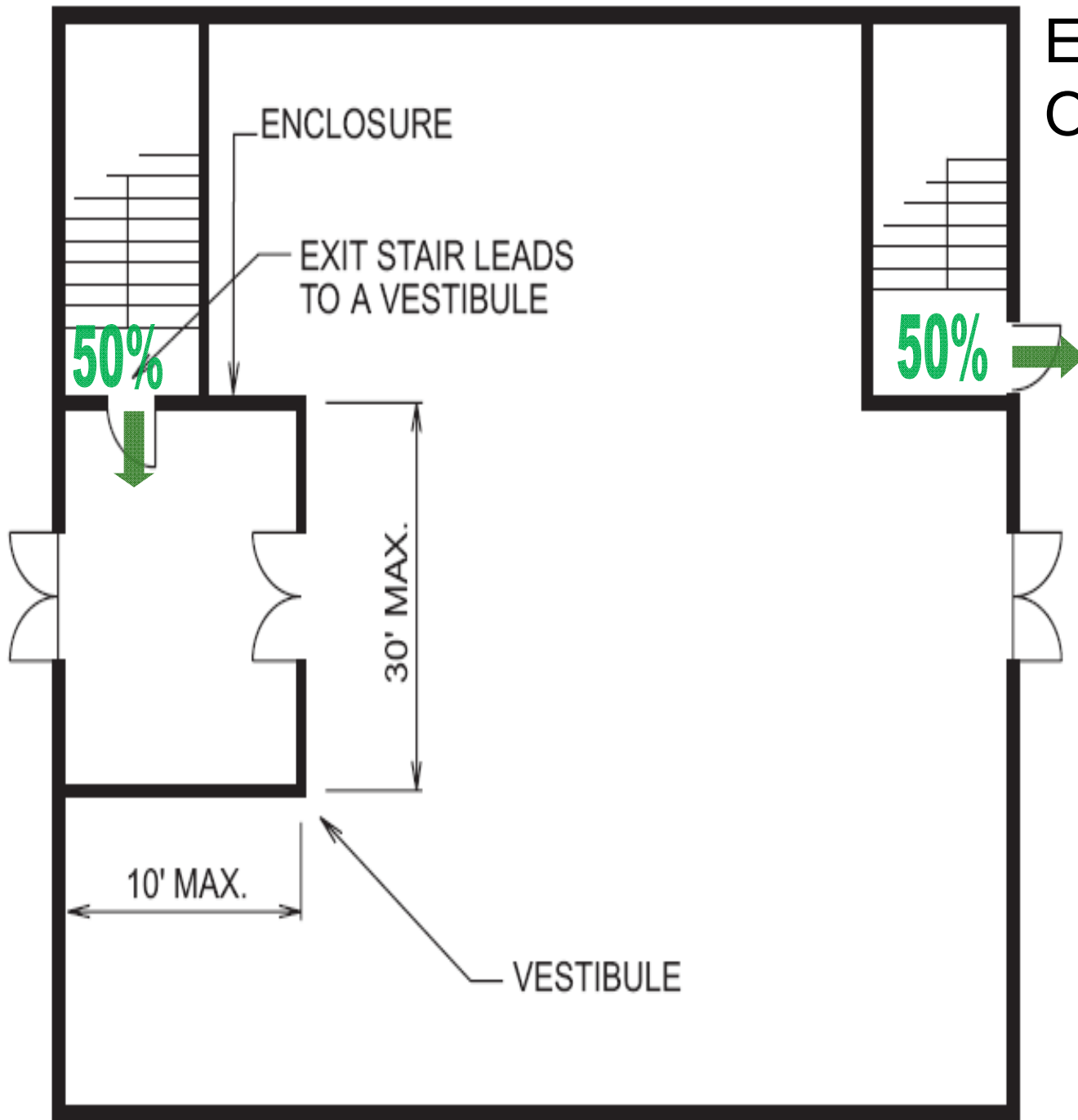


With restrictions, 50% through a protected area (lobby) at the level of discharge

In Group R-2, 100 % through a protected area (lobby), with these conditions:

- Egress must be in 2 DIFFERENT directions from the discharge points of all exit enclosure to the exterior of the building that are remote from each other
- Exit discharges must be arranged and constructed in way that they would not all be compromised at the same time, and
- The lobby must comply with conditions listed for protected area in 1023.1 exception 1

Exit Discharge Options



- With restrictions, 50% through a vestibule at the level of discharge

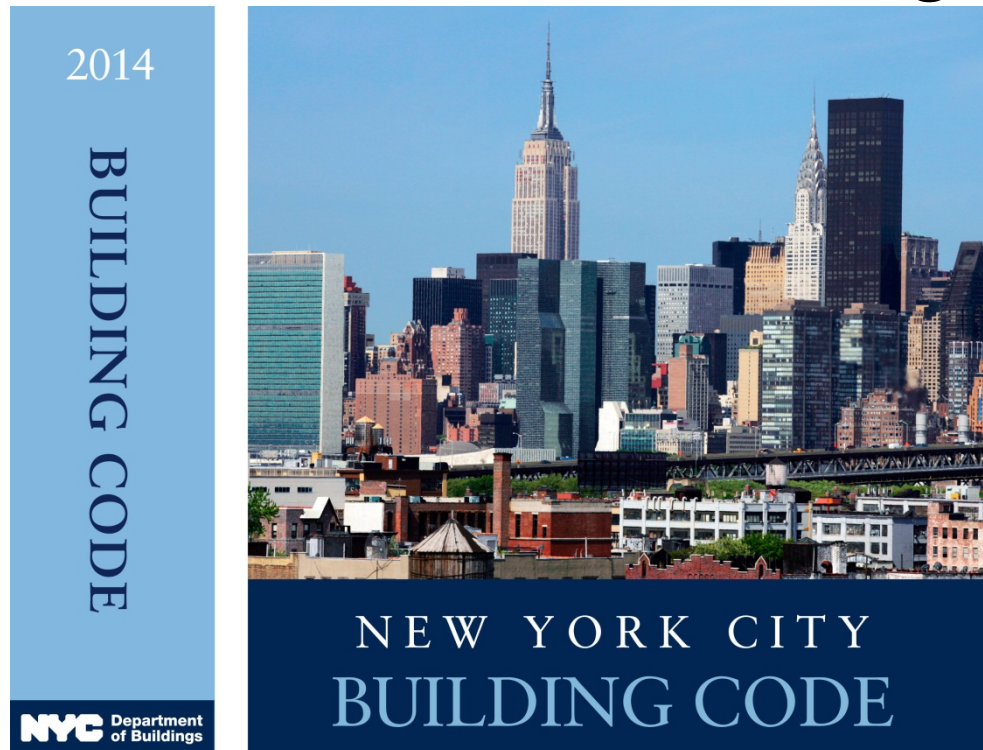
Additional Requirements for Assembly Use/Occupancies



In general, Assembly Group A occupancy includes, among others:

- The use of a building or structure or a portion thereof, excluding a dwelling unit, for the gathering together of any number of persons for purposes such as civic, social or religious functions, recreation, food or drink consumption, awaiting transportation, or similar group activities; or
- When occupied by 75 persons or more for educational or instructional purposes

Changes in Egress Provisions in the 2014 NYC Building Code



Code and Zoning Representative
Training Module 14.1.4

- Same egress width factors now apply to all occupancies

Stairways	Other egress components
0.3" per occupant	0.2" per occupant

- Automatic turnstiles now addressed

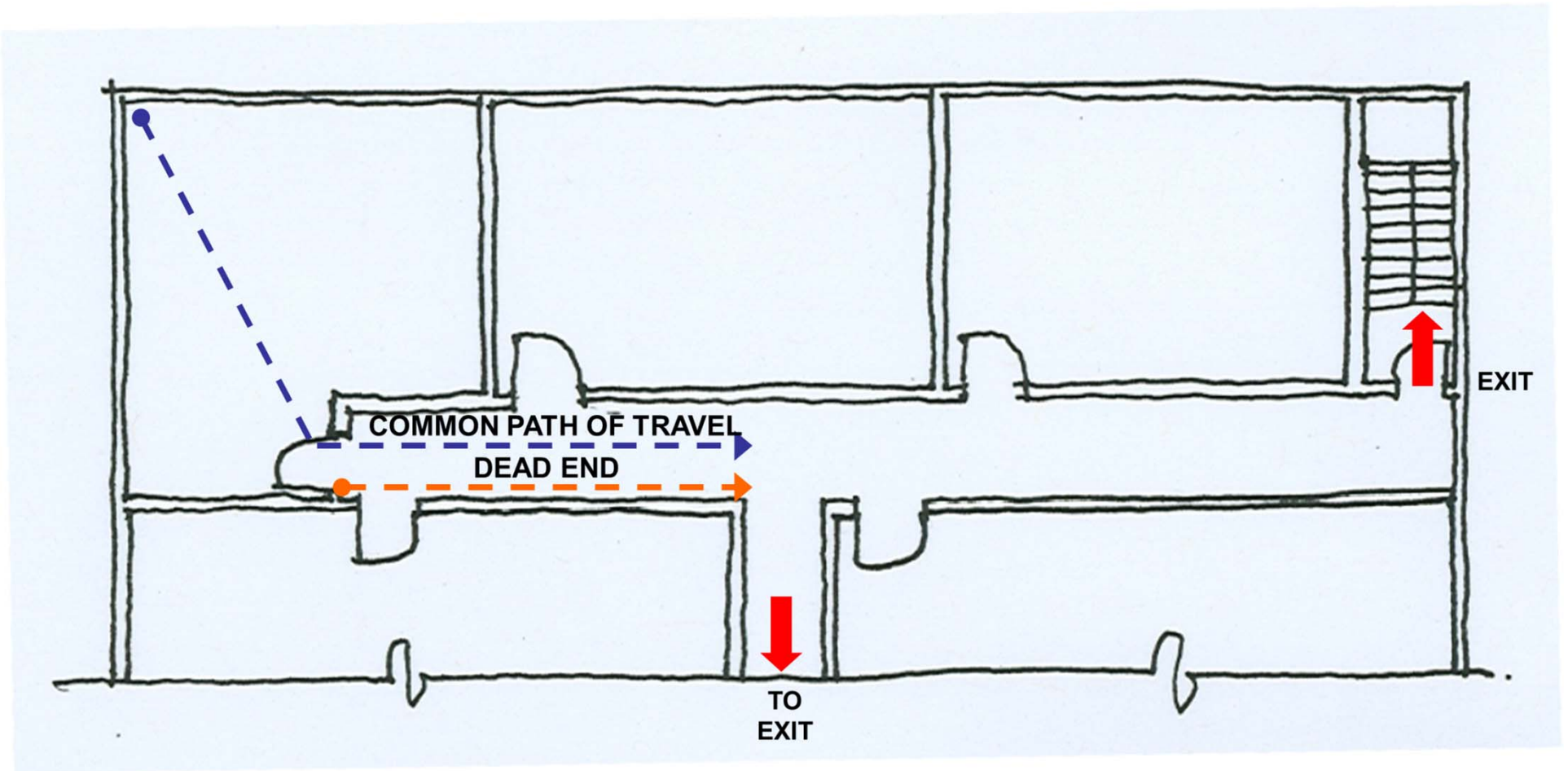
Specific conditions:

1. Min. of 32" width
2. 13 lbs breakaway
3. Connection to fire alarm system
4. Emergency power
5. And more...

For stairways serving ≤ 4 stories

2008 Code	2014 Code
Doors from egress side cannot be locked	Doors from egress side cannot be locked
Doors from stair side can be locked	Doors from stair side can be locked <u>only if “capable of being unlocked” from fire command station or front desk</u>

Common path of travel



- Provide technical requirements for luminous egress path markings
- Material must comply with either UL 1994 or ASTM E 2072 (1 foot-candle charging source)
- 68 Code RS 6-1 Photoluminescent path markings requirements and standards remain effective for pre-2014 Code buildings (generally 2 foot-candle charging source)

Automatic hold-open doors (LL17/2014)

- Green Code Task Force recommendation
- Allows up to 3 doors to be automatic-closing upon fire detection for one exit stairway within a building