

# COURSE 205

Filing Representative Training

for

Class 2 Code and Zoning Representatives

## **Includes:**

- Places of Assembly
- Façade
- Special Enforcement Team
- Public Challenge Process

# Places of Assembly

Ira Gluckman  
Senior Borough Commissioner

Code and Zoning Representative

Training Module 9.2

# Places of Public Assemblies



# Overview

1. History of Place Assembly (PA) from 1925 State Code up to the 2008 / 2014 NYC Construction Code. Why PA have evolved as a special category or occupancy.
2. Occupant loads for various PA spaces. The major groups (in each code) :
  - a. Fixed Seating
  - b. Eating & Drinking
  - c. House of Worship
  - d. Outdoor spaces
3. Exit classifications and travel distance. Requirements for doors, corridors and stair. Dead ends.
4. Seating regulations, clearances for aisles and access ways within the space. When ramps are acceptable. Walking surfaces, tread & risers, aisle illumination and step lighting.
5. Lighting and exit signage requirements. Sight line.
6. When sprinklers, fire alarms and smoke protection are required.
7. PA Forms and Case Study
8. Temporary Place Assembly. Required inspections, Fire and Police Department notifications. What is a fire Guard and how do they help to protect the public in temporary Place Assembly

# History

## PLACE OF ASSEMBLY

Two major tragedies triggered stricter regulations

New York night clubs are safer because of two unfortunate incidents:

### **Blue Angel Night Club – 1975**

**Fire killed 7 persons**

1. Local Law 41 of 1978
2. Cabaret defined – musical entertainment, singing, dancing in conjunction with eating & drinking.
3. Fire Guards
4. Sprinklers
5. Fire Alarms
6. This law instituted retroactive requirements.

### **Happy Land Social Club – 1990**

**Fire killed 87 persons**

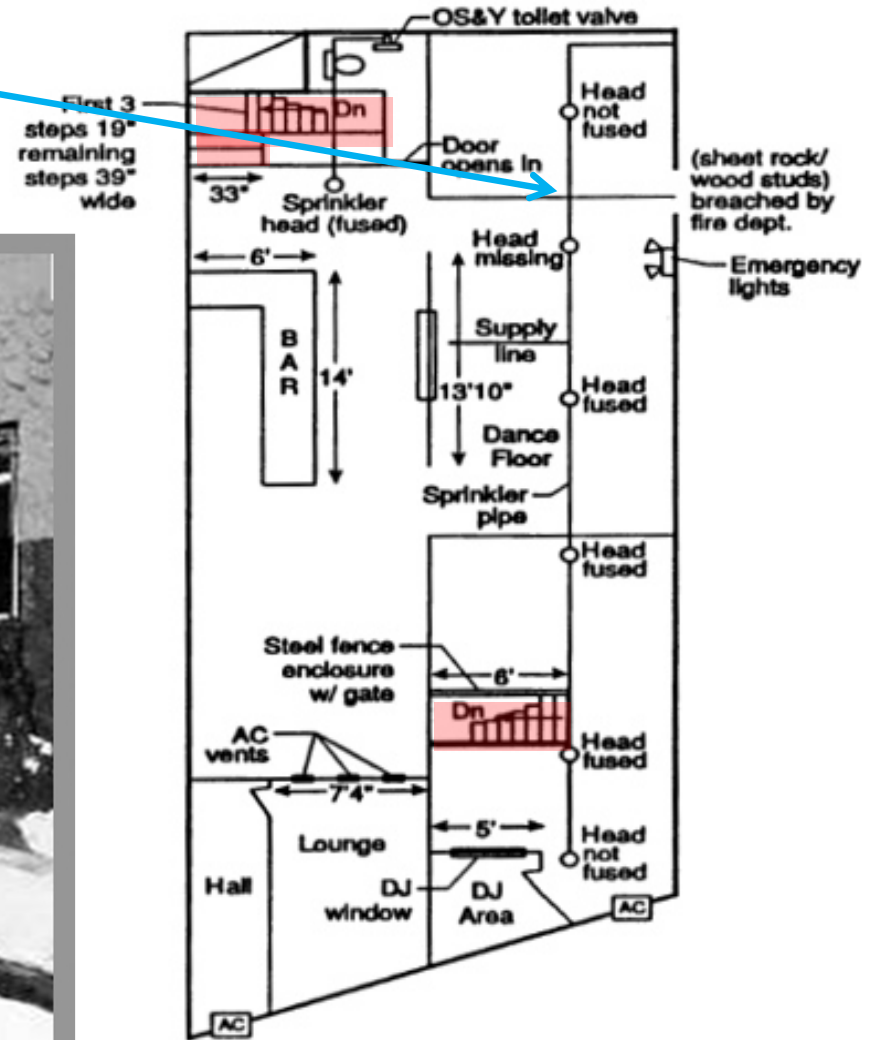
1. City creates Social Club Task Force.

# PLACE OF ASSEMBLY

1990 Happy Land Social club fire – Bronx, NY

Security Shutters at exit doors prevented clear passage.

Only one sprinkler line in the entire space.



The fire exits had been blocked to prevent people from entering without paying the cover charge. In the panic that ensued, a few people escaped by breaking a metal gate over one door. 87 people lost their lives in the fire.

February 3, 1984

Ms. Beverly L. Turell  
Business Promotion Coordinator  
Mayor's Office of Business Development  
17 John Street  
New York, New York 10038

Re: Exterior Roll

27-371 (d)

Dear Ms. Turell:

I have reviewed your letter of January 26, and the accompanying advertising brochure accompanying same, and you are advised as follows:

1. Exterior rolling shutters are subject to limitations on projections beyond the street line in Article 4 of the Building Code (copy enclosed).
2. Exterior rolling shutters are not permissible over the secondary means of egress.
3. Exterior rolling shutters are subject to combustibility limitations of Article 5 of the Building Code (abstract enclosed).

If you have any questions in regard to this response and the enclosures, I suggest that you schedule an appointment with our Executive Engineer, Mr. Irving Polsky (248-8777) to pursue this matter further.

Sincerely,

  
Irving E. Minkin, P.E.  
Deputy Commissioner

IEM:ow  
cc: Executive Engineer Polsky

1971

# PLACE OF ASSEMBLY

1984 memo - roll down gates



# 1925 New York State Law

**STATE STANDARD BUILDING CODE****PART III****RULES RELATING TO THE EQUIPMENT AND ARRANGEMENT OF PLACES OF PUBLIC ASSEMBLY HERETOFORE ESTABLISHED**

Law. Section 2, subdivision 12: "Places of Public Assembly" shall include (1) a theatre, (2) moving picture house, (3) assembly halls maintained or leased for pecuniary gain where one hundred or more persons may assemble for amusement or recreation, except (a) halls owned by churches or religious organizations, (b) hotels having fifty or more rooms, (c) state and county fair grounds and buildings connected therewith, (d) grounds or buildings of agricultural societies or associations receiving state aid, (e) structures of unusual character, such as amusement devices, temporary structure, concessions at carnivals, fairs, et cetera, unless otherwise specified by the industrial board in its rules.

**APPLICATION**

**Rule 300.** The provisions of Part III of the State Standard Building Code shall apply to all places of Public Assembly already established and existing as such on the date upon which Parts I and II become effective and shall also apply to all Places of Public Assembly in course of construction on that date, and to places for which plans have been filed and approved prior to that date.

**Rule 301.** For the purpose of this code, Places of Public Assembly shall be classified as (1) Theatres, (2) Assembly Halls.

Continues...

## Continuing...

### DEFINITIONS

**Rule 302.** (1) *Theatres.* This classification shall include all buildings or parts of buildings used or designed for theatrical, operatic or motion picture performances and exhibitions, accommodating more than 300 persons, except as provided for in paragraph 2 (b) of this rule.

(2) *Assembly Halls.* This classification includes: (a) All buildings or parts of buildings not included under "Theatres" in which 100 or more persons may assemble for amusement or recreation, and which is conducted for pecuniary gain. (b) An auditorium having a capacity not exceeding 500 persons in which there is no balcony, and the stage, if any, is a Class "B" type

[3]

NY state law comments:

**PA Spaces Included:**

- Theaters 300 +
- Moving picture houses 300 +
- Assembly hall of 100 + for amusement or recreation

**PA Spaces did not include:**

- Halls owned by religious organizations
- Hotels with 50 + rooms
- State & county fair grounds
- Agricultural societies receiving state aid
- Unusual Structures – amusements, temporary, concessions at carnivals, etc.

# **Local Laws, Bulletins, TPPN(s) & Memorandums**

Comments:

**Bulletin 2010-12 clarifies which code to use 1968 or 2008 :**

- \* Buildings designed according to the 2008 / 2014 code require Places of Assembly in those buildings to comply with the 2008 / 2004 code.

**New or existing Places of Assembly in buildings subject to 1968 code:**

- \* Provisions of Subchapter 8 of the 1968 code are applicable.

**Optional use of the 2008 Code:**

- \* Applicant may use the 2008 / 2014 Place of Assembly regulations provided it does not decrease the fire safety of the building.




NYC Buildings Department  
280 Broadway, New York, NY 10007

Robert D. LiMandri, Commissioner



### BUILDINGS BULLETIN 2010-012 Operational

<b>Supersedes:</b>	None	
<b>Issuer:</b>	Fatma M. Amer, P.E. First Deputy Commissioner	
<b>Issuance Date:</b>	May 3, 2010	
<b>Purpose:</b>	This document clarifies the meaning of the references to "this code" in sections AC 28-117.1 and AC 28-117.2 for the purposes of issuance of certificates of operation to places of assembly and temporary places of assembly	
<b>Related Code/Zoning Section(s):</b>	AC 28-101.3 AC 28-101.4.3 AC 28-101.4.4	AC 28-117.1 AC 28-117.2 BC 1024.1.1
<b>Subject(s):</b>	Places of assembly, certificate of operation; Temporary place of assembly, certificate of operation; Outdoor place of assembly, certificate of operation; Outdoor temporary place of assembly, certificate of operation	

**Background:** Section AC 28-117.1 requires a certificate of operation prior to the use or occupancy of a place of assembly:

"...It shall be unlawful to use or occupy any building or space as a place of assembly without a certificate of operation issued by the commissioner..."

The section further provides the condition of the issuance of a certificate of operation (with emphasis):

"...The commissioner shall not issue a certificate of operation unless the department determines that the space conforms substantially to the approved construction documents and to the provisions of this code and that the certificate of occupancy authorizes such use..."

Section AC 28-117.2 has similar requirements for temporary places of assembly.

The text in the above sections does not specify whether "this code" refers to the 2008 NYC Construction Codes (2008 Code) or prior codes. This bulletin serves to clarify the meaning of the references to "this code" in sections AC 28-117.1 and AC 28-117.2 for the purposes of issuance of certificates of operation.

#### Specifics:

##### I. Buildings constructed pursuant to the 2008 Code:

For buildings subject to or designed and constructed under the 2008 Code, places of assembly (including temporary places of assembly) in such buildings shall comply with the 2008 Code for the application of a certificate of operation.

##### II. Buildings constructed pursuant to the 1968 Building Code or prior codes:

###### A. New or existing places of assembly in buildings subject to the 1968 code or prior codes.

For the purposes of the application of a certificate of operation pursuant to section AC 28-117.1, for new or existing places of assembly (including temporary places of assembly) in buildings designed and constructed under the 1968 Code or prior codes, the Department shall interpret that substantial conformance with relevant provisions of "this code" means the 1968 Code. In such cases, the provisions of Subchapter 8 of the 1968 code are therefore applicable.

###### B. Optional use of the 2008 Code.

Pursuant to section AC 28-101.4.4, the applicant may elect the 2008 Code, provided however, that such election does not result in a decrease in fire safety of the building – otherwise, the 1968 Code must be utilized. The applicant must perform a comparative analysis of the relevant fire and egress safety provisions under both codes. If, for instance, the analysis found that the maximum travel distances in the 2008 Code are longer (more generous) than those in the 1968 Code, the 2008 Code may still be used if the occupants were afforded other safety measures found in the 2008 Code, including the exit to the street (for instance: wider stair width, the addition of smokeproof enclosures, emergency generators, additional sprinkler protection, NFPA 72 fire alarm upgrades, etc.). Such an analysis shall be provided by the applicant to the plan examiner for review and approval.

##### III. Outdoor places of assembly

New outdoor temporary or permanent places of assembly such as tents, platforms, stages, outdoor assembly seating, etc shall comply with the 2008 Code pursuant to section AC 28-101.4 including provisions related to places of assembly. Certificates of operation issued to outdoor places of assembly prior to the issuance of this bulletin may be renewed under the code with which the certificates were originally filed

# Building Code

-1938

-1968

-2008 / 2014



# PLACE OF ASSEMBLY

## 1938 Code – PA Definition C26-116.0

**(1.109). § C26-116.0 Place of assembly.** The term “place of assembly” shall mean a room or space which is occupied by seventy-five or more persons and which is used for educational, recreational or amusement purposes, and shall include assembly halls in school structures; dance halls; cabarets; night clubs; restaurants; any room or space used for public or private banquets, feasts, socials, card parties or weddings; lodge and meeting halls or rooms; skating rinks; gymnasiums; swimming pools; billiard, bowling, and table tennis rooms; halls or rooms used for public or private catering purposes; funeral parlors; markets; recreation rooms; concert halls; broadcasting studios; school and college auditoriums; and all other places of similar type of occupancy. Nothing in this section shall be construed to apply to instruction rooms, libraries, lecture rooms, recreation rooms, lunchrooms or classrooms in elementary or high schools, as defined in section C26-132.0 of this code, or in colleges which are licensed to operate by the state board of regents, when such rooms are used solely and exclusively by the students of such schools or colleges.

The term “licensed place of public assembly” as used in this article shall mean any room or space which is used or occupied as a “place of assembly” as defined in this section, when the lawful use, occupancy or operation of such place is contingent upon the issuance of a license by the fire department, the police department or the department of licenses.

Whenever the words “place of assembly” are used in this chapter, such words shall be construed as if followed by the words “or any room or space which is occupied for or is intended, arranged, or designed to be occupied for such use.”

Nothing in this section shall be construed to apply to any room or space used exclusively for dwelling purposes in a private dwelling as defined in section C26-122.0 of this code or used exclusively for dwelling purposes as defined in subdivision one of section four of the multiple dwelling law, nor shall this section be applicable to places of incarceration, an asylum, a convent, a monastery, a church, a synagogue, or a theatre, motion picture theatre, opera house or concert hall subject to and complying with the provisions of article thirteen of this code and which are required to obtain a license as a “licensed place of public assembly.” *(Section repealed and re-enacted by Local Law 29 of 1943 in effect July 24, 1943.)*

1938 code comments:

### **Place of Assembly Applies to:**

- A room or space occupied by 75 +

### **Not Applicable:**

Instruction Rooms, Libraries, Lecture Halls, Recreation Rooms, Lunch Rooms, Class Rooms in Elementary, H.S. & Colleges.

Private Dwellings, Jails, Asylums, Convents, Monasteries & Churches.

# PLACE OF ASSEMBLY 1938 Code - School Memorandum

As per this DOB memo PA permits are not required for certain uses in 1938 code buildings.



DEPARTMENT OF BUILDINGS

EXECUTIVE OFFICES  
60 HUDSON STREET, NEW YORK, NY 10013

CHARLES M. SMITH, Jr., E.A., Commissioner

August 17, 1968

Mr. Michael M. Robbins, Ass. AIA  
Wank Adams Slavin Associates  
Architects and Engineers  
740 Broadway - 10th Floor  
New York, N.Y. 10003

GEORGE E. BERGER, P.E.  
Assistant Commissioner  
Building Construction

RE: Fordham University Law School  
at Lincoln Center, Manhattan

Dear Mr. Robbins:

My letter to you dated July 12, 1968 in regards to classrooms which have an occupancy of 75 or more persons seems to have caused some confusion and requires clarification.

Although C26-116.0 of the 1938 Building Code, definition of Place of Assembly, includes a room or space which is used for educational purposes, it clearly exempts "instruction rooms, libraries, lecture rooms, recreation rooms, lunch rooms or classrooms in elementary or high schools, as defined in Section C26-132.0 or in colleges which are licensed to operate by the state board of regents, when such rooms are used solely and exclusively by the students of such schools or colleges".

This is not the case for occupancies that came into effect under the 1968 Building Code. Therefore, any room or space that has an occupancy of 75 or more persons under an application covered by the 1968 Building Code will require a Place of Assembly Permit as per Section 27-232. Any such room or space existing under the 1938 Building Code will not be considered a Place of Assembly.

I trust this shall clarify any confusion in this matter.

Very truly yours,

George E. Berger, P.E.  
Assistant Commissioner

GEB:lg

cc: Executive Staff  
Chief Joseph DeMeo, Fire Department  
Borough Superintendents

2454

**\*\* PLACE OF ASSEMBLY.**-An enclosed room or space in which **seventy-five** or more persons gather for **religious, recreational, educational,** political or social purposes, or for the consumption of food or drink, or for similar group activities or which is designed for use by seventy-five or more persons gathered for any of the above reasons, but excluding such spaces in dwelling units; or an **outdoor space in which two hundred or more persons gather for any of the above** reasons or which is designed for use by two hundred or more persons gathered for any of the above reasons.

**\*\**Local Law 23-1990.***

Repealed- See next slide

Local Law 23/1990  
repealed on July 1, 2008

### BUILDING CODE AMENDMENTS

The following is a listing of the Local Laws amending the Building Code during the period from December 6, 1968 through July 1, 2008.

For the date of the Mayor's approval of the Local Laws listed below, see "Dates of N.Y.C. Local Laws approved by the Mayor," in this index.

#### Title 26: Housing and Buildings

Item Amended		
Old Section Number	New Section Number	Local Law(s)
[641-1.0] - [641-3.0]	26-101 - 103 (Repealed)	33-2007
[4.0]	104 (Repealed)	33-2007; 91-1989; 45-1984
[641-5.0] - [642-1.0]	105 - 111 (Repealed)	33-2007
[642-2.0]	112 (Repealed)	33-2007; 107-1993
[642-3.0] - [643a-3.0]	113 - 117 (Repealed)	33-2007
[4.0]	118 (Repealed)	33-2007; 48-2006; 48-1983; 45-1983
[5.0] - [7.0]	119 - 121 (Repealed)	33-2007
[8.0]	122 (Repealed)	33-2007; 17-1982
[9.0] - [10.0(b)]	123 - 124(b) (Repealed)	33-2007
[10.0(c)]	124(c) (Repealed)	33-2007; 107-1993
[11.0]	125 (Repealed)	33-2007; 65-1997; 62-1991; 80-1985; 17-1982
[11.0(b)]	125(b) (Repealed)	33-2007; 80-1985; 17-1982
[11.0(c)]	125(c) (Repealed)	33-2007; 16-1984
[11.0(e)]	125(e) (Repealed)	33-2007; 27-1996
[11.0(g)]	125(g) (Repealed)	33-2007; 77-2005;

Item Amended		
Old Section Number	New Section Number	Local Law(s)
[12.0(e)]	126(e) (Repealed)	33-2007; 37-2007
[12.1(a)]	126.1(a) (Repealed)	33-2007; 03-1998
[12.1(a)(e)]	126.1(a)(e) (Repealed)	33-2007; 65-1997; 80-1985
[12.1(a)(f)]	126.1(a)(f) (Repealed)	33-2007; 37-2007
[12.1(b)(c)(d)]	126.1(b)(c)(d) (Repealed)	33-2007
[12.2(a)(f)(g)(h)(i)(j)(k)]	126.2(a)(f)(g)(h)(i)(j)(k) (Repealed)	33-2007; 03-1998; 80-1985
[12.2(b)(c)(d)(e)]	126.2(b)(c)(d)(e) (Repealed)	33-2007
[12.2(f)]	126.2(f) (Repealed)	33-2007; 02-2000
[12.3]	126.3 (Repealed)	33-2007; 80-1985
[12.4 (1) - (9)]	126.4(1) - (9) (Repealed)	33-2007
[12.4 (10)]	126.4(10) (Repealed)	14-2001; 03-1998; 80-1985
[12.5]	126.5 (Repealed)	33-2007
[13.0]	127 (Repealed)	33-2007; 23-1990
	127.1 (Repealed)	33-2007; 23-1990
	127.2 (Repealed)	33-2007; 06-1993
	127.3 (Repealed)	33-2007; 14-2001
	127.3(g) (Repealed)	33-2007; 31-2005
[14.0]	128	33-2007;

- You will not find the definition of PA in BC chapter 2, section 202 (definitions)
- Refer to Occupancy Classification, BC section 303.1

# Assembly with fewer than 75 persons

# PLACE OF ASSEMBLY

## Assembly fewer than 75 persons



**BUILDINGS BULLETIN 2008-001**  
Code Interpretation

Supersedes: None

Issuer: Fatma M. Amer, PE,  
Deputy Commissioner and Chief Code Engineer

Issuance Date: June 26, 2008

Purpose: This document is to clarify that accessory spaces used for assembly purposes with occupant loads of less than 75 are not subject to the 10% per story limits and are treated as the main occupancy for code purposes.

Related Code Sections: BC 303.1 BC 508.3.1

Subject(s): Assembly, accessory assembly occupancies  
Occupancy classification, accessory assembly occupancies

The provisions of Section BC 303.1, Exception 1, provides that:

"A room or space used for assembly purposes by fewer than 75 persons and accessory to another occupancy shall be included as part of that occupancy."

Therefore, such rooms or spaces shall not be classified as Group A, but are instead classified as the occupancy group of the main occupancy. Accordingly, the provisions of Section 508.3, Mixed Occupancies, are inapplicable, because the occupancy group for the assembly uses and the non-assembly uses are the same.

**EXAMPLE:** An apartment building includes the following two common use spaces: an indoor swimming pool occupying substantially all of the 10<sup>th</sup> story, and a recreational roof garden on the roof above the swimming pool. In this case, both the swimming pool and the roof garden are for the use of the residential building tenants – and are therefore subsidiary and accessory to the R-2 occupancy. If the occupant load of the accessory indoor swimming pool is less than 75, then the pool is not classified as A-3 but rather R-2. Similarly, if the occupant load of the roof garden is less than 75, the roof garden is classified as R-2 and not A-3. The effect of their designations as R-2 occupancies is that they are not treated as "Mixed Occupancies" per Section BC 508.3, meaning that they are not subjected to the 10% per story limitation of Section 508.3.1 and are not subject to Group A code requirements.

Buildings Bulletin 2008-001  
1 of 1

## Buildings Bulletin 2008-001

### Code Interpretation

The provisions of Section BC 303.1, Exception 1, provides that:

"A room or space used for assembly purposes by fewer than 75 persons and accessory to another occupancy shall be included as part of that occupancy."

Therefore, such rooms or spaces shall not be classified as Group A, but are instead classified as the occupancy group of the main occupancy. Accordingly, the provisions of Section 508.3, Mixed Occupancies, are inapplicable, because the occupancy group for the assembly uses and the non-assembly uses are the same.

**EXAMPLE:** An apartment building includes the following two common use spaces: an indoor swimming pool occupying substantially all of the 10<sup>th</sup> story, and a recreational roof garden on the roof above the swimming pool. In this case, both the swimming pool and the roof garden are for the use of the residential building tenants – and are therefore subsidiary and accessory to the R-2 occupancy. If the occupant load of the accessory indoor swimming pool is less than 75, then the pool is not classified as A-3 but rather R-2. Similarly, if the occupant load of the roof garden is less than 75, the roof garden is classified as R-2 and not A-3. The effect of their designations as R-2 occupancies is that they are not treated as "Mixed Occupancies" per Section BC 508.3, meaning that they are not subjected to the 10% per story limitation of Section 508.3.1 and are not subject to Group A code requirements.



# Occupancy Classifications

**ARTICLE 4. CLASSIFICATIONS**

**Sub-Article 1. Classification by Occupancy**

(3.1). § C26-235.0 **General.**—For the purposes of this title all structures shall be classified, with respect to occupancy, as follows:

(3.1.1). a. **Public Buildings.**—Public buildings are structures or parts of structures in which persons congregate for civic, political, educational, religious or recreational purposes, or in which persons are harbored to receive medical, charitable or other care of treatment, or in which persons are held or detained by reason of public or civic duty, or for correctional purposes, including among others, court houses, schools, colleges, libraries, museums, exhibition buildings, lecture halls, churches, assembly halls, lodge rooms, club houses with more than five sleeping rooms, dance halls, theatres, bath houses, hospitals, asylums, armories, fire houses, police stations, jails and passenger depots.

### ARTICLE 8 OCCUPANCY GROUP F- ASSEMBLY

\*§[C26-307.1] 27-254 **Classification.**-Buildings and spaces exclusive of dwelling units shall be classified in the assembly occupancy group when they are designed for use by any number of persons for religious, recreational, political or social purposes, or for the consumption of food or drink or for similar group activities, or when occupied by seventy-five people or more for educational purposes. When such occupancies are enclosed and contain or are designed for use by seventy-five or more persons or are outdoor spaces and contain or are designed for use by two hundred or more persons, they shall comply with the requirements of subchapter eight of this chapter for places of assembly.

*\*Local Law 23-1990.*

§[C26-307.2] 27-255 **Occupancy group F-1.**-Shall include those buildings and spaces in which, during the major period of occupancy, the persons assembled comprise a seated or otherwise passive audience to a performance or presentation, and have their attention focused in a common direction or at a common subject. Occupancy group F-1 consists of two subdivisions F-1a and F-1b.

- (a) Occupancy group F-1a.-Includes buildings and spaces in which scenery and scenic elements are used.
- (b) Occupancy group F-1b.-Includes buildings and spaces in which scenery and scenic elements are not used.

§[C26-307.3] 27-256 **Occupancy group F-2.**-Shall include all outdoor structures and spaces.

§[C26-307.4] 27-257 **Occupancy group F-3.**-Shall include buildings and spaces in which the persons assembled are physically active and do not have a common center of attention.

§[C26-307.5] 27-258 **Occupancy group F-4.** Shall include buildings and spaces in which persons assemble for dancing or for the consumption of food or drink, or for any combination of dancing, eating, drinking, or entertainment.

**\*TABLE 3-2 TYPICAL OCCUPANCIES  
FOR OCCUPANCY CLASSIFICATION**

Occupancy Group	Designation	Representative Occupancies
[ASSEMBLY	F-1a	Theaters; playhouses; opera houses]***
	F-1b	Churches; lecture halls; court rooms; convention halls; concert halls; sports arenas; planetariums; motion picture theaters
	F-2	Grandstands; bleachers; stadiums; drive-in theaters; amusement attractions and devices; bandstands; skating rinks
	F-3	Exhibition halls; galleries; gymnasiums; museums; passenger terminals; bowling alleys; billiard parlors; skating rinks
	F-4	Restaurants; night clubs; cabarets; dance halls; ballrooms; banquet rooms; cafeterias; snack bars; taverns; coffee houses

**\*This list of occupancies is representative only and is not complete. See reference standard RS 3-3 for additional listings.**

**\*\*See article ten of subchapter seven of this chapter.**

**\*\*\*Copy in brackets not enacted but probably intended.**

**303.1 Assembly Group A.** Assembly Group A occupancy includes, among others, the use of a building or structure or a portion thereof, excluding a dwelling unit, for the gathering together of any number of persons for purposes such as civic, social or religious functions, recreation, food or drink consumption, awaiting transportation, or similar group activities or when occupied by 75 persons or more for educational or instructional purposes.

**Exceptions:**

1. A building or nonaccessory tenant space used for assembly purposes with a occupant load of fewer than 75 persons shall be classified as a Group B occupancy, except that the number of plumbing fixtures for such a building or space is permitted to be calculated in accordance with the requirements for assembly occupancies.

2. A building or space used for assembly purposes with an occupant load of fewer than 75 persons and accessory to another occupancy shall be classified as a Group B occupancy or part of that occupancy, except that the number of plumbing fixtures for such a room or space is permitted to be calculated in accordance with the requirements for assembly occupancies.

Assembly occupancies shall include the following:

**A-1** Assembly uses, usually with fixed seating, intended for the production and viewing of the performing arts or motion pictures including, but not limited to:

- Motion picture theaters
- Symphony and concert halls
- Television and radio studios admitting an audience
- Theaters

## **2008 / 2014 Code:** Chapter 3 section BC 303.1 (3 of 5)

**A-2** Assembly uses intended for food and/or drink consumption including, but not limited to:

- Banquet halls
- Cabarets
- Cafeterias, except as provided for in A-3
- Dance halls
- Night clubs
- Restaurants
- Taverns and bars

**A-3** Assembly uses intended for worship, recreation or amusement and other assembly uses not classified elsewhere in Group A including, but not limited to:

- Amusement arcades
- Art galleries
- Bowling alleys
- Cafeterias for children up to and including the 12<sup>th</sup> Grade.
- Classrooms and instructional rooms with 75 persons or more; such rooms with fewer than 75 persons shall be classified as Group B or E
- Community halls
- Courtrooms
- Custodial care facilities with 75 or more persons, providing care to persons over the age of 2, where no more than four occupants are incapable of responding to an emergency situation without physical assistance from staff.
- Courtrooms
- Custodial care facilities with 75 or more persons, providing care to persons over the age of 2, where no more than four occupants are incapable of responding to an emergency situation without physical assistance from staff.
- Dance studio or instruction (not including food or drink consumption)
- Exhibition halls
- Funeral parlors
- Gymnasiums (without spectator seating)
- Houses of worship
- Indoor swimming pools (without spectator seating)
- Indoor tennis courts (without spectator seating)
- Lecture halls
- Museums
- Waiting areas in transportation terminals
- Pool and billiard parlors
- School auditoriums



**2008 / 2014 Code:** Chapter 3 section BC 303.1 (5 of 5)

**A-4** Assembly uses intended for viewing of indoor sporting events and activities with spectator seating including, but not limited to:

- Arenas
  - Skating rinks
  - Swimming pools
  - Tennis courts
- 

**A-5** Assembly uses intended for participation in or viewing outdoor activities including, but not limited to:

- Amusement park structures
- Bleachers
- Grandstands
- Stadiums

**303.2 Certificate of Operation. A Certificate of Operation shall be required, as per Section 28-117.1, for the following places of assembly:**

1. Indoor places of assembly used or intended for use by 75 persons or more, including open spaces at 20 feet (6096 mm) or more above or below grade, such as roofs or roof terraces.
2. Outdoor places of assembly used and intended for use by 200 persons or more.

**Comment:**

Outdoor spaces (rooftop dining) where the occupancy must pass through interior spaces such as (stairs and corridors) are considered PA spaces when the occupancy reaches 75 persons.

**1968 Code – Table 6.2**

**2008 / \*2014 Code – Table 1004.1.2 / \*Table 1004.1.1**

**...Number of persons per square foot is provided**

# **Occupancy Load** greater than 300 persons

**1024.2 / \*1028.2 Assembly with occupant load greater than 300.**

Buildings or spaces occupied by Group A that have an occupant load of greater than 300 shall be provided with a main exit. Such main exit shall be of sufficient width to accommodate not less than one-half of the occupant load, but such width shall not be less than the total required width of all means of egress leading to the exit. Where the main use or dominant occupancy of the building is classified as Group A, the main exit shall front on at least one street or an unoccupied space of not less than 10 feet (3048 mm) in width that adjoins a street or public way. Other additional exits shall provide an egress capacity for at least one-half of the total occupant load served by that level and comply with Section 1014.2.

**Exception:** In assembly occupancies where there is no well-defined main exit or where multiple main exits are provided, exits shall be permitted to be distributed around the perimeter of the building provided that the total width of egress is not less than 100 percent of the required width.

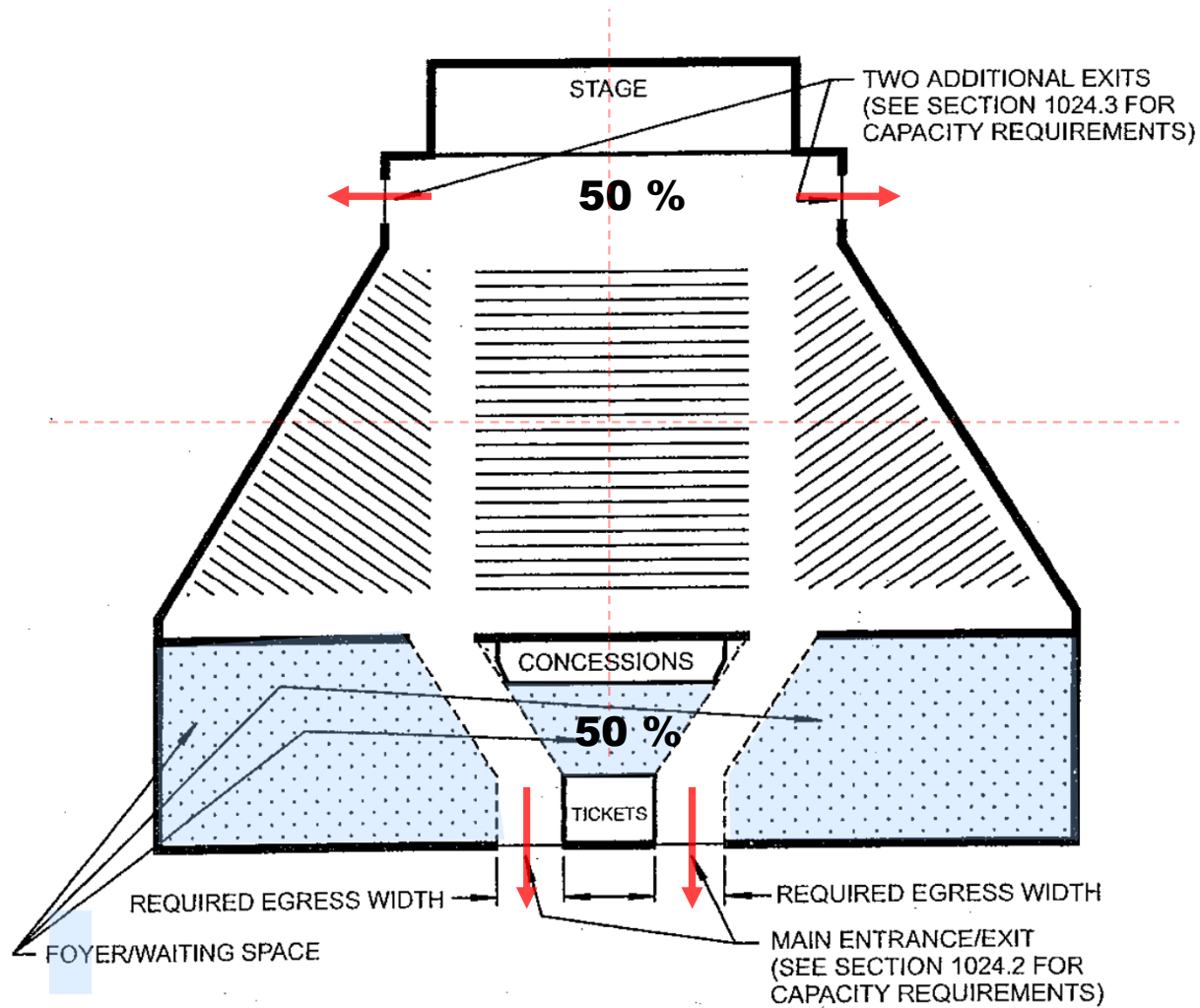
**1024.2.1 Exit classification.** Where the net floor area of an assembly space, exclusive of stage area, is less than 12 square feet (1.1 m<sup>2</sup>) per person, such spaces shall also comply with Section 1024.17 / \*1028.17

Studies have indicated that in any emergency, occupants will tend to egress via the same path of travel used to enter the room and building.

Therefore, a main entrance to the building must also be designed as the main exit to accommodate this behavior, even if the required exit capacity might be more easily accommodated elsewhere.

The main entrance (and exit) must be sized to accommodate at least 50 percent of the total occupant load.

# PLACE OF ASSEMBLY diagram



**Group A with occupancy over 300 persons**

# Exit Classifications



**§[C26-801.10] 27-534 Exit openings. -**

Exit openings from assembly spaces shall comply with the following:

**(a) Capacity. -** The capacity of exit openings shall be listed as in table 8-1, based on the number of occupants for whom the opening satisfies the primary travel distance requirement.

**(b) Width. -** Exit openings shall be at least thirty-six inches wide for single doors and at least sixty-six inches but not more than eighty-eight inches wide for doors swinging in pairs, except that in assembly spaces having an occupant load of over three hundred persons, single door openings shall be at least forty-four inches wide.

**(c) Classification. -** Exit openings from assembly spaces shall be classified as follows:

**Class 1.** Exit openings that are used for normal entry to the assembly space, and that open directly to a safe area or to an open exterior space.

**Class 2.** Exit openings that are not used for normal entry to the assembly space, and that open directly to a safe area or to an open exterior space.

**Class 3.** Exit openings that open from the assembly space into corridors, exit passageways, or vertical exits.

**(d) Distribution of classes. -** The required exit capacity from F-2 places of assembly, and from all other assembly spaces in which the net floor area, exclusive of stage area, is twelve square feet or more per person may be provided by exit openings of any class. The

may be provided by exit openings of any class. The required exit capacity from assembly spaces in which the net floor area, exclusive of stage area, is less than twelve square feet per person shall be distributed so that exit openings of each class are provided to comply with the following requirements:

1. For assembly spaces in which the mean floor level is not more than fifteen feet above or below the adjoining grade elevation, the exit capacity shall be distributed as follows:

- Class 1- not less than forty percent
- Class 2- not more than sixty percent
- Class 3- not more than forty percent

2. For assembly spaces in which the mean floor level is more than fifteen feet, but not more than thirty feet, above or below the adjoining grade elevation, the exit capacity shall be distributed as follows:

Class 1 - not less than sixty percent

Class 3 - not more than forty percent

3. For assembly spaces in which the mean floor level is more than thirty feet above or below the adjoining grade elevation, the exit capacity shall be distributed as follows:

Class 1- not less than one hundred percent

**1024.17 / \*1028.17 Places of assembly with an occupant load of less than 12 square feet per person.** Places of assembly in which the net floor area, exclusive of stage area, is less than 12 square feet (1.11m<sup>2</sup>) per person shall have special egress provisions in accordance with this section.

**1024.17.1 / \*1028.17.1 Classification of exit openings.** For the purposes of ‡ Section 1024.17, exit openings shall be classified as follows:

1. **Class 1**—Exit openings that are used for normal entry to the assembly space, and that open directly to a safe area or to an open exterior space.
2. **Class 2**—Exit openings that are not used for normal entry to the assembly space, and that open directly to a safe area or to an open exterior space.
3. **Class 3**—Exit openings that open from the assembly space into corridors, exit passageways or vertical exits.

# Safe Area

## **Safe Area:**

An interior or exterior space that serves as a means of egress by providing a transitional area from, and that also serve as normal means of entry to, an assembly space.

**2008 / 2014 Code – Definition in BC 1002**

**Safe area may be required due to:**

1. High density occupancy space (12 sq. ft. per person or less)
2. Height to adjoining grade
3. Exit classification requirement
4. Class 1 & class 2 exits are required to discharge directly to open exterior space or safe area

**Code Sections:**

- 1938/1968 Code - §[C26-801.11] AC 27-535
- 2008 / \*2014 Code – BC 1024.17 / \*1028.17

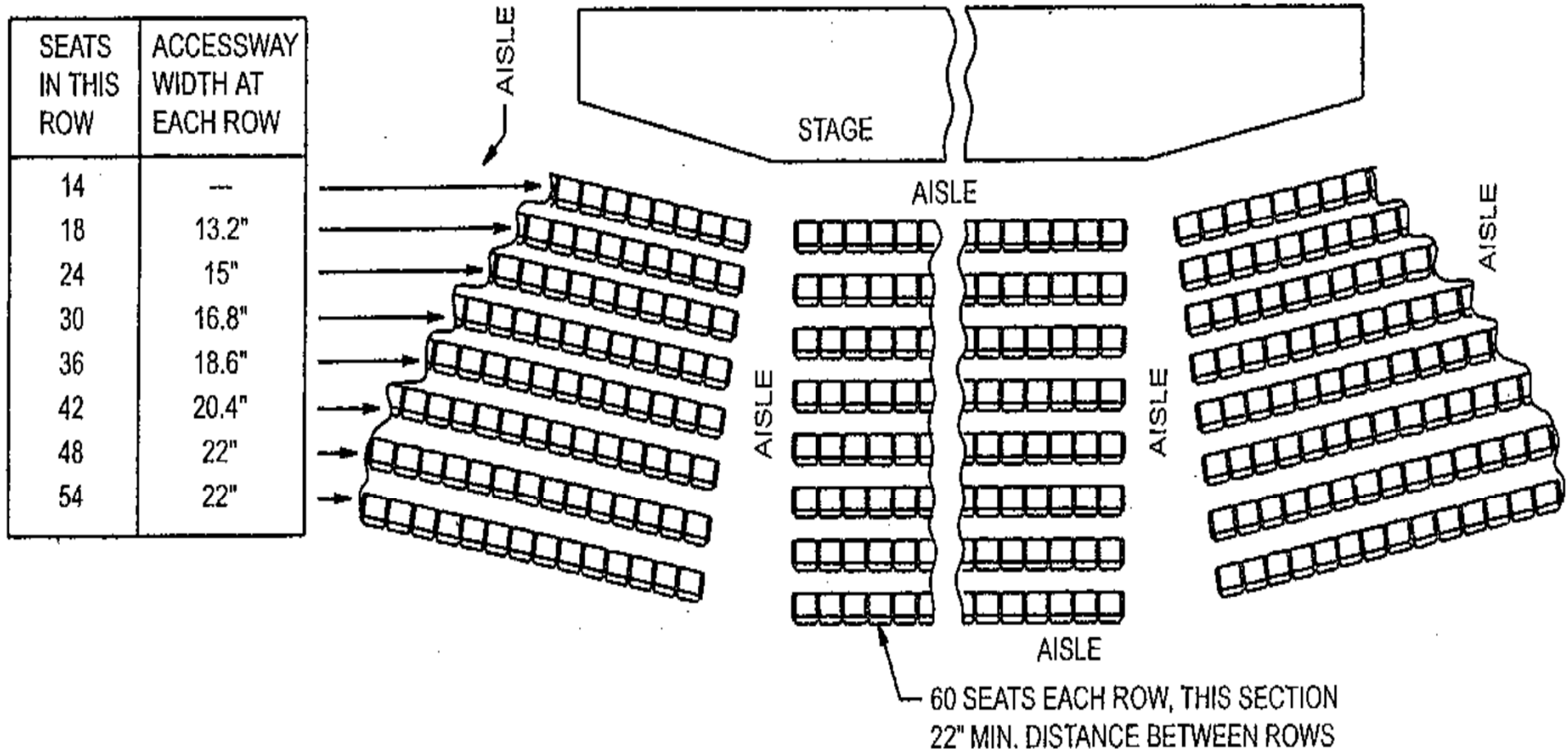
## Safe areas shall comply with the following:

1. Two hour fire rating between safe area and place of assembly.
2. Should be in line and in the direction of travel from place of assembly.
3. Not more than 6 feet above or below place of assembly.
4. Ventilation systems shall not be connected to other systems or spaces.
5. If connected fire dampers and smoke detectors are required.
6. Ok to have multiple place of assemblies discharge into the same safe area.
7. This type of safe area should have an occupant load of the largest space plus 50% of the other spaces.
8. Occupant load is 3 square feet per person
9. Minimum dimension 8 feet wide by 8 feet high.

- *Egress Loads* – is how many persons can fit through a door of a particular width
- *Exit Door Size* – is the minimum dimension of a door or pair of doors
- *Travel Distance* – is the maximum distance a person can travel from the furthest location in a room to the exit door. This distance is not necessarily a diagonal line because almost all PA rooms have obstructions such as chairs & tables. In a gymnasium with no obstructions you may use a diagonal. There are primary & secondary travel distances used in PA calculations.

- **Aisles & Cross Aisles** - Purpose to create an even flow of occupant egress. Minimum aisle width also to accommodate people's movement in two directions. Required aisles are a function of occupant load. Each aisle must accommodate its catchment area. Aisles where egress is possible in two directions shall be uniform width and should not create a bottle neck.
- **Aisles between seats** - This section is applicable to theatre type seating. Usually a Large number of occupants in a confined environment where movement is limited. Occupants must move within the row before reaching an aisle. Clear width between seat and seat back critical minimum clearance is 12" for the first 7 seats. Increase 0.6 inch for every additional seat beyond seven seats. Minimum clear width is not required to exceed 22" inches. Maximum travel distance in aisles between seats to an aisle is 30 feet.





### Dual access row – Minimum accessway width

## Walking surfaces & Treads – BC 1024.11 / \*BC1028.11

- Assembly facilities such as theaters and auditoriums often require sloping or stepped floors to provide seated occupants with preferred sightlines for viewing presentations. Aisles must, therefore, be designed to accommodate the changing elevations of the floor in such a manner that the path of travel will allow occupants to leave the area at a rapid pace with minimal possibilities for stumbling or falling during times of emergency.
- Ramps must be slip resistant.
- Aisles exceeding slope of 1:8 must consist of treads and risers.
- Treads and risers are still considered horizontal egress.
- Treads shall not be less than 11” inches.
- Risers shall be between 4 and 8 inches.
- Treads shall have contrasting marking stripes.
- Handrails required when gradient exceeds one unit vertical to 8 units horizontal.

\*2014 Code

- Balcony Egress – BC 1024.5 / \*1028.5 For balconies having a seating capacity of more than 50 persons 2 means of egress are required from each side of the balcony.
- One egress must lead directly to a horizontal or vertical exit.
- Smoke Control - BC 1024.6.2.1 / \*1028.6.2.1 Smoke control shall be provided with mechanical or natural ventilation designed to keep the smoke level at least 6 feet above the level of egress. Lowest portion of roof or canopy must be 15 feet above the highest isle.
  - ✓ Smoke protected facilities allow:
    - a. increased travel distances
    - b. increased exit capacities
    - c. increased row lengths
    - d. longer dead ends

# Exit Signs

## 1968 Code

§ [C26-801.17] 27-541 Exit signs

- Locate at least seven feet above floor level

## 2008 / \*2014 Code

BC 1011 / \*1030 Exit Signs

- Exit signs are not required in rooms or areas which require only one exit or exit access. .
- In occupancies in Groups A-4 and A-5, exit signs are not required on the seating side of vomitories or openings into seating areas where exit signs provided in the concourse are readily apparent from the vomitories. Provide with emergency egress lighting.



# Exit Lighting

# Emergency Lighting

**§ [C26-801.16] 27-540 Exit lighting.**

**(a) Safe areas**

**(b) Open exterior spaces.** – e.g. yards or courts which serve as open exterior spaces

**§ [C26-801.18] 27-542 Emergency lighting.**

✓ All assembly spaces

✓ On electrical circuits separate from the general lighting and power circuits, Arranged to operate automatically in the event of failure of the normal lighting system.

✓ The provisions of this section apply retroactively to all existing places of assembly that are or would be classified in occupancy groups F-3 and F-4:

- Cabarets, dance halls, night clubs, and taverns having an occupant load exceeding one hundred fifty persons shall complete the installation required by this section on or before April twelfth, nineteen hundred seventy-nine.
- Cabarets, dance halls, night clubs, and taverns having an occupant load of one hundred fifty persons or less shall complete such installation on or before July twelfth, nineteen hundred seventy nine.
- Spaces occupied exclusively as restaurants shall complete such installation on or before October twelfth, nineteen hundred seventy-nine.



**SECTION BC 1006**

**MEANS OF EGRESS ILLUMINATION**

**1006.1 Illumination required.**

- Exits, exit discharges and public corridors shall be illuminated at all times.

**Exceptions:**

1. Occupancies in Group U.
2. Aisle access ways in Group A.
3. Dwelling units and sleeping units in Groups I-1, R-1, R-2 and R-3.
4. Sleeping units of Group I occupancies.

**1006.3 Illumination emergency power.**

Illuminate the following areas:

1. Exit access corridors, passageways and aisles in rooms and spaces which require two or more means of egress.
2. Exit access corridors, exit passageways and exit stairways located in buildings required to have two or more exits.
3. Exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
4. Interior exit discharge elements, as permitted in Section 1023.1, in buildings required to have two or more exits.
5. The portion of the exterior exit discharge immediately adjacent to exit discharge doorways in buildings required to have two or more exits.



# Panic Devices

## § [C26-604.4] 27-371

### **Doors –**

**Prohibited** - Vertically sliding doors, rolling shutters, and folding doors

### **Exceptions –**

- Over head garage doors may serve as exits from buildings classified in occupancy group J-3,
- Sliding or rolling doors or gates may be used in F-2 places of assembly provided they are kept open when the place of assembly is occupied.
- Revolving doors may be used only to the extent permitted by subdivision (m) of section AC 27-371

### **Panic hardware**

Exit doors shall have fire exit bolts

**1008.1.9 / \*1008.1.10 Panic and fire exit hardware.**

Each door in a means of egress from an occupancy of Group A or E having an occupant load of 75 or more and any occupancy of Group H-1, H-2, H-3 or H-5 shall be provided with panic hardware or fire exit hardware.

# Open exterior space

**§ [C26-801.15] 27-539 Open exterior spaces**

**(a) Capacity** - two square feet per person

**(b) Minimum dimension** – twenty feet, except when a principal entrance to the place of assembly is from an open exterior space, then minimum dimension shall be thirty feet. No open exterior space shall have less than four hundred square feet of “clear” floor area

**(c) Above or below grade.** - When an open exterior space is more than fifteen feet above or below the grade of the street or public space to which it discharges, its required area shall be increased by one third.

**(d) Egress from open exterior spaces -**

- not less in width than required for the occupant load of all exits discharging into the open exterior space
- In no case less than ten feet

**§ [C26-801.16] 27-540 Exit lighting**

In addition to the requirements of subchapter six of this chapter, lighting shall be provided

## 1024.17.4 Open exterior space

**1. Capacity** - 2 square feet (0.19 m<sup>2</sup>) per person

**2. Minimum dimension –**

- 20 feet (6096 mm)

- When the principal entrance to the place of assembly is from an open exterior space, then minimum dimension shall be 30 feet (9144 mm)

- No open exterior space shall have less than 400 square feet (37 m<sup>2</sup>) of floor area

**3. Above or below grade.** When an open exterior space is more than 15 feet (4572 mm) above or below the grade of the street or public space to which it discharges, its required area shall be increased by one-third.

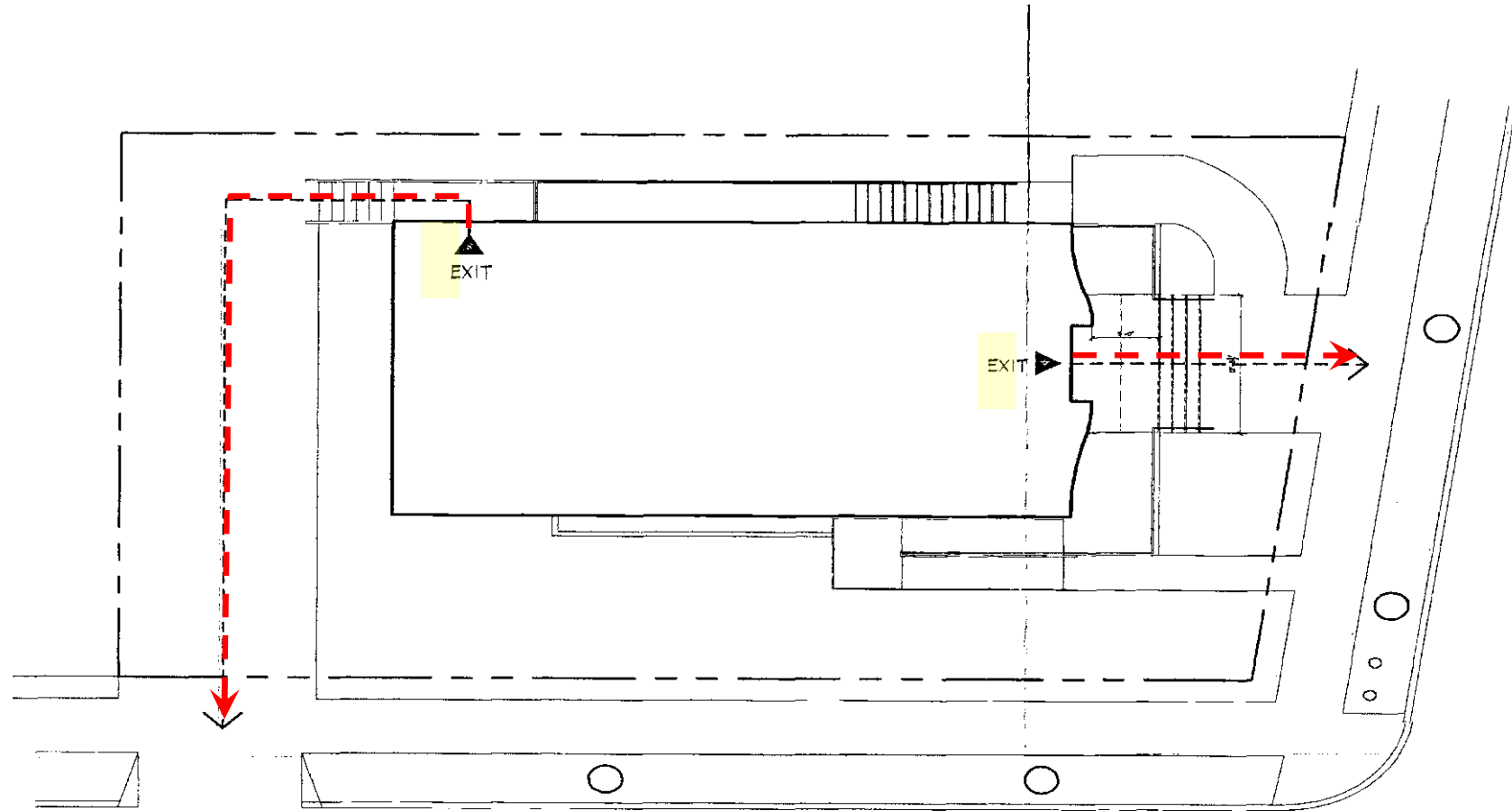
**4. Egress from open exterior spaces** - not less in width than required for the occupant load of all exits discharging into the open exterior space. In no case less than 10 feet (3048 mm).

**5. Open exterior spaces.** Yards or courts which serve as open exterior spaces shall be artificially lighted by electrical means at all times between sunset and sunrise during occupancy of a place of assembly



# PLACE OF ASSEMBLY

2008 / 2014 Code : Site plan for House of worship (1 of 1)



**Site Plan – Exit Discharge**

# Sprinkler

**\*TABLE 17-2 SUMMARY OF SPRINKLER REQUIREMENTS**

	Automatic Sources Required	Partial System Permitted	Connection to Domestic Permitted	Alternate Permitted (§27-955)	Siamese Required (§27-959)	Central <sup>a</sup> Station Required (§27-955) (§27-967)	Water <sup>b</sup> Flow Alarm Required (§27-957)	Automatic Dry Sprinkler Permitted (§5212 of RS-17)	Dry Non-automatic Sprinkler Permitted <sup>c</sup>
Assembly Occupancy Spaces— Group F-1 <sup>a</sup> (§27-954(j))	1	Yes	Yes	No	§27-959 (a)(3) If over 36 heads in a fire section	None <sup>a</sup>	Yes <sup>b</sup>	No	No

**Notes for Table 17-2:**

- a. Central Station Supervision required only when booster pump is provided under §27-964 or when non automatic sprinkler [*sic*] is permitted by the commissioner.
- b. Water flow alarms required when more than 36 heads are installed in a fire section or fire area.
- c. Only when permitted by the commissioner (§27-967(c)).
- d. See §27-954(w) for requirements pertaining to these spaces located in a building classified in occupancy group J-1.
- e. See section 4-4.8 of reference standard RS 17-2.
- f. Except as provided in reference standard RS 17-2A.
- g. Notwithstanding section 27-962(i) of this chapter.
- h. Except as provided in section 27-962(i) of this chapter.

**\*Amended by Local Law 10-1999.**

**\*\*Amended by Local Law 26-2002**

Occupancy Group or Specified Use	Conditions that require a sprinkler system	Sprinkler system required only in fire area	Sprinkler system required throughout entire building
<b>All Group A</b> (BC 903.2.1)	Dressing rooms and property rooms used in conjunction with Group A occupancies providing live entertainment (Stages shall comply with BC 410.6. See “Stages” under “Other Special Occupancies” in this Table)	Yes	
<b>A-1</b> (BC 903.2.1.1)	Fire area > 12,000 sq ft	Yes <sup>1</sup>	
	Fire area occupant load ≥ 300	Yes <sup>1</sup>	
	Occupant load of all Group A fire areas on a single floor, other than level of exit discharge, ≥ 300	Yes <sup>1</sup> in all Group A fire areas on such floor	
	Fire area contains a multi-theater complex	Yes <sup>1</sup>	
<sup>1</sup> Automatic sprinkler system protection is also required in all floors between the Group A occupancy and the level of exit discharge.			
<b>A-2</b> (BC 903.2.1.2)	Fire area > 5,000 sq ft	Yes <sup>1</sup>	
	Fire area occupant load ≥ 300	Yes <sup>1</sup>	
	Aggregate occupant load of all Group A fire areas on any given floor, other than level of exit discharge, ≥ 300	Yes <sup>1</sup> in all Group A fire areas on such floor	
	Fire area of any size used as a cabaret	Yes <sup>1</sup>	
<sup>1</sup> Automatic sprinkler system protection is also required in all floors between the Group A occupancy and the level of exit discharge.			

<b>A-3</b> (BC 903.2.1.3)	Fire area > 12,000 sq ft	Yes <sup>1,2</sup>	
	Fire area occupant load ≥ 300	Yes <sup>1,2</sup>	
	Aggregate occupant load of all Group A fire areas on any given floor, other than level of exit discharge, ≥ 300	Yes <sup>1,2</sup> in all Group A fire areas on such floor	
	<sup>1</sup> Automatic sprinkler system protection is also required in all floors between the Group A occupancy and the level of exit discharge. <sup>2</sup> A fire area used exclusively as a participant sports area, where the main floor area is on the main level of exit discharge, need not be sprinklered		
<b>A-4</b> (BC 903.2.1.4)	Fire area > 12,000 sq ft	Yes <sup>1,2</sup>	
	Fire area occupant load ≥ 300	Yes <sup>1,2</sup>	
	Aggregate occupant load of all Group A fire areas on any given floor, other than level of exit discharge, ≥ 300	Yes <sup>1,2</sup> in all Group A fire areas on such floor	
	<sup>1</sup> Automatic sprinkler system protection is also required in all floors between the Group A occupancy and the level of exit discharge. <sup>2</sup> A fire area used exclusively as a participant sports area, where the main floor area is on the main level of exit discharge, need not be sprinklered.		
<b>A-5</b> (BC 903.2.1.5)	Enclosed areas > 1,000 sq ft, including but not limited to the concession concourse, concession stands, retail areas, press boxes, and other accessory use areas	Yes	

# Standpipe

## 1968 Code

AC 27-932 Standpipe requirements

- In all buildings exceeding 6 stories
- More than 10,000 sf on any floor
- Some exceptions for Occupancy Classifications E, F, G, H and J (1968 Code), depending on building height and if sprinklers present

## 2008 / 2014 Code

BC Section 905

- **BC 905.3.2 - Group A (Assembly)**

Class I automatic wet standpipes shall be provided in non-sprinklered Group A buildings having an occupant load exceeding 1,000 persons.

# Fire Alarm



## AC 27-968 Interior fire alarm

- Motion Picture Studios
- Stages, dressing rooms, & property rooms associated with Places of Assembly
- PA - Cabarets

## Where Required...

**BC 907.2.1 Group A.** A manual and automatic fire alarm system shall be installed in accordance with NFPA 72 in Group A occupancies having an occupant load of 300 or more. Portions of Group E occupancies occupied for assembly purposes shall be provided with a fire alarm system as required for the Group E occupancy.

### Exceptions:

1. Manual fire alarm boxes are not required where the building is equipped throughout with an automatic sprinkler system and the notification appliances will activate upon sprinkler water flow. This exception shall not apply to Group A-2 occupancies used as a cabaret.
2. A Group A-2 occupancy used as a cabaret with an occupant load of 75 or more, including associated stages, dressing rooms, and property rooms, shall be equipped with a manual fire alarm system. Such a Group A-2 occupancy with an occupant load of 300 or more shall also be equipped with an automatic fire alarm system.

### **BC 907.2.1.1 System initiation in Group A occupancies.**

Activation of the fire alarm in Group A-1 occupancies with an occupant load of 300 or more, and in all other Group A occupancies with an occupant load of 1,000 or more, shall initiate a pre-signal system at a constantly attended location from which the Fire Department shall be notified and live voice evacuation instructions shall be initiated using an emergency voice/alarm communications system in accordance with NFPA 72.

# Fire Protection Plan

**ARTICLE 109**  
**FIRE PROTECTION PLAN**

**§28-109.1 Fire protection plan required for covered buildings.** New building and alteration applications for covered buildings as set forth in section 28-109.2 shall include a fire protection plan prepared by or under the supervision of a registered design professional who shall professionally certify such plan. Such plan shall be approved by the department and the fire department prior to issuance of a certificate of occupancy, a temporary certificate of occupancy or a letter of completion, as applicable.

**Exception:** No fire protection plan shall be required for an alteration that meets all three of the following requirements:

1. The alteration does not involve a change of use or occupancy;
2. The alteration does not exceed one million dollars; and
3. The alteration does not create an inconsistency with a previously approved fire protection plan.

**§28-109.2 Covered buildings.** Covered buildings include:

1. High-rise buildings as described in section 403 of the New York city building code.
2. Occupancy groups B, E, F, H, M, or S occupying two or more stories with over 20,000 gross square feet (1858
3. Any building containing an assembly occupancy having an occupant load of 300 or more persons.
5. Occupancy group R-2 occupancies containing 30 or more dwelling units in a building where over 10,000 gross square feet (929 m<sup>2</sup>) of floor area is occupied by occupancy group A, E, M, or I.

1968 code FPP requirements were repealed by the 2008 / 2014 code.

# Separation of Occupancy

**TABLE 5-1 FIRE SEPARATIONS**

Key: Fire-resistance ratings are given in hours. For Table 5-1, read above heavy line. For Table 5-2, read below heavy line.  
NR—No Requirement

OCCU-PANCY	A	B-1	B-2	C	D-1	D-2	E	F-1a	F-1b	F-2	F-3	F-4	G	H-1	H-2	J-1	J-2	J-3
A	4	4	4	4	4	4	4 <sup>c</sup>	4	4	4	4	4	4	4	4	4	4	4
B-1	4	3	NR	1 <sup>bc</sup>	NR	NR	1 <sup>ac</sup>	1 <sup>c</sup>	1 <sup>c</sup>	—	1 <sup>c</sup>	1 <sup>c</sup>	1 <sup>c</sup>	1½ <sup>c</sup>	1½ <sup>c</sup>	1 <sup>c</sup>	1 <sup>c</sup>	1 <sup>c</sup>
B-2	4	3	2	NR	NR	NR	NR	NR	NR	—	NR	NR	NR	NR	NR	NR	NR	NR
C	4	3	2	2	1	NR	NR	NR	NR	—	NR	NR	NR	1	1	1	1	1
D-1	4	3	3	3	3	NR	1 <sup>a</sup>	1	1	—	1	1	1	1½	1½	1	1	1
D-2	4	3	2	2	3	2	NR	NR	NR	—	NR	NR	NR	NR	NR	NR	NR	NR
E	4	3	2	2	3	2	2	NR	NR	—	NR	NR	NR	1 <sup>a</sup>	1 <sup>a</sup>	1 <sup>a</sup>	1 <sup>a</sup>	1 <sup>a</sup>
F-1a	4	3	2	2	3	2	2	2	NR	—	NR	NR	NR	1	1	1	1	1
F-1b	4	3	2	2	3	2	2	2	2	—	NR	NR	NR	1	1	1	1	1
F-2	4	3	2	2	3	2	2	2	2	2	—	—	—	—	—	—	—	—
F-3	4	3	2	2	3	2	2	2	2	2	2	NR	NR	1	1	1	1	1
F-4	4	3	2	2	3	2	2	2	2	2	2	2	NR	1½	1½	1	1	1
G	4	3	2	2	3	2	2	2	2	2	2	2	2	NR	NR	NR	NR	NR
H-1	4	3	2	2	3	2	2	2	2	2	2	2	2	2	NR	1	1	1
H-2	4	3	2	2	3	2	2	2	2	2	2	2	2	2	2	1	1	1
J-1	4	3	2	2	3	2	2	2	2	2	2	2	2	2	2	2	NR	NR
J-2	4	3	2	2	3	2	2	2	2	2	2	2	2	2	2	2	2	NR
J-3	4	3	2	2	3	2	2	2	2	2	2	2	2	2	2	2	2	2

**TABLE 5-2 FIRE DIVISIONS**

<sup>d</sup>Nonresidential kitchens need not be separated by fire separations from adjoining dining spaces, provided:

- (1) The cooking equipment is vented directly to the outdoors, and
- (2) 2\* draft curtain of noncombustible material, at least twenty-four inches down from the ceiling, is provided to separate the cooking facilities from dining spaces, and
- (3) Sprinkler heads constructed in accordance with the provisions of subchapter seventeen of this chapter, are provided on the cooking facilities side of the curtain, or any opening between the kitchen and dining space, located within twenty-four inches of the curtain or opening, and spaced not more than forty-eight inches on centers if the opening is more than sixty inches wide. When fire separations are provided double-action doors may be permitted.

# PLACE OF ASSEMBLY

## 2008 : Table 508.3.3 fire separation (modified)

**TABLE 508.3.3  
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)<sup>a</sup>**

USE	A-1	A-2	A-3	A-4	A-5	B <sup>b</sup>	E	F-1	F-2	H-1	H-2	H-3	H-4	H-5	I-1	I-2	I-3	I-4	M <sup>b</sup>	R-1	R-2	R-3	S-1	S-2	U
A-1	—	2	2	2	2	2	2	3	2	NP	4	3	2	4	2	2	2	2	2	2	2	2	3	2	1
A-2 <sup>c</sup>	—	—	2	2	2	2	2	3	2	NP	4	3	2	4	2	2	2	2	2	2	2	2	3	2	1
A-3	—	—	—	2	2	2	2	3	2	NP	4	3	2	4	2	2	2	2	2	2	2	2	3	2	1
A-4	—	—	—	—	2	2	2	3	2	NP	4	3	2	4	2	2	2	2	2	2	2	2	3	2	1
A-5	—	—	—	—	—	2	2	3	2	NP	4	3	2	4	2	2	2	2	2	2	2	2	3	2	1
B <sup>b</sup>	—	—	—	—	—	—	2	3	2	NP	2	1	1	1	2	2	2	2	2	2	2	2	3	2	1
E	—	—	—	—	—	—	—	3	2	NP	4	3	2	3	2	2	2	2	2	2	2	2	3	2	1
F-1	—	—	—	—	—	—	—	—	3	NP	2	1	1	1	3	3	3	3	3	3	3	3	3	3	3
F-2	—	—	—	—	—	—	—	—	—	NP	2	1	1	1	2	2	2	2	2	2	2	2	3	2	1
H-1	—	—	—	—	—	—	—	—	—	—	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
H-2	—	—	—	—	—	—	—	—	—	—	—	1	2	2	4	4	4	4	2	4	4	4	2	2	1
H-3	—	—	—	—	—	—	—	—	—	—	—	—	1	1	4	3	3	3	1	3	3	3	1	1	1
H-4	—	—	—	—	—	—	—	—	—	—	—	—	—	1	4	4	4	4	1	4	4	4	1	1	1
H-5	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	4	4	3	1	4	4	4	1	1	3
I-1	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2	2	2	2	2	2	2	4	3	2
I-2	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2	2	2	2	2	3	2	1
I-3	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2	2	2	2	3	2	1
I-4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2	2	2	2	3	2	1

e. Commercial kitchens need not be separated from the restaurant seating areas that they serve, provided:

1. The cooking equipment is vented directly to the outdoors; and
2. A draft curtain of noncombustible materials, at least 24 inches (610 mm) down from the ceiling, is provided to separate the cooking facilities from the restaurant seating areas; and
3. Sprinkler heads constructed in accordance with the provisions of this code are provided in the kitchen side of the curtain, within 24 inches (610 mm) of the curtain opening, and any other openings including doors between the kitchen and the seating areas, and spaced not more than 48 inches (1210 mm) on center for each opening that is more than 60 inches (1524 mm) wide.

**TABLE 508.4  
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)**

OCCUPANCY	A, E		I-1, I-3, I-4		I-2		R <sup>a</sup>		F-2, S-2 <sup>b</sup> , U		B		F-1		M		S-1		H-1		H-2		H-3, H-4		H-5	
	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS
A, E	N	N	1	2	2	NP	1	2	N	1	1	2	1	2	1	2	1	2	NP	NP	3	4	2	3	2	NP
I-1, I-3, I-4	--	--	N	N	2	NP	1	NP	1	2	1	2	1	2	1	2	1	2	NP	NP	3	NP	2	NP	2	NP
I-2	--	--	--	--	N	N	2	NP	2	NP	2	NP	2	NP	2	NP	2	NP	NP	NP	3	NP	2	NP	2	NP
R <sup>a</sup>	--	--	--	--	--	--	N	N	1 <sup>c</sup>	2 <sup>c</sup>	1	2	1	2	1	2	1	2	NP	NP	3	NP	2	NP	2	NP
F-2, S-2 <sup>b</sup> , U	--	--	--	--	--	--	--	--	N	N	1	2	1	2	1	2	1	2	NP	NP	3	4	2	3	2	NP
B	--	--	--	--	--	--	--	--	--	--	N	N	2	3	1	2	2	3	NP	NP	2	3	1	2	1	NP
F-1	--	--	--	--	--	--	--	--	--	--	--	--	N	N	2	3	2	3	NP	NP	2	3	1	2	1	NP
M	--	--	--	--	--	--	--	--	--	--	--	--	--	--	N	N	2	3	NP	NP	2	3	1	2	1	NP
S-1	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	N	N	NP	NP	2	3	1	2	1	NP
H-1	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	N	NP	NP	NP	NP	NP	NP	NP
H-2	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	N	NP	1	NP	1	NP
H-3, H-4	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	1 <sup>d</sup>	NP	1	NP
H-5	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	N	NP

S = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.  
 NS = Buildings not equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.  
 N = No separation requirement.  
 NP = Not permitted.  
 a. See Section 420.  
 b. The required separation from areas used only for private or pleasure vehicles shall be reduced by 1 hour but to not less than 1 hour.  
 c. See Section 406.1.4.  
 d. Separation is not required between occupancies of the same classification.




- PA Permit (1968 Code)
- Certificate of Operation (2008 / 2014 Code)

## 303.2 Certificate of Operation.

A Certificate of Operation shall be required, as per Section 28-117.1, for the following places of assembly:

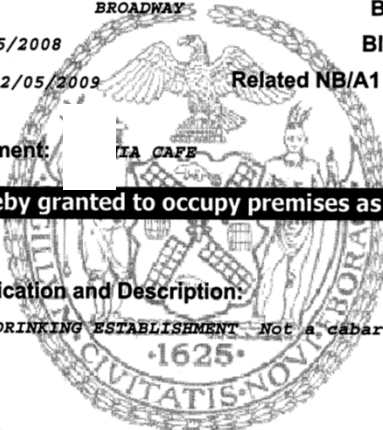

1. Indoor places of assembly used or intended for use by 75 persons or more, including open spaces at 20 feet (6096mm) or more above or below grade, such as roofs or roof terraces.

2. Outdoor places of assembly used and intended for use by 200 persons or more.



### PLACE OF ASSEMBLY

#### CERTIFICATE OF OPERATION

<b>INITIAL CERTIFICATE</b>		Certificate No.
Premises Address: <b>BROADWAY</b>	Borough: <b>QU</b>	
Issue Date: <b>12/05/2008</b>	Block/Lot: <b>61</b>	<b>40</b>
Expiration Date: <b>12/05/2009</b>	Related NB/A1 Job No: <b>AL</b> <b>1/87</b>	
Name of Establishment: <b>LA CAFE</b>		
<b>Permission is hereby granted to occupy premises as a place of assembly.</b>		
Floors: <b>001</b>	Number of Persons	
Occupancy Classification and Description: <b>A-2 EATING OR DRINKING ESTABLISHMENT Not a cabaret</b>		<b>171</b>
		
<p>This certificate is subject to the strict observance of the laws, rules and regulations enacted for the protection of the public, in so far as they are applicable to this place of assembly, and continue in force for the period specified, unless sooner suspended or revoked.</p>		
Borough Commissioner: 		Commissioner: 
<b>MUST BE POSTED CONSPICUOUSLY AT ALL TIMES</b>		

code with the closest matching accurate description for each line where an occupancy classification is selected. A "\*" indicates that description is appropriate for the occupancy classification code indicated on that line.

Code	Description	A-1	A-2	A-3	A-4	A-5	Code	Description	A-1	A-2	A-3	A-4	A-5
01	Amusement attractions/devices			•		•	24	Gallery or exhibition hall				•	
02	Amusement park activities			•		•	25	Golf driving range				•	•
03	Arcade			•			26	Grandstand					•
04	Auditorium			•	•		27	Gym or recreation center				•	•
05	Ballroom	•					28	Lecture hall or classroom				•	
06	Bandstand			•		•	29	Meeting hall				•	
07	Banquet room	•					30	Mini golf				•	•
08	Billiard parlor			•			31	Night club			•		
09	Bleachers					•	32	Opera house	•				
10	Bowling alley			•			33	Passenger terminal				•	
11	Cafeteria	•	•				34	Place of worship				•	
12	Camp (day)			•		•	35	Planetarium	•				
13	Camp (overnight)			•		•	36	Playground					•
14	Carnival / Fair			•		•	37	Playhouse	•				
15	Circus			•		•	38	Racetrack					•
16	Community center			•			39	Skating rink				•	•
17	Concert hall	•					40	Sports arena					•
18	Convention hall			•			41	Stadium					•
19	Court room			•			42	Steam bath				•	
49	Custodial care facility			•			44	Studio (radio/TV)		•			
50	Dance hall (food/drink)	•					45	Swimming pool				•	•
51	Dance studio (no food/drink)			•			46	Tennis court				•	•
22	Eating or drinking establishment	•					47	Theater (live performance)	•				
23	Funeral establishment			•			48	Theatre (motion picture)	•				



### PA1: Place of Assembly

Must be typewritten. Indicate reason for filing:  
 New Filing  
 Change to Owner/Lessee/Name of Estab. ONLY  
 Change to Layouts/Use and any other information

Orient and affix BIS job number label here

#### 1 Location Information *Required for all applications.*

House No(s) \_\_\_\_\_ Street Name \_\_\_\_\_  
 Borough \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ BIN \_\_\_\_\_ C.B. No. \_\_\_\_\_  
 Zoning District(s) \_\_\_\_\_ Overlay(s) \_\_\_\_\_  
 Special Dist(s) \_\_\_\_\_ Zoning Map No. \_\_\_\_\_

#### 2 Applicant Information *Required for all applications. Professionally certifying application?* Yes No *If yes, complete POC-1 form.*

Last Name \_\_\_\_\_ First Name \_\_\_\_\_ Middle Initial \_\_\_\_\_  
 Business Name \_\_\_\_\_ Business Telephone \_\_\_\_\_  
 Business Address \_\_\_\_\_ Business Fax \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Mobile Telephone \_\_\_\_\_  
 E-Mail \_\_\_\_\_ License Number \_\_\_\_\_  L.P.E.  R.A.

#### 3 Filing Representative *Complete if different from section 2. Fax, mobile phone, and e-mail are optional info.*

Last Name \_\_\_\_\_ First Name \_\_\_\_\_ Middle Initial \_\_\_\_\_  
 Business Name \_\_\_\_\_ Business Telephone \_\_\_\_\_  
 Business Address \_\_\_\_\_ Business Fax \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Mobile Telephone \_\_\_\_\_  
 E-Mail \_\_\_\_\_ Registration Number \_\_\_\_\_

#### 4 Place of Assembly Space Information *Submit comments using an AI-1 form (optional). \*Use 2014 Code occupancy designations only.*

Specific Floor(s) of PA Space \_\_\_\_\_  
 NB/A1 Job No. Establishing PA \_\_\_\_\_ *If Pre-BIS, provide BIN:* \_\_\_\_\_  
 Prior PA No. (if applicable) \_\_\_\_\_ Irregular Floor Numbering?  Yes  No  
 Name of PA Establishment \_\_\_\_\_

Occupancy Designation	Cabaret	Number of Persons	Description Code
Primary Plan	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Alt. 1 Plan	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Alt. 2 Plan	<input type="checkbox"/> Yes <input type="checkbox"/> No		

#### 5 Statements and Signatures of Applicant and Owner *PEARA not required for change to owner/lessee/name of establishment only.*

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or as a bribe or reward for special consideration. Violation is punishable by imprisonment or fine or both. Applicant I prepared or supervised the preparation of the submitted documents based on information submitted and to the best of my knowledge and belief the submitted documents and work shown therein comply with the provisions of the NYC Administrative Code and other applicable laws and regulations, except as set forth in the accompanying documents. I acknowledge that I have read and complied with all instructions pertaining to this application and supplementary schedules submitted. Owner: I have authorized the applicant to file this application for the work specified herein and all future amendments.

P.E. / R.A. Name (print): \_\_\_\_\_  
 Signature \_\_\_\_\_ Date \_\_\_\_\_  
 P.E. / R.A. Seal (apply seal then sign and date over seal)

Individual/Lessee Responsible for Annual Renewal of PA (if not owner)  
 Name (print): \_\_\_\_\_  
 Relationship to Owner: \_\_\_\_\_  
 Business Name/Agency: \_\_\_\_\_  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone Number: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-Mail Address: \_\_\_\_\_

Owner type:  Condo/Co-Op  Partnership  HHC  NYCHA  
 Corporation  DCAS  HPD  NYS  
 Individual  DOE  Other Government  
 Is the deed-holder a non-profit per 28-112.1?  Yes  No

Name (print): \_\_\_\_\_  
 Relationship to Owner: \_\_\_\_\_  
 Business Name/Agency: \_\_\_\_\_  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone Number: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-Mail Address: \_\_\_\_\_  
 Signature and Date \_\_\_\_\_

Related NB or Alt1 application #

The Occupancy designation can be found on the C of O.

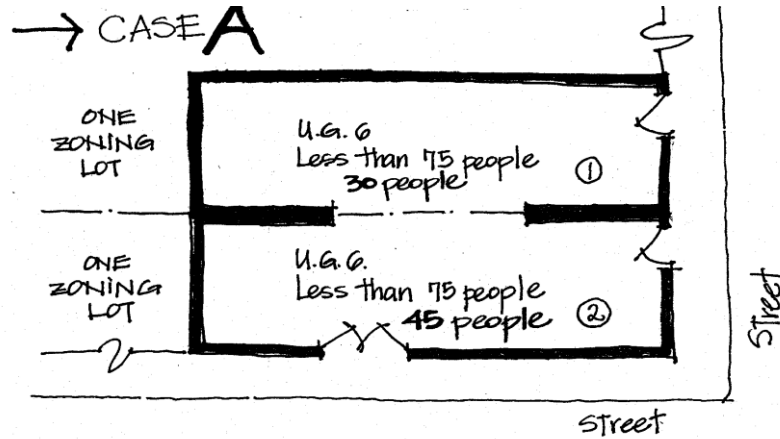
The Description code can in the PA instruction guide

# PLACE OF ASSEMBLY

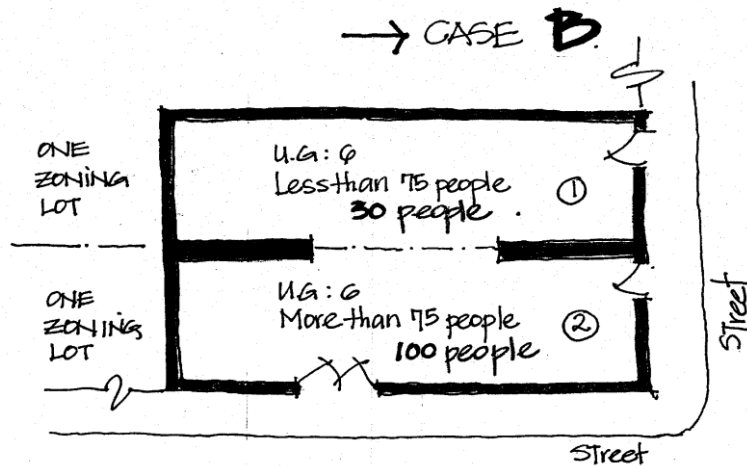
## Case Study – (1 of 2)

### How to file a PA Application

- 2 separate Buildings
- 2 separate owners

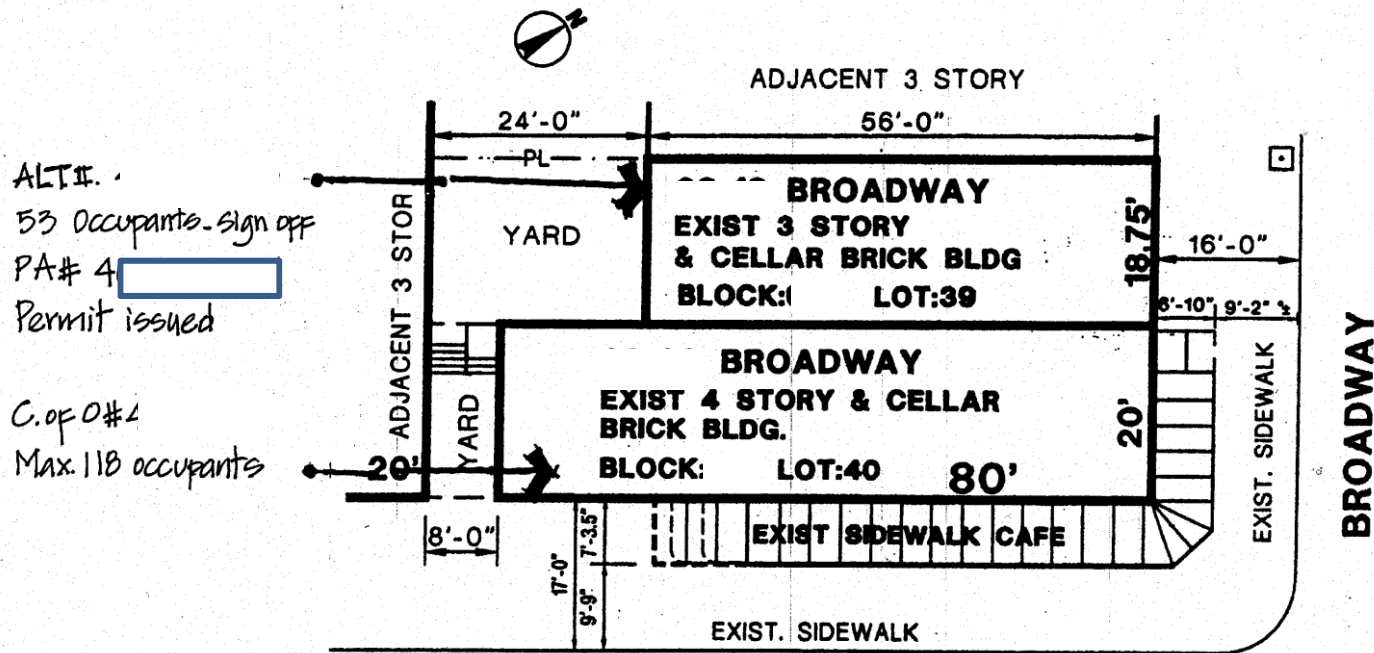


Note: access opening complied with BC 27-329 for opening protectives.



What is the appropriate administrative action for PA permit:

CASE A	CASE B	
✓	✓	File <b>ONE PA permit</b> to include both sides (PA permit occupancy will exceed the # of people permitted for each zoning lot on the C.o.O).
✓	✓	Case A: <b>No PA shall be filed</b> Case B#1: <b>No PA shall be filed</b> Except, file ALT-I to combine both buildings & zoning lots into a new C.o.O & file PA permit
✓	✓	File <b>ONE PA permit</b> with 2 ALT-I to declare "use" in conjunction with adjacent building - PA permit will exceed the # of people permitted for each zoning lot on the C.o.O.
		Note: <b>All of the above are acceptable</b>



ALT II.  
53 Occupants - sign off  
PA# 4   
Permit issued

C. of O #1  
Max. 118 occupants

**PLOT PLAN** SCALE: 1/20"=1'-0"

ZONING: C1-4 in R6b

**STREET**

# TPA

Temporary Place of Assembly

# TEMPORARY PLACE OF ASSEMBLY



# TEMPORARY PLACE OF ASSEMBLY

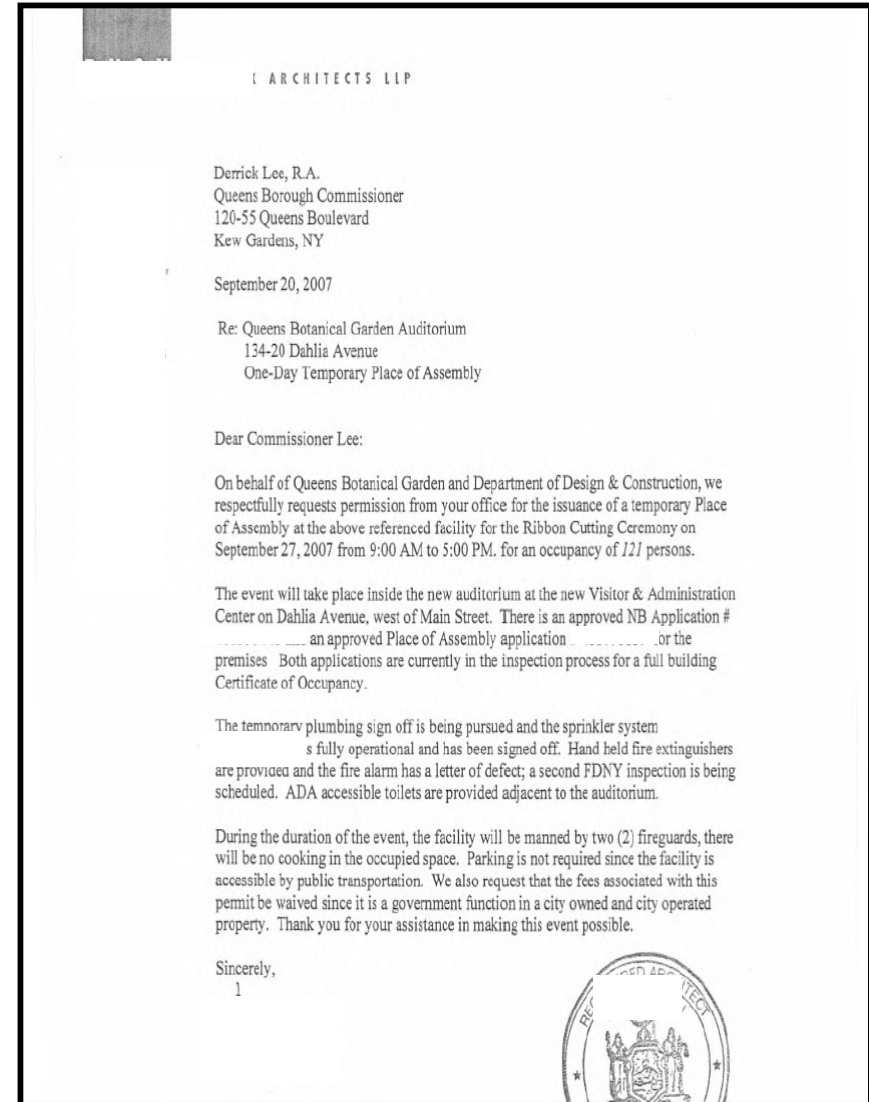


The **Hartford Circus Fire**, which occurred on July 6, 1944, in Hartford Connecticut, was one of the worst fire disasters in the history of the United States. The fire occurred during an afternoon performance of the Ringling Brothers and Barnum & Bailey Circus that was attended by approximately 7,000 people. Investigators believed it was caused by a carelessly flicked cigarette. The exit was blocked with the cages that the animals were brought in and out with. Over 167 people were killed in the fire.




# TEMPORARY PLACE OF ASSEMBLY

- R.A./P.E. submits a Request Letter for a Temporary Place of Assembly as per TPPN 7/96.
- \$250.00 processing fee receipt.
- (TPA) Temporary Place of Assembly request letter is then clocked in.



# TEMPORARY PLACE OF ASSEMBLY

- Apply information on folder.
- TPA folder is assigned to a designated Plan examiner.



**NEW YORK CITY DEPARTMENT OF BUILDINGS JOB FOLDER**

PREMESIS AXE STREET

BIN NUMBER 4 BLOCK 1 LOTS 4, 37

**JOB TYPE(S)**

NEW BUILDING

ALTERATION - TYPE I

ALTERATION - TYPE II

ALTERATION - TYPE III

DEMOLITION

SIGN

PLACE OF ASSEMBLY

SUBDIVISION IMPROVED PROPERTY

SUBDIVISION UNIMPROVED PROPERTY

SUBDIVISION CONDOMINIUM

PLUMBING REPAIR APPROVAL

**WORK TYPE(S)**

PL PLUMBING

MH MECH/HVAC

BL BOILER

FB FUEL BURNING

FS FUEL STORAGE

SD STANDPIPE

SP SPRINKLER

FA FIRE ALARM

EQ CONSTRUCTION EQUIPMENT

FP FIRE SUPPRESSION

CC CURB CUT

OTHER \_\_\_\_\_

**PLAN(S) SUBMITTED**

ZO ZONING

AR ARCHITECTURAL

ST STRUCTURAL

ME MECHANICAL

PL PLUMBING

FO FOUNDATION

OTHER \_\_\_\_\_

PLANS ROLLED

NP NO PLANS

**COMMENTS & STAMPS**

Charter School

DATE: MARCH 9, 2011 - JUNE 6, 2011 (M-F)

TIME: AUDITORIUM 7:30-8:30am  
CAFETERIA 10:45am-1:15pm  
GYMNASIUM 8:30am-10:45am & 1:15am-3:15pm

230 persons

ASSIGNED TO: \_\_\_\_\_ REASSIGNED TO: \_\_\_\_\_

Plan TPA #. Q-2010-44

Q2011-07



# TEMPORARY PLACE OF ASSEMBLY

- There are different template letters that are for various Events.
- The letter to your right is an example of a TPA approval letter.



Robert D. LiMandri  
Commissioner

Ira Gluckman, R.A.  
Queens Borough Commissioner

120-55 Queens Boulevard  
Kew Gardens, NY 11424  
www.nyc.gov/buildings

1 718 286 0601 tel  
1 718 286 0774 fax

Eric Jam Media Group  
Habibullah Noorata, P.E.  
56 Harison Street, Suite 305  
New Rochelle, NY 10801

July 28, 2009

Re: Family Day @  
CUNY York College  
94-20 Guy R. Brewer Blvd. Jamaica NY  
Temporary Place of Assembly #Q-2009-27

Gentlemen:

Your application for Temporary Place of Assembly Permit, for use by the "Family Day" at the above referenced location is approved under the conditions listed below:

1. The event date is Sunday, September 6, 2009 from 12 noon – 11 pm.
2. This Temporary Place of Assembly (TPA) supersedes TPA Q-2009-20.
3. The total capacity for the event shall not exceed 10,000 persons.
4. A copy of this letter along with attachments together with the approved plans shall be kept at the premise.
5. Refer to letters by Habibullah Noorata, P.E dated June 29, 2009.
6. Compliance with Emergency Protocol and Fire Safety Protocol – CUNY York College- 2009.
7. Sufficient number of Fire Department Certified Fireguards, but no less than fifteen (15) fireguards shall be on site during the event, equipped with portable communication devices to communicate with Fire and Police Departments, and, shall be stationed at designated locations specify by the Fire Safety Director and, exits points.
8. Compliance with Department of Buildings TPPN #7/96.
9. Portable restrooms shall be installed and maintained in accordance with P.C 405.
10. No cooking will be permitted on site, unless authorized by the Fire Department. There will be no alcoholic beverage to be served.
11. The applicant of record (Habibullah Noorata, P.E.) filing the Temporary Place of Assembly permit is responsible for all site conditions, including egress, and shall inspect the site prior to the event. The applicant shall notify this Department immediately, in the event of any discrepancy or substantial non-conformity with the approved plans. He shall certify to the Department with a TR-1 form for final inspection by fax, 718 286 0774, or by mail that the site is in conformance with the above items
12. All areas must remain free and clear of obstruction and debris to prevent trip hazards and accidents.
13. Facilities shall be provided for people having physical disabilities.

The area accepted for a Temporary Place of Assembly shall be immediately available for inspection by personnel from the Department of Buildings, the Fire Department, and the Police Department upon request.

The letter is issued solely pursuant to those laws under the jurisdiction of the Department Buildings and is subject to the maintenance of the uses and premises in full compliance with the Building Code ("Administrative Code") of the City of New York.

The Queens Department of Buildings is pleased to have been of service to you in this international event.

Sincerely yours,

Ira Gluckman, R. A.  
Queens Borough Commissioner

cc: Dennis Zambotti, L. Mitchell, TPA File, Local Police, Local Fire,  
DOB Emergency Squad, IGA Anthony Juliano, Tony Scalfani Kate Linquist

**safety**

**service**

**integrity**

## TEMPORARY PLACE OF ASSEMBLY

- Folder will be returned to the secretary who will then type the TPA letter.
- Once the letter is typed it is returned to the Plan Examiner for review.
- Make changes if necessary.
- The final approval letter is submitted to the Borough Commissioner for signature, (if BC is not in) then the letter is signed by the Deputy Borough Commissioner.

## TEMPORARY PLACE OF ASSEMBLY

- An addition \$100.00 will be charged per day if the request letter is received less than ten business days prior to the event.
- Applicant will go to Customer Service and ask for a B-ticket (cashier) to pay.

## TEMPORARY PLACE OF ASSEMBLY

- Perforate all copies of plans
- Copies of payment, letter and one set of plans are kept in the TPA folder.
- Fax or scan copy of TPA letter to Local Fire and Police Departments, Emergency Response Team and NYPD @ One Police Plaza.
- Send copy of letter to the cc's at the bottom of letter
- Original TPA letter and two (2) sets of plans are given to the Applicant

# PLACE OF ASSEMBLY

## Building Code Comparison

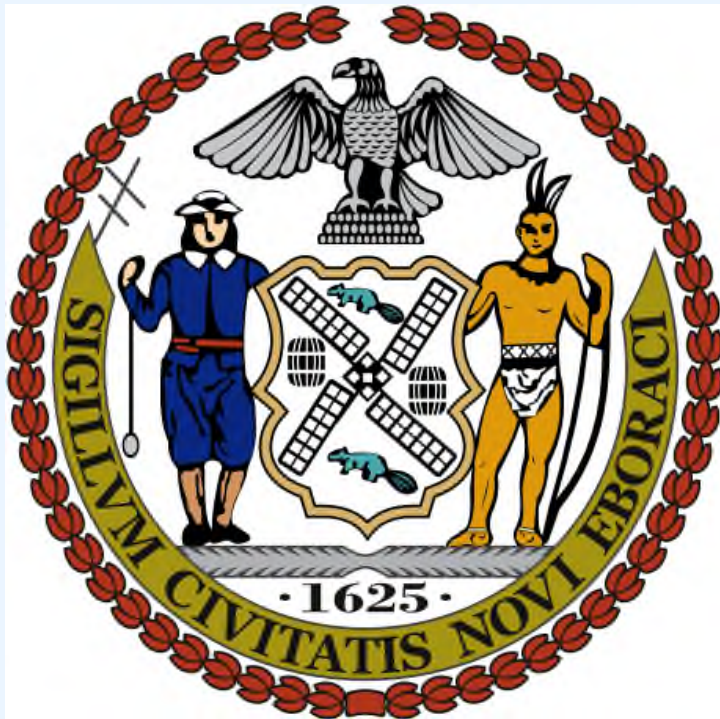
No.	title	1968 code section	2008 / *2014 code section
A	Definition	BC 27-232	BC 303.1
B	Occupancy Classification	Table 3-2	BC 303
C	Occupancy load	Table 6-2	Table 1004.1.2 / *Table 1004.1.1
D	Exit classification	BC 27-534	BC1024.17 / *1028.17
E	Safe Area	BC 27-535	Def. 1002, BC1024.17.3 / *1028.17,3
F	Exit Door size / load table	Table 6-1 , Table 8-1	Table 1005.1 / *1005.1
G	Travel Distance	Table 8-1 ,BC 27-533	Table 1024.7 / *Table 1028.7
H	Aisles and cross aisle	BC 27-532	1024.6 , 1024.9 / *1028.6, 1028.9
I	Seating Plans	27-528	1024.1.3 / *1028.1.3
J	Exit signs	BC 27.541	1026.2 & 1011 / *1030 & 1022.8
K	Exit lighting	BC 27.540	1006.1 / *1006.1
L	Panic Devices	BC 27-534	1008.1.9 / *1008.1.10
M	Open exterior space	BC 27-539	1024.17.4
N	Sprinkler	BC 27-954(s)[, table 17-2, 27-549	BC 903.2.1
O	Standpipe	BC 27-932	BC 905.3.2
P	Fire alarm	BC 27-968	BC 907.2.1
Q	Fire Protection Plan	BC 27-228..1	AC 28.109
R	Separation of occupancy	Table 5-1 & 5-2	Table 508.3.3 / *Table 508.4
S	Assembly fewer than 75 people	BB 2008	BB 2008
T	Emergency lighting	27-542	BC 1006.3
U	PA permit	27-525.1- Place	BC 302.2 – Cert of Operations



Thank You!

# Local Law / Façade Presentation

Assistant Commissioner  
Timothy Lynch, P.E.

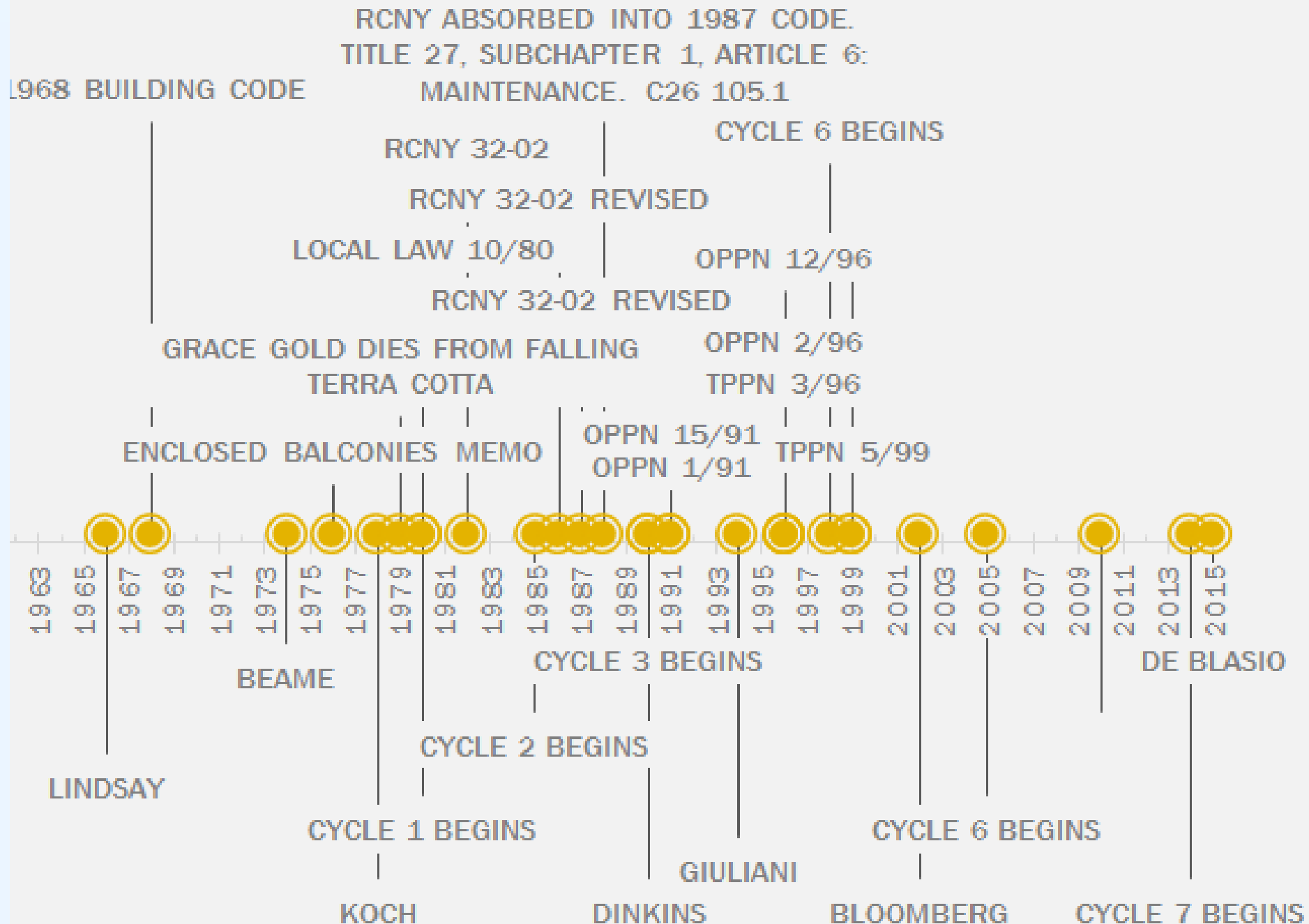


## ARTICLE 301 GENERAL

**§28-301.1 Owner's responsibilities.** All buildings and all parts thereof and all other structures shall be maintained in a safe condition. All service equipment, means of egress, materials, devices, and safeguards that are required in a building by the provisions of this code, the 1968 building code or other applicable laws or rules, or that were required by law when the building was erected, altered, or repaired, shall be maintained in good working condition. Whenever persons engaged in building operations have reason to believe in the course of such operations that any building or other structure is dangerous or unsafe, such person shall forthwith report such belief in writing to the department. The owner shall be responsible at all times to maintain the building and its facilities and all other structures regulated by this code in a safe and code-compliant manner and shall comply with the inspection and maintenance requirements of this chapter.

- Local Law Facade is responsible for protecting 13,114 buildings that are located throughout New York City's dense urban environment and deals with Facades constructed on public ways.
- The Department requires that owners maintain façade conditions and such repairs are prefaced by inspections every 5 years by a licensed professional. This course will address the various regulatory processes involved with the periodic reporting, filing and permitting repairs.

# Detail version of LL 10/80, LL11/98/ FISP



**Cycle 5, 6, 7, 8, requirements increased as Local Law 10/1980 was amended to Local Law 11/1998 and amended again in May 2013.**

**ARTICLE 302  
MAINTENANCE OF EXTERIOR WALLS**

**§28-302.1 General.** A building's exterior walls and appurtenances thereof shall be maintained in a safe condition. All buildings greater than six stories shall comply with the maintenance requirement of this article.

**Exception:** The requirements imposed by this article shall not apply to any part of an exterior wall that is less than 12 inches (305 mm) from the exterior wall of an adjacent building.

- Safe
- Safe With a Repair and Maintenance Program
- Unsafe
- 5 year report cycle
- Qualified licensed design professional

<b>Administrative Code...</b>	Article 302 of Title 28
<b>Building Code.....</b>	1002.1 & 1607.7.1
<b>Local Law.....</b>	LL11 of 1998
<b>Rule.....</b>	RCNY § 103-04, effective Jan.28, 2011; <b>Amended Rule 05/17/13</b>
<b>Building Bulletin.....</b>	2011-017
<b>Memos (TL).....</b>	Sept. 6, 2013 & Dec. 3, 2013



## ARTICLE 302 MAINTENANCE OF EXTERIOR WALLS

**§28-302.1 General.** A building's exterior walls and appurtenances thereof shall be maintained in a safe condition. All buildings greater than six stories shall comply with the maintenance requirement of this article.

**Exception:** The requirements imposed by this article shall not apply to any part of an exterior wall that is less than 12 inches (305 mm) from the exterior wall of an adjacent building.

- Safe
- Safe With a Repair and Maintenance Program
- Unsafe
- 5 year report cycle
- Qualified licensed design professional

# FISP Requirements

## Façade Inspection safety program

Currently, there are NYC Laws in effect governing the maintenance of facades for structures OVER 6 stories.

LL 10/80 became LL11/98

became: Building Code § 28-302.1

1 RCNY § 101-07: FISP Qualifications

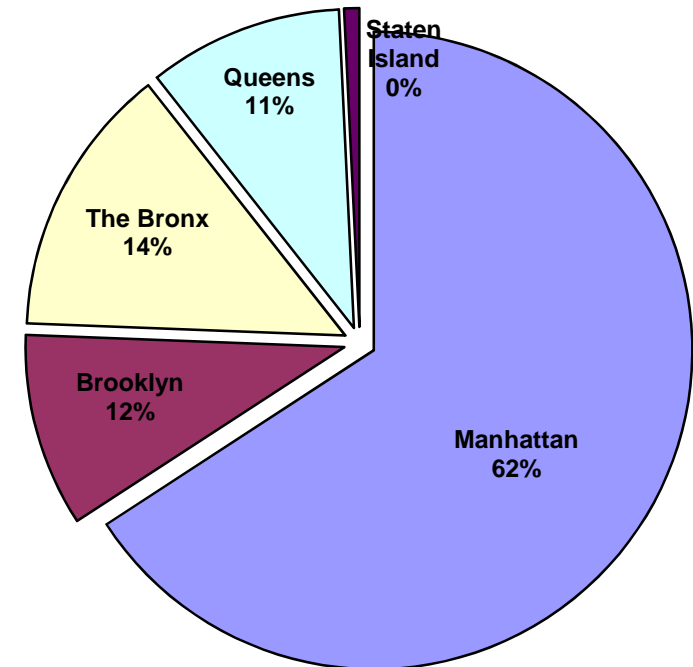
1 RCNY § 103-04: FISP Rule

# Local Law / Facade Properties

**From a total of 950,000 buildings citywide, 13,114\* must comply with Local Law Façade**

**Total Buildings and Local Law Façade Buildings by Borough**

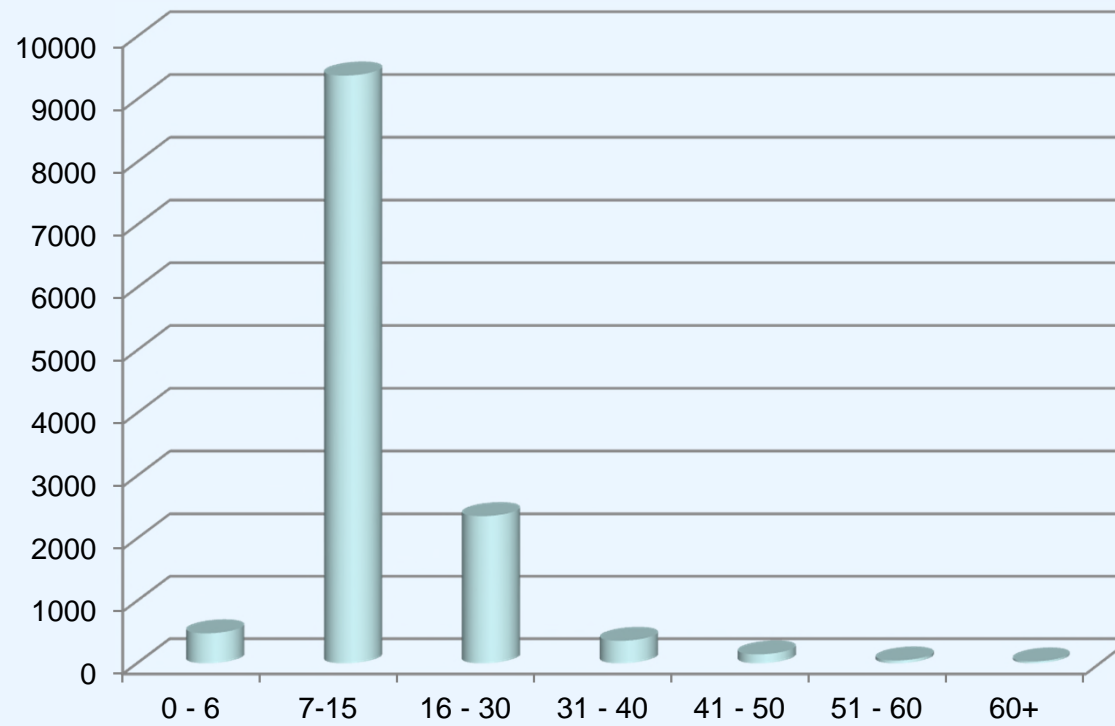
Borough	Total Buildings	Local Law Façade Buildings	%
Manhattan	53,274	7,635	14.3%
The Bronx	102,055	1,675	1.6%
Brooklyn	301,241	1,588	0.5%
Queens	345,708	1,548	0.4%
Staten Island	138,517	127	0.09%



- **New Buildings must file LL Façade report 5 Years after receiving a TCO or C of O**

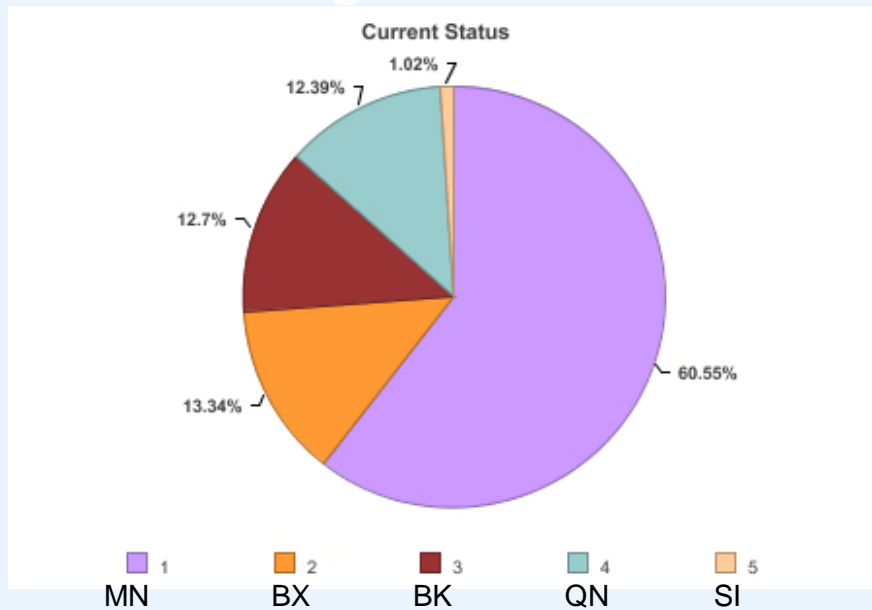
\*as of November, 2014

## LL / Facade: Floor heights.



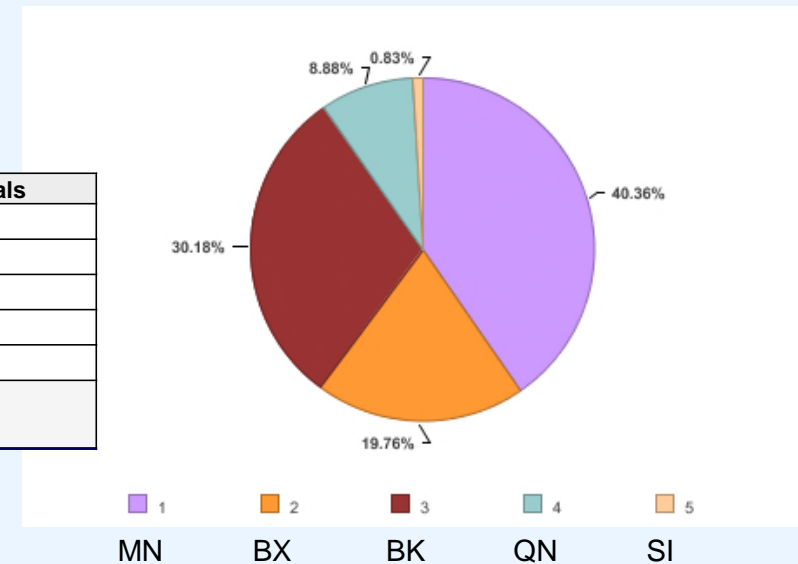
# TOTAL LL/ Façade buildings / borough

Boro	Totals
1	7564
2	1667
3	1586
4	1548
5	127
<b>Grand Total</b>	<b>12492</b>

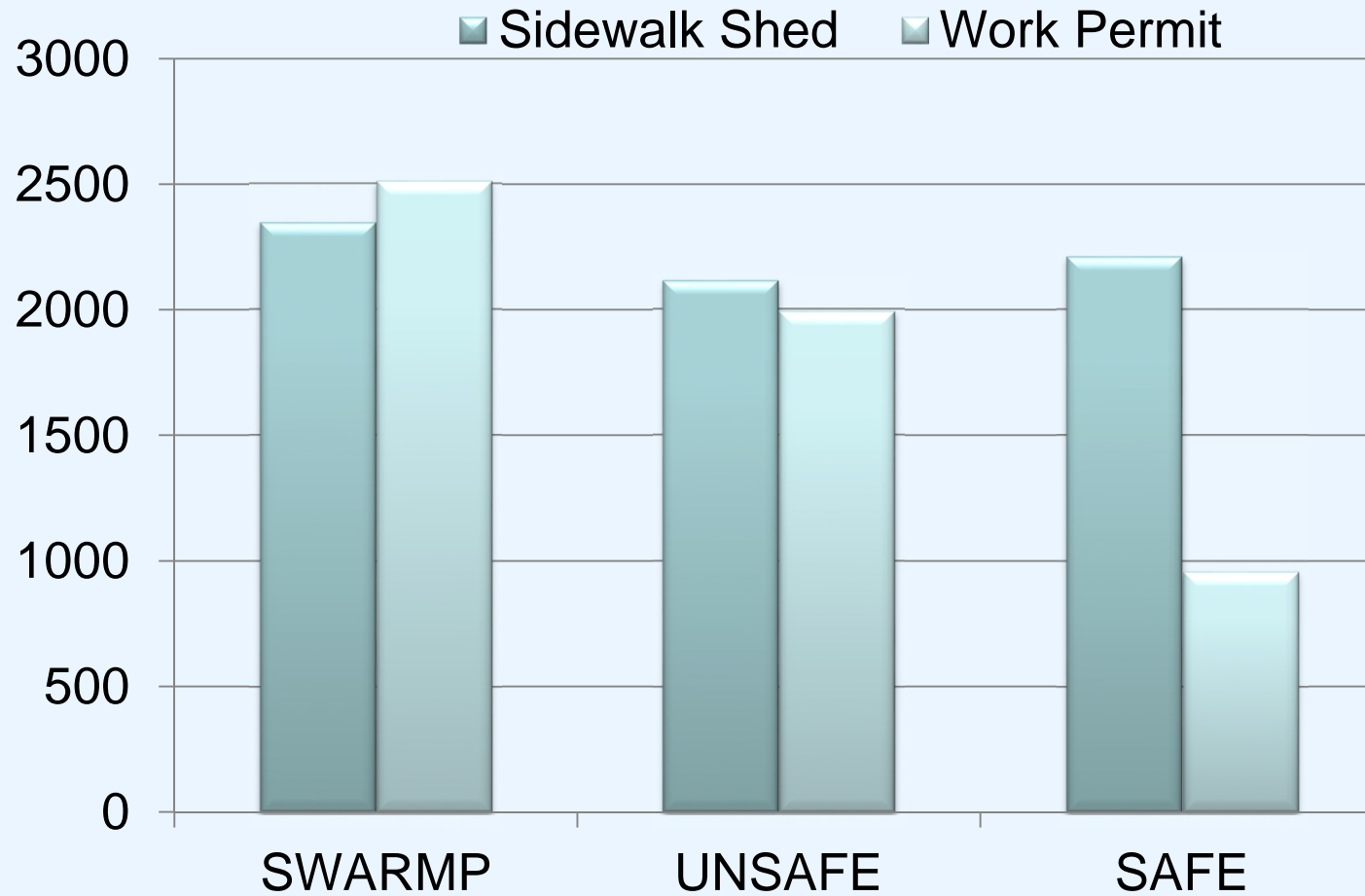


# “UNSAFE” status by Borough

Boro	Totals
1	341
2	167
3	255
4	75
5	7
<b>Grand Total</b>	<b>845</b>

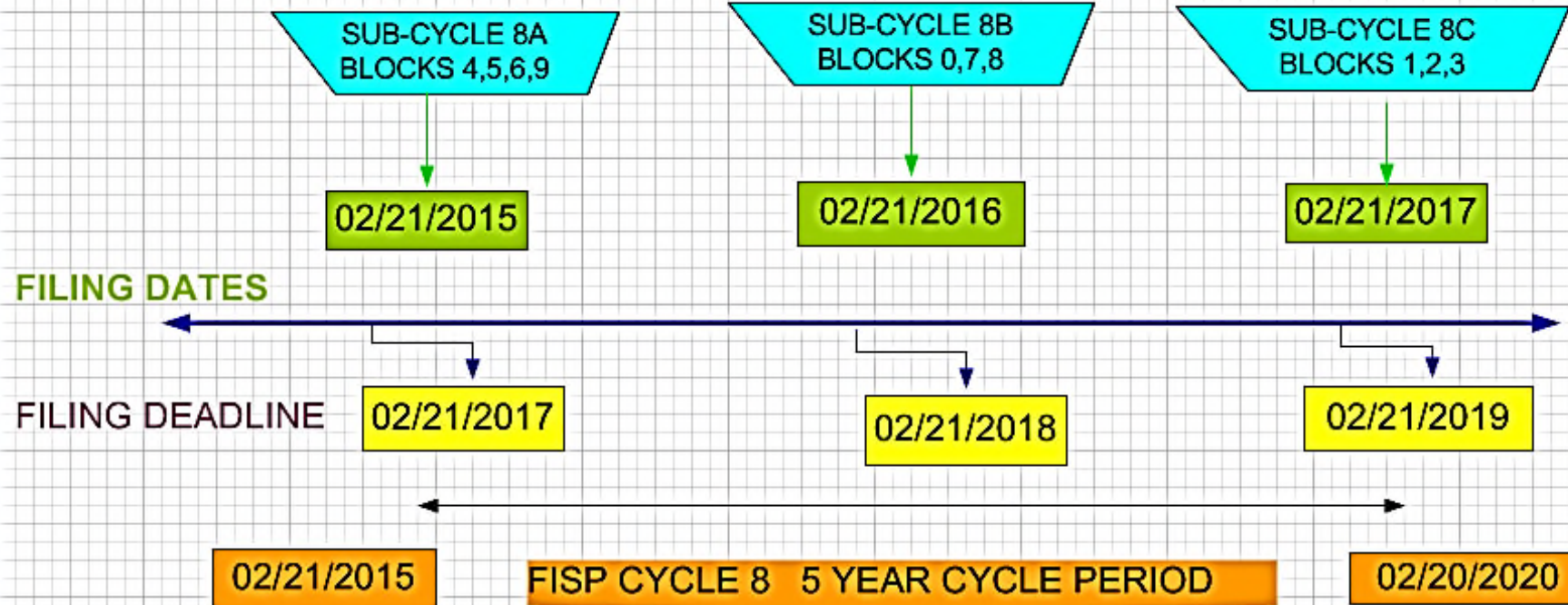


# Surprising Numbers



# Chronology/Overview of Façade Program - Cycle 8

FAÇADE INSPECTION REPORTS - CYCLE 8  
ADMIN. CODE 28.302.1  
(FORMERLY LOCAL LAW 11/98)  
2015-2020



Note: BLOCK # IN SUB-CYCLE -  
LAST DIGIT OF THE BLDG'S  
BLOCK NUMBER



FEBRUARY 2015

## UPCOMING CHANGE

### Façade Inspection and Safety Program: Cycle 8 Filing Begins February 21, 2015

The filing period for Façade Inspection Safety Program (FISP) Cycle 8 begins on February 21, 2015. Technical Reports filed under Cycle 8 must meet the below submission requirements.

FISP Cycle 8 Reports must be saved as PDF files onto a DVD or CD format; paper reports will no longer be accepted. Submitted DVDs or CDs must:

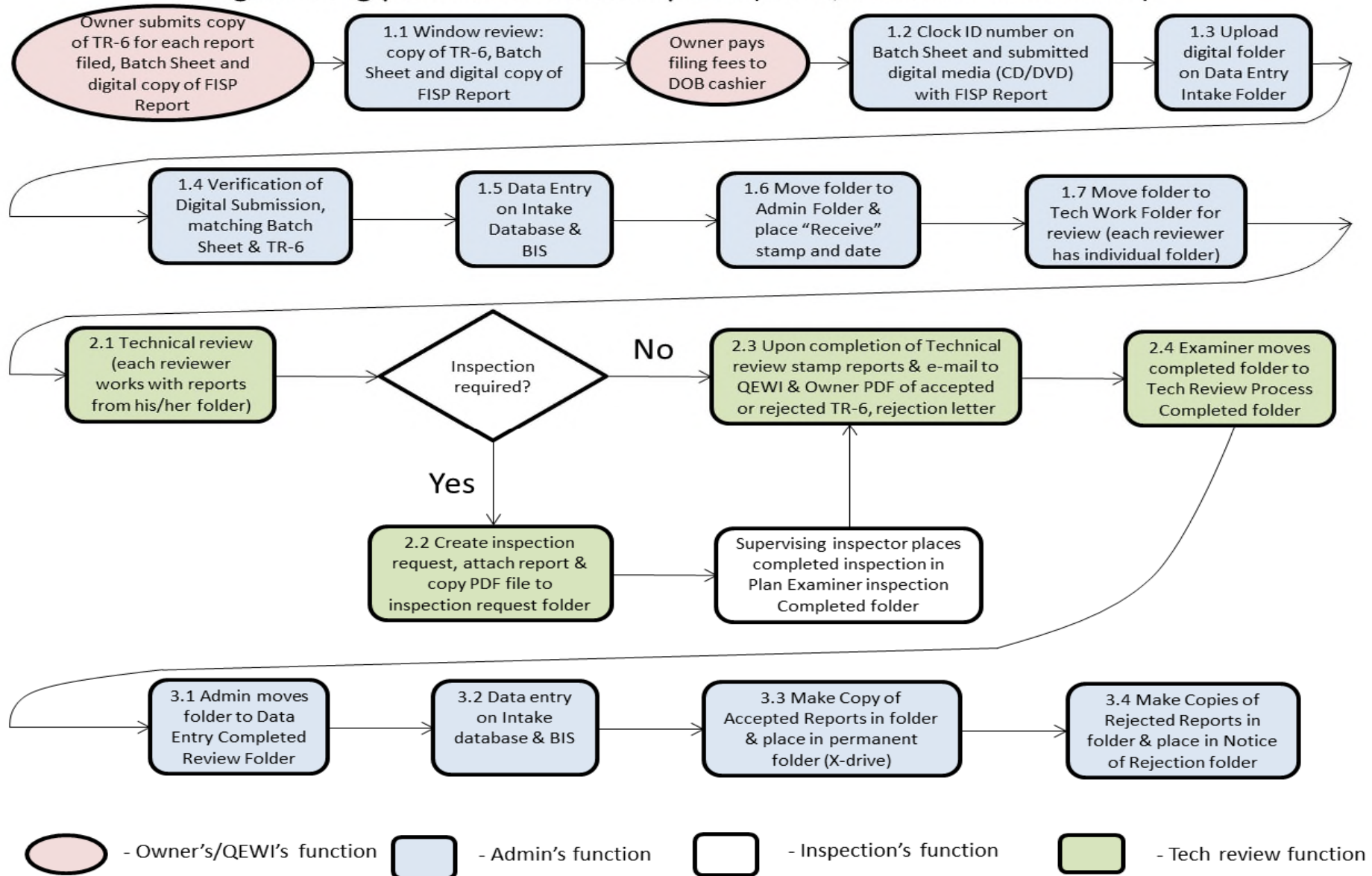
- Have FISP reports in PDF titled/named with a Control Number and a Building Identification Number (BIN), separated by a hyphen. Examples:
  - In "870219-2379100", the digits before the hyphen are the Control Number, and the digits after the hyphen are the Building Information Number.
  - Amended FISP Technical Reports should include a "-2" at the end: "870219-2379100-2".
  - Subsequent FISP Technical Report should include a "-S" at the end: "870219-2379100-S".
- Have separate folders for: 1) Safe status reports; 2) Safe With Repair and Maintenance status reports; and 3) Unsafe status reports.
- Amended reports should be submitted on a separate DVD/CD.
- Include PDF copies of the following items (which must also be printed and submitted with the DVD/CD):
  - Completed Technical Report Form (TR6);
  - Screen shot of the BIS façade page for each technical report being submitted; and
  - Façade Batch Intake Form (FBI1) which will list each building being submitted.

For more information on compliance with façade safety requirements, visit the [Façades page](#) under the Safety & Development section of the Department's website at [nyc.gov/buildings](http://nyc.gov/buildings).

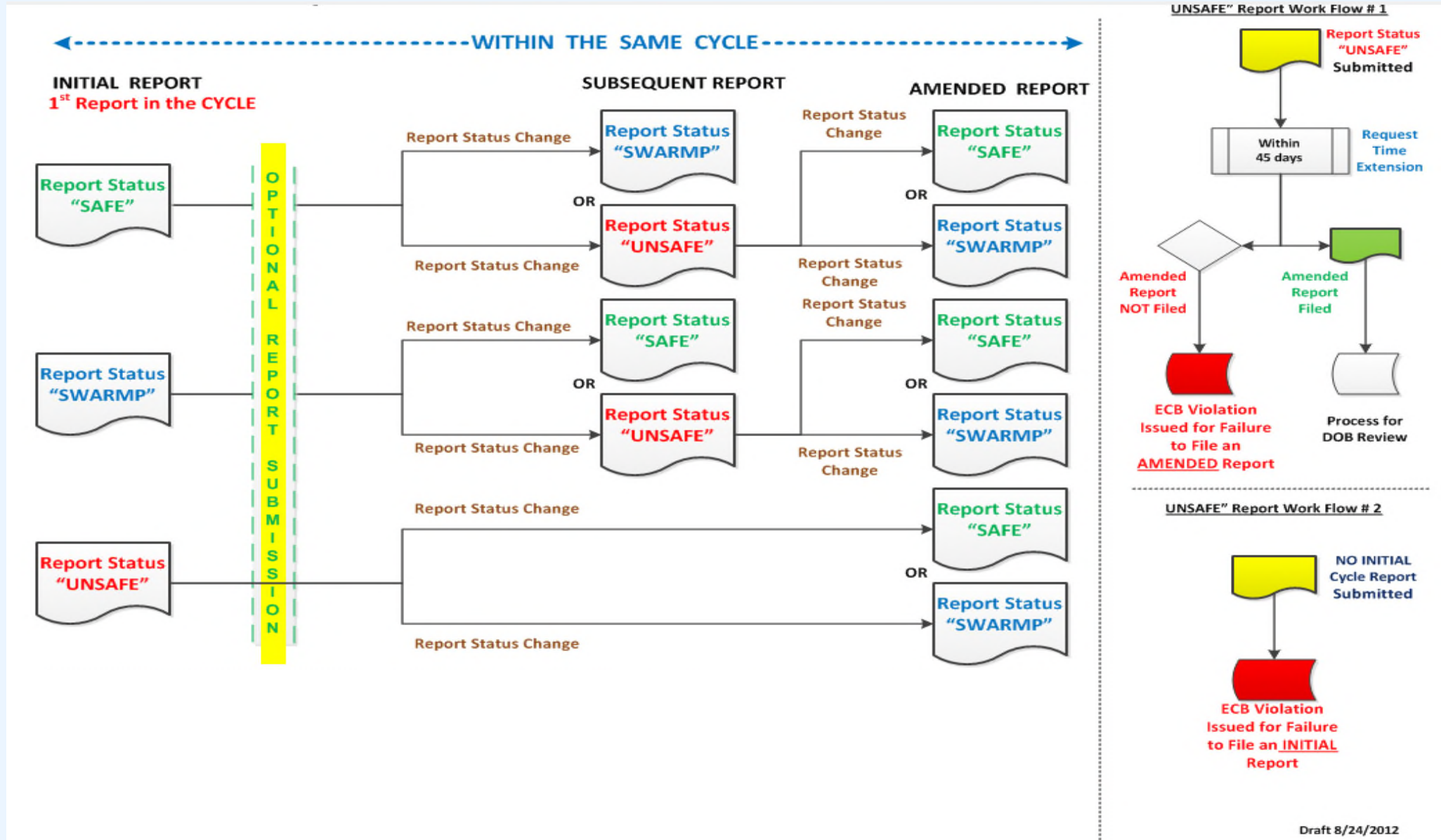
870219-2379100



## Digital filing process for initial reports (SAFE, SWARMP & UNSAFE)



# FISP Report Status Change and Filing Process



- Façade Batch Intake Form (O/fbi1)
- Technical Report-TR6 (O/TR6)
- LL/Façade Report (L)
  - Initial
  - Amended
  - Subsequent
- Façade Cashier Civil Penalties (L/fcp)
- Façade Waiver of Civil Penalties (L/fwp)
- Unsafe Notification-FISP3 (L/fisp3)
- Initial Extension of Time Request (L/fisp1)
- Additional Extension of Time Request (L/fisp2)

# FORMS (Façade Batch Intake Form)



## FACADE BATCH INTAKE FORM (FBI1) Must be typewritten

Date:	FILING TYPE			EXEMPTIONS	
	CHECK ONE BOX ONLY			CHECK ONE BOX ONLY	
Submitted by:	<input type="checkbox"/>	Initial	<input type="checkbox"/>	City Owned	
Business Name:	<input type="checkbox"/>	Amended	<input type="checkbox"/>	Rejections	
Business Address:	<input type="checkbox"/>	Subsequent			
Business Number:	<input type="checkbox"/>	Extension			
Mobile Number:					

COMPLETE THE FOLLOWING INFORMATION								
CONTROL #	ADDRESS	BORO CODE	BLOCK	LOT	STATUS*	CHECK #	AMOUNT	
1								
2								
3								
4								
5								
6								
7								
8								
9								
10								

FOR OFFICE USE ONLY		TOTAL ↓
1) DATE RECEIVED BY LLEU:		<b>FEE SCHEDULE:</b>
2) PRINT NAME:		Initial Reports \$265
3) DATE RECEIVED BY CASHIER:		Amended Reports \$100
4) PRINT NAME:		Extensions \$135
5) DATE CASHIERED:		
6) BIS INVOICE NUMBER:		
LLEU RECEIVED STAMP:		*STATUS CODES: SAFE \$WARMUP UNSAFE
INTAKE REVIEW STAMP:		

### Façade Batch Intake Form (FBI) INSTRUCTIONS

*Purpose of form:*  
The Department has created the Façade Batch Intake (FBI) form for applicants to submit when filing reports for the following:

- Initial Reports
- Amended Reports
- Subsequent Reports
- Extensions
- City Owned
- Rejections

---

**1 Complete the following information**

- Date
- Submitted by
- Business Name
- Business Address
- Business Number
- Mobile Number
- Filing Type
- Control #
- Exemptions
- Address
- Borough Code
- Block
- Lot
- Status
- Check #
- Payment Amount
- Payment Total

---

**2 Submit**

- You must include the TRS, and all reports with the FBI form or your submission may be rejected.
- Ensure that checks are payable to the NYC Department of Buildings.
- All FBI forms and supporting documentation are subject to verification.
- The FBI form with the appropriate documentation and payment must be submitted in person to:

NYC Department of Buildings  
Local Law Enforcement Unit  
280 Broadway, 4<sup>th</sup> floor  
Manhattan

# FORMS (Technical Report-TR6, 2/15)



**Technical Report (TR6)**  
**Periodic Inspection of Exterior Walls and Appurtenances**  
 Sub-Cycle 8A – February 21, 2015 – February 21, 2017  
 Sub-Cycle 8B – February 21, 2016 – February 21, 2018  
 Sub-Cycle 8C – February 21, 2017 – February 21, 2019

Place stamp here

Must be typewritten.

For all reports, submit a digital copy of report in a DVD or CD format, a BIS Façade printout, a completed TR-6 and the Batch Intake form (BIF). The digital copy must be indexed with a Control Number and BIN. E.g. Control # -- BIN

Control #: \_\_\_\_\_

## 1 Filing Information (Indicate if combined cycles)

Initial Filing       Resubmission       Amended Filing       Subsequent Filing  
 Report cycle: \_\_\_\_\_      Report cycle: \_\_\_\_\_      Initial filing date: \_\_\_\_\_  
 Last cycle filing date: \_\_\_\_\_      Initial unsafe filing date: \_\_\_\_\_

## 2 Location Information

House No(s)	Street Name	Zip	CB No	BIN
Borough	AKA	Block	Lot	

## 3 Inspection Report Status Information

Current Cycle: Last Inspection Date \_\_\_/\_\_\_/\_\_\_      SWARMP Recommended Date \_\_\_/\_\_\_/\_\_\_      Prior Filing Cycle \_\_\_\_\_  
 Safe     Safe with repair and maintenance program (SWARMP)     Unsafe       Safe     SWARMP     Unsafe

## 4 Building Characteristics

Landmark Building:  Yes     No      Landmark District:  Yes     No      Wall(s) Subject to Inspection  
 Number of stories: \_\_\_\_\_      Exterior wall type: \_\_\_\_\_      # Balconies: \_\_\_\_\_       All     Partial

## 5 Qualified Exterior Wall Inspector (QEWI) Information

Last Name	First Name	MI
Bus. Name	Bus. Address	Bus. Tel.
City	State	Zip
NYS Lic. #	<input type="checkbox"/> P.E. <input type="checkbox"/> R.A.	Mobile Phone
E-Mail		

## 6 Owner of Record Information (Not a Representative or Business Manager or Agent)

Last Name	First Name	MI
Bus. Name	Bus. Address	Bus. Tel.
City	State	Zip
E-Mail		
Mobile Phone		

## 7 Statements and Signatures

<p><b>Owner / Owner Representative</b></p> <p>(A) I hereby state that I am the owner/owner's representative of the premises referenced in the attached report. Furthermore, I have received and read a copy of the attached report and I am aware of the required repairs and/or maintenance, if any and the recommended time frame for same.</p> <p>(B) I certify that all items noted as SWARMP conditions in the previous cycle's report have been corrected/repared, or this report must be rated as Unsafe as per Administrative Code section §28-302.1, if applicable.</p> <p>Name _____ Signature _____                  Relationship to owner _____ Phone _____                  Email _____ Date _____</p>	<p><b>Qualified Exterior Wall Inspector (QEWI)</b></p> <p>Name (please print) _____</p> <p>Signature _____ Date _____</p> <p>I hereby state that the Owner/Owner's Representative has authorized me to submit this report. Furthermore, I hereby state that all statements are correct and complete to the best of my knowledge. A copy of this report has been given to the owner.</p> <p>P.E. / R.A. Seal (apply NYS seal, then sign and date)</p>
---	--

§28-211.1 False statements in certificates, forms, written statements, applications, reports or certificates of correction. It shall be unlawful for any person to make a material false statement in any certificate, professional certification, form signed statement, application, report or certification of the correction of a violation required under the provisions of this code or any rule of any agency promulgated there under that such person knew or should have known to be false.

## TR6

## INSTRUCTIONS

### Purpose of form:

This Technical Report, as well as any subsequent reports submitted by the applicant, shall be filed in accordance with Administrative Code section §28-302.1 of the Building Code and Rules 1 RCNY §103-04. The Engineer's and/or Architect's report must accompany the submission of the TR-6 Form. Answer all questions. If a question is not applicable say "N/A" (Note: your report may not be accepted, if any question is left unanswered). The TR-6 form should be typewritten or printed legibly. Digital reports must be indexed with a Control Number and a BIN.

### Sub-cycle Type

- Sub-cycle 8A — Building Block ending in 4, 5, 6, 9 must file from February 21, 2015 through February 21, 2017
- Sub-cycle 8B — Building Block ending in 0, 7, 8 must file from February 21, 2016 through February 21, 2018
- Sub-cycle 8C — Building Block ending in 1, 2, 3 must file from February 21, 2017 through February 21, 2019

### 1 Filing Information

- Select the appropriate box to indicate if the report is an Initial, Resubmission, Amended or Subsequent filing.

**Amended Filing:** Mandatory Façade Inspection report that must be filed upon correction of the unsafe conditions reported in the Façade Inspection report.  
**Resubmission Filing:** Rejected reports which must be re-submitted within 45 days.

**Subsequent Filing:** Façade Inspection report upgrading a SWARMP status to Safe upon correction of all SWARMP conditions reported in the Initial Façade Inspection report. Such reports also may change a SWARMP status to Unsafe or change a Safe status to SWARMP if the conditions deteriorate.

### 3 Inspection Report Status Information: Refer to Definitions of Conditions in rule Administrative Code section §28-302.1

#### Current Cycle:

- This is the date the Qualified Exterior Wall Inspector (QEWI) was last on site.
- Select the appropriate box to indicate the status of the report.
- Indicate the inspection date (mm/dd/yyyy)
- Indicate SWARMP Recommended date (mm/dd/yyyy) [Date of most critical to be repaired]
- Select the appropriate box to indicate if the status of the report is: Safe, Safe with repair and maintenance program, or Unsafe.

#### Prior Cycle:

- Select the appropriate box to indicate if the status of the report is: Safe, Safe with repair and maintenance program, or Unsafe
- Indicate prior cycle
- Select the appropriate box to indicate if the status of the report is: Safe, Safe with repair and maintenance program, or Unsafe.

### 4 Building Characteristics

- Indicate landmark status by selecting yes or no.
- Indicate landmark district by selecting yes or no.
- Indicate the wall subject by selecting All or Partial. If Partial, then provide the number of walls. If needed, refer to Departmental Rule, Section 103-04

### 6 Owner of Record Information

- A complete and accurate set of owner information is required when report is submitted. **THIS INFORMATION CANNOT BE THAT OF A REPRESENTATIVE OR BUSINESS MANAGER OR AGENT.**

### 7 Statements and Signatures

- The Owner/Owner Representative must provide his/her name, print, and sign an application acknowledging receipt of a copy of the façade report.
- The Professional must provide his/her name in print and sign and date the application and his/her New York State P.E. or R.A. seal must be placed in the space provided.
- Owner or Owner Representative information must also be provided in the report.

#### Additional Information

- Before filing the report, take note of "Filing Instructions", available on the Department's web site at [www.NYC.gov/buildings](http://www.NYC.gov/buildings) and at the Façade Inspection & Safety Program (FISP) Unit counter at 280 Broadway, 4th Floor, New York, NY 10007.

## Notification of Unsafe Façades

QEWIs must immediately notify the Department when they discover unsafe conditions during a critical examination of a building façade by submitting an Unsafe Notification **FISP3 form**. Reports of unsafe conditions filed without a previously submitted FISP3 form may result in an Immediately Hazardous – Class 1 ECB violation issued to the QEWI filing the report.

30-day initial cure and submittal of Amended Report or FISP1 (90-day extension request).

## Public Protection + Abatement

Owners must immediately install public protection, such as a sidewalk shed, when a façade inspection reveals an unsafe condition. The unsafe condition must be repaired within 30 days from the submission of the report. Owners must request an extension from the Department in accordance with 1RCNY § 103-04 (b)(5)(iv), if additional time is needed. Once the repairs have been completed, the QEWI must submit an amended report within two weeks of the work.

## Removing Public Protection

Public protection must remain in place until repairs are completed and an acceptable amended report is filed. The QEWI must request permission to remove the sidewalk shed when the façade is made safe. The building owner will be issued an ECB violation if the protection is removed without permission.





# FORMS: CIVIL PENALTY and Waiver of Civil Penalties



**NYC Buildings** Facades Cashier Civil Penalty Form (FCP)

**1 Instructions**

Please complete and submit this form to the Facades customer service representative to calculate the penalties owed. Once all penalties are assessed, present the form and remit payment at the Cashier's window. To update the Facades Inspection record and complete the transaction, return the FCP form and receipt to the Facades customer service representative.

**2 Applicant/Owner Contact Information**

Name \_\_\_\_\_ Address \_\_\_\_\_  
 City, State \_\_\_\_\_ Zip \_\_\_\_\_  
 Phone Number \_\_\_\_\_ E-mail \_\_\_\_\_

**3 Civil Penalty Information (Check only one box for each penalty)**

3A Property Information	3B Penalty Type	Internal Use Only
Control #1: _____ Address: _____	<input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Fee Due: \$ _____
Control #2: _____ Address: _____	<input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Fee Due: \$ _____
Control #3: _____ Address: _____	<input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Fee Due: \$ _____
Control #4: _____ Address: _____	<input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Fee Due: \$ _____
Control #5: _____ Address: _____	<input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Fee Due: \$ _____
Control #6: _____ Address: _____	<input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Fee Due: \$ _____
<b>Internal Use Only</b>		
Report Included <input type="checkbox"/> Canceled check Included <input type="checkbox"/> Waiver Granted <input type="checkbox"/> Waiver Denied		
Comments: _____		
Print Name _____ Initials: _____ Date: ____/____/____		

**NYC Buildings** Facades Waiver of Civil Penalties Form (FWP)

**1 Property Information**

Address \_\_\_\_\_ BIN \_\_\_\_\_  
 Borough \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

**2 Applicant/Owner Contact Information**

Name \_\_\_\_\_ Address \_\_\_\_\_  
 City, State \_\_\_\_\_ Zip \_\_\_\_\_  
 Phone Number \_\_\_\_\_ E-mail \_\_\_\_\_

**3 Waiver Information**

3A Civil Penalty Challenges	3B Waiver Request Reason
Control #1: _____ Cycle: ____ Address: _____ <input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Owner <input type="checkbox"/> New Owner—Tax Exempt <input type="checkbox"/> Bankruptcy <input type="checkbox"/> New Owner—Econ. Dev. Prog. <input type="checkbox"/> Government Ownership Building <input type="checkbox"/> Demolished <input type="checkbox"/> Proof of Compliance
<b>Internal Use Only</b>	
Report Included <input type="checkbox"/> Canceled check Included <input type="checkbox"/> Waiver Granted <input type="checkbox"/> Waiver Denied	
Comments: _____	
Control #2: _____ Cycle: ____ Address: _____ <input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Owner <input type="checkbox"/> New Owner—Tax Exempt <input type="checkbox"/> Bankruptcy <input type="checkbox"/> New Owner—Econ. Dev. Prog. <input type="checkbox"/> Government Ownership Building <input type="checkbox"/> Demolished <input type="checkbox"/> Proof of Compliance
<b>Internal Use Only</b>	
Report Included <input type="checkbox"/> Canceled check Included <input type="checkbox"/> Waiver Granted <input type="checkbox"/> Waiver Denied	
Comments: _____	
Control #3: _____ Cycle: ____ Address: _____ <input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Owner <input type="checkbox"/> New Owner—Tax Exempt <input type="checkbox"/> Bankruptcy <input type="checkbox"/> New Owner—Econ. Dev. Prog. <input type="checkbox"/> Government Ownership Building <input type="checkbox"/> Demolished <input type="checkbox"/> Proof of Compliance
<b>Internal Use Only</b>	
Report Included <input type="checkbox"/> Canceled check Included <input type="checkbox"/> Waiver Granted <input type="checkbox"/> Waiver Denied	
Comments: _____	
Control #4: _____ Cycle: ____ Address: _____ <input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Owner <input type="checkbox"/> New Owner—Tax Exempt <input type="checkbox"/> Bankruptcy <input type="checkbox"/> New Owner—Econ. Dev. Prog. <input type="checkbox"/> Government Ownership Building <input type="checkbox"/> Demolished <input type="checkbox"/> Proof of Compliance
<b>Internal Use Only</b>	
Report Included <input type="checkbox"/> Canceled check Included <input type="checkbox"/> Waiver Granted <input type="checkbox"/> Waiver Denied	
Comments: _____	
Control #5: _____ Cycle: ____ Address: _____ <input type="checkbox"/> Late Filing <input type="checkbox"/> Failure to File <input type="checkbox"/> Failure to Correct Unsafe Condition	Owner <input type="checkbox"/> New Owner—Tax Exempt <input type="checkbox"/> Bankruptcy <input type="checkbox"/> New Owner—Econ. Dev. Prog. <input type="checkbox"/> Government Ownership Building <input type="checkbox"/> Demolished <input type="checkbox"/> Proof of Compliance
<b>Internal Use Only</b>	
Report Included <input type="checkbox"/> Canceled check Included <input type="checkbox"/> Waiver Granted <input type="checkbox"/> Waiver Denied	
Comments: _____	
Signature: _____ Date: ____/____/____	

02/11

NOTE: Civil Penalty-for Failure to File, Late Filing, Failure to correct unsafe condition

# FISP1 and FISP2 FORMS

## (Initial and Additional Extension of Time Requests)



**NYC Buildings** Façade Inspection and Safety Program (FISP)  
**FISP1: Initial Extension of Time Request**  
*Application must be typewritten*

**1 Location Information**

House No(s) Street Name  
 Borough Block Lot BIN Control #

**2 Report Information**

DOB Violation #  
 Last Inspection Date (mm/dd/yyyy) Initial Filing Date (mm/dd/yyyy)

**3 Documentation**

**Safety of Premises**  
 Shed  Copy of permit provided  
 Fence  Copy of permit provided  
 Other, Explain: \_\_\_\_\_

**Timetable and Statement from a P.E. or R.A.**  
 Signed and sealed statement of estimated time required to repair   
 Timetable   
 Assessment of temporary safety measures   
 Company name, address, phone number and email of P.E. or R.A.

**Scope of Work has been reviewed as per current work permit requirements: Check One**  
 No Permit is required   
 Copy of work application/permit is attached   
 Scope of work where a portion of repairs requires a work permit   
 Scope of work revised which requires a permit   
 Description: \_\_\_\_\_

**Notarized letter by owner that work will be completed within stated time of PE/RA's estimate**

**4 Owner Information**

Last Name First Name Middle Initial  
 Address City State Zip  
 Telephone E-Mail

**5 Statement and Signature**

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both.

Name (please print) \_\_\_\_\_  
 Signature \_\_\_\_\_ Date \_\_\_\_\_ (mm/dd/yyyy)

NYS P.E. / R.A. Seal (apply seal, then sign and date over seal)

**Internal Use Only**

Extension is hereby:  
 **Granted:** LENGTH OF EXTENSION SHALL BE \_\_\_ DAYS COMMENCING \_\_\_\_\_ (mm/dd/yyyy)  
 **Denied:** \_\_\_\_\_

Technical Examiner Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**NYC Buildings** Façade Inspection and Safety Program (FISP)  
**FISP2: Additional Extension of Time Request**  
*Application must be typewritten*

**1 Location Information**

House No(s) Street Name  
 Borough Block Lot BIN Control #

**2 Report Information**

Additional Request # 1<sup>st</sup>  2<sup>nd</sup>  3<sup>rd</sup>  4<sup>th</sup>  5<sup>th</sup>  6<sup>th</sup>  7<sup>th</sup>  8<sup>th</sup>  9<sup>th</sup>  10<sup>th</sup>  11<sup>th</sup>  12<sup>th</sup>  \_\_\_\_\_  
 DOB Violation #  
 Last Inspection Date (mm/dd/yyyy) Initial Filing Date (mm/dd/yyyy)

**3 Documentation**

**Scope of Work has been reviewed as per current work permit requirements: Check One**  
 No Permit is required   
 Copy of shed/fence permit provided   
 Scope of work requiring a permit   
 Description: \_\_\_\_\_

**Work that has been completed since the last extension was granted** Dated photographs provided   
 Description: \_\_\_\_\_

**Remaining work to be completed**  
 Description: \_\_\_\_\_

**Reason for delay:** \_\_\_\_\_

**Estimated Date of Completion:** \_\_\_\_\_ (mm/dd/yyyy)

**4 Statement and Signature**

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both.

Name (please print) \_\_\_\_\_  
 Signature \_\_\_\_\_ Date \_\_\_\_\_ (mm/dd/yyyy)

NYS P.E. / R.A. Seal (apply seal, then sign and date over seal)

**Internal Use Only**

Extension is hereby:  
 **Granted:** LENGTH OF EXTENSION SHALL BE \_\_\_ DAYS COMMENCING \_\_\_\_\_ (mm/dd/yyyy)  
 **Denied:** \_\_\_\_\_

Technical Examiner Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

- Initial Filing (Report+TR6)- \$265.00
- Subsequent Report- \$100.00
- Amended report- \$100.00
- Time Extension (FISP1, FISP2)- \$135.00
- Late Penalty- (\$250.00/month)-Civil Penalty
- Late Filing- \$1,000.00 (annually)
- Failure to correct unsafe condition- \$1,000.00 (monthly)

# Number of Buildings in LL 11

**Total number of Buildings = 13,114**

Number of buildings  
14 stories and below  
**= 8,100**

Safe = 3,837

SWARMP= 3,136

Unsafe = 1,127\*

\*as of November 2014



# Number of Buildings in LL 11

**Total number of Buildings= 13,114**

Number of buildings  
15 stories and up  
**= 3,218**

Safe = 1,347

SWARMP= 1,450

Unsafe = 421

Number of reports not Filed = **1,796\***

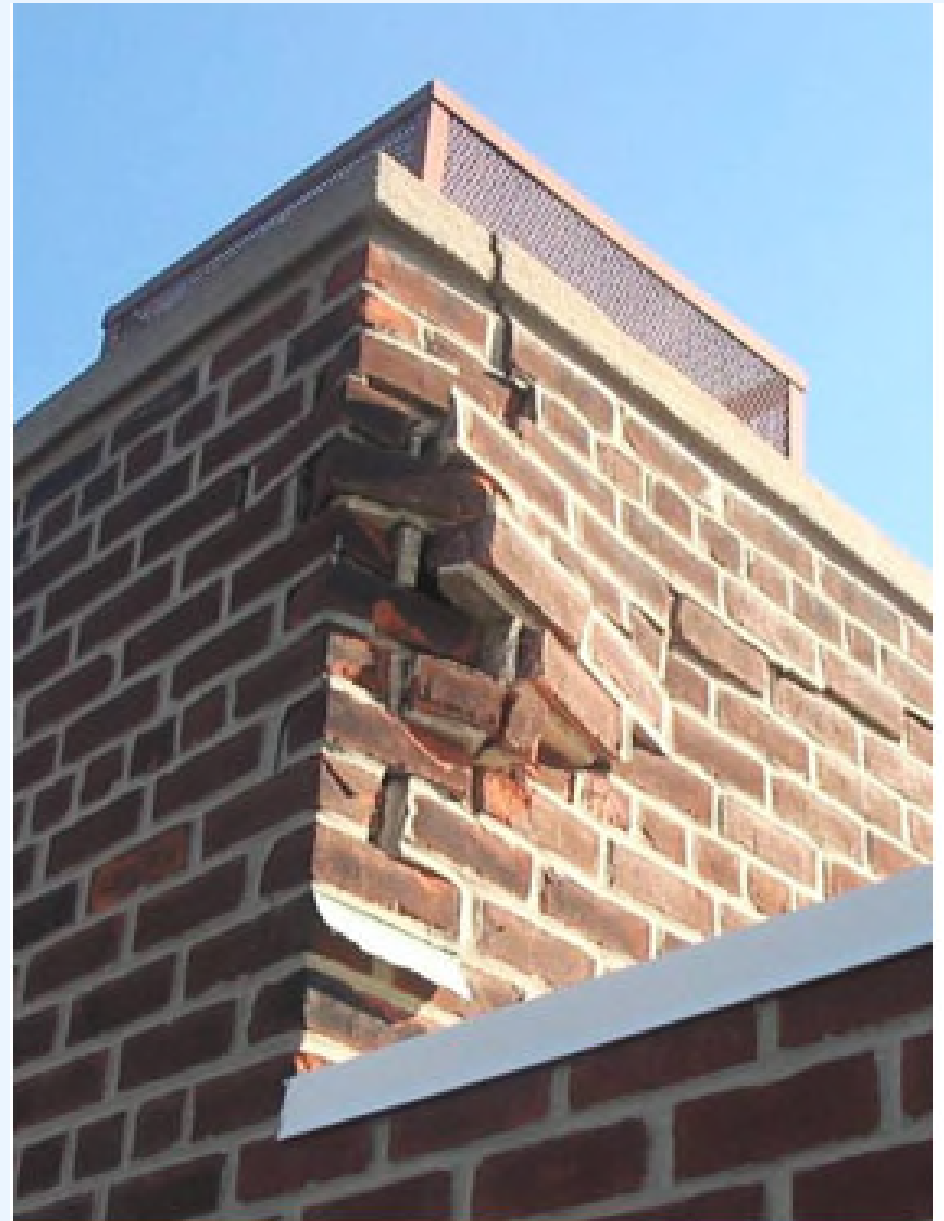
\*as of November 2014



Title 27 construction and maintenance, 1968 Code

First time maintenance of existing buildings turns up 27.127 and covers all existing buildings.

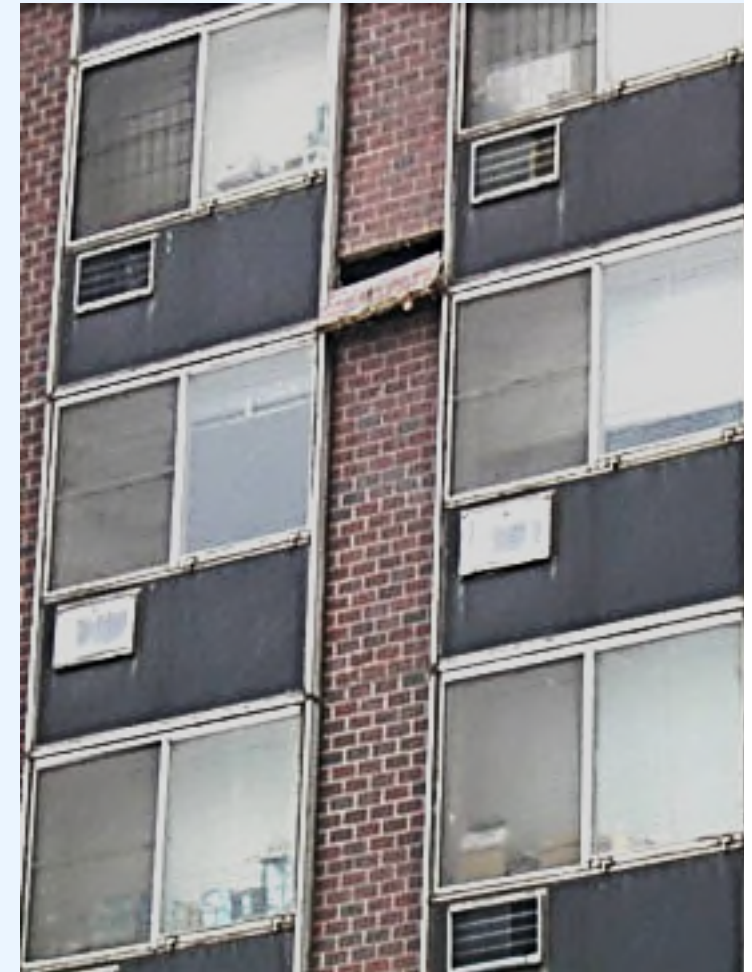
(material science and technical manual)



## Unsafe façades

68 Code amended to include LL10/80

Superseded by LL11/98





For 2014 code, sample categories of unsafe buildings are:

- Fire damaged buildings
- Buildings near collapse
- Façades loose



NYC Department of Buildings  
**Property Profile Overview**

<b>280 BROADWAY</b>		<b>MANHATTAN 10007</b>		<b>BIN# 1079215</b>	
BROADWAY	274 - 286	Health Area	: 7700	Tax Block	: 153
CHAMBERS STREET	53 - 63	Census Tract	: 31	Tax Lot	: 1002
READE STREET	31 - 41	Community Board	: 101	Condo	: NO
		Buildings on Lot	: 1	Vacant	: NO

[View DCP Addresses...](#)   [Browse Block](#)   My roof is °Cool.

---

[View Zoning Documents](#)   [View Challenge Results](#)   [View Certificates of Occupancy](#)

---

**Cross Street(s):** CHAMBERS STREET, READE STREET  
**DOB Special Place Name:**  
**DOB Building Remarks:**  
**Landmark Status:** L - LANDMARK   **Special Status:** N/A  
**Local Law:** NO   **Loft Law:** NO  
**SRO Restricted:** NO   **TA Restricted:** NO  
**UB Restricted:** NO  
**Little 'E' Restricted:** N/A   **Grandfathered Sign:** NO  
**Legal Adult Use:** NO   **City Owned:** YES  
**Additional BINs for Building:** NONE

---

**Special District:** TMU - TRIBECA MIXED USE

---

**This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, or Coastal Erosion Hazard Area.** [Click here for more information](#)

---

**Department of Finance Building Classification:** 09-OFFICE BUILDINGS

Please Note: The Department of Finance's building classification information shows a building's tax status, which may not be the same as the legal use of the structure. To determine the legal use of a structure, research the records of the Department of Buildings.

	Total	Open	
<a href="#">Complaints</a>	147	0	<a href="#">Elevator Records</a>
<a href="#">Violations-DOB</a>	233	23	<a href="#">Electrical Applications</a>
<a href="#">Violations-ECB (DOB)</a>	118	18	<a href="#">Permits In-Process / Issued</a>
<a href="#">Jobs/Filings</a>	128		<a href="#">Illuminated Signs Annual Permits</a>
<a href="#">ARA / LAA Jobs</a>	5		<a href="#">Plumbing Inspections</a>
<b>Total Jobs</b>	<b>133</b>		<a href="#">Open Plumbing Jobs / Work Types</a>
<a href="#">Actions</a>	366		<b>Facades</b>
			<a href="#">Marquee Annual Permits</a>
			<a href="#">Boiler Records</a>
			<a href="#">DEP Boiler Information</a>
			<a href="#">Crane Information</a>
			<a href="#">After Hours Variance Permits</a>

**OR Enter Action Type:**   
**OR Select from List:**  
 Select.. ▼  
**AND**  [Show Actions](#)

- [Elevator Records](#)
- [Electrical Applications](#)
- [Permits In-Process / Issued](#)
- [Illuminated Signs Annual Permits](#)
- [Plumbing Inspections](#)
- [Open Plumbing Jobs / Work Types](#)
- [Facades](#)**
- [Marquee Annual Permits](#)
- [Boiler Records](#)
- [DEP Boiler Information](#)
- [Crane Information](#)
- [After Hours Variance Permits](#)

- § 28–301.1 Failure to Maintain
- § 28–302.5 Repair of Exterior Walls – Unsafe Condition
- § 28–201.1, Unlawful Acts, Failure to Comply with Commissioner’s Order
- § 28-302.3 Immediate Notice of Unsafe Cond
- Complaint Category for Unsafe Façade is 84/73/30.

# DOB – Who owns the LL Portfolio ?

1. LL Facade Unit: Admin unit and inspectors (35 yrs). Filing LL Facade
2. C and D: Hanging Scaffold. CD-5. Filing / C&D
3. Scaffold Safety Team: call in : Inspectorial / SST
4. Sidewalk Shed: Filing; Alt 3. Borough Operations
5. Façade Repairs: Alt 2. Borough Operations: Sheds and Scaffolds
6. Unsafe / Incident: Time dependent and engages all of above.

Thank You!

# Special Enforcement Team (SET) and DOB Enforcement Against NYS Licensed Professionals

Andrew Wallace, Esq.

Deputy Director, Special Enforcement Team

- State Department of Education:
  - Licenses Registered Architects (R.A.s) and Professional Engineers (P.E.s).
- Office of Professional Discipline:
  - Investigates complaints against R.A.s and P.E.s.
- Board of Regents:
  - Authorized to discipline R.A.s and P.E.s, including suspension of license.

- Department of Buildings Privileges – Extended to all P.E.s and R.A.s in Good Standing with New York State:
  - **Professional Certification** – Less than full examination of construction documents. The commissioner may, in the commissioner's discretion, establish a program whereby construction documents may be accepted with less than full examination by the department based on the professional certification of an applicant who is a registered design professional
  - **Directive 14** – R.A. or P.E. may “sign-off” on completed work for applications that do not change the use, occupancy, or egress for an existing building
  - **Special Inspections** – R.A. or P.E. must be qualified as per particular inspection in order to perform special inspections required by Chapter 17 of the New York City Building Code

- Enforcement Against R.A.s/P.E.s for Abuse of Privileges for Lack of Knowledge:
  - **Professional Certification:**
    - After an administrative hearing, DOB may suspend participation in Professional Certification, if:
      - Applicant knowingly or negligently submits application that contains false information or is not in compliance with law; or
      - Applicant submits two (2) pro-cert applications in 12-month period that are then revoked or demonstrate incompetence or lack of knowledge
  - **Directive 14:**
    - Same requirements as per Professional Certification
  - **Special Inspections:**
    - DOB may disqualify licensed professional from performing special inspections for cause



- Enforcement Against R.A.s/P.E.s for False Statements to DOB:
  - *It is illegal to submit any document to DOB that contains a material false statement*
  - *If, after an administrative hearing, R.A./P.E. is found to have **knowingly or negligently made a false statement** to DOB, they are subject to a permanent ban on making any future filings with DOB*
- Supporting Case Law:
  - **St. Clair Nation v. City of New York:**
    - Ban may be based on false statements made *prior* to the 2007 enactment of the false statement penalty
  - **Scarano v. City of New York:**
    - Evidence supported finding at administrative hearing that DOB could no longer rely on applicant to submit honest paperwork
    - Law allowing DOB to ban R.A. or P.E. who submits false statements does not violate any Constitutional right of the R.A./P.E.

- Special Enforcement Team:
  - Part of DOB's Enforcement Division - consists of attorneys, plan examiners and auditors
  - Responsible for insuring compliance by NYS Licensed Design Professionals who exercise professional privileges
  - Located at:
    - 280 Broadway, 5th Floor  
New York, NY 10007

## 1) Referral:

- Department of Investigation – Building Special Investigation Unit (BSIU)
- DOB Borough Offices
- Individual complaint/referral from public

## 2) Audits:

- Do Applicant's Pro-cert applications comply with Building Code (BC) and Zoning Resolution (ZR)?
- Is there a pattern of non-compliance with specific sections of BC or ZR?

## 3) Compliance with Audit:

- Intent To Revoke letter – Issued by Borough Office
- Answer Audit Objections – Applicant must satisfy objections with SET auditor
- Filing Representative may not appear in place of Applicant

## 4) Conclusion of Audit:

- “Audit Accepted”- Applicant has answered all audit objections; or
- “Permit Revoked” - Applicant has failed to answer all audit objections

- Post-Audit Enforcement – where the Audits Demonstrate a Lack of Knowledge:

- **Voluntary Surrender:**

- Applicant appears on DOB website as having voluntarily surrendered his/her privileges

“Notice to New York State Department of Education  
*or ...*”

- **Disciplinary Action:**

- DOB presents case based on audit objections
- Hearing is held at Office of Administrative Trials and Hearings (OATH)
- Administrative Law Judge (ALJ) issues a Report and Recommendation

1. DOB Commissioner has discretion to either accept ALJ Recommendation or apply a more severe suspension penalty
2. As per Commissioner's Order, Applicant's privileges are suspended, either permanently or for a lesser period
3. Applicant is listed on the Disciplinary Actions page on DOB website - <http://www.nyc.gov/html/dob/html/safety/iad.shtml>
4. Notice to New York State Department of Education
5. In both Disciplinary Actions and Voluntary Surrenders - Application to Reinstatement Privileges:
  - Application may not be submitted earlier than one year after surrender
  - Decision on whether or not to grant Reinstatement is at discretion of DOB Commissioner

# SET and DOB Enforcement Against NYS Licensed Professionals

Year	Disciplinary Actions	Voluntary Surrenders
2014	NA	9
2013	NA	13
2012	NA	13
2011	6	20
2010	13	18
2009	7	24
2008	4	12

# Special Enforcement Team (SET) and DOB Enforcement Against NYS Licensed Professionals

Matthew Burdge, Esq.

Deputy Director, Special Enforcement Team

# SET and DOB Enforcement Against NYS Licensed Professionals

---

Year	Disciplinary Actions	Voluntary Surrenders
2014	NA	9
2013	NA	13
2012	NA	13
2011	6	20
2010	13	18
2009	7	24
2008	4	12



Thank You!

# Public Challenge Process

Scott Pavan, R.A.  
Deputy Borough Commissioner

- Understanding of Public Challenge Rule 1 RCNY 101-16
- Understanding of related Department operations and forms:
  - ✓ Zoning Diagram – ZD1 form
  - ✓ ‘Building On My Block’ search and zoning approval status
  - ✓ BISWeb Zoning Documents Link and zoning challenge status
  - ✓ Public Challenge forms
  - ✓ Timeline for public challenges, responses, and appeals

- Public Challenge Rule 1 RCNY 101-16 allows informed public challenges of “zoning approvals” early in the project approval process
- The Public Challenge Process applies only to “zoning approvals” issued by the Department for new buildings (NB) or enlargements affecting the exterior envelope of existing buildings
- Posting of the zoning diagram (ZD1) adds transparency to proposed projects enabling the public to challenge a “zoning approval” early in the approval process

- The Zoning Diagram (ZD1) graphically summarizes the proposed zoning bulk, yards and street plantings for new building or enlargement projects
- It must include a site plan, 3D axonometric diagram, and proposed zoning use and floor area. The ZD1 form and Guide are available for download on the Department's website
- The acceptance and scanning of the ZD1 represents “zoning approval” either as part of full application approval (Section 28-104.2.2) or partial approval (Section 28-104.2.5)
- Zoning approval status of NBs and enlargements can be viewed using the “Building On My Block” search feature on the Department's website

### SITE PLAN DIAGRAM

3/32" = 1/10"

NORTH

100' LOT WIDTH

50' LOT DEPTH

33' REAR YARD AS PER ZR XX-XX

15' FRONT YARD AS PER ZR XX-XX

5' SIDE YARD AS PER ZR XX-XX

10' DRIVEWAY

10' SETBACK TO NEAREST CORNER

10' SETBACK TO NEAREST CORNER

5' SETBACK TO NEAREST CORNER

PERMITTED OBSTRUCTION AS PER ZR XX-XX

LOT COVERAGE AS PER ZR XX-XX

38' BUILDING WIDTH

35' BUILDING DEPTH

14' BUILDING DEPTH

27' BUILDING DEPTH

52' BUILDING DEPTH

33' GARAGE

DECK

101' TO NEAREST CORNER

10'

10'

51' TO NEAREST CORNER

WIDE STREET

SIDEWALK

STREET TREE PLANTING AS PER ZR XX-XX

### LEGEND

R3-1  
DRAFT - CONFIDENTIAL

- PROPOSED BUILDING
- EXISTING BUILDING
- PERMITTED OBSTRUCTION
- ZONING LOT LINE
- RIDGE LINE
- EXISTING TREE
- PROPOSED TREE

WIDE STREET

SIDEWALK

STREET TREE PLANTING AS PER ZR XX-XX

101' TO NEAREST CORNER

10'

10'

51' TO NEAREST CORNER

**NYC**  
Buildings

### ZD1 Zoning Diagram

Must be typewritten

#### Location Information

House No(s) 18

Street Name Not Real Ave.

Borough Brooklyn

Block 2

Lot 2

BIN 2

CB No. 2

Work on Floor(s) 1, 2, 3, 4, 5

For additional zoning characteristics, see Section 12 of the PW1.

#### Version Control

Falsification of any statement is a misdemeanor under § 20-124 of the NYC Administrative Building Code and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both.

NAME (PLEASE PRINT) \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PER A SEAL SUPPLY SEAL, SIGN AND DATE OVER SEAL

10/03

### AXONOMETRIC DIAGRAM

NOT TO SCALE

--- MAXIMUM BULK

— PROPOSED BULK

35'

21'

LOT LINE

WIDE STREET

### SECTION DIAGRAM

NOT TO SCALE

35' MAXIMUM BUILDING HEIGHT AS PER ZR XX-XX

35'

21'

LOT LINE

- The “Building On My Block” search indicates “zoning approval” status as “Pending”, “Granted”, or “Amended”
- Click on the job number for more information

**Open “New Building” Jobs in Community Board: Manhattan - 08**  
Signed-off jobs are not included in this search. Please refer to BISWeb for signed-off jobs

Click on a column header to sort by that field

FILE DATE ↓	JOB #	ADDRESS	BLOCK	LOT	ZONING APPROVAL	STATUS <a href="#">(What's this?)</a>
09/18/2009	<a href="#">569836254</a>	<a href="#">27 AVENUE A</a>	8594	2	PENDING	APPLICATION ASSIGNED TO PLAN EXAMINER
06/06/2009	<a href="#">867351378</a>	<a href="#">53 EAST 8TH STREET</a>	4568	3	PENDING	PLAN EXAMINATION - DISAPPROVED
08/25/2009	<a href="#">110055831</a>	<a href="#">520 BROOME STREET</a>	489	41	<b>GRANTED - 09/17/09</b>	PLAN EXAMINATION APPROVED
06/16/2009	<a href="#">687889821</a>	<a href="#">64 WEST 86TH STREET</a>	8765	32	<del>GRANTED - 09/16/09</del>	ALL PERMITS ISSUED - NOT SIGNED OFF
09/08/2009	<a href="#">876546766</a>	<a href="#">74 43RD STREET</a>	8697	7	<a href="#">AMENDED - 09/26/09</a>	NOT ALL PERMITS ISSUED
07/31/2009	<a href="#">969447234</a>	<a href="#">913 76TH STREET</a>	5563	8	<a href="#">GRANTED - 08/23/09</a>	PLAN EXAMINATION - DISAPPROVED
09/26/2009	<b><a href="#">786354842</a></b>	<a href="#">8 3RD AVENUE</a>	6563	22	<a href="#">GRANTED - 10/04/09</a>	PLAN EXAMINATION - PARTIAL APPROVAL

- The BISWeb job screen includes a “zoning documents” folder for all NBs and enlargements
- Once zoning approval is reached, you can click on this link to view the scanned ZD1 and all other documents related to the zoning approval including determinations and zoning exhibits

NYC Department of Buildings  
**Application Details**

JUMP TO:

Premises: 535 EAST 87 STREET MANHATTAN				Job No:	
BIN:		Block: 1584 Lot:		Document: 01 OF 2	
Job Type: A1 - ALTERATION TYPE 1					
<a href="#">Document Overview</a>	<a href="#">Items Required</a>	<a href="#">Virtual Job Folder</a>	<a href="#">All Permits</a>	<a href="#">Schedule A</a>	<a href="#">Schedule B</a>
<a href="#">Fees Paid</a>	<a href="#">Forms Received</a>		<a href="#">All Comments</a>	<a href="#">C/O Summary</a>	<a href="#">Plumbing Inspections</a>
<a href="#">Crane Information</a>	<a href="#">Plan Examination</a>			<a href="#">C/O Preview</a>	
<a href="#">After Hours Variance Permits</a>					

---

<a href="#">Zoning Documents</a>	<a href="#">Challenge Period Status</a>	<a href="#">Challenge Results</a>
----------------------------------	---	-----------------------------------

---

**Last Action:** PLAN EXAM - APPROVED 12/31/2012 (P)  
**Application approved on:** 12/31/2012



- To see if the application’s challenge period is open, click the “Challenge Period Status” link on the BISWeb job screen
- To read decisions made on challenges, click the “Challenge Results” link

NYC Department of Buildings  
Application Details

JUMP TO:

Premises: 535 EAST 87 STREET MANHATTAN				Job No:	
BIN:            Block: 1584   Lot:		Document: 01 OF 2			
Job Type: A1 - ALTERATION TYPE 1					
<a href="#">Document Overview</a>	<a href="#">Items Required</a>	<a href="#">Virtual Job Folder</a>	<a href="#">All Permits</a>	<a href="#">Schedule A</a>	<a href="#">Schedule B</a>
<a href="#">Fees Paid</a>	<a href="#">Forms Received</a>		<a href="#">All Comments</a>	<a href="#">C/O Summary</a>	<a href="#">Plumbing Inspections</a>
<a href="#">Crane Information</a>	<a href="#">Plan Examination</a>			<a href="#">C/O Preview</a>	
<a href="#">After Hours Variance Permits</a>					
<a href="#">Zoning Documents</a>	<a href="#">Challenge Period Status</a>		<a href="#">Challenge Results</a>		

**Last Action:** PLAN EXAM - APPROVED 12/31/2012 (P)  
**Application approved on:** 12/31/2012

- When the challenge status is “open”, you may submit a zoning challenge

NYC Department of Buildings  
**Challenge Period Status**

For more information on Zoning Diagrams & Challenge Process, click [here](#).

Premises: 535 EAST 87 STREET MANHATTAN			Job No:
BIN:	Block: 1584	Lot:	Job Type: A1 - ALTERATION TYPE 1

**Application Approved on: 12/31/2012**

---

[Zoning Documents](#)      [Challenge Results](#)

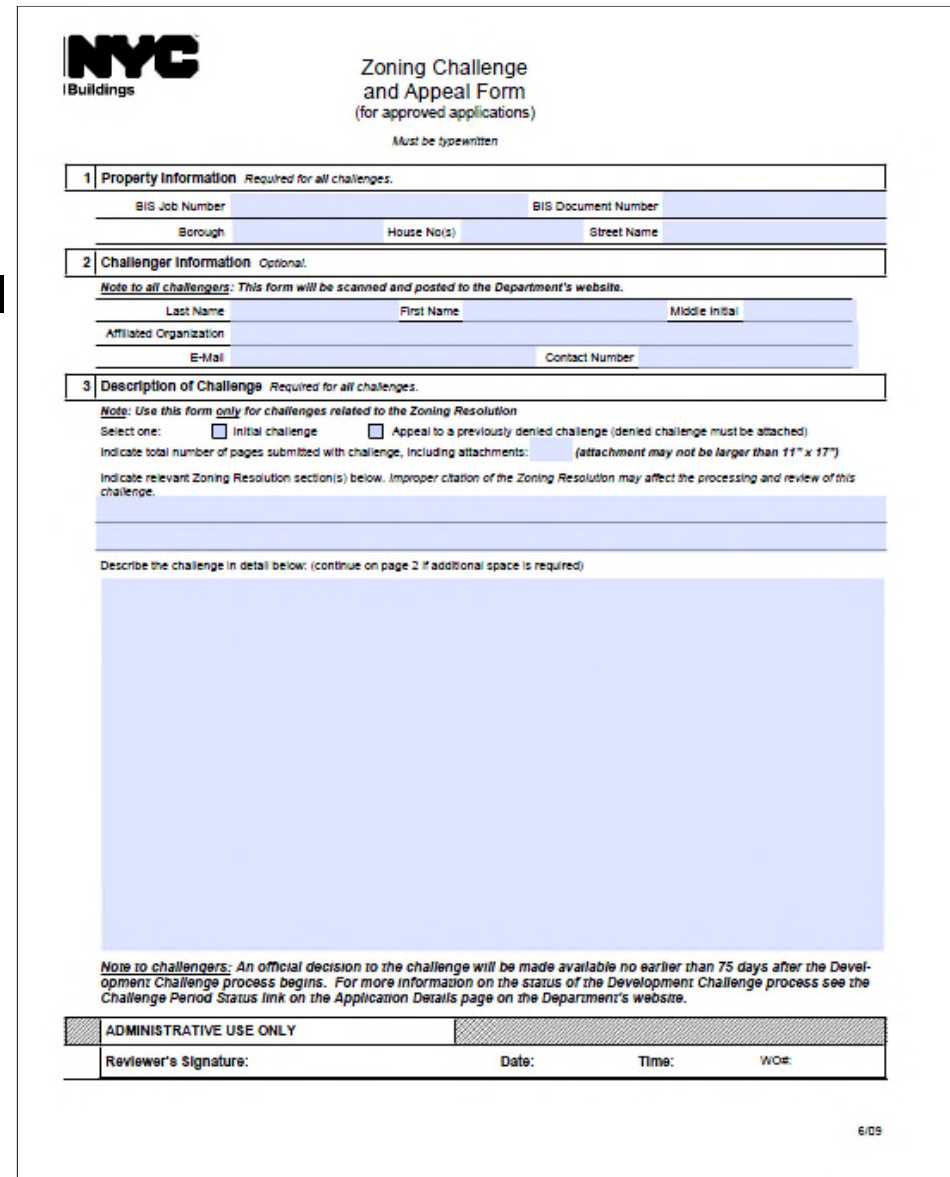
---

Challenge Status	Appeal Status
Open until 02/11/2013	

To challenge this job, click [here](#)

- Clicking on the link above will open the Zoning Challenge form from the Department’s website

- Once “zoning approval” is granted, the initial challenge period opens for 45 days
- A public challenge may be submitted using the Zoning Challenge and Appeal Form available on the Department website
- It is recommended to provide as much detail as possible on the nature of the zoning challenge. Submissions can be made by mail, fax, or email
- After the 45 day challenge period closes, the Borough Commissioner shall review all challenges and post responses
- The public challenge timeline for submissions, responses, and appeals can be viewed on the next slide



**NYC Buildings** Zoning Challenge and Appeal Form (for approved applications)  
Must be typewritten

**1 Property Information** Required for all challenges.

BIS Job Number	BIS Document Number
Borough	House No(s) Street Name

**2 Challenger Information** Optional.

*Note to all challengers: This form will be scanned and posted to the Department's website.*

Last Name	First Name	Middle Initial
Affiliated Organization		
E-Mail	Contact Number	

**3 Description of Challenge** Required for all challenges.

*Note: Use this form only for challenges related to the Zoning Resolution*  
 Select one:  Initial challenge  Appeal to a previously denied challenge (denied challenge must be attached)  
 Indicate total number of pages submitted with challenge, including attachments: \_\_\_\_\_ (attachment may not be larger than 11" x 17")  
 Indicate relevant Zoning Resolution section(s) below. Improper citation of the Zoning Resolution may affect the processing and review of this challenge.

Describe the challenge in detail below: (continue on page 2 if additional space is required)

*Note to challengers: An official decision to the challenge will be made available no earlier than 75 days after the Development Challenge process begins. For more information on the status of the Development Challenge process see the Challenge Period Status link on the Application Details page on the Department's website.*

<b>ADMINISTRATIVE USE ONLY</b>			
Reviewer's Signature:	Date:	Time:	WOC:

6/09

