



River North (Liberty Towers) DEIS  
Architectural Drawings  
*Prepared by FXCollaborative*

**LANGAN**





# RIVER NORTH

STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART  
OF LOT 8 (TENTATIVE LOT 95)  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE, 180 RICHMOND TERRACE  
STATEN ISLAND, NY

DRAFT SPECIAL PERMIT SET - CPC REVISIONS  
AUGUST 13TH, 2021

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		Z-511	ONSITE FITNESS SECTIONS

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SPECIAL PERMIT DRAWING SET

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01	SPECIAL PERMIT FILING	04/01/2021
02	DRAFT SPECIAL PERMIT SET - CPC REVISIONS	08/13/2021
NO.	REVISIONS   SUBMISSIONS	DATE

DRAWING TITLE:  
Z-000  
COVER SHEET

Seal



NOTE: PLACE HOLDER, NEW SURVEY INCLUDING  
PORTION OF LOT 13 AS PART OF ZONING LOT TO BE  
PROVIDED

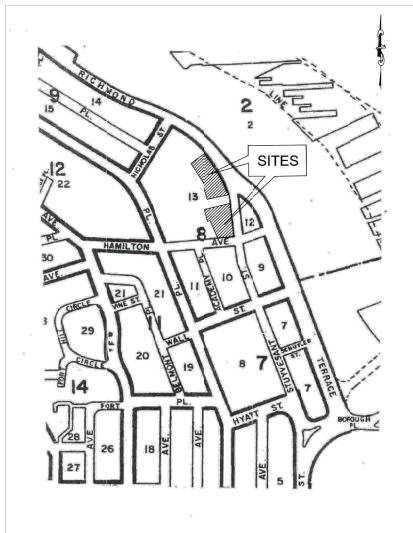
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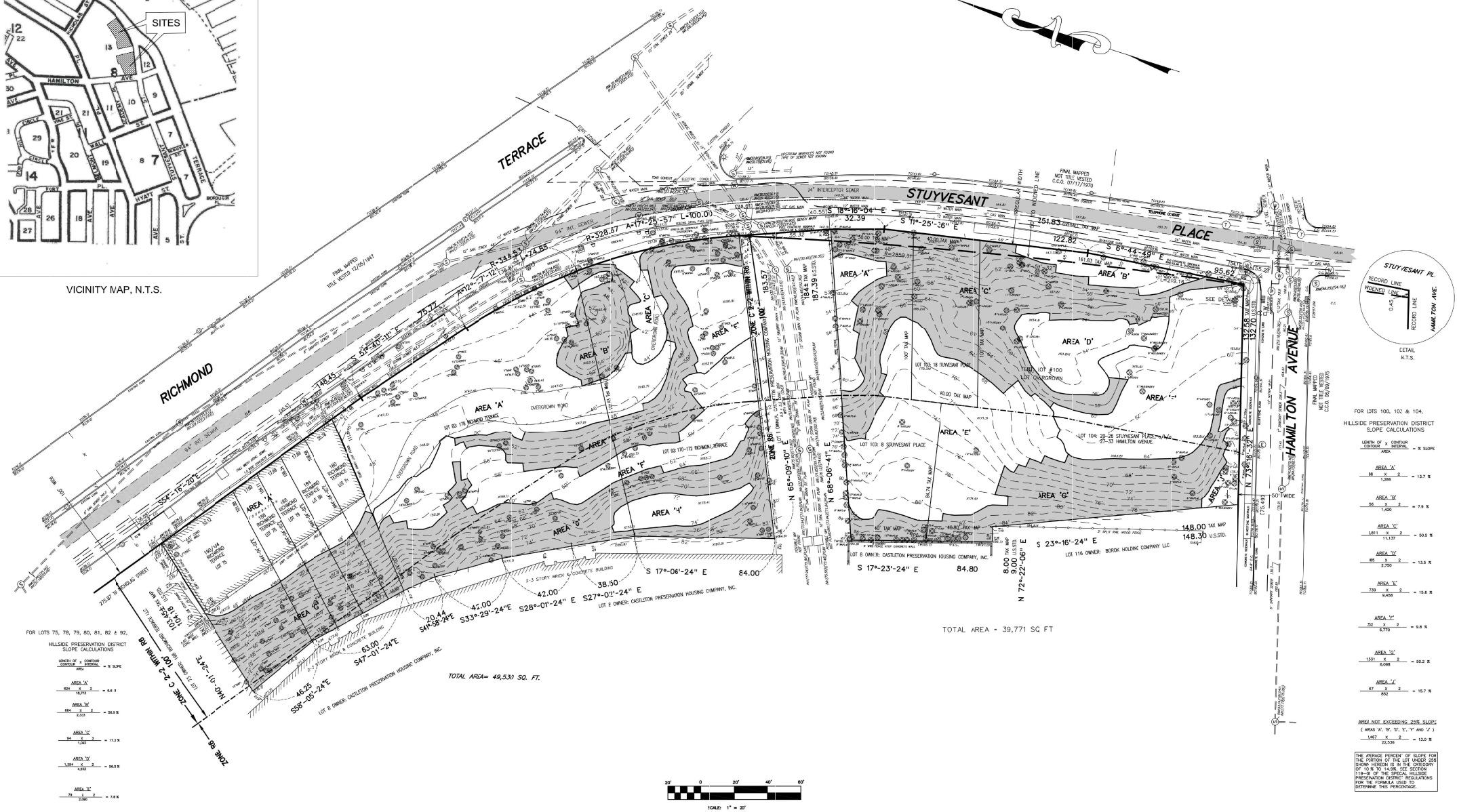
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VICINITY MAP, N.T.S.



NOTE:  
ELEVATIONS REFER TO NAVD 88 DATUM.

NOTES

1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
2. ALL GROUND/FACE INFORMATION SHOWN HEREON IS TAKEN FROM VARIOUS MAPS AND UTILITY COMPANIES, AND IS NOT GUARANTEED FOR ACCURACY OR COMPLETENESS BY THE SURVEYOR.
3. SURVEYOR'S CONTRACTUAL LIABILITY SHALL RUN ONLY TO THOSE PARTIES TO WHOM THIS SURVEY IS CERTIFIED.
4. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL, SHALL BE CONSIDERED VALID TRUE COPIES.
5. THIS IS TO CERTIFY THAT THERE ARE NO STREAMS OR NATURAL WATERCOURSES ACROSS THE PROPERTY AS SHOWN ON THIS SURVEY.

IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANYWAY.

SCALE: 1" = 20'	BLOCK MAP INFORMATION: SEE VOL. 1		BOROUGH OF STATEN ISLAND CITY OF NEW YORK
SURVEY# 415118	TAX MAP - LOTS 75,76,78,79,81 & 82, 103 & 104		544 UNIVERSITY AVENUE, 11TH FLOOR STATEN ISLAND, NY 10314
F# 8	FILED MAP INFORMATION		WOHL & O'MARA, L.L.P. CIVIL ENGINEERS AND LAND SURVEYORS 544 UNIVERSITY AVENUE ST. NY, NY 10314 718-446-7455
06-20-2017	DESCRIPTION	F#	FOUNDATION LOCATED: THIS SURVEY IS CERTIFIED TO
	DEP. TAX LOTS		
EXISTING ELEVATIONS SHOWN THIN ( ) EXISTING ELEVATIONS SHOWN THICK ( ) BOROUGH DATUM ELEVATIONS SHOWN THIN ( ) ELEVATIONS REFER TO NAVD 83 DATUM			
COORDINATES AND BEARINGS ARE IN A SYSTEM ESTABLISHED BY THE U.S. GEOLOGICAL SURVEY FOR THE BOROUGH OF RICHMOND			

Seal

	BUILDING 1				BUILDING 2				BUILDING 3				TOTAL			
	GSF	ZSF	DEV. UNITS	ENCLOSED PARKING	GSF	ZSF	DEV. UNITS	ENCLOSED PARKING	GSF	ZSF	DEV. UNITS	ENCLOSED PARKING	GSF	ZSF	DEV. UNITS	ENCLOSED PARKING
RESIDENTIAL	UG 2	311,291	278,974	327	-	235,327	203,010	295	133,997	103,010	128	-	680,615	584,994	750	-
RETAIL	UG 6	9,697	-	-	-	1,715	-	-	7,468	7,020	-	-	18,880	7,020	-	-
PARKING	ACCESSORY TO UG 2 & 6	66,349	-	-	215	-	-	-	35,750	-	-	115	102,099	-	-	331
TOTAL		387,337	278,974			237,042	203,010		177,215	110,030			801,594	592,014		

3 AREA TOTALS SUMMARY

1. Zoning Map Amendments

  - Zoning map amendment to rezone an area bounded by Nicholas Street, Richmond Terrace, Stuyvesant Place, Hamilton Avenue and a line running parallel to Richmond Terrace and Stuyvesant Place at a depth of 185 feet from an R6/ C2-2 (HS) zoning district to an R7-3/C2-4 (SG) zoning district.
  - Zoning map amendment to rezone the block bounded by Richmond Terrace, Stuyvesant Place and Hamilton Avenue from an R6/C2-2 zoning district to an R6/C2-4 (SG) zoning district.
2. Zoning Text Amendments

  - Article II (Residence District Regulations) of the New York City Zoning Resolution ("Zoning Resolution" or "ZR") to allow an R7-3 district and the optional Quality Housing Program within the SSGD.
  - Article XII, Chapter B (Special St. George District) regulations to include the Proposed Area within the Upland Subdistrict, establish bulk and other regulations for the R7-3 district within the SSGD, and establish a new special permit to modify bulk and mandatory improvements within the R7-3 district; and
  - Appendix F (Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas) to include Proposed R7-3/C2-4 (SG) district as a mandatory inclusionary housing area.
3. Zoning Special Permit pursuant to proposed ZR Section 128-62

  - To permit a waiver to the Maximum Base Height (ZR 128-33) and the Maximum Building Height (ZR 128-34);
  - To permit an encroachment into the required rear yard (ZR Section 23-47); and
  - To permit a waiver to planting requirements (ZR Section 128-42) to allow the proposed publicly accessible open space with landscaping and paving to be located between the street wall of the building and the street line.

2 PROPOSED ZONING ACTIONS

SITE DATA	
Borough	Staten Island
Zoning Lot	Block 13 Lots R2, R3, 100 & portion of Lot 8
Addresses	24 Stuyvesant Place
	170 Richmond Terrace
	178 Richmond Terrace
Zoning Lot Area	97,000.32
Street Widening	1,859.88
Total Lot Area	98,860.20
Community District	Staten Island Community District 1
Zoning District	R7-3 (C2-4 / SG) (MIM)
Zoning Map	215

ITEM	ZR	PERMITTED / REQUIRED	PROPOSED	COMPLIANCE	COMPLIANCE NOTES			
Uses	22-00	Permitted uses in R7-3 Districts: Use Groups 1-4	Use Group 2 - Residential	Yes				
	32-00	Permitted uses in C2-4 Districts: Use Groups 1-9 & 14	Use Group 6A - Retail					
Floor Area		FAR	FAR					
		PERMITTED ZFA	ZFA					
	128-21	Maximum Res Min FAR	6.00	98,869 x 6.00 = 593,160	5.93	593,160	Yes	
	33-123	Maximum Com FAR	2.00	98,869 x 2.00 = 197,720	0.07	7,020	Yes	
	24-12	Maximum CF FAR	6.00	98,869 x 6.00 = 593,160			Yes	
128-21	Maximum FAR	6.00	593,160	6.00	593,160	Yes		
Density Regulations	23-22	Density factor for determining maximum number of development units	680	Proposed number of development units	750	Yes		
		Maximum number of development units (592,014 / 680 = 870)	870					
Lot Coverage Regulations	128-22	Maximum residential corner lot coverage:	100%	Proposed residential Corner lot coverage:	33%	Yes		
	128-22	Maximum residential interior lot coverage:	70%	Proposed residential interior lot coverage:	48.1%	Yes		
Yard Regulations	23-45	No front yards required	No front yards provided	Yes				
	23-462 / 33-25	No Side Yards are required, but if provided minimum is 8'	No side yard's provided	Yes				
	23-47	Minimum required residential rear yard is 30' for interior lots	30' residential rear yard provided along all rear lot lines	Yes				
	33-26	Minimum required commercial rear yard is 20' for interior lots	30' commercial rear yard provided along all rear lot lines	Yes				
	23-471 / 33-261	Beyond 100' of a street line a side lot line shall be considered a rear yard line and a 30' residential rear yard and/or 20' commercial rear yard shall be provided where such rear yard line coincides with a rear yard line on an adjacent lot.	Rear yard waiver required for building 1.	No*			*Special Permit to waive rear yard requirement pursuant to 128-62	
Height & Setback Regulations	128-30	All buildings shall comply with Quality Housing height & setback regulations pursuant to 23-604(c)		Yes				
		All heights shall be measure from the base plane	See base plane calculations	Yes				
		Street wall location regulations do not apply to developments in R7-3 withing the Special Saint George District	Street wall varies	Yes				
	128-33	Maximum Base Height	75'					
	128-34	Maximum Building Height	185'					
	128-34	Maximum number of stories	18 Stories					
	128-33	Required Narrow Street Setback	15'					
	128-33	Required Wide Street Setback	30'					
	Roof-top Regulations	128-31	Provisions of 33-42 apply to all bldgs within The Special St George District	Lot Coverage	Streetwall Setback			
		Obstructions must be setback 10' from streetwall but need not be setback more than 25' from the street line	Building 1 Bulkhead	20%	31.75' Min	Yes		
		Elevator, stair and mechanical bulkheads limited to 20% lot coverage of the building	Building 2 Bulkhead (Lot Coverage)	38%*	38.75' Min	No*	*Special Permit to waive maximum bulkhead lot coverage regulations pursuant to 128-62	
			Building 3 Bulkhead (Lot Coverage)	N/A	N/A	Yes		
Distance Between Buildings	23-711	Minimum Distance Between Buildings	Proposed Minimum Distance Between Buildings					
		Wall to wall	40'	50' min window to wall		Yes		
		Window to wall	50'	40' min wall to wall		Yes		
		Window to Window	60'					
Parking & Loading Regulations	128-51(b) / 25-23	Required Market Rate Residential Parking Spaces	263	Proposed Market Rate Residential Parking Spaces	263	Yes		
		50% of development units						
	25-251	15% Market Rate Units + 50% = 263 Parking Spaces	34	Proposed Parking Spaces for Affordable Residential DU	34	Yes		
		Required Affordable Residential Parking Spaces						
	36-21	15% of development units which are below 80% AMI	34	Proposed Parking for Retail (UG 6A)	34	Yes		
		(225 Affordable Units x 15% = 34 Parking Spaces)						
		Required parking for retail (UG 6A)						
		Includes retailing area in the cellar per 12-00 definition of floor area						
Mandatory Improvements	128-52	1 space per every 1,000 SF of UG 6A	331	Total number of proposed parking spaces	331	Yes		
		(18,826 SF / 1,000 = 18.826)						
	128-52	Total number of required Parking Spaces	331	All above grade parking shall be in compliance with 128-54		Yes		
		Floor area of buildings shall not include parking in any story that complies with 128-54						
	128-54	All above grade parking must comply with the screening requirements 37-921 and shall be located within a facility that complies with 37-35.	375	Ground floor parking will be limited to entrances and exits of the parking facility and parking above grade shall be screened in accordance with the Parking Wall and Screening Requirements of 37-35.	375	Yes		
		Required number of residential bicycle spaces	375	Proposed residential bicycle spaces	375	Yes		
		50% of development units						
		(750 Development Units x 50% = 375 Bicycle Spaces)						
Zoning Calculations	128-55	Required number of bicycle spaces for retail (UG 6A)	2	Proposed retail bicycle spaces	2	Yes		
		1 space per 10,000 SF						
		(18,880 SF / 10,000 SF = 1.88)						
	128-56	Total number of bicycle spaces	377	Total number of proposed bicycle spaces	377	Yes		
		Required Loading for UG 6A Retail		No Loading Provided. Proposed retail (UG 6A) less than 25,000 SF.		Yes		
		None required for less than 25,000 SF						
	26-41	1 Street tree per 25' of street frontage		All trees will be planted adjacent to zoning lot or at alternate site(s) selected by the NYC Department of Parks and Recreation		Yes		
		Hamilton Avenue Frontage is 122.66': 122.66' / 25 = 5						
Zoning Analysis	128-12	Stuyvesant Place Frontage is 305': 305' / 25 = 13 Street Trees						
		Richmond Terrace Frontage is 400': 400' / 25 = 16 Street Trees						
	128-12	Ground commercial or community facility uses must comply with 37-34 Transparency Requirements		Ground floor retail use facades will provide 50% transparency between 30" above adjoining sidewalk to height of ceiling		Yes		
		Transparent materials shall occupy at least 50 percent of the surface area of such ground floor level street wall between a height of 2' and 12', or the height of the ground floor ceiling, whichever is higher, as measured from the adjoining sidewalk. Transparent materials provided to satisfy such 50 percent requirement shall not begin higher than 30" above the sidewalk.						
Zoning Map	128-41	The combined width of the sidewalk within the street and the sidewalk widening within the property must equal 12', minimum.	12' Min.	Hamilton Ave		Yes		
			15' Min.	Stuyvesant Street				
			15' Min.	Richmond Terrace				
128-42	Area of zoning lot between the street line and street wall shall be planted at ground level except planting not required in front of building and/or garage entrances		Planting area between street wall and street line of portions of Buildings 1, 2 & 3 not provided in accordance with 128-42 to permit new public open space. See waiver plan.		No*			

1 ZONING CALCULATIONS

RIVER NORTH  
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STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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02	DRAFT SPECIAL PERMIT SET - CPC REVISIONS	08/13/2021
NO.	REVISIONS   SUBMISSIONS	DATE

DRAWING TITLE:  
Z-002  
ZONING ANALYSIS

Scale





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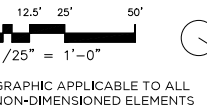
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1 COMBINED SITE PLAN  
1/25" = 1'-0"

LEGEND



GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

- RESIDENTIAL ACCESS POINT
- RETAIL ACCESS POINT
- PARKING ACCESS POINT  
BUILDING ENTRANCE POINTS SHOWN  
FOR ILLUSTRATIVE PURPOSES ONLY
- ROAD DIRECTION
- ZONING DISTRICT
- ZONING ENVELOPE /  
ILLUSTRATIVE BUILDING HEIGHT

- ZONING LOT LINE
- TAX LOT LINE
- ZONING DISTRICT BOUNDARY
- ZONING SETBACK LINE
- REAR YARD LINE
- ILLUSTRATIVE BUILDING LINE
- PROPOSED MAXIMUM  
BUILDING ENVELOPE
- PUBLIC OPEN SPACE  
BOUNDARY

- TRAFFIC LIGHT
- STOP SIGN
- FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING CATCH BASIN
- STREET LAMP
- STREET LAMP

- EXISTING  
STREET TREE
- PROPOSED  
STREET TREE
- ILLUSTRATIVE SITE/  
CONTEXT TREE
- ILLUSTRATIVE  
PLAZA TREE

- EXISTING BUILDING  
FOOTPRINT
- PROPOSED BUILDING  
FOOTPRINT

GENERAL NOTES

- ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS 1,095 FEET ABOVE NATIONAL GEODETIC SURVEY DATUM AT SANDY HOOK, NJ.
- BUILDINGS SHOWN WITHIN ZONING ENVELOPES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
- ROOF-TOP TERRACES & LANDSCAPE ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
- THE ZONING ENVELOPE REPRESENTS THE MAXIMUM DEVELOPMENT BULK, EXCLUDING PERMITTED OBSTRUCTIONS, EXCEPT WHERE OBSTRUCTIONS WAIVER IS ALSO REQUESTED.
- ADDITIONAL ENTRANCES FOR GROUND FLOOR RETAIL, COMMUNITY FACILITIES AND SECONDARY ENTRY AND EGRESS PERMITTED.
- ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE.
- APPLICANT'S STAMP AND SEAL CORRESPOND TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING LOT, AND RELATED CURB CUTS. INFORMATION REGARDING THE SURROUNDING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY, AND MAY NOT BE EXACT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR INEXACT INFORMATION ON SURROUNDING PROPERTIES.
- THE NUMBER OF STORIES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
- LOCATION OF INTERIOR PARTITIONS AND USES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
- PROPOSED BUILDINGS WILL COMPLY WITH ZR 23-711 MINIMUM DISTANCE BETWEEN BUILDINGS.

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DRAWING TITLE:

Z-004  
ZONING SITE PLAN

Scale



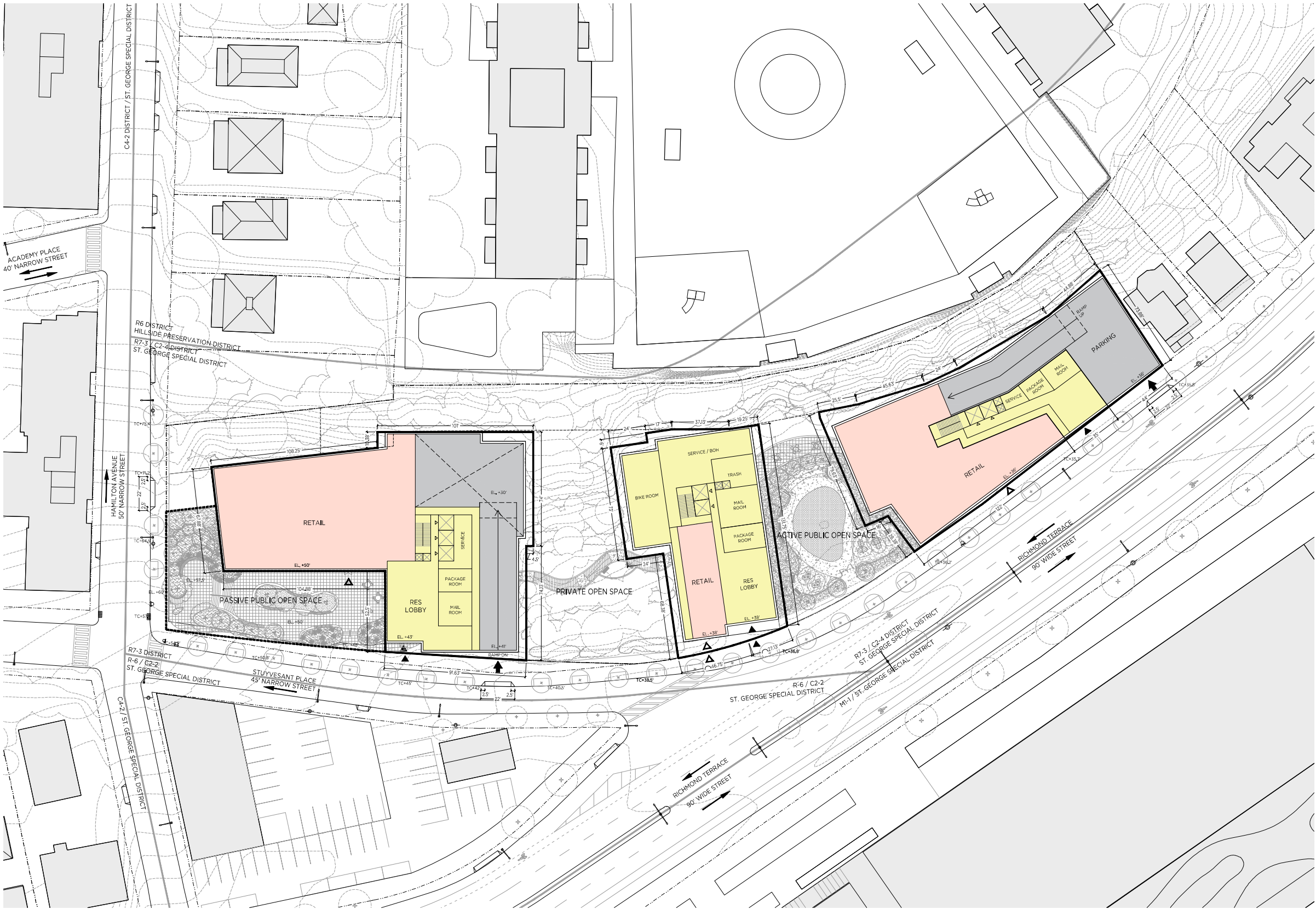
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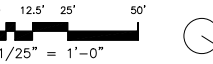
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1 GROUND FLOOR PLAN  
1/25" = 1'-0"

LEGEND



GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

- RESIDENTIAL ACCESS POINT
- RETAIL ACCESS POINT
- PARKING ACCESS POINT
- ROAD DIRECTION
- ZONING DISTRICT

- ZONING LOT LINE
- TAX LOT LINE
- ZONING DISTRICT BOUNDARY
- ZONING SETBACK LINE
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- STREET LAMP

- EXISTING STREET TREE
- PROPOSED STREET TREE
- ILLUSTRATIVE SITE/CONTEXT TREE
- ILLUSTRATIVE PLAZA TREE

- EXISTING BUILDING FOOTPRINT
- RESIDENTIAL
- RETAIL
- PARKING

GENERAL NOTES

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Z-101  
GROUND FLOOR PLAN

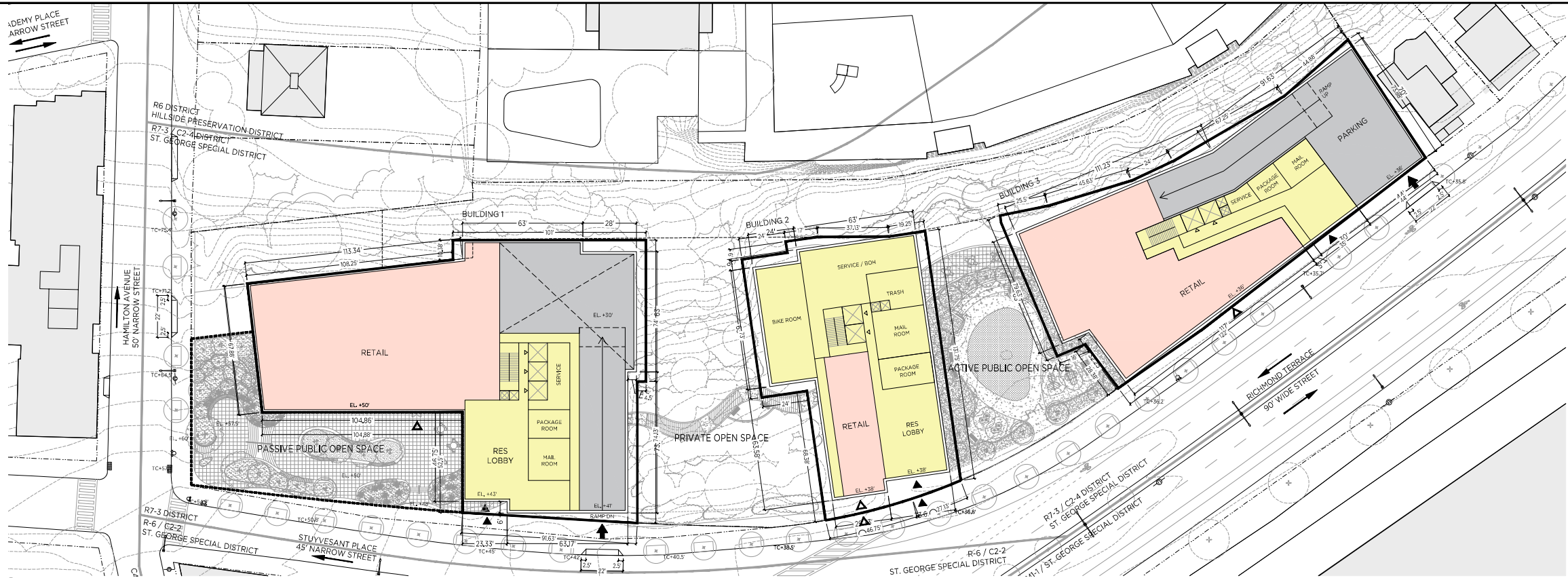
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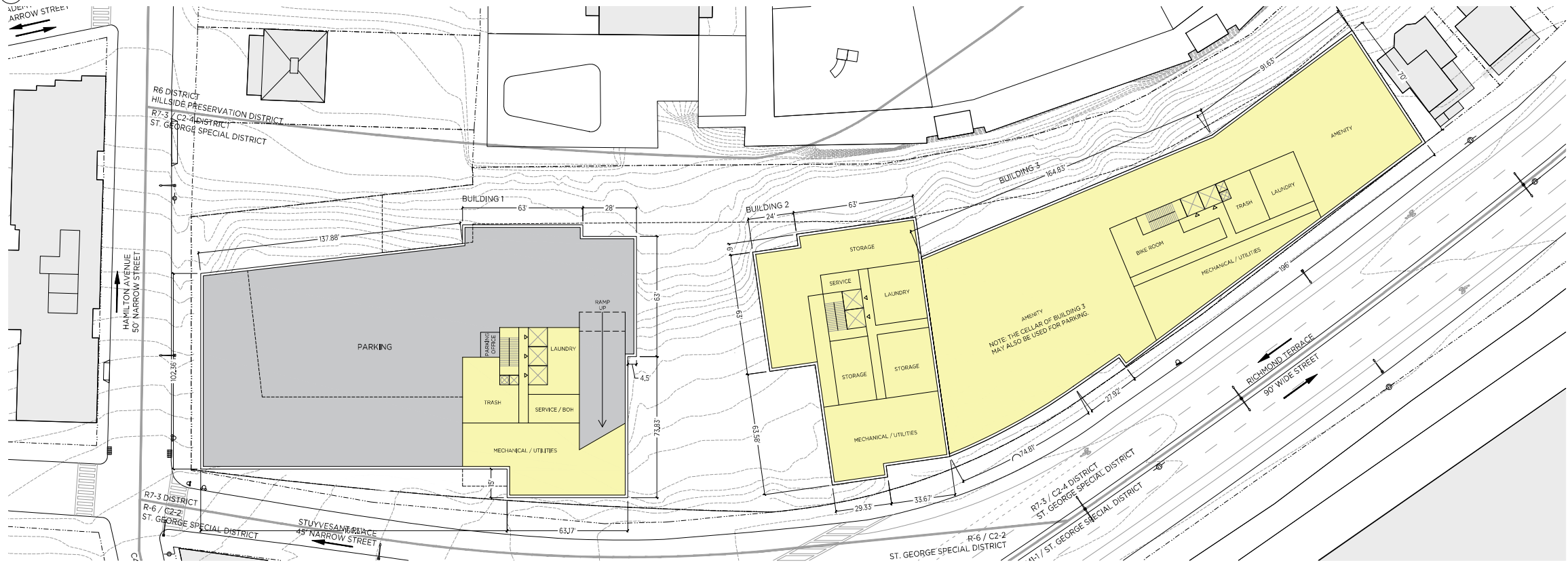
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2 PARKING PLAN - GROUND FLOOR



1 PARKING PLAN - CELLAR

**LEGEND**

0 12.5' 25' 50'

1/25" = 1'-0"

GRAPHIC APPLICABLE TO ALL NON-DIMENSIONED ELEMENTS

RESIDENTIAL ACCESS POINT

RETAIL ACCESS POINT

PARKING ACCESS POINT

BUILDING ENTRANCE POINTS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

ROAD DIRECTION

ZONING DISTRICT

ZONING LOT LINE

TAX LOT LINE

ZONING DISTRICT BOUNDARY

ZONING SETBACK LINE

REAR YARD LINE

ILLUSTRATIVE BUILDING LINE

PROPOSED MAXIMUM BUILDING ENVELOPE

PUBLIC OPEN SPACE BOUNDARY

TRAFFIC LIGHT

STOP SIGN

FIRE HYDRANT

EXISTING MANHOLE

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ILLUSTRATIVE PLAZA TREE

EXISTING BUILDING FOOTPRINT

RESIDENTIAL

RETAIL

PARKING

- GENERAL NOTES**
- ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS 1,095 FEET ABOVE NATIONAL GEODETIC SURVEY DATUM AT SANDY HOOK, NJ.
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  - ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE.
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  - LOCATION OF INTERIOR PARTITIONS AND USES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.

01	SPECIAL PERMIT FILING	04/01/2021
02	DRAFT SPECIAL PERMIT SET - CPC REVISIONS	08/13/2021
NO.	REVISIONS   SUBMISSIONS	DATE
DRAWING TITLE:		
Z-102		
PARKING PLAN		
Scale		



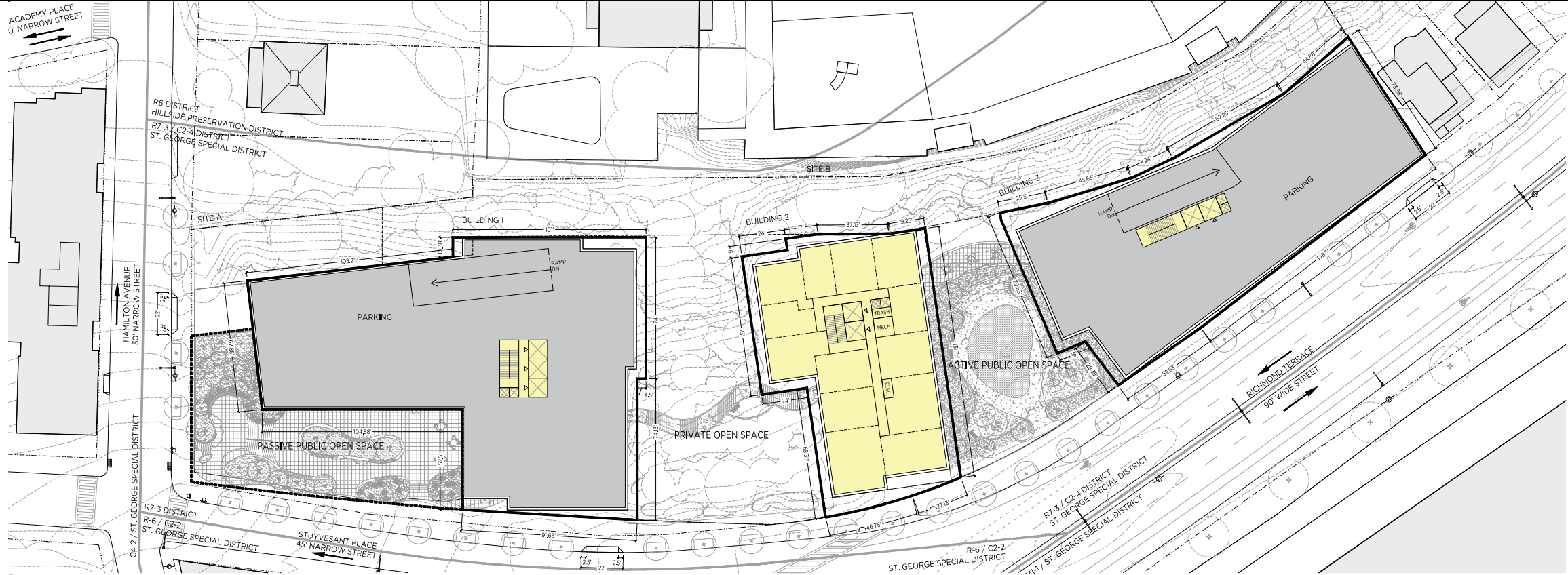
RIVER NORTH  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART  
OF LOT 8 (TENTATIVE LOT 95)  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY  
SPECIAL PERMIT DRAWING SET

fxcollaborative

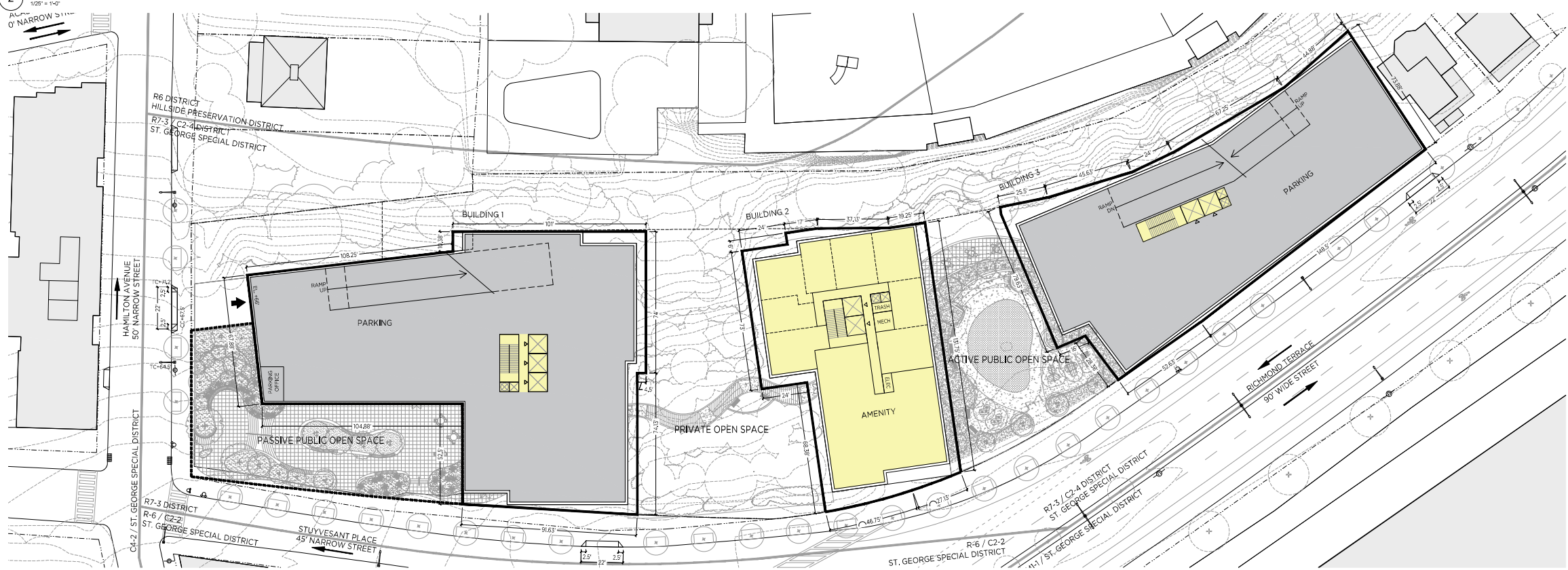
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2 PARKING PLAN - 3RD FLOOR



1 PARKING PLAN - 2ND FLOOR

LEGEND

0 12.5' 25' 50'	RESIDENTIAL ACCESS POINT	--- ZONING LOT LINE	* TRAFFIC LIGHT	EXISTING STREET TREE	EXISTING BUILDING FOOTPRINT
1/25" = 1'-0"	RETAIL ACCESS POINT	--- TAX LOT LINE	STOP SIGN	PROPOSED STREET TREE	RESIDENTIAL
GRAPHIC APPLICABLE TO ALL NON-DIMENSIONED ELEMENTS	PARKING ACCESS POINT	--- ZONING DISTRICT BOUNDARY	FIRE HYDRANT	ILLUSTRATIVE SITE/CONTEXT TREE	RETAIL
	BUILDING ENTRANCE POINTS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY	--- ZONING SETBACK LINE	EXISTING MANHOLE	ILLUSTRATIVE PLAZA TREE	PARKING
	ROAD DIRECTION	--- REAR YARD LINE	EXISTING CATCH BASIN		
	ZONING DISTRICT	--- ILLUSTRATIVE BUILDING LINE	STREET LAMP		
		--- PROPOSED MAXIMUM BUILDING ENVELOPE	STREET LAMP		
		--- PUBLIC OPEN SPACE BOUNDARY			

GENERAL NOTES

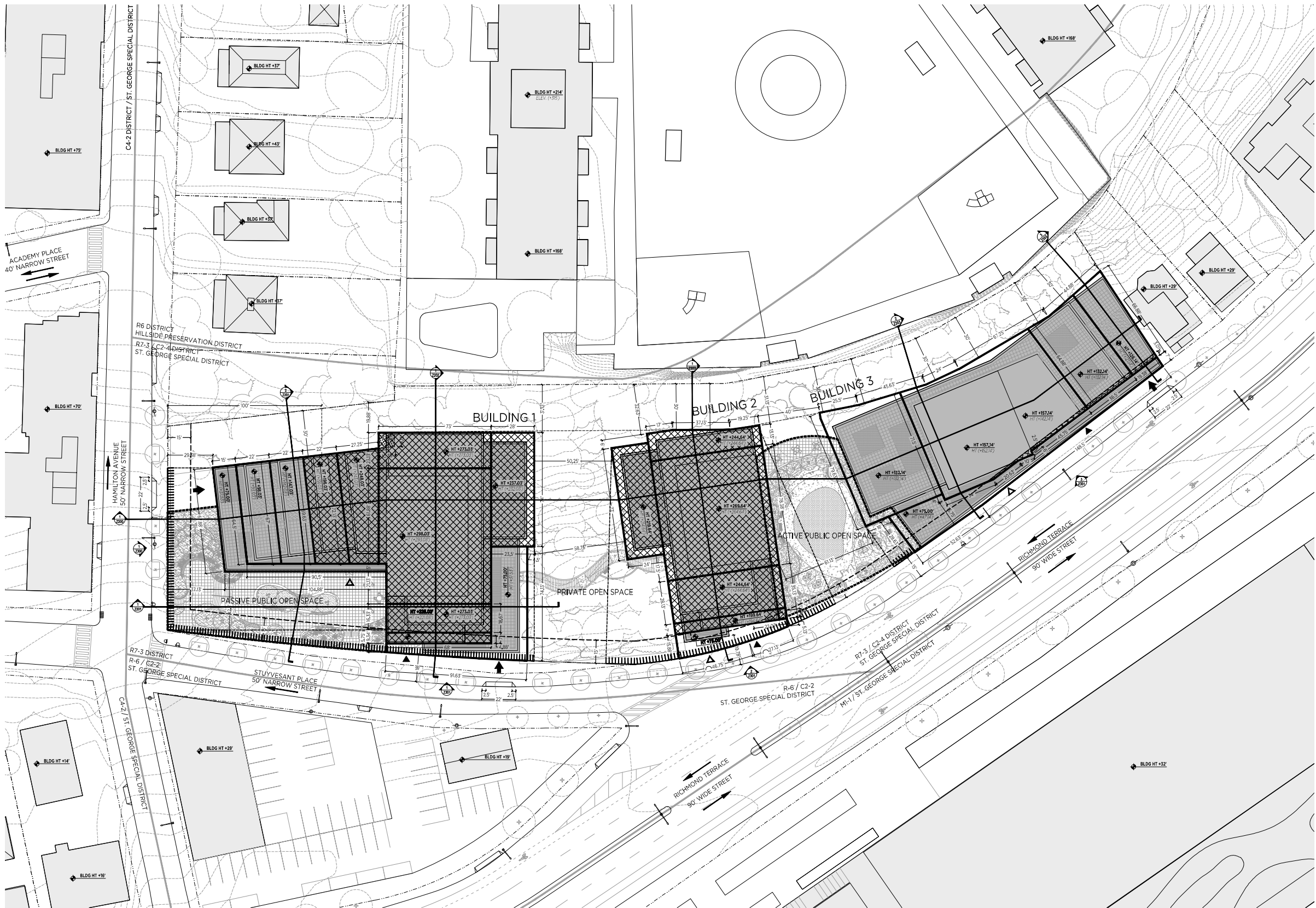
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01 SPECIAL PERMIT FRING  
02 DRAFT SPECIAL PERMIT SET - CPC REVISIONS  
04/01/2021  
08/13/2021

NO. REVISIONS | SUBMISSIONS DATE

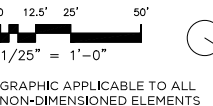
DRAWING TITLE:  
Z-103  
PARKING PLAN

DRAFT



1 COMBINED SITE PLAN  
1/25" = 1'-0"

LEGEND



- |  |  |  |                                       |
|--|--|--|---------------------------------------|
|  | RESIDENTIAL ACCESS POINT   |  | ZONING LOT LINE                       |
|  | RETAIL ACCESS POINT  |  | TAX LOT LINE                          |
|  | PARKING ACCESS POINT<br>BUILDING ENTRANCE POINTS SHOWN<br>FOR ILLUSTRATIVE PURPOSES ONLY |  | ZONING DISTRICT BOUNDARY              |
|  | ROAD DIRECTION   |  | ZONING SETBACK LINE                   |
|  | R7-3 DISTRICT  |  | REAR YARD LINE                        |
|  | ZONING ENVELOPE /<br>ILLUSTRATIVE BUILDING HEIGHT  |  | ILLUSTRATIVE BUILDING<br>LINE         |
|  |  |  | PROPOSED MAXIMUM<br>BUILDING ENVELOPE |
|  |  |  | PUBLIC OPEN SPACE<br>BOUNDARY         |

- |  |                      |
|--|----------------------|
|  | TRAFFIC LIGHT        |
|  | STOP SIGN            |
|  | FIRE HYDRANT         |
|  | EXISTING MANHOLE     |
|  | EXISTING CATCH BASIN |
|  | STREET LAMP          |
|  | STREET LAMP          |

- |  |                                    |
|--|------------------------------------|
|  | EXISTING<br>STREET TREE            |
|  | PROPOSED<br>STREET TREE            |
|  | ILLUSTRATIVE SITE/<br>CONTEXT TREE |
|  | ILLUSTRATIVE<br>PLAZA TREE         |

- |  |   |
|--|---|
|  | EXISTING BUILDING<br>FOOTPRINT  |
|  | PROPOSED BUILDING<br>FOOTPRINT  |
|  | REAR YARD WAIVER  |
|  | BUILDING HEIGHT &<br>SETBACK WAIVER                                     |
|  | PLANTING AREAS<br>BETWEEN STREET<br>LINE & STREET WALL<br>TO BE WAIVED* |

\* THE PLANTING AREAS TO BE WAIVED SHALL BE OCCUPIED BY, BUT NOT LIMITED TO, PERMANENT WALLS, PAVED AREAS, SEATING, LIGHTING AND ANY ELEMENTS TYPICALLY FOUND IN PLAZAS AS DEFINED IN ZR 23-711.

GENERAL NOTES

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- PROPOSED BUILDINGS WILL COMPLY WITH ZR 23-711 MINIMUM DISTANCE BETWEEN BUILDINGS.

RIVER NORTH  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART  
OF LOT 8 (TENTATIVE LOT 95)  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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02 DRAFT SPECIAL PERMIT SET - CPC REVISIONS

04/01/2021  
08/13/2021

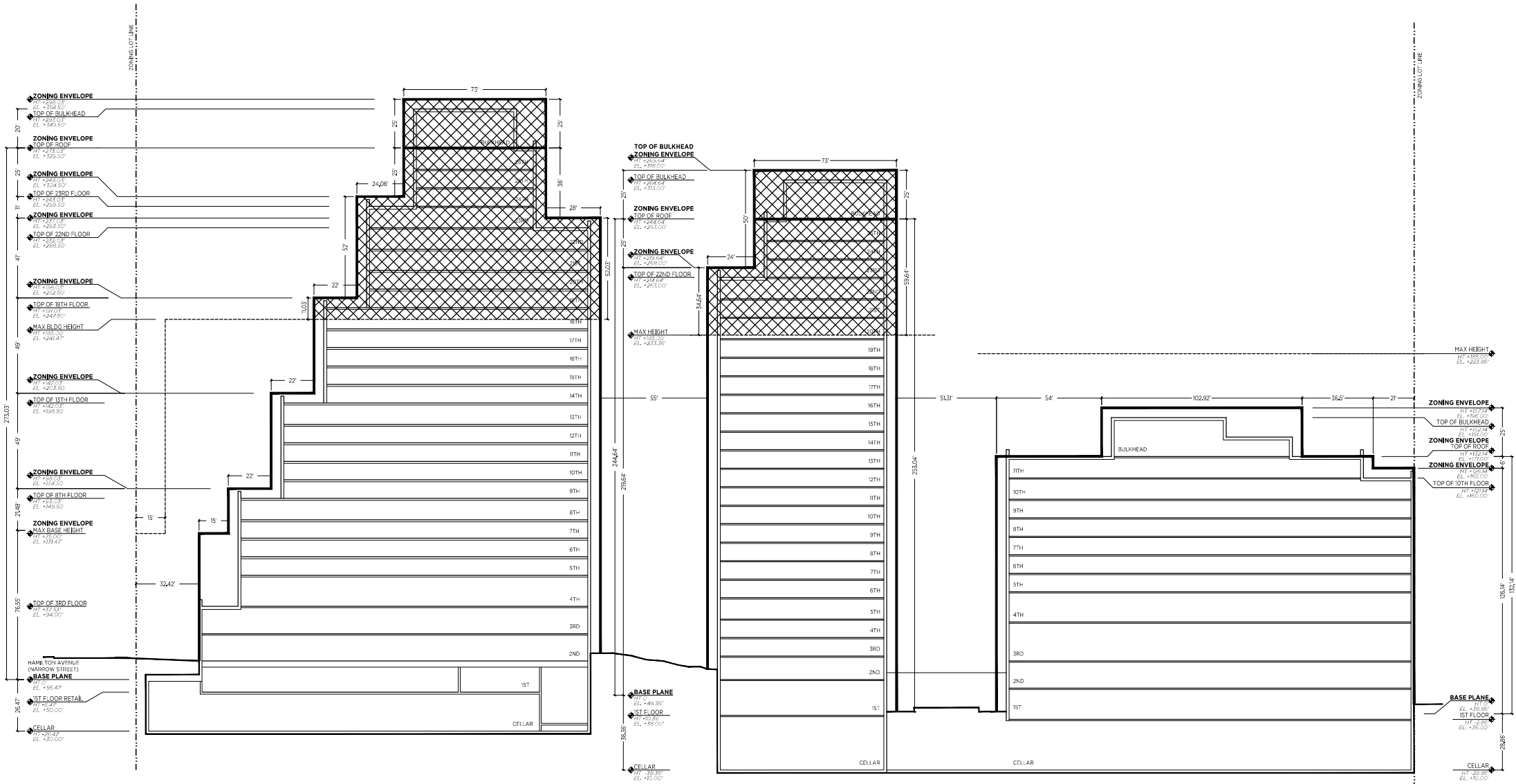
NO. REVISIONS | SUBMISSIONS DATE

DRAWING TITLE:

**Z-110  
WAIVER PLAN**

Seal





1 SECTION A  
1/25" = 1'-0"

LEGEND

0 12.5' 25' 50'  
1/25" = 1'-0"  
GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS  
TRUE ELEVATION MEASURED  
FROM NAVD 88

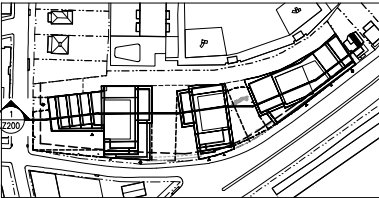
----- ZONING LOT LINE  
===== ILLUSTRATIVE BUILDING LINE  
===== PROPOSED MAXIMUM  
BUILDING ENVELOPE  
----- MINIMUM STREET  
WALL HEIGHT  
----- SETBACK LINE

◆ ZONING ENVELOPE DEVELOPMENT ENVELOPE HEIGHT  
(HT +85.00)  
◆ 3RD FLOOR ILLUSTRATIVE BUILDING HEIGHT  
(HT +48.00)  
[Cross-hatched pattern] BUILDING HEIGHT & SETBACK WAIVER  
[Circular pattern] PLANTING AREAS BETWEEN STREET  
LINE & STREET WALL TO BE WAIVED\*  
\* THE PLANTING AREAS TO BE WAIVED WILL BE OCCUPIED  
BY, BUT NOT LIMITED TO, PERMANENT RETAINING WALLS,  
PAVED AREAS, SEATING, LIGHTING AND OTHER ELEMENTS  
TYPICALLY FOUND IN PLAZAS AS DEFINED BY ZR 37-70

GENERAL NOTES

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KEY PLAN



01 SPECIAL PERMIT FILING 04/01/2021  
02 DRAFT SPECIAL PERMIT SET - CPC REVISIONS 08/13/2021

NO. REVISIONS | SUBMISSIONS DATE

DRAWING TITLE:  
Z-200  
WAIVER SECTIONS

Seal

RIVER NORTH  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART  
OF LOT 8 (TENTATIVE LOT 95)  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

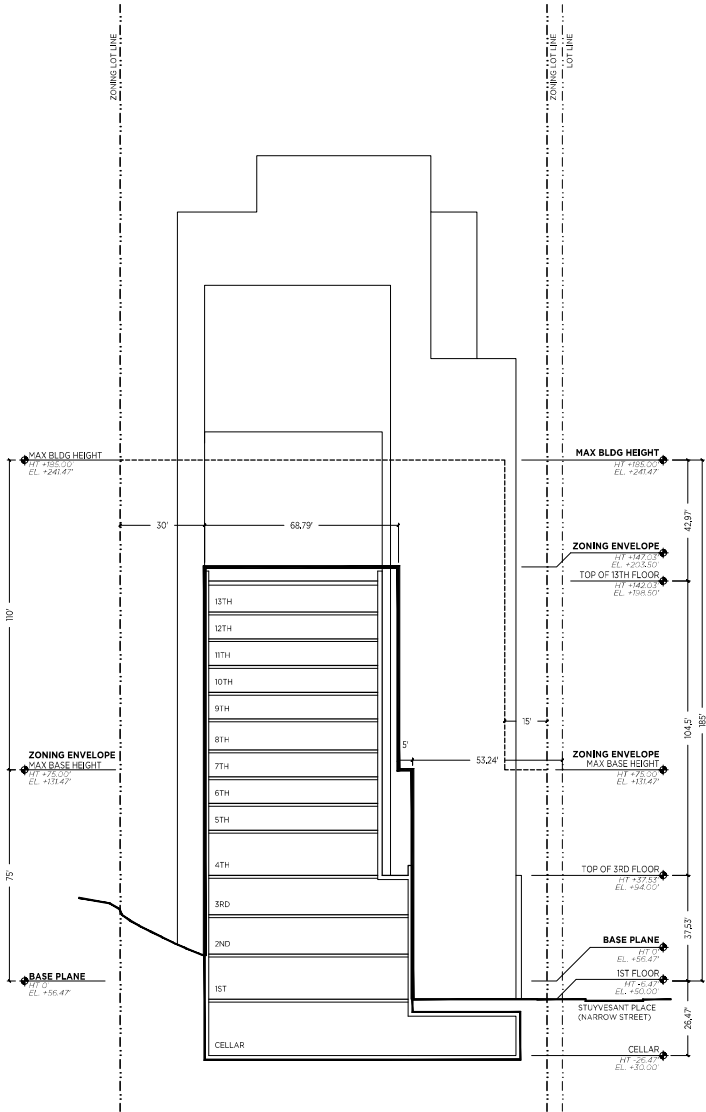
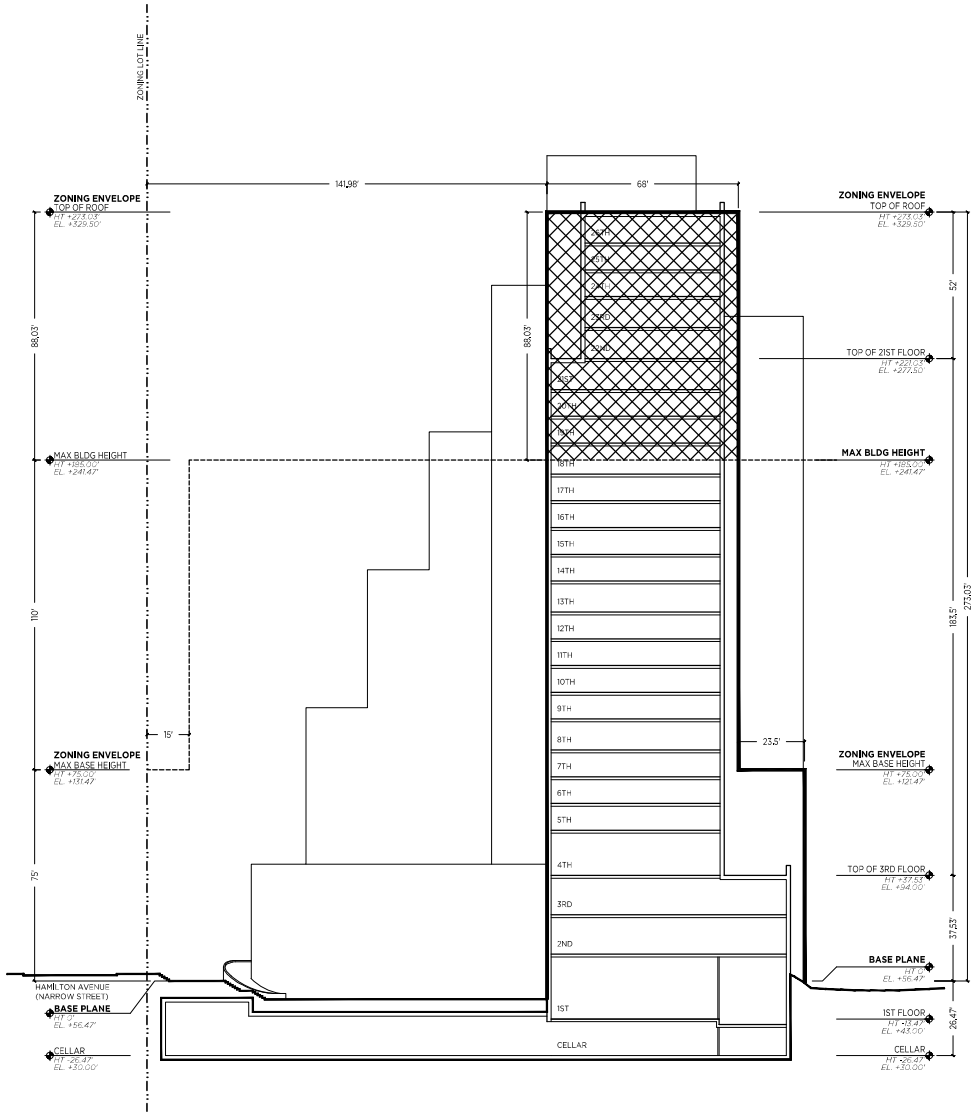
SPECIAL PERMIT DRAWING SET

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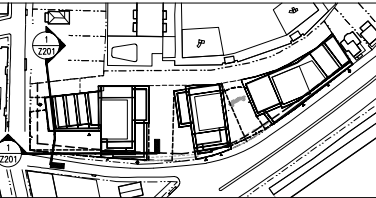
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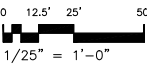
KEY PLAN



1 BUILDING 1 SECTION B  
1/25" = 1'-0"

2 BUILDING 1 SECTION C  
1/25" = 1'-0"

LEGEND



GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

TRUE ELEVATION MEASURED  
FROM NAVD 88

----- ZONING LOT LINE  
===== ILLUSTRATIVE BUILDING LINE  
===== PROPOSED MAXIMUM  
BUILDING ENVELOPE  
----- R7-3 PERMITTED HEIGHT &  
SETBACK LINE

◆ ZONING ENVELOPE DEVELOPMENT ENVELOPE HEIGHT  
(HT +85.00')  
◆ 3RD FLOOR ILLUSTRATIVE BUILDING HEIGHT  
(HT +45.00')  
[Cross-hatched box] BUILDING HEIGHT & SETBACK WAIVER  
[Patterned box] PLANTING AREAS BETWEEN STREET  
LINE & STREET WALL TO BE WAIVED\*  
\* THE PLANTING AREAS TO BE WAIVED WILL BE OCCUPIED  
BY, BUT NOT LIMITED TO, PERKINS RETAINING WALLS,  
PAVED AREAS, SEATING, LIGHTING AND ANY ELEMENTS  
TYPICALLY FOUND IN PLAZAS AS DEFINED BY ZR 37-70

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02 DRAFT SPECIAL PERMIT SET - CPC REVISIONS 08/13/2021

NO. REVISIONS | SUBMISSIONS DATE

DRAWING TITLE:

Z-201  
WAIVER SECTIONS

Seal



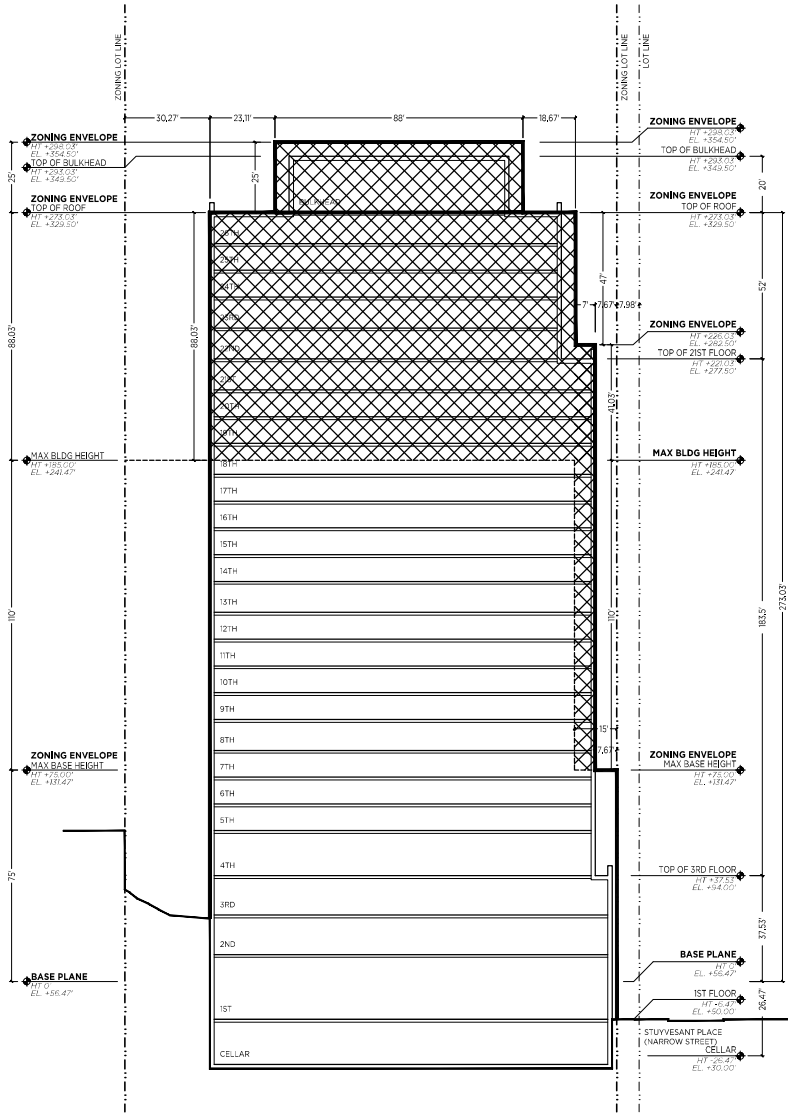
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STATEN ISLAND, NY

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2 BUILDING 1 SECTION D  
1/25" = 1'-0"

012.5'25'50'

1/25" = 1'-0"

GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

TRUE ELEVATION MEASURED  
FROM NAVD 88

----- ZONING LOT LINE

===== ILLUSTRATIVE BUILDING LINE

===== PROPOSED MAXIMUM  
BUILDING ENVELOPE

----- R7-3 PERMITTED HEIGHT &  
SETBACK LINE

ZONING ENVELOPE

DEVELOPMENT ENVELOPE HEIGHT

(HT +85.00')

3RD FLOOR

ILLUSTRATIVE BUILDING HEIGHT

(HT +46.00')

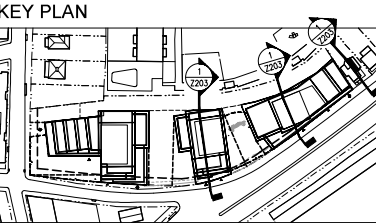
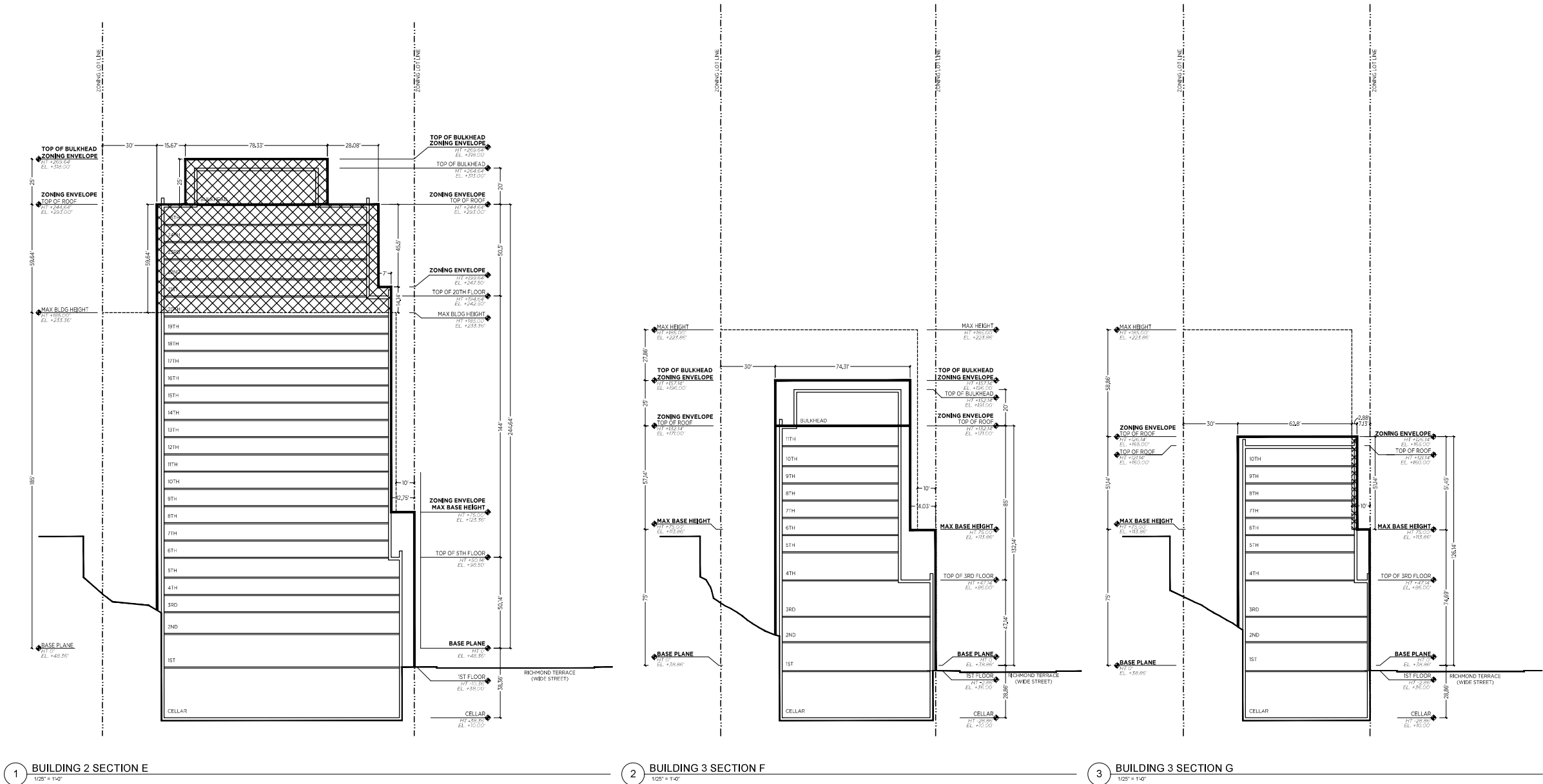
BUILDING HEIGHT & SETBACK WAIVER

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02	DRAFT SPECIAL PERMIT SET - CPC REVISIONS	08/13/2021
NO. REVISIONS   SUBMISSIONS DATE		
DRAWING TITLE:		
Z-202		
WAIVER SECTIONS		
Seal		

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1 BUILDING 2 SECTION E  
1/25" = 1'-0"

2 BUILDING 3 SECTION F  
1/25" = 1'-0"

3 BUILDING 3 SECTION G  
1/25" = 1'-0"

**LEGEND**

0 12.5' 25' 50'  
1/25" = 1'-0"

GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

TRUE ELEVATION MEASURED  
FROM NAVD 88

----- ZONING LOT LINE

===== ILLUSTRATIVE BUILDING LINE

===== PROPOSED MAXIMUM  
BUILDING ENVELOPE

----- R7-3 PERMITTED HEIGHT &  
SETBACK LINE

◆ ZONING ENVELOPE DEVELOPMENT ENVELOPE HEIGHT  
(HT +85.00)

◆ 3RD FLOOR ILLUSTRATIVE BUILDING HEIGHT  
(HT +48.00)

XXXX BUILDING HEIGHT & SETBACK WAIVER

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NO. REVISIONS   SUBMISSIONS		DATE
DRAWING TITLE:		
Z-203		
WAIVER SECTIONS		
Seal		



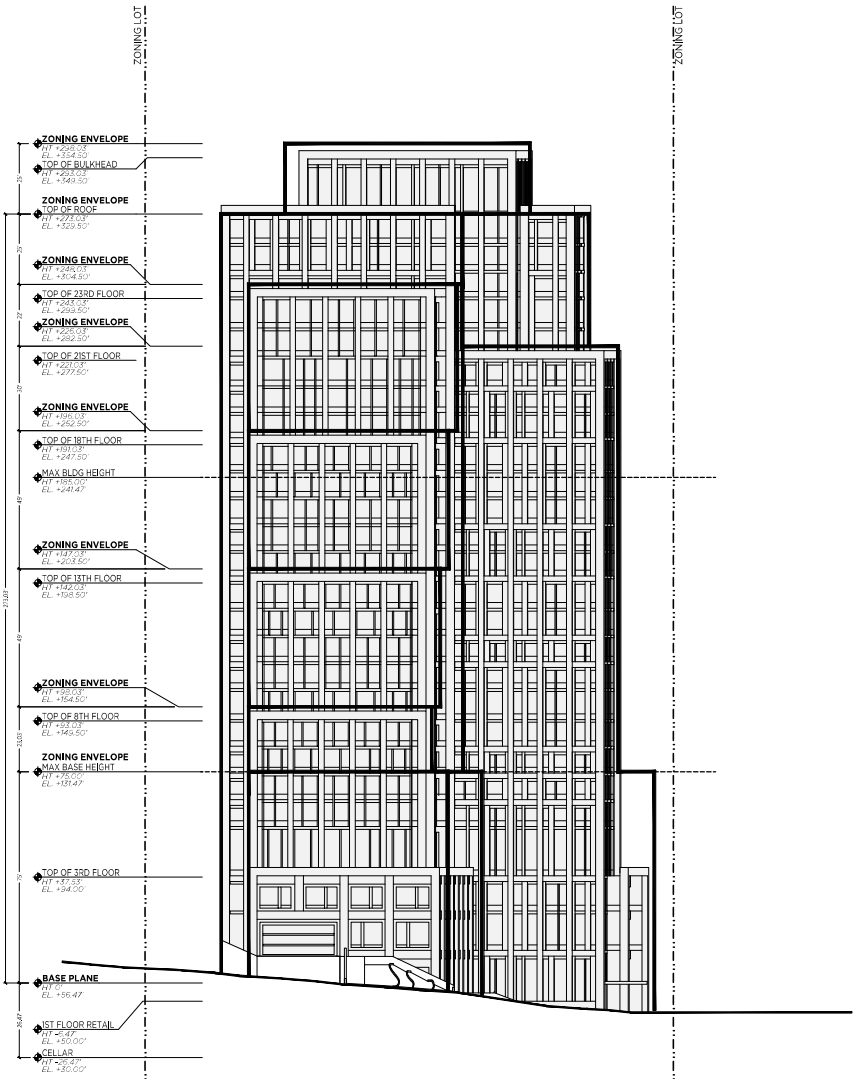
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24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
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STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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1 HAMILTON AVE. (SOUTH) ELEVATION  
1/25" = 1'-0"

LEGEND

0 12.5' 25' 50'

1/25" = 1'-0"

GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

-----

ZONING LOT LINE

=====

ILLUSTRATIVE BUILDING LINE

=====

PROPOSED MAXIMUM  
BUILDING ENVELOPE

-----

R7-3 PERMITTED HEIGHT &  
SETBACK LINE

ZONING ENVELOPE

(RT +85.00)

DEVELOPMENT ENVELOPE HEIGHT

3RD FLOOR

(RT +45.00)

ILLUSTRATIVE BUILDING HEIGHT

ILLUSTRATIVE BUILDING

GENERAL NOTES

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KEY PLAN

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02	DRAFT SPECIAL PERMIT SET - CPC REVISIONS	08/13/2021
NO.	REVISIONS   SUBMISSIONS	DATE

DRAWING TITLE:  
**Z-300  
BUILDING ELEVATIONS**

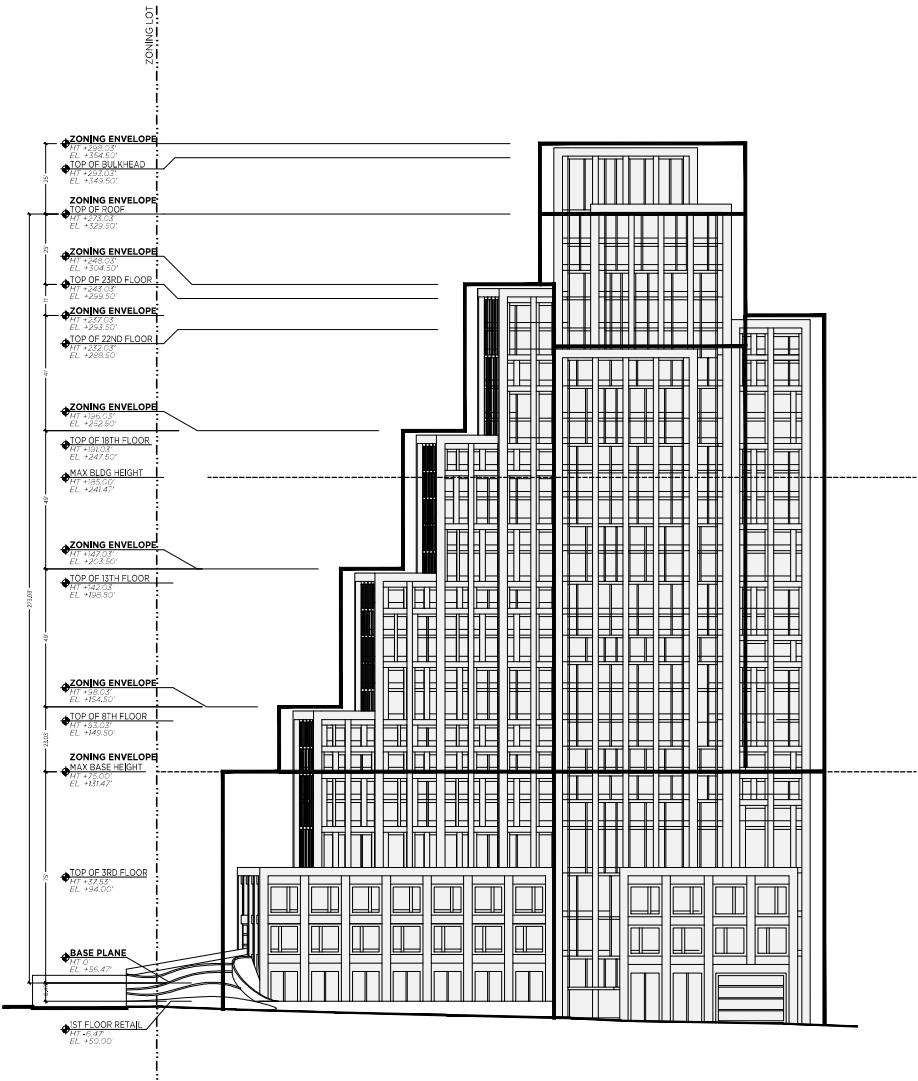
Seal

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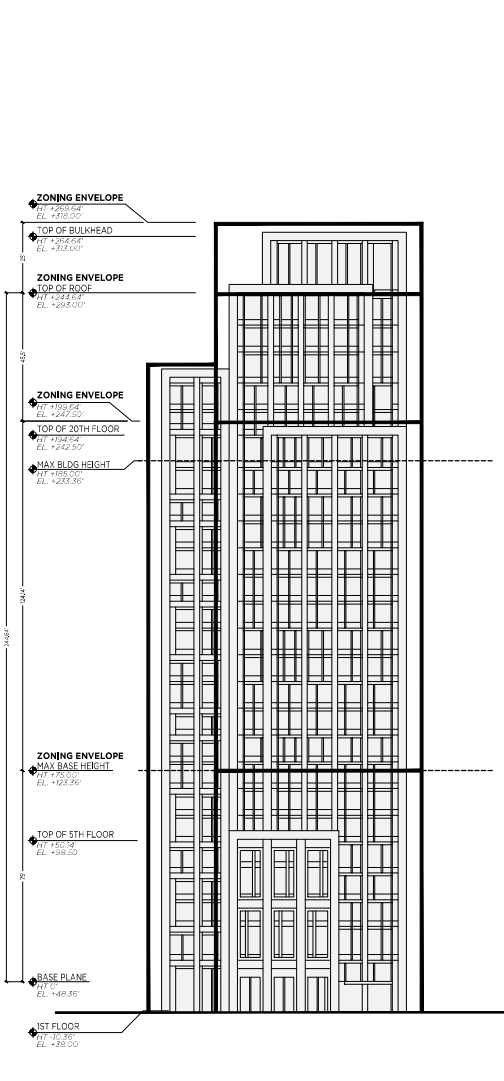
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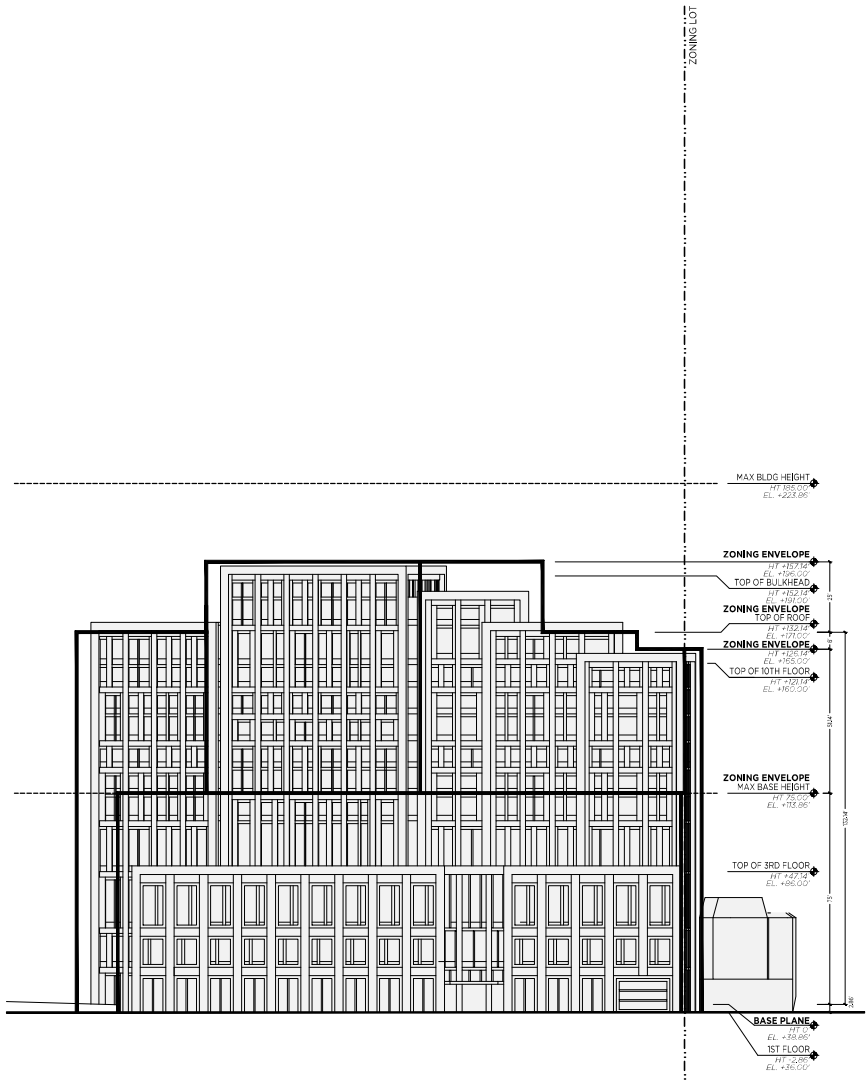
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1 BUILDING 1 STUYVEASANT PLACE (EAST) ELEVATION  
1/25" = 1'-0"



2 BUILDING 2 RICHMOND TERRACE (EAST) ELEVATION  
1/25" = 1'-0"



3 BUILDING 3 RICHMOND TERRACE (NORTH) ELEVATION  
1/25" = 1'-0"

**LEGEND**

0 12.5' 25' 50'  
1/25" = 1'-0"

GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

----- ZONING LOT LINE

===== ILLUSTRATIVE BUILDING LINE

===== PROPOSED MAXIMUM  
BUILDING ENVELOPE

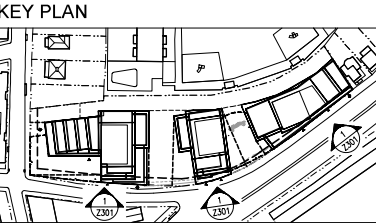
----- R7-3 PERMITTED HEIGHT &  
SETBACK LINE

◆ ZONING ENVELOPE (HT +254.50') DEVELOPMENT ENVELOPE HEIGHT

◆ 3RD FLOOR (HT +254.50') ILLUSTRATIVE BUILDING HEIGHT

■ ILLUSTRATIVE BUILDING

- GENERAL NOTES**
- ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS 1.095 FEET ABOVE NATIONAL GEODETIC SURVEY DATUM AT SANDY HOOK, N.J.
  - BUILDINGS SHOWN WITHIN ZONING ENVELOPES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
  - THE ZONING ENVELOPE REPRESENTS THE MAXIMUM DEVELOPMENT BULK, EXCLUDING PERMITTED OBSTRUCTIONS, EXCEPT WHERE OBSTRUCTIONS WAIVER IS ALSO REQUESTED.
  - THE NUMBER OF STORIES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
  - LOCATION OF INTERIOR PARTITIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.



01	SPECIAL PERMIT SET - CPC REVISIONS	04/12/2021
02	DRAFT SPECIAL PERMIT SET - CPC REVISIONS	08/13/2021
NO.	REVISIONS   SUBMISSIONS	DATE
DRAWING TITLE:		
Z-301		
BUILDING ELEVATIONS		
Scale		

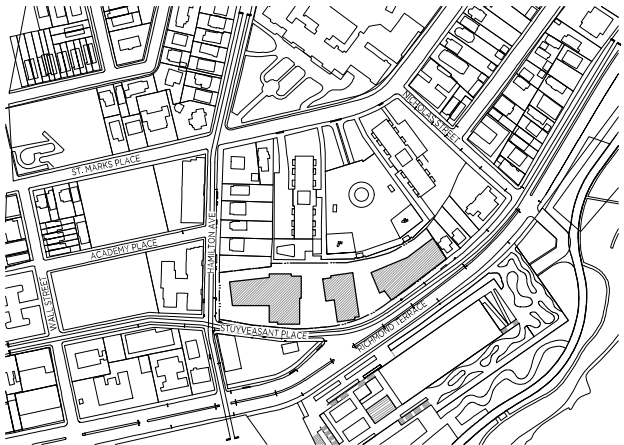
RIVER NORTH  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART  
OF LOT 8 (TENTATIVE LOT 95)  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY  
SPECIAL PERMIT DRAWING SET

fxcollaborative

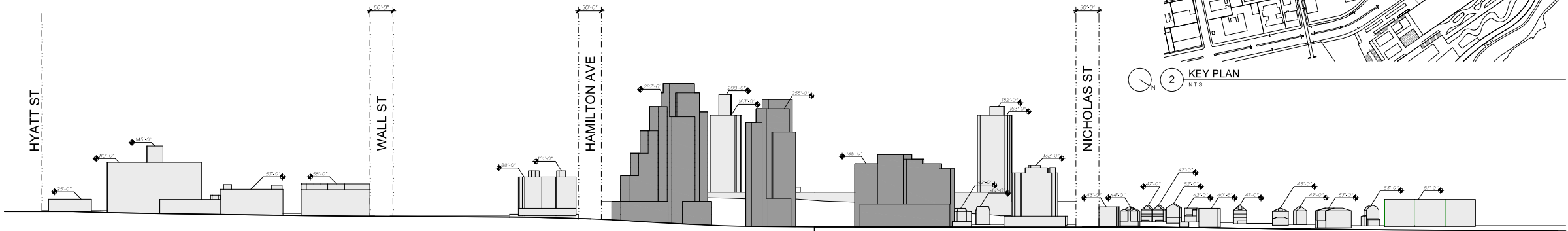
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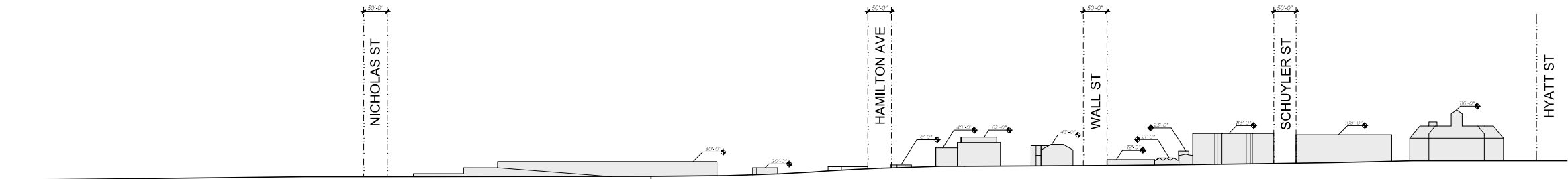


2 KEY PLAN  
N.T.S.



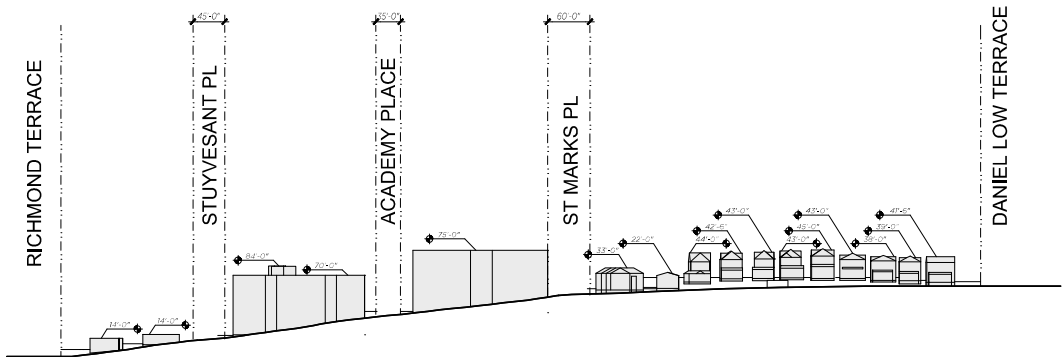
STUYVESANT PLACE LOOKING WEST

RICHMOND TERRACE LOOKING SOUTHWEST

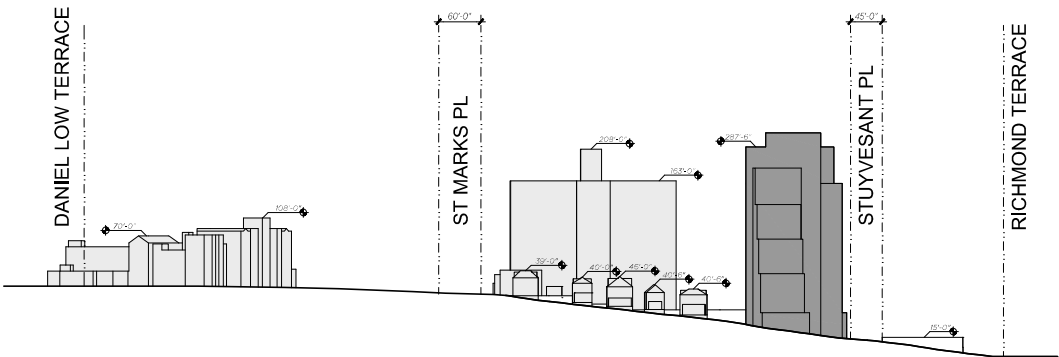


RICHMOND TERRACE LOOKING NORTHEAST

STUYVESANT PLACE LOOKING EAST



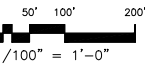
HAMILTON AVE LOOKING SOUTH



HAMILTON AVE LOOKING NORTH

1 NEIGHBORHOOD CHARACTER DIAGRAMS  
1/100" = 1'-0"

LEGEND



GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

- STREET LINE
- ILLUSTRATIVE BUILDING LINE
- EXISTING BUILDING
- PROPOSED BUILDING

- ZONING ENVELOPE DEVELOPMENT ENVELOPE HEIGHT  
(HT +85.00)
- 3RD FLOOR ILLUSTRATIVE BUILDING HEIGHT  
(HT +45.00)

GENERAL NOTES

- PROJECT HEIGHTS ARE MEASURED FROM GROUND FLOOR LEVEL TO ROOF.
- CONTEXT BUILDING HEIGHTS TAKEN FROM ZOLA AND GOOGLE EARTH.
- THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY.
- APPLICANT'S STAMP AND SEAL CORRESPOND TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING LOT, AND RELATED CURB CUTS. INFORMATION REGARDING THE SURROUNDING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY, AND MAY NOT BE EXACT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR INEXACT INFORMATION ON SURROUNDING PROPERTIES.

01 SPECIAL PERMIT FILING 04/01/2021  
02 DRAFT SPECIAL PERMIT SET - CPC REVISIONS 08/13/2021

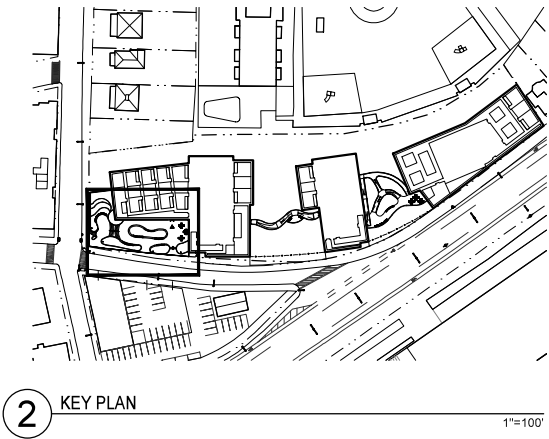
NO. REVISIONS | SUBMISSIONS DATE

DRAWING TITLE:  
**Z-400**  
**NEIGHBORHOOD CHARACTER DIAGRAMS**

Seal



HAMILTON AVENUE

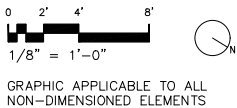


TOTAL AREA OF PUBLIC SPACE	7900 SF
ENTRANCE WIDTHS	ENTRANCE 1: 15' 9"
	ENTRANCE 2: 12' 0"
	ENTRANCE 3: 9' 2"

1 PUBLIC OPEN SPACE PLAN

1/8" = 1'-0"

LEGEND



- RESIDENTIAL ACCESS POINT
- RETAIL ACCESS POINT
- PARKING ACCESS POINT
- PLAZA ENTRANCE
- EXISTING CATCH BASIN
- PROPOSED STREET TREE

- ZONING LOT LINE
- TAX LOT LINE
- PUBLIC ACCESSIBLE OPEN SPACE
- ZONING SETBACK LINE
- ILLUSTRATIVE BUILDING LINE
- STREET LAMP
- STOP SIGN
- FIRE HYDRANT

- PRIVATE OUTDOOR OPEN SPACE
- AMENITY OUTDOOR OPEN SPACE
- BACKLESS BENCH
- BENCH WITH BACK
- EXISTING BUILDING FOOTPRINT
- PROPOSED BUILDING FOOTPRINT
- PLAZA INFORMATION PLAQUE

- PLAZA ENTRY PLAQUE
- TABLE AND CHAIRS
- MAJOR TREE
- MINOR TREE
- SHRUB
- GROUND COVER / PERENNIALS

GENERAL NOTES

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- ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE.
- PLANTING LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE.

LIBERTY TOWERS  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY  
SPECIAL PERMIT DRAWING SET  
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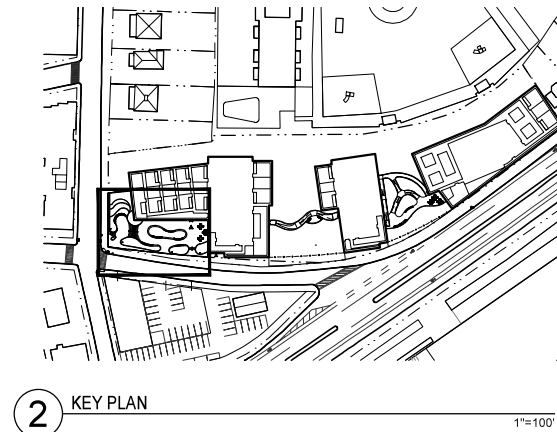
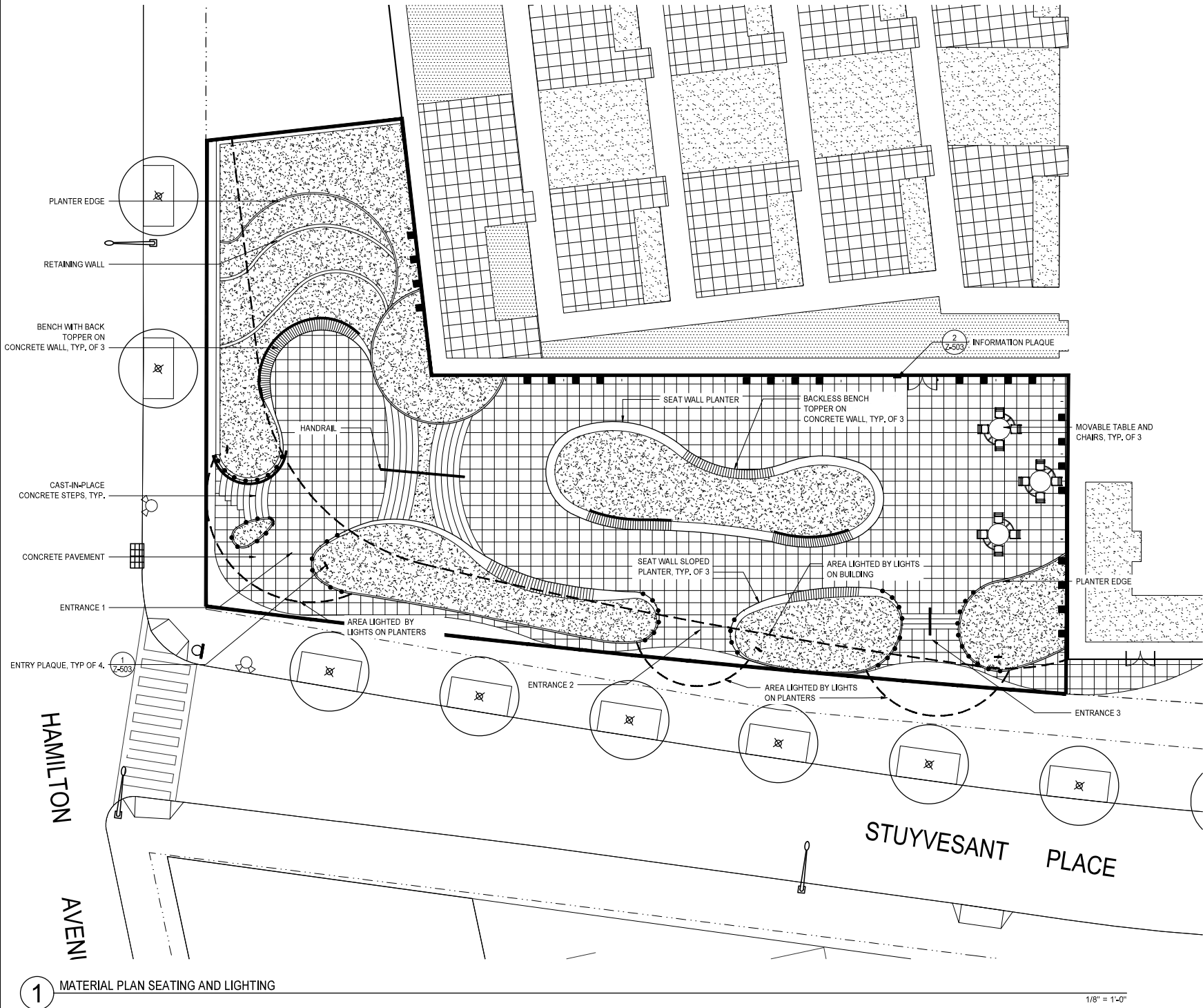
01 SPECIAL PERMIT SUBMISSION

NO. REVISIONS | SUBMISSIONS

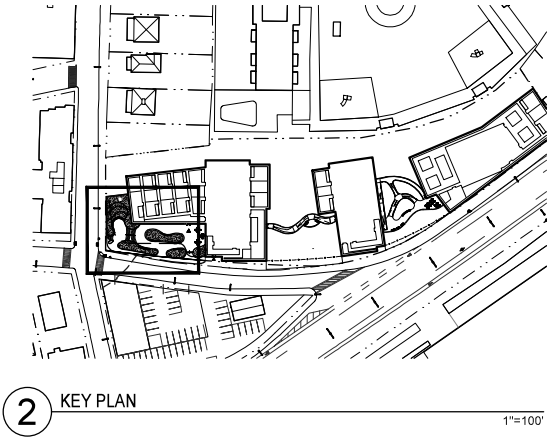
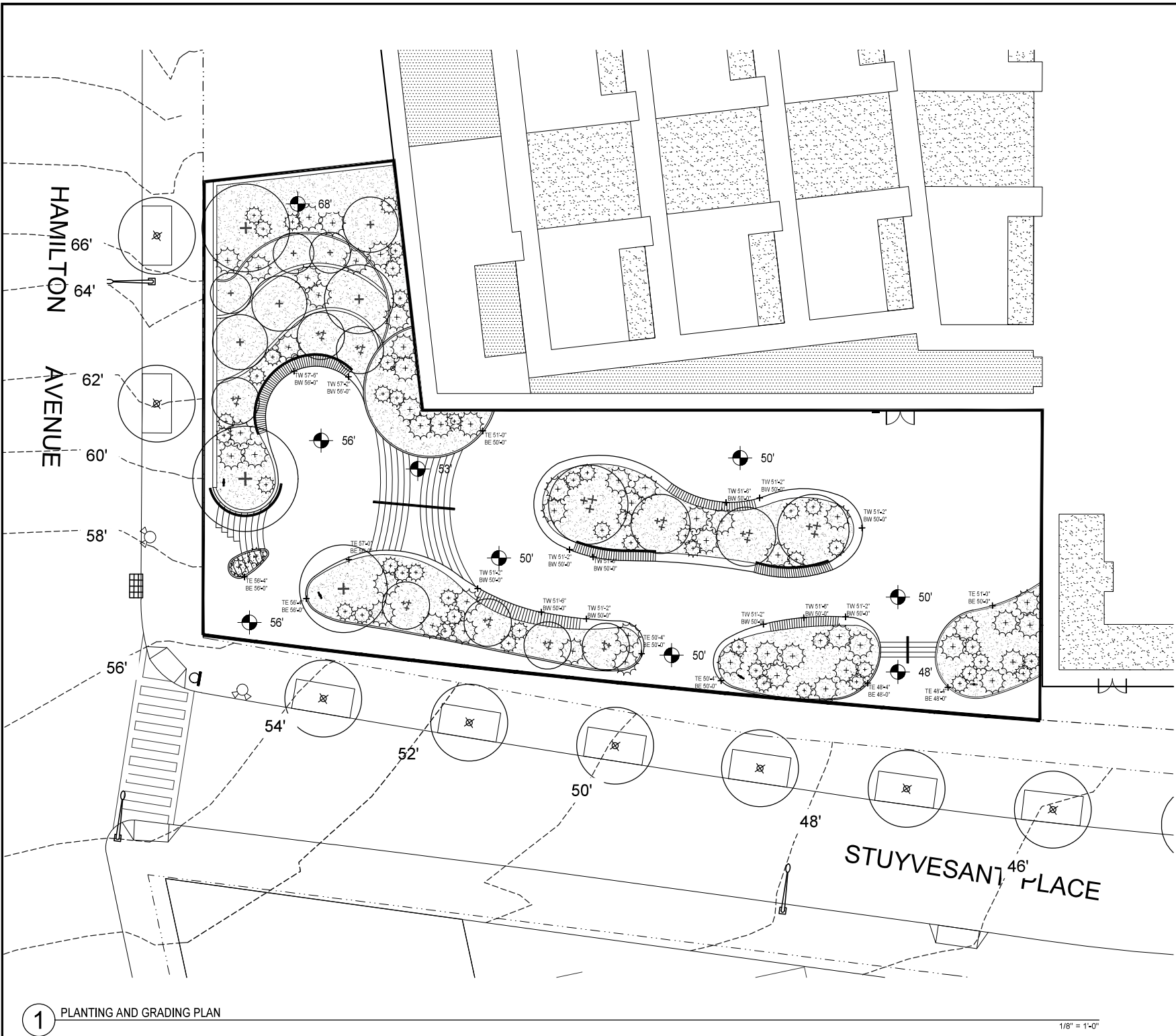
DRAWING TITLE:

Z-500  
PUBLIC OPEN SPACE PLAN

Seal



MINIMUM AMOUNT OF SEATING AND BREAKDOWN	LF WITH BACK: 52' LF BACK-LESS: 44' LF MOVEABLE SEATING: 18' ( 3 TABLES WITH 4 SEATS EA.) LF TOTAL: 114'
SIGNAGE:	
FOUR (4) ENTRANCE PLAQUES: ONE (1) LOCATED ON HAMILTON AVENUE AND THREE (3) LOCATED ON STUYVESANT PLACE	
ONE (1) INFORMATION PLAQUE LOCATED ON THE BUILDING	



PLANTINGS / VEGETATION	MAJOR TREES: 3
	MINOR TREES: 17
	GROUND COVER / PERENNIAL : 2927.5 SF

LEGEND	
 1/8" = 1'-0"	
 ZONING LOT LINE	 TAX LOT LINE
 ZONING DISTRICT BOUNDARY	 ILLUSTRATIVE BUILDING LINE
 EXISTING CONTOUR	 EXISTING CATCH BASIN
 STREET LAMP	 STOP SIGN
 FIRE HYDRANT	 PROPOSED TWO SIGNAL TREES AT ENTRANCE EX. HONEY LOCUST

 PROPOSED DECIDUOUS TREES ON THE TERRACE GARDEN	 PROPOSED DECIDUOUS MULTISTEM TREES
 PROPOSED SHRUB	 GROUND COVER / PERENNIALS

 GROUNDCOVER WITH PERENNIAL	 PRIVATE OUTDOOR OPEN SPACE
 AMENITY OUTDOOR OPEN SPACE	 EXISTING BUILDING FOOTPRINT
 PROPOSED BUILDING FOOTPRINT	 EXISTING STREET TREE

- GENERAL NOTES**
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  - ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE.
  - PLANTING LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE.

**LIBERTY TOWERS**  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100

PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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NO. REVISIONS | SUBMISSIONS

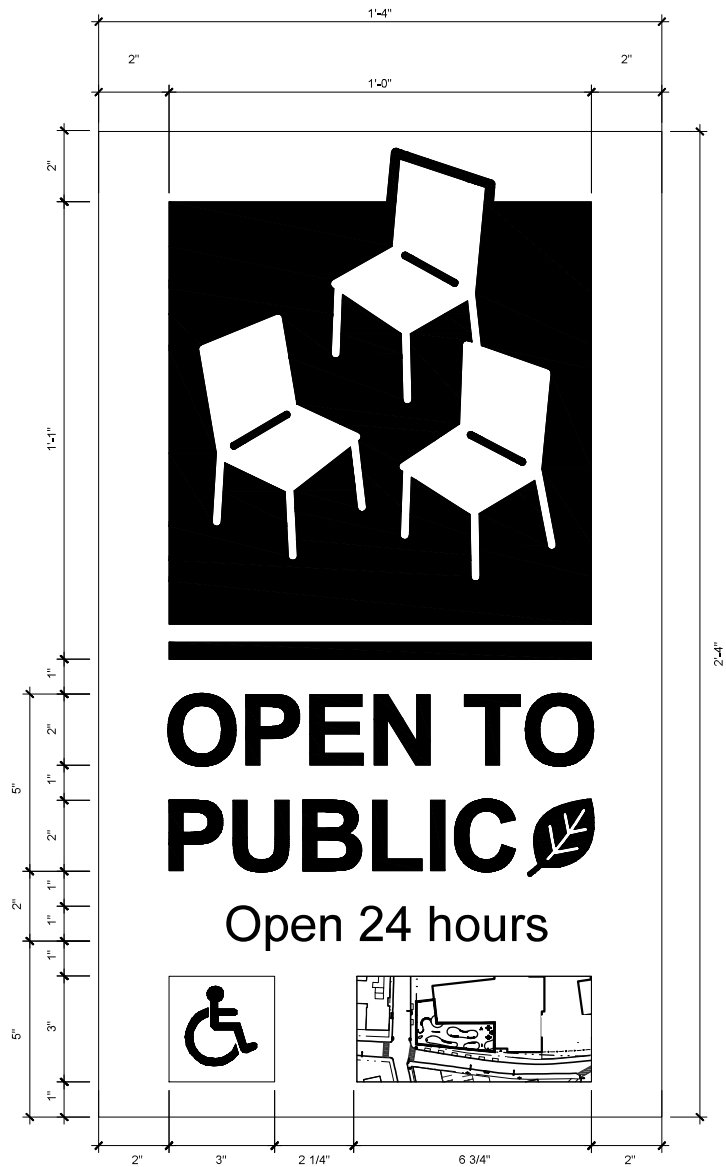
DRAWING TITLE

**Z-502**

**PLANTING AND GRADING PLAN**

Seal

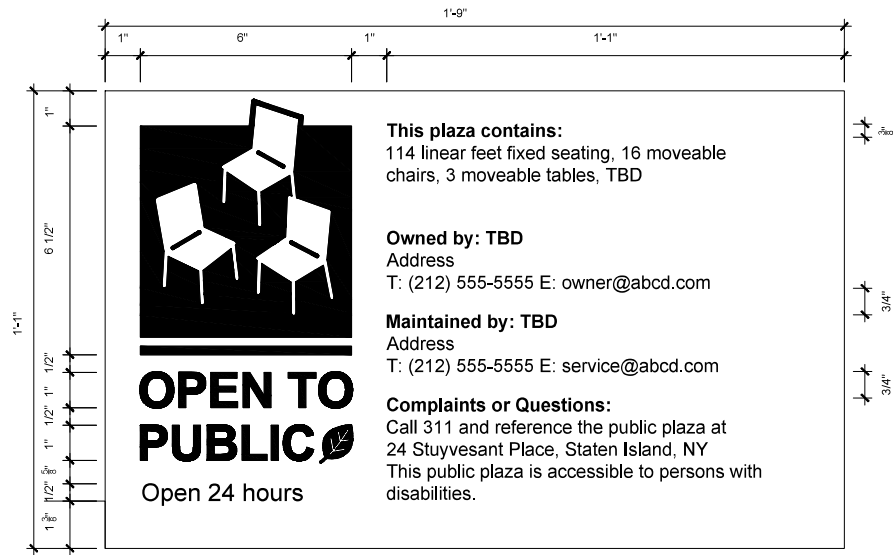




1 ENTRY PLAQUE 6" = 1'-0"

NOTE:

INFORMATION OF AMENITIES, OWNER AND OWNER'S CONTACT INFORMATION ON THIS PLAQUE IS SUBJECT TO CHANGE.



2 INFORMATION PLAQUE 6" = 1'-0"

**LIBERTY TOWERS**  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100

PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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GENERAL NOTES

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- ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE.
- PLANTING LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE.

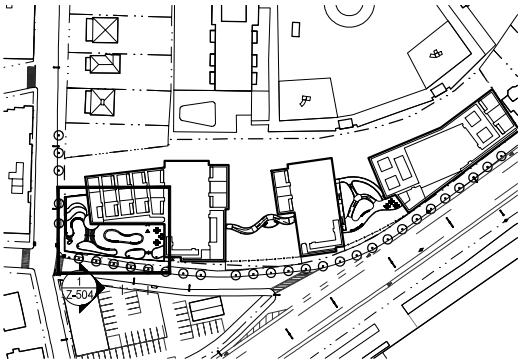
01 SPECIAL PERMIT SUBMISSION

NO. REVISIONS | SUBMISSIONS

DRAWING TITLE:

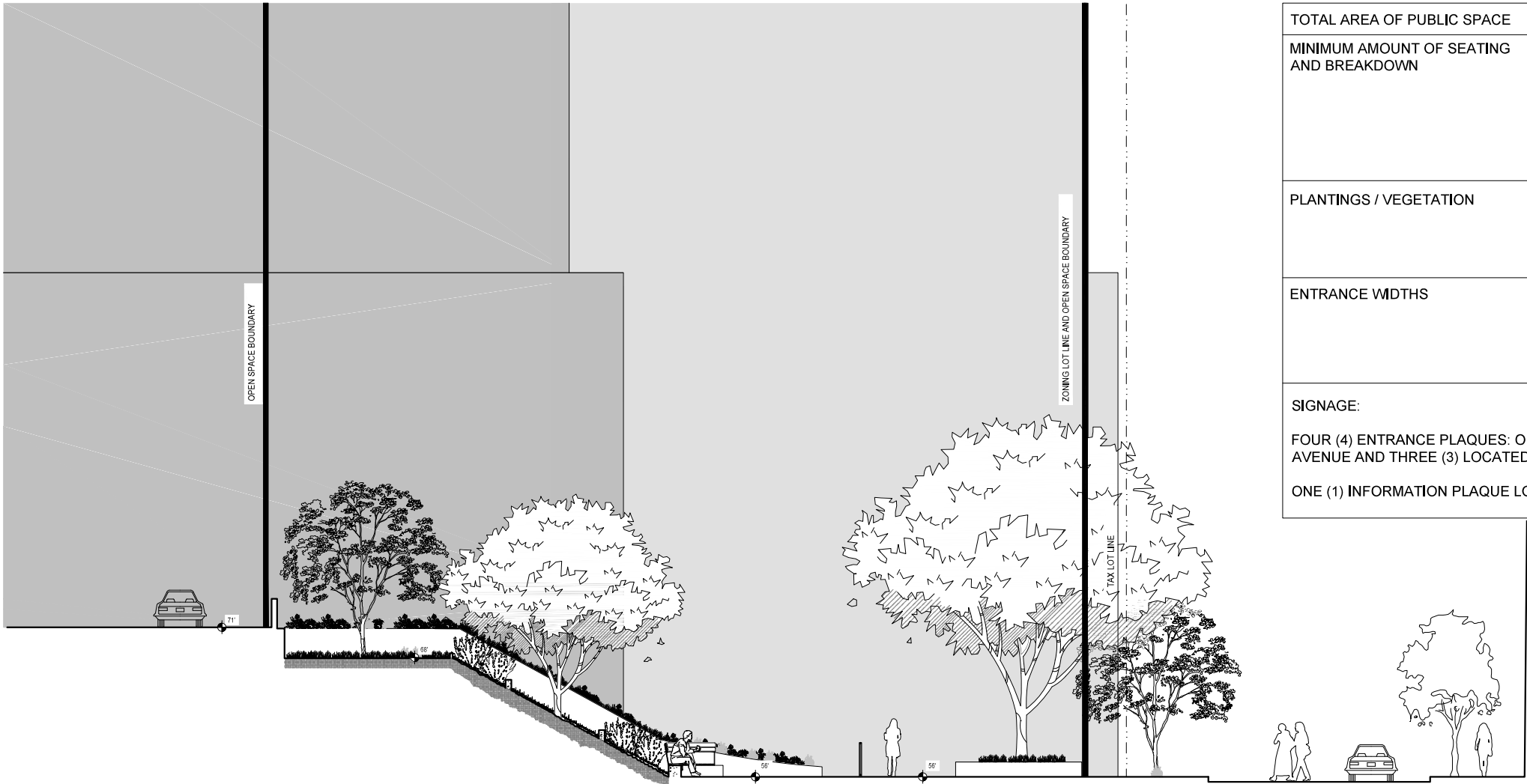
Z-503  
PLAZA DETAILS

Seal



2 KEY PLAN

1"=100'



1 SECTION\_TERRACE AND UPPER PLAZA

3/16" = 1'-0"

LEGEND



3/16" = 1'-0"

GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

- ZONING LOT LINE
- TAX LOT LINE
- PUBLIC ACCESSIBLE OPEN SPACE
- ILLUSTRATIVE BUILDING LINE

GENERAL NOTES

- ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS 1.095 FEET ABOVE NATIONAL GEODETIC SURVEY DATUM AT SANDY HOOK, NJ.
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**LIBERTY TOWERS**  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100  
  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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NO. REVISIONS | SUBMISSIONS

DRAWING TITLE:

**Z-504**

**PUBLIC OPEN SPACE SECTIONS**

Sheet

LIBERTY TOWERS  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100  
  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

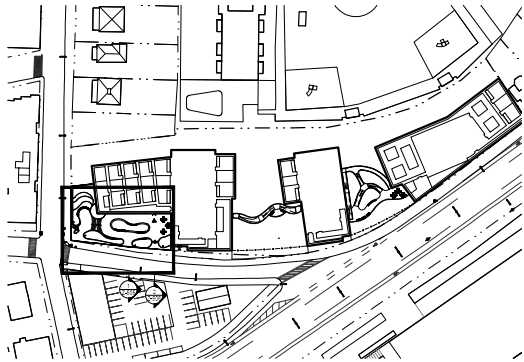
SPECIAL PERMIT DRAWING SET

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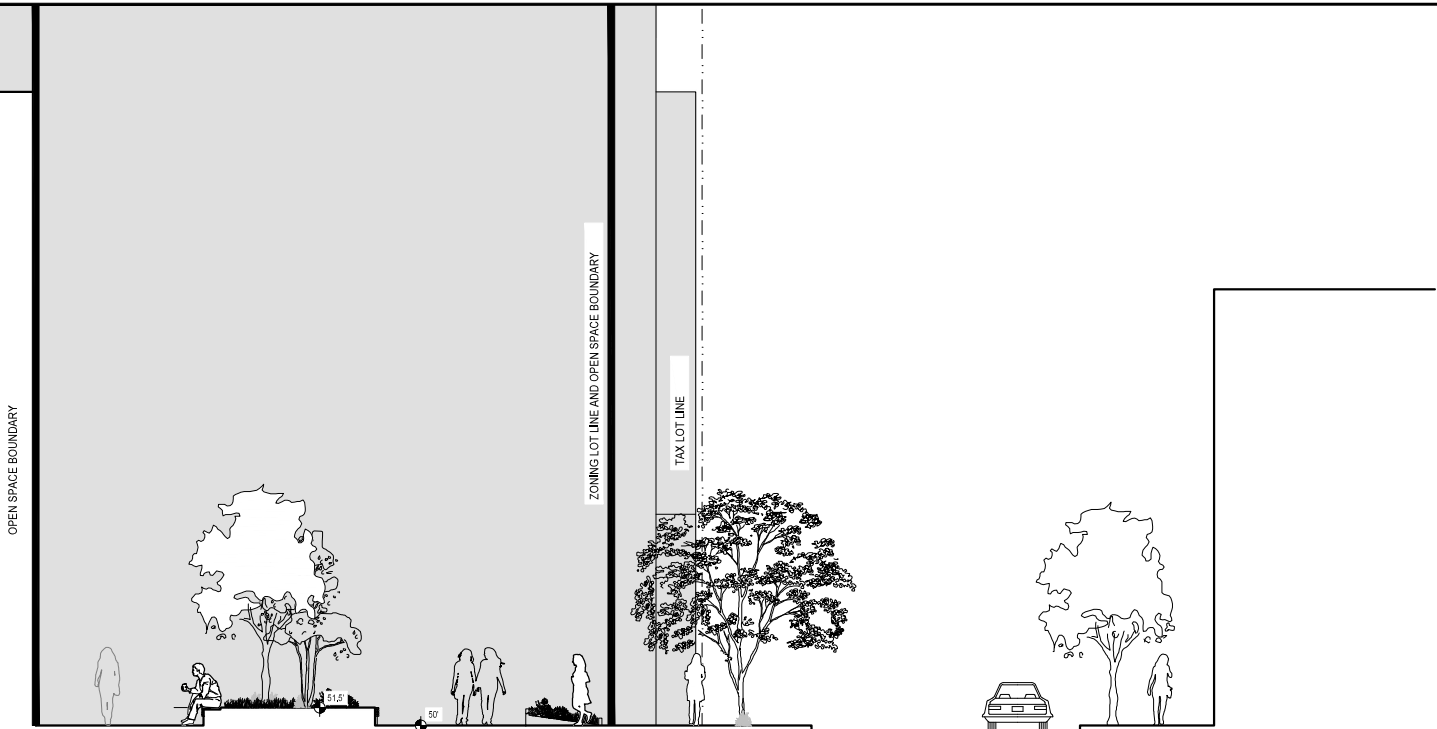
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2 KEY PLAN

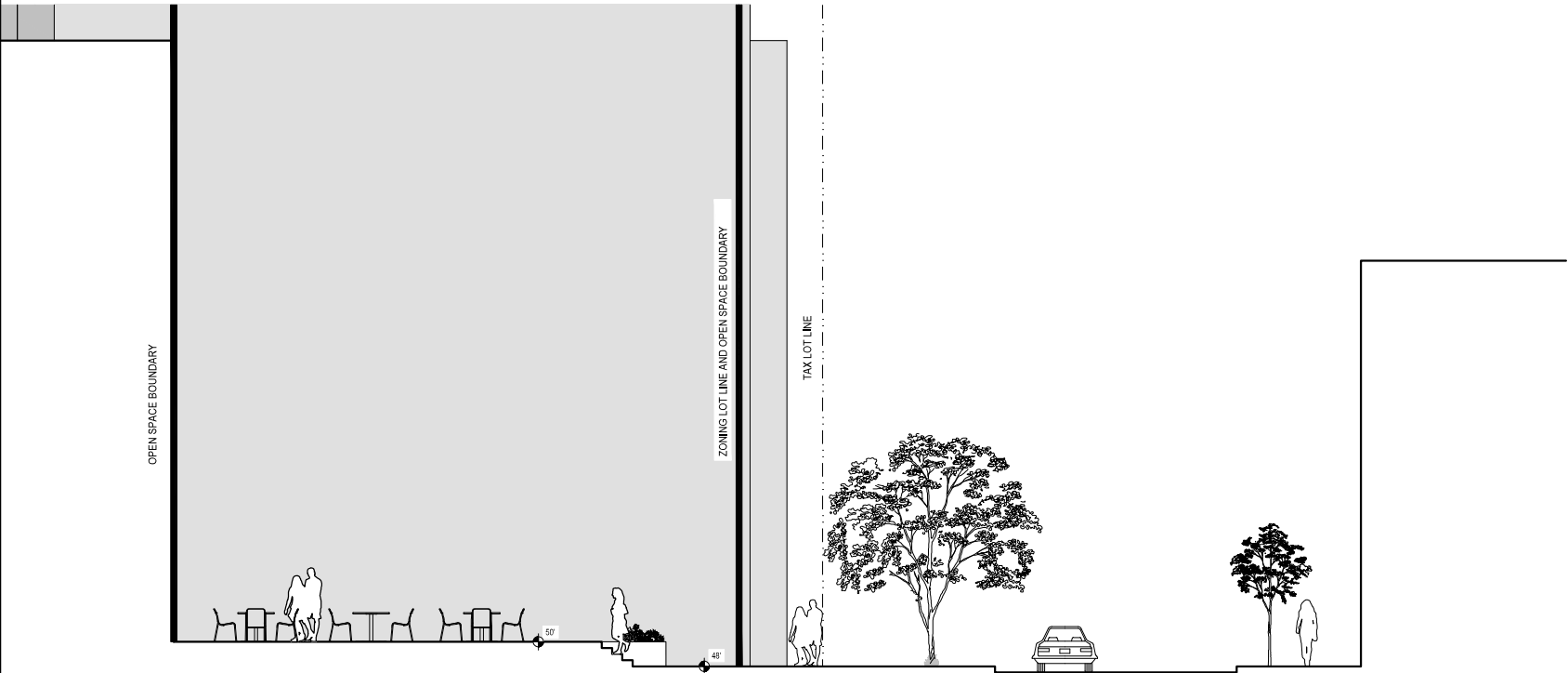
1"=100'

TOTAL AREA OF PUBLIC SPACE	7900 SF
MINIMUM AMOUNT OF SEATING AND BREAKDOWN	LF WITH BACK: 52' LF BACK-LESS: 44'  LF MOVEABLE SEATING: 18' ( 3 TABLES WITH 4 SEATS EA.)  LF TOTAL: 114'
PLANTINGS / VEGETATION	MAJOR TREES: 3 MINOR TREES: 17 GROUND COVER / PERENNIAL : 2927.5 SF
ENTRANCE WIDTHS	ENTRANCE 1: 15' 9"  ENTRANCE 2: 12' 0"  ENTRANCE 3: 9' 2"
SIGNAGE:	FOUR (4) ENTRANCE PLAQUES: ONE (1) LOCATED ON HAMILTON AVENUE AND THREE (3) LOCATED ON STUYVESANT PLACE  ONE (1) INFORMATION PLAQUE LOCATED ON THE BUILDING



1 SECTION Central GARDEN

3/16" = 1'-0"



2 SECTION ENTRANCE

3/16" = 1'-0"

LEGEND



3/16" = 1'-0"

GRAPHIC APPLICABLE TO ALL  
NON-DIMENSIONED ELEMENTS

- ZONING LOT LINE
- - - TAX LOT LINE
- PUBLIC ACCESSIBLE OPEN SPACE
- ILLUSTRATIVE BUILDING LINE

GENERAL NOTES

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- ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE..
- PLANTING LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE.

01 SPECIAL PERMIT SUBMISSION

NO. REVISIONS | SUBMISSIONS

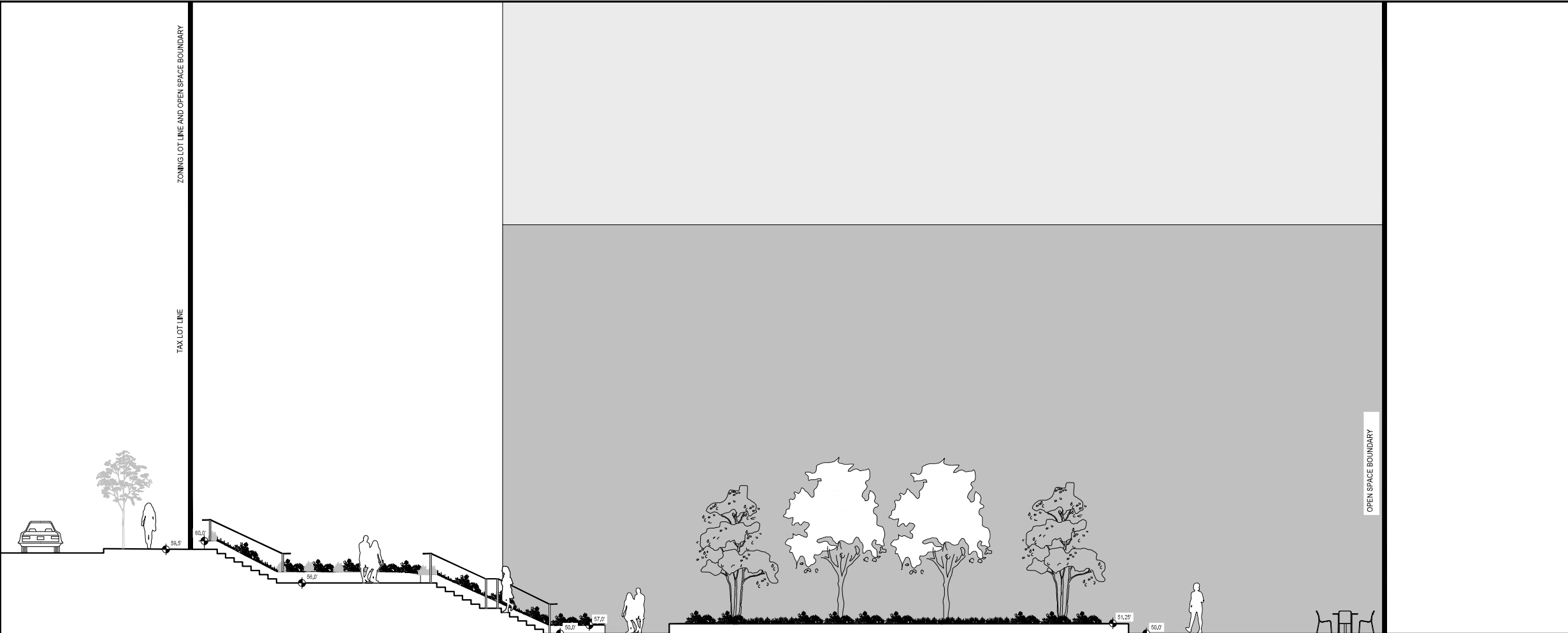
DRAWING TITLE:

Z-505

PUBLIC OPEN SPACE SECTIONS

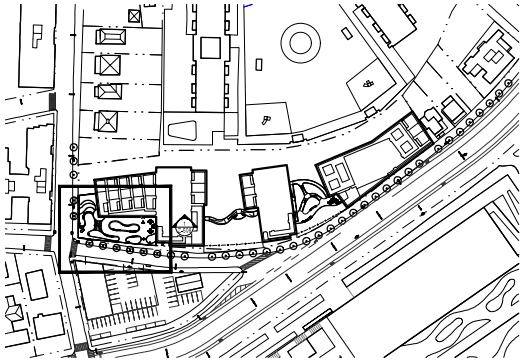
Sheet





1 SECTION\_OPEN SPACE PLAZA

3/16" = 1'-0"



2 KEY PLAN

1/128" = 1'-0"

TOTAL AREA OF PUBLIC SPACE	7900 SF
MINIMUM AMOUNT OF SEATING AND BREAKDOWN	LF WITH BACK: 52' LF BACK-LESS: 44'  LF MOVEABLE SEATING: 18' ( 3 TABLES WITH 4 SEATS EA.)  LF TOTAL: 114'
PLANTINGS / VEGETATION	MAJOR TREES: 3 MINOR TREES: 17 GROUND COVER / PERENNIAL : 2927.5 SF
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SIGNAGE:	FOUR (4) ENTRANCE PLAQUES: ONE (1) LOCATED ON HAMILTON AVENUE AND THREE (3) LOCATED ON STUYVESANT PLACE  ONE (1) INFORMATION PLAQUE LOCATED ON THE BUILDING

LEGEND



GRAPHIC APPLICABLE TO ALL NON-DIMENSIONED ELEMENTS

- ZONING LOT LINE
- TAX LOT LINE
- PUBLIC ACCESSIBLE OPEN SPACE
- ILLUSTRATIVE BUILDING LINE

GENERAL NOTES

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- PLANTING LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE.

LIBERTY TOWERS  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100  
  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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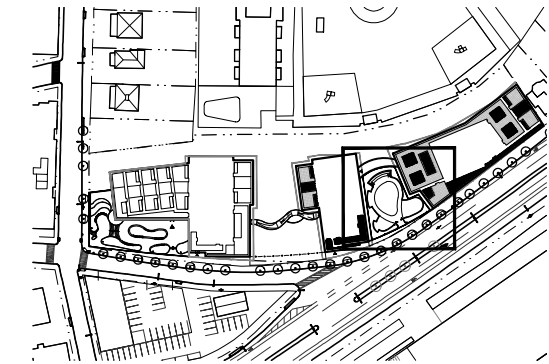
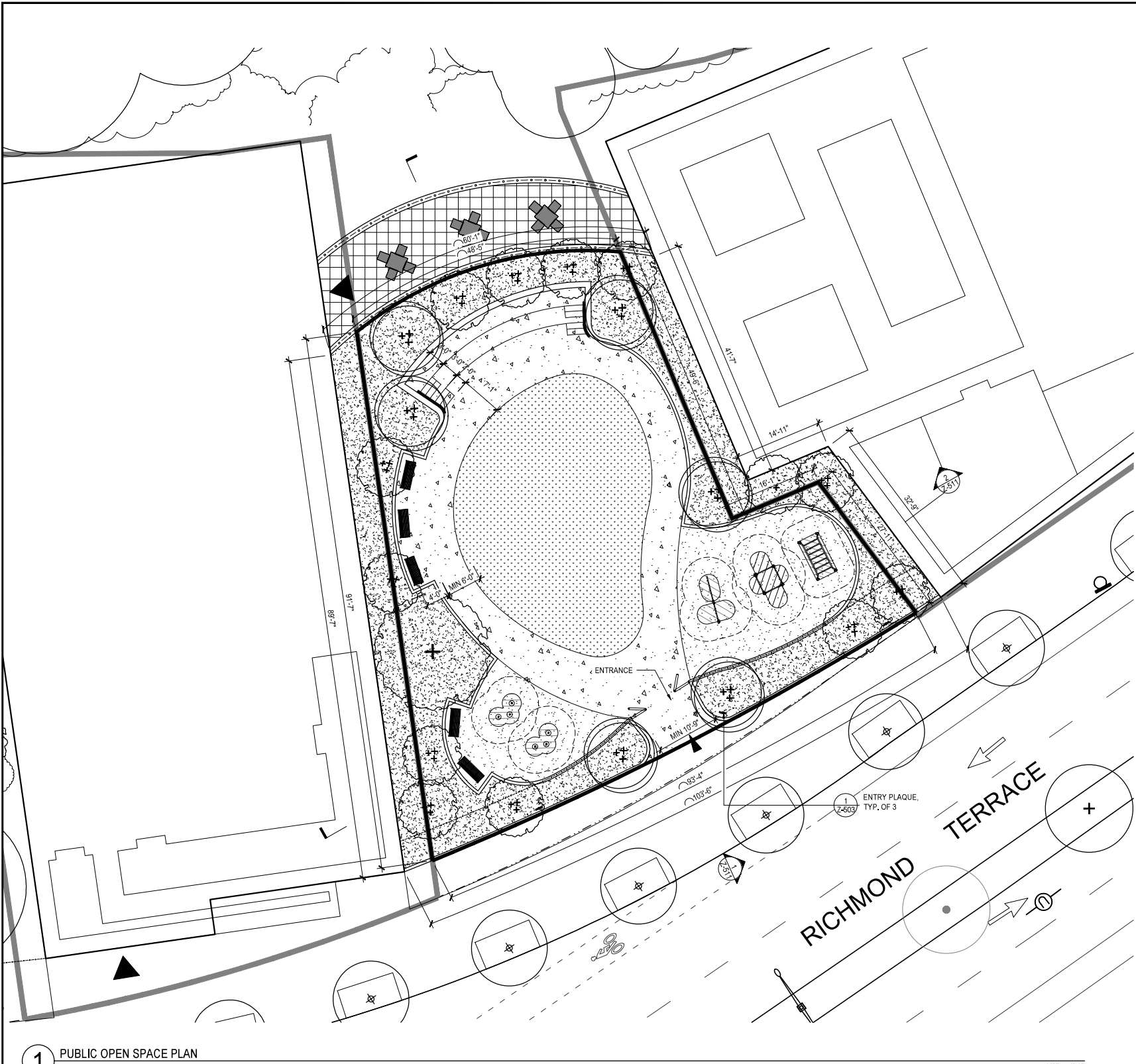
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DRAWING TITLE:

Z-506

PUBLIC OPEN SPACE SECTIONS

Seal



2 KEY PLAN

TOTAL AREA OF PUBLIC SPACE	5702 SF
ENTRANCE WIDTHS	ENTRANCE: MIN 10'-9"
SIGNAGE:	
THREE (3) ENTRANCE PLAQUES LOCATED ON RICHMOND TERRACE	

- GENERAL NOTES**
- ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS 1.095 FEET ABOVE NATIONAL GEODETIC SURVEY DATUM AT SANDY HOOK, N.J.
  - BUILDINGS SHOWN WITHIN ZONING ENVELOPES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
  - ROOFTOP TERRACES & LANDSCAPE ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
  - THE ZONING ENVELOPE REPRESENTS THE MAXIMUM DEVELOPMENT BULK, EXCLUDING PERMITTED OBSTRUCTIONS, EXCEPT WHERE OBSTRUCTIONS WAIVER IS ALSO REQUESTED.
  - ADDITIONAL ENTRANCES FOR GROUND FLOOR RETAIL, COMMUNITY FACILITIES AND SECONDARY ENTRY AND EGRESS PERMITTED.
  - APPLICANT'S STAMP AND SEAL CORRESPOND TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING LOT, AND RELATED CURB INFORMATION REGARDING THE SURROUNDING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY, AND MAY NOT BE EXACT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR INEXACT INFORMATION ON SURROUNDING PROPERTIES.
  - ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE.
  - PLANTING LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE.
  - THE OPEN SPACE DESIGN SHALL SUBSTANTIALLY COMPLY WITH THE PARAMETERS SHOWN IN TABLE ON SHEET Z-501.

1 PUBLIC OPEN SPACE PLAN

**LEGEND**

0 2' 4' 8'  
1/8" = 1'-0"

GRAPHIC APPLICABLE TO ALL NON-DIMENSIONED ELEMENTS

RESIDENTIAL ACCESS POINT

RETAIL ACCESS POINT

BUILDING ENTRANCE POINTS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

PLAZA ENTRANCE

EXISTING CATCH BASIN

PROPOSED STREET TREE

ZONING LOT LINE

TAX LOT LINE

PUBLIC ACCESSIBLE OPEN SPACE

ILLUSTRATIVE BUILDING LINE

STREET LAMP

STREET LAMP

STOP SIGN

FIRE HYDRANT

BENCH WITH BACK

EXISTING BUILDING FOOTPRINT

PROPOSED BUILDING FOOTPRINT

PLAZA INFORMATION PLAQUE

PLAZA ENTRY PLAQUE

TABLE AND CHAIRS

FENCE

RAILING, 42" HT.

CIP CONCRETE 12" WIDE RETAINING WALL

CIP CONCRETE CURB 6" WIDE

CIP CONCRETE PAVEMENT (1318 SF)

SAFETY SURFACE PAVEMENT (1052 SF)

CONCRETE TILES PAVEMENT (671 SF)

GROUND COVER / PERENNIALS

SEEDED LAWN

MAJOR TREE

MINOR TREE

RIVER NORTH  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART OF LOT 8 (TENTATIVE LOT 95)  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE, 180 RICHMOND TERRACE  
STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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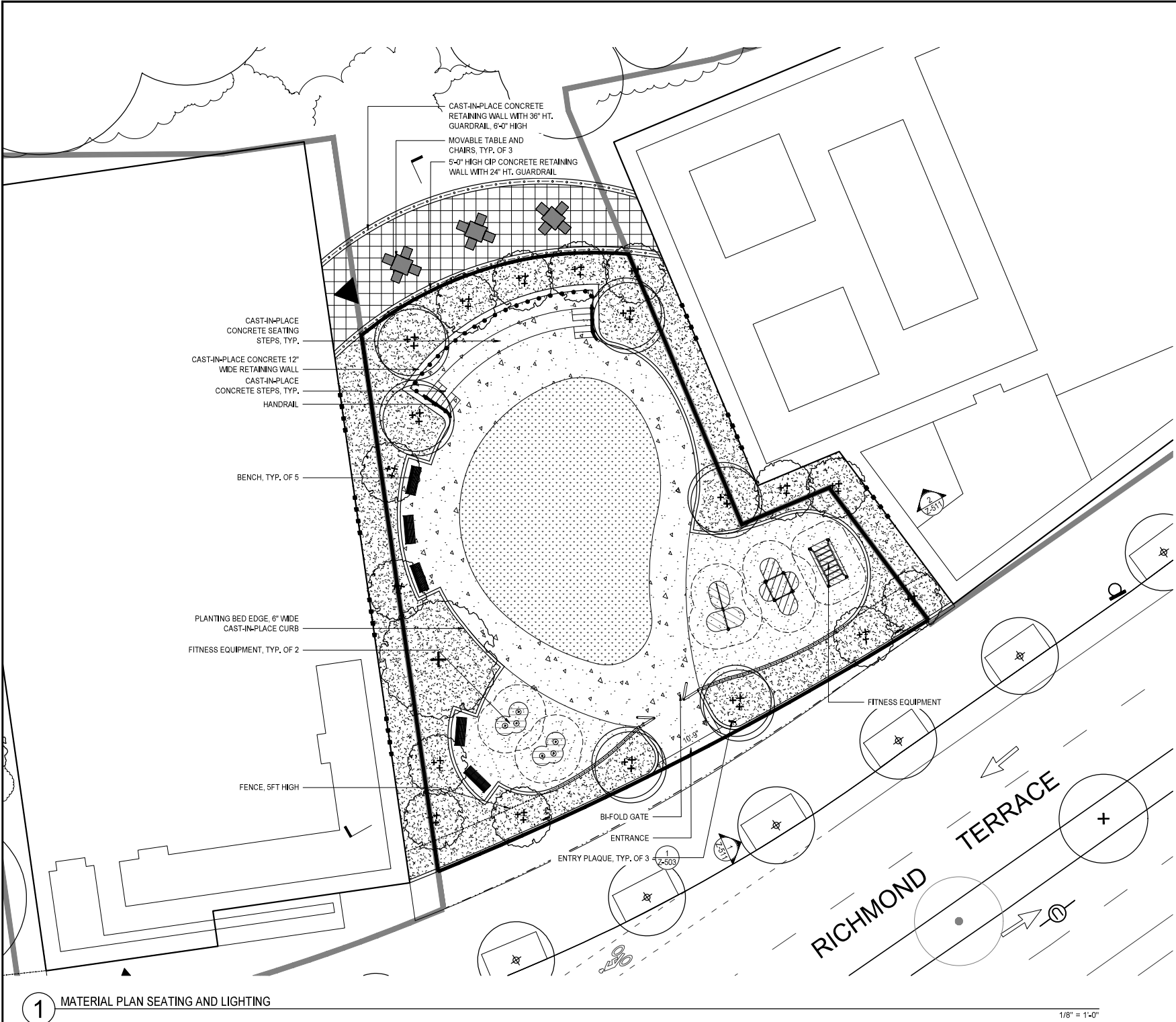
01 SPECIAL PERMIT FILING 04/01/2021  
02 DRAFT SPECIAL PERMIT SET - CPC REVISIONS 08/13/2021

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DRAWING TITLE:

**ONSITE FITNESS  
Z-507 PUBLIC OPEN  
SPACE PLAN**

Sheet



2 KEY PLAN

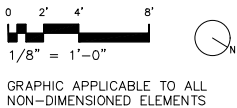
1"=100'

TOTAL AREA OF PUBLIC SPACE	5702 SF
ENTRANCE WIDTHS	ENTRANCE: MIN 10'-9"
SIGNAGE:  THREE (3) ENTRANCE PLAQUES LOCATED ON RICHMOND TERRACE	
MINIMUM AMOUNT OF SEATING AND BREAKDOWN	LF WITH BACK: 24' (5 BENCHES) LF BACK-LESS: 50'  LF MOVEABLE SEATING: 18' ( 3 TABLES WITH 4 SEATS EA.)  LF TOTAL: 92'
SEATING:  1. THE DEPTH OF STANDARD SEATING IS 18-20 INCHES, THE DEPTH OF SEATING STEPS IS 36", THE HEIGHT ABOVE THE PAVEMENT OF SEATING IS 16-18 INCHES. 2. AT LEAST 50 PERCENT OF THE LINER FEET OF FIXED SEATING HAVE BACKS AT LEAST 14 INCHES HIGH. 3. ALL SEATS BACK ARE RECLINED FROM VERTICAL BETWEEN 10 TO 15 DEGREES.	
LIGHTING:  1. LOCATIONS AND TYPES OF LIGHTING ELEMENTS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE. 2. ALL PAVED SURFACES SHOULD BE ILLUMINATED FOR MIN. 1 FOOT-CANDLE DURING HOURS OF OPERATION.	
PLANTINGS / VEGETATION	MAJOR TREES: 1 MINOR TREES: 6  MINOR TREES MULTISTEM: 13  SHRUBS : 102  GROUND COVER / PERENNIAL : 2515 SF  ARTIFICIAL TURF: 1274 SF

1 MATERIAL PLAN SEATING AND LIGHTING

1/8" = 1'-0"

LEGEND



GRAPHIC APPLICABLE TO ALL NON-DIMENSIONED ELEMENTS

- ZONING LOT LINE
- TAX LOT LINE
- PUBLIC ACCESSIBLE OPEN SPACE
- ZONING SETBACK LINE
- ILLUSTRATIVE BUILDING LINE
- STREET LAMP
- EXISTING CATCH BASIN
- STOP SIGN
- FIRE HYDRANT

- BENCH WITH BACK
- LIGHTS ON RETAINING WALL
- LIGHTS ON BUILDING
- LIGHTED AREA
- PROPOSED STREET TREE
- PLAZA INFORMATION PLAQUE
- PLAZA ENTRY PLAQUE

- TABLE AND CHAIRS
- FENCE
- RAILING, 42" HT.
- CIP CONCRETE 12" WIDE RETAINING WALL
- CIP CONCRETE CURB 6" WIDE
- CIP CONCRETE PAVEMENT (1318 SF)
- SAFETY SURFACE PAVEMENT (1052 SF)

- CONCRETE TILES PAVEMENT (671 SF)
- GROUND COVER / PERENNIALS
- ARTIFICIAL TURF

GENERAL NOTES

- ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS 1.095 FEET ABOVE NATIONAL GEODETIC SURVEY DATUM AT SANDY HOOK, NJ.
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- ALL EXISTING CONTEXT BUILDINGS FOOTPRINT AND HEIGHT PER NYC PLUTO DATABASE.
- PLANTING LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE. THE OPEN SPACE DESIGN SHALL SUBSTANTIALLY COMPLY WITH THE PARAMETERS SHOWN IN TABLE ON SHEET Z-501.

RIVER NORTH  
STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART OF LOT 8 (TENTATIVE LOT 95)  
PROPOSED MIXED-USE BUILDINGS  
24 STUYVESANT PLACE, 170 RICHMOND TERRACE,  
180 RICHMOND TERRACE  
STATEN ISLAND, NY

SPECIAL PERMIT DRAWING SET

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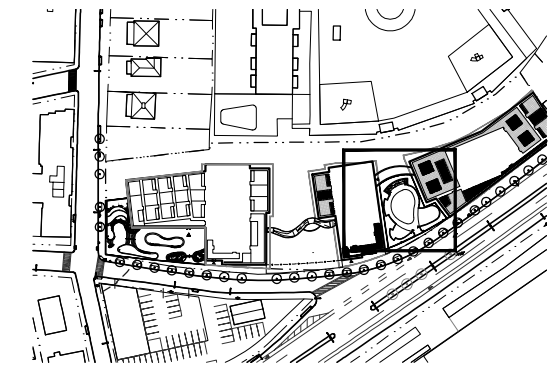
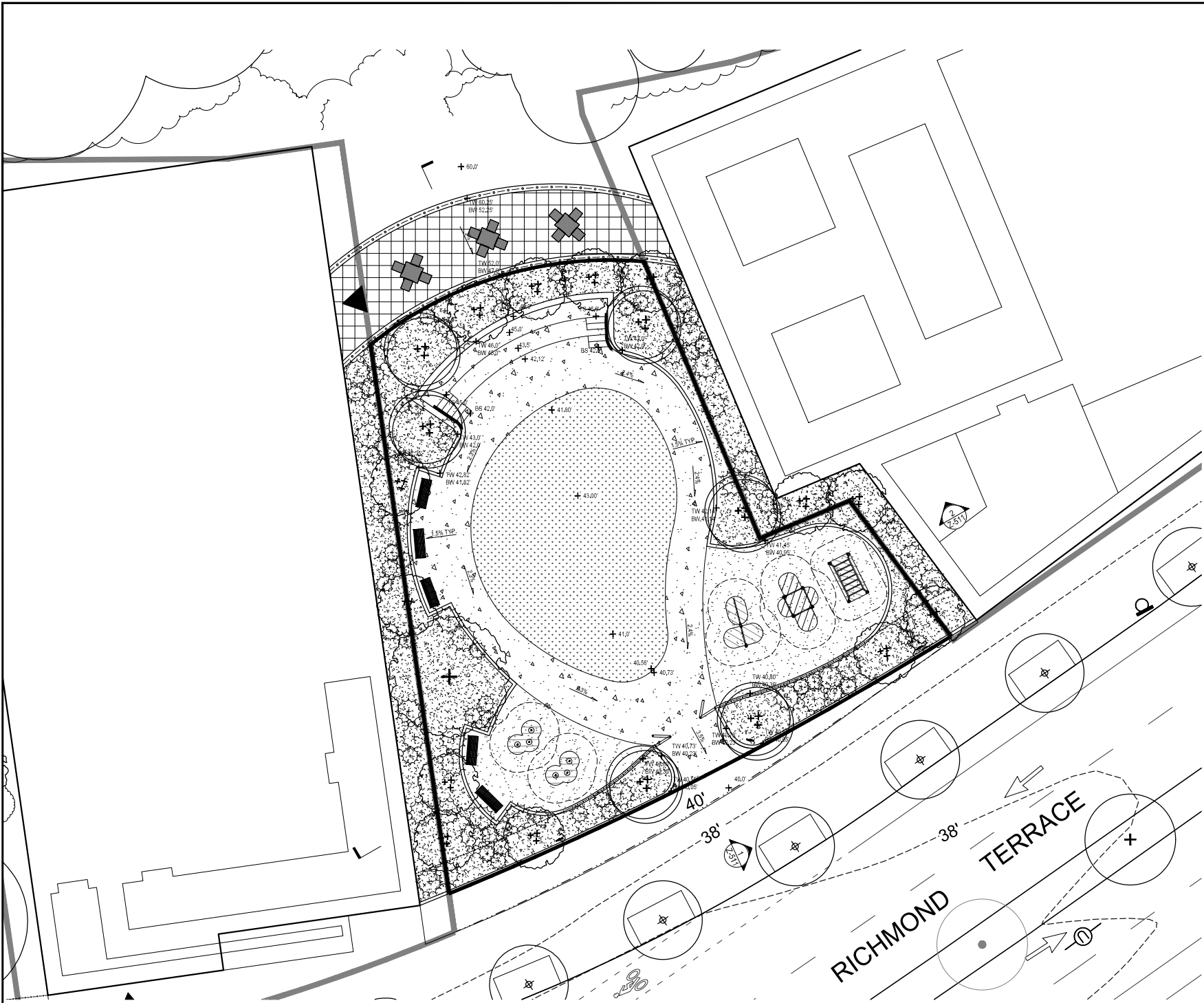
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Z-508 ONSITE FITNESS MATERIAL, SEATING AND LIGHTING PLAN

Sheet

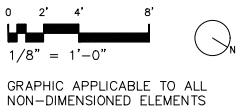




PLANTINGS / VEGETATION	MAJOR TREES: 1
	MINOR TREES: 6
	MINOR TREES MULTISTEM: 13
	SHRUBS : 102
	GROUND COVER / PERENNIAL : 2515 SF
	SEEDED LAWN: 1274 SF

1 PLANTING AND GRADING PLAN

LEGEND



- ZONING LOT LINE
- TAX LOT LINE
- ZONING DISTRICT BOUNDARY
- ILLUSTRATIVE BUILDING LINE
- EXISTING CONTOUR
- EXISTING CATCH BASIN
- STREET LAMP
- STOP SIGN
- FIRE HYDRANT

- PROPOSED MAJOR DECIDUOUS TREE (COUNT = 1)
- PROPOSED DECIDUOUS TREES ON THE TERRACE GARDEN (COUNT = 6)
- PROPOSED DECIDUOUS MULTISTEM TREES (COUNT = 12)
- PROPOSED SHRUB (COUNT = 102)
- GROUND COVER / PERENNIALS

- EXISTING BUILDING FOOTPRINT
- PROPOSED BUILDING FOOTPRINT
- PROPOSED STREET TREE
- PROPOSED ELEVATION

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**Z-509** ONSITE FITNESS PLANTING AND GRADING PLAN

Sheet



1 ENTRY PLAQUE 6" = 1'-0"

NOTE:

INFORMATION ON THIS PLAQUE IS SUBJECT TO CHANGE. OWNER AND MAINTENANCE PERSONNEL SUBJECT TO CHANGE. FINAL DETERMINATION OF EMAIL AND PHONE # ARE TO BE COORDINATED WITH THE OWNER.



2 INFORMATION PLAQUE 6" = 1'-0"

GENERAL NOTES

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STATEN ISLAND BLOCK 13 LOTS 82, 92, 100 & PART OF LOT 8 (TENTATIVE LOT 95)

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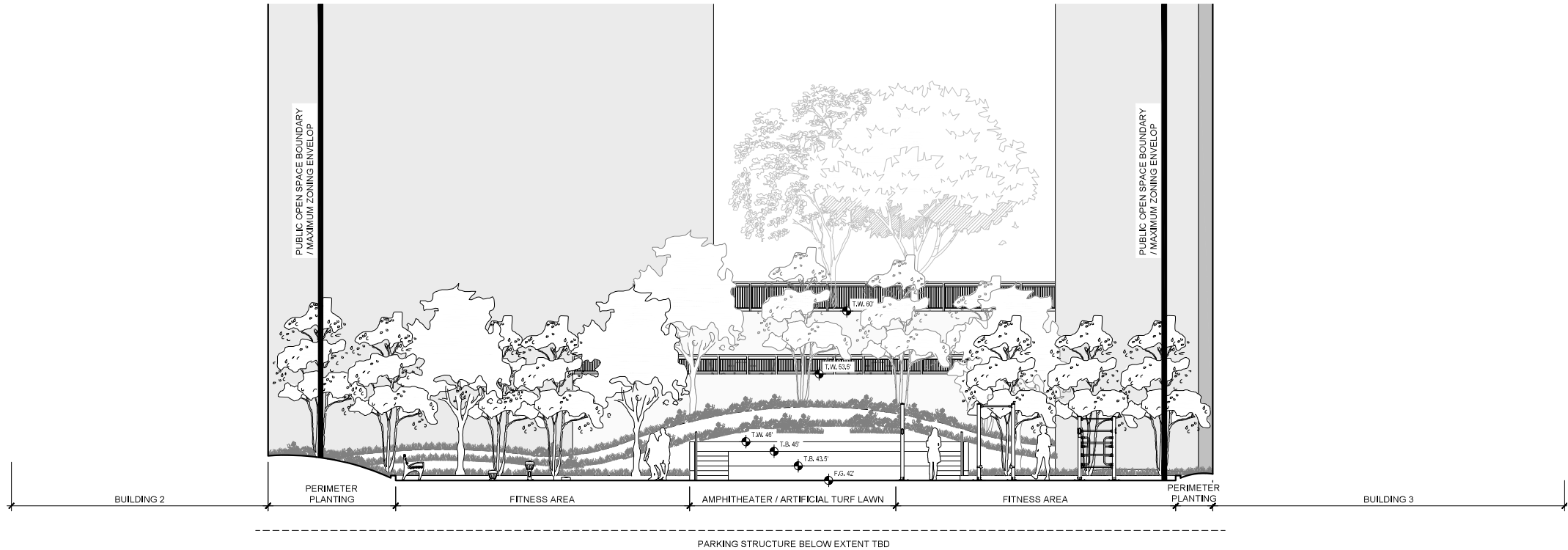
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Z-510 ONSITE FITNESS DETAILS

Sheet



1 SECTION\_FITNESS 1

3/16" = 1'-0"



2 SECTION\_FITNESS 2

3/16" = 1'-0"

LEGEND	
	--- ZONING LOT LINE
	--- TAX LOT LINE
	— PUBLIC ACCESSIBLE OPEN SPACE
	— ILLUSTRATIVE BUILDING LINE

GENERAL NOTES	
1. ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) WHICH IS 1.095 FEET ABOVE NATIONAL GEODETIC SURVEY DATUM AT SANDY HOOK, NJ.	CUTS. INFORMATION REGARDING THE SURROUNDING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY, AND MAY NOT BE EXACT. THE ARCHITECT BEARS NO RESPONSIBILITY FOR INEXACT INFORMATION ON SURROUNDING PROPERTIES.
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5. ADDITIONAL ENTRANCES FOR GROUND FLOOR RETAIL, COMMUNITY FACILITIES AND SECONDARY ENTRY AND EGRESS PERMITTED.	
6. APPLICANT'S STAMP AND SEAL CORRESPOND TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING LOT, AND RELATED CURB	

01 02	SPECIAL PERMIT FILING DRAFT SPECIAL PERMIT SET - CPC REVISIONS	04/01/2021 08/13/2021
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Sheet		