Land Use Map Guidelines
Version 1.8

Purpose

The purpose of this document is to outline minimum requirements for completing an attachment to a land use application, while allowing for flexibility and professional judgment. The Land Use Map is an application component required for Certifications, some Authorizations and all Special Natural Area District, Hillside and South Richmond District actions detailed in the New York City Zoning Resolution. The drawing depicts land uses within and surrounding a project area, in order to illustrate the impact and/or relationship of a proposed building to neighboring properties.

When to Use

The Land Use Map is required for specific actions listed in the New York City Zoning Resolution, including all Special Natural Area District, Special Hillside District and South Richmond District Special Permits, Authorizations, and Certifications. For other actions, the land use map is only applicable to specific Authorizations and all Certifications. Applicants for specific land use actions will be informed of all required drawings for their particular application at the Interdivisional Meeting.

Exceptions and Modifications

These guidelines provide general guidance only. Depending on the specifics of the project, the DCP Project Team may require drawings and information in addition to or different from those described in the guidelines. At the Interdivisional Meeting, the DCP Project Team will discuss whether and to what extent preparation of the application requires exceptions to or modifications of these guidelines, in order to take account site or project features.

Overview

The Land Use Map is required to show the land uses for a particular project area and development site, as well as the surrounding land uses of neighboring properties. Important geographic indicators, such as street names, should be included. Where content is required to be shown on a map by the Zoning Resolution and is not found on a base map, it must be added in some way (Example: zoning district boundary lines drawn onto a map).

There are multiple ways to create a Land Use Map. Below, 3 possible methods are recommended.

1. **Geographic Information Systems (GIS)** can be used with DCP's free MapPLUTO database. MapPLUTO can be downloaded for free here. Zoning information can also be downloaded, free of charge on DCP's website. www.nyc.gov/planning.

2. **Applicant Maps Tool**, DCP's free online tool can be utilized to create the land use map. The tool can be accessed here.

3. **Third-Party Maps Purchased from Others (Insurance Maps, etc)** The Department of City Planning will accept the most-up-to-date (current) Insurance Map for a particular project area and its surroundings. Applicants must submit either 1 map showing the project area and an approximate 600 foot radius or maps for each block within the project area boundary AND within 600 feet. Maps can be obtained from private companies. You can custom set the distance from the project area boundary when ordering. Maps obtained in this way should be edited in

software programs to show other required information, such as; zoning, dimensions, open spaces, etc., depending on the specific land use action requested.

Land Use Map Details

The land use map must meet the following layout (Table A) and content (Table B) requirements. Table C includes information that is routinely needed for specific Authorizations and Certifications.

Table A: Layout Requirements

Number	Format Requirements
1	**Page Size** • Minimum of 11" x 17" – Maximum of 36" x 48". • Drawing size should be consistent with all the other large format drawings in the set.
2	**Legend and Scale** • North arrow. • Graphic scale. • Legend (if symbols are used).
3	**Radius and Extent** *(Maps may be on separate sheets)* • The default radius is the entire project area plus immediately adjoining blocks, approximately 600' from project area boundary. • The extent of the surrounding area should be confirmed at the Interdivisional Meeting.
4	**Illustrating Land Uses** *(For maps without land use codes)* • For maps with land use codes, no color or other modifications need to be made in order to show land uses, as long as the map is legible. • If a land use map is obtained that has a clear set of land use codes, there is no need to add color to the map. • Show land use colors in a standard format, following the guide below. Colors shown below are for reference only--the exact shades are not required to match, so long as an attempt has been made to follow the guide. • Color can be used to illustrate the different land uses.

Number	Format Requirements
5	**Land Use Legend** • Include a land use legend. • Sample Legend: **Land Use** One & Two Family Buildings MultiFamily Walkup Buildings MultiFamily Elevator Buildings Mixed Commercial/Residential Buildings Commercial/Office Buildings Industrial/Manufacturing Transportation/Utility Public Facilities & Institutions Open Space Parking Facilities Vacant Land All Others or No Data

Table B: Required Content
The following map elements are always required.

Number	Content Requirements
1	**Project Area Boundary** • Show using a dotted line of medium line weight. • Offset from lines showing the zoning district borders, if included.
2	**Proposed Development Site Boundary** • If distinct from the Proposed Project Area, show with a heavy dashed line featuring one long dash, a dot and another long dash. • Where development site boundaries differ from zoning lot lines, there should be a clear graphic differentiation between site boundaries and zoning lot. • If the development site includes multiple zoning lots, show each with a similar boundary.
3	**Land Uses** • Show land uses with land use codes or in color, as described in item 4 under "Format Requirements".

Number	Content Requirements
4	**Streets** • Use official names (ie E 3rd Street, instead of 3rd Street). Generally known abbreviations are acceptable (Ave, st, etc.). • Indicate street direction if vehicular capacity is a part of the land use action's findings.
5	**Building Footprints** (Included in the base map produced by the Applicant Maps Tool).

Table C: Typical Additional Content

Depending on the certification text, the following information may also need to be added, depending on the specific land use action requested:

Number	Typical Additional Requirements
1	**Additional Land Use Information** • If the Zoning Resolution Text for a specific land use action calls out a particular land use, such as nursing homes, plazas, or ground floor retail, add these uses to the map and clearly identify them. • If the Zoning Resolution Text for a specific land use action calls out a particular use group, such as UG 18, then label those uses within the extent of the map
2	**Zoning Information** • If the Zoning Resolution Text for a specific land use action has specific conditions, such as a distance from an R District, then show the zoning district lines on this map. • Show zoning district lines in medium weight black lines. Label zoning districts in large, bold, black type (default symbology set by Applicant Maps Tool is acceptable). • Place commercial overlays on the map with pertinent hatching (default symbology set by Applicant Maps Tool is acceptable). • A guide to Commercial overlay hatching designations can be found at http://www.nyc.gov/html/dcp/html/zone/glossary.shtml#commercial_overlay
3	**Street Information** • Right-of-Way Width, from the City Map. • Indicate street direction, if vehicular capacity is part of the action's findings.
4	**Public Open Spaces** • Show as needed. • Label if required or helpful to understanding the action/proposal.

Number	Typical Additional Requirements
5	**Community Facilities** • Number each facility on the map. • Create and include a legend with the corresponding numbers, Community Facility Names and the types of the facility (ie, Elementary School, Day Care Center, House of Worship). | Number	Name	Type of Facility
1	Name 1	Nursing Home
2	Name 2	Day Care Center	

Printing Your Map

To print your current display map, click on the "Printer" icon in the toolbar.
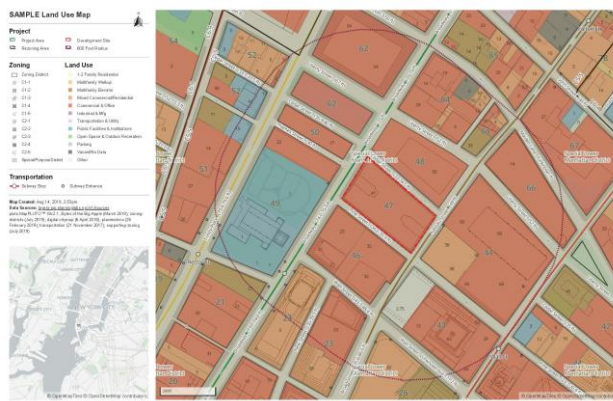
🖶 Print

Alternative to printing directly from Applicant Maps Tool

Depending on your intended use, it may be preferable to use the screen capture or Snipping Tool features of Windows or to take a screenshot on your Mac.

More information on Windows screen capture
More information on Windows Snipping Tool
More information on Mac screenshot

Sample map from Applicant Maps Tool using Windows Snipping Tool and saving as .png (portable network graphic) file.

Land Use Map Sample

Created through Applicant Maps Tool and including additional zoning information beyond the minimum requirements.

Revision History

Date	Version	Description	Author
5/24/2012	1.0	Original Draft	Basha Estroff
6/06/2012	1.1	Edits	B. Estroff
1/28/2013	1.2	Revisions and New Sample	D. Parish
6/5/2013	1.3	Fixed table numbering	B. Budelman
8/15/13	1.4	Revised for sources and requirements	D. Parish
4/27/14	1.5	Final version for external review	D. Parish
6/12/14	1.6	Consistency check	C. Whitcomb
6/30/14	1.6	Final edits	C. Whitcomb
1/6/15	1.7	Added information about printing from ZoLA	D. Parish
8/14/19	1.8	Updated to replace ZoLA with Applicant Maps Tool	V. Vo