



R1

R2

R3

R4

R5

R6

R7

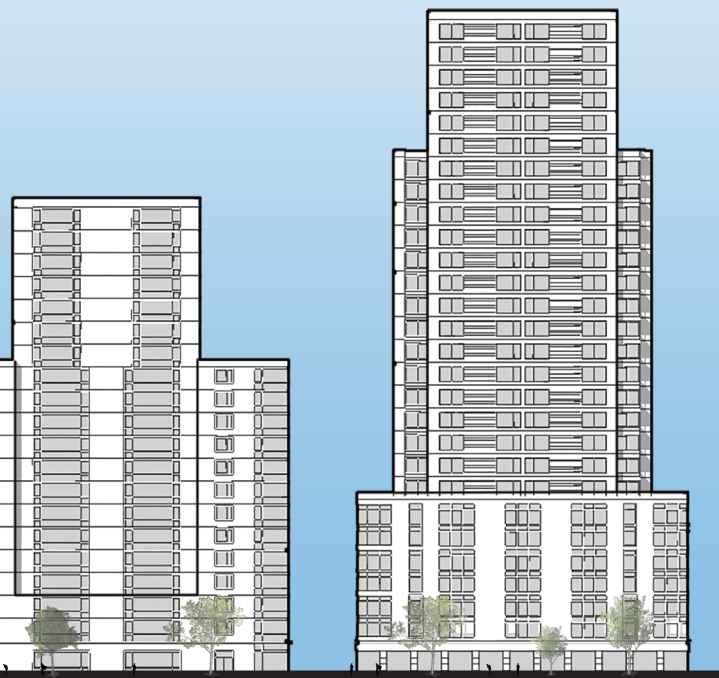
R8

Residence Districts

Residence Districts are the most prevalent zoning districts in New York City, accounting for about 75 percent of the city's zoned land area. Many of the types of zoning regulations affecting the Residence Districts we have today are rooted in laws that emerged in the decades before the 1916 Zoning Resolution. During this period, tenement laws sought to improve the crowded and unhealthy living conditions of dense enclaves like the Lower East Side by, among other things, requiring access to light and air for residents. The goals of enhancing public health, safety, and welfare are still at the core of zoning, but the Resolution has expanded to include a wide range of mechanisms to ensure that residential development is consistent with supporting infrastructure and planning goals for an area and contributes to, rather than detracts from, the character of the surrounding neighborhood. To this end, the Zoning Resolution sets parameters for the size and shape of buildings, mix of uses in an area, and how new buildings will relate to the public street and sidewalk, and to other buildings on the block.

Residence Districts in New York City reflect and shape the city's extraordinary range of residential building forms — from single-family homes with extensive yards in the city's outskirts to soaring towers in Manhattan. These extremes, and all the building types in between, correlate with 10 basic types of Residence Districts (R1-R10). R1 Districts permit only the lowest residential density with detached single-family homes, have the most limited range of uses, are typically further from mass transit and have high parking requirements. R10 Districts, in contrast, permit the highest residential density, often in tower forms, have good access to mass transit and have the lowest (if any) parking requirements.

In the Zoning Resolution, R1-R5 Districts are commonly grouped together as low density Residence Districts, while R6-R10 Districts are medium to high density Residence Districts. Residence Districts can also be divided into categories that promote contextual building form and those that allow a variety of forms, from low to high densities. These categories will be used to further describe these districts and the regulations that apply to them.



R9

R10

Basic Types



Low Density Residential District



Medium Density Residential District



High Density Residential District

Residence Districts are generally categorized based on the building form they promote: **non-contextual districts** were created by the 1961 Resolution, and **contextual districts** have been added since the 1980s. Non-contextual districts remain in many locations, and are designed to allow a wide range of building forms. They continue to be mapped, usually in locations without a clear, uniform scale or prevailing building typology. Contextual districts are designed to maintain or establish a scale and form reflective of many of the city's older or more uniformly developed neighborhoods, and are denoted by an A, B, D or X letter suffix (and, in R3 or R4 Districts, the number suffix “-1”).

R1-R5 Districts



Low density Residence Districts in the 1961 Resolution originally consisted of single-family detached (R1 and R2), single- and two-family detached and semi-detached (R3-1), and general Residence Districts (R3-2, R4 and R5), which permitted all types of residential buildings. R3-2, R4, and R5 Districts were widely mapped, often in neighborhoods that were consistently developed with detached or semi-detached homes. Over time, it became evident that the rowhouses and taller apartment buildings permitted by the general Residence District regulations clashed with the built fabric of many of these neighborhoods. To remedy this, in 1989 the City created lower density contextual zoning districts, the regulations for which restrict the range of permitted building types, set maximum height limits and have additional streetscape regulations to preserve or establish a particular low density character. Since 1989, low density contextual districts have been widely mapped throughout the outer portions of the city, and some of the height controls and streetscape elements of these districts have even been incorporated into non-contextual district regulations.

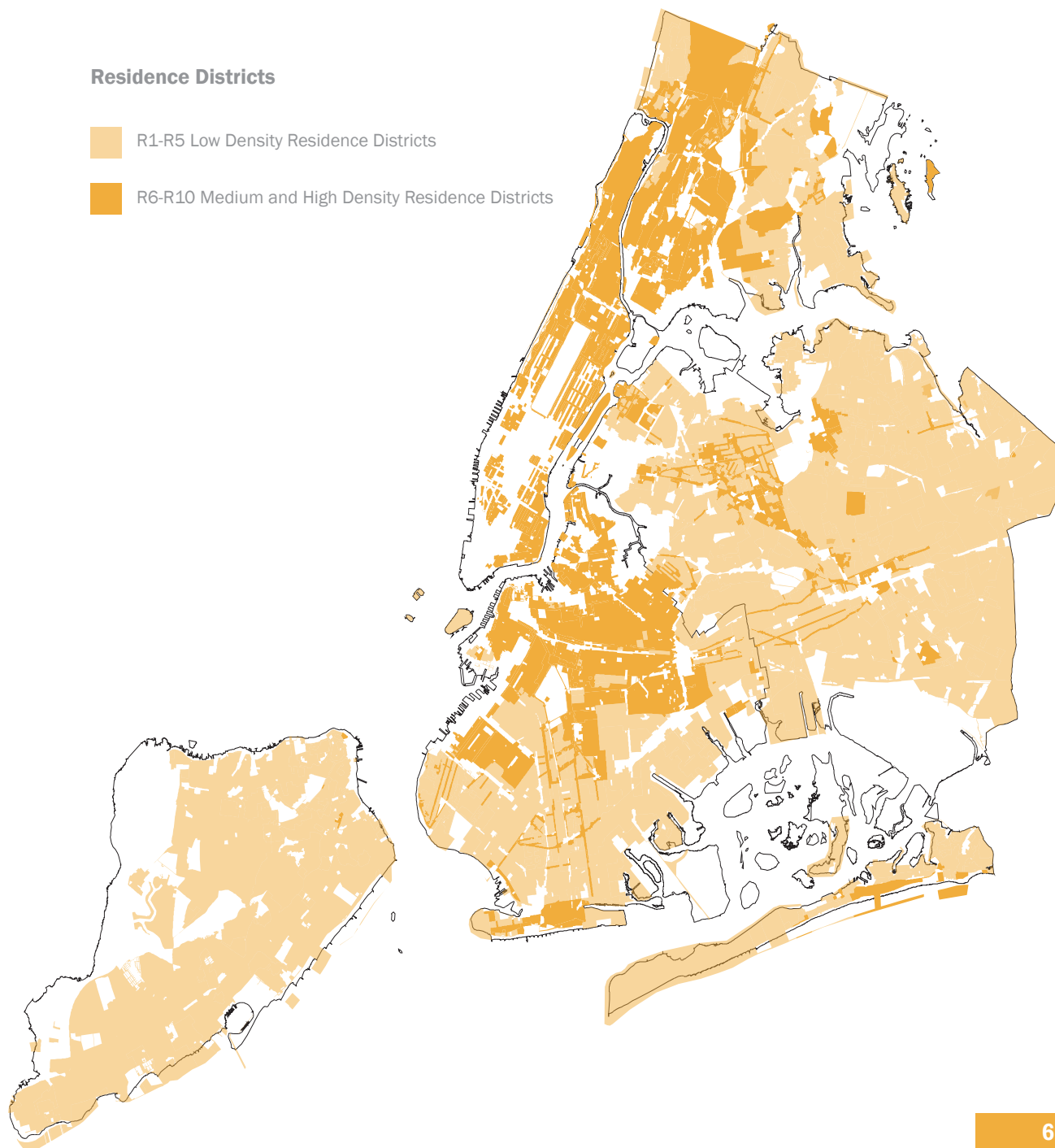
R6-R10 Districts

The original medium and higher density residence districts established under the 1961 Zoning Resolution rejected the side-by-side, six-story apartment buildings that were ubiquitous under the pre-1961 zoning and Multiple Dwelling Law, in favor of an idealized configuration of tall buildings set in large amounts of open space (the “tower-in-a-park” vision). This 1961 model was shaped to fit large urban renewal projects, in which older buildings were razed, streets were demapped and blocks were consolidated to produce “superblocks” that could accommodate large-scale redevelopment. However, the 1961 zoning came into effect during an era in which public opposition to urban renewal projects was already growing. In addition, these regulations were more commonly applied to smaller, “infill” sites where the surrounding buildings and blocks remained intact. This resulted in new buildings that were much taller and set much further away from the street than their pre-1961 neighbors. Required open areas were piecemeal and often became parking lots, or were underused. The zoning regulations, collectively, made it difficult to design infill buildings that matched the scale and shape of their neighbors. This led to a public backlash and a demand for more compatible zoning.

As a result, contextual zoning was introduced in the 1980s. It included maximum heights and prescribed street wall locations in districts that sought to mimic the character of existing pre-1961 buildings with higher lot coverages and a strong street presence — a sharp contrast with tower-in-the-park developments. In 1987, these provisions were adopted and made applicable in medium and high density districts citywide in the *Quality Housing Program*, which created a set of building requirements that became mandatory in newly mapped contextual districts and optional in non-contextual districts.

Residence Districts

-  R1-R5 Low Density Residence Districts
-  R6-R10 Medium and High Density Residence Districts



Permitted Uses

The type of land **uses** that are allowed on a zoning lot in each particular Residence District are set forth in Article II, Chapter 2 of the Zoning Resolution.

Residence Districts generally allow uses listed in Use Groups 1 through 4, which include a range of residential and community facility uses (ZR 22-10). In general, buildings may be solely residential, solely community facility or include some combination of the two use types. Use Group 1 is limited to single-family detached residences (ZR 22-11), whereas Use Group 2 allows residences of all kinds (ZR 22-12). **Community facility uses** are listed in Use Groups 3 and 4. As the name suggests, these uses provide essential community services. Use Group 3 includes community facilities that serve educational needs or provide other essential services to residents, such as schools, libraries, dormitories, **long-term care facilities** (which include nursing homes) and other facilities with sleeping accommodations (ZR 22-13). Use Group 4 includes community facilities that provide recreational, religious, health or other essential services to residents, such as hospitals, ambulatory health care facilities (which include doctors' offices), houses of worship, community centers and other facilities without sleeping accommodations. Use Group 4 also includes open uses that are compatible with a residential neighborhood, such as cemeteries, agricultural uses and golf courses (ZR 22-14).

R1-R5 Districts

In low density Residence Districts, use regulations recognize the prevailing characteristics of the neighborhood in which the district is mapped. District regulations often vary by the type of residences they permit, and the type of building these buildings these can be housed within.

Of the types of residential uses, R1 and R2 Districts allow only Use Group 1, detached single-family homes (ZR 22-00). Due to the low density, residential character of neighborhoods where these districts are mapped, they also only allow a limited range of community facility uses in Use Groups 3 and 4 (ZR 22-13, 22-14). For example, ambulatory health care facilities and long-term care facilities (nursing homes) are not allowed **as-of-right** in R1 and R2 Districts.

In R3, R4 and R5 Districts, both Use Group 1, detached single-family homes, and Use Group 2, residences of all kinds, are permitted. However, in most contextual districts, regulations limiting the housing type are included to promote a building form consistent with the existing or desired built character of the neighborhood (ZR 22-12). In R3A, R3X, R4A and R5A Districts, for example, single- and two-family detached homes predominate, and semi-detached buildings, attached buildings (rowhouses) and multi-family residences are not permitted. Similarly, in R3-1 and R4-1 Districts, single- or two-family detached or semi-detached homes are typically the prevailing form, and attached buildings and multi-family residences are not permitted. In R3-1, R3A, R3X, R4-1 and R4A Districts, two-family homes are required to be arranged so that 75 percent of the floor area in one unit is located directly above or below the other, to distinguish these buildings from a semi-detached or attached home (ZR 22-42). R4B Districts permit only single- and two-family residences, but allow them in all building types, including attached rowhouses.

In the remaining R3-R5 Districts without letter suffixes, as well as in R5B and R5D Districts, Use Groups 1 and 2 are allowed without limitations on the number of units in a building, or the building form (ZR 22-11, 22-12).

In all R3, R4 and R5 Districts, regardless of suffixes, community facilities listed in Use Group 3 and 4 are generally allowed without restriction, except that in contextual districts, ambulatory health care facilities are limited to 1,500 square feet as-of-right (ZR 22-13, 22-14).

R6-R10 Districts

Medium and high density Residence Districts, like their lower density counterparts, allow a range of residential and community facility uses, which are listed in Use Groups 1 through 4. Since higher densities often correlate with increasing proximity to mass transit, a mix of residential types has historically occurred in these districts. Multi-family or apartment buildings, attached or otherwise, are allowed, as are single- or two-family residences of any type. There are also generally no limitations on community facilities (ZR 22-00).

Permitted Use Groups

	Residential		Community Facility		Retail and Commercial										General Service	Manufacturing		
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Residence Districts																		
R1, R2 Single-family detached	●		●	●														
R3A, R3X, R4A, R5A Single- and two-family detached	●	●	●	●														
R3-1, R4-1 Single- and two-family detached and semi-detached	●	●	●	●														
R4B Single- and two-family detached, semi-detached and attached	●	●	●	●														
R3-2, R4, R5B, R6-R10 Detached, semi-detached and attached	●	●	●	●														

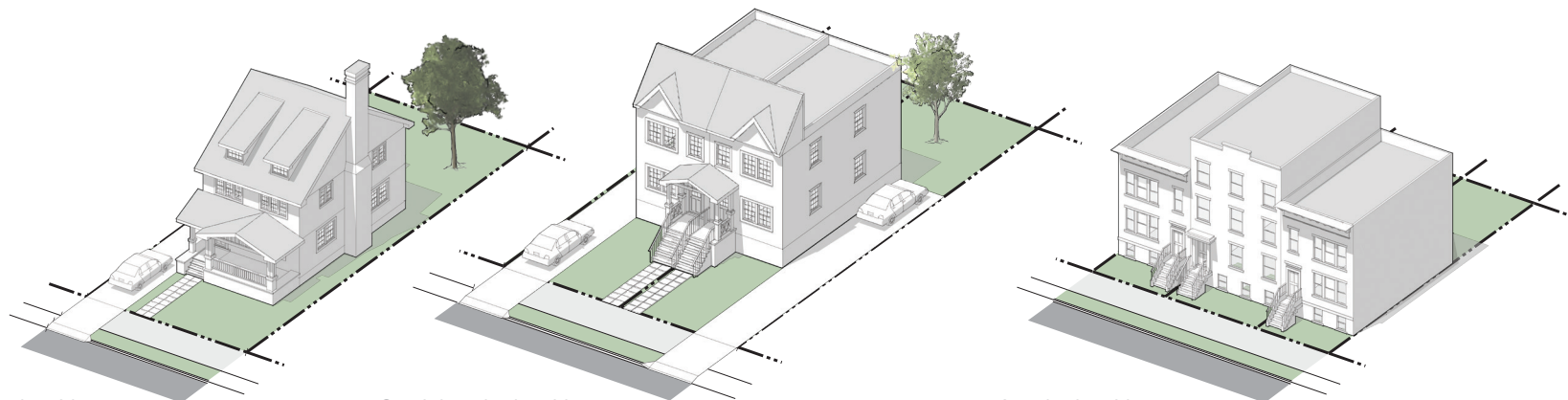
Use Group 1 — consists of single-family detached residences (ZR 22-11)

Use Group 2 — consists of all other types of residences (ZR 22-12)

Use Group 3 — consists of community facilities that may appropriately be located in residential areas to serve educational needs or to provide other essential services for the residents (ZR 22-13)

Use Group 4 — consists primarily of community facilities that may appropriately be located in residential areas to provide recreational, religious, health and other essential services for the residents (ZR 22-14)

Basic Low Density Housing Types



Detached residence

Semi-detached residence

Attached residence

Permitted Bulk

Residence Districts establish many different *bulk* regulations that govern the maximum size and placement of a building on a zoning lot. The applicable bulk regulations depend on whether the building is purely residential, purely community facility or a combination of the two. The bulk rules for purely residential buildings are set forth in Article II, Chapter 3 of the Zoning Resolution, while the bulk rules for purely community facility buildings are set forth in Article II, Chapter 4. If a building is a mixture of both uses, such as an apartment building with a doctor's office on the ground floor, the residential bulk rules of Article II, Chapter 3 are applied to the residential portion, and the community facility bulk rules of Article II, Chapter 4 are applied to the community facility portion.

Under the bulk regulations, an amount of permitted *floor area* for a zoning lot may be configured within a three-dimensional volume that limits the extent of the building — the *building envelope*. This envelope is based on the combination of a number of bulk rules, and can vary greatly based on the district, type of zoning lot and street type.

Some bulk rules limit the amount of the lot that can be covered by a building, or the inverse – a required minimum amount of *open space*. Other rules require *yards* that cannot be occupied by a building, or height limits that cannot be exceeded. Still other rules may determine how close to or far from the street the front building wall may be, and the minimum or maximum building height before a setback must be provided. Rules establishing minimum lot sizes, *court* sizes and distances between buildings (or separated parts of the same building) also affect the building envelope.

Once a potential building form has been established, other bulk regulations, such as density regulations, further determine the shape, size and configuration of the building.

R1-R5 Districts

The bulk regulations of low density districts are intended to reflect the numerous factors that contribute to the character of many low density neighborhoods, such as a neighborhood's prevailing lot width, yard depth, and size and height of homes. These detailed rules are generally intended to result in new homes that are constructed to be compatible with their neighbors.

Lot Sizes and Open Areas

Low density Residence Districts have a large range of minimum lot widths and minimum lot areas. Generally, the largest minimum lot sizes are required in the lowest density districts, to preserve their character and place appropriate limits on growth, with minimum lot sizes becoming smaller as residential intensity increases. Minimum lot widths and areas range from as high as 100 feet and 9,500 square feet, respectively, in R1-1 Districts, to as low as 18 feet and 1,700 square feet, respectively, for semi-detached or attached housing, where permitted in R3-R5 Districts (ZR 23-32). If a zoning lot does not meet the minimum widths or lot areas, and existed with those dimensions prior to the creation of the 1961 Zoning Resolution (or, in some districts, prior to the most recent zoning change), a building is still allowed to be constructed on the zoning lot, but it is limited to a single- or two-family residence (ZR 23-33).

The yard requirements in low density districts generally decrease as the district number increases (ZR 23-45, 23-46). R1-1 Districts, for example, are characterized by large lots and generous amounts of open space, and therefore require front yards at least 20 feet deep and two side yards that must total at least 35 feet in width. R5D

Districts, on the other hand, allow for a wider range of building types requiring only a five-foot-deep front yard, with no side yards where attached buildings are constructed.

R1 Districts require front yards at least 20 feet deep, R2 and R3 Districts require at least 10 to 15-foot-deep front yards, and R4 and R5 require at least five to 10-foot-deep foot yards. These baseline rules are modified in a few ways. For example, low density contextual districts generally require the depth of a front yard to match the depth of neighboring front yards (discussed further in the streetscape section), while in R4 or R5 Districts, if the depth of a front yard exceeds 10 feet, the depth must be at least 18 feet to adequately fit a parking space (ZR 23-45).

The side yard regulations for low density districts generally require that at least one side yard be eight feet wide, in order to provide sufficient separation between homes and to accommodate a driveway along the side lot line (which often leads to a garage in a rear yard). In some contextual districts, this width of eight feet may be shared by adjacent lots, so that if one lot provides a side yard of six feet, for example, the adjoining lot needs to provide an adjacent side yard of only two feet (ZR 23-461). Where district regulations allow for buildings that abut one another (R3-1, R3-2, R4 and R5), the side yard regulations are modified to allow the construction of semi-detached homes and rowhouses (ZR 23-49).

All low density districts require that rear yards be at least 30 feet deep, except for R2X Districts, where a 20 foot rear yard is permitted (ZR 23-47, 23-544)

In addition to yard requirements, some districts also have minimum *open space* and maximum *lot coverage* requirements (ZR 23-142). Like yard requirements, the amount of required open space tends to decrease as one moves up in district intensity. For example, R1-2A

Districts require that 70 percent of the lot be maintained as open space (permitting a maximum lot coverage of 30 percent), while R5D Districts require only 40 percent open space on the lot, thereby permitting a maximum lot coverage of 60 percent. Some contextual districts (R2X, R3A, R3X, R4-1, R4A and R5A) rely solely on yards and do not have open space or lot coverage requirements.

FAR and Height and Setback

The permitted FAR in low density Residence Districts ranges from 0.5 in R1 Districts to 2.0 in R5D Districts (ZR 23-142). These ratios keep the density of the districts relatively low, and together with the regulations defining the building envelope, keep buildings consistent with their low-scale character. In certain districts (R2X, R3, R4, R4-1 and R4A), an *attic allowance* permits additional floor area to encourage pitched roofs that typify many neighborhoods.

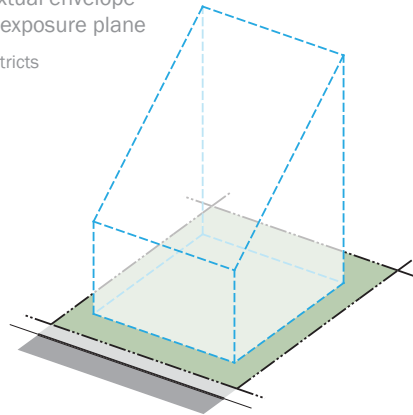
One of the chief distinctions between lower density districts is the way height is regulated. These height controls can generally be categorized into three types: sky exposure planes in the lowest density areas; pitched roof envelopes for low-rise neighborhoods that are characterized by their sloping rooflines; and flat-roofed envelopes for areas with rowhouses and garden apartment buildings.

The height in R1-1, R1-2 and R2 Districts is governed by a *sky exposure plane*, which begins at a height of 25 feet above the front yard line, and has a slope of 1:1 (ZR 23-631). While there is no overall height limit, yard regulations and limited FAR typically result in homes of about two or three stories.

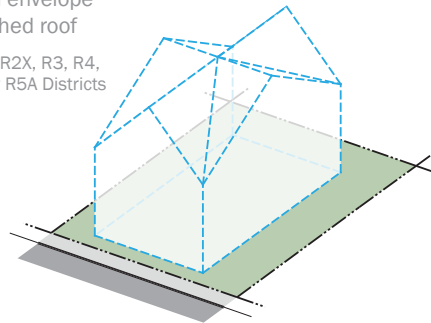
Pitched roof envelopes were developed in tandem with the establishment of low density contextual districts in 1989 as a method of promoting this desired form for new buildings in neighborhoods characterized by sloped roofs.

Low Density Envelope Types

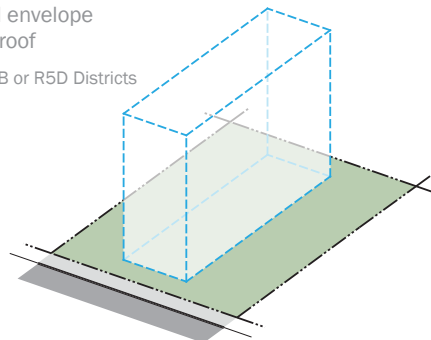
Non-contextual envelope
with a sky exposure plane
R1 or R2 Districts



Contextual envelope
with a pitched roof
R1-2A, R2A, R2X, R3, R4,
R4-1, R4A or R5A Districts



Contextual envelope
with a flat roof
R4B, R5, R5B or R5D Districts



R1-2 District



R3A District



R4B District

These envelopes apply in most contextual districts (R1-2A, R2A, R2X, R3-1, R3A, R3X, R4-1, R4A, R5A), as well as to non-contextual R3-2 and R4 Districts. The envelope establishes a maximum *perimeter wall* height, ranging from 21 to 25 feet, depending on the district, above which pitched roofs or setbacks are required. The maximum height limit in these districts, including all portions of the roof, is 35 feet (ZR 23-631). Where the additional floor area through the *attic allowance* is utilized, pitched roofs are required, and a minimum roof slope of three and one half inches of vertical rise for every horizontal foot is required (ZR 23-142).

Finally, a flat-roofed envelope exists for low density rowhouse neighborhoods in R4B and R5B Districts, and to permit low-rise apartment buildings in R5 and R5D Districts. In R4B and R5D Districts, the height limits create an envelope that is a simple box where the maximum building height cannot exceed a fixed height of 24 feet in R4B Districts and 40-45 feet in R5D Districts, the variation in the latter depending on whether or not the building incorporates a *qualifying ground floor* (ZR 23-631). In R5 and R5B Districts, height is governed by a combination of maximum street wall heights (of 30 feet) and sloping planes above that point. The overall building height beyond the sloping plane cannot exceed 40 feet in R5 Districts and 33 feet in R5B Districts (ZR 23-631).

In all districts, a range of *permitted obstructions* is allowed to penetrate the limits established by the building envelope. In lower density districts, these often include stairs and porches located within the front yard, chimneys extending above the maximum height limits, air conditioners protruding into yards, and dormers or parapets located above the maximum perimeter wall height (ZR 23-12, 23-44, 23-62).

Density

Zoning limits the number of dwelling units permitted on a zoning lot. This is calculated by dividing the permitted residential floor area by a dwelling unit factor listed for each district (ZR 23-22). The factors for each district are approximations of average dwelling unit sizes, plus allowances for common areas within buildings, such as lobbies, corridors and amenity spaces. While some anomalies occur, dwelling unit factors generally become smaller as district intensity increases. Specifically, dwelling unit factors range from 4,750 in R1-1 Districts to as low as 625 for single- and two-family detached and semi-detached residences in R3-1 and R3-2 Districts. In addition to density controls, some districts have minimum dwelling unit sizes – R3, R4 and R5 Districts, for example, require that each dwelling unit be at least 300 square feet (ZR 23-23).

R6-R10 Districts

In medium and high density districts, the widely varying building patterns that contribute to the character of a neighborhood, such as the prevailing height of buildings, the amount of open space surrounding a building, and the placement of buildings in relation to the street, are all reflected in the district bulk regulations.

Lot Sizes, Yards and Density

Unlike low density districts, all R6-R10 Districts have the same minimum lot width and minimum lot areas, which depend on building type (ZR 23-30). Where a single- or two-family detached building is constructed, the minimum lot width is 40 feet and the minimum lot area is 3,800 square feet. For all other buildings the minimum lot width is 18 feet, and the minimum lot area is 1,700 square feet.

Medium and high density districts typically require only a rear yard, which has a minimum depth of 30 feet (ZR 23-47). Front or side yards are permitted, but not required.

However, side yards are required if a single- or two-family detached residence is constructed in an R6-R10 District (ZR 23-461). When any open area is provided along a side lot line, it is required to be a minimum of eight feet (ZR 23-462).

Medium and high density districts all have the same dwelling unit factor of 680 (ZR 23-22). This means that all of these districts permit levels of unit density proportional to the permitted floor area.

FAR, Open Space, and Height and Setback

In medium and high density districts, the type of regulations for open space, floor area ratio, and height and setback that apply to a residential building depend primarily upon whether the building is located in a contextual or non-contextual district. If the building is located within an R6 through R10 District with an A, B, D or X letter suffix, *contextual zoning* regulations apply and buildings must adhere to the entire set of provisions for buildings in the *Quality Housing Program*. If the building is located in a non-contextual district, it may follow either the basic regulations, or the optional regulations for Quality Housing buildings.

Basic, Non-contextual District Rules

In R6-R9 Districts without a letter suffix (i.e., non-contextual districts), the basic bulk regulations that were established in 1961, known as *height factor* regulations, are available to residential buildings. Under these regulations, the size of a building is determined by a complex relationship between the height factor, *floor area ratio* (FAR) and *open space ratio*. The permitted FAR for each district is based on a sliding scale where the maximum is achieved by striking a particular balance between the height of the building and the amount of open space on the zoning lot (ZR 23-151). In each district, the highest FAR is achievable (with a reasonable amount of space on each floor of the building) only on a relatively large

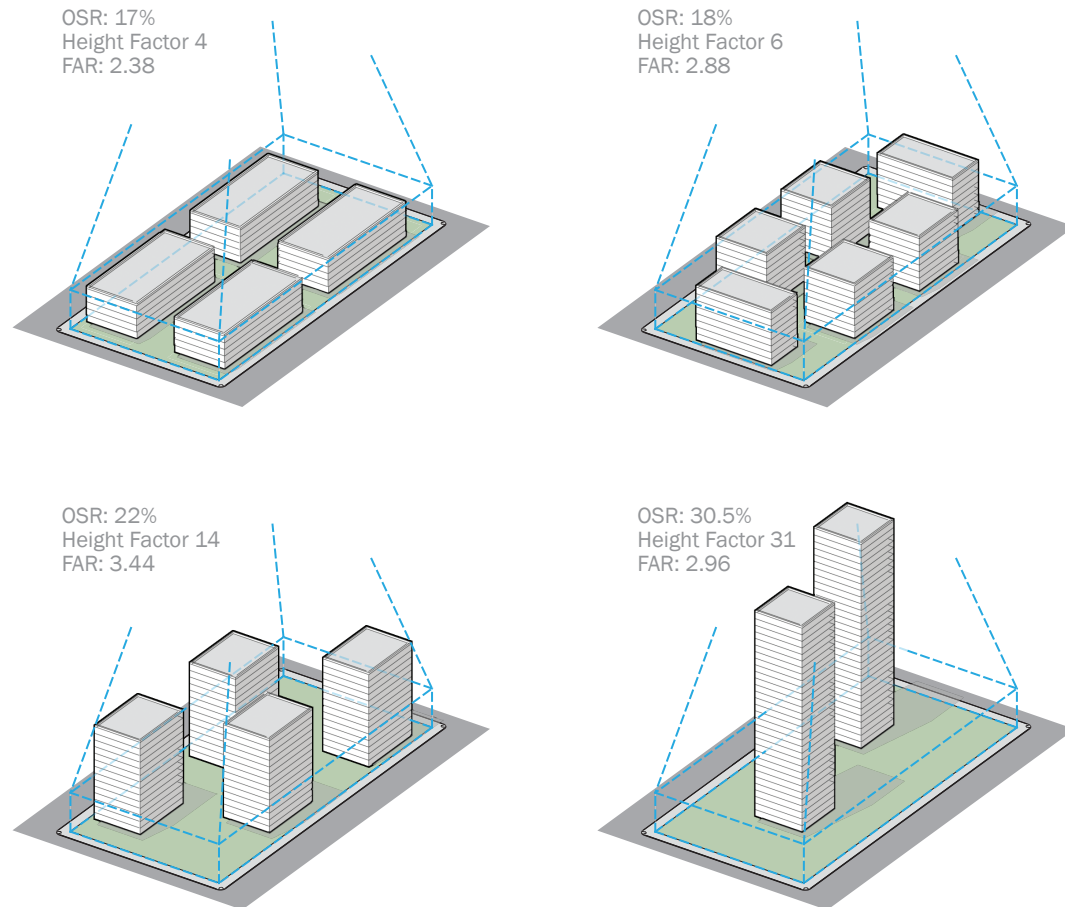
zoning lot that would contain large amounts of open space — reflecting the “tower-in-a-park” vision. Providing less open space in favor of a shorter, higher lot coverage building reduces the amount of permitted floor area, as does constructing a much taller tower.

In R10 Districts, the basic regulations established in 1961 also continue to apply. These regulations do not include height factors or open space ratios. Instead, each zoning lot, regardless of its size, has a basic FAR of 10.0, and no requirements for open space (ZR 23-152).

In R6 through R10 non-contextual districts, the basic regulations established in 1961 control residential building height by the use of the *sky exposure plane*, an imaginary, diagonally sloping plane that the building must be located beyond to ensure sufficient light and air reach the street and buildings. There are two available options for a sky exposure plane for residential buildings – the basic front setback provisions (ZR 23-641) and the alternate front setback provisions (ZR 23-642). The slopes of the sky exposure plane differ depending upon whether the plane is being measured from a *wide street* line or a *narrow street* line. The primary distinction between these two options is that under the alternate setback provisions, taller buildings are allowed (under a steeper plane) in exchange for a continuous open area in front of the building. Certain building elements, such as parapet walls and elevator and stair bulkheads, are allowed to penetrate a sky exposure plane as permitted obstructions (ZR 23-62), subject to size limitations.

In R9 and R10 non-contextual districts, the 1961 *tower* regulations apply, which allow a building to penetrate a sky exposure plane if it does not exceed a maximum lot coverage of 40 percent (or 50 percent for smaller zoning lots) and complies with special setback regulations (ZR 23-65). In 1994, tower-on-a-base regulations were introduced in response to the construction of sheer-rising

Applying Height Factor Regulations



Under height factor regulations, the size of a building is determined by a complex relationship between the range of height factors, floor area ratios (FAR) and open space ratios (OSR). The permitted FAR for each district is on a sliding scale where the maximum is achieved by counter-balancing the height of the building with the amount of open space on the zoning lot. Providing less open space in favor of a shorter, higher lot coverage building diminishes the amount of permitted floor area, as does constructing too tall of a tower.

residential towers along avenues on the Upper East Side, which, because they were set far back from the sidewalk, disrupted the continuity established by the older tenement buildings on the rest of the block. As the name suggests, all residential towers on wide streets in R9 and R10 Districts must be built above a building base which mimics the scale and street wall location of older nearby tenement buildings (ZR 23-651).

Quality Housing

Quality Housing regulations establish bulk regulations that promote high lot coverage residential buildings built close to the street, based on building types common prior to 1961. They are mandatory in R6 through R10 contextual districts, and may be used as an alternative to the basic regulations (that include height factor and, where applicable, tower regulations) in R6 through R10 non-contextual districts.

In contrast to the height factor rules available in non-contextual districts, open space and floor area rules are greatly simplified for Quality Housing buildings. Often, a single residential *floor area ratio (FAR)* applies in each zoning district, except that in non-contextual R6 through R8 Districts Quality Housing buildings are permitted a higher FAR on wide streets than on narrow ones (ZR 23-153). The FAR applicable on a wide street is typically somewhat higher than what is permitted under the height factor regulations, which serves as an incentive to utilize the Quality Housing program where it is optional.

Instead of a sliding scale of *open space ratios*, Quality Housing regulations include simple maximum lot coverage rules that vary by lot type and district intensity. Corner lots are permitted 100 percent lot coverage while most interior lots and through lots have a maximum coverage ranging between 60 and 70 percent (ZR 23-153). These coverages allow for much larger building footprints on a zoning lot than could be achieved under the ideal tower-

in-a-park housing types in the original 1961 regulations, but at lower overall building heights that more closely resemble the type of high lot coverage multi-family housing built prior to 1961.

All Quality Housing buildings are subject to the Quality Housing Program. This program requires basic amenities for the building's occupants, such as on-site recreation space and enclosed refuse space, and encourages additional building improvements, such as laundry facilities, daylight in public corridors, and small numbers of apartments per floor (to facilitate greater neighbor recognition) with floor area deductions (ZR 28-10, 28-20, 28-30).

All Quality Housing buildings, whether they are in contextual or non-contextual districts, are subject to street wall location rules and height limitations.

Street walls of Quality Housing buildings (the building walls that face a street) are typically subject to restrictions about how close to or far from the street line they may be located, to ensure that new buildings are compatible with the placement of other buildings in the area (ZR 23-661). These rules are described in further detail in the streetscape section.

Height limits for Quality Housing buildings are typically in two main tiers: a maximum *base height* to which a street wall may rise before a setback is required, and an overall maximum building height (ZR 23-662). The base heights for a particular district typically relate to the range of heights characteristic of older, pre-1961 buildings found in medium to high density neighborhoods. The maximum building height allows for additional housing on the uppermost stories set back from the base, where it is less obtrusive to the streets below. The depths of required setbacks for upper-story portions are related to the width of the street the building fronts upon — 15-foot

setbacks are required along narrow streets and 10-foot setbacks are required along wide streets (ZR 23-662). These upper-story setbacks above the base may be reduced if instead a ground floor level setback is provided between the building and the sidewalk, so long as the upper story setback is never less than seven feet (ZR 23-662). In certain districts, these base heights and overall building heights may be increased by five feet to accommodate a *qualifying ground floor*, (see streetscape section, below). Additionally, two contextual districts (R9D and R10X) allow towers on contextual bases and have no maximum building heights (ZR 23-663). In all districts, certain building elements, such as *dormers*, parapet walls, and elevator and stair bulkheads, are allowed to penetrate all maximum base heights and maximum building heights as permitted obstructions (ZR 23-62), subject to size limitations.

Affordable and Senior Housing

In non-contextual lower density districts that permit multi-family housing (R3-2 and R4 and R5 Districts without a suffix), additional bulk allowances have been established for certain types of senior housing — *affordable independent residences for seniors* and *long-term care facilities* — which require a different physical form and have lesser land use impacts than some other housing types. In these districts, bulk modifications increase the permitted floor area (ZR 23-144) and building height (ZR 23-631). Other rules omit unit density controls while applying a minimum unit size, to better accommodate these facilities (ZR 23-22, 23-23).

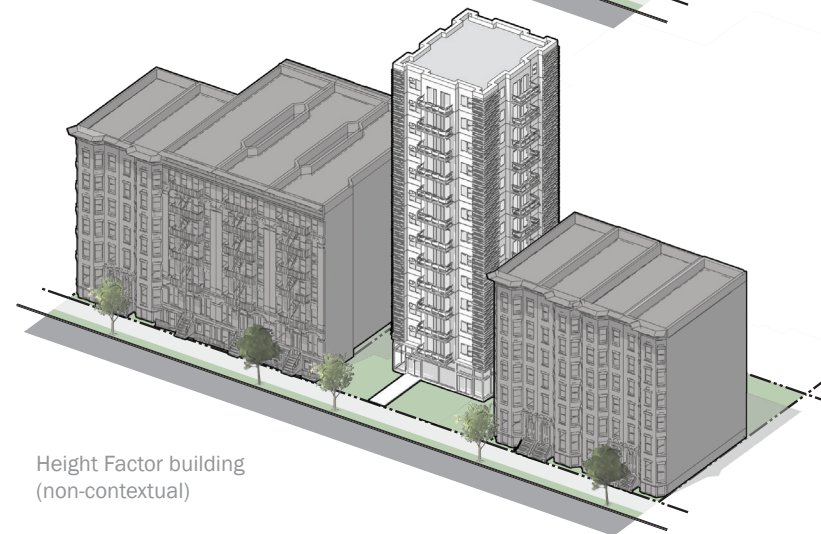
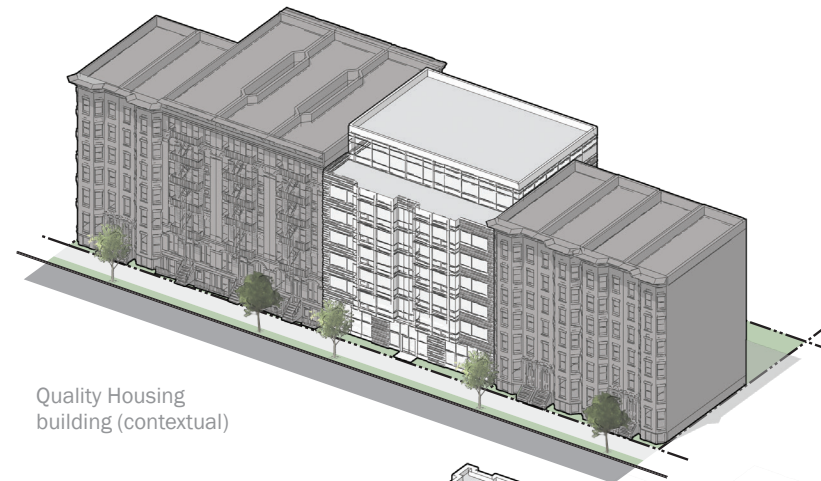
In medium and higher density districts, Quality Housing buildings containing *Inclusionary Housing* (constructed through any of the branches of the program), as well as affordable independent residences for seniors and long-term care facilities, are all permitted additional floor area (ZR 23-154, 23-155) and enough additional height (ZR 23-664) to accommodate it.

Community Facilities

The 1961 Zoning Resolution allowed community facilities to have substantially more **floor area** than residences in the same zoning district, so that essential neighborhood services such as schools, hospitals, and houses of worship could be provided in close proximity to the people they served, and at a scale that was economically viable. Because of this, community facility buildings in non-contextual districts generally have greater permitted floor area ratios and larger allowable lot coverages (ZR 24-10) as well as greater permitted height (ZR 24-50).

In contextual districts, by contrast, community facility and residential buildings have similar permitted FAR and the nearly identical height and setback controls, reflecting the value placed on maintaining a relatively similar built form.

Quality Housing Versus Height Factor Regulations



Quality Housing regulations are designed to ensure that new buildings fit within the prevailing character of a neighborhood, with strict height, setback, and lot coverage regulations and a fixed FAR. These rules were established in 1987 as a response to the older height factor regulations of the original 1961 Zoning Resolution, which allowed broad flexibility for how a building is arranged on a site and a variable FAR based on the amount of open space that is provided. Quality Housing regulations, which are required in contextual districts and optional in non-contextual districts, tend to encourage shorter buildings with larger footprints, while height factor regulations encourage taller buildings with smaller footprints.

Parking and Loading

Most areas of the city require off-street parking spaces based on the objective of ensuring that residents, their visitors or those employed by or using community facilities have adequate parking spaces. Except in certain geographies where special parking regulations apply, all parking spaces in Residence Districts must be **accessory** parking spaces that serve a particular use. Residential district parking rules are set forth in Article II, Chapter 5 of the Zoning Resolution. Stand-alone **public parking garages** and **public parking lots** are Use Group 8 **commercial uses** that are not permitted in Residence Districts.

Permitted and Required Parking Spaces

For the most part, all new buildings and enlargements in Residence Districts require a minimum number of accessory parking spaces (ZR 25-20). In addition, the zoning sets a maximum number of permitted parking spaces that may be provided beyond the amount required (ZR 25-10). Parking is calculated separately for residential and community facility uses.

In all Residence Districts, the number of permitted residential parking spaces in a single facility cannot exceed 300, and the number of permitted community facility parking spaces cannot exceed 225 (ZR 25-12, 25-13). Certain uses have allowances to increase the permitted parking (ZR 25-14), and certain zoning districts or use configurations place additional limitations on parking based on the area of the zoning lot (ZR 25-16, 25-18).

Parking requirements for residential uses are generally set based on a percentage of dwelling units. In most instances, this percentage becomes smaller as the density of the district and the proximity to a Central Business District (CBD) increases. Certain parts of the city have special parking regulations, largely based on their proximity to these CBDs. The *Manhattan Core*, and Long Island City area, for example, have no parking requirements; the

Transit Zone, mapped in areas adjacent to the core, has lower requirements for certain housing types, and **lower density growth management areas** which are relatively far from the core in parts of Staten Island and the Bronx, have higher parking requirements to account for higher car ownership (See Chapter 6).

Required off-street parking also may be reduced or even waived when the number of parking spaces required is small or the development or enlargement is located on a small zoning lot. Waiver allowances increase with the district intensity – a larger number of spaces may be waived for a building in an R8 District, for example, than for one in an R5 District.

R1-R5 Districts

Lower density parking regulations recognize that households living further from central business districts and mass transit lines typically have higher levels of automobile ownership. Parking regulations are designed to ensure the provision of a sufficient number of off-street parking spaces where new housing is constructed while retaining on-street parking spaces where possible. On zoning lots developed with single- or two-family homes, at least one off-street parking space must be provided for each dwelling unit (ZR 25-22).

When residential parking spaces are provided in **group parking facilities**, which is a parking area with more than one space that serves more than one residence, parking is required for a percentage of dwelling units, which generally decreases as the density increases. The basic parking requirements, range from 100 percent in R1-R4, and R5A Districts to as low as 66 percent in R5B and R5D Districts (ZR 25-23). Five units of housing in an R3X District would need to provide five parking spaces based on a 100 percent requirement, whereas

five units of housing in an R5D District would generate a requirement for three parking spaces based on a 66 percent requirement.

Most low density districts do not allow parking requirements to be waived. Some rowhouse and multi-family districts (R4B, R5B and R5D) allow waivers if the parking calculation results in only one required parking space (ZR 25-261), while a limited set of districts (R3A and R4-1) permit waivers for narrow interior lots (ZR 25-243) where accommodating both a driveway and building in the limited width may not be feasible.

R6-R10 Districts

Accessory off-street parking was first required for residential buildings in 1950 as the postwar boom in car ownership began to overwhelm available on-street parking and the limited amount of off-street parking. At the time, the City Planning Commission acknowledged that requiring parking was a tradeoff between mitigating community impacts and the increased costs of constructing housing that included parking garages. Required parking was increased in the 1961 Resolution, but the “tower-in-the-park” configuration encouraged by the zoning facilitated inexpensive outdoor parking lots. As zoning moved from tower-in-the park to contextual forms in which parking might need to be enclosed, and thus more costly, requirements were reduced for Quality Housing buildings, then further reduced (and more recently eliminated) for income-restricted housing types where car ownership was expected to be very low and the cost of providing parking would hamper housing affordability goals. Parking requirements in medium and high density districts often reflect an effort to strike a balance between allowing buildings the flexibility to respond cost-effectively to perceived parking demand and avoiding adverse effects on shared neighborhood parking resources.

In R6-R10 Districts, required parking is generally provided in a **group parking facility**, with requirements expressed as a percentage of the total dwelling units. These requirements decrease as the intensity and density of the district increases, and range from as high as 70 percent in R6 Districts for larger non-contextual developments, to as low as 40 percent in R8-R10 Districts (ZR 25-23). A building with 50 dwelling units in an R6A District would require 35 parking spaces, whereas a building that size in an R8X District would only require 20 spaces. In R6 and R7 Districts, to reflect the practical limitations of cost-effective construction within the Quality Housing building envelope, parking requirements for Quality Housing buildings are lower compared to those required for height factor buildings.

Requirements for off-street parking for new residential buildings in R6-R10 Districts can be reduced or waived for small zoning lots or for buildings that would generate a small number of spaces. In higher density districts (R7-2, R8 other than R8B, R9 and R10 Districts), parking requirements are reduced to between 20 and 30 percent for lots less than 15,000 square feet (ZR 25-241), and are waived for lots smaller than 10,000 square feet (ZR 25-242). In other districts, parking rates may be reduced to 30 or 50 percent for lots less than 10,000 square feet, depending upon the district (ZR 25-241). Parking can also be waived on lots of any size in these districts if the number of spaces required by the parking calculation does not exceed five spaces in some medium density districts (R6, R7-1 and R7B), and 15 spaces in all higher density districts (ZR 25-26).

Affordable and Senior Housing

Parking requirements are reduced for certain types of affordable or senior housing to reflect lower parking demand among their users. Inside the *Transit Zone*, no parking spaces are required for either *affordable independent residences for seniors* or for *income-restricted*

housing units, and outside the Transit Zone, a lower percentage is required for these housing types compared to the general requirement (ZR 25-25).

Community Facilities

Separate parking requirements apply to community facility uses. These are established as number of spaces required per square foot (or other unit) of the use, with different requirements specified for different uses (ZR 25-30). Some community facility uses, such as hospitals, dormitories or long-term care facilities, calculate their parking requirements on the number of beds, while houses of worship determine parking requirements based on the rated capacity of their largest assembly space. Community facility uses also have allowances to waive requirements for a small number of spaces.

Additional Parking and Loading Provisions

Aside from establishing limitations and requirements for permitted and required parking, the Residence District parking regulations also set certain rules for the use and configuration of parking.

Many districts allow accessory spaces to be rented to other residents on a monthly basis should the residents of the building itself not need all the required parking spaces (ZR 25-40). If it is too difficult to accommodate all the required spaces on the zoning lot, special provisions allow them either to be placed off-site within a certain radius of the zoning lot generating the requirement, or to be combined with parking spaces for other uses, on the same or different zoning lots, in shared parking facilities (ZR 25-50).

All accessory off-street parking spaces are subject to additional regulations that establish the minimum size and location of spaces, limitations on *curb cuts*, surfacing and screening requirements and allowances for *car sharing vehicles* to be parked in a facility primarily intended for private passenger vehicles (ZR 25-60). Community facility

buildings may be subject to perimeter landscaping rules for open parking lots or, for some uses, loading berth requirements (ZR 25-70).

Finally, all Residence Districts require bicycle parking for half of the dwelling units in buildings with more than 10 units. For community facility uses, the bike parking requirement is based on a proportion of the floor area to the use (ZR 25-80).

Streetscape

Residence Districts have mandatory streetscape provisions, and some optional provisions that aim to create an attractive public realm. These are not contained within a specific chapter of the Zoning Resolution, but include use regulations such as *sign* provisions or ground floor use requirements; bulk regulations, which include street tree or other forms of planting, and rules that specify the location of *street walls* (the portion of a building facade that faces the street); and screening and other requirements for parking that seek to limit the impact of vehicles on the streetscape.

R1–R5 Districts

To preserve the character of low density neighborhoods, from leafy estates to low-rise townhouses, several mandatory streetscape provisions have been established over the years.

Apart from the restrictive standard Residence District sign regulations, low density Residence Districts have few use-related streetscape provisions. However, in all R1-R5 Districts, street trees are required of all developments and significant enlargements. These must be planted in a grass or groundcover planting strip within the sidewalk area (ZR 23-04, 26-42). All low density districts also require a percentage of the front yard to be planted with grass, groundcover, shrubs or other plants. These percentages increase with the width of the lot, from a minimum planting requirement of 20 percent of the front yard for lots less than 20 feet wide to a minimum of 50 percent for lots with a frontage of 60 feet or more (ZR 23-451).

Low density contextual districts employ a variety of line-up provisions to ensure streetscape continuity. In many contextual districts (R2A, R3A, R3X, R4-1, R4A and R5A Districts), if the adjacent front yards are deeper than the minimum required front yard, a new building must provide a front yard at least as deep as its neighbors' yards. In contextual townhouse and apartment districts

(R4B, R5B and R5D Districts), if the adjacent front yards are deeper than the minimum required front yard, then the front yard of a new building must be at least as deep, but also not deeper than, these adjacent front yards (ZR 23-45). These types of rules ensure that a new development will not create protrusions or gaps in the line of building walls facing the sidewalk along the block. Under either rule, if the neighboring yards are so deep as to make line-up impractical or undesirable (deeper than 20 feet, for example), then the new building is not required to align with them. Certain districts (R3A, R4-1, R4A, R4B and R5B Districts) further promote consistency of building form by requiring a second story line-up where the majority of adjoining lots have a first story that projects further towards the sidewalk than the second story (ZR 23-631).

Low density districts also include regulations to prevent the area directly in front of the home from being cluttered by parked vehicles. In the majority of low density districts, parking must generally be located either in the side yard or rear yard, and driveways to access parking must be within the *side lot ribbon*, which is the portion of the zoning lot that extends along the entire length of the *side lot line*. Limited exceptions are made in certain districts for larger lots where driveways extend directly to a garage, and further restrictions are placed on semi-detached and attached housing types (ZR 25-621).

Additionally, in all districts, the location and width of curb cuts is restricted to ensure adequate access to the driveways and preserve sufficient distance between curb cuts to allow space for on-street parking and to leave enough space for required front yard plantings and sidewalk planting strips. Accordingly, the specific curb cut regulations depend upon the district, the housing type and the width of the street frontage of the zoning lot (ZR 23-631, 25-633). In most districts (R2X, R3, R4 and R5 – other than R4B and R5B), if the zoning lot has less

than 50 feet of street frontage, only one curb cut with a width of 10 feet is allowed. If the lot has a width of 50 feet or more, either one curb cut with a width of 18 feet, or two curb cuts, each with a maximum width of 10 feet, may be provided. To preserve the character of rowhouse districts (R4B and R5B), curb cuts for driveways are not permitted on zoning lots with less than 40 feet of street frontage (ZR 25-631).

R6-R10 Districts

Several use, bulk, and parking-related zoning regulations in medium and high density Residence Districts work together to improve the quality of the streetscape.

Quality Housing buildings are required to locate street walls in a manner that responds to – and harmonizes with – the surrounding neighborhood. These rules are intended to ensure consistency along the block front, but at the same time be flexible enough for designers to add the architectural embellishments that characterize many neighborhoods throughout the city (ZR 23-661), if desired. Medium density contextual districts (R6A, R6B, R7A, R7B, R7D, R7X, R8B and R9D) and non-contextual districts using the Quality Housing option require the street wall of a new building to be located no closer to the street line than the adjoining buildings (those portions within 25 feet of the new building), so that new buildings cannot protrude from the rest of the block front and block light or visibility to neighboring buildings. For narrow zoning lots (less than 50 feet wide), in districts with a “B” suffix, which are characterized by brownstone and rowhouse blocks, this rule is stricter, and requires that a new street wall cannot be located closer to, or further from, the sidewalk than the adjoining street walls. This promotes the “line-up” of the new building facade with the neighboring street walls. However, in all of these medium density districts, if the adjoining building is set so far back from the street line (beyond 10 or 15 feet, depending on the district) that lining up with it may actually detract

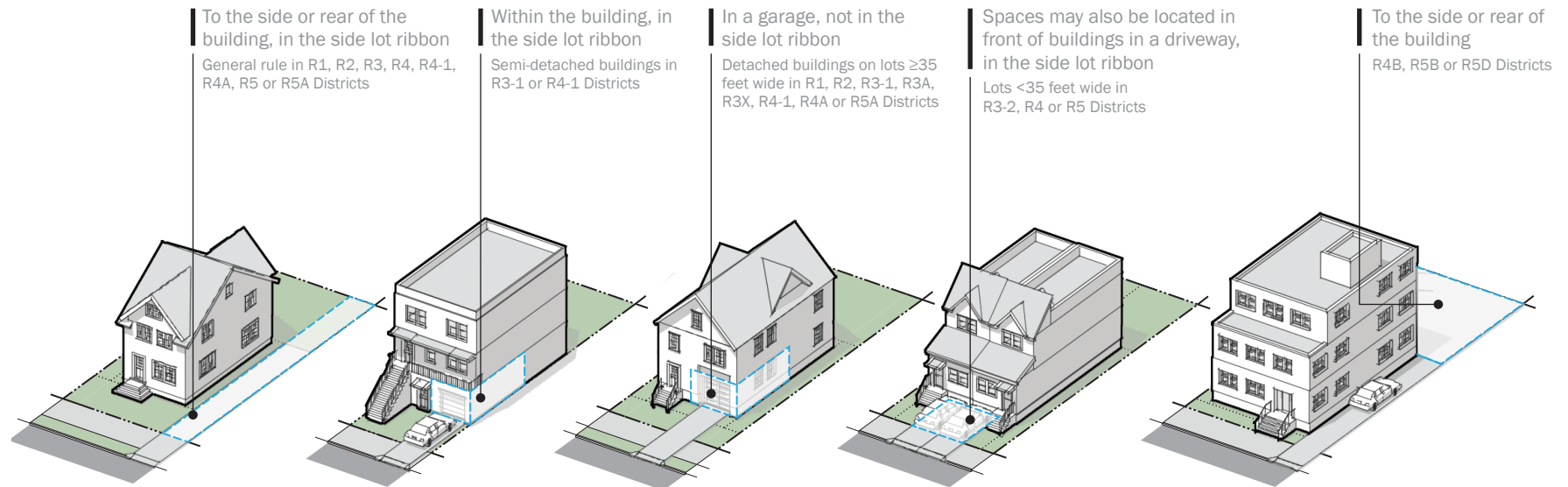
Low Density Streetscape Requirements

A series of Residence District streetscape allowances and requirements help ensure new buildings contribute to their neighborhoods.

1. Front yard regulations establish the relationship between the building facade and the sidewalk, relative to the adjoining properties.
2. Permitted obstruction allowances add visual interest to a facade by allowing architectural elements like porches and dormers.
3. Planting rules include street tree planting and planting in front of a building.
4. Parking location rules encourage parking in the side or rear of a building. Curb cut rules limit the number and size of paved driveways.



Low Density Parking Location Regulations



Other Provisions

from the streetscape, the rule does not apply (ZR 23-661). Street wall location rules for higher density R8-R10 Districts do not refer to neighboring buildings, but ensure a degree of consistency among neighboring buildings by requiring that 70 percent of the street wall be located within a certain distance of the sidewalk (ZR 23-661). Finally, in all R6-R10 Districts, the open space between the street wall of a Quality Housing building and the sidewalk must include planted areas (ZR 28-23).

Many Quality Housing buildings are eligible for an additional five feet in overall building and maximum base height if they contain a *qualifying ground floor* (ZR 23-662, 23-664). For Quality Housing buildings providing affordable independent residences for seniors, long-term care facilities or dwelling units as part of the Inclusionary Housing Program (and in a limited number of non-contextual districts), the building is able to utilize the additional five feet by providing a ground floor that rises to a height of 13 feet or more above curb level. This can be accomplished by providing ground floor spaces (such as community facility space) with high ceilings, or by elevating ground floor units a few feet above the adjacent public sidewalk (thereby giving occupants greater privacy while retaining “eyes on the street”), all of which improve the pedestrian experience (ZR 23-662, 23-664). For buildings in R6A, R6B, R7A, R7D, R7X, R8A, R8X, R9X and R10A contextual districts outside the Manhattan Core, or in R5D Districts, that are not providing Inclusionary Housing or senior housing, to be eligible for the additional five feet, the qualifying ground floor must comply with supplemental use provisions in addition to having a height of 13 feet. In Residence Districts, this entails providing a community facility space with a depth of at least 15 feet along a substantial portion of the zoning lot frontage, and ensuring that, in most instances, parking will be wrapped by floor area so that it is unable to be seen from the sidewalk (ZR 23-662).

One of the mandatory components of the Quality Housing Program is a requirement that all parking spaces associated with the building must be located in an underground garage or behind or to the side of a building, but never in front of the building (ZR 28-43). This ensures that the pedestrian experience is not disrupted by vehicles obstructing the sidewalk, and the sense of enclosure offered by building walls is not diminished by open parking lots.

Whether a zoning lot is located in a contextual or non-contextual district, the number of curb cuts allowed on any street frontage depends on the size of the group parking facility. If the parking facility has fewer than 50 spaces, only one curb cut with a width of 12 feet is allowed. If the facility has more than 50 spaces, the size increases to 22 feet or two curb cuts of 12 feet each spaced at least 60 feet apart. To preserve the character of rowhouse districts (R6B, R7B and R8B), curb cuts for driveways are not permitted on zoning lots with less than 40 feet of street frontage (ZR 25-631).

Medium and high density contextual districts (as well as R5D Districts) require compliance with the *Quality Housing Program* (ZR 28-00). Quality Housing mandates certain types of amenity spaces (such as recreation, laundry and refuse space), encourages quality interior common areas (by promoting increased daylight along corridors as well as limited density) and incorporates streetscape measures (parking location and planting rules). The Quality Housing Program is mandatory in contextual R6-R10 Districts, and required in non-contextual R6-R10 Districts when buildings utilize the optional contextual building envelopes.

Special zoning rules, whether mandatory or optional, apply within certain geographies of the city, and modify their underlying residential regulations. Many of these rules are either special rules for certain areas (see Chapter 6) or are contained within special purpose districts (Chapter 7).

Medium and High Density Streetscape Requirements

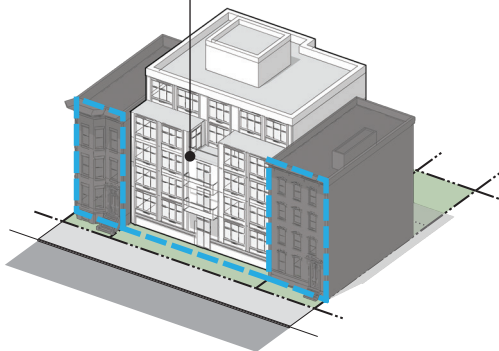
A series of Residence District streetscape allowances and requirements help ensure new buildings contribute to their neighborhoods.

1. Qualifying ground floor regulations allow additional building height in exchange for taller, or elevated ground floors.
2. Street wall regulations establish the relationship between the building facade and the sidewalk.
3. Articulation allowances add visual interest to a facade.
4. Planting rules include street tree planting and, potentially, other planting in front of a building.
5. Parking location rules restrict parking from being located in front of a building and can require spaces to be screened or buffered from the sidewalk (or “wrapped”) by other uses. Curb cut rules limit the number and size of paved driveways.

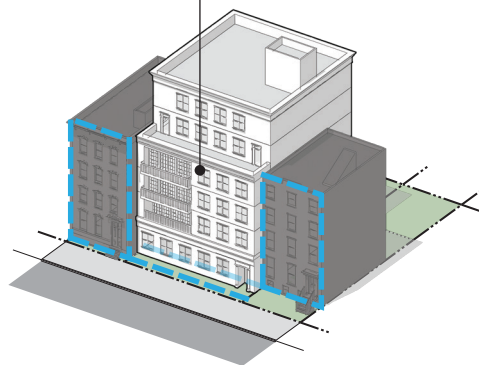


Medium and High Density Contextual Street Wall Regulations

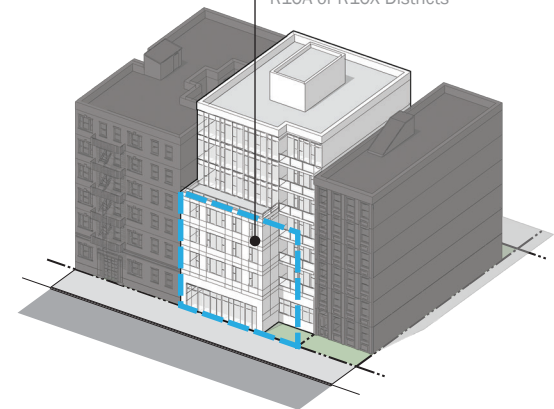
New buildings can be no closer to the street line than the adjoining buildings
R6A, R7A, R7D, R7X or R9D Districts, or lots
≥50 feet wide in R6B, R7B or R8B Districts



New buildings can be no closer to and no further from the street line than the adjoining buildings
Lots <50 feet wide in R6B, R7B or R8B Districts



70% of the street wall must be within 8' of the street line
Wide streets in R8A, R8X, R9A, R9X,
R10A or R10X Districts



R1 and R2

R1 and R2 *contextual districts* offer the predictable building forms of a contextual district in open, suburban-like settings. These districts permit only single-family detached homes, with a narrow range of *community facility uses*. R1-2A Districts were created in 2009, and are mapped in limited areas of Queens. R2A Districts were created in 2005 to be mapped in Bayside, Queens, and have since been mapped in many other neighborhoods in eastern Queens, including Little Neck and Whitestone. R2X Districts were created in 1989 as part of the citywide establishment of lower density contextual districts and are mapped in a few areas of Brooklyn near Ocean Parkway, and in Far Rockaway, Queens.



Whitestone, Queens



Ocean Parkway, Brooklyn



Low Density Contextual Residence Districts

R1 and R2		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards		Lot Coverage	FAR	Perimeter Wall/ Building Height	DU Factor	Required Parking	
		min.	min.	min.	min.	#	Each	Total	max.	max.	max.	min.	
R1-2A	Single-family Detached	5,700 sf	60 ft	20 ft	30 ft	2	8 ft	20 ft	30%	0.50	25/35 ft	2,850	1 per DU
R2A		3,800 sf	40 ft	15 ft			20 ft	5 ft			13 ft	21/35 ft	
R2X		2,850 sf	30 ft		2 ft			10 ft	n/a	0.85	2,900		



R1 and R2

R1 and R2 *non-contextual districts* are mapped in low density neighborhoods characterized by large homes on spacious lots. These districts permit only single-family detached homes, and a limited range of *community facility uses*. R1-1, R1-2 and R2 Districts are all original to the 1961 Zoning Resolution, and are mapped along the edge of the city: R1-1 Districts can be found in Riverdale, The Bronx; Great Neck, Queens; and Todt Hill, Staten Island. R1-2 Districts can be found in Fieldston, The Bronx; Jamaica Estates, Queens; Prospect Park South, Brooklyn; and Tottenville, Staten Island. R2 Districts can be found in Country Club, The Bronx; in many parts of eastern Queens; Midwood, Brooklyn; and West Brighton, Staten Island.



Jamaica Estates, Queens



Fieldston, The Bronx

Low Density Non-contextual Residence Districts

R1 and R2		Lot Area min.	Lot Width min.	Front Yard min.	Rear Yard min.	Side Yards # Each Total min.	Open Space Ratio max.	FAR max.	Sky Exposure Plane	DU Factor	Required Parking min.
R1-1	Single-family Detached	9,500 sf	100 ft	20 ft	30 ft	15 ft 35 ft	150.0	0.50	Starts at 25 ft	4,750	1 per DU
R1-2		5,700 sf	60 ft	20 ft		8 ft 20 ft				2,850	
R2		3,800 sf	40 ft	15 ft		5 ft 13 ft				1,900	

R3-1

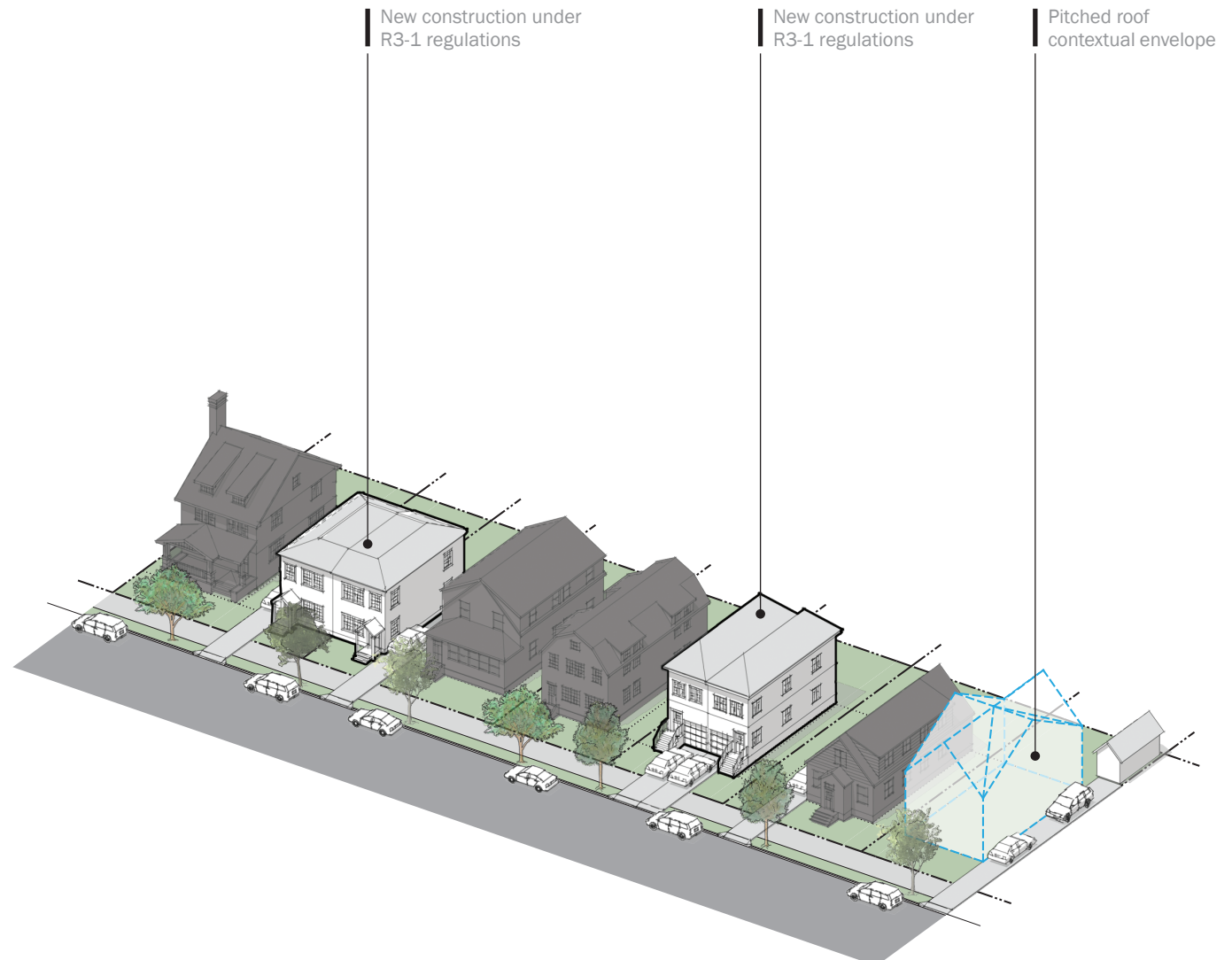
One of only two *contextual districts* (with R4-1) having a numerical suffix, R3-1 contextual districts are intended for neighborhoods that have a slightly wider range of housing types than might be found in other low density neighborhoods – including some semi-detached homes. Accordingly, these districts allow single- or two-family detached, and semi-detached residences. R3-1 Districts are original to the 1961 Resolution, but were substantially altered in 1989 to become contextual districts with predicable building forms. R3-1 Districts are mapped in Locust Point, The Bronx; Seagate and Manhattan Beach in southern Brooklyn; Howard Beach and Woodhaven, Queens; and the Staten Island neighborhoods of Great Kills, Willowbrook and Midland Beach.



Bergen Beach, Brooklyn



Castleton Corners, Staten Island

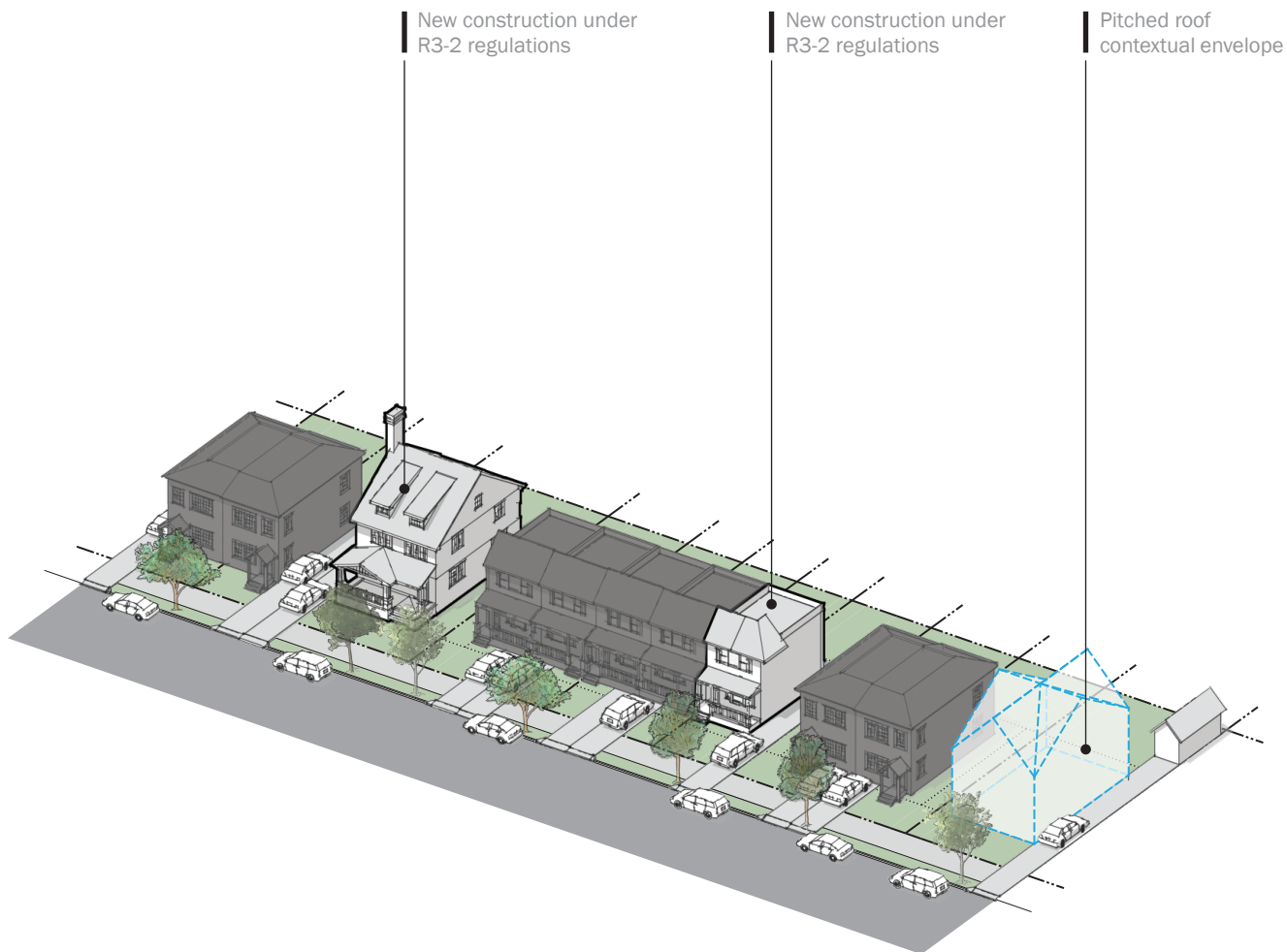


Low Density Contextual Residence District

R3-1		Lot Area min.	Lot Width min.	Front Yard min.	Rear Yard min.	Side Yards			Lot Coverage max.	FAR max.	Street Wall/ Building Height max.	DU Factor	Required Parking min.
Single- and Two-family	Detached	3,800 ft	40 ft	15 ft	30 ft	2	5 ft	13 ft	35%	0.50	21/35 ft	625	1 per DU
	Semi-detached	1,700 ft	18 ft			1	8 ft	8 ft					

R3-2

R3-2 *non-contextual districts* are widely mapped districts intended for neighborhoods with a variety of low density housing types. These districts allow single- or two-family homes along with small multi-family apartment buildings in a range of housing types — *detached, semi-detached* and *attached buildings*. *Zero lot line* buildings are not permitted. R3-2 Districts are original to the 1961 Resolution, although they were substantially altered in 1989 to have predictable building forms. The distribution of R3-2 Districts has shrunk over time as contextual districts have been mapped in their place, but they remain in Soundview, The Bronx; Marine Park, Brooklyn; large parts of eastern Queens; and Willowbrook, Staten Island.



Clason Point, The Bronx



Springville, Staten Island

Low Density Non-contextual Residence District

R3-2		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage	FAR	Perimeter Wall/ Building Height	DU Factor	Required Parking	
		min.	min.	min.	min.	#	Each	Total	max.	max.	max.		min.	IRHU
Single- and Two-family	Detached	3,800 sf	40 ft	15 ft	30 ft	2	5 ft	13 ft	35%	0.50	21/35 ft	625	1 per DU	50% of IRHU
	Semi-detached	1,700 sf	18 ft			1	8 ft	8 ft						
	Attached					n/a								
Multi-family	All					2	8 ft	16 ft						

R3A

R3A *contextual districts* are often mapped to preserve or establish a character of modest, pitched roof homes on smaller *zoning lots*. The district allows for single- and two-family residences in *detached* and *zero lot line buildings*. R3A Districts were created in 1989 along with many other low density contextual districts, and have since been mapped in neighborhoods such as City Island and Throgs Neck, The Bronx; Whitestone, Forest Hills and South Ozone Park, Queens; and in Tottenville, Eltingville and Elm Park, Staten Island.



Middletown, Staten Island



Mariner's Harbor, Staten Island



Low Density Contextual Residence District

R3A		Lot Area min.	Lot Width min.	Front Yard min.	Rear Yard min.	Side Yards # Each Total min.			Lot Coverage max.	FAR max.	Street Wall/ Building Height max.	DU Factor	Required Parking min.
Single- and Two-family	Detached	2,375 sf	25 ft	10 ft	30 ft	1	0 ft	8 ft	n/a	0.50	21/35 ft	710	1 per DU
	Zero Lot Line												

R3X

R3X *contextual districts* are often mapped to preserve or establish the character of older neighborhoods characterized by detached, pitched roofed homes on average sized lots. Accordingly, the district only permits single- and two-family detached homes on lot sizes slightly larger than required in R3A Districts. R3X Districts were created in 1990, and have since been mapped extensively in Staten Island and eastern Queens. R3X Districts can be found in Baychester, The Bronx; in Kensington, Brooklyn; Rosedale, Woodhaven and East Elmhurst, Queens; and Westerleigh, Bulls Head and much of the southern portion of Staten Island.



New Dorp, Staten Island



Flushing, Queens

Low Density Contextual Residence District

R3X		Lot Area min.	Lot Width min.	Front Yard min.	Rear Yard min.	Side Yards			Lot Coverage max.	FAR max.	Street Wall/ Building Height max.	DU Factor	Required Parking min.
Single- and Two-family	Detached	3,325 sf	35 ft	10 ft	30 ft	2	2 ft	10 ft	n/a	0.50	21/35 ft	1,000	1 per DU

R4

R4 non-contextual districts are widely mapped districts intended for neighborhoods with a mixture of low density housing types — at densities slightly higher than R3-2. These districts allow single- or two-family homes along with multi-family buildings in a variety of housing types (all but **zero lot line buildings**). R4 Districts are original to the 1961 Resolution, but were substantially altered in 1989 to have predictable building forms. The distribution of R4 Districts has diminished as **contextual districts** have been mapped in their place, but they can still be found in Throgs Neck, The Bronx; Sunnyside, Queens; Sheepshead Bay, Brooklyn; and in Grymes Hill, Staten Island.



Saint George, Staten Island



North Corona, Queens

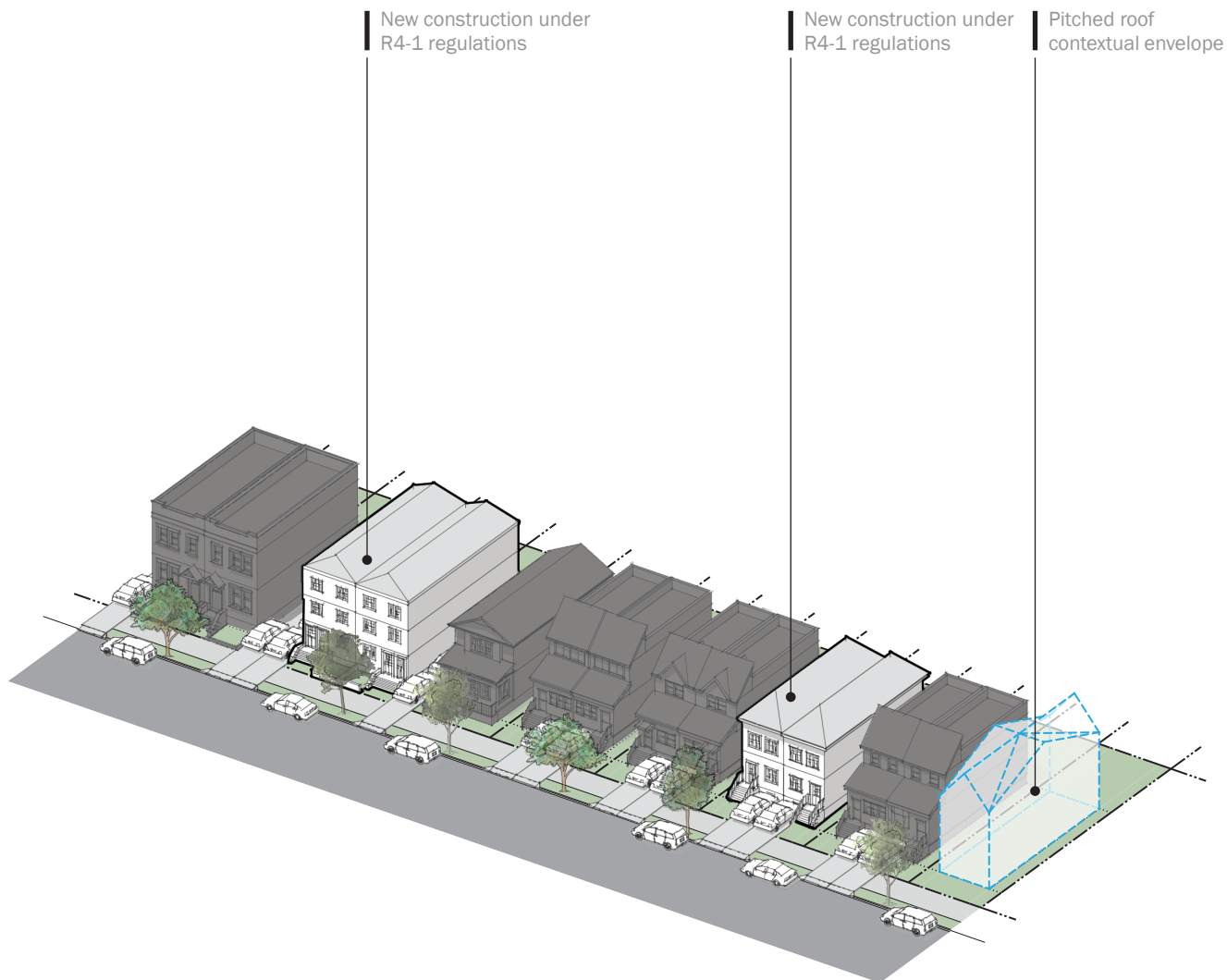


Low Density Non-contextual Residence District

R4		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage	FAR	Perimeter Wall/ Building Height	DU Factor	Required Parking	
		min.	min.	min.	min.	#	Each	Total		max.	max.	max.		Standard
Single- and Two-family	Detached	3,800 sf	40 ft	10 ft	30 ft	2	5 ft	13 ft	45%	0.75	25/35 ft	870	1 per DU	50% of IRHU
	Semi-detached	1,700 sf	18 ft			1	8 ft	8 ft						
	Attached					n/a								
Multi-family	All					2	8 ft	16 ft						

R4-1

One of only two *contextual districts* (with R3-1) having a numerical suffix, R4-1 contextual districts are similar to R3-1 Districts, in that they are meant for neighborhoods that have a slightly wider range of housing types than might be found in other contextual neighborhoods. R4-1 Districts allow slightly larger single- or two-family *detached* and *semi-detached* residences than might be found in R3-1 Districts. They were created in 1989 and have since been mapped in neighborhoods like Pelham Gardens and Baychester, The Bronx; Gravesend and Dyker Heights in southern Brooklyn; and Maspeth and Glendale, Queens.



Bay Ridge, Brooklyn



Flushing, Queens

Low Density Contextual Residence District

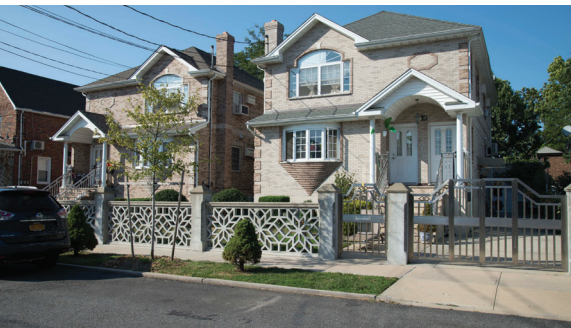
R4-1		Lot Area min.	Lot Width min.	Front Yard min.	Rear Yard min.	Side Yards		Lot Coverage max.	FAR max.	Perimeter Wall/ Building Height max.	DU Factor	Required Parking Standard min.	
Single- and Two-family	Detached	2,375 sf	25 ft	10 ft	30 ft	1	0 ft	n/a	0.75	25/35 ft	870	1 per DU	50% of IRHU
	Zero Lot Line												
	Semi-detached	1,700 sf	18 ft			1	4 ft						

R4A

R4A *contextual districts* are often mapped to preserve or establish the character of older neighborhoods with pitched roof homes on smaller *zoning lots*, permitting slightly bulkier *buildings* than in R3A Districts. The district allows for single- and two-family residences in detached homes. R4A Districts were created in 1989 along with many other low density contextual districts, and have since been mapped in neighborhoods such as Woodlawn and Schuylerville, The Bronx; Bay Ridge, Brooklyn; College Point, Queens; and Rosebank, Staten Island.



Dyker Heights, Brooklyn



Murray Hill, Queens

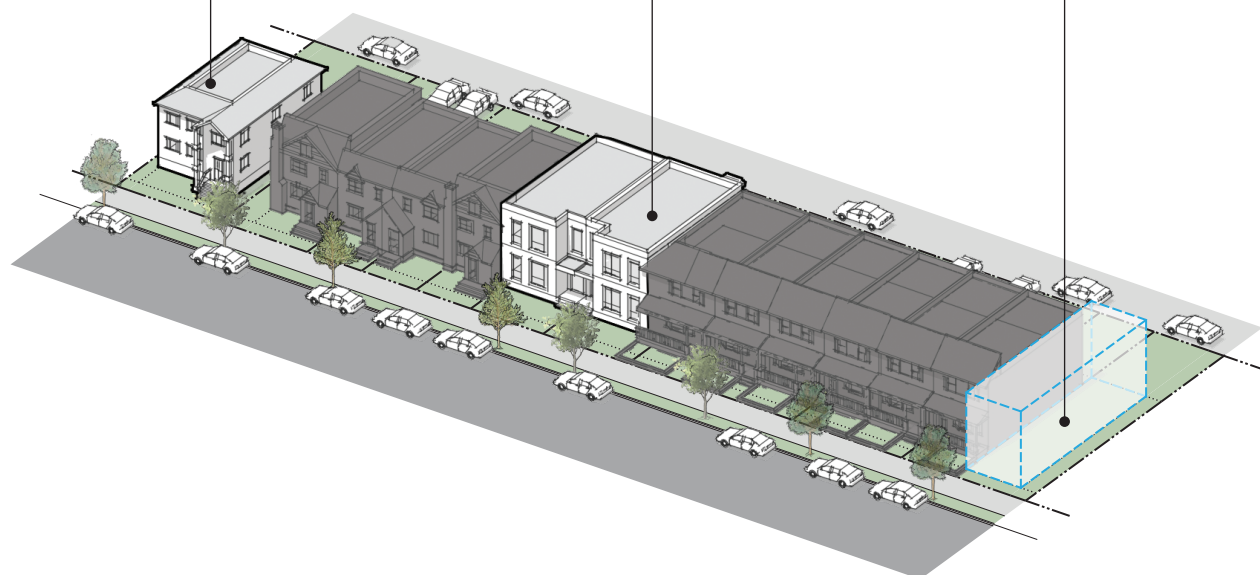


Low Density Contextual Residence District

R4A		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage	FAR	Street Wall/ Building Height	DU Factor	Required Parking	
		min.	min.	min.	min.	#	Each	Total	max.	max.	max.		Standard	IRHU
Single- and Two-family	Detached	2,850 sf	30 ft	10 ft	30 ft	2	2 ft	10 ft	n/a	0.75	21/35 ft	1,280	1 per DU	50% of IRHU

R4B

R4B *contextual districts* are often mapped in neighborhoods characterized by one- or two-story rowhouses. The district allows for single- and two-family homes, in all building types – detached, semi-detached, attached and zero lot line residences. R4B Districts were created in 1989 along with many other low density contextual districts, and have subsequently been mapped in neighborhoods like Bay Ridge in Brooklyn; and Middle Village and Forest Hills in Queens.



Brookville, Queens



Middle Village, Queens

Low Density Contextual Residence District

R4B		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage	FAR	Building Height	DU Factor	Required Parking			
		min.	min.	min.	min.	#	Each	Total	max.	max.	max.		Standard	IRHU		
						min.							min.			
Single- and Two-family	Detached	2,375 sf	25 ft	5 ft	30 ft	1	0 ft	8 ft	55%	0.90	24 ft	870	1 per DU	50% of IRHU		
	Zero Lot Line					1	4 ft	4 ft								
	Semi-detached	1,700 sf	18 ft			n/a										
	Attached															

R5

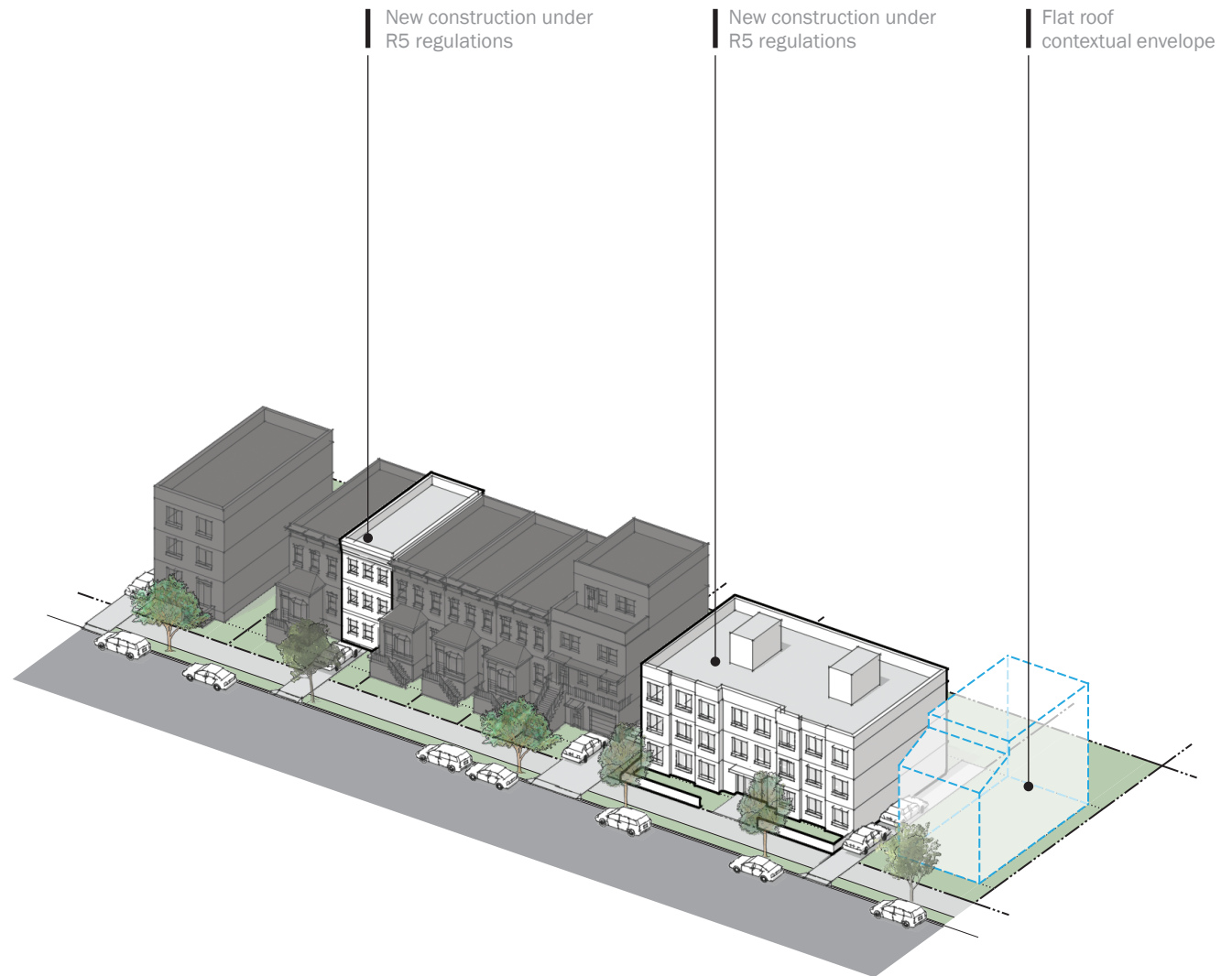
R5 non-contextual districts are widely mapped districts intended for neighborhoods with an assortment of housing types at densities higher than those found in R3-2 or R4 Districts, and are often transition districts between medium and lower density areas. These districts allow all types of residences in a variety of housing types (all but **zero lot line buildings**). R5 Districts are original to the 1961 Resolution, but were substantially altered in 1989 to have predictable building forms. The distribution of R5 Districts has shrunk over time, as contextual districts have been mapped in their place, but they remain in Van Nest, The Bronx; Bensonhurst, Brooklyn; Astoria, Queens; and Heartland Village, Staten Island.



Englewood, Staten Island



Bergen Beach, Brooklyn



Low Density Non-contextual Residence District

R5		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage	FAR	Street Wall/ Building Height	DU Factor	Required Parking	
		min.	min.	min.	min.	#	Each	Total	max.	max.	max.		Standard	IRHU
Single- and Two-family	Detached	3,800 sf	40 ft	10 ft	30 ft	2	5 ft	13 ft	55%	1.25	30/40 ft	760	85% of DU	42.5% of IRHU
	Semi-detached	1,700 sf	18 ft			1	8 ft	8 ft						
	Attached					n/a								
Multi-family	All					2	8 ft	16 ft						

R5A

R5A *contextual districts*, are often mapped in older neighborhoods characterized by pitched roof homes on smaller zoning lots, but these districts permit slightly bulkier buildings than in R3A and R4A Districts. The district allows for single- and two-family residences in *detached* homes. R5A Districts were created in 2005, and have been mapped in only a few areas, such as in Pelham Bay, Olinville and Wakefield, The Bronx; and North Corona, Queens.



Low Density Contextual Residence District

R5A		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage	FAR	Street Wall/ Building Height	DU Factor	Required Parking
		min.	min.	min.	min.	#	Each	Total	max.	max.	max.		min.
Single- and Two-family	Detached	2,850 sf	30 ft	10 ft	30 ft	2	2 ft	10 ft	n/a	1.10	25/35 ft	1,560	1 per DU



Williamsbridge, The Bronx



Olinville, The Bronx

R5B

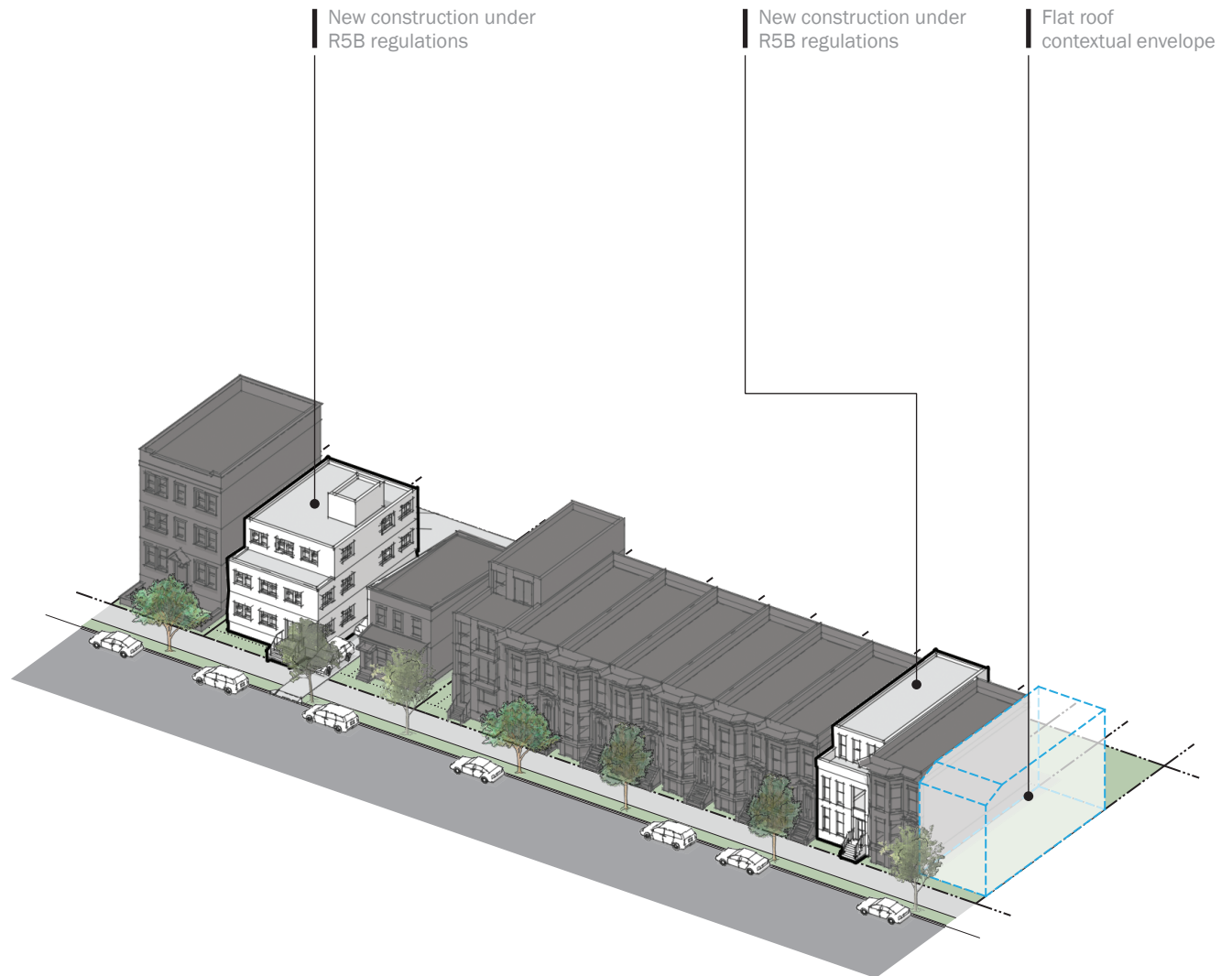
R5B *contextual districts* are often mapped in neighborhoods characterized by three-story rowhouses. The district is similar to R4B, but permits slightly more **bulk**, and allows for all types of residences in all building types – detached, semi-detached, attached and zero lot line residences. R5B Districts were created in 1989 along with many other low density contextual districts, and have subsequently been mapped in neighborhoods such as Woodlawn, The Bronx; Windsor Terrace and Dyker Heights, Brooklyn; and Ridgewood, Queens.



Bay Ridge, Brooklyn



Ridgewood, Queens

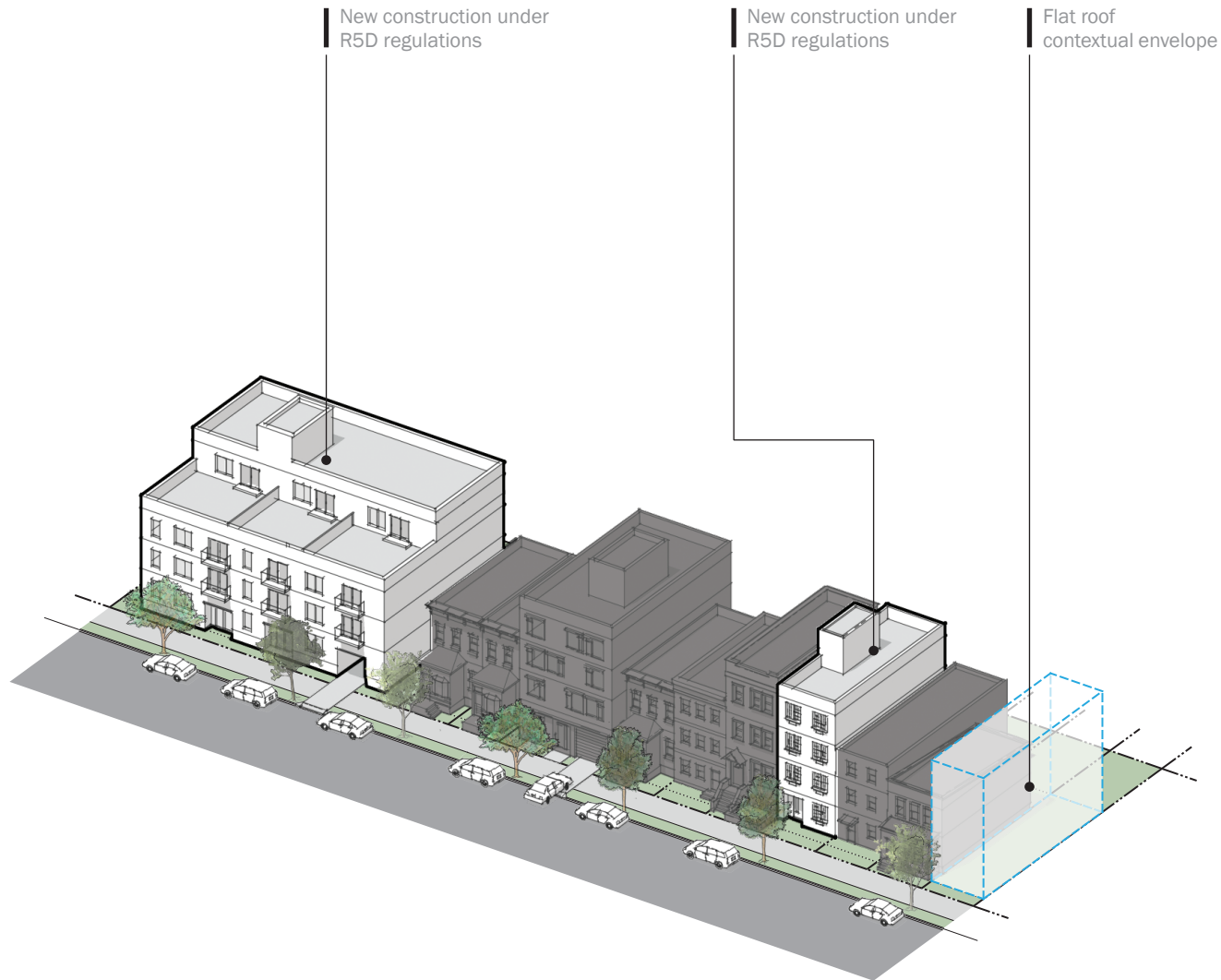


Low Density Contextual Residence District

R5B		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage	FAR	Street Wall/ Building Height	DU Factor	Required Parking	
		min.	min.	min.	min.	#	Each	Total	max.	max.	max.		Standard	IRHU
Single- and Two-family	Detached	2,375 sf	25 ft	5 ft	30 ft	1	0 ft	8 ft	55%	1.35	30/33 ft	900	66% of DU	42.5% of IRHU
	Zero Lot Line													
	Semi-detached					1	4 ft	4 ft						
	Attached	1,700 sf	18 ft			n/a								
Multi-family	All													

R5D

R5D *contextual districts* are often mapped in neighborhoods characterized by low-rise apartment buildings, of up to four stories. The district allows for all types of residences in all building types – detached, semi-detached, attached and zero-lot line residences. R5D Districts were created in 2006, and are unique amongst lower density districts in that they are subject to the *Quality Housing Program*. The district can be found in limited areas, such as in Morris Park, The Bronx; and Jamaica, Queens.



Far Rockaway, Queens



Woodside, Queens

Low Density Contextual Residence District

R5D		Lot Area	Lot Width	Front Yard	Rear Yard	Side Yards			Lot Coverage		FAR	Building Height	DU Factor	Required Parking	
		min.	min.	min.	min.	#	Each	Total	Corner	Other Lot	max.	max. (w/Qualifying Ground Floor)		Standard	IRHU
Single- and Two-family	Detached	2,375 sf	25 ft	5 ft	30 ft	1	0 ft	8 ft	80%	60%	2.00	40 (45) ft	760	66% of DU	35% of IRHU
	Zero Lot Line	1,700 sf	18 ft			1	4 ft	4 ft							
	Semi-detached					1	4 ft	4 ft							
	Attached					n/a									
Multi-family	All														

R1-R3 Districts

Use			R1-1	R1-2	R1-2A	R2	R2A	R2X	R3-1	R3-2	R3A	R3X	
Single-family	Detached	Use Group 1	●	●	●	●	●	●	●	●	●	●	
	Detached	Use Group 2							●	●	●	●	
Single- and Two-family	Zero Lot Line										●		
	Semi-detached								●	●			
	Attached									●			
Multi-family	All	Use Group 2								●			
Community Facility		Use Groups 3, 4	●	●	●	●	●	●	●	●	●	●	
Bulk													
Lot Area (min.)	Detached or Zero Lot Line		9,500 sf	5,700 sf		3,800 sf		2,850 sf	3,800 sf		2,375 sf	3,325 sf	
	Other		n/a						1,700 sf		n/a		
Lot Width (min.)	Detached or Zero Lot Line		100 ft	60 ft		40 ft		30 ft	40 ft		25 ft	35 ft	
	Other		n/a						18 ft		n/a		
Front Yard (min.)			20 ft		20 ft*	15 ft	15 ft*	15 ft			10 ft*		
Side Yards (min.) Interior or Through Lots	Detached or Zero Lot Line	Number	2	2		2		2	2		1	2	
		Each	15 ft	8 ft		5 ft		2 ft	5 ft		0 ft	2 ft	
		Total	35 ft	20 ft		13 ft		10 ft	13 ft		8 ft	10 ft	
	Semi-detached	Number	n/a						1		n/a		
		Each							8 ft				
		Total							8 ft				
	Multi-family	Number	n/a						2		n/a		
		Each							8 ft				
		Total							16 ft				
Rear Yard (min.)			30 ft				20 ft	30 ft					
Open Space Ratio			150.0		n/a	150.0	n/a						
Lot Coverage (max.)			n/a		30%	n/a	30%	n/a	35%		n/a		
Residential FAR	Basic		0.50				0.85	0.50					
	with Attic Allowance		n/a				1.02	0.60					
Community Facility FAR			0.5				1.00						
Sky Exposure Plane	starts at:		25 ft		n/a	25 ft	n/a						
Perimeter/Street Wall (max.)			n/a		25 ft	n/a	21 ft						
Building Height (max.)	Basic		n/a		35 ft	n/a	35 ft						
	with Qualifying Ground Floor		n/a										
Street Wall (max.)			n/a							125 ft	n/a		
Dwelling Unit Factor	Detached/Semi-detached		4,750	2,850		1,900		2,900	625		710	1,000	
	Other		n/a							870	n/a		
Parking													
General (min. % of DU) for Group Parking Facilities			100%										
Reduced	IRHU—outside Transit Zone		n/a							50%	n/a		
Requirements	AIRS—outside Transit Zone		n/a							10%	n/a		
(min. % of DU)	IRHU/AIRS—inside Transit Zone		n/a							0%	n/a		
Waived	small number of spaces required		n/a										
Requirements	for single-family interior lots less than 25 ft wide		n/a								waived	n/a	

Streetscape		
All Districts		
Street Tree (min.)	Shall be provided for every 25 ft of street frontage.	
Planting (min.)	Different % of front yard has to be planted, depending on street frontage width:	
	Less than 20 ft	20%
	20 - 34 ft	25%
	35 - 59 ft	30%
	60 ft or greater	50%

R1-2A, R2A, R3A, R3X		
*Line Up Provision	Front yard has to be at least as deep as adjacent front yard but need not exceed 20 ft in depth, except that in R1-2A Districts, need not exceed 25 ft in depth.	

R4-R5 Districts

Use			R4	R4 Infill	R4-1	R4A	R4B	R5	R5 Infill	R5A	R5B	R5D	
Single-family	Detached	Use Group 1	●	●	●	●	●	●	●	●	●	●	
	Detached	Use Group 2	●	●	●	●	●	●	●	●	●	●	
Single- and Two-family	Zero Lot Line				●		●				●	●	
	Semi-detached		●	●	●		●	●	●		●	●	
	Attached		●	●			●	●	●		●	●	
Multi-family	All	Use Group 2	●	●				●	●		●	●	
Community Facility		Use Groups 3, 4	●	●	●	●	●	●	●	●	●	●	
Bulk													
Lot Area (min.)	Detached or Zero Lot Line		3,800 sf		2,375 sf	2,850 sf	2,375 sf	3,800 sf		2,850	2,375 sf		
	Other		1,700 sf			n/a		1,700 sf		n/a	1,700 sf		
Lot Width (min.)	Detached or Zero Lot Line		40 ft		25 ft	30 ft	25 ft	40 ft		30 ft	25 ft		
	Other		18 ft			n/a		18 ft		n/a	18 ft		
Front Yard (min.)			10 or 18 ft	18 ft	10 ft*		5 ft*	10 or 18 ft	18 ft	10 ft*	5 ft*		
Side Yards (min.) Interior or Through Lots	Detached or Zero Lot Line	Number	2		1	2	1	2		2	1		
		Each	5 ft		0 ft	2 ft	0 ft	5 ft		2 ft	0 ft		
		Total	13 ft		8 ft	10 ft	8 ft	13 ft		10 ft	8 ft		
	Semi-detached	Number	1		1	n/a	1	1		n/a	1		
		Each	8 ft		4 ft		4 ft	8 ft			n/a	4 ft	
		Total	8 ft		4 ft		4 ft	8 ft				4 ft	
	Multi-family	Number	2		n/a			2		n/a	0		
		Each	8 ft					8 ft			0 ft		
		Total	16 ft					16 ft			0 ft		
	Rear Yard (min.)			30 ft									
Open Space Ratio			n/a										
Lot Coverage (max.)			45%	55%	n/a		55%		55%	n/a	55%	60%	
Residential FAR	Basic		0.75	1.35	0.75		0.90	1.25	1.65	1.10	1.35	2.00	
	with Attic Allowance		0.90	n/a	0.90		n/a						
Community Facility FAR			2.00										
Sky Exposure Plane starts at:			n/a										
Perimeter/Street Wall (max.)			25 ft			21 ft	n/a	30 ft		25 ft	30 ft	n/a	
Building Height (max.)	Basic		35 ft				24 ft	40 ft	33 ft	35 ft	33 ft	40 ft	
	with Qualifying Ground Floor						n/a						45 ft
Street Wall (max.)			185 ft		n/a			185 ft		n/a			
Dwelling Unit Factor	Detached/Semi-detached		870	900	870	1,280	870	760	900	1,560	900	760	
	Other												
Parking													
General (min. % of DU) for Group Parking Facilities			100%	66%	100%			85%	66%	100%	66%	66%	
Reduced Requirements (min. % of DU)	IRHU—outside Transit Zone		50%					42.5%		50%	42.5%	35%	
	AIRS—outside Transit Zone		10%		n/a			10%		n/a	10%		
	IRHU/AIRS—inside Transit Zone		0%		n/a			0%		n/a	0%		
Waived Requirements	small number of spaces required		n/a				1	n/a			1		
	for single-family interior lots less than 25 ft wide		n/a		waived		n/a						

Streetscape		
All Districts		
Street Tree (min.)	Shall be provided for every 25 ft of street frontage.	
Planting (min.)	Different % of front yard has to be planted, depending on street frontage width:	
	Less than 20 ft	20%
	20 - 34 ft	25%
	35 - 59 ft	30%
	60 ft or greater	50%

R4-1, R4A, R5A	
*Line Up Provision	Front yard has to be at least as deep as adjacent front yard but need not exceed 20 ft in depth.
R4B, R5B, R5D	
*Line Up Provision	Front yard has to be no deeper nor shallower as adjacent front yard but need not exceed 20 ft in depth.

R6A

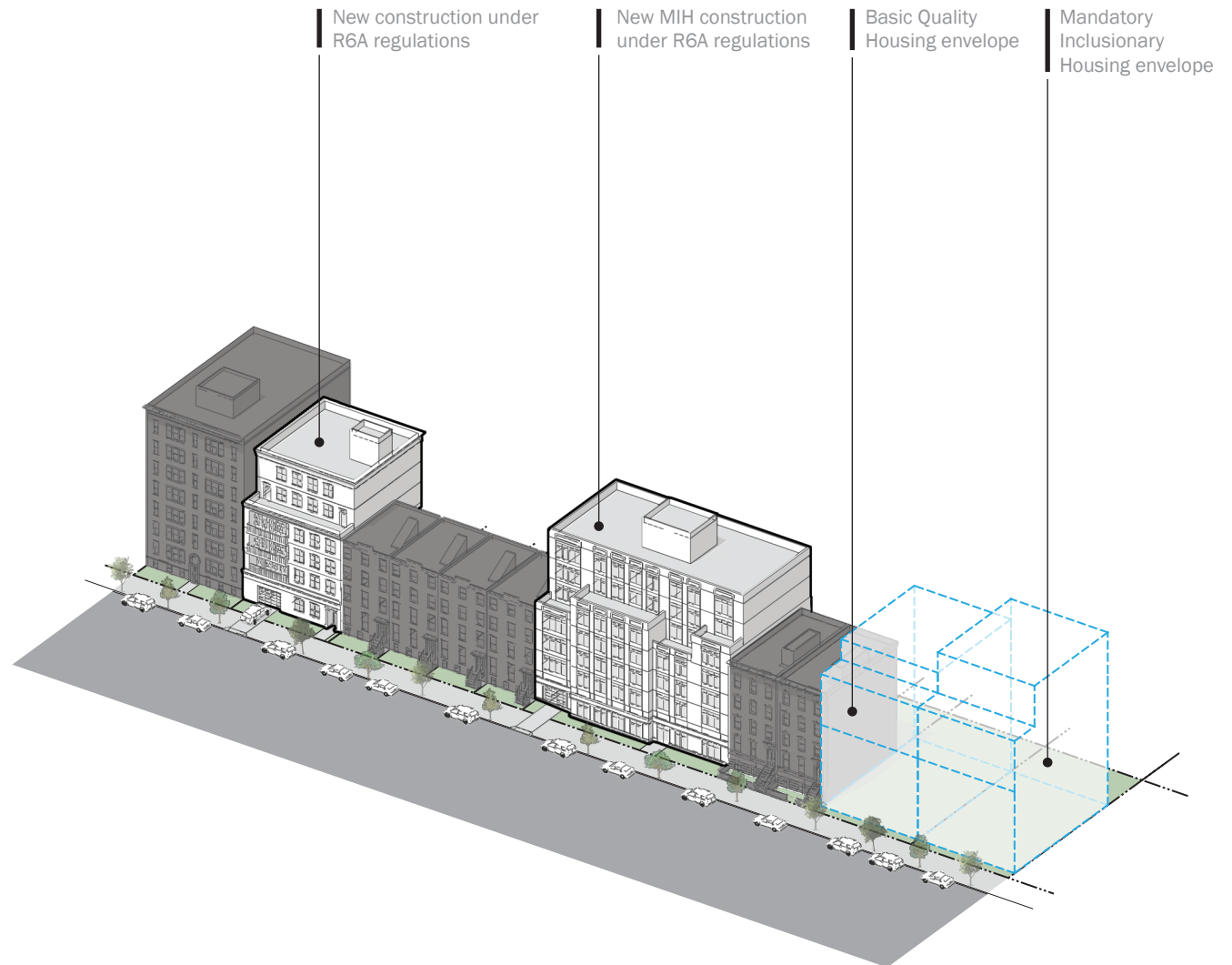
R6A *contextual districts*, created in 1987, are medium density districts designed to produce *Quality Housing buildings* that are seven or eight *stories* tall. Several *bulk* regulations, including high *lot coverage* allowances, *street wall* location rules and maximum *base height* rules ensure the construction of *buildings* that either maintain or establish a scale similar to older buildings in medium density neighborhoods. These districts are often, but not exclusively, mapped along *wide streets*. R6A Districts can be found in Spuyten Duyvil, Williamsbridge and Belmont, The Bronx; Williamsburg, Bedford-Stuyvesant, and Crown Heights, Brooklyn; around Sugar Hill, Manhattan; and in Jamaica, Queens.



Jamaica, Queens

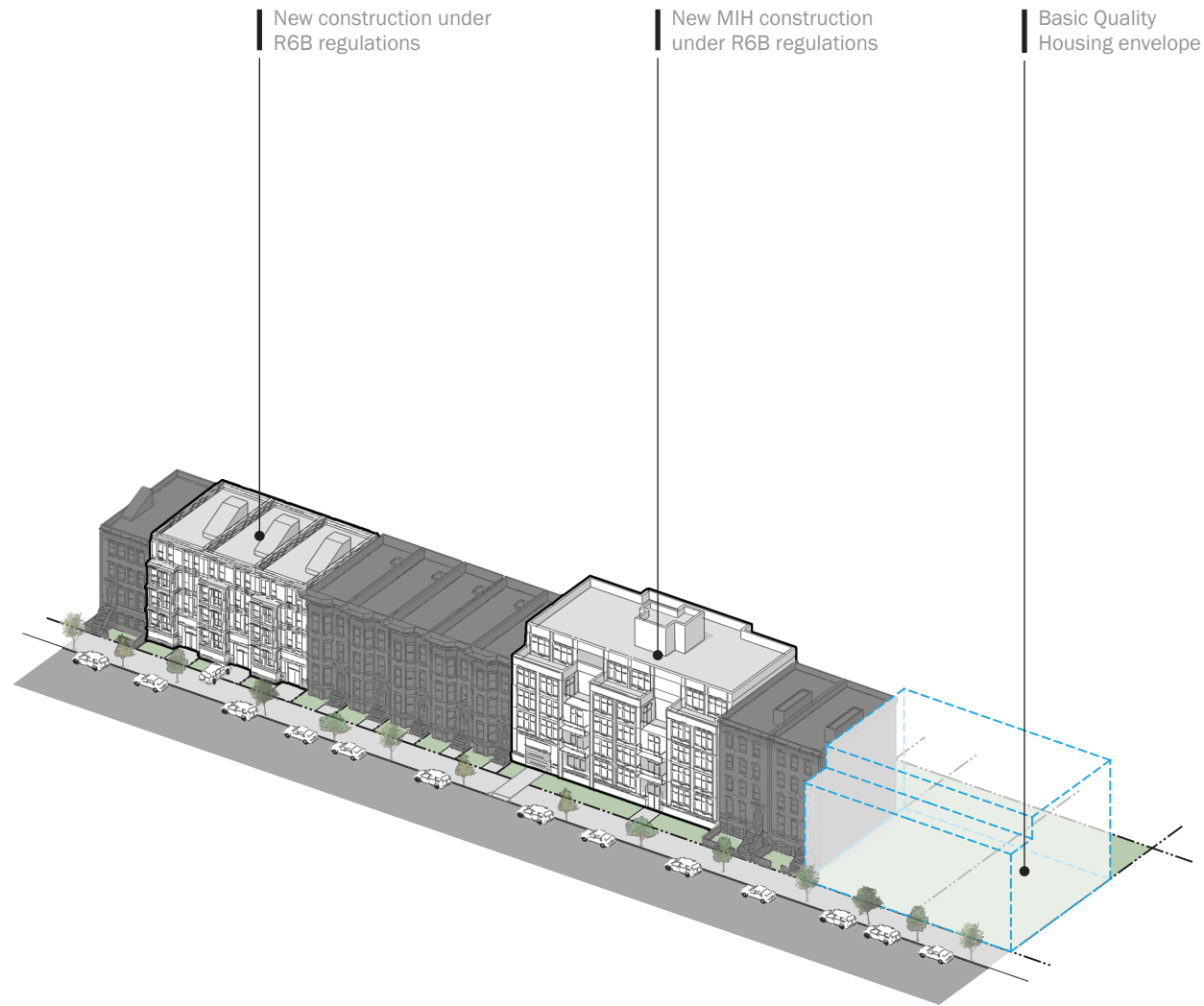


Williamsburg, Brooklyn



Medium Density Contextual Residence District

R6A	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max. (w/QGF)	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						3.00	40-60 (65) ft	70 (75) ft	n/a (7)			
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	65%	3.60	40-65 ft	80 (85) ft	8	680	50% of DU	25% of IRHU



R6B

R6B *contextual districts*, created in 1987, are medium density districts designed to reflect the character and scale of old rowhouse neighborhoods, particularly those Brooklyn neighborhoods lined with brownstone buildings. Any new buildings constructed must be *Quality Housing* buildings, and building heights generally range from four to five *stories*. These districts are often, but not exclusively, mapped along *narrow streets*. R6B Districts are mapped extensively in Park Slope and Prospect Heights, Brooklyn and can also be found in Fordham Manor and Norwood, The Bronx, as well as Astoria and North Corona, Queens.



Bedford Stuyvesant, Brooklyn



Long Island City, Queens

Medium Density Contextual Residence District

R6B	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max. (w/QGF)	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						2.00						
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	60%	2.20	30-40 (45) ft	50 (55) ft	n/a (5)	680	50% of DU	25% of IRHU

R7A

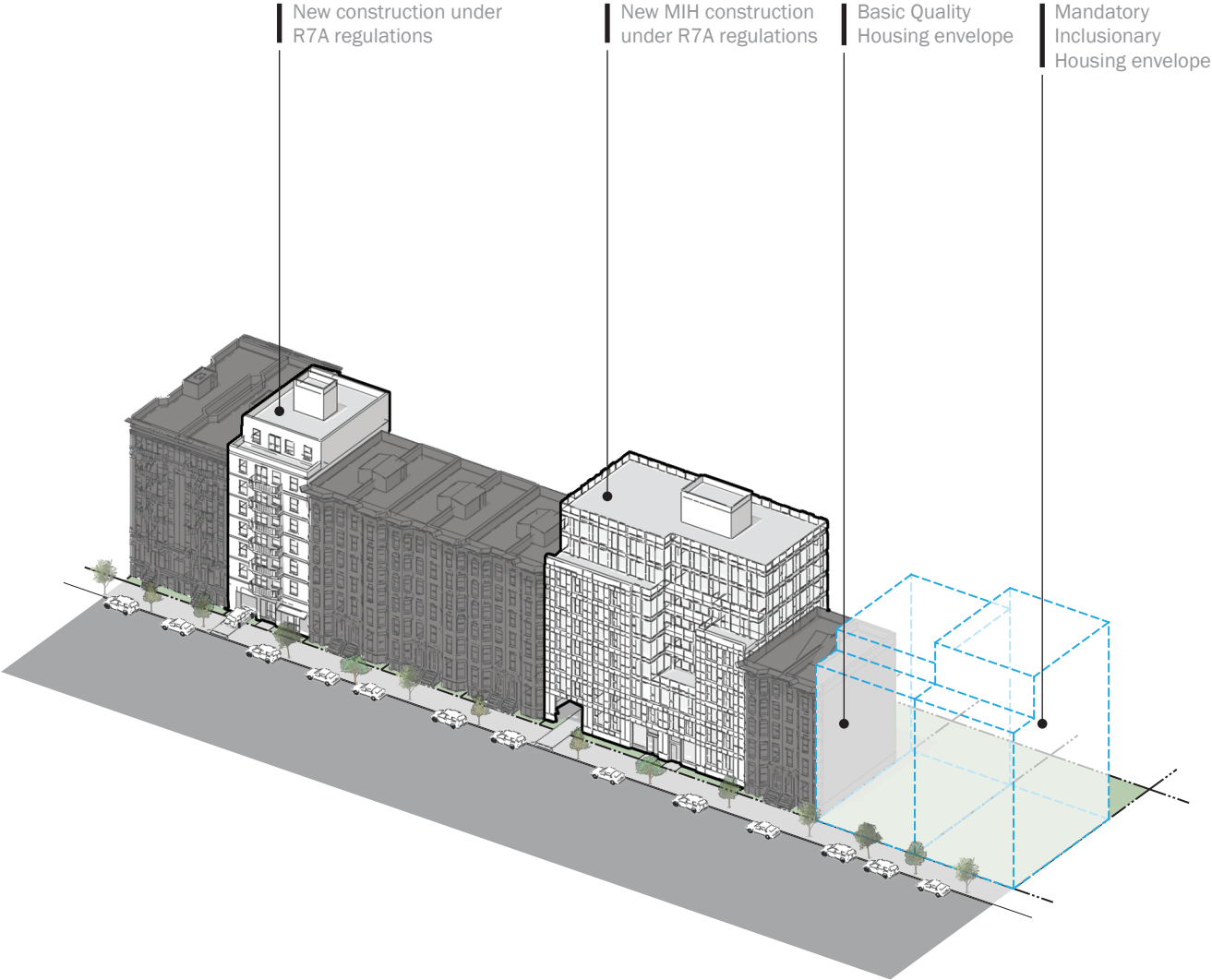
R7A *contextual districts*, created in 1987, are medium density districts designed to produce *Quality Housing buildings* at a scale slightly larger and taller than in an R6A District — roughly eight to nine *stories*. *Bulk* regulations ensure the construction of *buildings* that either maintain a medium density neighborhood scale, or create a new one. These districts are often, but not exclusively, mapped along *wide streets*. They can be found in Riverdale, Bedford Park, and Williamsbridge, The Bronx; Prospect Heights, Ditmas Park, Kensington and Midwood, Brooklyn; East and West Harlem as well as the Lower East Side, Manhattan; and Sunnyside and Jamaica, Queens.



Riverdale, The Bronx

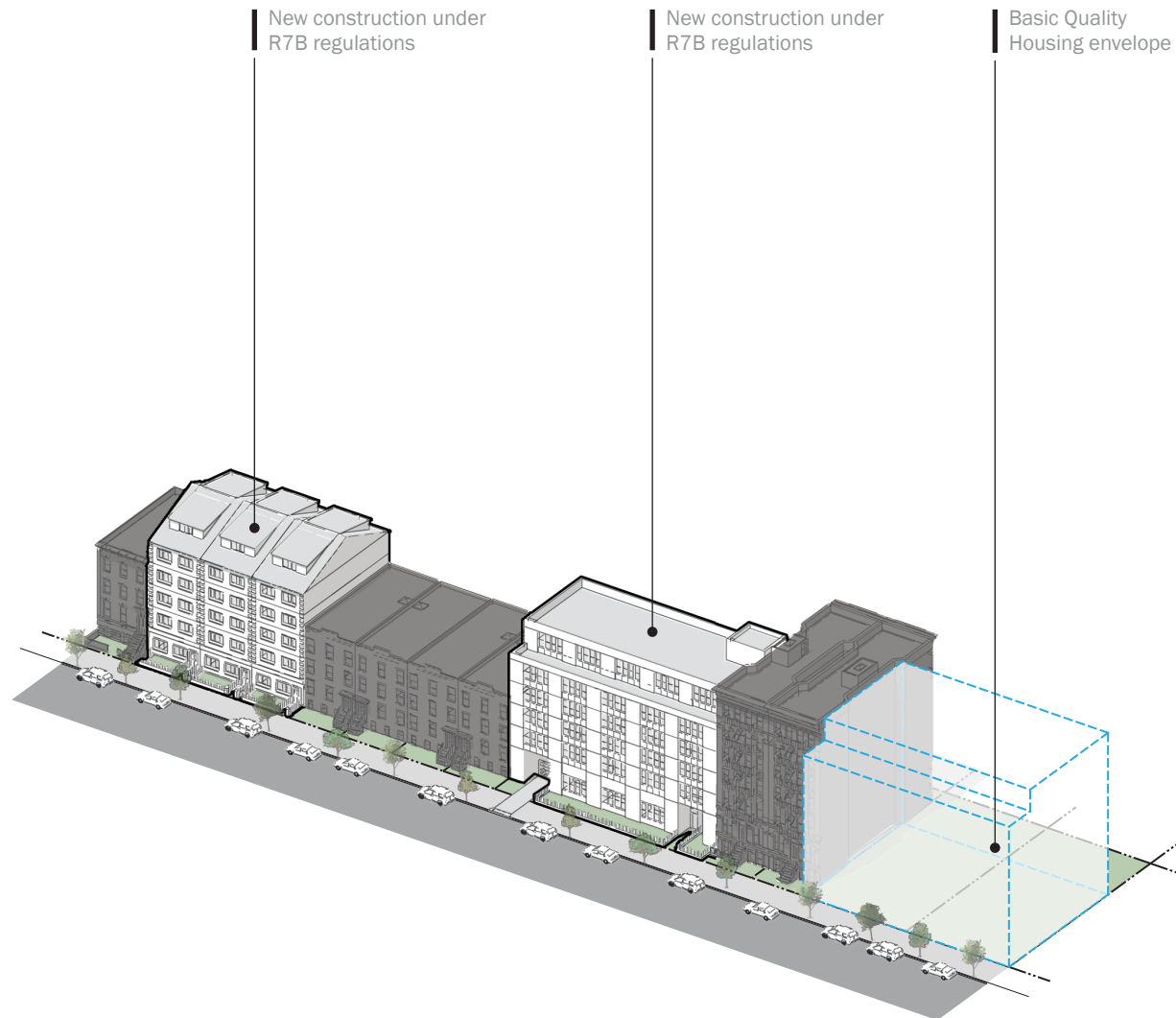


Harlem, Manhattan



Medium Density Contextual Residence District

R7A	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max. (w/QGF)	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						4.00	40-65 (75) ft	80 (85) ft	n/a (8)			
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	65%	4.60	40-75 ft	90 (95) ft	9	680	50% of DU	15% of IRHU



Medium Density Contextual Residence District

R7B	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max.	max.	max.		Basic	IRHU
Basic	1,700 sf	18 ft	30 ft	100%	65%	3.00	40-65 ft	75 ft	n/a	680	50% of DU	25% of IRHU

R7B

R7B *contextual districts* are medium density districts designed to reflect the character and scale of older neighborhoods with a slightly larger scale than R6B Districts. Any new *buildings* constructed must be *Quality Housing buildings*, and heights are typically either six or seven *stories*. The *bulk* rules ensure that buildings either preserve or establish a neighborhood form that is compatible with older, medium density buildings. These districts are often, but not exclusively, mapped along *narrow streets*. R7B Districts were created in 1987, and can be found in Park Slope and Bay Ridge, Brooklyn; the East Village and Greenwich Village, Manhattan; and in Elmhurst, Queens.



Boerum Hill, Brooklyn



Lower East Side, Manhattan

R7D

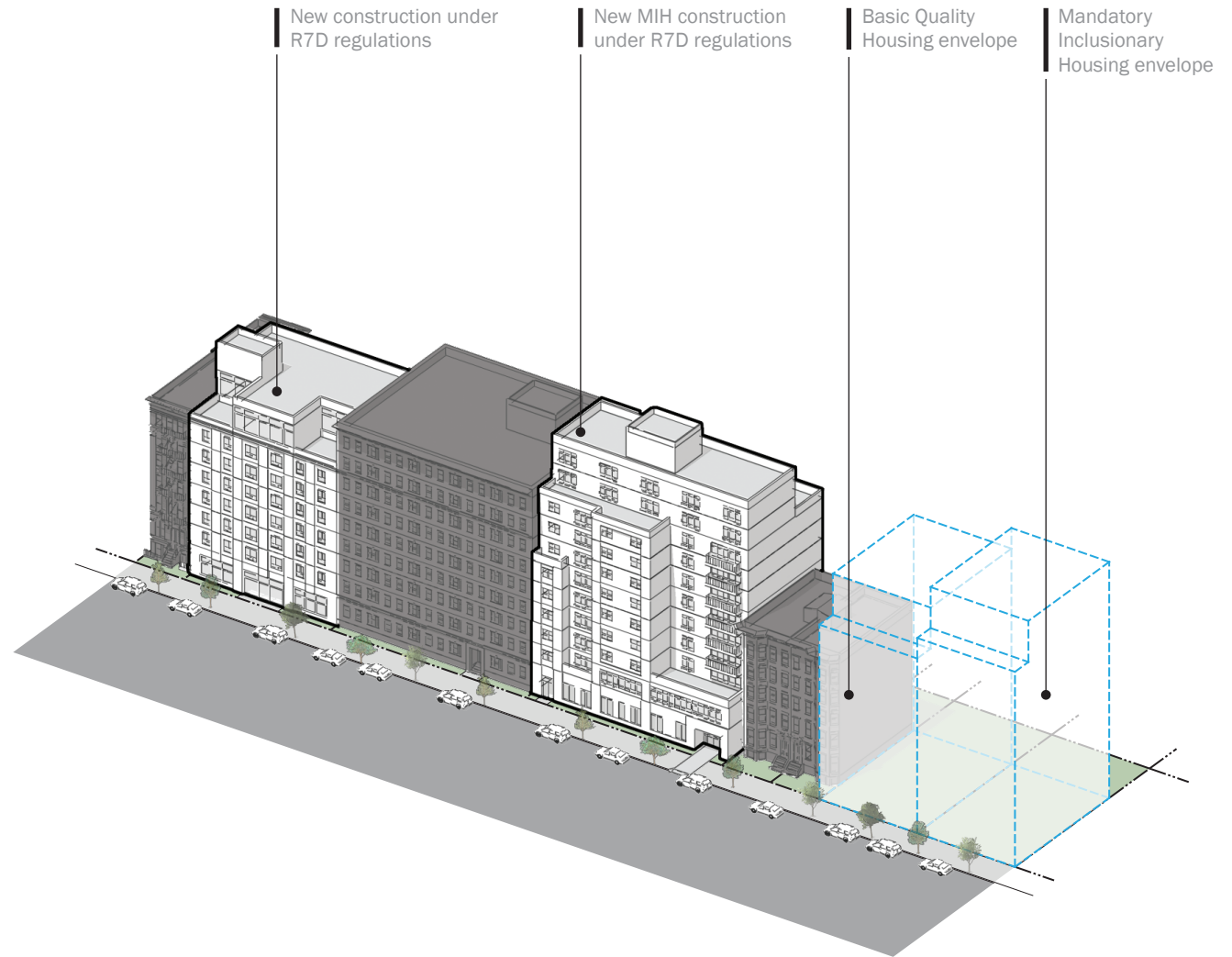
R7D *contextual districts* are medium density districts designed to produce *Quality Housing* buildings that are slightly larger than what an R7A District allows. Building heights in these districts typically range between 10 and 11 *stories*. Contextual *bulk* regulations produce new *buildings* that will be similar in scale to older medium density buildings. These districts are often, but not exclusively, mapped along *wide streets*. The R7D District was created in 2007 to be mapped in Bedford Stuyvesant. Since then, the district has been mapped in Norwood, The Bronx and Hamilton Heights, Manhattan.



Bedford Stuyvesant, Brooklyn



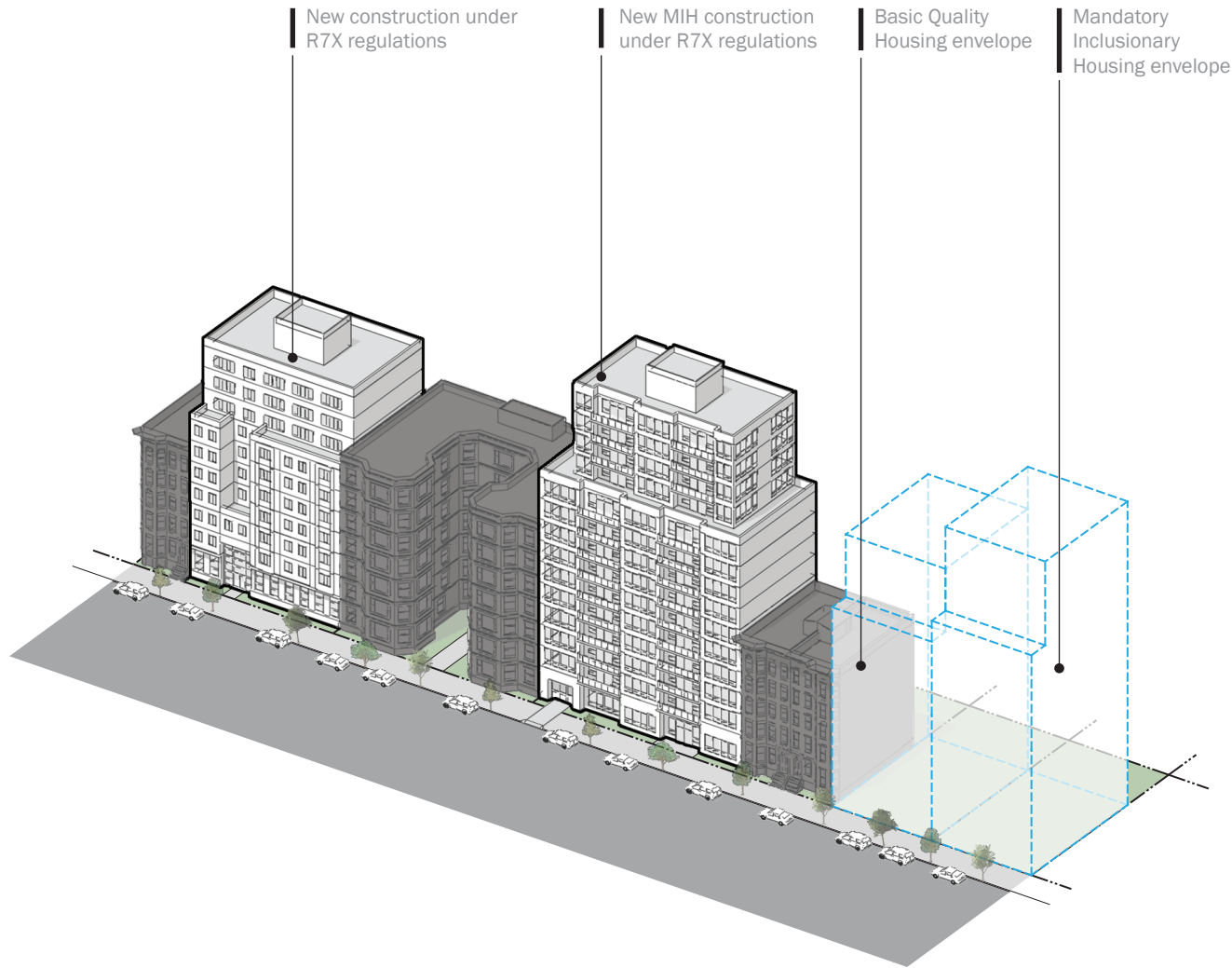
Bedford Stuyvesant, Brooklyn



Medium Density Contextual Residence District

R7D	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max.	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						4.20	60-85 ft	100 (105) ft	n/a (10)			
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	65%	5.60	60-95 ft	110 (115) ft	11	680	50% of DU	15% of IRHU

R7X *contextual districts*, created in 1987, are medium density districts designed to produce new *Quality Housing buildings* that are larger than what an R7A District allows, with much more flexibility in the *building envelope*. These districts often result in building heights of between 12 and 14 *stories*. *Bulk* regulations ensure the lower portions of the *buildings* are compatible with older medium density buildings, whether this scale is being newly established or preserved. These districts are often, but not exclusively, mapped along *wide streets*. They can be found in Mott Haven, The Bronx; Williamsburg, Brooklyn; East Harlem, Manhattan; and in Woodside and Hunters Point, Queens.



Long Island City, Queens



Astoria, Queens

Medium Density Contextual Residence District

R7X	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max. (w/QGF)	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						5.00	60–85 (95) ft	120 (125) ft	n/a (12)			
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	70%	6.00	60–105 ft	140 (145) ft	14	680	50% of DU	15% of IRHU

R8A

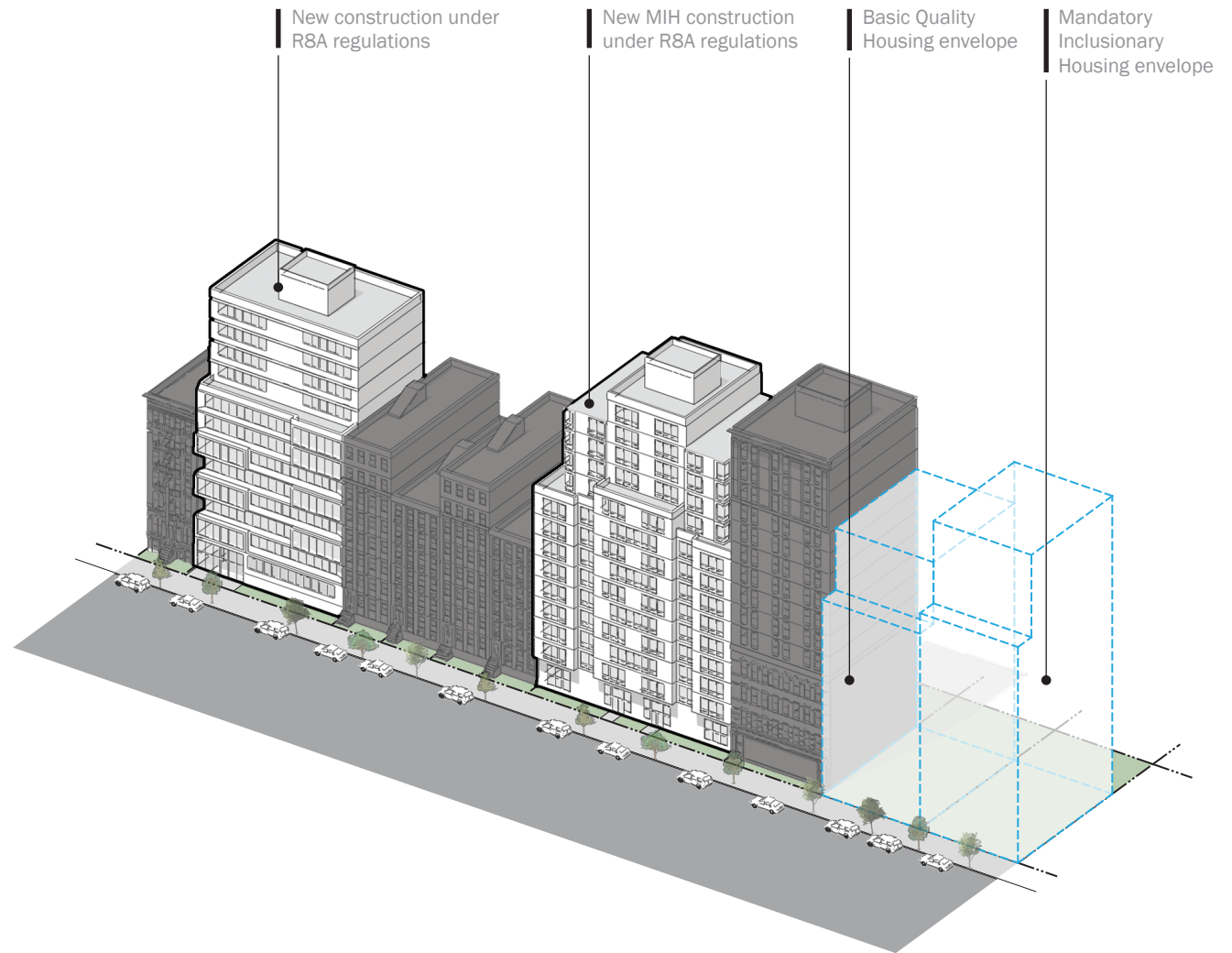
R8A *contextual districts* are high density districts designed to produce *Quality Housing* buildings, which, with heights of roughly 12 to 14 *stories*, are higher than an R7A District, and with higher *FAR* than an R7X District allows. Contextual *bulk* regulations ensure that *buildings* will either preserve or establish a scale compatible with older, higher density buildings. These districts are often, but not exclusively, mapped along *wide streets*. R8A Districts were created in 1984, and can be found in Mott Haven and the Lower Concourse, The Bronx; in DUMBO, along 4th Avenue in Park Slope and along Atlantic Avenue in East New York, Brooklyn; and in Harlem and the Lower East Side of Manhattan.



Harlem, Manhattan



Lower East Side, Manhattan

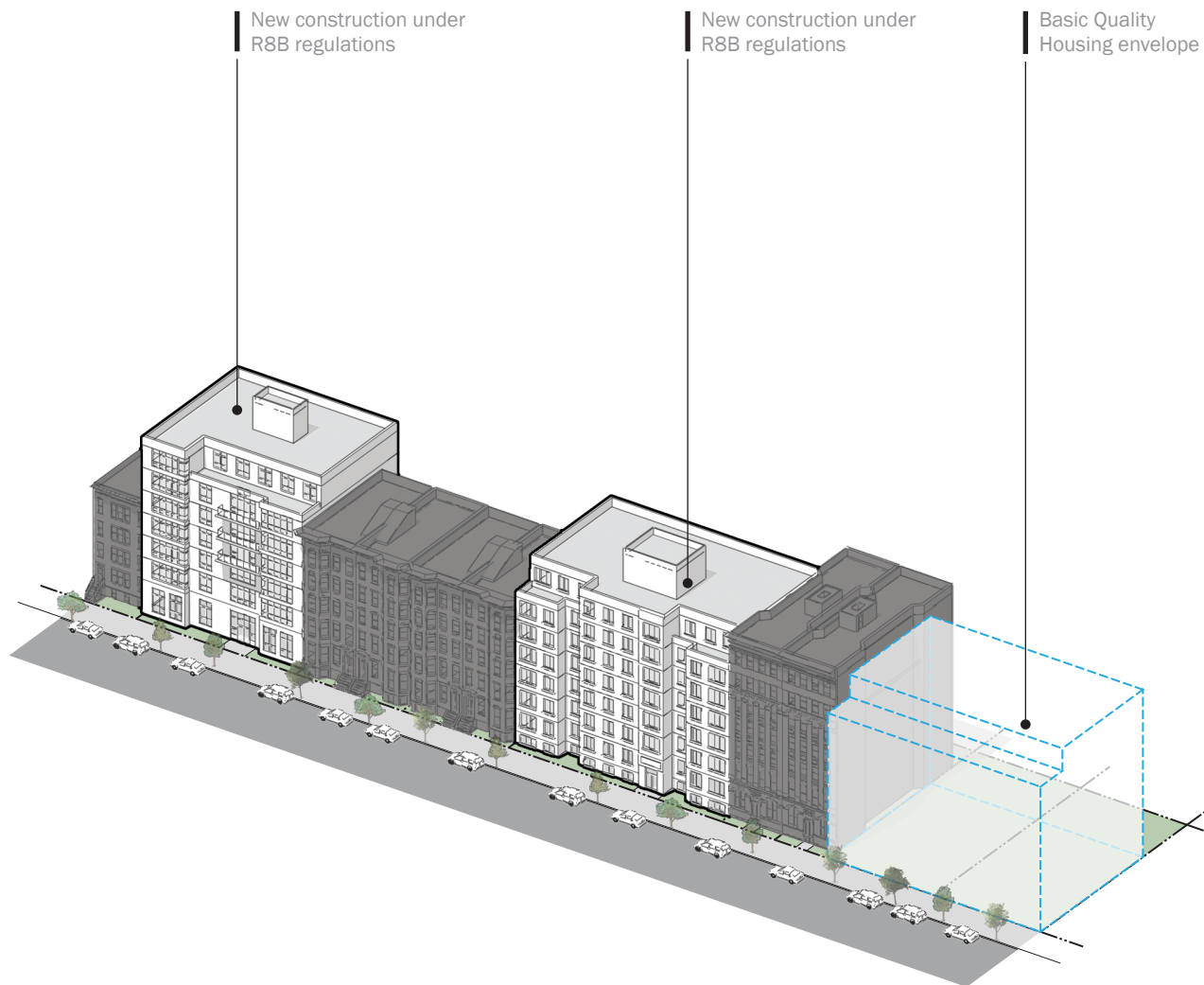


Medium Density Contextual Residence District

R8A	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max. (w/QGF)	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						6.02	60-85 (95) ft	120 (125) ft	n/a (12)			
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	70%	7.20	60-105 ft	140 (145) ft	14	680	40% of DU	12% of IRHU

R8B

R8B *contextual districts*, created in 1984, are medium density districts designed to preserve the character and scale of older row-house neighborhoods. These districts allow the construction of buildings with heights of roughly six to seven *stories*, with a slightly higher *FAR* than R7B Districts. Any new buildings constructed must be *Quality Housing* buildings. Contextual *bulk* controls produce *buildings* that either preserve or create a context similar to older, rowhouse and tenement buildings. These districts are often, but not exclusively, mapped along *narrow streets* and are found primarily on the midblocks of the Upper West Side, Upper East Side and Lower East Side of Manhattan.



Medium Density Contextual Residence District

R8B	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max.	max.	max.		Basic	IRHU
Basic	1,700 sf	18 ft	30 ft	100%	70%	4.00	55-65 ft	75 ft	n/a	680	50% of DU	15% of IRHU



Lower East Side, Manhattan



Upper West Side, Manhattan

R8X

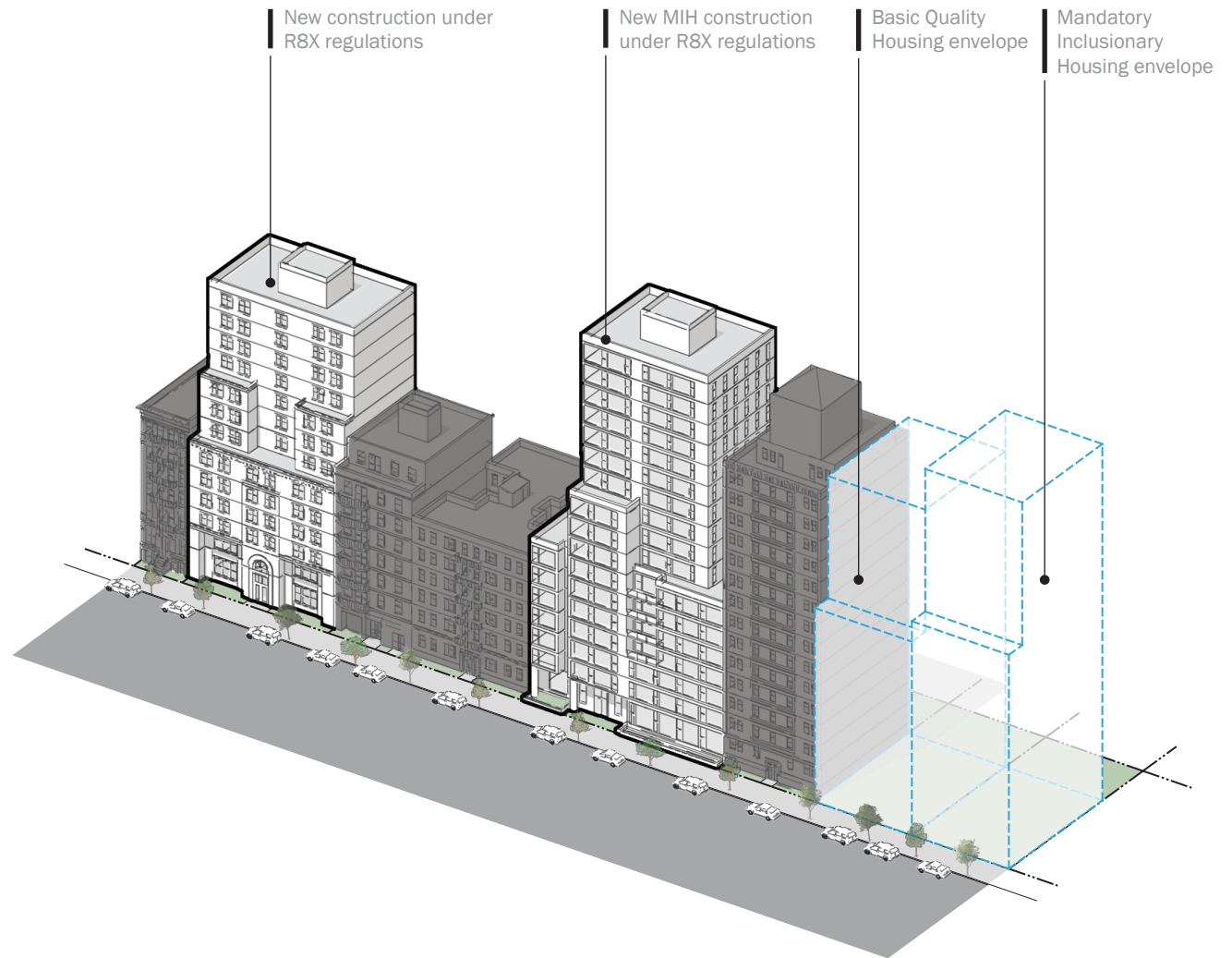
R8X *contextual districts* are high density districts designed to produce *Quality Housing* buildings, with the same *FAR* as an R8A District but with more flexibility in the *building envelope*. These districts allow buildings with a height of between 15 and 17 *stories*. Contextual *bulk* regulations ensure that the lower portions of the *buildings* are compatible with older medium density buildings, whether this scale is being newly established or preserved. These districts are often, but not exclusively, mapped along *wide streets*. R8X Districts were created in 1987, at the same time many other medium density contextual districts were established. They are mapped in very few locations, but can be found in West Farms and around Grand Army Plaza in Brooklyn.



Prospect Heights, Brooklyn



Foxhurst, The Bronx

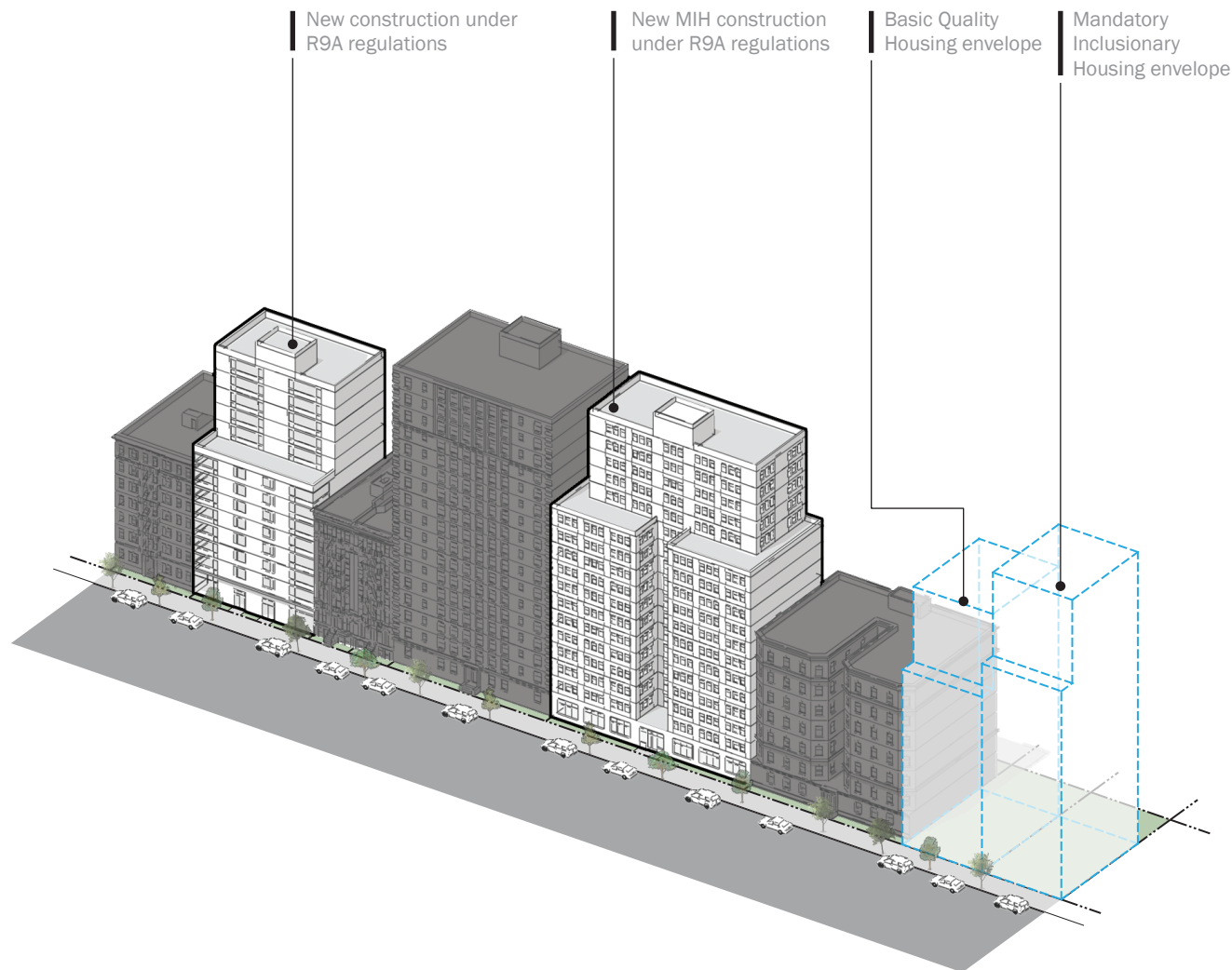


Medium Density Contextual Residence District

R8X	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max. (w/QGF)	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						6.02	60-85 (95) ft	150 (155) ft	n/a (15)			
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	70%	7.20	60-105 ft	170 (175) ft	17	680	40% of DU	12% of IRHU

R9A

R9A *contextual districts*, created in 1984, are high density districts designed to produce new *Quality Housing buildings* at a larger scale than an R8A District. Building heights range between 13 and 17 *stories*. *Bulk* controls, ensure a building form that mimics older, *buildings* with high street walls in high density areas. These districts are often mapped along wide streets, but have different height limits for *wide* and *narrow streets*. They are mapped in very few locations, but can be found along Broadway in the Upper West Side, and on Lexington Avenue near Gramercy Park and along Second Avenue, Manhattan.



High Density Contextual Residence District

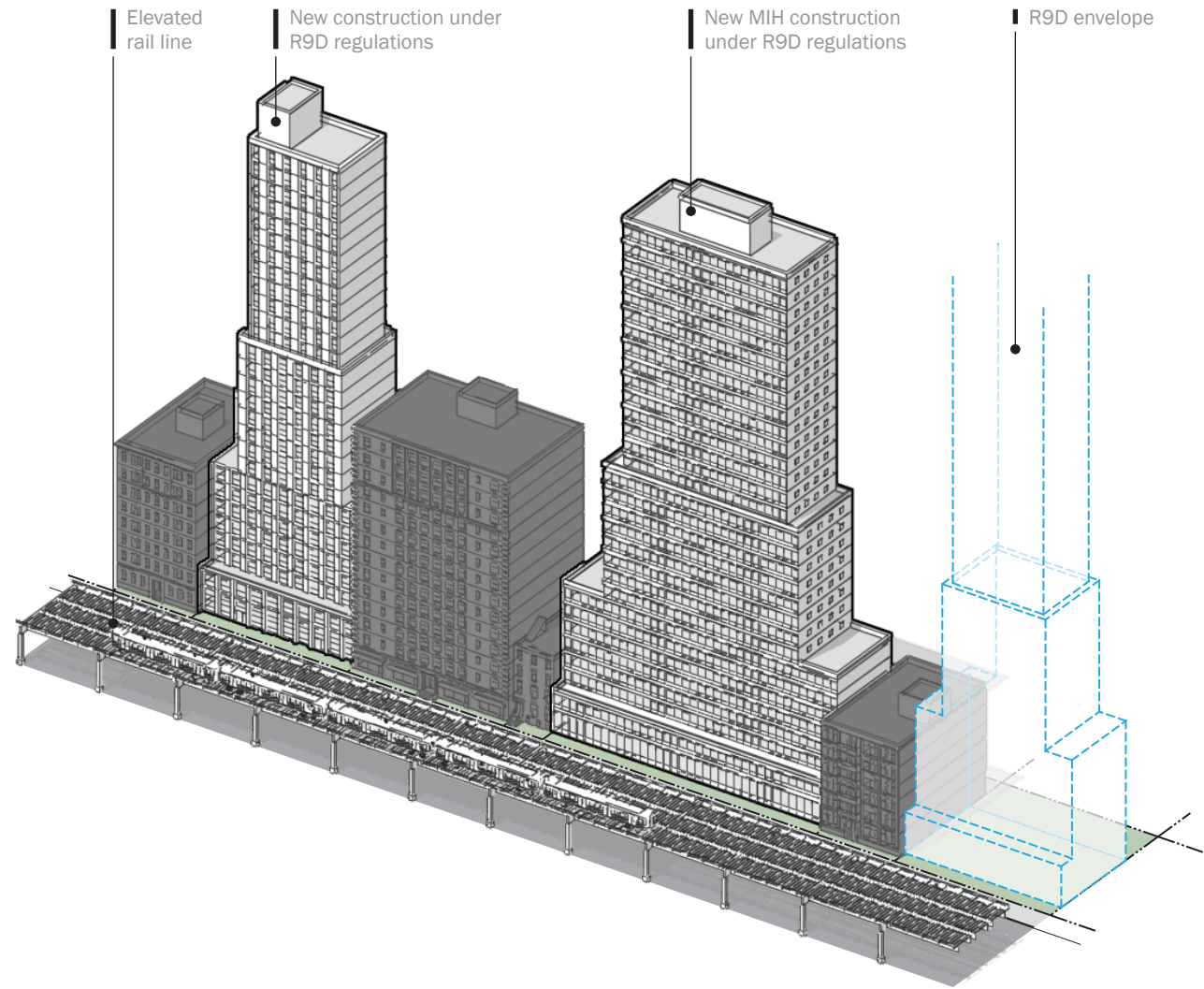
R9A		Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
		min.	min.	min.	Corner	Other Lot	max.	min.–max.	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
												min.	
Basic	Narrow Street	1,700 sf	18 ft	30 ft	100%	70%	7.52	60–95 ft	135 ft	n/a	680	40% of DU	12% of IRHU
	Wide Street							60–105 ft	145 ft				
Mandatory Inclusionary Housing	Narrow Street						8.50	60–125 ft	160 (165) ft	16			
	Wide Street								170 (175) ft	17			



Tribeca, Manhattan

R9D

R9D *contextual districts* are high density districts designed to produce *Quality Housing* buildings with more flexibility than would be found in an R9X District. These districts permit a *tower* that sits on a low contextual base. Modified *bulk* regulations were created so that this district could be mapped along elevated rail lines, while along other frontages the bulk controls ensure that the base of these *buildings* are compatible with older buildings, such as tenements, in high density areas. R9D Districts were created in 2009, at the same time as C6-3D Districts, their high density contextual Commercial District equivalent. R9D Districts are not yet mapped in any locations, but a C6-3D District is mapped along River Avenue near Yankee Stadium in The Bronx.



River Avenue, The Bronx

High Density Contextual Tower Residence District

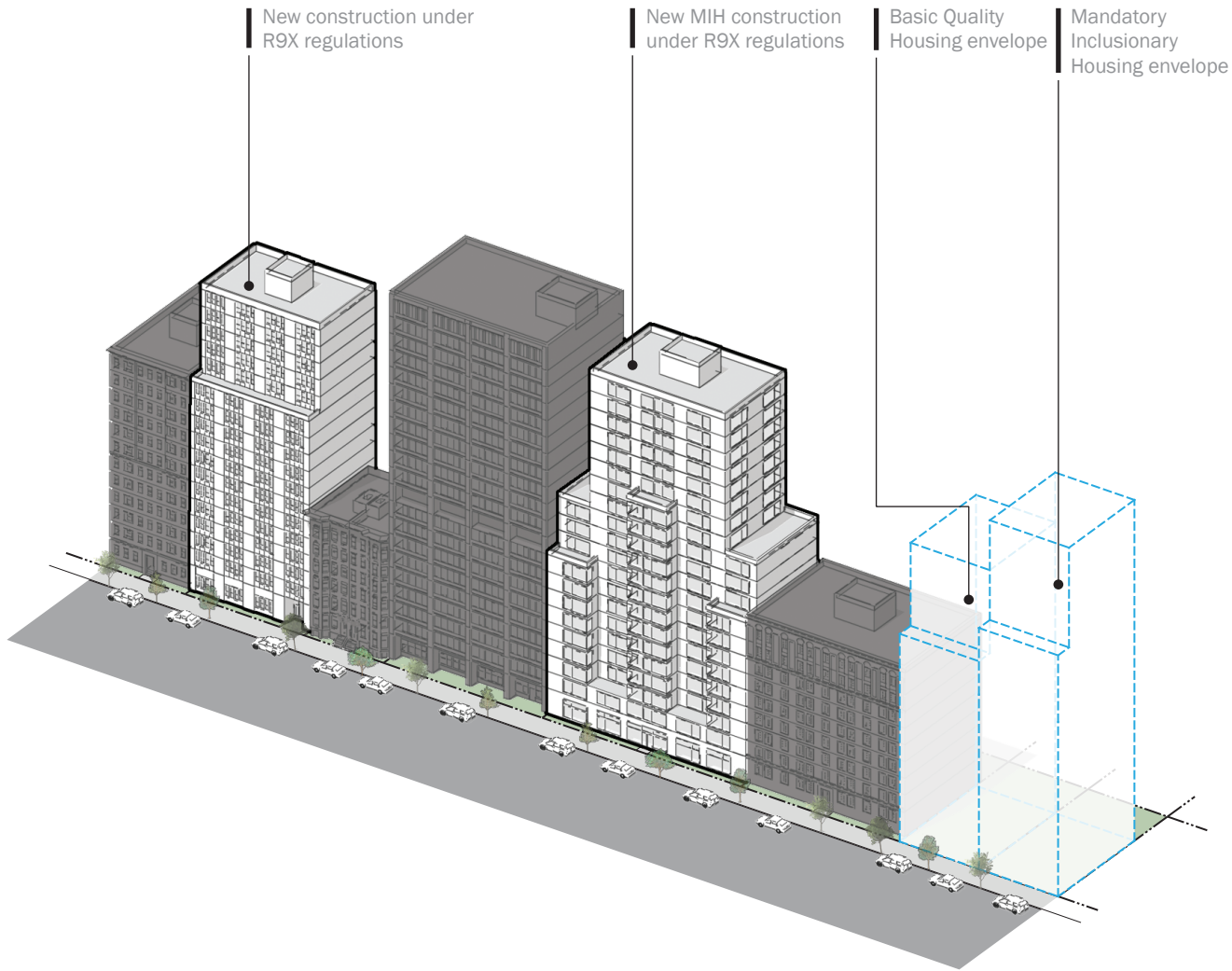
R9D	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max.	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic						9.00	0-25 ft					
Mandatory Inclusionary Housing	1,700 sf	18 ft	30 ft	100%	70%	10.00	60-85 ft not facing elevated rail)	n/a	n/a	680	40% of DU	12% of DU

R9X

R9X *contextual districts*, created in 1984, are high density districts designed to produce new *Quality Housing buildings* at a larger scale than an R9A District. Accordingly, building heights range between 16 and 20 *stories*. The district *bulk* rules produce *buildings* that are compatible with older buildings with high *street walls*. These districts have separate heights for both *wide* and *narrow streets*. They are mapped in very few locations, but can be found along Lexington Avenue in the Upper East Side of Manhattan.



Upper East Side, Manhattan



High Density Contextual Residence District

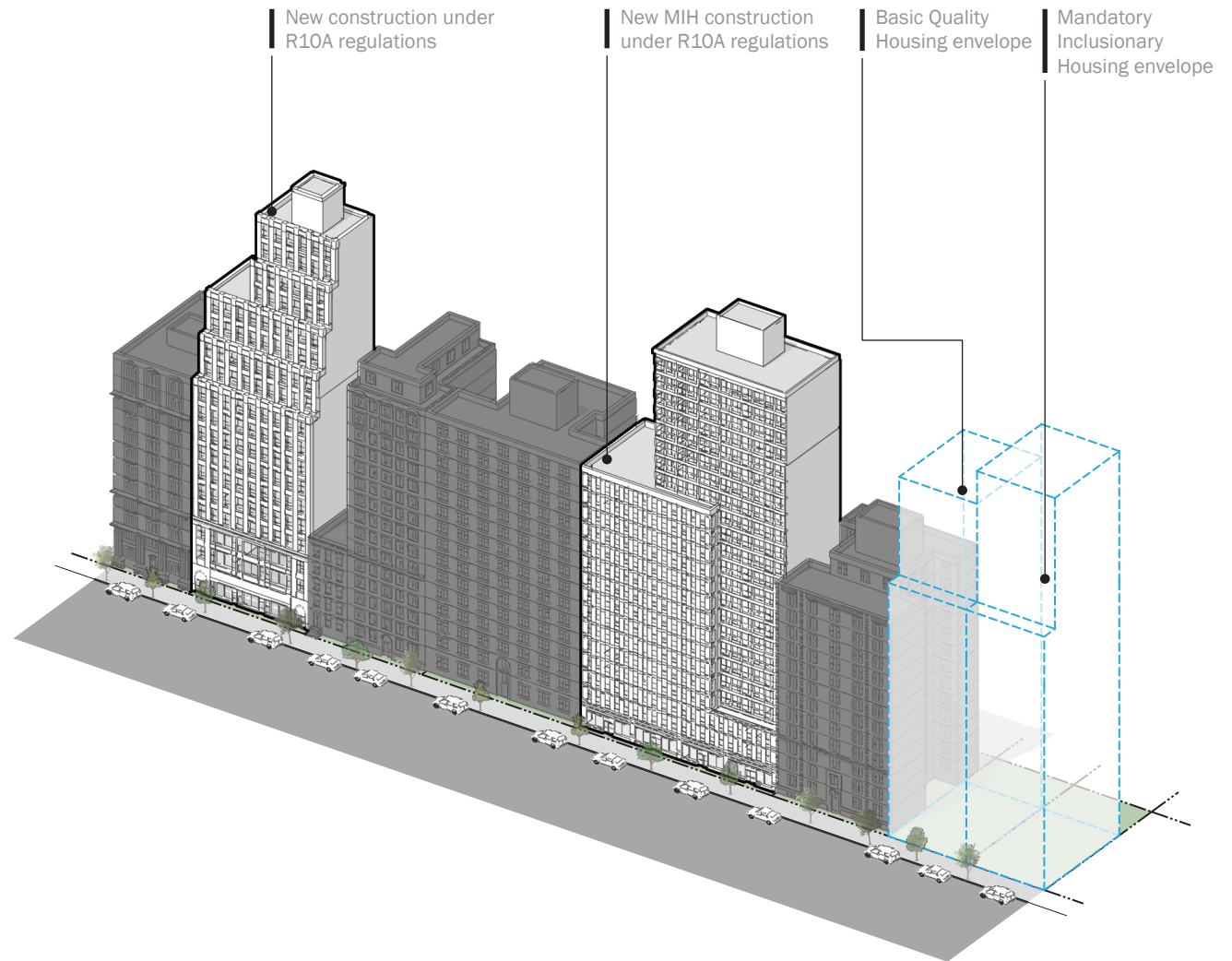
R9X		Lot Area min.	Lot Width min.	Rear Yard min.	Lot Coverage Corner Other Lot max.		FAR max.	Base Height min.-max. (w/QGF)	Building Height max. (w/QGF)	# of Stories max. (w/QGF)	DU Factor	Required Parking Basic IRHU min.	
Basic	Narrow Street	1,700 sf	18 ft	30 ft	100%	70%	9.00	60-120 (125) ft	160 (165) ft	n/a (16)	680	40% of DU	12% of IRHU
	Wide Street							105-120 (125) ft	170 (175) ft	n/a (17)			
Mandatory Inclusionary Housing	Narrow Street						9.70	60-145 ft	190 (195) ft	19			
	Wide Street							105-145 ft	200 (205) ft	20			

R10A

R10A *contextual districts*, created in 1984, are high density districts designed to produce *Quality Housing buildings* that are larger than what is allowed in an R9A or R9X District — between 21 and 23 *stories* when mapped along avenues. Contextual *bulk* controls produce *buildings* that are compatible with older, high *street wall* buildings. These districts are often mapped along *wide streets*, but have different maximum heights allowed for wide and *narrow streets*. They are mapped in very few locations, but can be found along avenues in the Upper West Side and Upper East Side of Manhattan.



Upper West Side, Manhattan

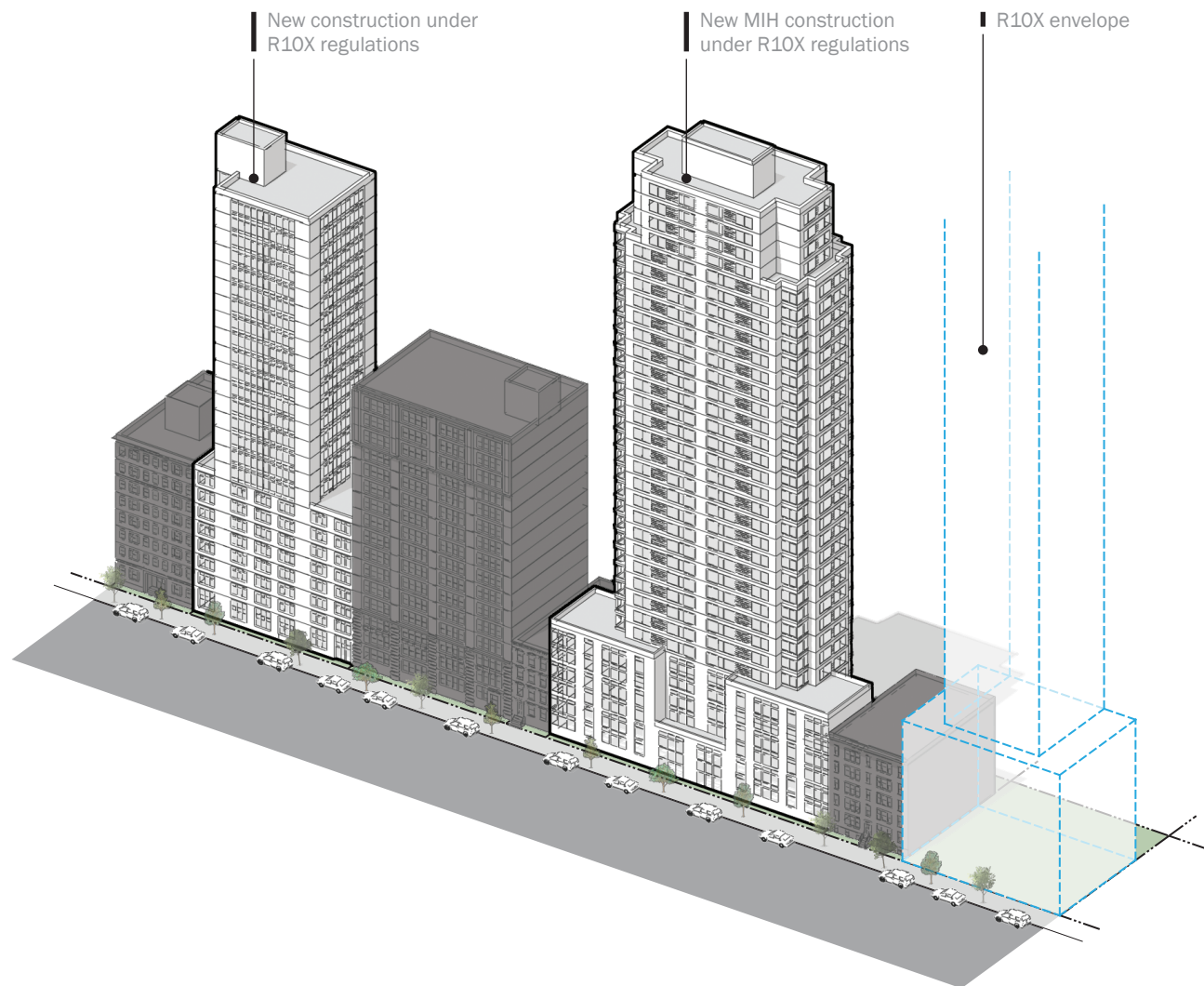


High Density Contextual Residence District

R10A		Lot Area min.	Lot Width min.	Rear Yard min.	Lot Coverage Corner Other Lot max. max.		FAR max.	Base Height min.-max. (w/QGF)	Building Height max. (w/QGF)	# of Stories max. (w/QGF)	DU Factor	Required Parking Basic IRHU min.	
Basic	Narrow Street	1,700 sf	18 ft	30 ft	100%	70%	10.00	60–125 ft	185 ft	n/a	680	40% of DU	12% of IRHU
	Wide Street							125–150 (155) ft	210 (215) ft	n/a (21)			
Mandatory Inclusionary Housing	Narrow Street						12.00	60–155 ft	210 (215) ft	21			
	Wide Street							125–155 ft	230 (235) ft	23			

R10X

R10X *contextual districts* are high density districts designed to produce *Quality Housing* buildings with more flexibility than would be found in an R10A District. These districts permit a *tower* that sits on a roughly six- to eight-story contextual base. *Street wall* location and maximum *base height* rules ensure *buildings* where the lower portions of the building are compatible with older buildings, such as tenements, in high density areas. R10X Districts were created in 1994, at the same time as its Commercial District equivalent, C6-4X Districts. R10X Districts are not yet mapped in any locations, but a C6-4X District is mapped along Sixth Avenue near Madison Square Park.



High Density Contextual Tower Residence District

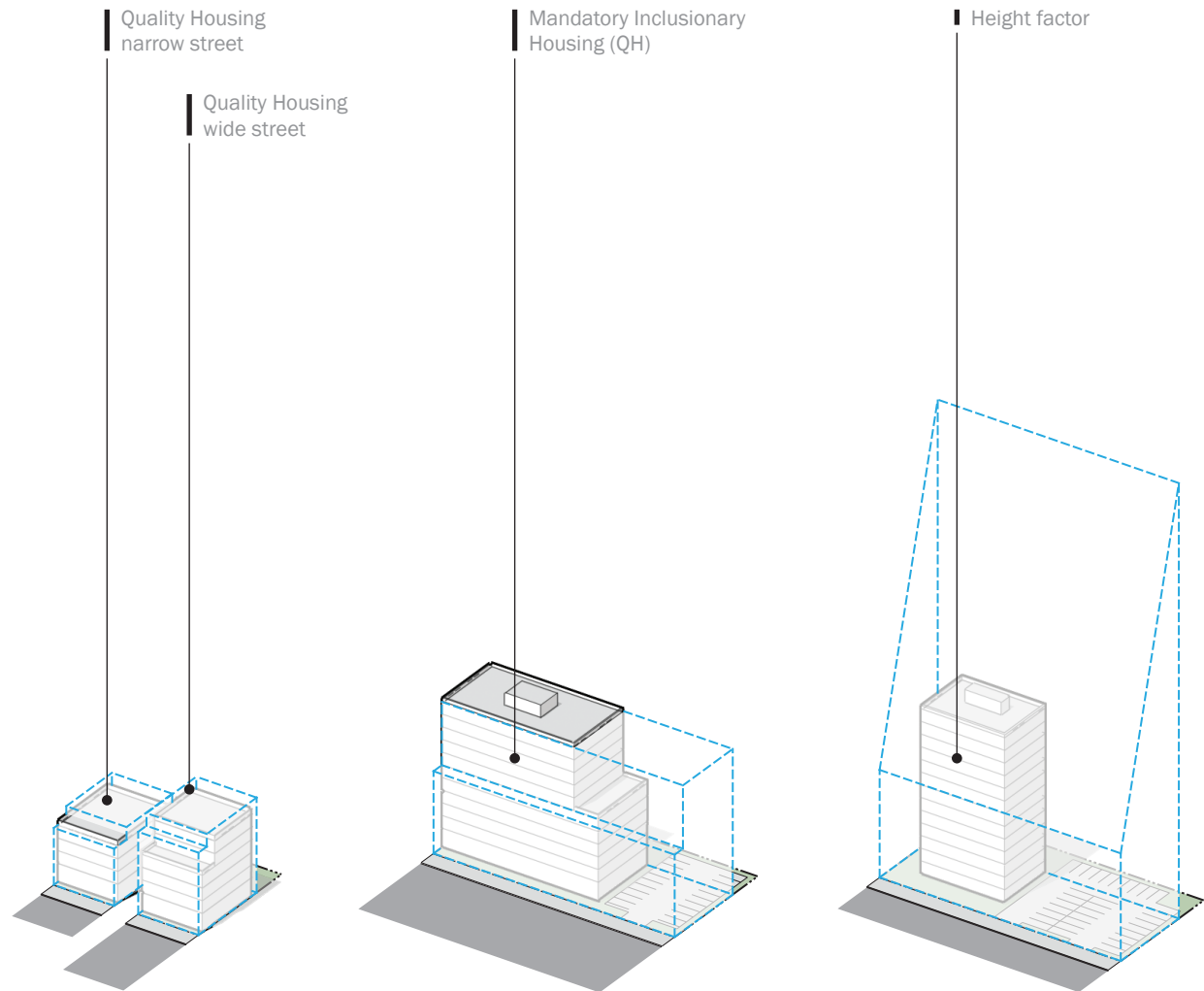
R10X	Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	Tower Lot Coverage	DU Factor	Required Parking	
	min.	min.	min.	Corner	Other Lot	max.	min.-max.	max.	min.-max.		Basic	IRHU
Basic Mandatory Inclusionary Housing						10.00						
	1,700 sf	18 ft	30 ft	100%	70%	12.00	60-85 ft	n/a	33-40%	680	40% of DU	12% of IRHU



Chelsea, Manhattan

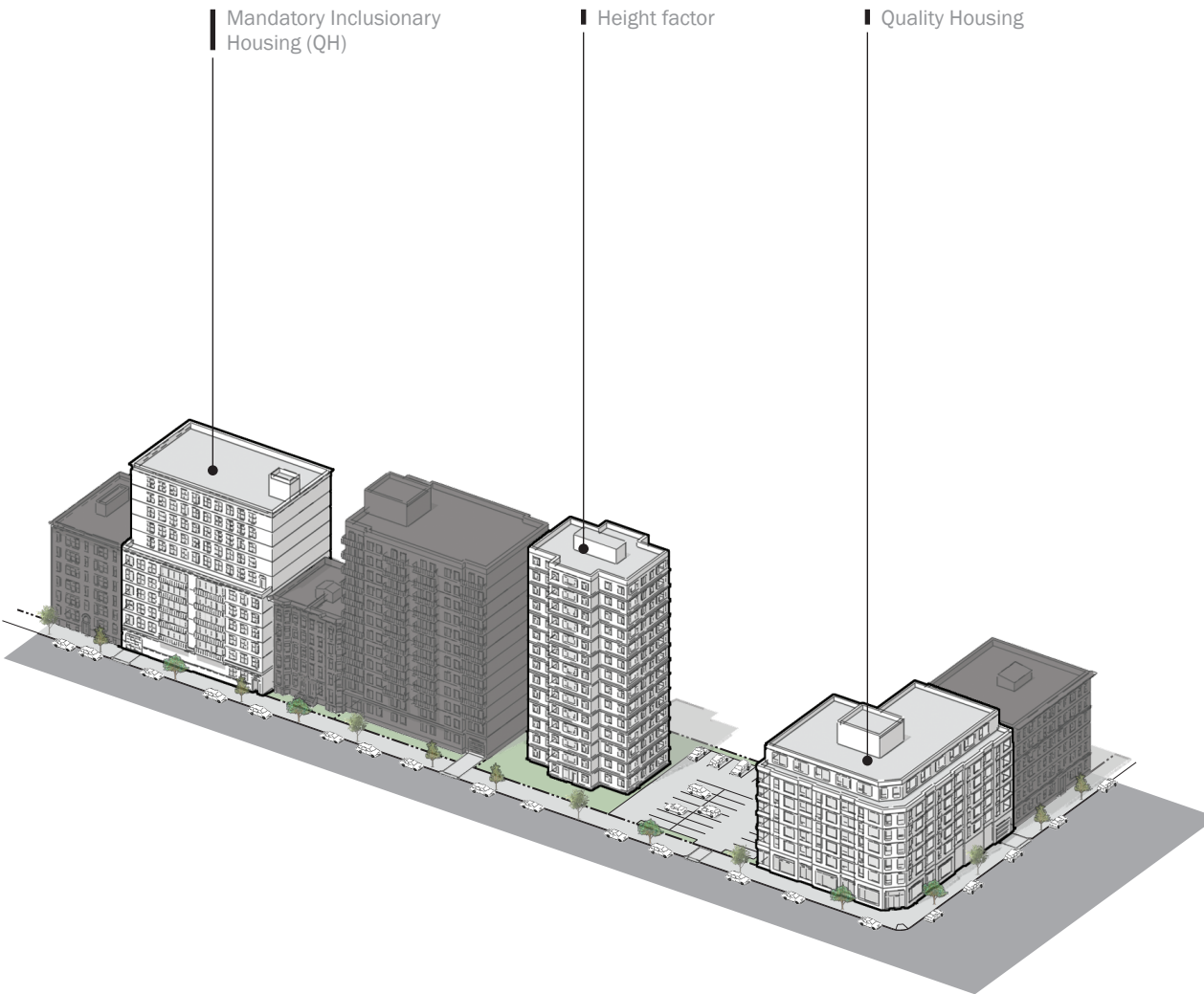
R6

R6 *non-contextual districts* are widely mapped in medium density areas of the city and cover a wide range of *building* types. In these districts, there are two sets of *bulk* regulations to choose from: the *height factor* regulations, original to the 1961 Resolution, and the *Quality Housing* regulations that were introduced in 1987. R6 Districts often encompass many *blocks*, and thus have *wide* and *narrow street* rules for each set of regulations. The distribution of R6 Districts has shrunk over time, as contextual districts have been mapped in their place. R6 Districts remain in Mott Haven, Morrisania and University Heights, The Bronx; Williamsburg, Crown Heights, Brownsville and Borough Park, Brooklyn; Greenwich Village, Manhattan; and Astoria and Flushing, Queens.



Medium Density Non-contextual Residence District

R6		FAR	Open Space Ratio	Sky Exposure Plane	DU Factor	Required Parking	
		max.	range			Basic	IRHU
						min.	
Height Factor	Basic	0.78-2.43	27.50-37.50	Starts at 60 ft	680	70% of DU	25% of IRHU



R6



Franklin Ave, The Bronx



Kingsbridge, The Bronx



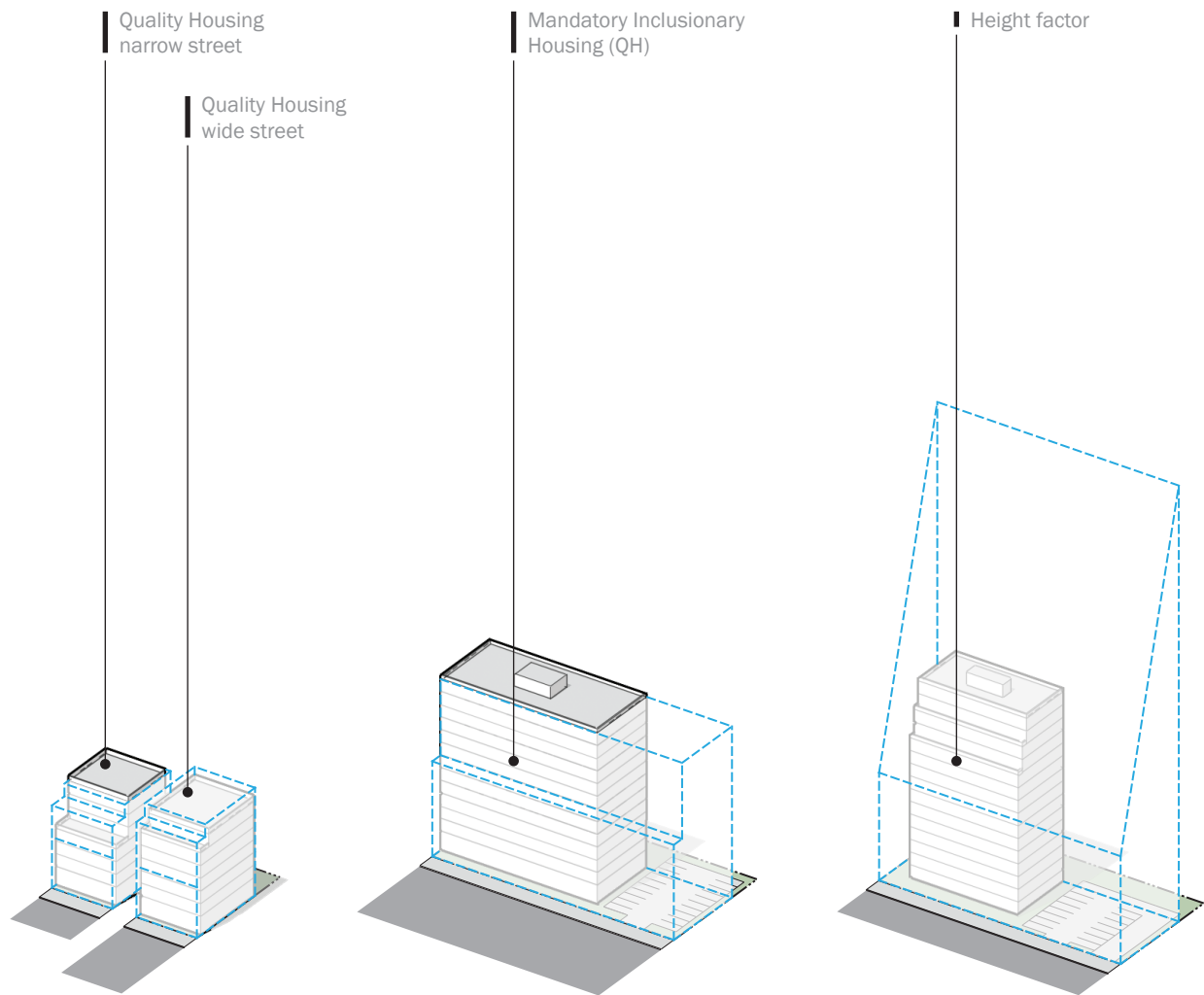
Kingsbridge, The Bronx

Medium Density Non-contextual Residence District

R6 QH		Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking		
		min.	min.	min.	Corner	Other Lot	max.	min. – max.	max. (w/QGF)	max. (w/QGF)		Basic	IRHU	
					max.							min.		
Basic	Narrow Street	1,700 sf	18 ft	30 ft	100%	60%	2.20	30-45 ft	55 ft	n/a	680	50% of DU	25% of IRHU	
	Wide Street					65%	3.00	40-65 ft	70 (75) ft	n/a (7)				
Mandatory Inclusionary Housing	Narrow Street					60%	2.42	40-65 ft	115 ft	11				
	Wide Street						3.60							

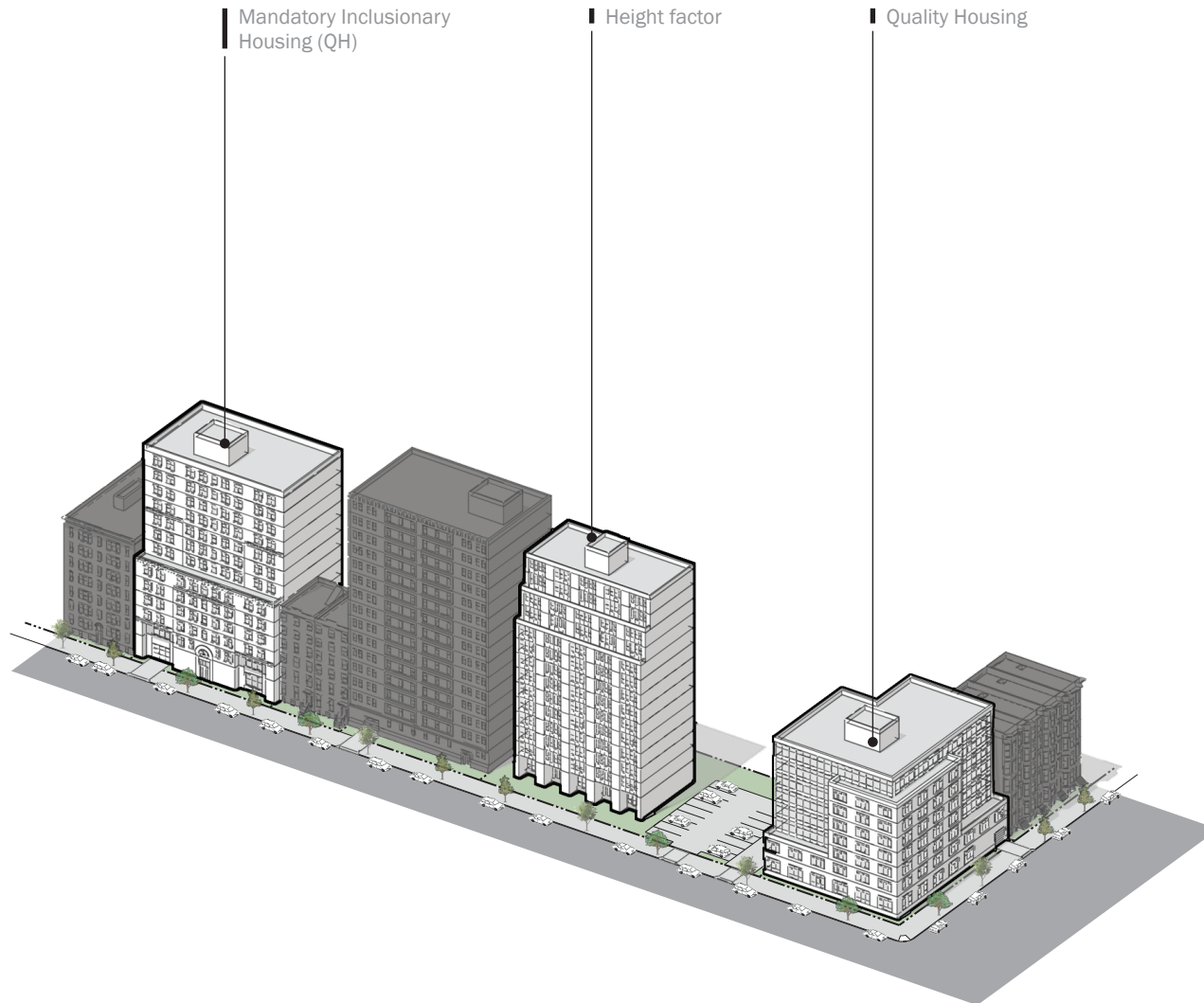
R7

R7 *non-contextual districts*, which encompass both R7-1 and R7-2 Districts, are widely mapped in medium density areas of the city across a wide range of building types. While R7-1 and R7-2 Districts are very similar, R7-2 Districts have lower parking requirements and provide higher *community facility floor area*. In both districts there are two sets of *bulk* regulations to choose from: the *height factor* regulations original to the 1961 Resolution, and *Quality Housing* regulations that were introduced in 1987. R7 Districts often encompass many *blocks*, and thus have *wide* and *narrow street* rules for each set of regulations. Since the establishment of contextual districts, the amount of the city mapped as R7 Districts has been greatly reduced. R7-1 Districts remain in many parts of the South Bronx, including Highbridge, Morris Heights, Morrisania, and Longwood, The Bronx, but can also be found in Prospect Lefferts Gardens, Brooklyn as well as Jackson Heights and Rego Park, Queens. However, R7-2 Districts can be found primarily in Manhattan, including Inwood, Washington Heights, Harlem, Two Bridges, Stuyvesant Town and the waterfront areas of the Lower East Side.



Medium Density Non-contextual Residence District

R7		FAR	Open Space Ratio	Sky Exposure Plane	DU Factor	Required Parking		
		max.	range			Basic	min.	IRHU
Height Factor	Basic	0.87-3.44	15.5-25.5	Starts at 60 ft	680	60% R7-1	50% R7-2	15% of IRHU



Harlem, Manhattan

Medium Density Non-contextual Residence District

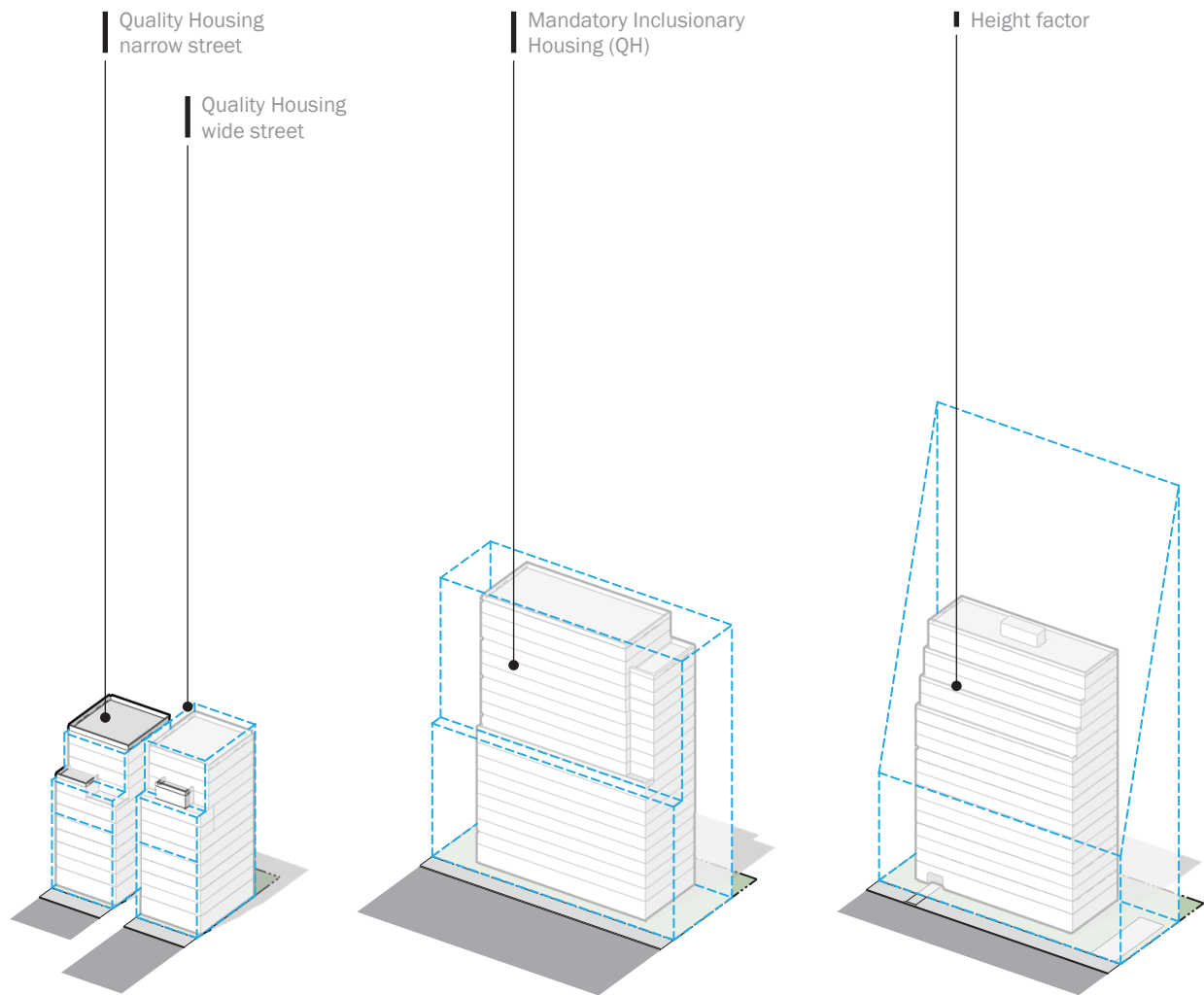
R7 QH		Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
Basic	Narrow Street	min.	min.	min.	Corner	Other Lot	max.	min.-max.	max. (w/QGF)	max. (w/QGF)	680	Basic	IRHU
	Wide Street											min.	
Mandatory Inclusionary Housing		1,700 sf	18 ft	30 ft	100%	65%	4.00	40-65 ft	75 ft	n/a	680	50% or 60% of DU	15% of IRHU
							4.60	40-75 ft	135 ft	13			



Roosevelt Island, Manhattan

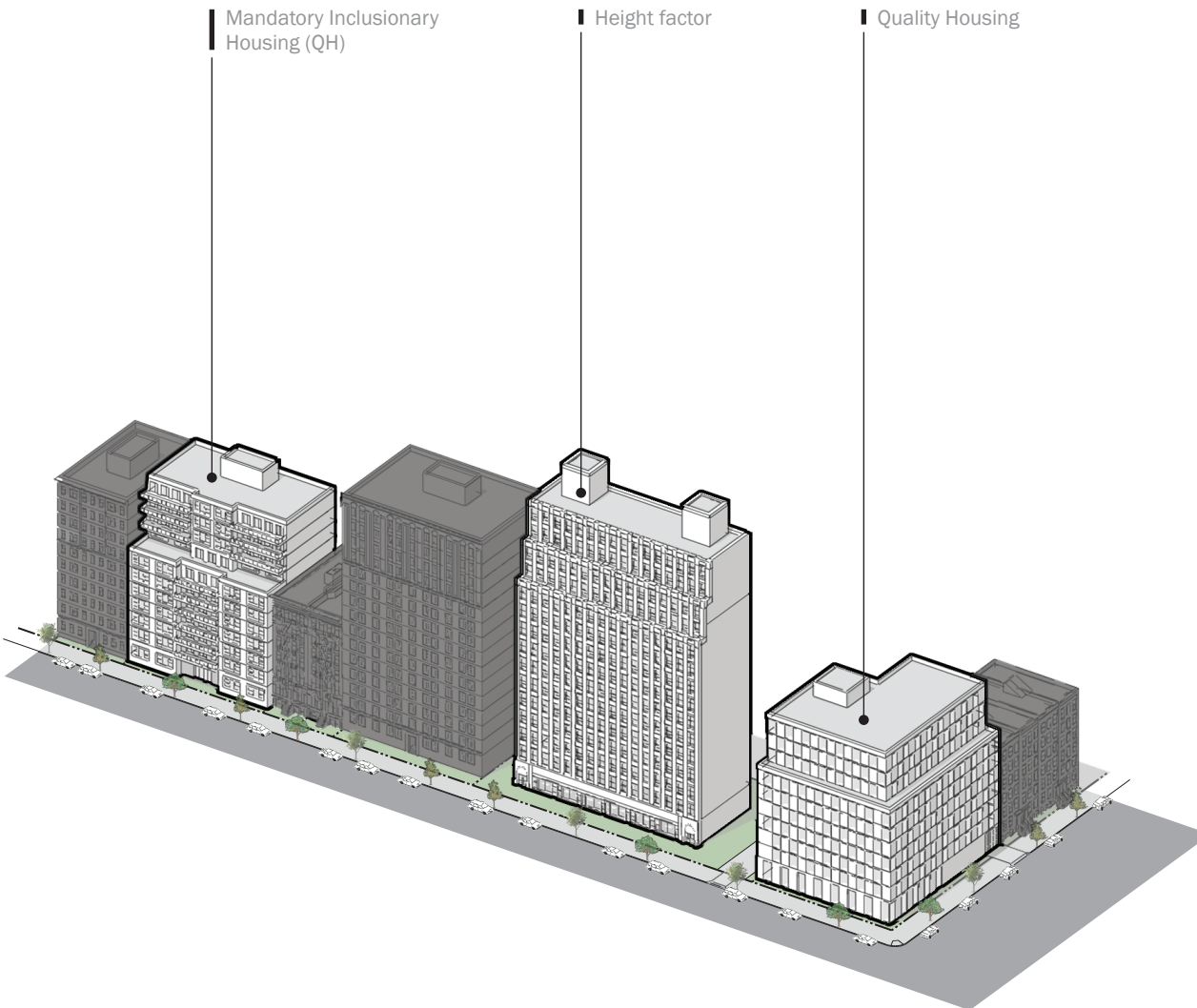
R8

R8 *non-contextual districts* are mapped in higher density areas of the city with a wide range of *building* types. In these districts, there are two sets of *bulk* regulations to choose from: the *height factor* regulations original to the 1961 Resolution, and the *Quality Housing* regulations that were introduced in 1987. R8 Districts often encompass many adjacent blocks, and thus have *wide* and *narrow street* rules for each set of regulations. Since the establishment of *contextual zoning*, the distribution of R8 Districts has been greatly reduced. They remain near the Grand Concourse, The Bronx; and in Washington Heights, Chelsea, Clinton and the Upper West Side, Manhattan.



Medium Density Non-contextual Residence District

R8		FAR	Open Space Ratio	Sky Exposure Plane	DU Factor	Required Parking	
		max.	range			Basic	IRHU
Height Factor	Basic	0.94-6.02	5.9-11.9	Starts at 85 ft	680	40% of DU	12% of IRHU
						min.	



R8



Morris Heights, The Bronx



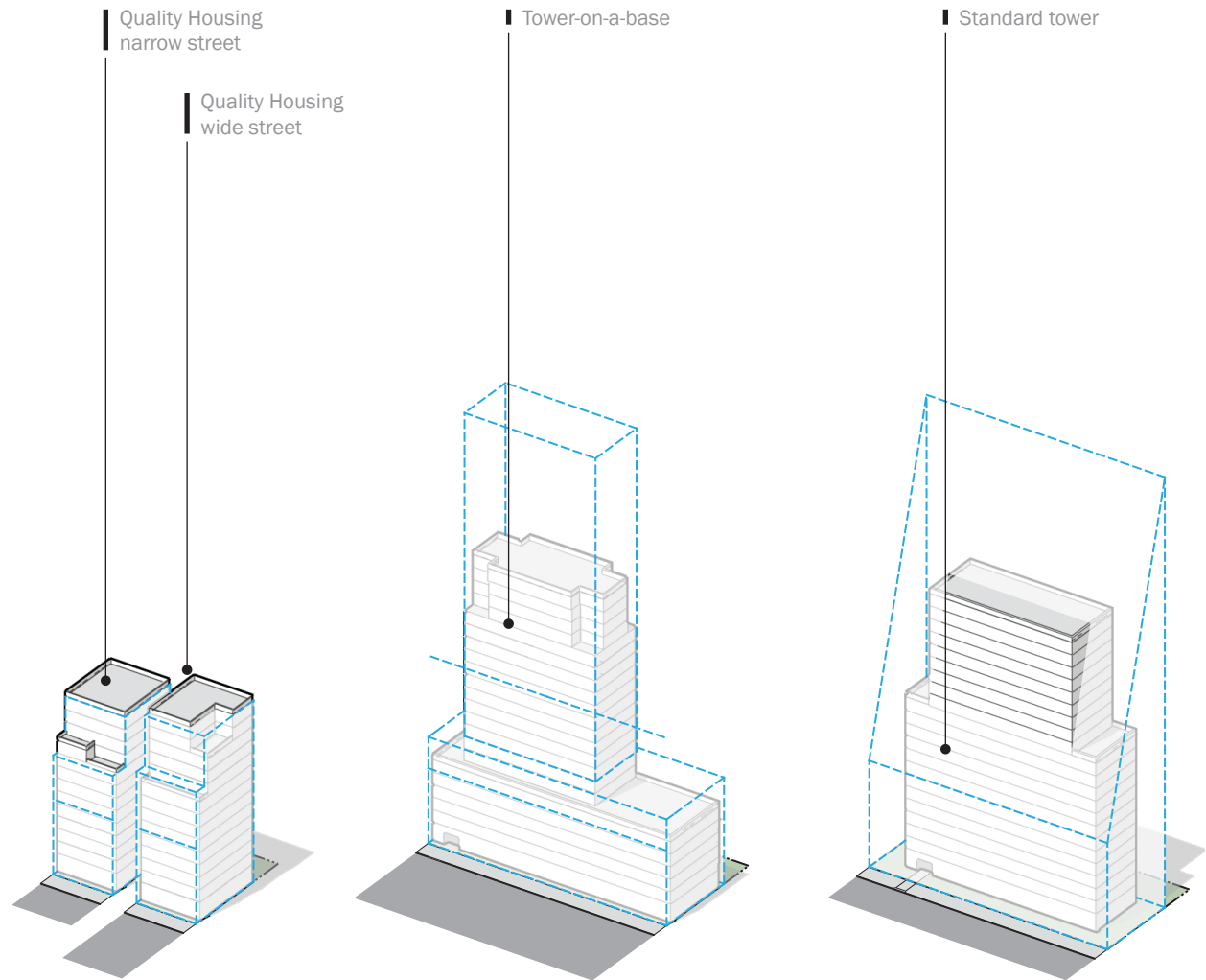
Bedford Park, The Bronx

Medium Density Non-contextual Residence District

R8 QH		Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
		min.	min.	min.	Corner	Other Lot	max.	min. – max.	max. (w/QGF)	max.(w/QGF)		Basic	IRHU
					max.							min.	
Basic	Narrow Street	1,700 sf	18 ft	30 ft	100%	65%	6.02	60-85 ft	115 ft	n/a	680	40% of DU	12% of IRHU
	Wide Street						7.20	60-95 ft	130 (135) ft	n/a (13)			
Mandatory Inclusionary Housing							7.20	60-105 ft	215 ft	21			

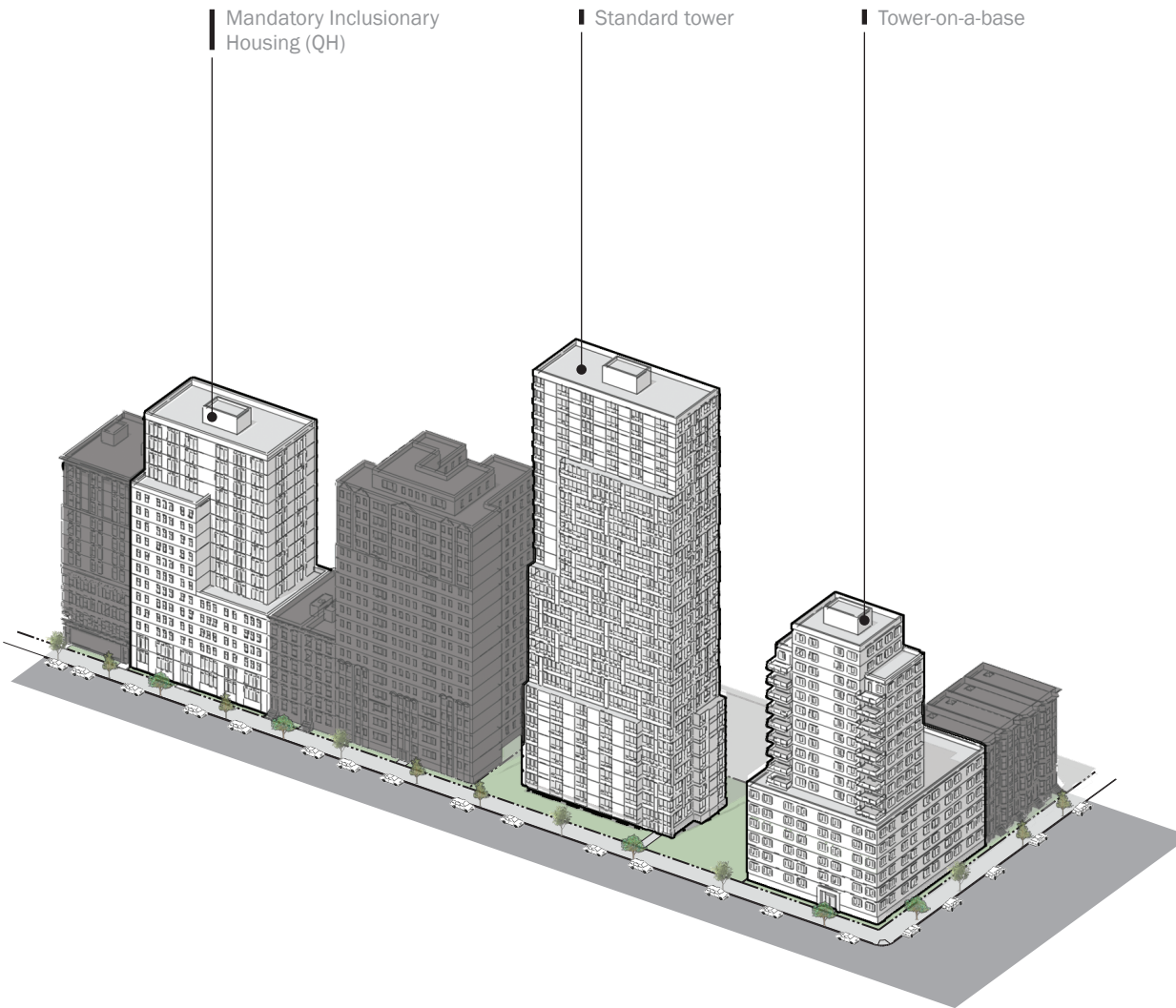
R9

R9 *non-contextual districts* are mapped in high density areas of the city with a wide range in *building* types. In these districts, there are two sets of *bulk* regulations to choose from: the basic regulations, where *towers* are permitted, and *Quality Housing* regulations that were introduced in 1987. The basic regulations are original to the 1961 Resolution, but were substantially modified in 1994 to require *tower-on-a-base* provisions for buildings on *wide streets*. Although R9 Districts were never widely mapped, their occurrence has been further reduced over time. Today R9 Districts can be found in only a few areas, including along the FDR Drive in Lenox Hill and along West 96th Street in the Upper West Side, Manhattan; and in Long Island City, Queens.



High Density Non-contextual Residence District

R9		FAR	Open Space Ratio	Lot Coverage		Base Height	Sky Exposure Plane	Tower Lot Coverage	DU Factor	Required Parking	
		max.	range	Corner	Other	min.-max.		min.-max.		Basic	IRHU
Height Factor w/ Tower Allowance	Basic	0.99-7.52	1.0-9.0	n/a		n/a	Starts at 85 ft	n/a-40%	680	40% of DU	12% of IRHU
	Tower-on-a-base	7.52	n/a	100%	70%	60-85 ft	n/a	30%-40%			
	MIH	8.00									



R9



Upper East Side, Manhattan

High Density Non-contextual Residence District

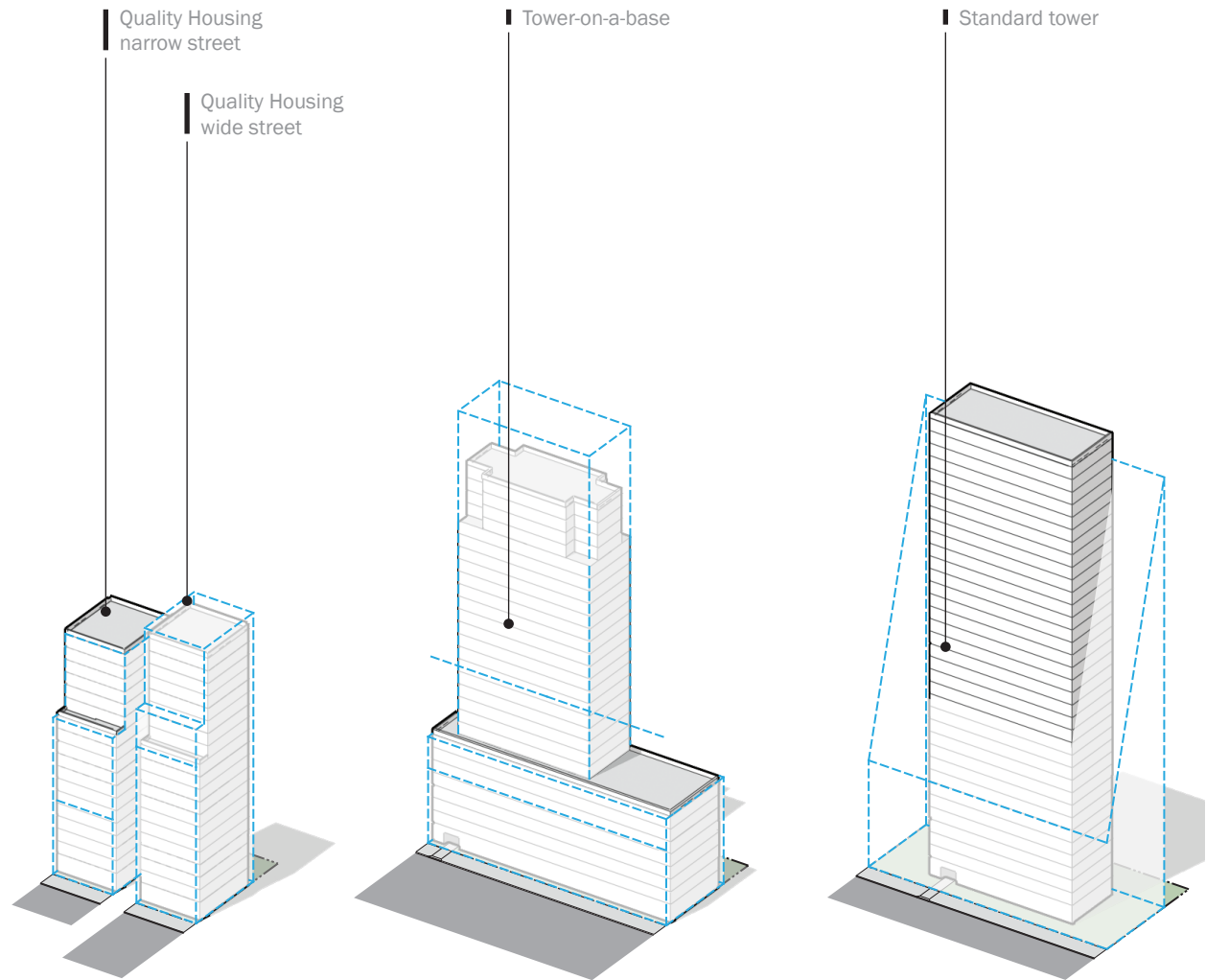
R9 QH		Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
		min.	min.	min.	Corner	Other Lot	max.	min.-max. (w/QGF)	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic	Narrow Street	1,700 sf	18 ft	30 ft	100%	70%	7.52	60-95 ft	135 ft	n/a	680	40% of DU	12% of IRHU
	Wide Street							60-105 ft	145 ft				
Mandatory Inclusionary Housing	Narrow Street						8.00	60-125 ft	160 (165) ft	16			
	Wide Street								170 (175) ft	17			



Hell's Kitchen, Manhattan

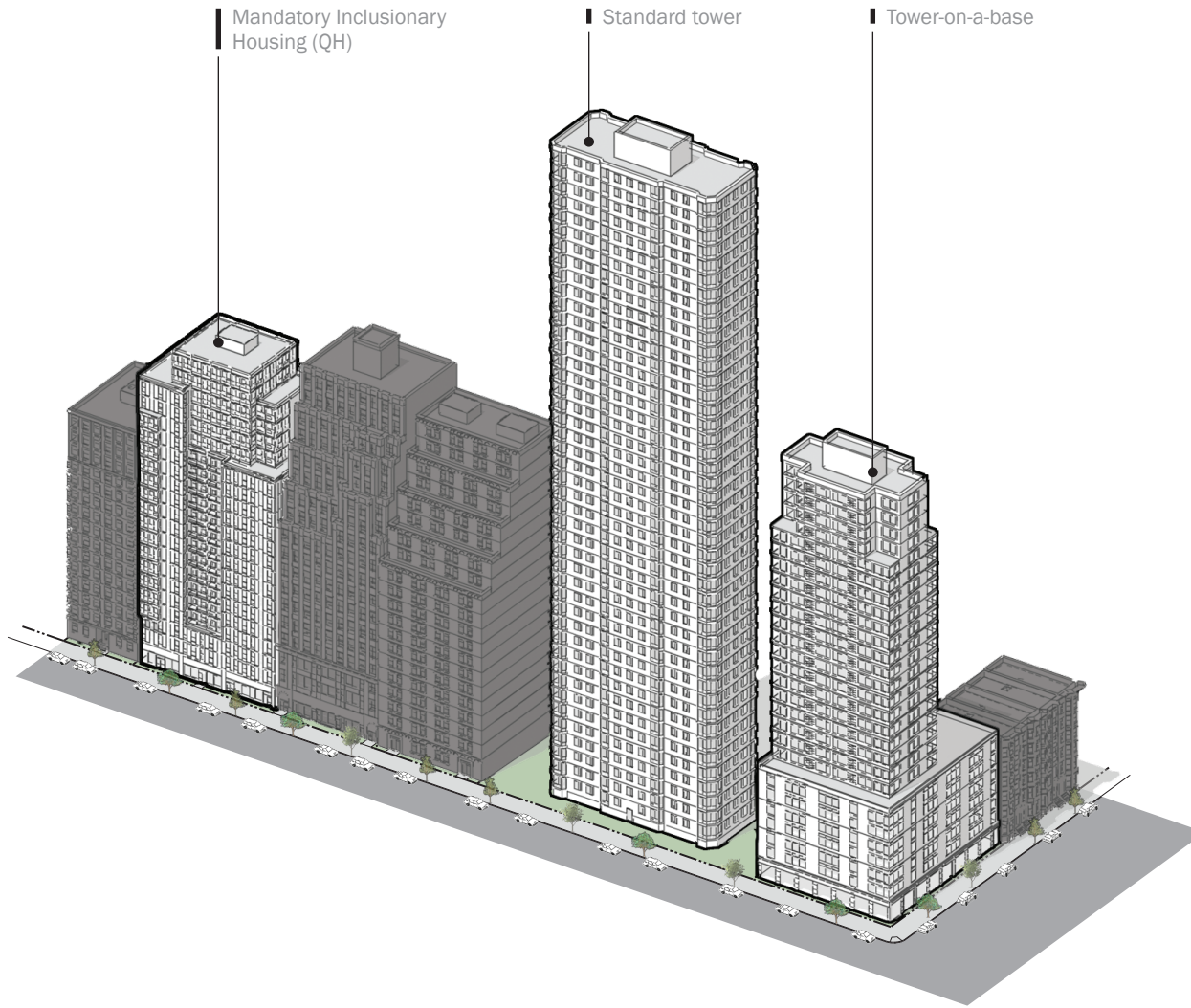
R10

R10 *non-contextual districts* are mapped, in high density areas of the city, with a wide range in *building* types. In these districts, there are two sets of *bulk* regulations to choose from: the basic regulations, where *towers* are permitted, and the *Quality Housing* regulations that were introduced in 1987. The basic regulations are original to the 1961 Resolution, but were substantially modified in 1994 to require *tower-on-a-base* provisions for buildings on *wide streets*. Since the establishment of *contextual zoning*, the distribution of R10 Districts has been reduced, as contextual districts have been mapped in their place. However, R10 Districts still remain in a few locations in Manhattan, including Midtown East, along York Avenue in the Upper East Side and along Riverside Boulevard in the Upper West Side.



High Density Non-contextual Residence District

R10		FAR	Open Space Ratio	Lot Coverage		Base Height	Sky Exposure Plane	Tower Lot Coverage	DU Factor	Required Parking	
		max.	range	Corner	Other	min.-max.		min.-max.		Basic	IRHU
Standard Tower	Basic	10.00	n/a	n/a		n/a	Starts at 85 ft	n/a-40%	680	40% of DU	12% of IRHU
	MIH	12.00		100%	70%	60-85 ft	n/a	30%-40%			



High Density Non-contextual Residence District

R10 QH		Lot Area	Lot Width	Rear Yard	Lot Coverage		FAR	Base Height	Building Height	# of Stories	DU Factor	Required Parking	
		min.	min.	min.	Corner	Other Lot	max.	min.-max.	max. (w/QGF)	max. (w/QGF)		Basic	IRHU
Basic	Narrow Street	1,700 sf	18 ft	30 ft	100%	70%	10.00	60-125 ft	185 ft	n/a (21)	680	40% of DU	12% of IRHU
	Wide Street							125-155 ft	200 (215) ft				
Mandatory Inclusionary Housing	Narrow Street	1,700 sf	18 ft	30 ft	100%	70%	12.00	60-155 ft	210 (215) ft	21	680	40% of DU	12% of IRHU
	Wide Street							125-155 ft	230 (235) ft	23			



Upper East Side, Manhattan

R6-R10 Contextual Districts

Use			R6A	R6B	R7A	R7B	R7D	R7X	R8A	R8B	R8X	R9A	R9D	R9X	R10A	R10X	
Single-family	Detached	Use Group 1	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Single and Two-family	All	Use Group 2	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Multi-family																	
Community Facility		Use Groups 3, 4	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Bulk																	
Lot Area (min.)		All	1,700 sf														
Lot Width (min.)		All	18 ft														
Rear Yard (min.)		All	30 ft														
		Corner Lot	100%														
Lot Coverage (max.)	Other Lot	Narrow Street	65%	60%	65%			70%									
		Wide Street															
Residential FAR	Basic	Narrow Street	3.00	2.00	4.00	3.00	4.20	5.00	6.02	4.00	6.02	7.52	9.00		10.00		
		Wide Street															
		MIH/VIH	Narrow Street	3.60	2.20	4.60	n/a	5.60	6.00/ 5.00	7.20	n/a	7.20	8.50	10.00	9.70	12.00	
	Wide Street																
Community Facility FAR			3.00	2.00	4.00	3.00	4.20	5.00	6.50	4.00	6.00	7.50	9.00		10.00		
Base Height (min.-max.)	Basic (w/QGF)	Narrow Street	40-60 ft (65ft)	30-40 ft (45 ft)	40-65 ft (75 ft)	40-65 ft	60-85 ft	60-85 ft (95 ft)	60-85 ft (95 ft)	55-65 ft	60-85 ft (95 ft)	60-95 ft	60-85 ft or 15-25ft (if facing elevated rail)	60-120 ft (125 ft)	60-125 ft	60-85 ft	
		Wide Street												105-120 ft (125 ft)	125-155 ft		
Outside Manhattan	Core	Narrow Street	40-65 ft	30-40 ft (45 ft)	40-75 ft	n/a	60-95 ft	60-105 ft/ 60-85 ft (95 ft)	60-105 ft	n/a	60-105 ft	60-125 ft		60-145 ft	60-155 ft		
Wide Street		105-145 ft												125-155 ft			
Building Height (max.)	Standard (w/QGF)	Narrow Street	70 ft (75 ft)	50 ft (55 ft)	80 ft (85 ft)	75 ft	100 ft (105 ft)	120 ft (125 ft)	120 ft (125 ft)	75 ft	150 ft (155 ft)	135 ft	n/a	160 ft (165 ft)	185 ft	n/a	
		Wide Street												170 ft (175 ft)	210 ft (215 ft)		
	Outside Manhattan	Core	Narrow Street	80 ft (85 ft)	50 ft (55 ft)	90 ft (95 ft)	n/a	110 ft (115 ft)	140 ft (145 ft)/ 120 ft (125 ft)	140 ft (145 ft)	n/a	170 ft (175 ft)		160 ft (165 ft)	190 ft (195 ft)		210 ft (215 ft)
Wide Street	200 ft (205 ft)		230 ft (235 ft)														
Number of Stories (max.)	Standard (w/QGF)	Narrow Street	n/a (7)	n/a (5)	n/a (8)	n/a	n/a (10)	n/a (12)	n/a (12)	n/a	n/a (15)	n/a	n/a	n/a (16)	n/a	n/a	
		Wide Street												n/a (17)	n/a (21)		
		MIH/VIH	Narrow Street	8	n/a (5)	9	n/a	11	14 / n/a (12)	14	n/a	17		16	19		21
	Wide Street	20	23														
Tower Lot Coverage (min.-max.)			n/a										33-40%		n/a		33-40%
Dwelling Unit Factor		All	680														
Parking																	
General (min. % of DU)	for Group Parking Facilities		50%						40%	50%	40%						
	IRHU—outside Transit Zone		25%		15%	25%	15%	12%	15%	12%							
Reduced and Waived Requirements (min. % of DU)	AIRS—outside Transit Zone		10%														
	IRHU/AIRS—inside Transit Zone		0%														
	Small Lot	10,000 sf or less	50%	30%	50%	30%	0%	n/a	0%								
		10,000-15,000 sf	n/a						20%	n/a	20%						
waived if small no. of spaces			5	15	5	15											

R6-R10 Non-contextual Districts (Quality Housing)

Use			R6 QH	R7 QH		R8 QH	R9 QH	R10 QH
Single-family	Detached	Use Group 1	•	•	•	•	•	•
Single and Two-family Multi-family	All	Use Group 2	•	•	•	•	•	•
Community Facility	Use Groups 3, 4		•	•	•	•	•	•
Bulk								
Lot Area (min.)		All	1,700 sf					
Lot Width (min.)		All	18 ft					
Rear Yard (min.)		All	30 ft					
Lot Coverage (max.)	Corner Lot		100%					
	Other Lot	Narrow Street Wide Street	60% 65%	65%		70%		
Residential FAR	Standard	Narrow Street Wide Street	2.20 3.60	3.44 4.00		6.02 7.20	7.52	10.00
	MIH	Narrow/Wide Street	3.60	4.60		7.20	8.00	12.00
	Community Facility FAR			4.80	4.80	6.50	6.50	10.00
Base Height (min.-max.)	Standard	Narrow Street Wide Street	30-45 ft 40-65 ft	40-65 ft 40-75 ft		60-85 ft 60-95 ft	60-95 ft 60-105 ft	60/125 ft 125-155 ft
	Outside Manhattan Core	MIH / VIH	Narrow Street Wide Street	30-45 ft 40-65 ft		40-65 ft 40-75 ft	60-105 ft 60-125 ft	60-155 ft 125-155 ft
Building Height (max.)	Standard	Narrow Street	55 ft	75 ft		115 ft	135 ft	185 ft
	(w/QGF)	Wide Street	70ft (75 ft)	80 ft (85 ft)		130 ft (135 ft)	145 ft	210 ft
	Outside Manhattan Core	MIH (w/ QGF)	Narrow Street Wide Street	80 ft (85 ft) 100 ft (105 ft)		215 ft	160 ft (165 ft) 170 ft (175 ft)	210 ft (215 ft) 230 ft (235 ft)
	VIH (w/ QGF)	Narrow Street Wide Street	55 ft 80 ft (85 ft)		75 ft 100 ft (105 ft)	140 ft (145 ft)	160 ft (165 ft) 170 ft (175 ft)	210 ft (215 ft) 230 ft (235 ft)
Number of Stories (max.)	Standard	Narrow Street	n/a	n/a		n/a	n/a	21
	(w/QGF)	Wide Street	n/a (7)	n/a (8)		n/a (13)		
	MIH (w/ QGF)	Narrow Street Wide Street	8	13		14	16 17	21 23
	VIH (w/ QGF)	Narrow Street Wide Street	n/a n/a (8)	n/a 8		21	16 17	21 23
Tower Lot Coverage (min.-max.)			n/a					
Dwelling Unit Factor		All	680					
Parking								
General (min. % of DU)	for Group Parking Facilities		50%			40%		
Reduced and Waived Requirements (min. % of DU)	IRHU—outside Transit Zone		25%	15%		12%		
	AIRS—outside Transit Zone		10%					
	IRHU/AIRS—inside Transit Zone		0%					
	Small Lot	10,000 sf or less	50%		0%			
		10,000-15,000 sf	n/a		30%	20%		
waived if small no. of spaces			5	5 (15)	15			

R6-R10 Non-contextual Districts (Height Factor and Tower)

Use			R6 HF	R7 HF		R8 HF	R9		R10	
Single-family	Detached	Use Group 1	•	•		•	•		•	
Single and Two-family	All	Use Group 2	•	•	•	•	•	•	•	•
Multi-family										
Community Facility	Use Groups 3, 4		•	•		•	•		•	
Bulk										
Lot Area (min.)		All	1,700 sf							
Lot Width (min.)		All	18 ft							
Rear Yard (min.)		All	30 ft							
Residential FAR		Standard MIH	0.78- 2.43	0.87-3.44		0.95- 6.02	0.99- 7.52	7.52 8	10 10	12
Community Facility FAR			4.8	4.8	6.5	6.5	10			
Sky Exposure Plane begins at:		60 ft				85 ft				
Tower Lot Coverage (min.-max.)		n/a					n/a- 40%	30- 40%	n/a- 40%	30- 40%
Dwelling Unit Factor		All	680							
Parking										
General (min. % of DU)		for Group Parking Facilities	70%	60%	50%	40%				
		IRHU (outside Transit Zone)	25%	15%		12%				
Reduced and Waived		AIRS (outside Transit Zone)	10%							
Requirements	Small Lot	10,000 sf or less	50%	30%	0%					
(min. % of DU)	Area (sf)	10,000-15,000	n/a		30%	20%				
		if required small no. of spaces	5		15					

All R6-R10 Districts

Streetscape	
Street Trees (min.)	
All Contextual Districts	Shall be provided within a planting strip for every 25 ft of street frontage
All Non-contextual Districts	
Planting (min.)	
All Contextual Districts	Area between street line and building street wall shall be planted at ground level or in raised planting beds
All Non-contextual (QH Option) Districts	

Streetscape			
Street Wall Location Provision			
Contextual Districts			
R6B, R7B, R8B		Lot < 50 ft	no closer nor further
		Lot > 50 ft	
R6A, R7A, R7D, R7X, R9D		All	no closer than adjacent street wall
Non-contextual Districts (QH Option)			
R6, R7	Narrow street	Lot < 50 ft	no closer nor further
		Lot > 50 ft	no closer than
	Wide street	All	adjacent street wall
R8, R9,	All within 50 ft of wide st		70% within 8 ft
R10	Narrow st beyond 50 ft of wide		70% within 15 ft
Non-contextual Districts (HF and Tower Options)			