



The City of New York

# Manhattan Community Board 1

## Monthly Board Meeting

Tuesday, September 27, 2016

6:00 PM

Lower Manhattan HQ

150 Broadway

(Photo ID is required to enter building)

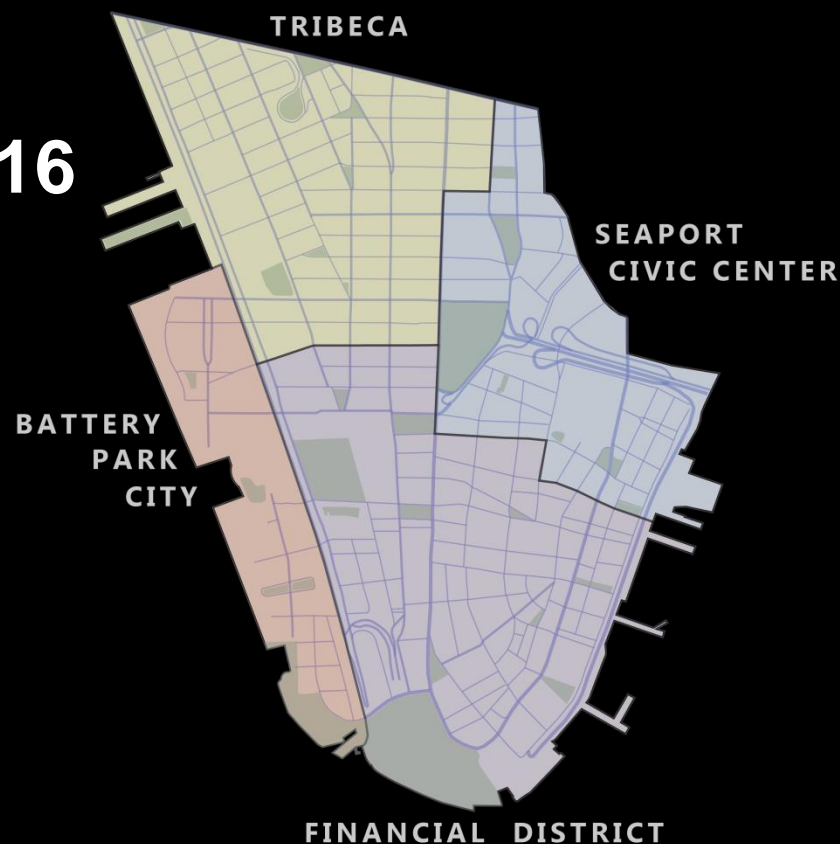
Anthony Notaro, Chairperson

Noah Pfefferblit, District Manager

Lucy Acevedo, Community Coordinator

Diana Switaj, Director of Planning and Land Use

Michael Levine, Planning Consultant



# CB1's OFFICE CONTACT

Manhattan Community Board 1  
1 Centre Street, Room 2202 North  
New York, NY 10007  
Tel: (212) 669-7970  
Fax: (212) 669-7899

Website:

<http://www.nyc.gov/html/mancb1/html/home/home.shtml>

Email: [Man01@cb.nyc.gov](mailto:Man01@cb.nyc.gov)



# Manhattan Community Board 1

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## Public Session

Comments by members of the public (6 PM to 7 PM)

(Please limit to 1-2 minutes per speaker, to allow everyone to voice their opinions)

# Manhattan Community Board 1

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## **Conflict of Interest Board Training for Community Board Members**

Robert Casimir, Senior Trainer, NYC Conflicts of Interest Board

# Manhattan Community Board 1

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## Business Session

- Adoption of July 2016 minutes
- Chairperson's Report – A. Notaro
- District Manager's Report – N. Pfefferblit

**Lower Manhattan Construction Coordination Meeting #736**

Next Meeting August 30, 2016 Time: 9:00 AM Location: 59 Maiden Lane, 37<sup>th</sup> Floor, Large Conference Room

Minutes by: Audrey Jackman [ajackman@dot.nyc.gov](mailto:ajackman@dot.nyc.gov)

Attendees: [Not all attendees are present at all time during the meeting]

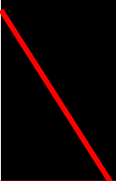
L. Sanchez- CDOT	B Gash – 161 Maiden Lane	Y. Levine – 49 Chambers St	W. Wong – DDC
F. Hrubes- CDOT	J. Cioffi- Con Ed	L. Mauro – DPR	T. Garone – 161 Maiden Lane
A. Jackman - CDOT	C. Klimmek – Con Ed	P. Lo – 70 East Broadway	B. Sosa – 180 Water St
X. Aguilera- CDOT	S. Blatt- 6 Water/100+133	C. Dillierio – 83 Walker St	A. Giacomis – 246 Front St
C. Romanow - CDOT	D. Pearl – 11 Beach St	J. Sproul – 91 Leonard/351-355 Bway	S. Dzaferovic – 250 South St
A. Moro - CDOT	J. Rosario – 11 Fulton	T. Mile – 93 Reade St	J. Gillum – 261 – Hudson St
J. Rist - PANYNJ	M. Maisano – 24 John St	R. Forbes – 99 Church St	R. Wohler – 361 Broadway
E. Rundhovde - Haks/ Bwy Ph. 1	H. Kebelli – 24 Leonard St	J. Rifice – 99 Wall St	J. Little – 372 Broadway
D. Rajput - DDC/ Bwy Ph. 1	J. Loria – 40 Peck Slip	G. Fortino – 110 Wall St	S. Perez – 388 Greenwich St
B. Kiebaur - DDC/ Forsyth Plaza	J. Hart – 45 E. 22 <sup>nd</sup> St	J. Pollice – 111 Murray St	S. Liinnane – 388 Greenwich St
T. Buckley - STV/ DDC WTC	G. McCoy – 45 Park Place	S. O’Flaherty – 118 Fulton St	S. Connelly – 407 Greenwich
J. Colaizzi – NYCDOT Special Event	J. Mascoll – 45 Park Place	N. Papageorge – 125 Grnwch/22 Thames	B. Sosa – 443 Greenwich St
D. Peeples - DOB	Y. Levine – 49-51 Chambers	P. Foschi -133 Greenwich	J. Henry – 460 Washington St
J. Wolterding - ADNY	J. McCormick – 50 West St	D. Neofittidis – 133 Greenwich	L. Gori – 529 Broadway
P. Cagnini - Con Ed	L. Garcia – 56 Fulton St	S. Trovello – 140 West St	G. Caceres – NYCDOT BK
R. Mitchell – NYCEDC – East River	N. Nicholas – 56 Leonard St	N. Losgar – 151 Maiden Lane	C. Jackson – NYCEDC – East
Salder G. – 60 Hudson St	F. Hussey – WTC T3 + T4	J. Grimshaw – 60 Hudson	B. Kramer – 161 Maiden

# Lower Manhattan Construction Coordination Minutes

- ❖ The NEXT LMCC meeting will be held on **TUESDAY, 8/30/16** at 59 Maiden Lane 37<sup>th</sup> floor, Large Conference Room.
- ❖ All projects reps must sign-in and must ensure that all email addresses and phone numbers are annotated correctly on sign in sheet. The schedule will be as progression, if your project falls between the pages:  
 1 thru 3 your presence is required at 9:00 Am to 9:30 Am  
 4 thru 6 your presence is required at 9:30 Am to 10:00 Am  
 7 thru 9 your presence is required at 10:00 Am to 10:30 Am.  
 Except all utilities which will be present through all meetings.

<b>1WTC and South Adjacent Street</b>			
<b>PA WTC Site</b>	Item/ ID: I.289.1 (P)		Resp: PA
a)	VSC -Phase 2 (Bus Parking) > 1Q 2017; Phase 3 (Helix) - Operational to Roadway from Helix > TBD - Completion > 2017.		
b)	Flood Mitigation at Tower 1 on going till the end of 8/2016. Possible extension if needed.		
<b>PATH Hub/ Oculus</b>	Item/ ID: I.289.1 (P)		Resp: PA
Phase 1 opening 2Q/2016; 3 Phase Completion 4/2016;> final completion > 12/2016			
a)	Removal of temporary Path Station on going.		
<b>WTC Campus Security Barriers</b>	Item/ ID: I.620.1 (P)	Stips: M15’L/ Greenwich	Resp: PA

I.	<b>Cedar St (9A &gt; Washington) –</b> Near complete; ongoing work inside fence; Remaining sidewalk from west property line of Club Quarters hotel to West St. Open the end of 4 <sup>th</sup> Qtr.		
II.	<b>West St –Washington St:</b> paving TBA. Pave intersection of Greenwich St & Fulton St		
III.	<b>Church St (West Side) (Vesey &gt; Dey);</b> Stop sign installed at Greenwich St @ Fulton St.		
IV.	<b>West St (East Side Sidewalks, Curbs &amp; Bollards) -</b> Curbs & bollards > done; Sidewalks > end of Q2 2016. Overhead façade work End of October 2016. Signal on West St is malfunctioning. CDOT investigated ownership for repair of signal is at the responsibility of NYS DOT. Façade work, stairs and glass panels to start. WTC truck staging signs removed by Rector Street.		
V.	<b>Path outage:</b> Shuttle bus service to be furnished for commuters. Pavement plan around T4 to begin 8/2016.		
VI.	<b>Cortlandt Way-Door replacment</b> will occupy 2ft of walkway for fence still on going.		



**1WTC and South Adjacent Street**

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Manhattan Youth's 30th Birthday Party Saturday, September 24<sup>th</sup>, 2016



lower manhattan  
**COASTAL RESILIENCY**

# Protect, Connect, and Strengthen Your Neighborhood!

We're repeating our July 28th workshop to make sure everyone has an opportunity to participate in this project.

New York City is continuing to advance waterfront improvements to protect against coastal flooding and we need your help!

- + Share your ideas for the waterfront
- + Let us know your top priorities and concerns
- + Receive updates about progress and opportunities to get involved

**NYC** Mayor's Office of  
Recovery and Resiliency



Bill de Blasio, Mayor

@NYClimate

#OneNYC



**JOIN US!**  
If you missed  
the July 28th  
workshop, here's  
your second  
chance!

**Thursday,  
October 6, 2016**

**6 - 8 PM**  
doors open at 5:30 PM

**Community Center at  
6 River Terrace** ♿

*Across from the Irish Hunger Memorial,  
Battery Park City*

This meeting will focus on the waterfront  
from the Brooklyn Bridge to the North end  
of Battery Park City

For a summary of the July 28 workshop and  
to learn more about the Lower Manhattan  
Coastal Resiliency (LMCR) Project:

[www.nyc.gov/lmcr](http://www.nyc.gov/lmcr)

**ALL ARE WELCOME!**  
Childcare, translation (Cantonese, Mandarin,  
Spanish), and a light meal will be provided.

♿ 6 River Terrace is wheelchair accessible. To request  
other accommodations, please contact Rachel Finkelstein  
at [RFinkelstein@cityhall.nyc.gov](mailto:RFinkelstein@cityhall.nyc.gov) or 212-676-3150 at least  
48 hours in advance.



# Manhattan Community Board 1

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## Old Business

- 1) 28 Liberty Street/Chase Plaza Deed Restriction Modification – Resolution



# 28 Liberty Street

Adaptive Reuse

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July 6, 2016

SUMMIT GLORY LLC  
A subsidiary of Fosun International Group

**FOSUN** 复星

28.01

# 28 Liberty Street/Chase Plaza Deed Restriction Modification

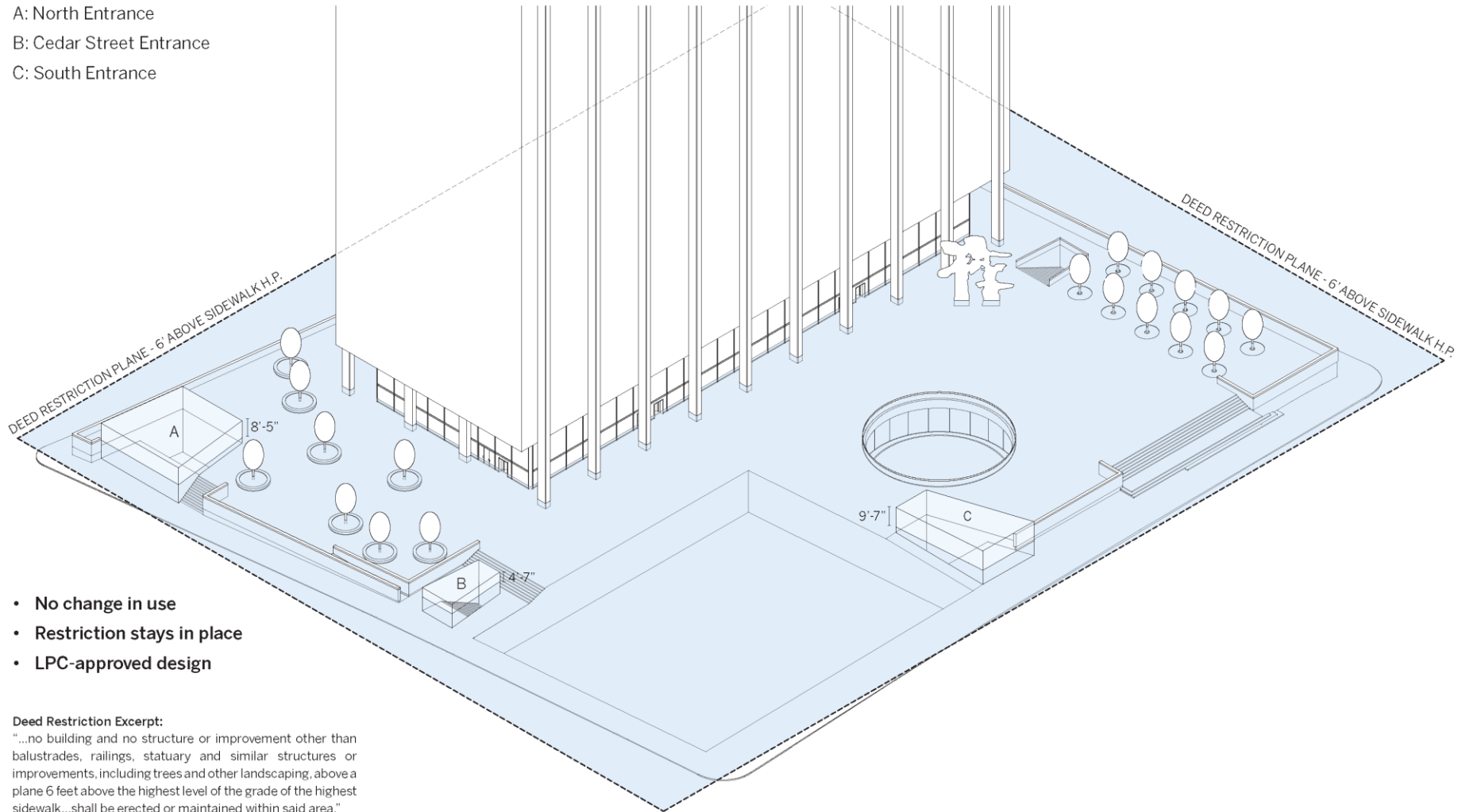
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- Built prior to 1961 Zoning Resolution and establishment of Landmarks Preservation Commission
- Plaza is private, not public or privately owned public space (POPS)
- Pavilions will provide access to 200,000 square feet of retail space at ground floor, B1, B2 & B3 levels
- Chase will occupy B4 & B5 levels but possibility of becoming additional retail in the future, bringing total retail square footage around 300,000 square feet
- Currently can only access ground level from plaza. Can only access basement levels through core building.

<b>AGENCY</b>	<b>DATE</b>	<b>STATUS</b>
Community Board 1 - Landmarks Committee	March 12, 2015	APPROVED
Community Board 1 - Full Board	March 24, 2015	APPROVED
Community Board 1 - Financial District Committee	May 6, 2015	COURTESY REVIEW
NYC Landmarks Preservation Commission	August 5, 2015	APPROVED
NYC Board of Standards and Appeals	October 30, 2015	APPROVED
Community Board 1 - Financial District Committee	May 4, 2016	COURTESY REVIEW
Community Board 1 - Landmarks Committee	June 9, 2016	COURTESY REVIEW

# Deed Restriction: Height Limiting Plane

- A: North Entrance
- B: Cedar Street Entrance
- C: South Entrance



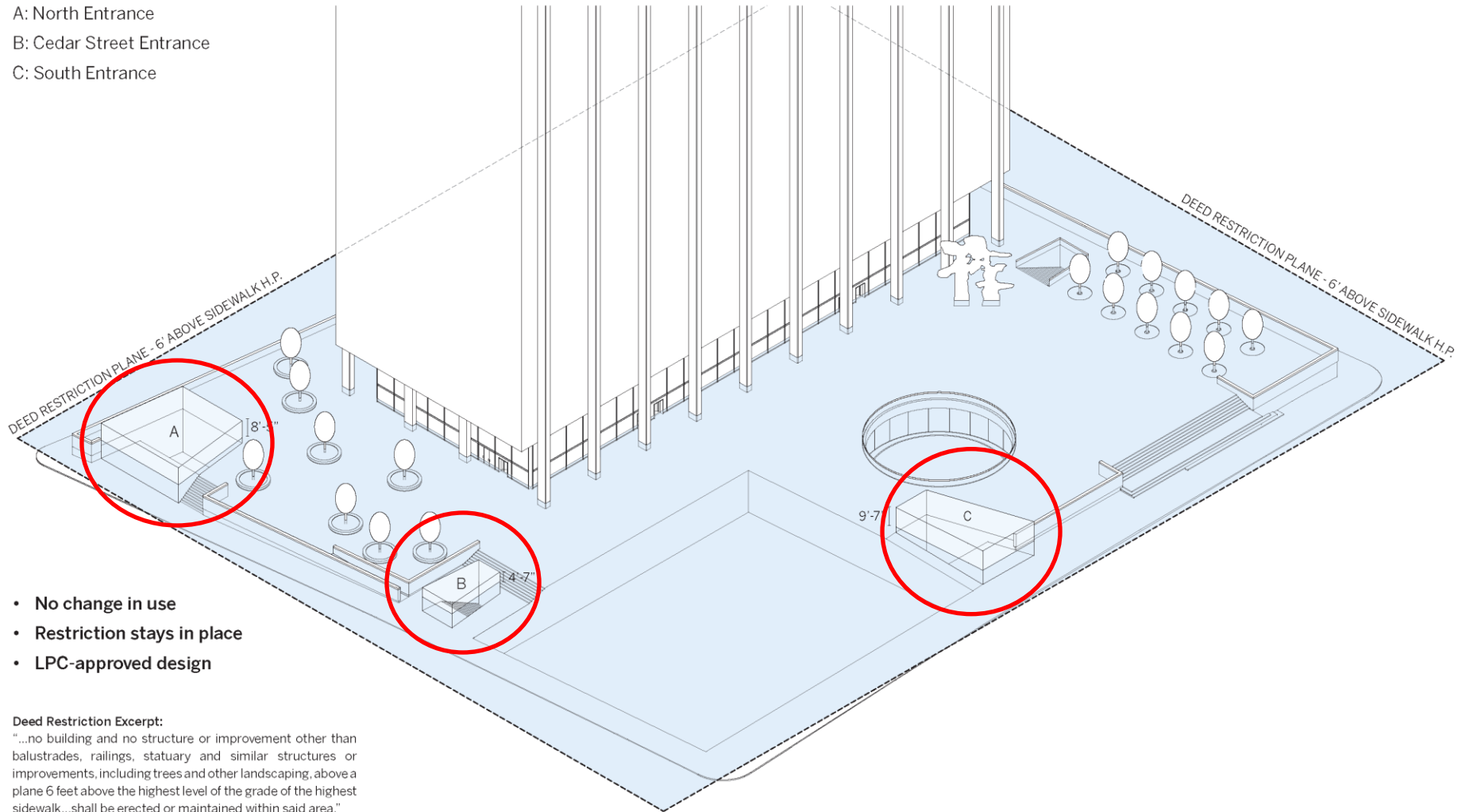
- No change in use
- Restriction stays in place
- LPC-approved design

## Deed Restriction Excerpt:

"...no building and no structure or improvement other than balustrades, railings, statuary and similar structures or improvements, including trees and other landscaping, above a plane 6 feet above the highest level of the grade of the highest sidewalk...shall be erected or maintained within said area."

# Deed Restriction: Height Limiting Plane

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# CB1 Full Board Approval Resolution (March 24, 2015)

“...additional plaza and  
concourse level access points  
are a welcome addition...”

CB1 stipulations since addressed:

✓ “the plaza parapet...should  
be restored to its original  
materiality and function”

✓ “ensure that radiant light  
[from storefronts] is not  
oppressive to nearby  
residents”

✓ “implement details from  
the original design into  
storefront and plaza  
finishes including the  
parapet”

COMMUNITY BOARD #1 – MANHATTAN  
RESOLUTION

DATE: MARCH 24, 2015

COMMITTEE OF ORIGIN: LANDMARKS

COMMITTEE VOTE: 9 In Favor 0 Opposed 0 Abstained 0 Recused  
BOARD VOTE: 35 In Favor 1 Opposed 0 Abstained 0 Recused

RE: 28 Liberty Street, AKA 1 Chase Manhattan Plaza, application for alterations to the plaza and storefronts, including the creation of new entrances at sidewalks and plaza levels and alterations to the building’s lobby and plaza finishes.

WHEREAS: This application is for alterations to an individual New York City landmark building and public plaza, built in 1964 by Skidmore Owens and Merrill (SOM), encompassing three-quarters of a Lower Manhattan block, and a particularly fine example of modern urban office building architecture and public space design, and

WHEREAS: The proposed new concourse entry along Liberty Street is an improvement to the current steep stairs, and additional plaza and concourse level access points are a welcome addition as long as they do not take away from the strong plaza perimeter, and

WHEREAS: The proposed new building lobby entrance doors (two new sets of doors on Liberty Street, one new set of doors on Nassau Street and one new set of doors on William Street) fit within the original bay widths, use the original storefront details, match the adjacent storefront details and are appropriate, and

WHEREAS: The removal of all the existing non-original planters and their replacement with planters and planter positioning that follow the original architect’s details and plaza plans is appropriate, and

WHEREAS: The removal of the monolithic black granite around 80% of the plaza’s perimeter and replacement with new storefront assemblies to match the original details of the tower building are appropriate, and

WHEREAS: The proposal for the new plaza parapet does not maintain the design intent of the plaza’s original monolithic stout perimeter which created a strong delineation between plaza above and street below. The proposed glass railing and thin hand blurs the line between plaza and street and should therefore be redesigned and restored to its original heavy materiality and modernist function, and

WHEREAS: Despite the fact that the current plaza artworks by two of the twentieth century’s greatest artists create a strong sense of place in the public space, the proposed third “place-holder” sculpture as presented does not give CB1 enough information to approve such an installation and CB1 therefore requests that the applicant return to CB1 to re-present the actual sculpture design and placement in the plaza, and

WHEREAS: The proposed signage design is appropriately modern in its absence of large plastic backlit corporate logos, concealed connections and simple text-based stainless steel design, and

WHEREAS: The proposed tower lobby ceiling and soffit lighting is an improvement on the current non-original lobby lights and general plaza illumination. The proposed ceiling creates a uniform glow that will be visible from the street, will help illuminate the plaza (eliminating the need for light poles on the plaza) and its reference to the original grid of the lobby ceiling make it an appropriate solution, and

WHEREAS: The proposed illumination of the lobby ceiling extending outdoors to the building’s modernist cornice will vivify the lobby and plaza and is a brilliant reflection of Skidmore, Owings and Merrill’s interior and exterior landmark Manufacturers Hanover Trust building at 5th Avenue and 43rd street, and

WHEREAS: Some on the committee asked that safeguards be put into place to insure that the radiant light is not oppressive to nearby residents, now

THEREFORE  
BE IT  
RESOLVED  
THAT: CB1 recommends that the Landmarks Preservation Commission approve this proposal with the exception of the plaza parapet, and

BE IT  
FURTHER  
RESOLVED  
THAT: CB 1 requests that, wherever possible, SOM research its rich catalog of details for 1 Chase Manhattan Plaza to implement details from the original design into all new storefront and plaza finishes including the parapet, and

BE IT  
FURTHER  
RESOLVED  
THAT: Safeguards be put into place to ensure that the radiant light is not oppressive to nearby residents.

# South Entrance

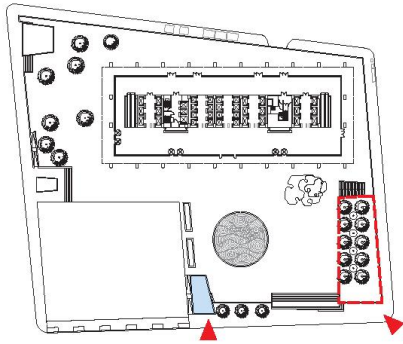
## March 24, 2015 CB1 Full Board Approved Design

Total Area: 5,137 SF  
Total Height at Entrance: 21'-8"  
Total Glass Storefront: 168 Linear Feet



## August 5, 2015 LPC Approved Design

Total Area: 1,276 SF (3,861 SF less than March 24<sup>th</sup> pavilion)  
Total Height at Entrance: 16'-2" (4'-6" less than March 24<sup>th</sup> pavilion)  
Total Glass Storefront: 43 Linear Feet (124' less than March 24<sup>th</sup> pavilion)





# North Entrance

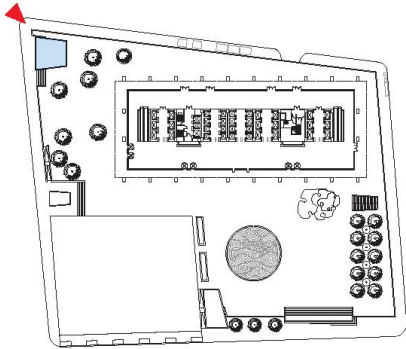
## March 24, 2015 CB1 Full Board Approved View

Total Area: 2,846 SF  
Total Height at Entrance: 20'-8"  
Total Glass Storefront: 116 Linear Feet



## August 5, 2015 LPC Approved View

Total Area: 1,822 SF (1,025 SF less than March 24<sup>th</sup> pavilion)  
Total Height at Entrance: 17'-2" (3'-6" less than March 24<sup>th</sup> pavilion)  
Total Glass Storefront: 46 Linear Feet (70' less than March 24<sup>th</sup> pavilion)



# Cedar Street Entrance (no change from March 24<sup>th</sup>)

28 Liberty Street  
July 6, 2016

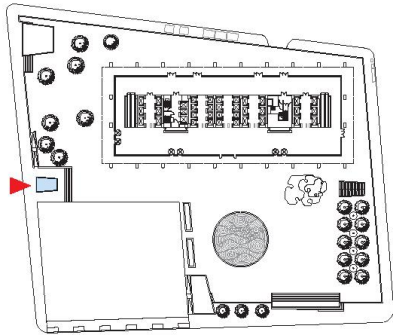
## March 24, 2015 CB1 Full Board Approved View

Total Area: 417 SF  
Total Height at Entrance: 11'-0"  
Total Glass Storefront: 18 Linear Feet



## August 5, 2015 LPC Approved View

Total Area: 417 SF (same as March 24<sup>th</sup> pavilion)  
Total Height at Entrance: 11'-0" (same as March 24<sup>th</sup> pavilion)  
Total Glass Storefront: 18 Linear Feet (same as March 24<sup>th</sup> pavilion)



# 28 Liberty Street Issues & Next Steps

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- How to separate Deed from Design?
  - Is the space preserved and made useful
  - Robert Moses Super-Block
- Hear multiple views
- Give more members a review
  - October Landmarks Committee
- CB1 can take leadership in land use & Deed Restriction modification

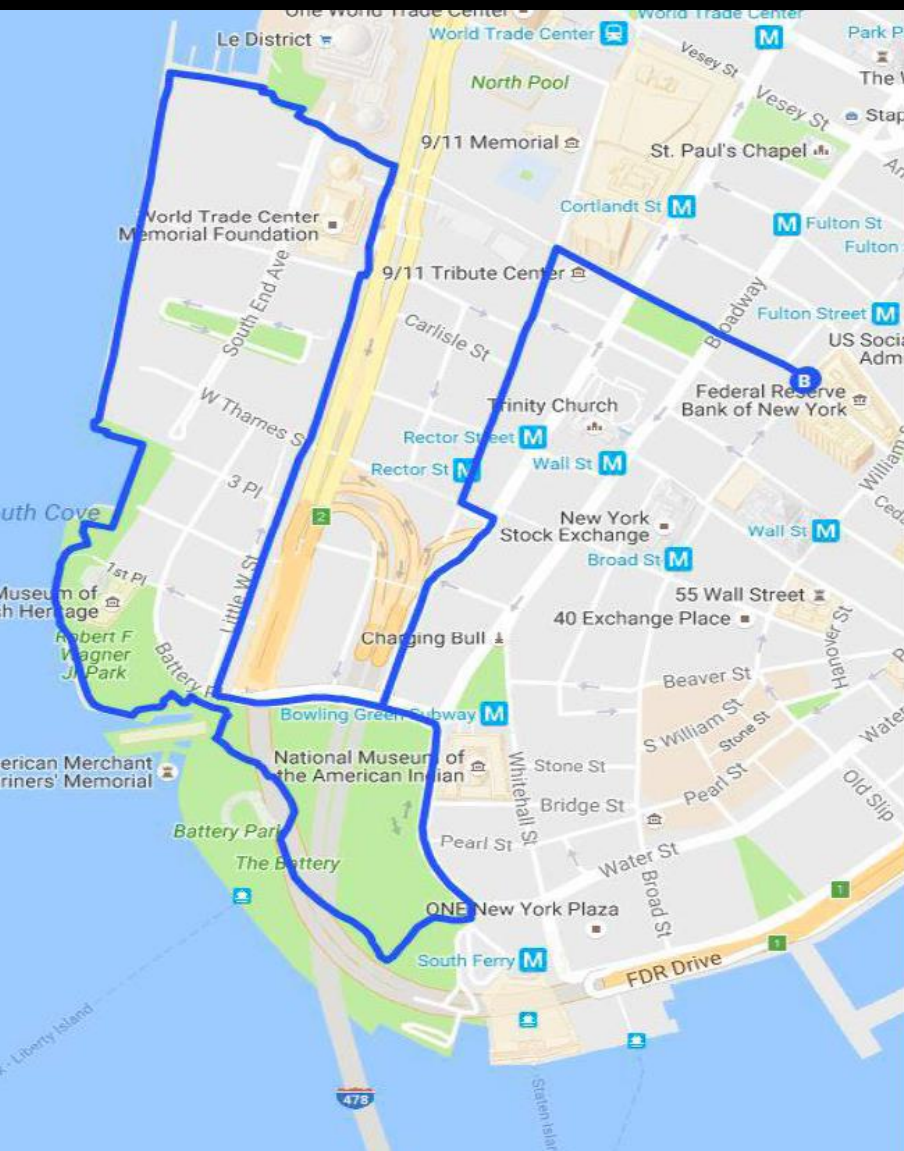
# Manhattan Community Board 1 Committee Reports

## Financial District – S. Cole

- 1) The Quad Preparatory School 5K Fun Run – Resolution
- 2) 140 West Street, application for a waiver of the rooftop recreation space – Resolution
- 3) 1 World Trade Center, application for alteration of an existing liquor license for Legends Hospitality LLC d/b/a OWO World Observatory – Resolution
- 4) 108 Greenwich Street, application for alteration of an existing liquor license for Suspenders and Belt LLC d/b/a Suspenders – Resolution
- 5) 185 Greenwich Street, application for liquor license for Slow Food LLC d/b/a Market Lane NYC – Resolution
- 6) 185 Greenwich Street, application for liquor license for Fine Casual LLC d/b/a Little Hunter Burgers – Resolution
- 7) 8 Park Place, application for a liquor license for Five and Dime Hospitality LLC – Resolution
- 8) 84 William Street, application for hotel liquor license for 84 William Street Property Owner LLC d/b/a aka Wall Street – Resolution
- 9) 25 Broadway, 9th & 10th Fl, application for tavern/bar wine and beer license for WW 25 Broadway LLC d/b/a WeWork – Resolution



# The Quad Preparatory School 5K



The Quad Prep FiDi Wellness 5K is a non-competitive run designed to raise awareness and funding for The Quad Prep School, while fostering its growing community in lower Manhattan

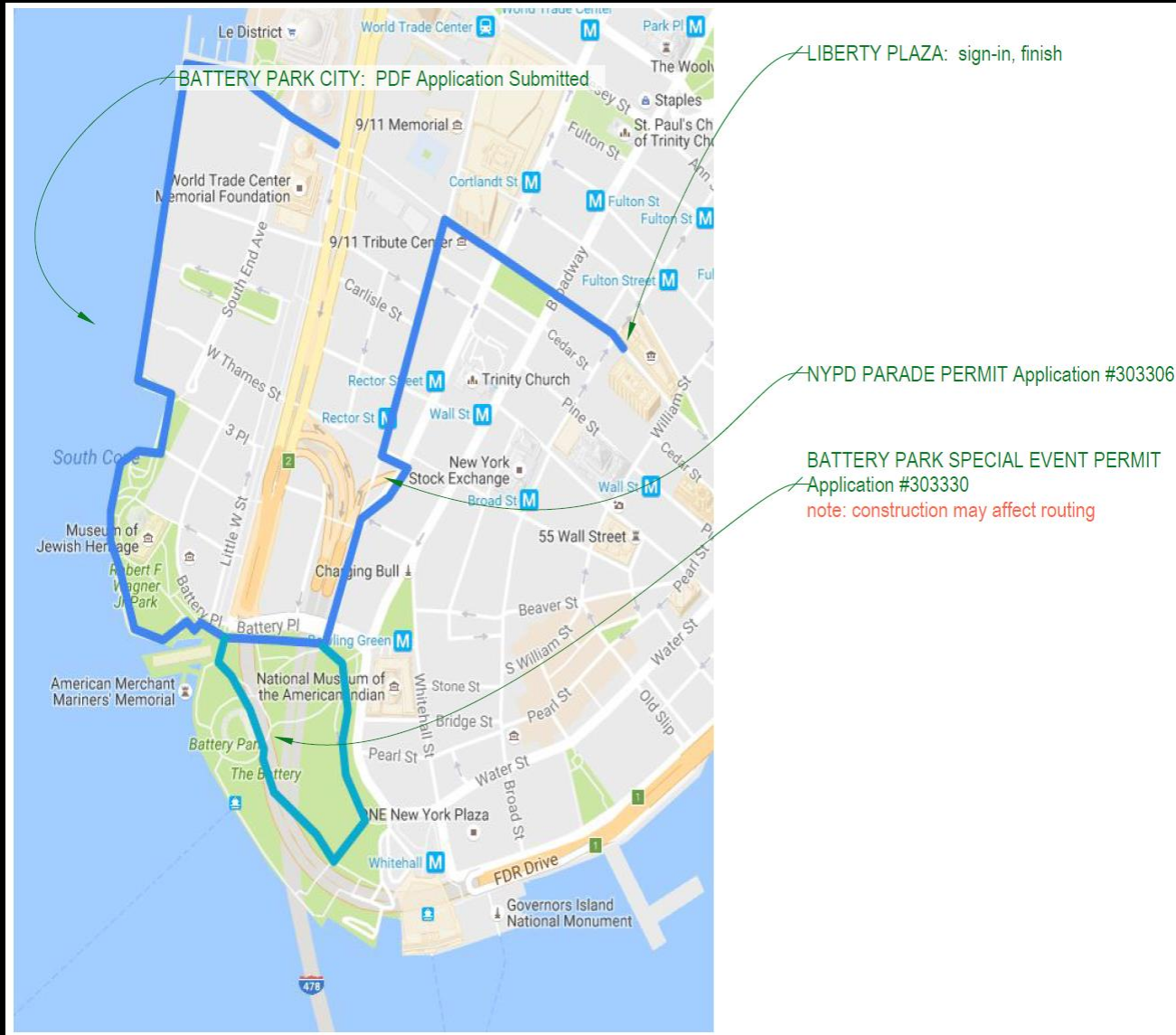
Start and end point: 28 Liberty Plaza

Minimally invasive. Maximum 400 participants

8-11 a.m. October 23<sup>rd</sup>, 2016



# The Quad Preparatory School 5K



140 West Street  
September 7, 2016

Ismael Leyva Architects  
DXA studio

**140 West Street**  
**CPC CHAIRPERSON CERTIFICATE**  
**CB1 FINANCIAL DISTRICT COMMITTEE**



140 WEST STREET — BUILDING + SITE



DXA studio

dxastudio.com

824 6th Avenue  
5th Floor  
NYC 10001  
T 212 874 0567

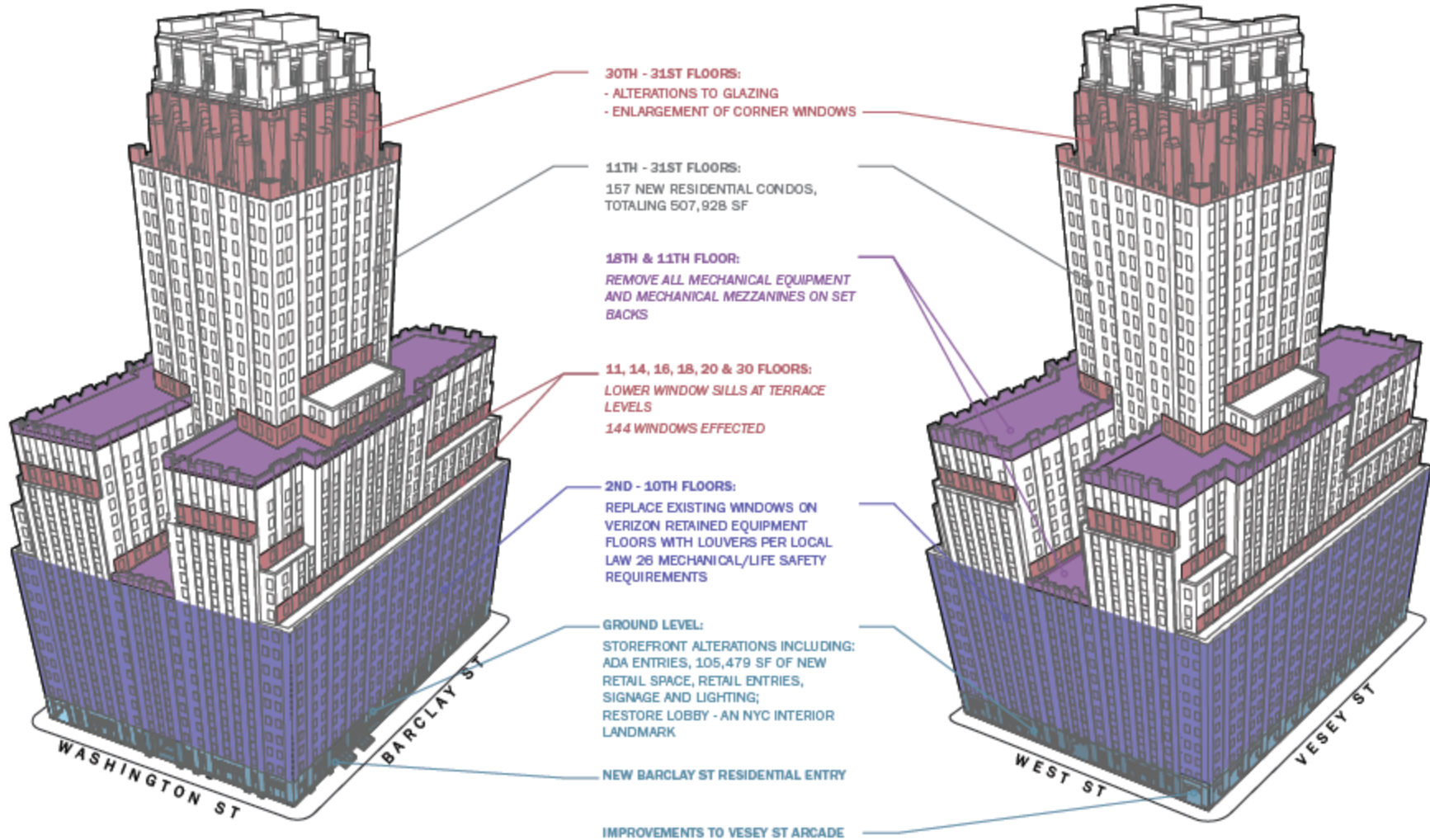
ISMAEL LEYVA  
ARCHITECTS

SCALE  
CLIENT  
PROJECT NUMBER  
DATE

As Noted  
Magnum Real Estate  
13.34  
September 7, 2016

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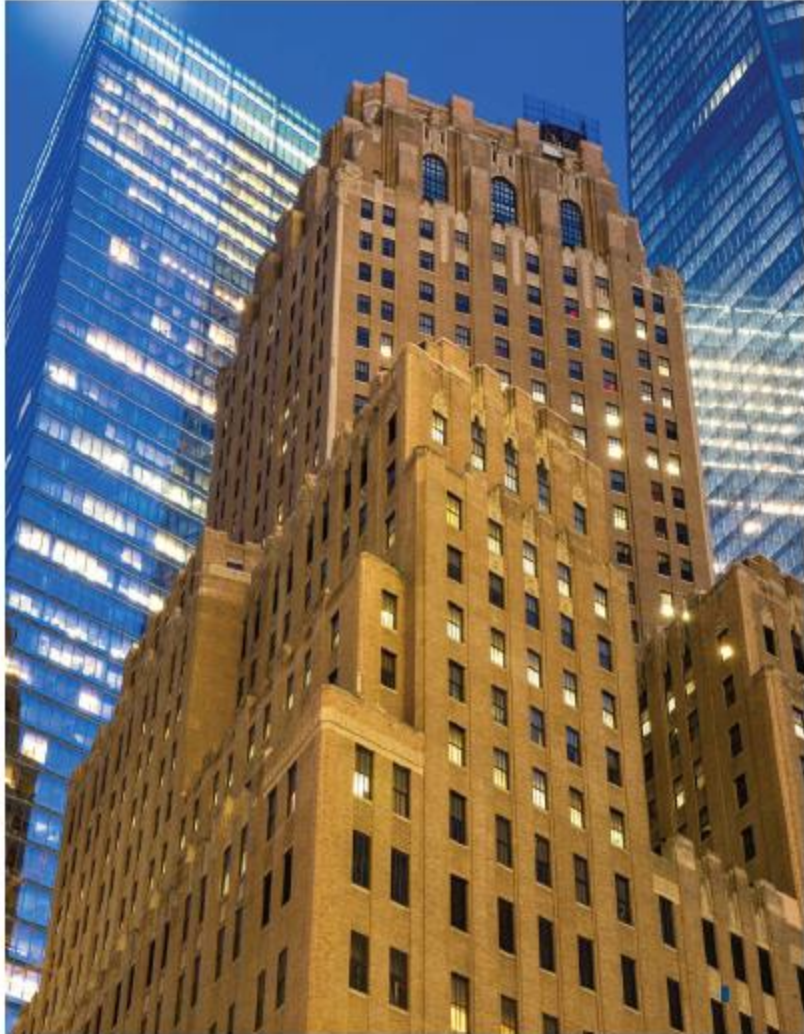
**140 WEST STREET — PRESERVATION + ADAPTIVE REUSE OF AN INDIVIDUAL NYC LANDMARK**



**DXA studio**  
 804 6th Avenue  
 5th Floor  
 NYC 10008  
 T 212 874 0567  
 dxastudio.com



**SCALE** As Noted  
**CLIENT** Magnum Real Estate  
**PROJECT NUMBER** 13.34  
**DATE** September 7, 2015



#### CPC CHAIRPERSON'S CERTIFICATE TO WAIVE REQUIRED OPEN SPACE

- REQUIRED COMMON ROOF AREA OPEN SPACE: 25,660 SF
- PROVIDED COMMON ROOF AREA OPEN SPACE: 11,660 SF
- ADDITIONAL INTERIOR RECREATION AND AMENITY SPACES AVAILABLE TO ALL TENANTS: 25,513 SF
- TOTAL AMENITIES: 37,713 SF



**DXA studio**

[dxaestudio.com](http://dxaestudio.com)

804 6th Avenue  
8th Floor  
NYC 10001  
T 212 874 0967



**ISMAEL LEYVA**  
ARCHITECTS

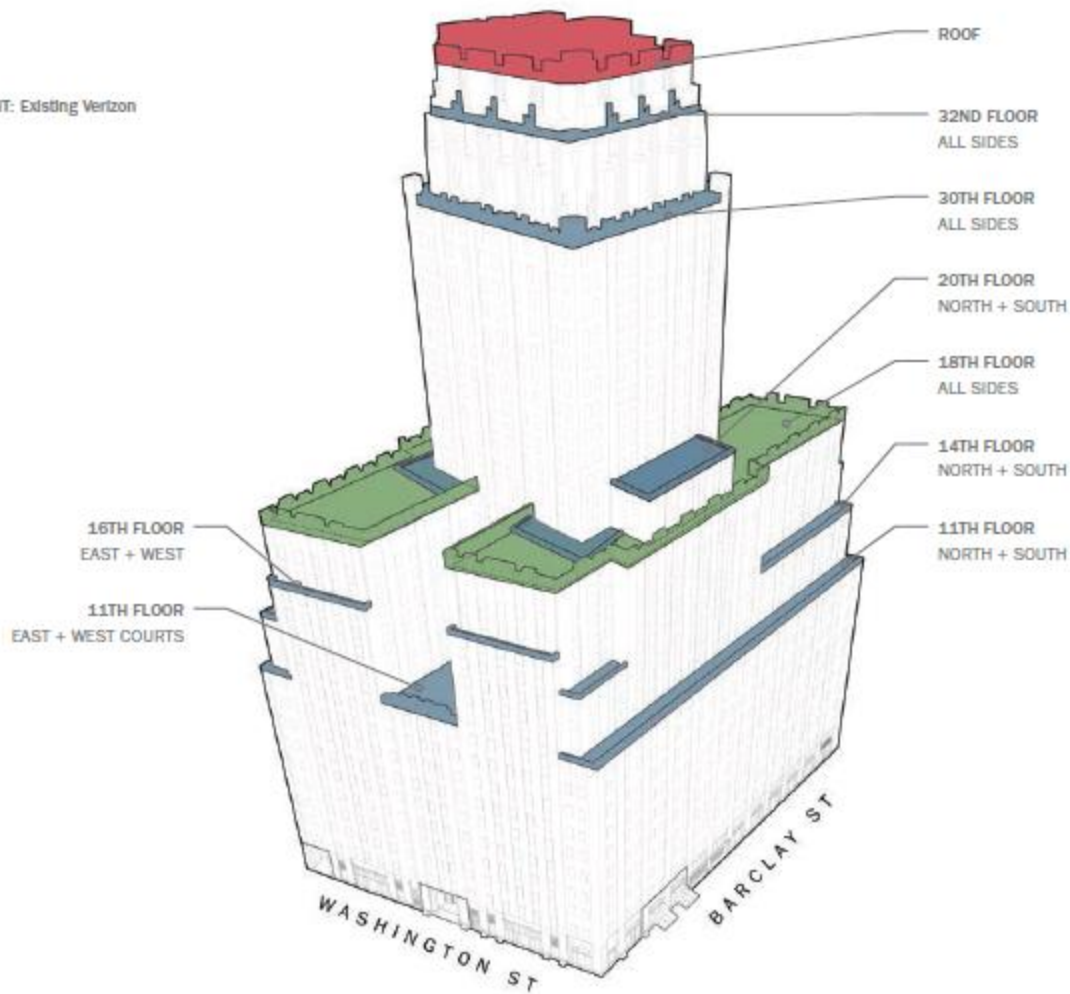
140 WEST STREET — OPEN SPACE REQUIREMENT CONCLUSION

SCALE  
CLIENT  
PROJECT NUMBER  
DATE

As Noted  
Magnum Real Estate  
13\_34  
September 7, 2016

**11**

- MECHANICAL EQUIPMENT: Existing Verizon
- PRIVATE TERRACES
- ALL TENANT ACCESS



- NARROW ROOF AREAS
- MECHANICAL EQUIPMENT
- ADJACENT APARTMENTS
- LOAD CAPACITY

140 WEST STREET — EXISTING TERRACE + ROOF AREAS

SCALE  
 CLIENT  
 PROJECT NUMBER  
 DATE

As Noted  
 Magnum Real Estate  
 13.34  
 September 7, 2015



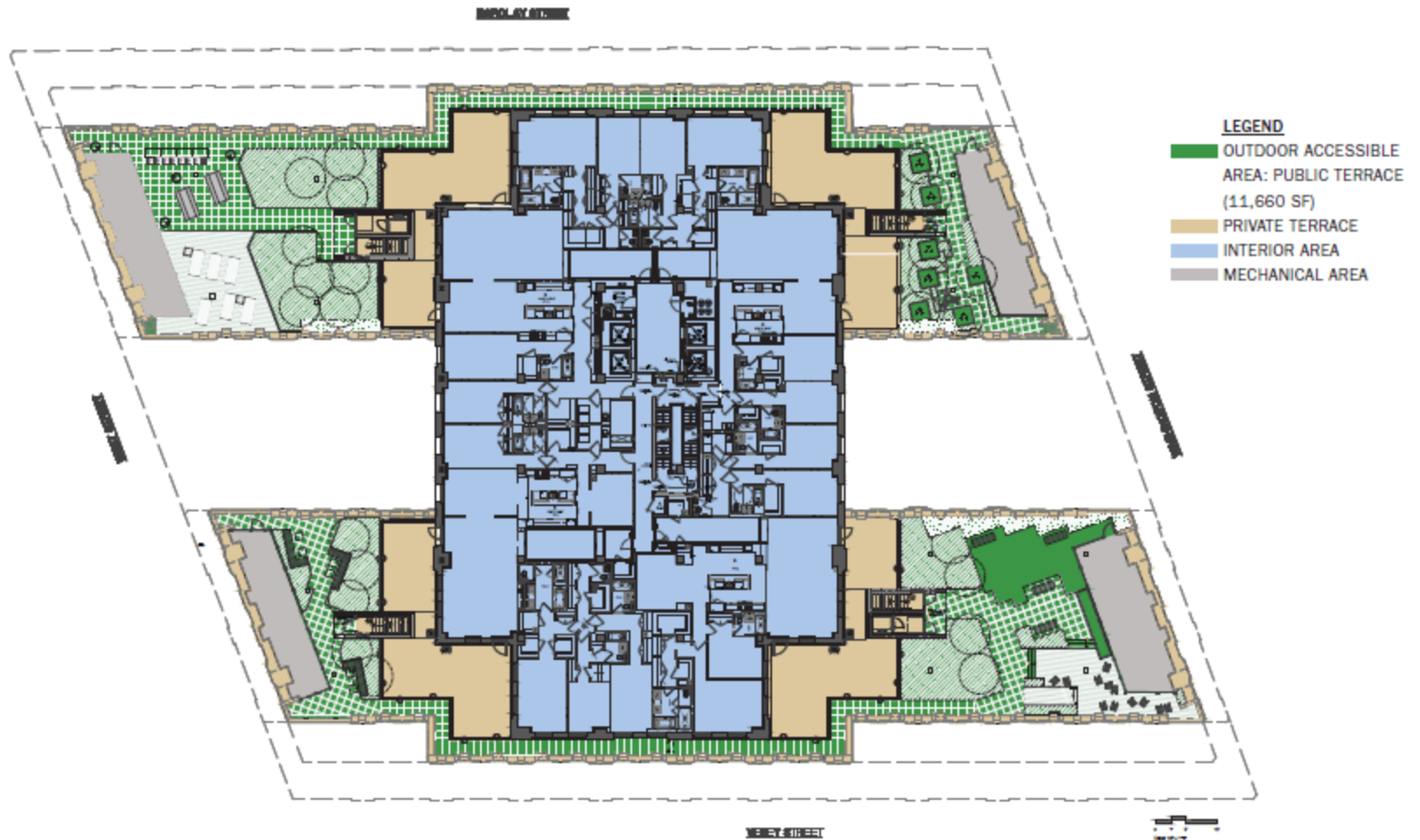
**DXA studio**

dxastudio.com

804 6th Avenue  
 26th Floor  
 NYC 10001  
 T 212 874 0967



**ISMAEL LEYVA**  
 ARCHITECTS



- LEGEND**
- OUTDOOR ACCESSIBLE AREA: PUBLIC TERRACE (11,660 SF)
  - PRIVATE TERRACE
  - INTERIOR AREA
  - MECHANICAL AREA

140 WEST STREET — PROPOSED 18TH FLOOR PLAN



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T 212 874 0567



**ISMAEL LEYVA**  
ARCHITECTS

SCALE: As Noted  
CLIENT: Magnum Real Estate  
PROJECT NUMBER: 13.34  
DATE: September 7, 2016



140 WEST STREET — PROPOSED 18TH FLOOR ALL-TENANT TERRACE



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**ISMAEL LEYVA**  
ARCHITECTS

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13\_34  
September 7, 2016

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140 WEST STREET — PROPOSED 18TH FLOOR ALL-TENANT TERRACE



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8th Floor  
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**ISMAEL LEYVA**  
ARCHITECTS

SCALE  
CLIENT  
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DATE

As Noted  
Magnum Real Estate  
13\_34  
September 7, 2016

**18**



140 WEST STREET — PROPOSED 17TH MEZZANINE AMENITY: BAR + LOUNGE AREA



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**ISMAEL LEYVA**  
ARCHITECTS

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CLIENT  
PROJECT NUMBER  
DATE

As Noted  
Magnum Real Estate  
13.34  
September 7, 2016

**21**



140 WEST STREET — PROPOSED 17TH MEZZANINE AMENITY: WINE TASTING SALON + STORAGE



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8th Floor  
NYC 10001  
T 212 874 0967



**ISMAEL LEYVA  
ARCHITECTS**

SCALE  
CLIENT  
PROJECT NUMBER  
DATE

As Noted  
Magnum Real Estate  
13\_34  
September 7, 2016

**22**





140 WEST STREET — PROPOSED 17TH MEZZANINE AMENITY: CHILDREN'S PLAY ROOM



**DXA studio**

[dxaestudio.com](http://dxaestudio.com)

834 6th Avenue  
8th Floor  
NYC 10001  
T 212 874 0967



**ISMAEL LEYVA**  
ARCHITECTS

SCALE  
CLIENT  
PROJECT NUMBER  
DATE

Ax Noted  
Magnum Real Estate  
13\_34  
September 7, 2016

# Manhattan Community Board 1 Committee Reports

## Financial District – S. Cole

- 10) 25 Broadway, 5th Fl, application for tavern/bar wine and beer license for WW 25 Broadway LLC d/b/a WeWork – Resolution
- 11) 110 Wall Street, 9th Fl, application for liquor catering license for LQ Holdings LLC d/b/a We Work – Resolution
- 12) 110 Wall Street, 2nd-6th Fl, application for tavern/bar wine and beer license for WW 110 Wall LLC d/b/a WeWork – Resolution
- 13) 200 Broadway, 3rd Fl, application for tavern/bar wine and beer license for WW 11 John LLC d/b/a WeWork – Resolution
- 14) 222 Broadway, 24th-27th Fl, application for tavern/bar wine and beer license for WW 222 Broadway LLC d/b/a WeWork – Resolution
- 15) 222 Broadway, 18th – 22nd Fl, application for tavern/bar wine and beer license for WW 222 Broadway LLC d/b/a WeWork – Resolution
- 16) 85 Broad Street, 16th & 18th Fl, application for tavern/bar wine and beer license for WW 85 Broad LLC d/b/a WeWork – Resolution
- 17) 85 Broad Street, 28th & 29th Fl, application for tavern/bar wine and beer license for WW 85 Broad LLC d/b/a WeWork – Resolution

# Manhattan Community Board 1 Committee Reports

## Financial District – S. Cole

- 18) 1 World Trade Center, 34th Fl, application for catering facility liquor license for Convene at Conde Nast, LLC d/b/a Convene at Conde Nast – Resolution
- 19) Governors Island Cube & Survey– Report

# Manhattan Community Board 1 Committee Reports

## Landmarks - S. Cole and J. Friedman

- 1) 166 Duane Street, application for Rooftop Pergola and Cable Railing – Resolution
- 2) 195 Broadway, application for installation of sculpture and hanging tapestries within a portion of interior designated lobby – Resolution
- 3) 11 Harrison Street, application to repair and replace building parapet and penthouse bulkhead – Resolution
- 4) 143 Franklin Street, application for removal of a portion of the rear building & loading dock, replacement of existing and missing cornices, replacement of all front facade windows and storefront door, and construction of penthouse and elevator bulkhead – Resolution
- 5) 92 Reade Street, application for replacement of existing roof stair bulkhead – Report
- 6) 51 White Street, application to remove 20th Century stucco façade – Report

# 166 Duane Street



1) VIEW FROM SE CORNER OF CHAMBERS & WEST BROADWAY

# 195 Broadway



# 51 White Street

## 51 WHITE STREET, MANHATTAN REMOVAL OF DESIGNATED GROUND FLOOR STUCCO SURFACES



1960's TAX PHOTO



1960's TAX PHOTO



1990's PHOTO



NO. 101-0800-0000-0000-0000-0000-0000-0000



LPC DESIGNATION PHOTO LOOKING EAST



LPC DESIGNATION PHOTO LOOKING WEST



LPC DESIGNATION PHOTO OF GROUND FLOOR

### SCOPE OF WORK

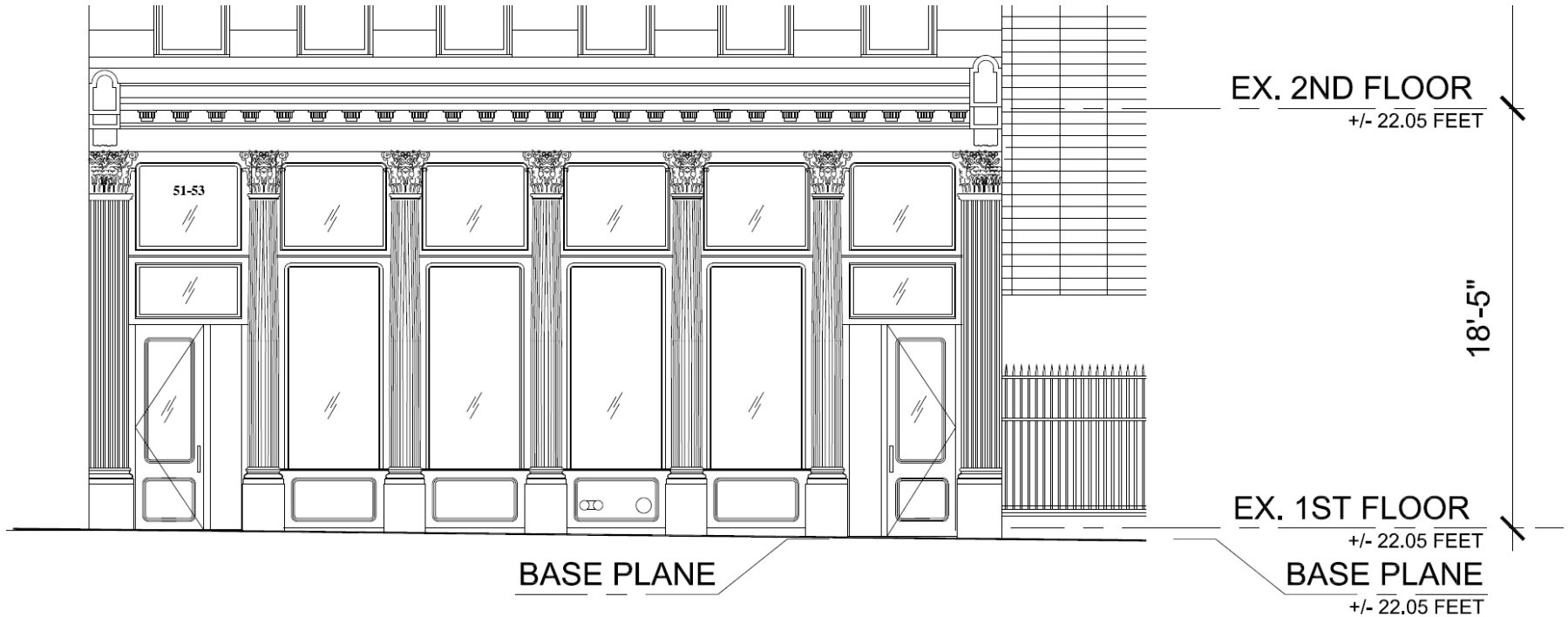
1. REMOVE DESIGNATED STUCCO AND WOOD PANELS WOOD STUCCO FRONTAGE AS SHOWN ON PLANS.
2. DOCUMENT AND PROTECT REMAINING STUCCO, CAST IRON COLUMNS AND ANY OTHER DETAIL PARTS.
3. A SUBSEQUENT LPC APPLICATION WILL BE FILED FOR RESTORATION.
4. STUCCO WORK SHALL BE DONE ON THE PREMISES OF THIS APPLICATION.

### DRAWING LIST

- 1-000 PHOTO, MAPS AND DRAWING INDEX
- A-000 PLOT PLAN AND NO THE DEPARTMENT OF BUILDINGS
- A-010 EXISTING CONDITIONS PHOTOGRAPHS
- A-020 EXISTING FIRST FLOOR PLAN AND WHITE STREET ELEVATION
- A-030 PROPOSED EXTERIOR FIRST FLOOR PLAN AND WHITE STREET ELEVATION

Project No.		Date	
Vertical Engineering P.C. Inc. 100 West 30th Street, New York, NY 10001			
Project: 51 WHITE STREET, NEW YORK, N.Y., 10014			
PHOTO, MAPS, DRAWING INDEX & NOTES			
Project No.	Date	Scale	Sheet No.
T-000			1
Project No.	Date	Scale	Sheet No.

# 51 White Street



**2** PROPOSED WHITE ST ELEVATION  
SCALE: 3/16"=1'-0"



# 11 Harrison Street

## VISIBILITY FROM HARRISON STREET

PROPOSED WORK IS MINIMALLY VISIBLE FROM STREET



1.



2.



3.

### LEGEND

[ ] 11 HARRISON STREET

### 11 HARRISON STREET

LANDMARKS PUBLIC HEARING - SEPTEMBER 8, 2016

TBD ARCHITECTURE & DESIGN STUDIO 373 BROADWAY #F11 NY NY 10013. 646.688.3329 TBDDDESIGNSTUDIO.COM



# 143 Franklin Street

EXISTING & PROPOSED VIEW OF BACK OF BUILDING AT LOCATION OF PROPOSED DEMOLITION



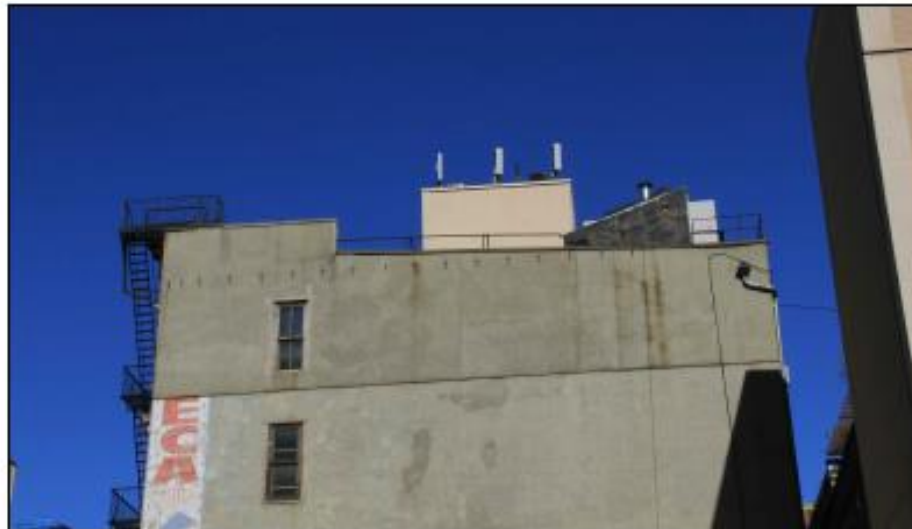
① EXISTING STOREFRONT  
3/8" = 1'-0"



# 92 Reade Street



1 PHOTO  
VANTAGE



# Manhattan Community Board 1 Committee Reports

## Youth & Education – T. Joyce

- 1) Taste of the Seaport – Report
- 2) The Quad Preparatory School 5K Fun Run – Report
- 3) Peck Slip Play Street – Report
- 4) School Crossing Guards – Report
- 5) School Overcrowding Task Force – Report
- 6) Fall School Registration Numbers – Report
- 7) The Downtown Soccer League – Report
- 8) New Business: Elections, Voting & Schools – Report

# Manhattan Community Board 1 Committee Reports

## Battery Park City – J. Mihok

- 1) 200 Vesey Street, application for restaurant liquor license for Del Frisco's Grille of New York LLC – Resolution
- 2) 250 Vesey Street, application for liquor license with live music for S.S. Beacon – Resolution
- 3) BPCA Permit Request – Report
- 4) Pier A Taste New York Store – Report
- 5) Asphalt Green Community Center Senior Programming – Report
- 6) West Thames Bridge – Report
- 7) Allied Universal Ambassadors – Report
- 8) Battery Park City Authority – Report
- 9) South End Avenue Study – Report

# WEST THAMES STREET PEDESTRIAN BRIDGE

September 6, 2016

## WEST THAMES PEDESTRIAN BRIDGE: STAKEHOLDERS

- **Battery Park City Authority: Funding and primary maintenance**
- **Lower Manhattan Development Corporation: Funding and project management**
- **MTA Bridge & Tunnels: Adjacent property owner—Battery Parking Garage**
- **NYC Department of Transportation: Bridge owner, inspection, secondary maintenance, permitting agency**
- **NYS Department of Transportation: Route 9A ROW, permitting agency**
- **NYC Economic Development Corporation: Design and construction management**
- **NYC Mayor’s Office of Capital Project Development: Program management**
- **Skanska: Construction management**
- **Weidlinger: Engineer**
- **WXY: Architect**
- **50 West: Adjacent property owner (Albanese – developer; Hunter Roberts – construction)**
- **Other involved agencies**
  - NYC Department of Buildings
  - NYC Department of Environmental Protection
  - NYC Department of Parks and Recreation
  - NYC Fire Department

STREET VIEW LOOKING WEST FROM EAST LANDING



NYC EDC

WEST THAMES STREET PEDESTRIAN BRIDGE



INTERIOR BRIDGE VIEW LOOKING WEST



NYC EDC

WEST THAMES STREET PEDESTRIAN BRIDGE

WXY | WEIDLINGER

STREET VIEW LOOKING WEST FROM WEST LANDING



NYC EDC

WEST THAMES STREET PEDESTRIAN BRIDGE

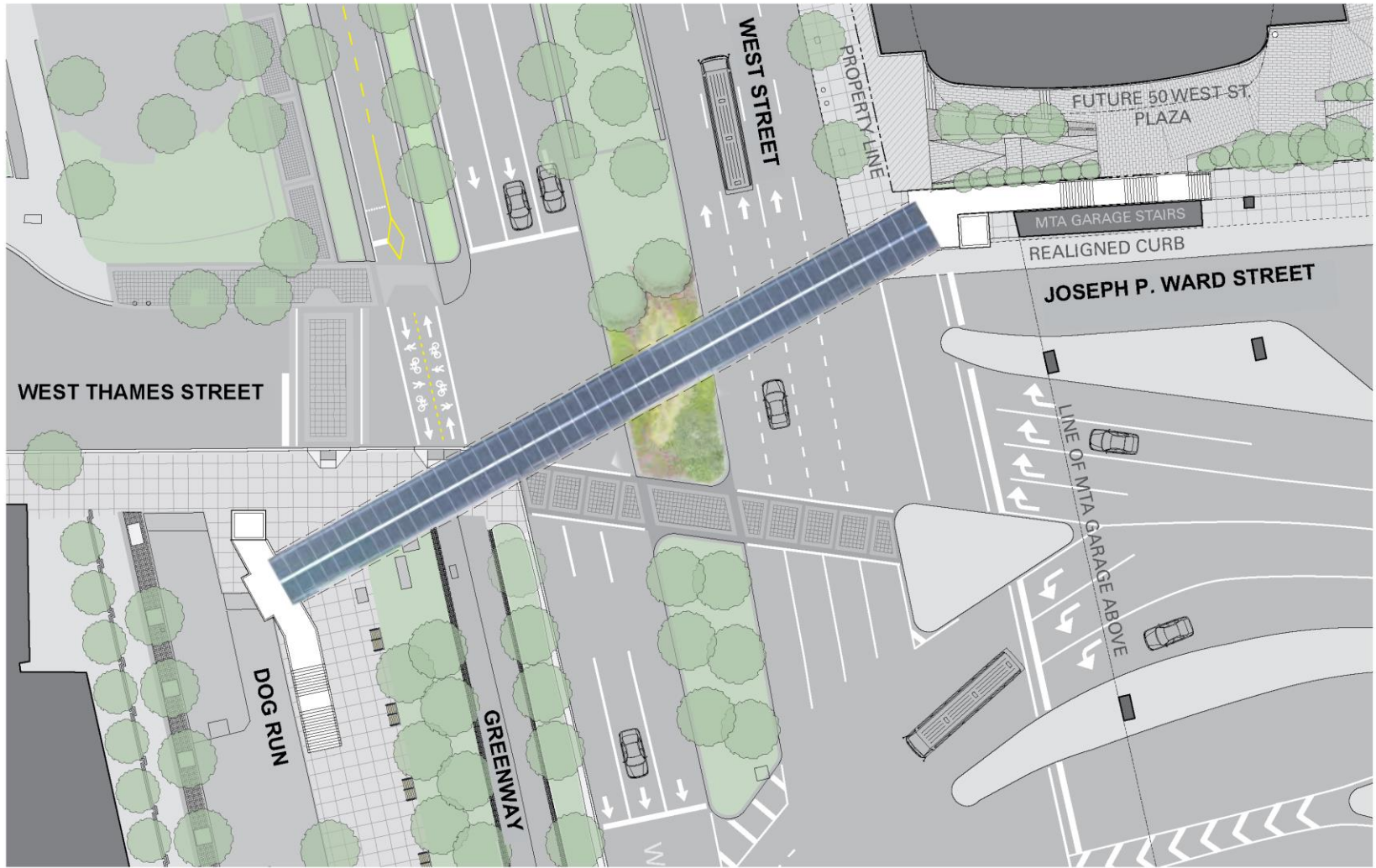
## PROJECT LOCATION



NYC EDC



WEST THAMES STREET PEDESTRIAN BRIDGE



WEST THAMES STREET

WEST STREET

FUTURE 50 WEST ST. PLAZA

MTA GARAGE STAIRS

REALIGNED CURB

JOSEPH P. WARD STREET

DOG RUN

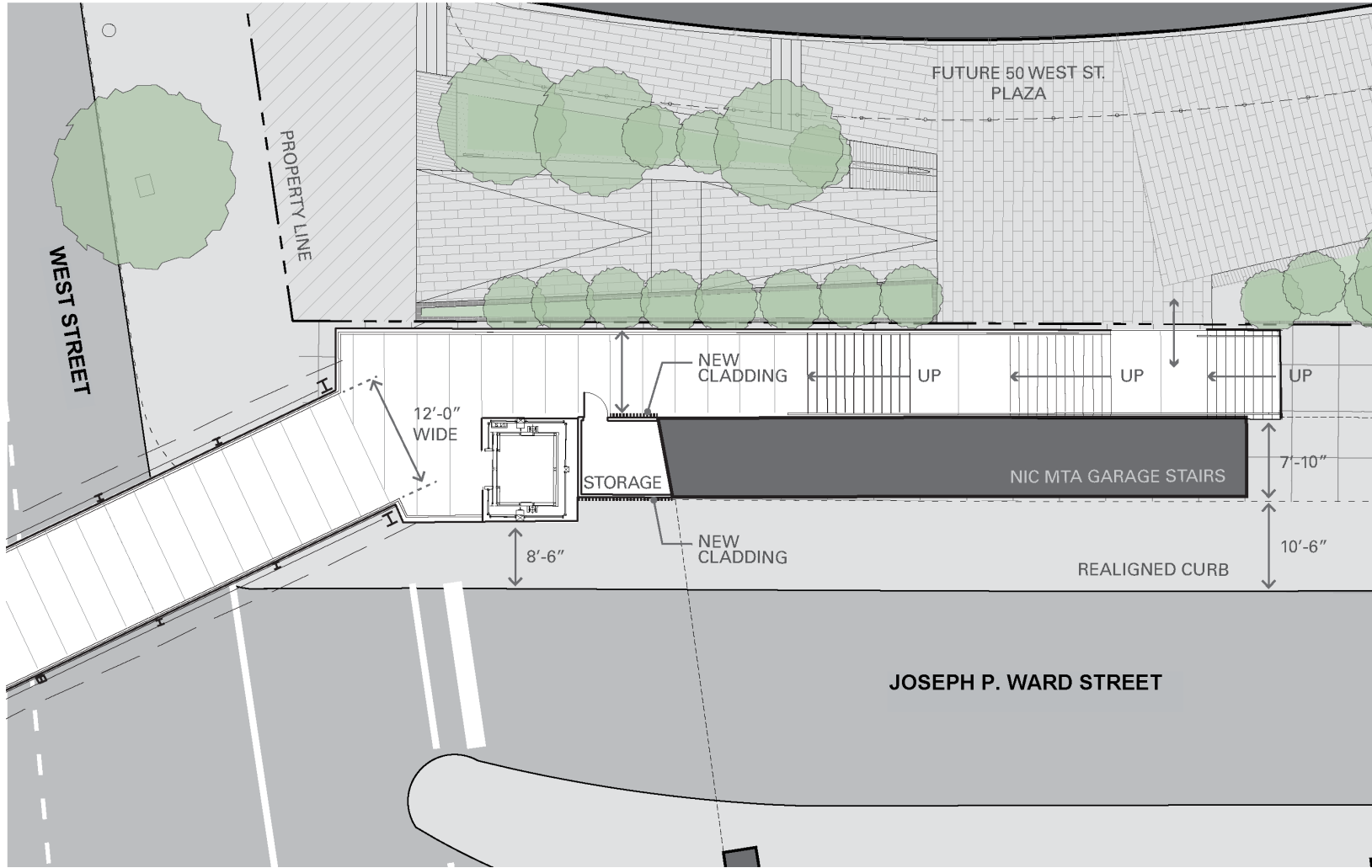
GREENWAY

LINE OF MTA GARAGE ABOVE



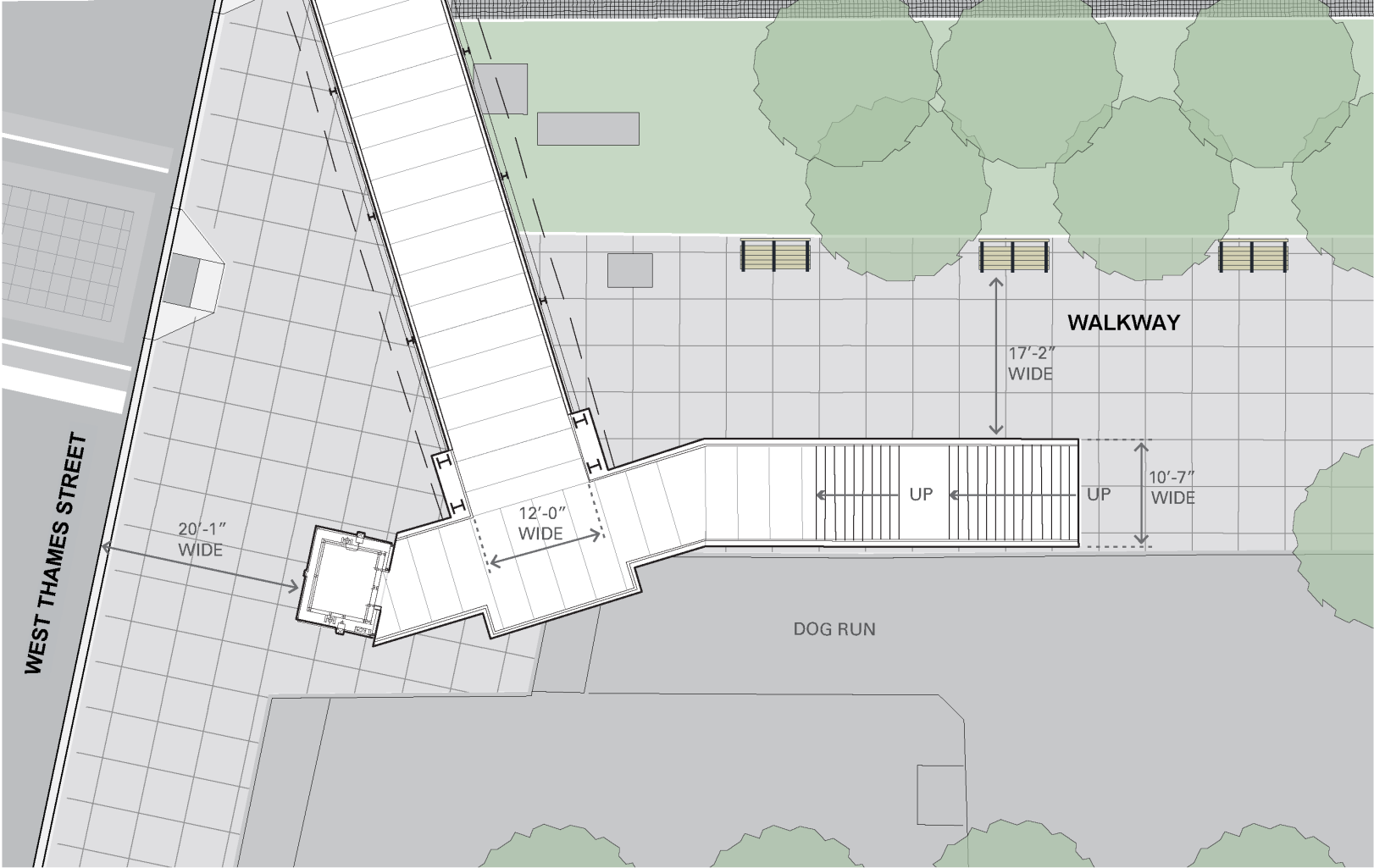
SCALE: 1"=30'

# EAST LANDING DETAIL PLAN – DECK LEVEL

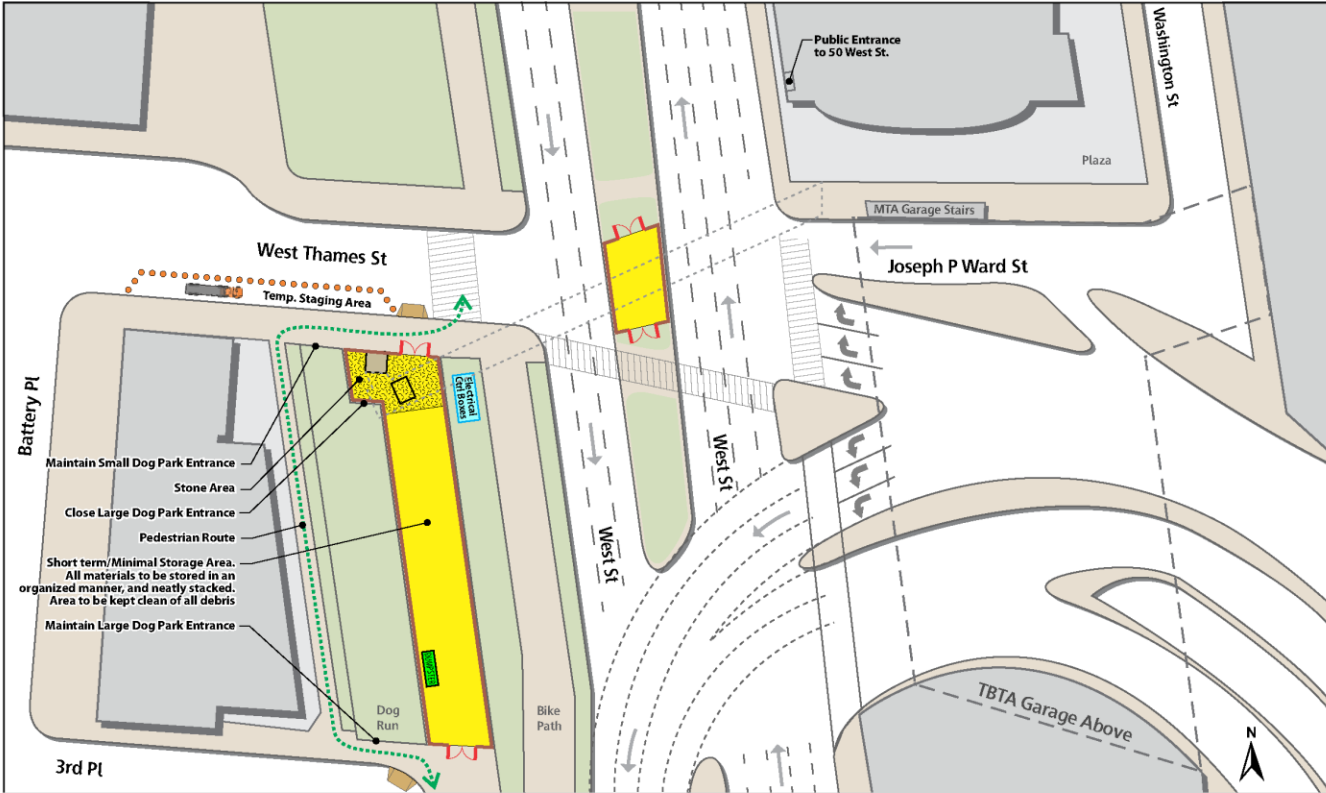


SCALE: 1/8"=1'

WEST THAMES BRIDGE: WEST LANDING DETAIL PLAN – DECK LEVEL



SCALE: 1/8"=1'



# West Thames Pedestrian Bridge

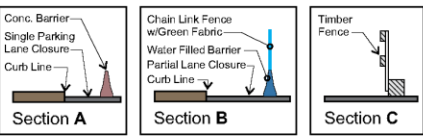
## General Requirements

- Contractors working in roadways to obtain all required NYC DOT permits to allow for temporary or partial street closures as outline in the Project Specifications Appendix I: OCMC Draft Stipulations.
- All temporary traffic control requirements are shown diagrammatically. Final temporary traffic control requirements will be per NYC DOT's review of Subcontractor's temporary/partial road closure permit application review and approval.
- All Contractors prior to performing any excavation work shall call New York 811, by dialing 811, at least 48 hours prior to beginning any excavation work to ensure underground utility lines are marked. Contractors shall provide to Skanska the New York 811 ticket No.
- All contractors are to hand dig (and backfill) around all underground utility lines, and are to work in conjunction with the utility companies to support and protect the underground utility lines.
- All pedestrian control persons (flagmen) shall be a NYC DOT certified pedestrian traffic managers.
- Contractor shall review drawing TR-03 & TR-05 for location of all traffic signals and street lighting fixtures.
- No Construction Trailers or C-Boxes permitted on the project.

## Phase 1 Mobilization/West Approach

### Site work/Piles/Foundation/Concrete

- Install temporary site fencing & fabric screening
- Relocate DIP storm line
- Excavate and install mini-piles
- Construct pile caps, and bridge support pedestals
- Construct elevator pit, elevator machine room and utility slabs, stair, & walls (under stairs)
- Install piping and conduit between elevator machine room and elevator pit
- Backfill and rough grade area



## Legend

- Construction Gate
- Sidewalk Shed
- Work Zone
- No Parking Zone
- Lane Closure
- Water Filled Barriers topped w/ fabric covered fencing and flashing warning lights
- Temporary Fence - Green Fabric covered 8' high chain linked fence
- Concrete Barriers—NYS DOT approved barriers w/ flashing warning lights
- Direction of Traffic
- Traffic Barrels—Provide flashing warning light for night work or if left in place overnight

Phase	Construction Activity Description	2016				2017				2018				
		1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	
Precon	Bid Subcontracts													
	Contract Awards													
1	Mobilization/Site Set-up													
1	West Approach Site work/Piles/Foundation/Concrete													
1A	Center Median Site work/Piles/Foundation/Restorations													
1B	Erect West App/Median/Bridge Supports, Elevator & Stairs Steel; Erect Glass Elevator Shaft & Roof													
2	John P Ward Str. Sidewalk Work													
3A	East Approach Curb/Sidewalk/Sewer													
3B	East Approach Site work/Piles/Foundation/Concrete													
3C	East Approach Sewer & Pavement Restoration													
4	East Approach Bridge Supports & Stairs Erection													
5	Erect East and West Bridge Spans; Construct Elevators, Bridge Roof, Cladding, MEP Restores East & West Approach Landscaping & Hardscaping, etc.													
	Demolish Rector Str. Bridge & Restoration Area													

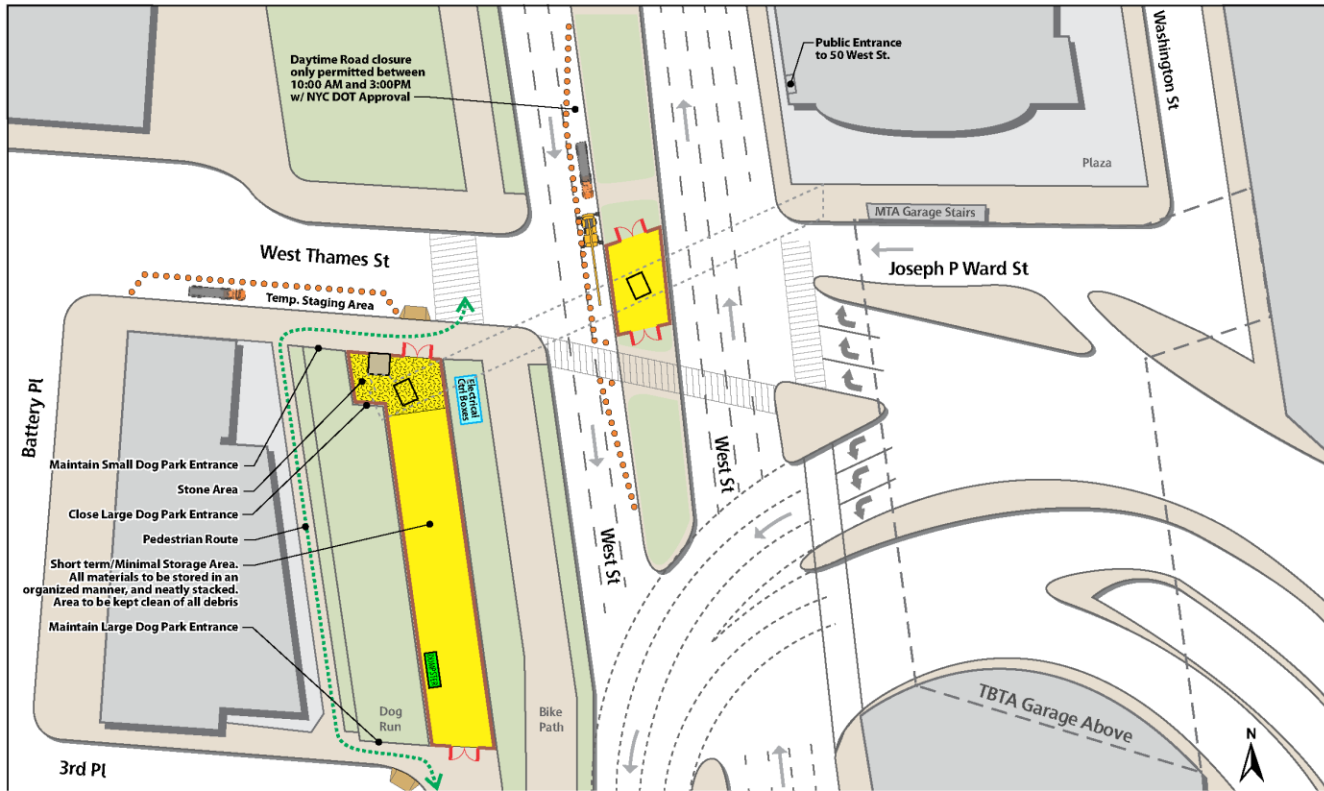
# Phase 1 - West Approach

## Excavation, Piles, Caps, Foundation, Concrete

Date Created: 8/15/2016  
Page: 1 of 9



Phase 1



## West Thames Pedestrian Bridge

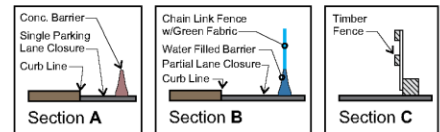
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- All contractors are to hand dig (and backfill) around all underground utility lines, and are to work in conjunction with the utility companies to support and protect the underground utility lines.
- All pedestrian control persons (flagmen) shall be a NYC DOT certified pedestrian traffic managers.
- Contractor shall review drawing TR-03 & TR-05 for location of all traffic signals and street lighting fixtures.
- No Construction Trailers or C-Boxes permitted on the project.

### Phase 1A Center Median

#### Site work/Piles/Foundations/Restorations

- Erect temporary fencing around excavation
- Excavate and install mini-piles
- Construct pile caps, and bridge support pedestal
- Reconstruct median support walls
- Rough grade & restore median area



### Legend

- Construction Gate
- Sidewalk Shed
- Work Zone
- No Parking Zone
- Lane Closure
- Water Filled Barriers topped w/ fabric covered fencing and flashing warning lights
- Temporary Fence - Green Fabric covered 8' high chain linked fence
- Concrete Barriers - NYS DOT approved barriers w/ flashing warning lights
- Direction of Traffic
- Traffic Barrels - Provide flashing warning light for night work or if left in place overnight

Phase	Construction Activity Description	2016				2017				2018			
		1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter
Precon	Bid Subcontracts												
	Contract Awards												
1	Mobilization/Site Set-up												
1	West Approach Site work/Piles/Foundation/Concrete												
1A	Center Median Site work/Piles/Foundations/Restorations												
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2	John P Ward Str. Sidewalk Work												
3A	East Approach Curb/Sidewalk/Sewer												
3B	East Approach Site work/Piles/Foundation/Concrete												
3C	East Approach Sewer & Pavement Restoration												
4	East Approach Bridge Supports & Stairs Erection												
5	Erect East and West Bridge Spans; Construct Elevators, Bridge Roof, Cladding, MEP Restore East & West Approach Landscaping & Hardscaping, etc.												
	Demolish Rector Str. Bridge & Restoration Area												

## Phase 1A - Center Median Excavation, Piles, Caps, Foundation

Ref. Dwg WZTC-04 (Phase 3 Plan)

Date Created: 8/15/2016

Page 2 of 9

**SKANSKA**

Phase  
**1A**



## WEST THAMES PEDESTRIAN BRIDGE: MILESTONE OVERVIEW

### Q4 2016

- MOBILIZE / BEGIN CONSTRUCTION OF WEST APPROACH AND WEST STREET MEDIAN WORK

### Q1 2017

- BEGIN CONSTRUCTION - EAST APPROACH AT JOSEPH P. WARD STREET

### Q3 2017

- ERECT BRIDGE SPANS ACROSS WEST STREET

### Q3 / Q4 2017

- INSTALL FINISHES / COMPLETE ELEVATORS AND ALL MECHANICAL SYSTEMS
- SITE RESTORATION / LANDSCAPE HARDSCAPE WORK

### Q1 2018

- ANTICIPATED BRIDGE COMPLETION

## RECTOR STREET BRIDGE DEMOLITION / SITE RESTORATION

### Q3 2017

- BEGIN DEMOLITION OF EXISTING BRIDGE

### Q2 2018

- ANTICIPATED COMPLETION OF SITE RESTORATION AT FORMER BRIDGE SITE

# South End Avenue

## Pedestrian Safety Improvements

2013

Commissioner Janette Sadik-Khan New York City Department of Transportation  
Presented by the Pedestrian Projects Group to Community Board 1 Battery Park City Committee



# Battery Park City Neighborhood



# South End Ave



Gristede's Foods

Rector Park

1 World Financial  
Center

# Background

## Community Request

- Community has requested:
  - Pedestrian safety improvements
  - Better access across South End Ave
  - Traffic calming along South End Ave
  - Reduced double parking and parking in the median

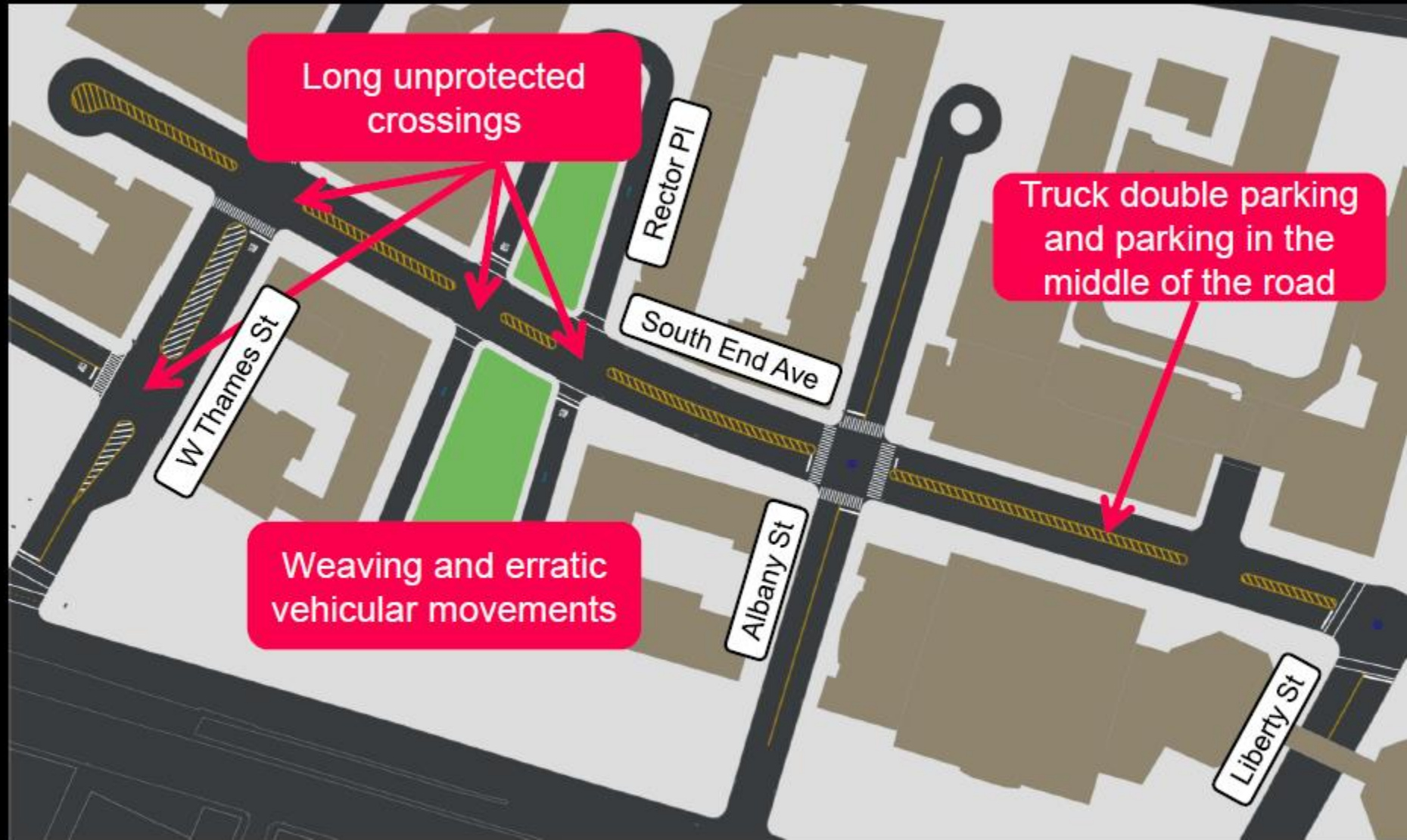


# Crash History



Injury-Crashes 2007-2011 (5 years)	Total Injuries	Severe Injuries	Fatalities
Pedestrian	8	1	0
Bicyclist	2	0	0
Motor Vehicle Occupant	3	0	0
Total	13	1	0

# Existing Issues



# Rapid Response Toolkit

- Pavement markings
- New signage
- Landscaped concrete islands





# Proposed Plan

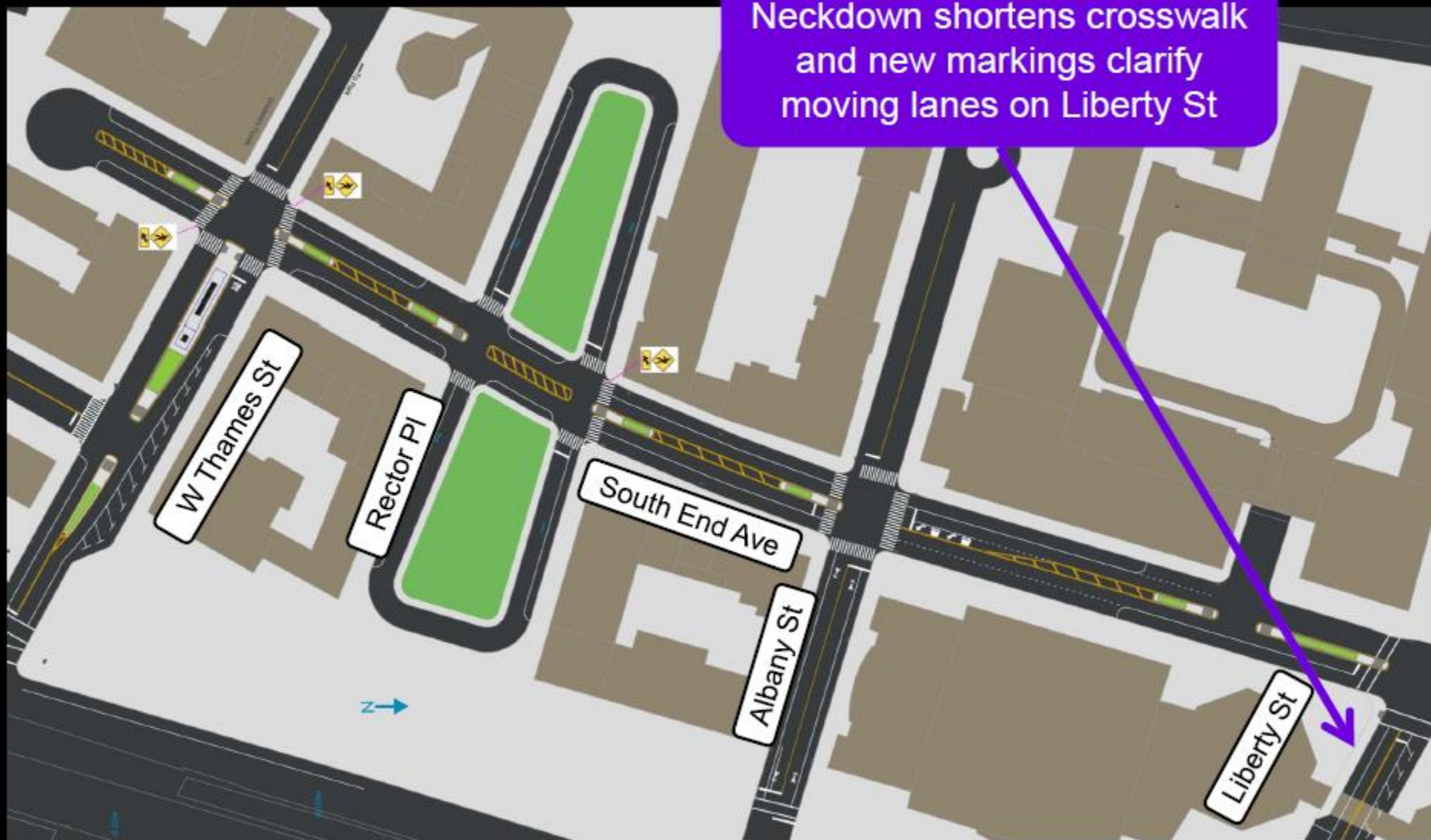
Yield crosswalks designate where pedestrians should cross South End Ave



Pedestrian islands provide a safe place for pedestrians to wait while crossing the street

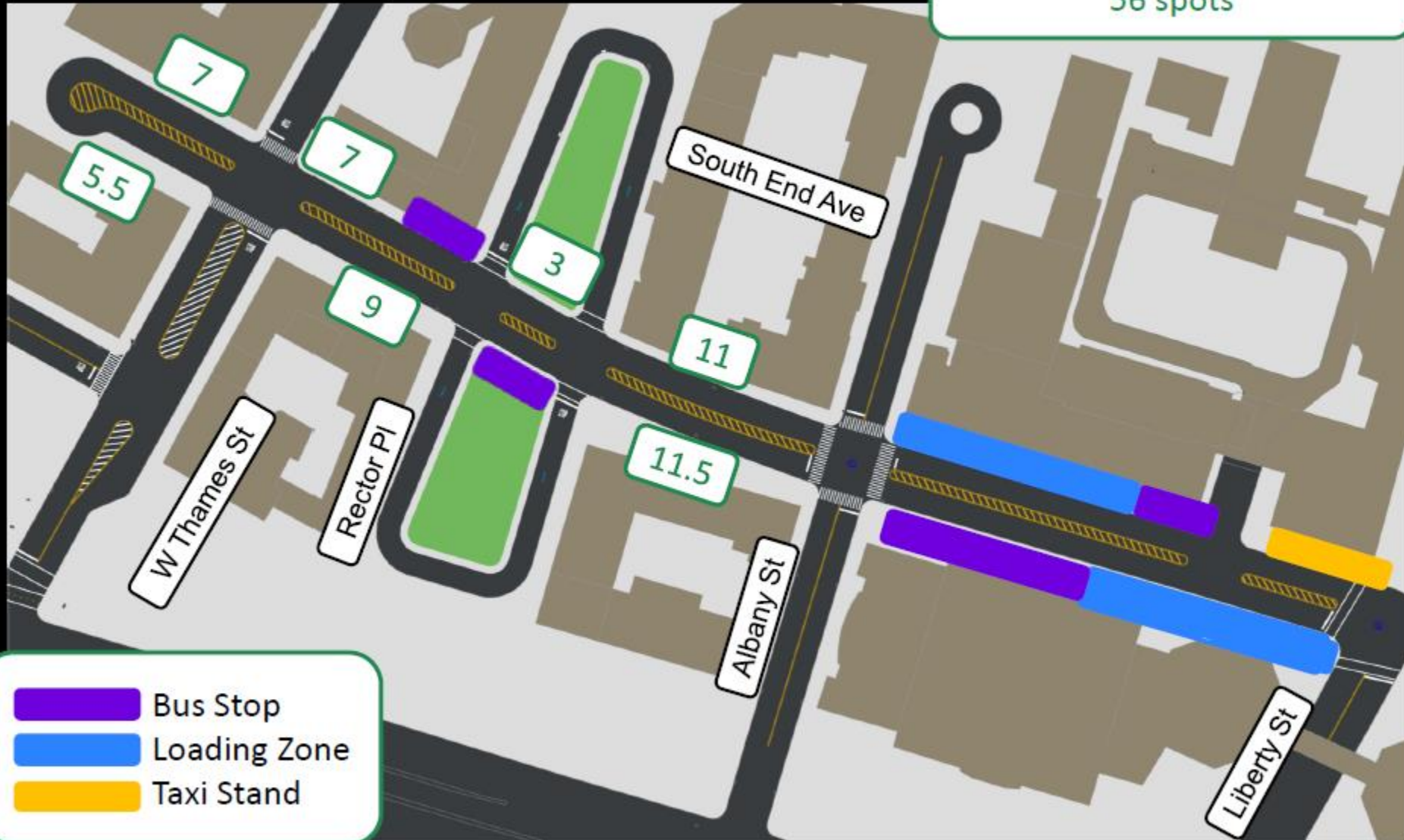
# Proposed Plan

Neckdown shortens crosswalk and new markings clarify moving lanes on Liberty St



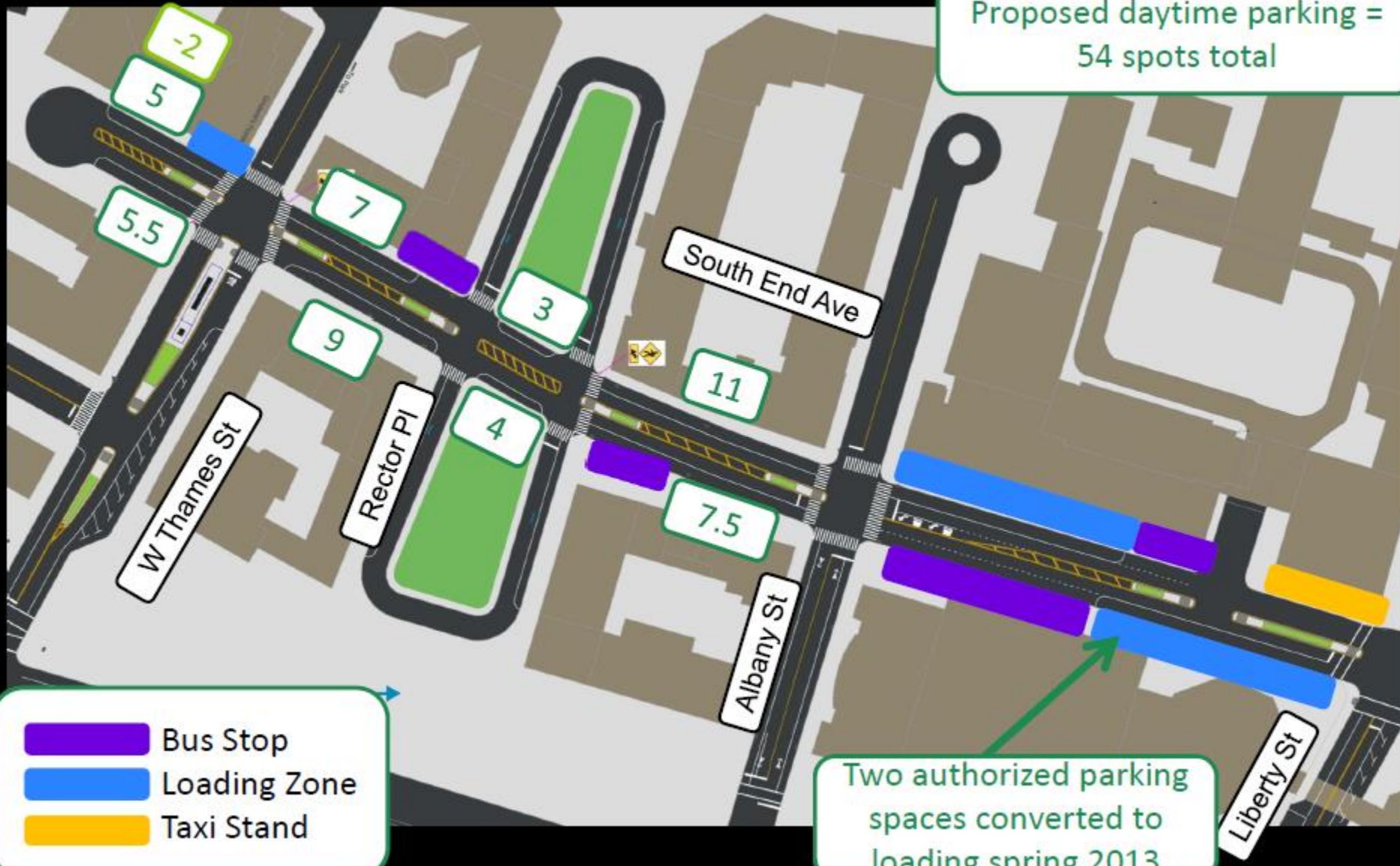
# Existing Parking and Loading

Existing daytime parking =  
56 spots



# Parking and Loading Plan

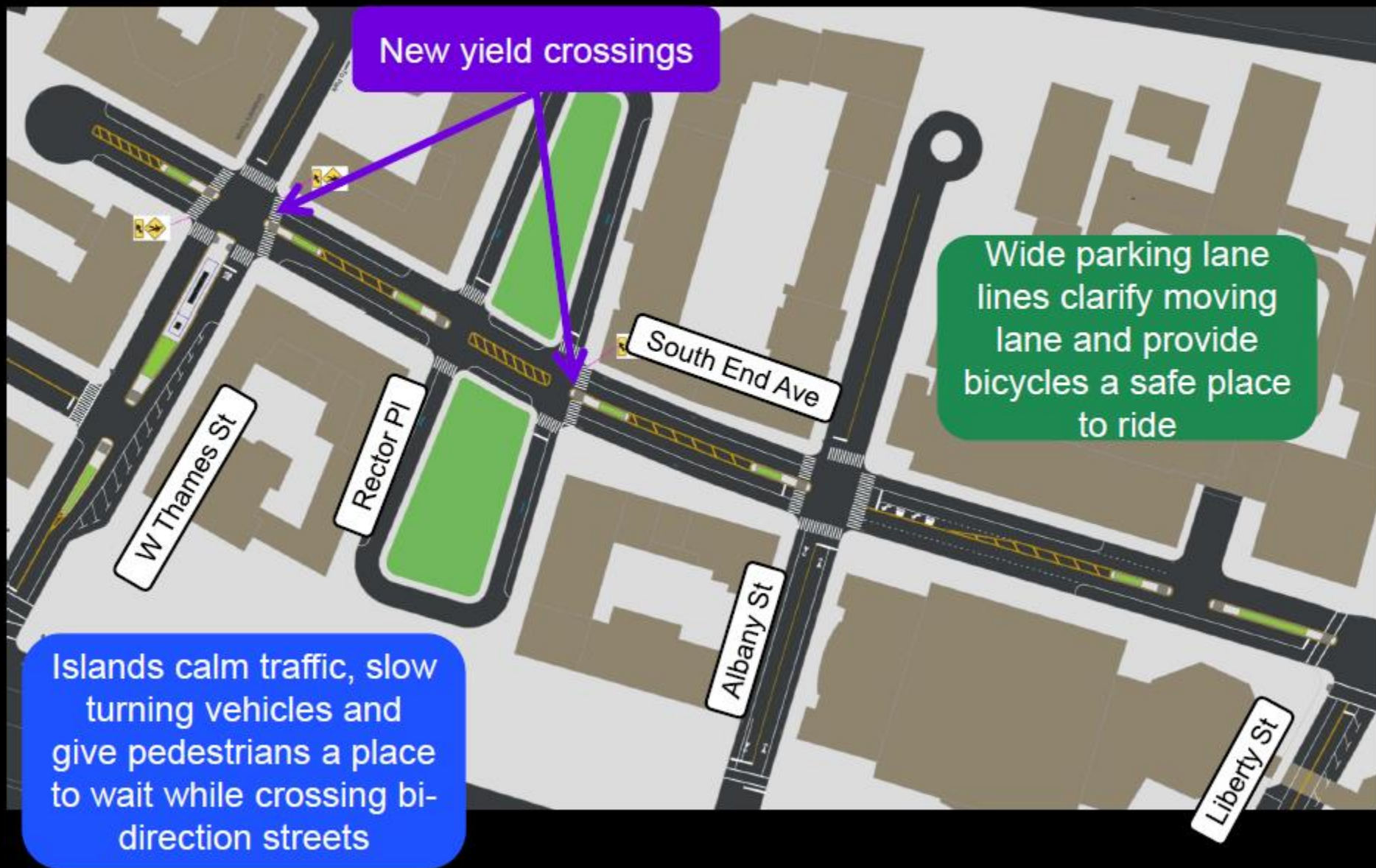
Proposed daytime parking = 54 spots total



- Bus Stop
- Loading Zone
- Taxi Stand

Two authorized parking spaces converted to loading spring 2013

# South End Ave Overview



# Proposed Improvements

- Add concrete islands at the following locations:
  - West Thames between West St and Battery PI
  - West Thames between Battery PI and S End Ave
  - S End Ave at W Thames St
  - S End Ave at Rector St (north side)
  - S End Ave at Albany St
  - S End Ave at Gateway Center Entrance
  - S End Ave at Liberty St
- New left turn bay on S End Ave at Albany St
- New neckdown on Liberty St at S End Ave
- New yield crosswalks on S End Ave at W Thames St and Rector St

# Manhattan Community Board 1 Committee Report

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## Quality of Life – P. Moore

1) Report – Construction Forum



Lower Manhattan  
construction  
vs.  
Quality of life

Join city agencies, local elected officials and Community Board 1 for an information forum on the scores of projects currently underway in lower Manhattan.

- *How are these projects affecting your life?*
- *How will they affect the neighborhood when completed?*

Help us program the evening by submitting questions in advance at this form: [bit.ly/2cdJhH7](http://bit.ly/2cdJhH7).

Thursday, Sept. 22, 2016 | 6 – 8 pm | 199 Chambers St.  
Borough of Manhattan Community College, Theater 2  
RSVP at [CB1construction.eventbrite.com](http://CB1construction.eventbrite.com)



# Manhattan Community Board 1 Committee Report

## Seaport/Civic Center – M. Pasanella

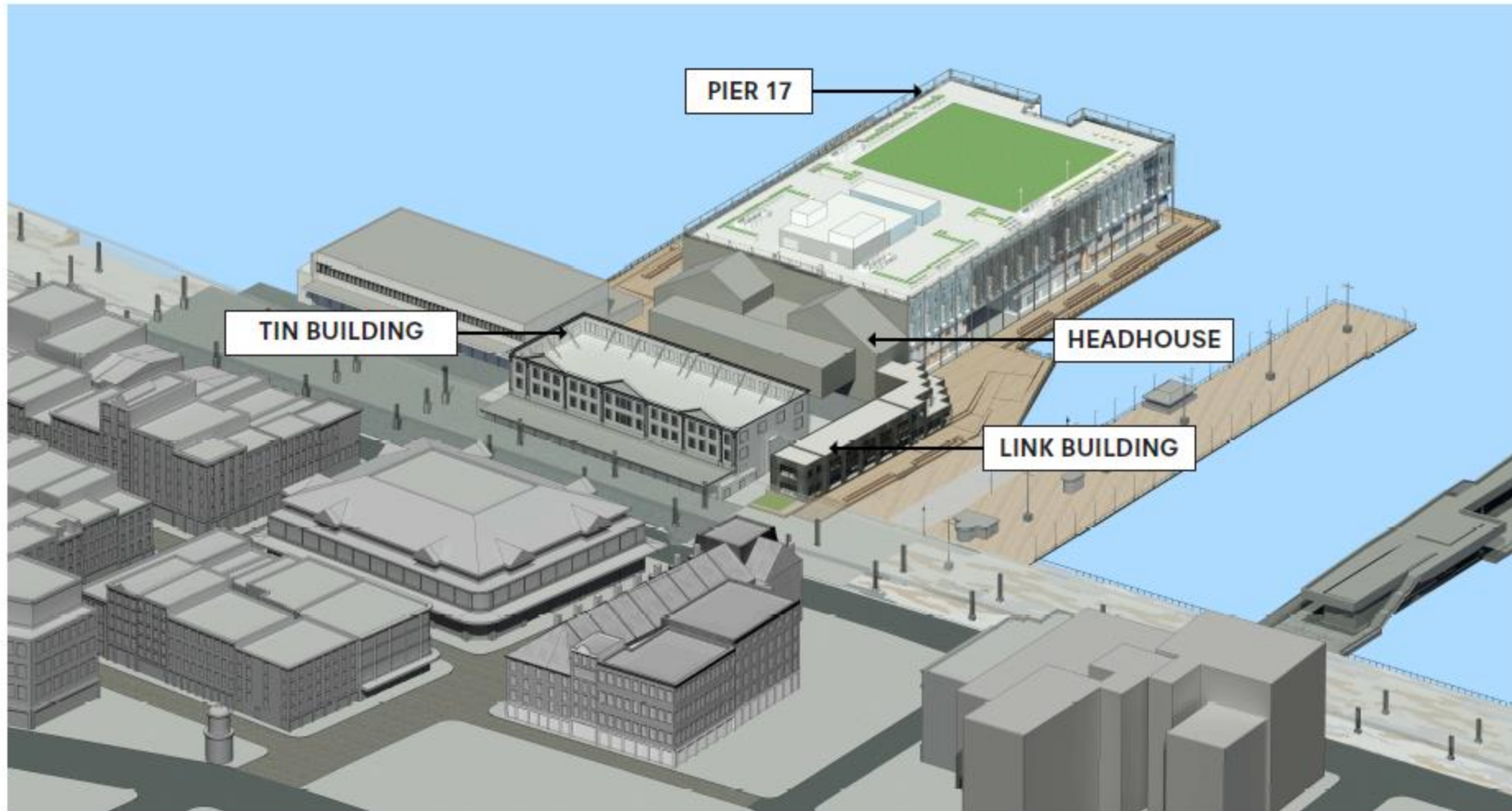
- 1) Minor modifications to previously approved Pier 17 ULURP – Resolution
- 2) 77 Fulton Street, application for restaurant liquor license for Pizzaiuoli Napoletani 1 LLC d/b/a TBD – Resolution
- 3) 181 Front Street, application for change in method of operation of an existing liquor license for Artists Loft LLC – Resolution
- 4) Taste of the Seaport – Report

# SOUTH STREET SEAPORT

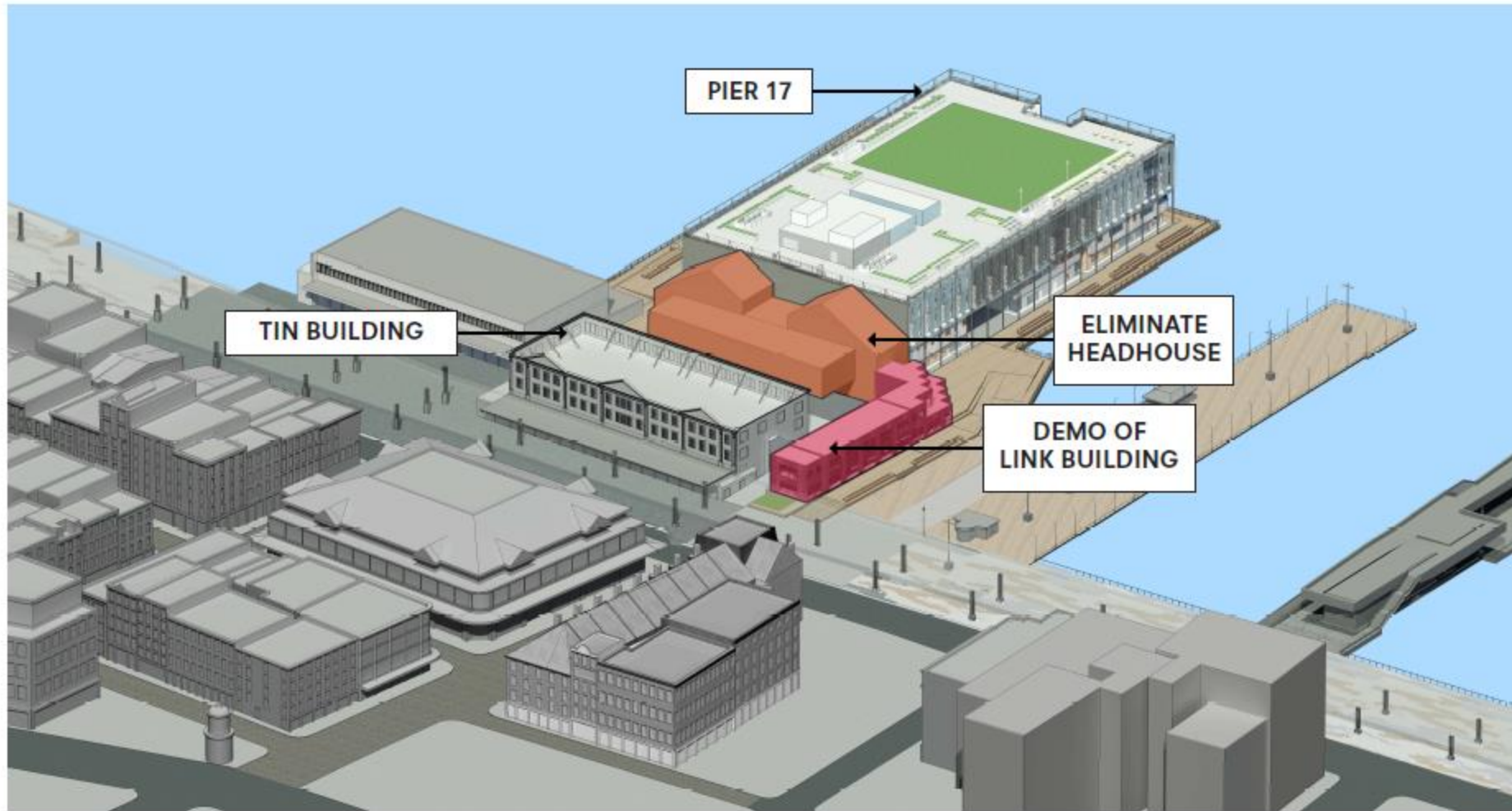
PIER 17 - MINOR MODIFICATION

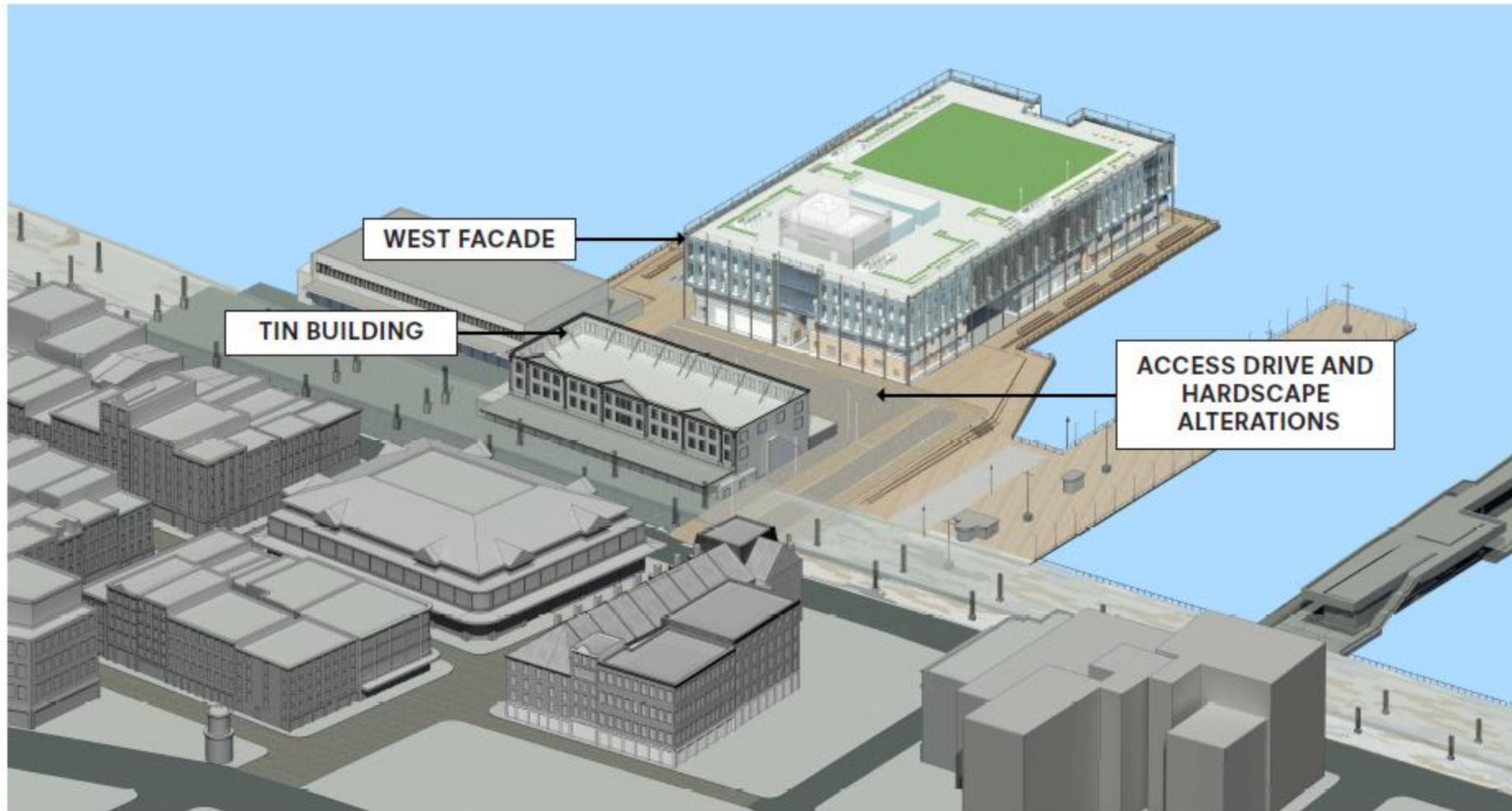
JULY 20, 2016

SOUTH STREET SEAPORT // PIER 17 - 2013 APPROVAL

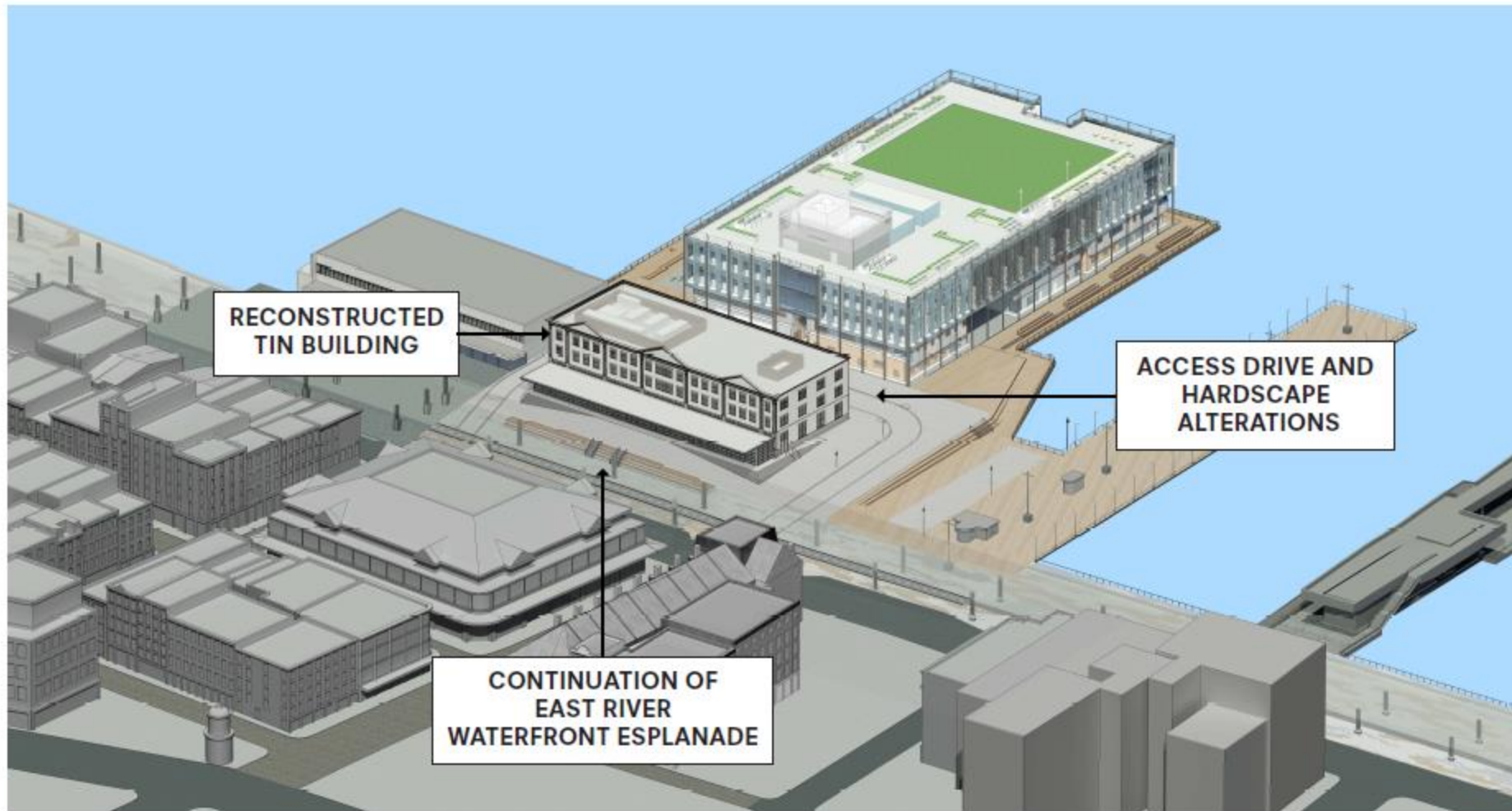


SOUTH STREET SEAPORT // PIER 17 DEMOLITION





**SOUTH STREET SEAPORT // PIER 17 - NEW PROPOSAL**

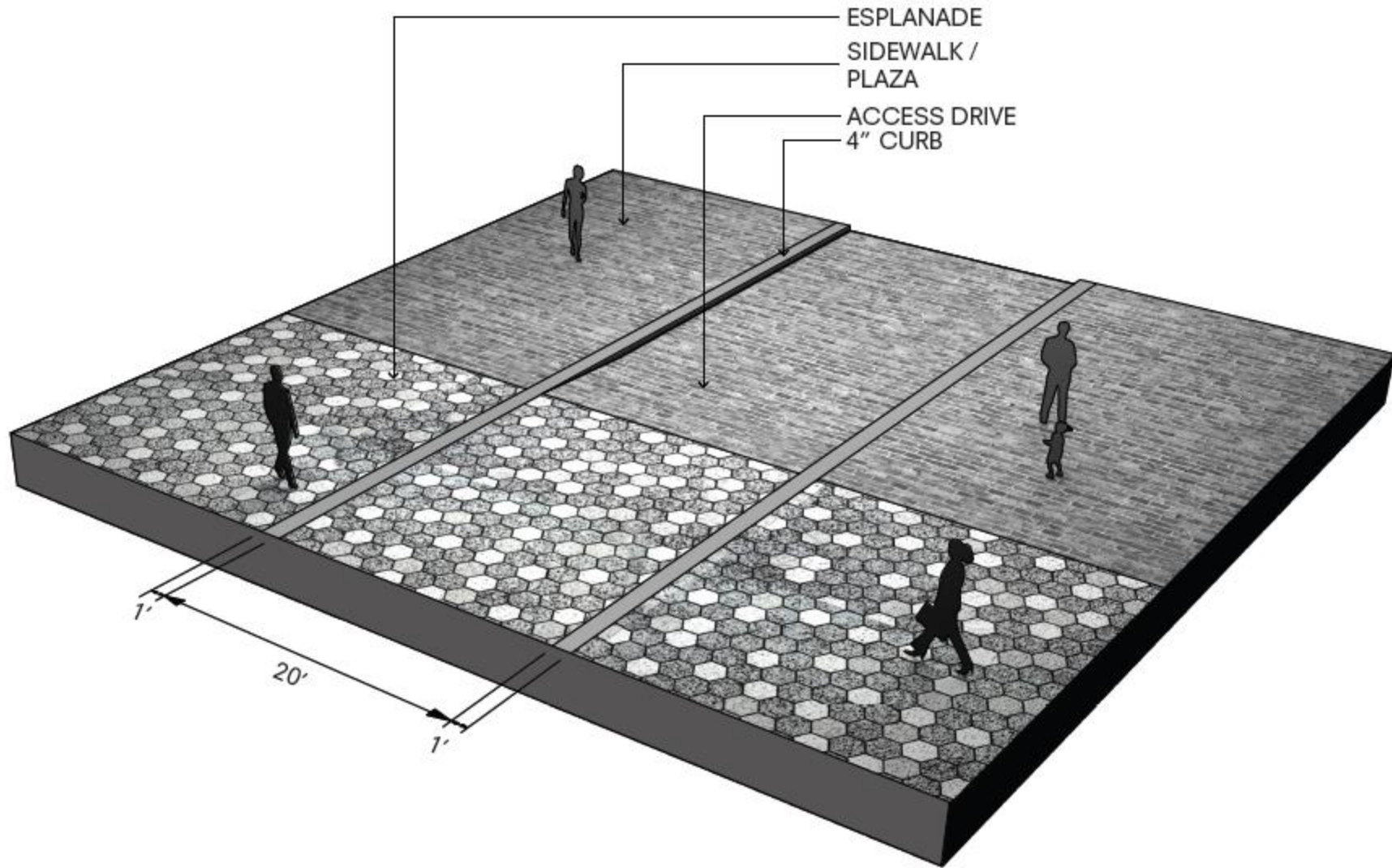


SOUTH STREET SEAPORT // HARDSCAPE // SEATING STEPS



\*FDR OMITTED FOR CLARITY

SOUTH STREET SEAPORT // HARDSCAPE // ACCESS DRIVE TYPICAL SECTION





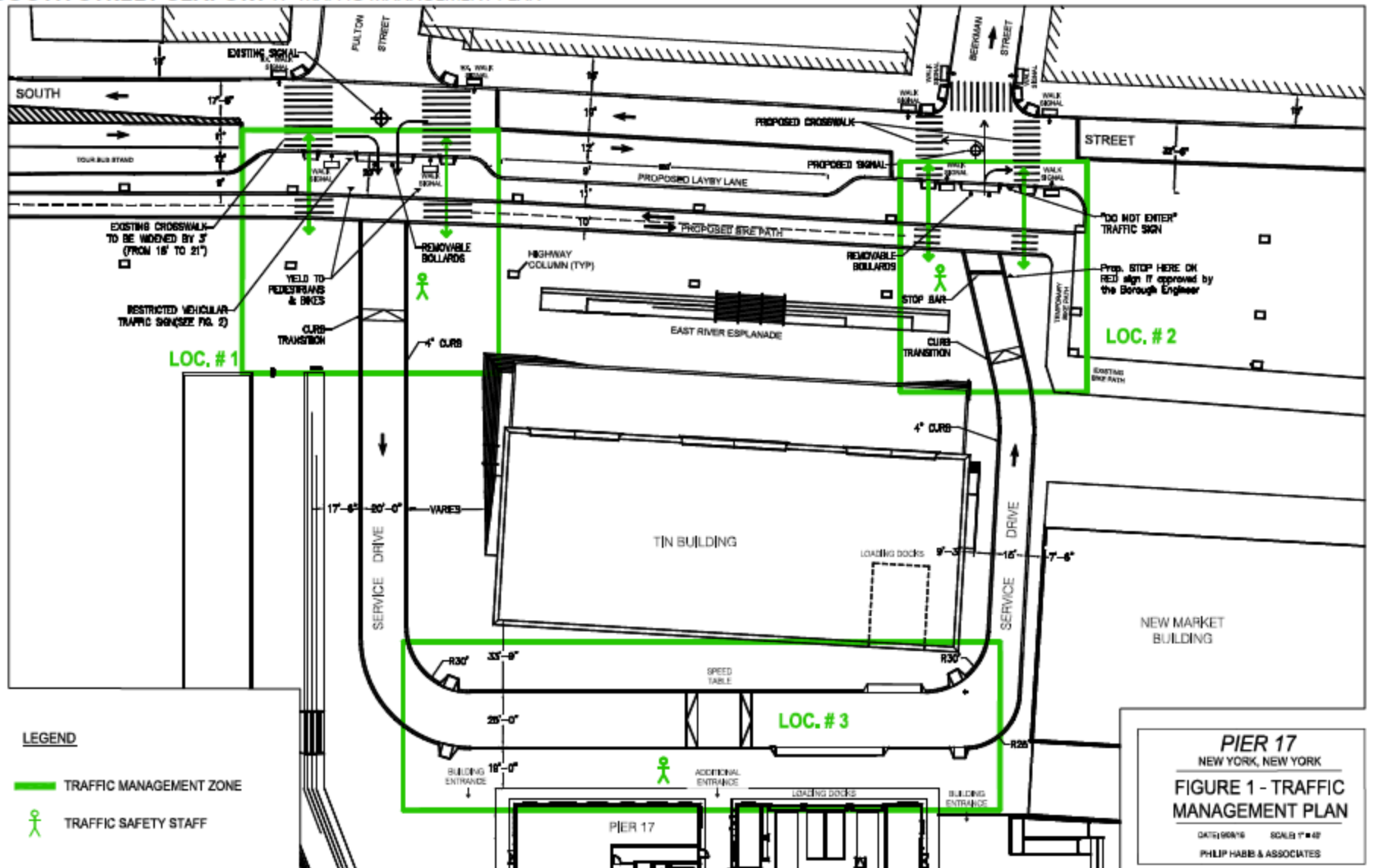
SOUTH STREET SEAPORT // VIEW OF EAST FACADE FROM THE SOUTH



SOUTH STREET SEAPORT // VIEW FROM SOUTH STREET



# SOUTH STREET SEAPORT // TRAFFIC MANAGEMENT PLAN



## SOUTH STREET SEAPORT // LIST OF ACTIONS

- Modification of 2013 special permits to enlarge the zoning lot and modify the site plan subject to the special permits:
  - o Large-scale waterfront yard special permit (ZR Section 74-743(a)(2)): no change in yards.
  - o Large-scale signage special permit (ZR Section 74-744(c)): Pier 17 Building west façade; and
  - o Waterfront height and setback special permit (ZR Section 62-834): shift in Pier 17 building and addition of light poles on the roof;
- Waterfront Authorization (ZR Section 62-822(b)): design of waterfront public access areas – to modify design requirements for new waterfront public access areas.
- Waterfront Certification (ZR Section 62-811): to approve the design for the waterfront public access areas, as modified by the new and previously approved Authorizations.

# Manhattan Community Board 1 Committee Reports

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## Planning – P. Kennell

- 1) NYC Street Design Manual – Report
- 2) Resiliency Task Force – Report

# Manhattan Community Board 1 Committee Reports

## Tribeca – E. Lewinsohn

- 1) 158 Duane Street, application for Board of Standards and Appeals Special Permit for a Physical Culture Establishment, YogaSpark – Resolution
- 2) 225 West Broadway, application for liquor license for 225 West Broadway Corp – Resolution
- 3) 5 White Street, application for change in method of operations for North of Houston LLC – Report
- 4) 412 Greenwich Street, application for liquor license for entity to be formed by Tom Gialamboukis – Report
- 5) Two Hands sidewalk café, 251 Church Street – Report



Two Hands sidewalk café, 251 Church Street

# Manhattan Community Board 1

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## New Business

1) Proposed changes to SAPO regulations – Resolution



# Manhattan Community Board 1

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## Adjournment

Thank you and good night

# North Entrance

Landing Area: **691 SF**

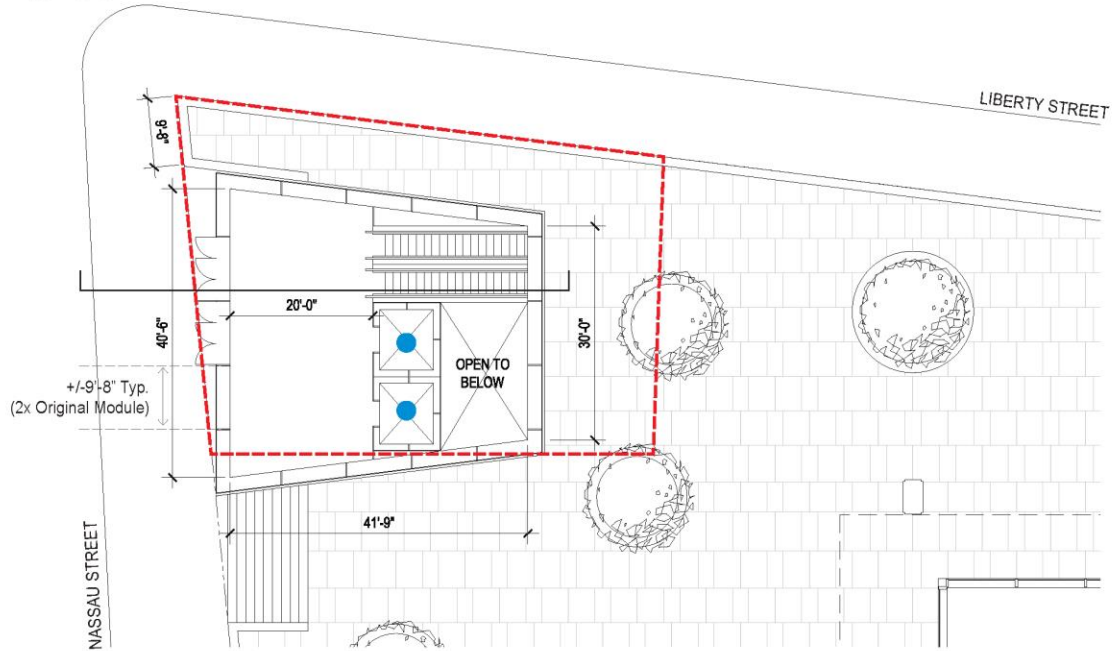
Retail Area Served: **171,641 SF**

Retail Occupancy Served: **3,210 People**

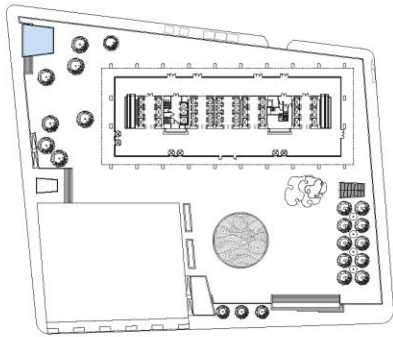
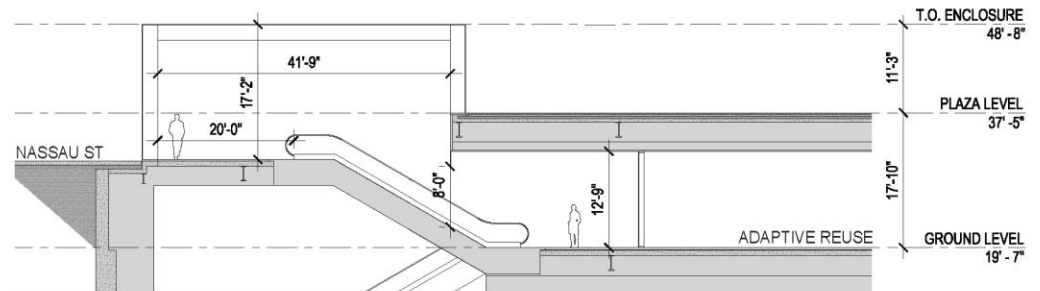
- 8' minimum head clearance at escalator
- 20' minimum escalator run-off landing  
(Kenneth W. Griffin, ed., *Transit Facilities*, 2004)

- Accessible entrance to adaptive reuse
- Footprint of March 24<sup>th</sup> entrance

Plan at Street Level



Section

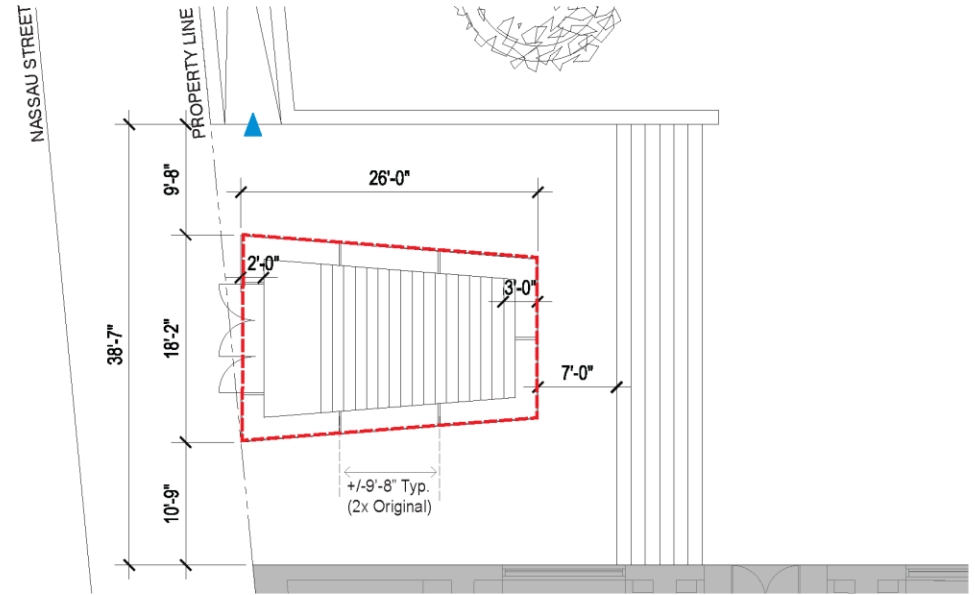


# Cedar Street Entrance (no change from March 24<sup>th</sup>)

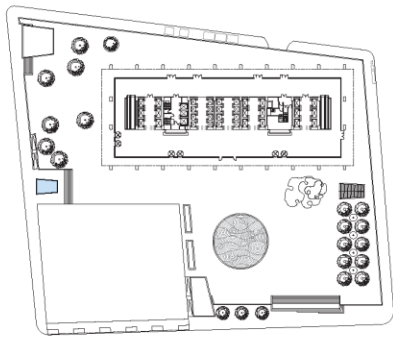
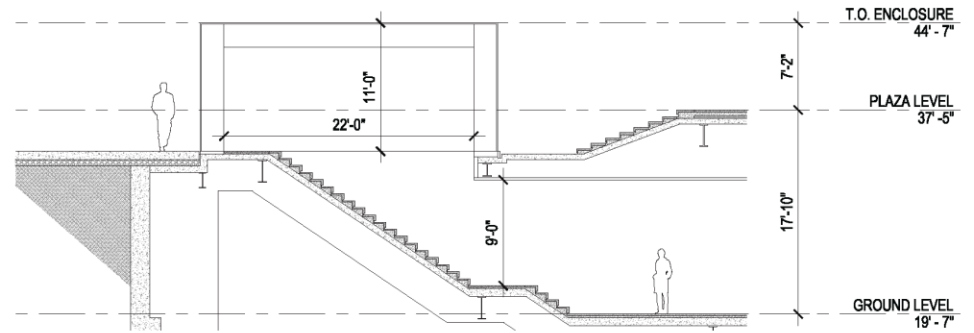
Landing Area: **136 SF**

- weather-safe enclosure for existing stair
- ▶ Accessible entrance to plaza
- ⋯ Footprint of March 24<sup>th</sup> entrance

Plan at Street Level



Section



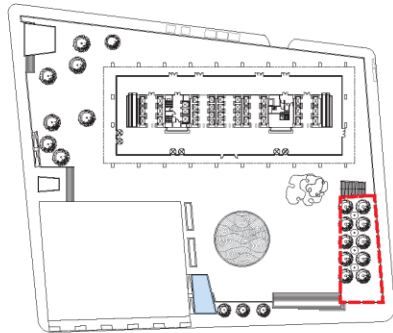
# South Entrance

Landing Area: **432 SF**

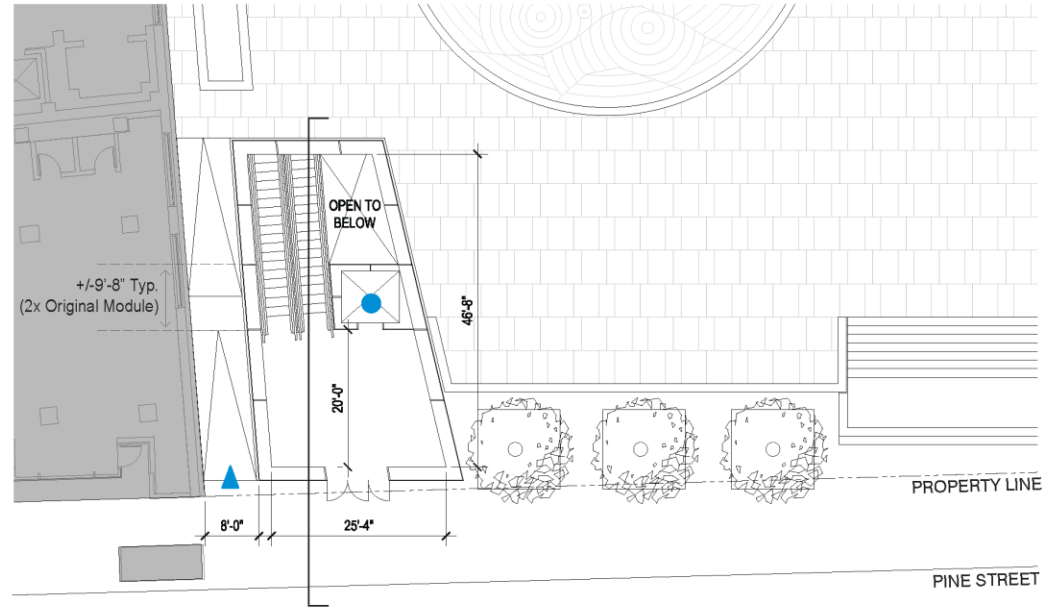
Retail Area Served: **76,488 SF**

Retail Occupancy Served: **1,680 People**

- 8' minimum head clearance at escalator
- 20' minimum escalator run-off landing  
(Kenneth W. Griffin, ed., *Transit Facilities*, 2004)
- Accessible entrance to adaptive reuse
- ▶ Accessible entrance to plaza
- ⋯ Footprint of March 24<sup>th</sup> entrance



Plan at Street Level



Section

