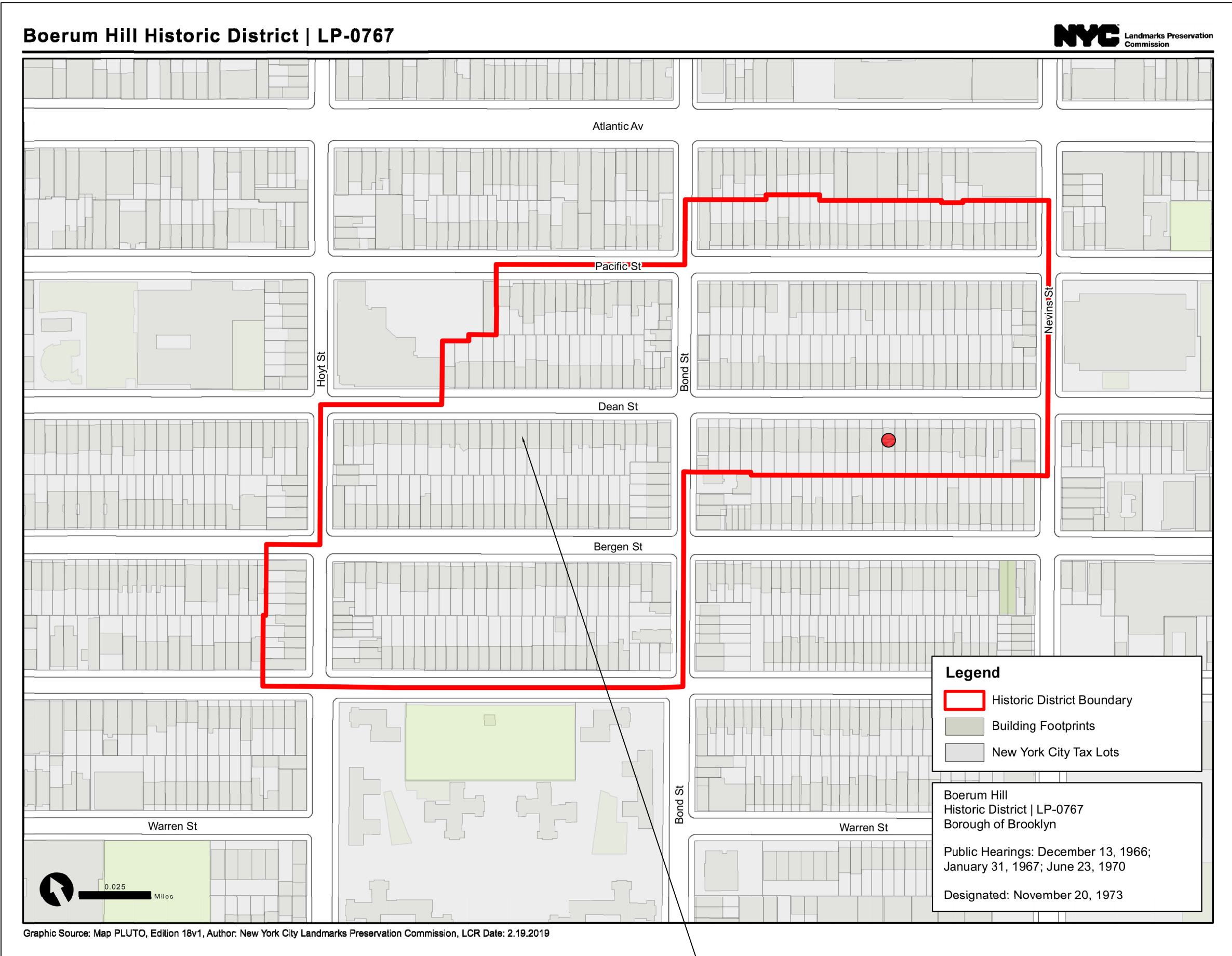




1 CA. 1940 TAX PHOTO OF SUBJECT BUILDING

N.T.S.



3 HISTORIC DISTRICT BOUNDARY

N.T.S.



4 BLOCK PLAN

N.T.S.



2 CURRENT PHOTO OF SUBJECT BUILDING

N.T.S.

RENOVATION OF 164 DEAN STREET BROOKLYN, NEW YORK 11217

PRESENTED TO LANDMARKS PRESERVATION COMMISSION

DRAWING INDEX:

- LM-01 TAX PHOTOS AND BLOCK PLAN
- LM-02 BLOCK PLAN
- LM-03 MECHANICAL SIGHTLINE PHOTOS & DIAGRAM
- LM-04 EXISTING AND PROPOSED REAR EXTERIOR ELEVATIONS & REAR FACADE PHOTOS
- LM-05 EXISTING AND PROPOSED REAR WINDOWS

SHEET NOTES:

ARCHITECT OF RECORD:

Ben Herzog Architect, P.C.
247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (347) 410-5560

PROJECT:

CORDEN-LAKE-D'SOUZA
RESIDENCE
164 Dean Street
Brooklyn, NY 11217

PROPRIETARY INFORMATION:

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DRAWING TITLE

TAX PHOTOS, BLOCK
PLAN, & SCOPE
DIAGRAM

ISSUE	DATE
LPC SUBMITTAL	10/23/25
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DOB STAMP

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PROJECT #	DRAWING #
267	LM-01
DATE	SHEET
10-23-25	01 OF 5



142 DEAN
2 STORY
ADDITION

148 DEAN
2 STORY
ADDITION

150 DEAN
3 STORY
ADDITION

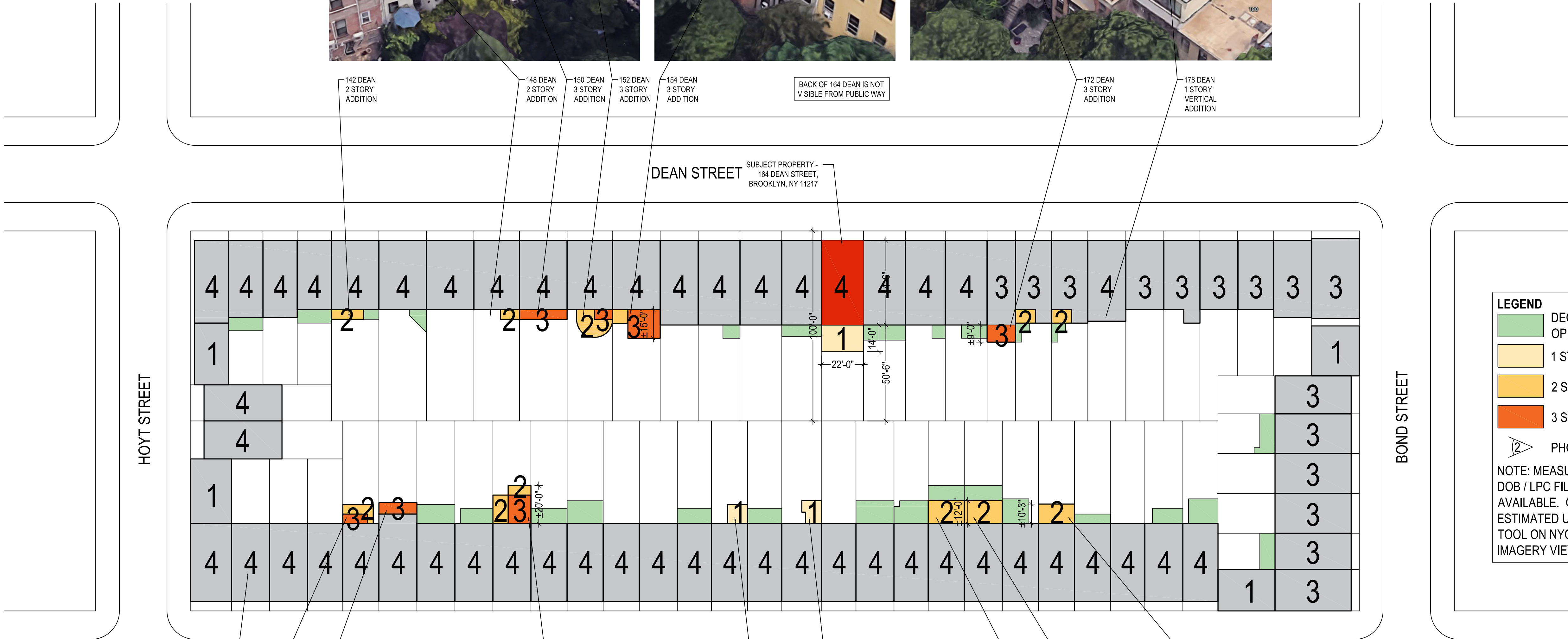
152 DEAN
3 STORY
ADDITION

154 DEAN
3 STORY
ADDITION

BACK OF 164 DEAN IS NOT
VISIBLE FROM PUBLIC WAY

172 DEAN
3 STORY
ADDITION

178 DEAN
1 STORY
VERTICAL
ADDITION



NUMBERS INDICATE HEIGHTS
OF BUILDINGS IN STORIES



141 BERGEN
3 STORY
ADDITION

143 BERGEN
3 STORY
ADDITION

149 BERGEN
3 STORY
ADDITION

161 BERGEN
1 STORY
ADDITION

165 BERGEN
1 STORY
ADDITION

173 BERGEN
2 STORY
ADDITION

175 BERGEN
2 STORY
ADDITION

179 BERGEN
1 STORY RAISED
ADDITION

1 BLOCK PLAN

1/64" = 1'-0"



SHEET NOTES:

ARCHITECT OF RECORD:

Ben Herzog Architect, PC
247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (347) 410-5660

PROJECT:

CORDEN-LAKE-D'SOUZA
RESIDENCE
164 Dean Street
Brooklyn, NY 11217

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DRAWING TITLE

BLOCK PLAN

ISSUE

LPC SUBMITTAL

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REGISTERED ARCHITECT
BENJAMIN F. HERZOG
032918
STATE OF NEW YORK

PROJECT #

267

DATE

10-23-25

DRAWING #

LM-02

SHEET

02 OF 5



SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

1 VIEW 'A'



SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

2 VIEW 'B'



SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

3 VIEW 'C'



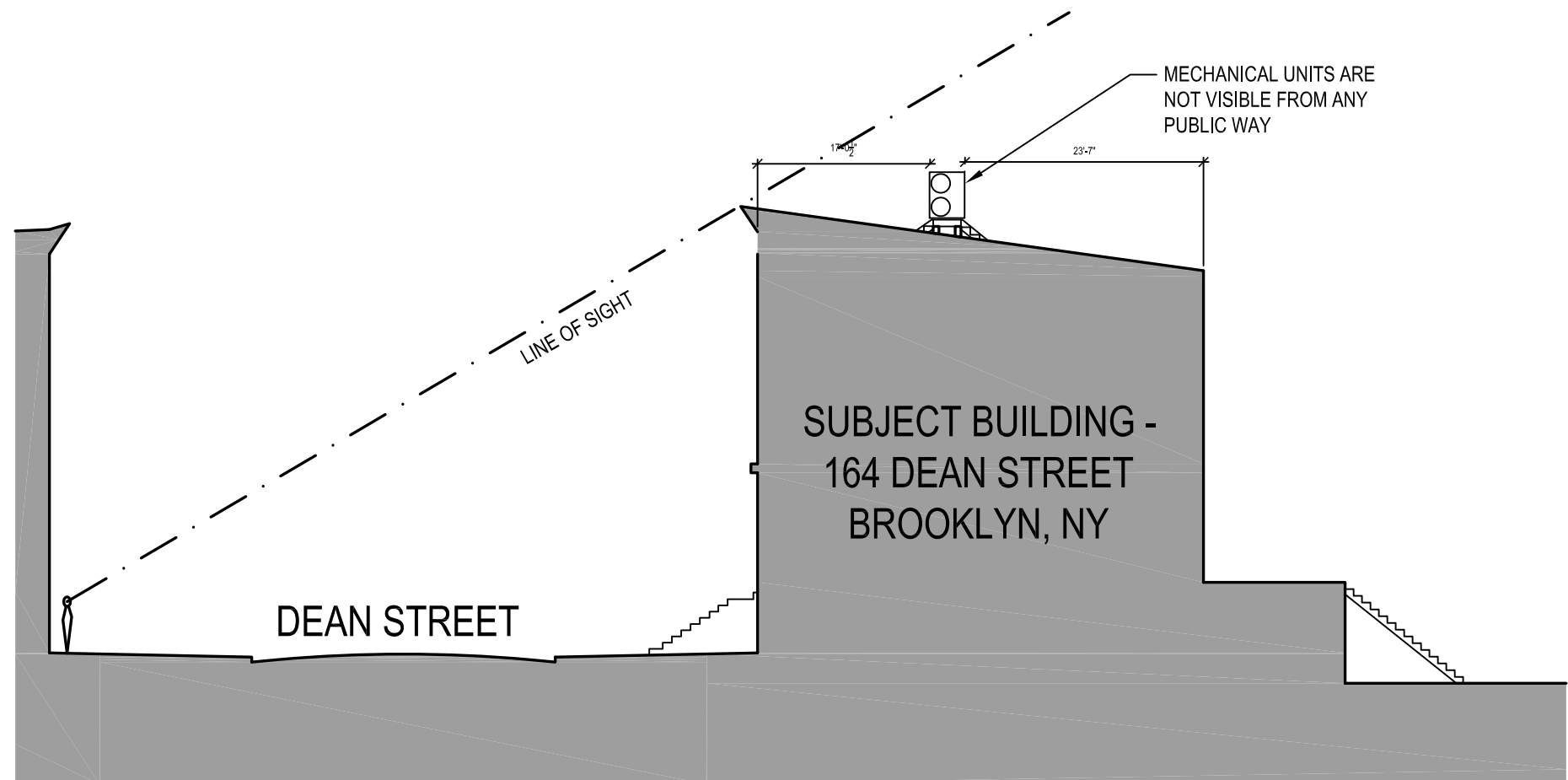
SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

4 VIEW 'D'

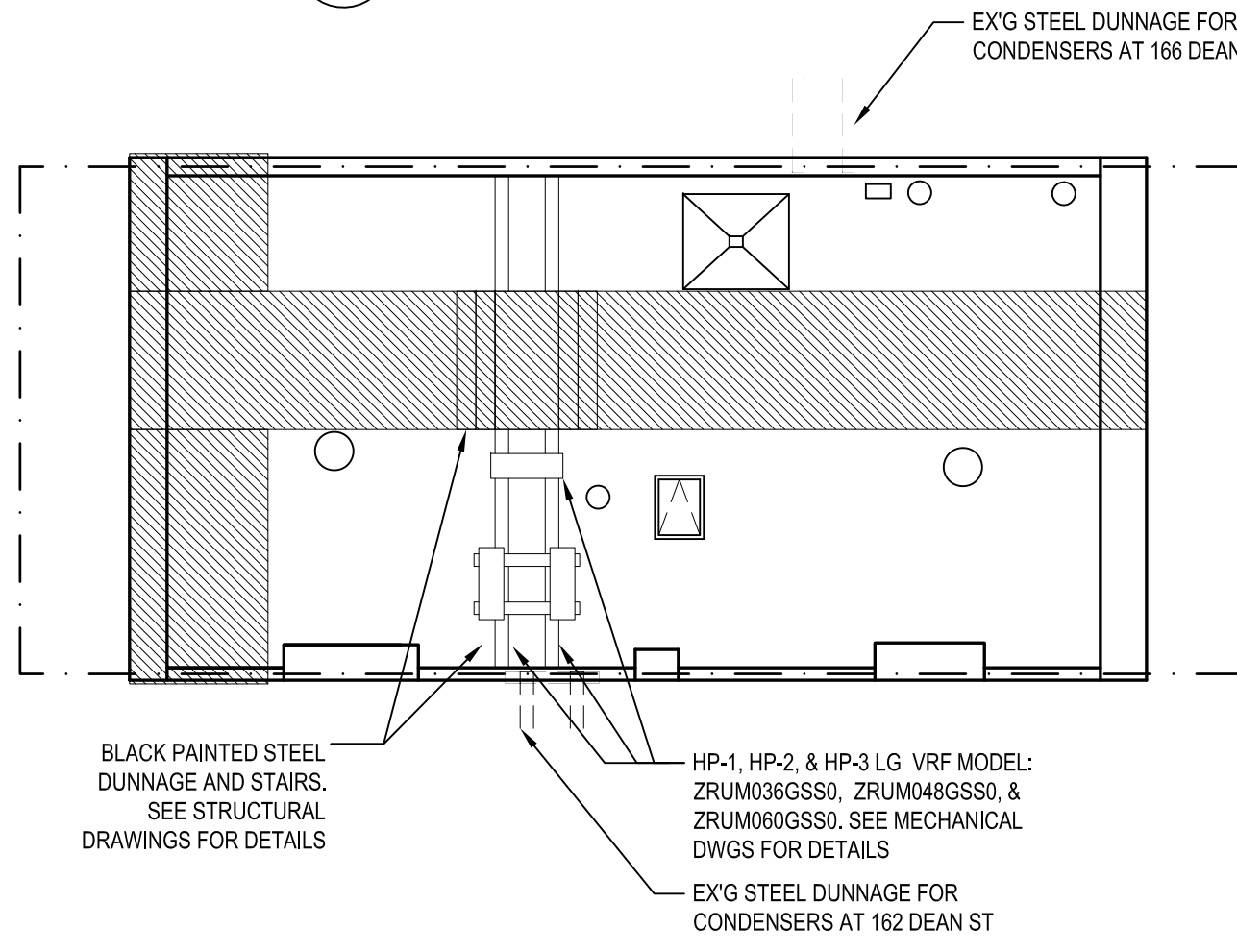


SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY

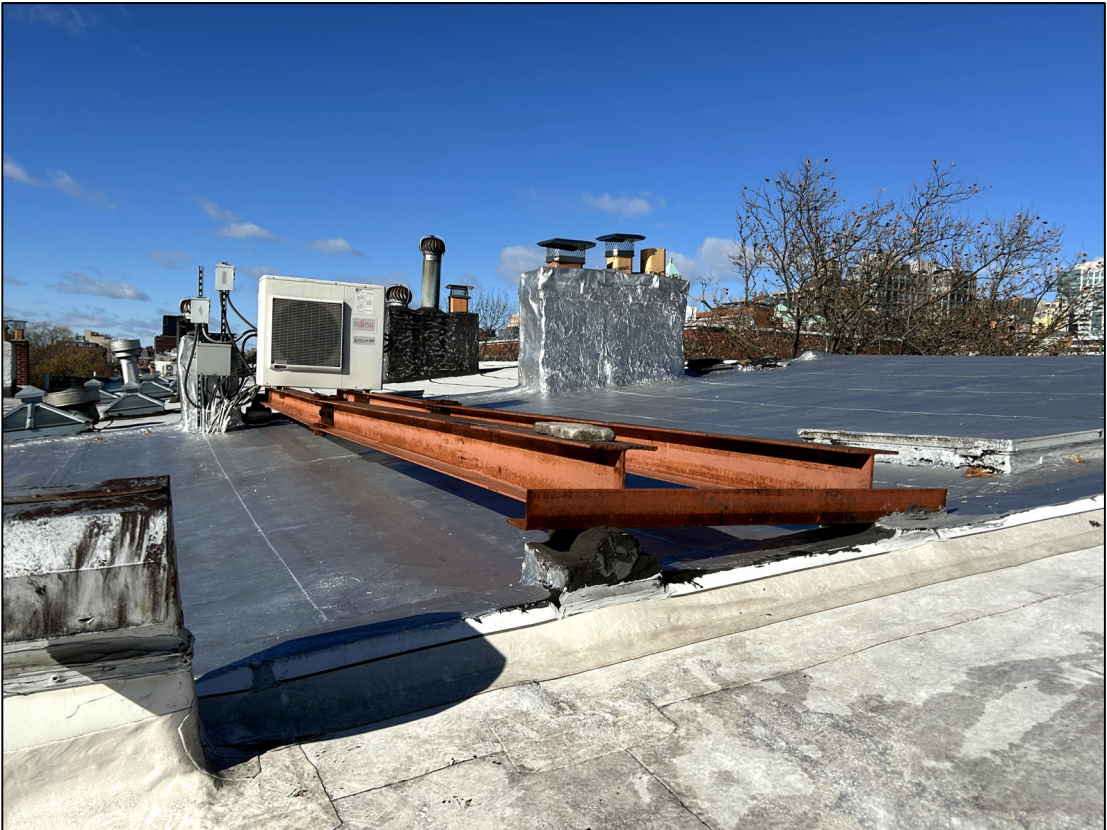
5 VIEW 'E'



6 VIEW SIGHTLINE SECTION
1/16" = 1'-0"



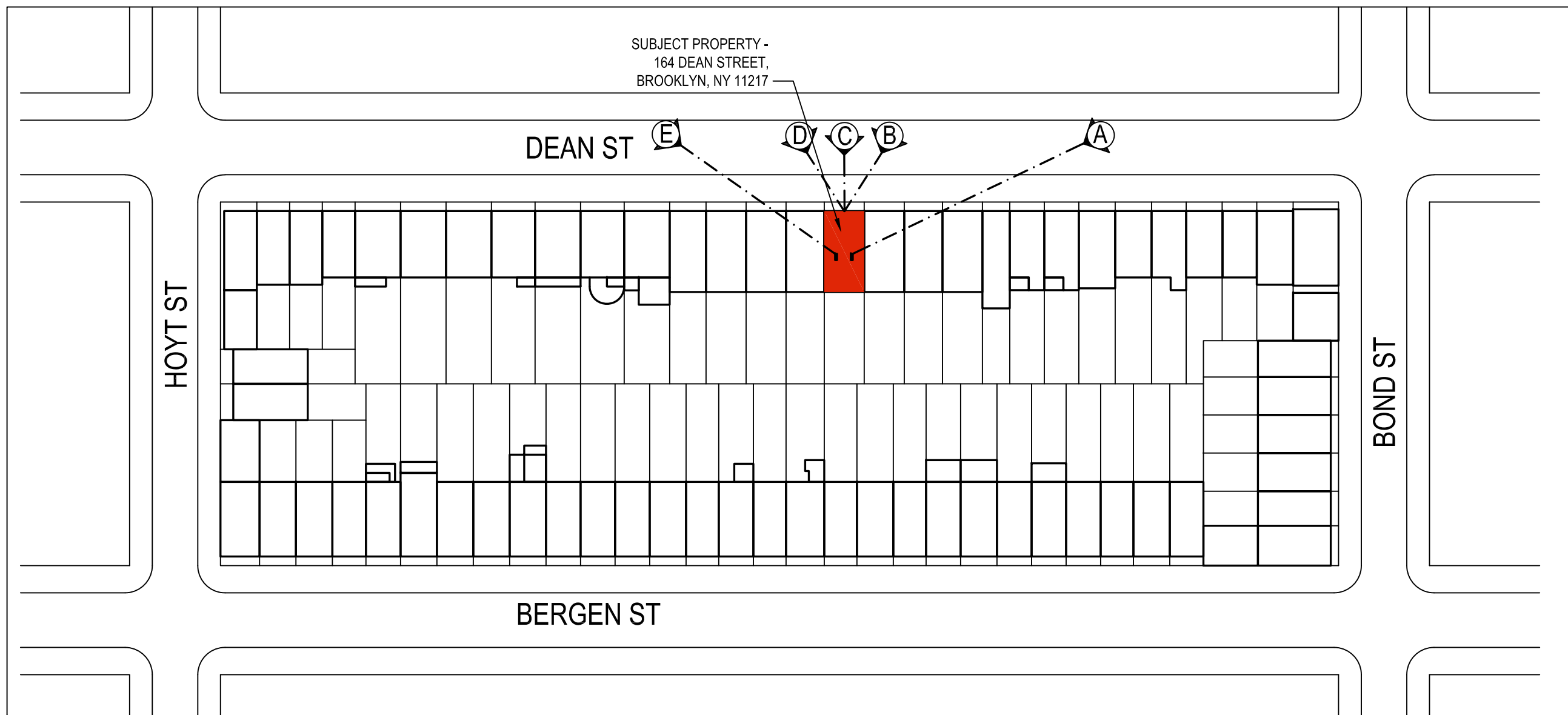
7 PROPOSED ROOF PLAN
1/8" = 1'-0"



10 ROOFTOP DUNNAGE AT 162 DEAN ST
NTS



11 ROOFTOP DUNNAGE AT 166 DEAN ST
NTS



8 BLOCK PLAN
1/64" = 1'-0"

LG CONDENSERS
ZRUM036GSS0,
ZRUM048GSS0, &
ZRUM060GSS0

DIMENSIONS:
54.4" X 37.4" X 13"



9 CONDENSER SPEC AND PHOTO

SHEET NOTES:

ARCHITECT OF RECORD:

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Brooklyn, NY 11215
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DRAWING TITLE

MECHANICAL
SIGHTLINE PHOTOS &
DIAGRAM

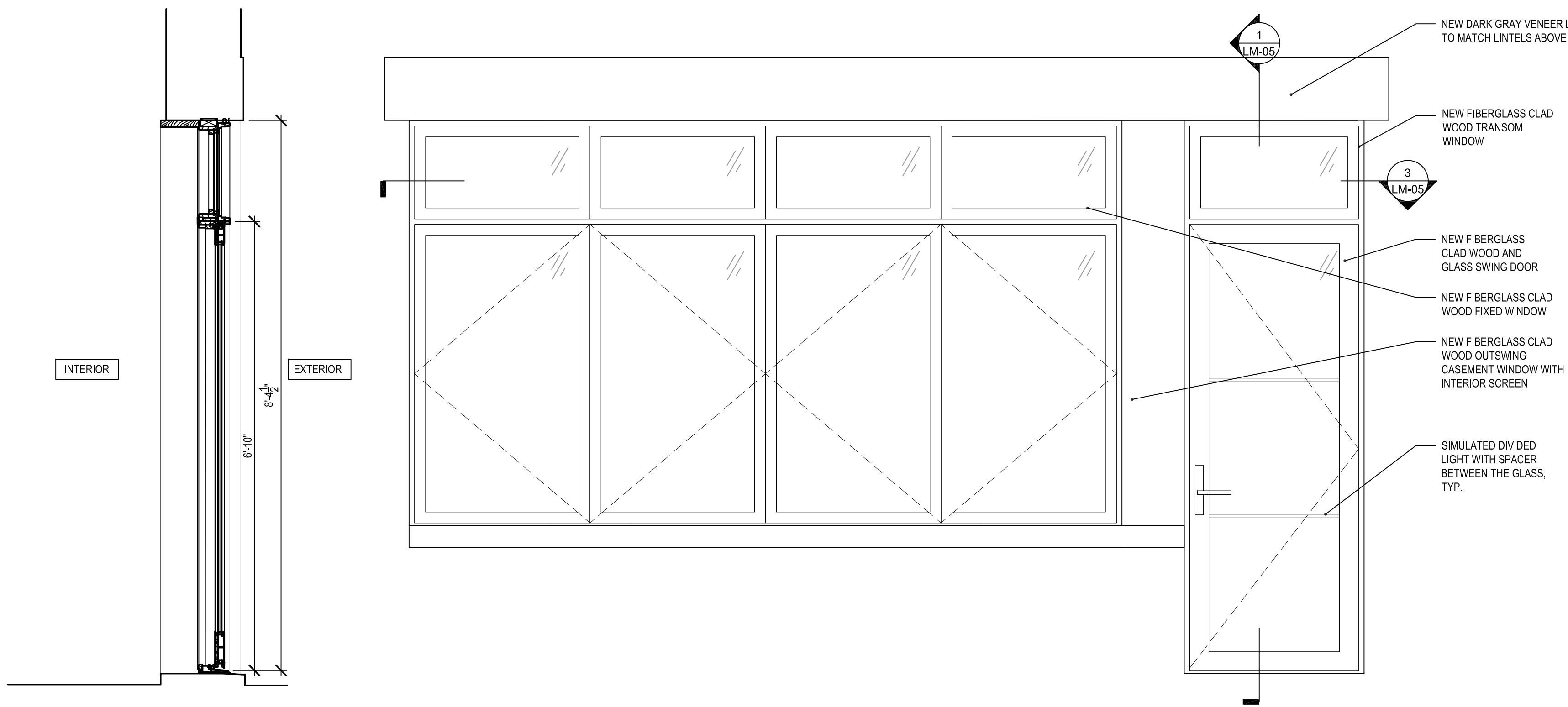
ISSUE	DATE
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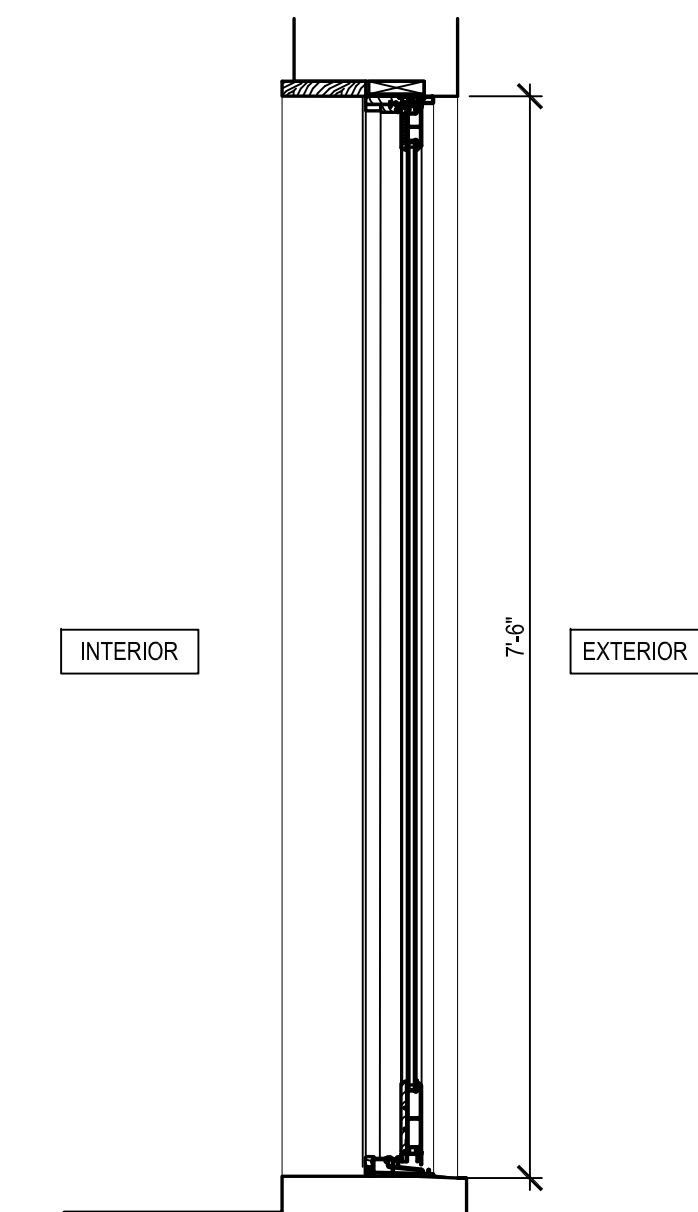
PROJECT #	DRAWING #
267	LM-03
DATE	SHEET
10-23-25	03 OF 5



1 PROPOSED SECT.
3/4" = 1'-0"

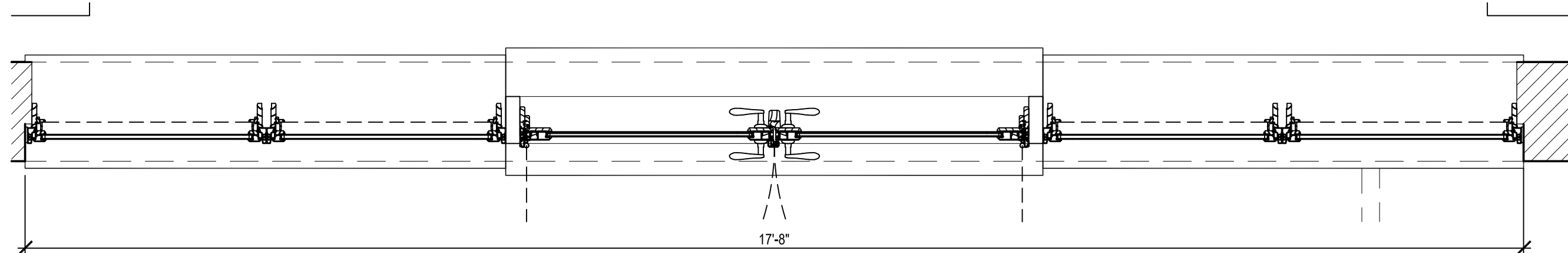
2 PROPOSED REAR PARLOR ELEV.
3/4" = 1'-0"

3 PROPOSED AND WINDOW DOOR PLAN
3/4" = 1'-0"



4 PROPOSED SECT.
3/4" = 1'-0"

5 PROPOSED REAR PARLOR ELEV.
3/4" = 1'-0"



6 PROPOSED AND WINDOW DOOR PLAN
3/4" = 1'-0"



7 EXISTING REAR FACADE



8 EXISTING SECOND AND THIRD FLOOR REAR FACADE



9 EXISTING BASEMENT & FIRST FL. REAR FACADE

NOTE: ALL EXISTING
DIMENSIONS TO BE
VERIFIED IN FIELD

SHEET NOTES:

ARCHITECT OF RECORD:

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247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (347) 410-5660

PROJECT:

CORDEN-LAKE-D'SOUZA
RESIDENCE
164 Dean Street
Brooklyn, NY 11217

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DRAWING TITLE

EXISTING AND
PROPOSED REAR
WINDOWS

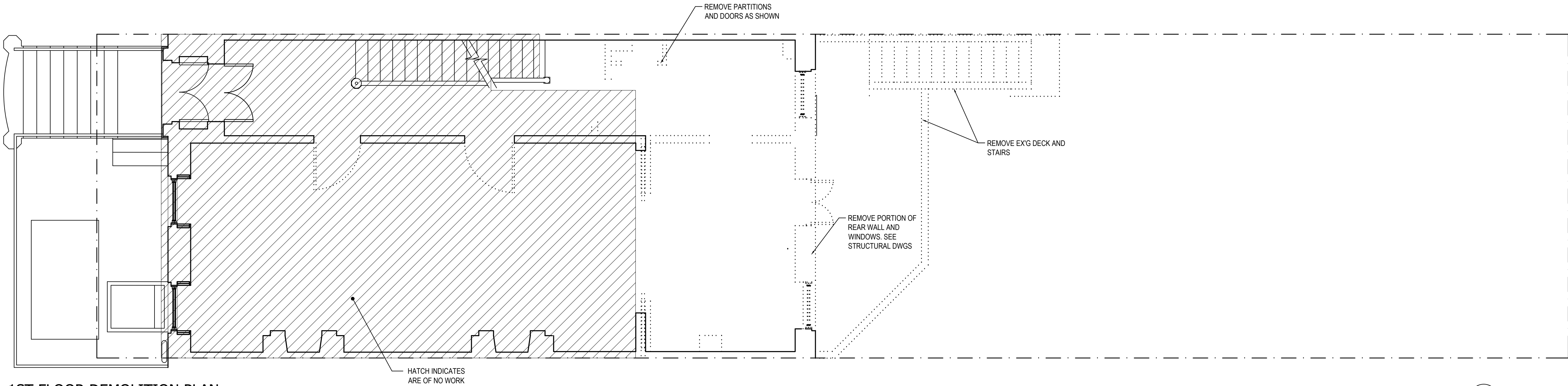
ISSUE	DATE
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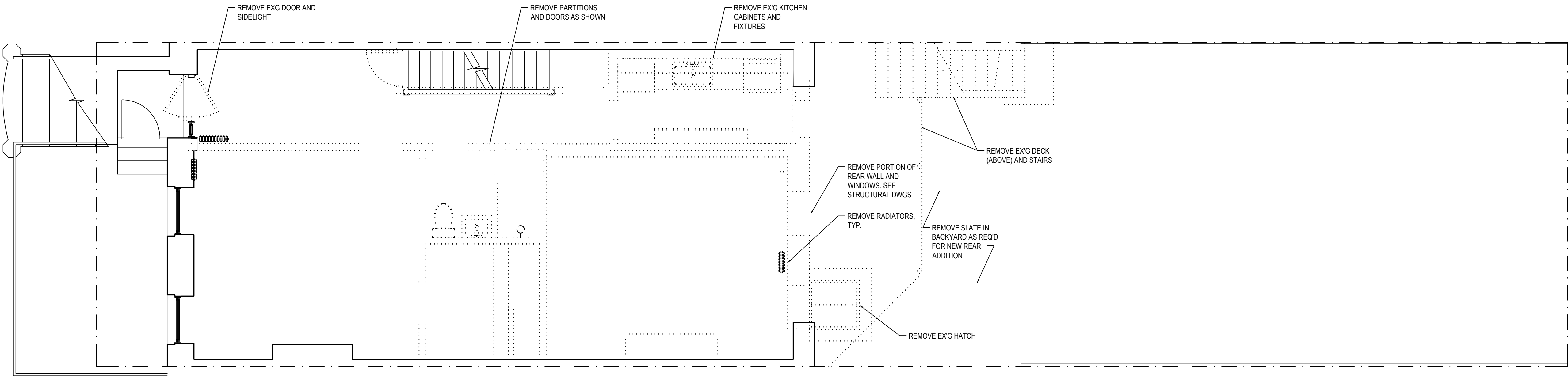


PROJECT #	DRAWING #
267	LM-05
DATE	SHEET
10-23-25	5 OF 5



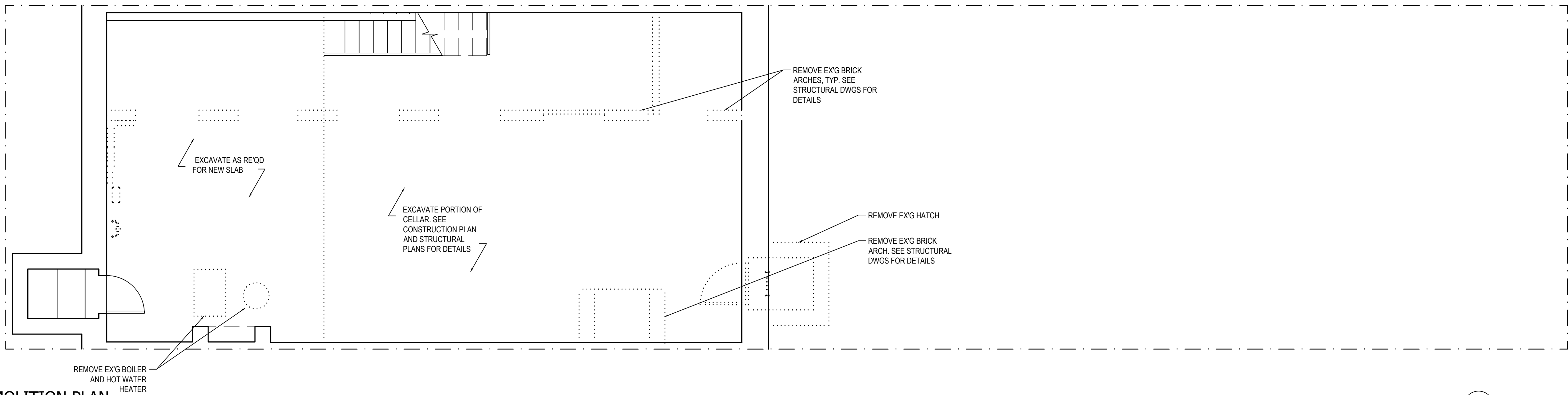
3 1ST FLOOR DEMOLITION PLAN

1/4" = 1'-0" N



2 BASEMENT DEMOLITION PLAN

1/4" = 1'-0" N



1 CELLAR DEMOLITION PLAN

1/4" = 1'-0" N

DEMOLITION LEGEND

TO BE DEMOLISHED

EXISTING WALL

NEW WALL

NEW WALL, PARTIAL HEIGHT

LIVING ROOM

ROOM TAG

X

REVISION TAG

5
A-X-X

SECTION TAG

1
A-X
3
4

ELEVATION TAG

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.

2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL FULLY BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.

4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY WITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF ARTICLE 19 OF THE NYC BUILDING CODE.

6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.

7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.

8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

9. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

SHEET NOTES:

ARCHITECT OF RECORD:

Ben Herzog Architect, PC
247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (347) 410-5560

PROJECT:

CORDEN-LAKE-D'SOUZA
RESIDENCE
164 Dean Street
Brooklyn, NY 11217

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DRAWING TITLE

DEMOLITION PLANS:
CELLAR, BASEMENT,
AND 1ST FLOORS

ISSUE

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DOB NOW JOB #:

B01282577-11

DOB STAMP

SEAL & SIGNATURE



PROJECT #

267

DRAWING #

DM-001.00

DATE

10-21-25

SHEET

03 OF 13

ROOF- HIGH POINT
44'-10" ABOVE DATUM

ROOF- LOW POINT
38'-6" ABOVE DATUM

3RD FLOOR
30'-6" ABOVE DATUM

2ND FLOOR
20'-3" ABOVE DATUM

1ST FLOOR
7'-6" ABOVE DATUM

DATUM / AVG. T.O. CURB 0'-0" ABOVE DATUM

BASEMENT
1'-3" BELOW DATUM

CELLAR
8'-11" BELOW DATUM

1 EXISTING BUILDING SECTION

1/4" = 1'-0"

DOB STAMP

SHEET NOTES:

ARCHITECT OF RECORD:

Ben Herzog Architect, PC
247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (347) 410-5860

PROJECT:

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RESIDENCE
164 Dean Street
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DRAWING TITLE

EXISTING BUILDING
SECTION

ISSUE DATE

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DOB NOW JOB #:

B01282577-11

SEAL & SIGNATURE



PROJECT #

267

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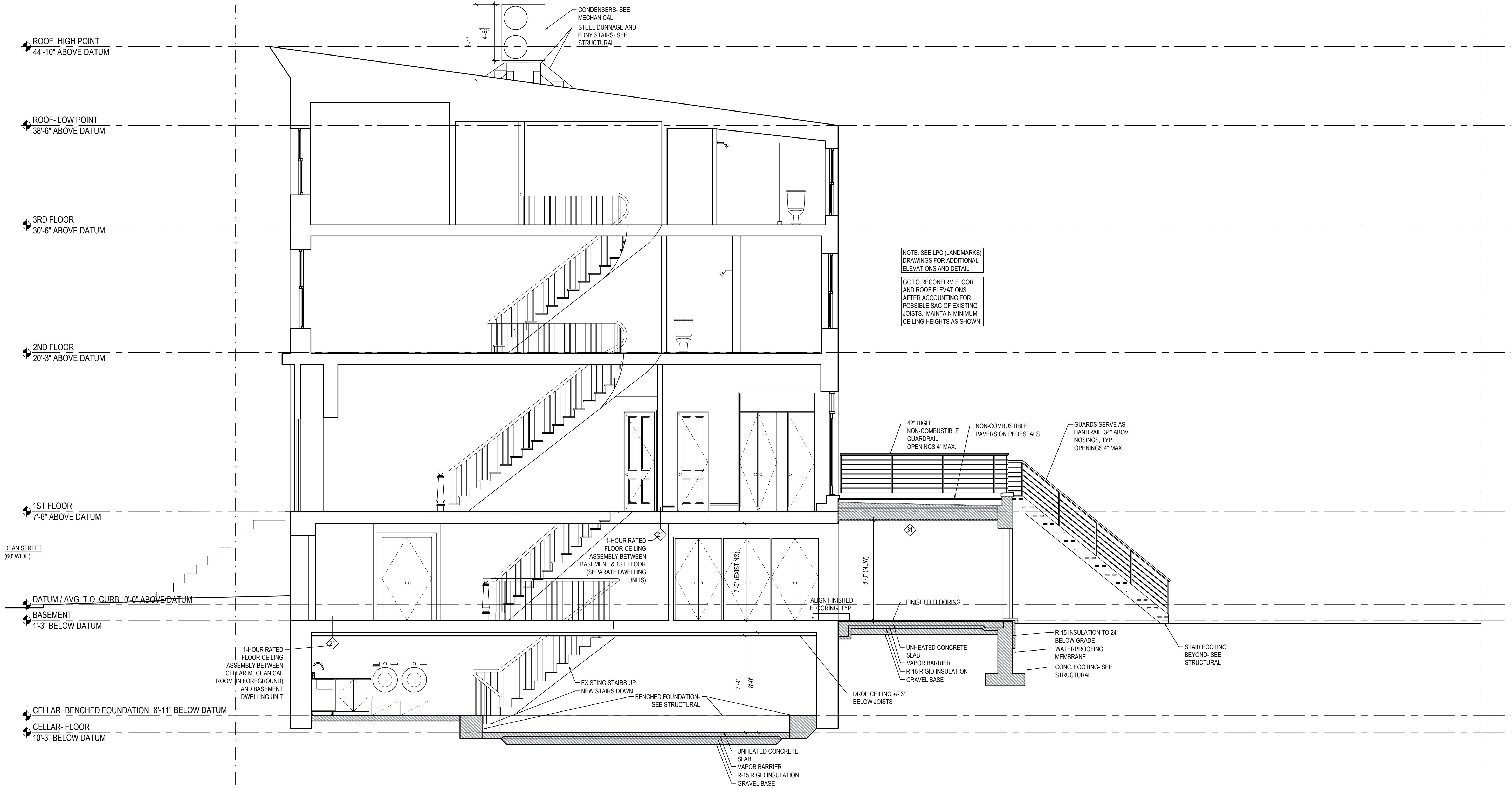
A-200.00

DATE

10-21-25

SHEET

09 OF 13



1 PROPOSED BUILDING SECTION

1/4" = 1'-0"

SHEET NOTES:

ARCHITECT OF RECORD:

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DRAWING TITLE

PROPOSED BUILDING
SECTION

ISSUE DATE

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DOB NOW JOB #:

B01282577-11

DOB STAMP

SEAL & SIGNATURE



PROJECT #

267

DRAWING #

A-201.00

DATE

10-21-25

SHEET

10 OF 13



1 EXISTING TO REMAIN FRONT ELEVATION
1/4" = 1'-0"

2 EXISTING REAR ELEVATION
1/4" = 1'-0"

3 PROPOSED REAR ELEVATION
1/4" = 1'-0"

SHEET NOTES:

ARCHITECT OF RECORD:

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247 Prospect Avenue, 2nd Floor
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164 Dean Street
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DRAWING TITLE

EXISTING &
PROPOSED EXTERIOR
ELEVATIONS

ISSUE DATE

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DOB NOW JOB #:

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SEAL & SIGNATURE



PROJECT #

267

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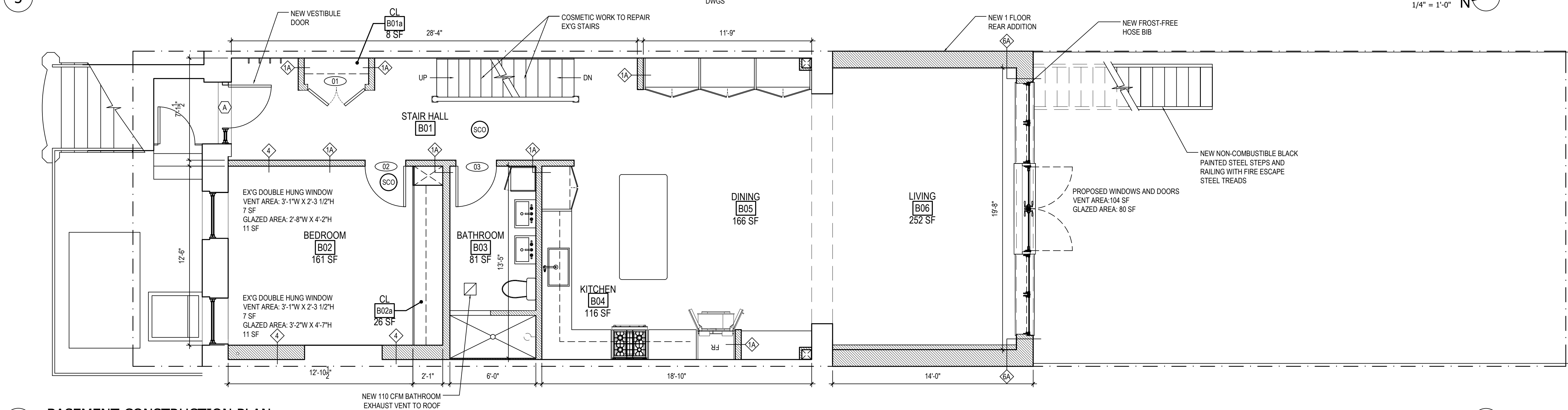
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10-21-25

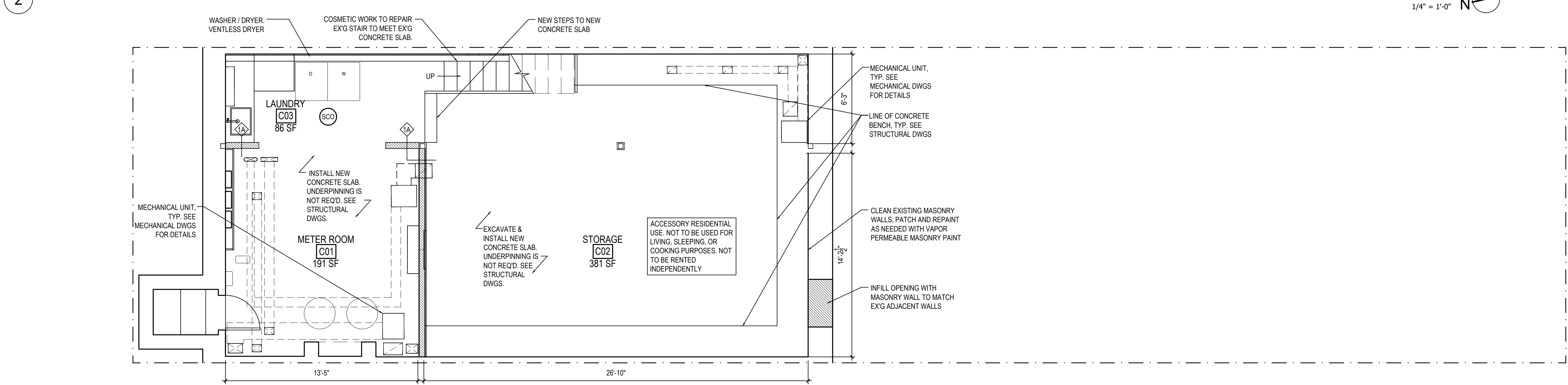
SHEET

11 OF 13

3 1ST FLOOR CONSTRUCTION PLAN



2 BASEMENT CONSTRUCTION PLAN



1 CELLAR CONSTRUCTION PLAN



CONSTRUCTION LEGEND

- EXISTING WALL
- NEW NON-RATED WALL
- NEW 2 HOUR RATED WALL
- NEW DOOR
- CEILING EXHAUST FAN
- NEW DOOR NUMBER
- NEW EXTERIOR WINDOW/DOOR NUMBER
- PARTITION WALL TYPE
- ROOM TAG
- SECTION TAG
- ELEVATION TAG
- REVISION TAG
- SMOKE AND CARBON MONOXIDE DETECTOR UL-LISTED HARDWIRED, INTERCONNECTED
- FLOOR DRAIN
- AREA OF NO WORK
- FDNY CLEAR PATH

CONSTRUCTION NOTES

- PROVIDE JOB SIT PARTITION LAYOUTS FOR REVIEW BY ARCHITECT PRIOR TO ERECTING PARTITIONS.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM/GREEN BOARD U.O.N.
- CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR WALL-HUNG MILLWORK AND FIXTURES AS REQUIRED HEREIN.
- INSTALL GREENBOARD AT ALL WET LOCATIONS, EXCEPT CEMENT BOARD IN SHOWERS AND AT TUB ALCOVES
- ALL INTERIOR PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION/ROOF ABOVE U.O.N. COORDINATE WITH MECHANICAL AND PLUMBING FOR DUCT AND PIPING ROUTES.
- INSTALL LATI-CRETE WATERPROOFING EXTENDING A MINIMUM OF 8" UP-WALL AT ALL WET LOCATIONS (INCLUDING LAUNDRY ROOMS AND PANTRIES). ALL EXPOSED WOOD EDGES TO BE EASED.
- CONTRACTOR TO FILL VOIDS SOLID AT ABANDONED CHASES IN BRICK WALLS U.O.N. CONFIRM WITH ARCHITECT.

SHEET NOTES:

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PROJECT:

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DRAWING TITLE

CONSTRUCTION
PLANS: CELLAR,
BASEMENT, AND 1ST
FLOORS

ISSUE	DATE
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DOB NOW JOB #:

B01282577-11

DOB STAMP

SEAL & SIGNATURE



PROJECT #

267

DRAWING #

A-100.00

DATE

10-21-25

SHEET

05 OF 13