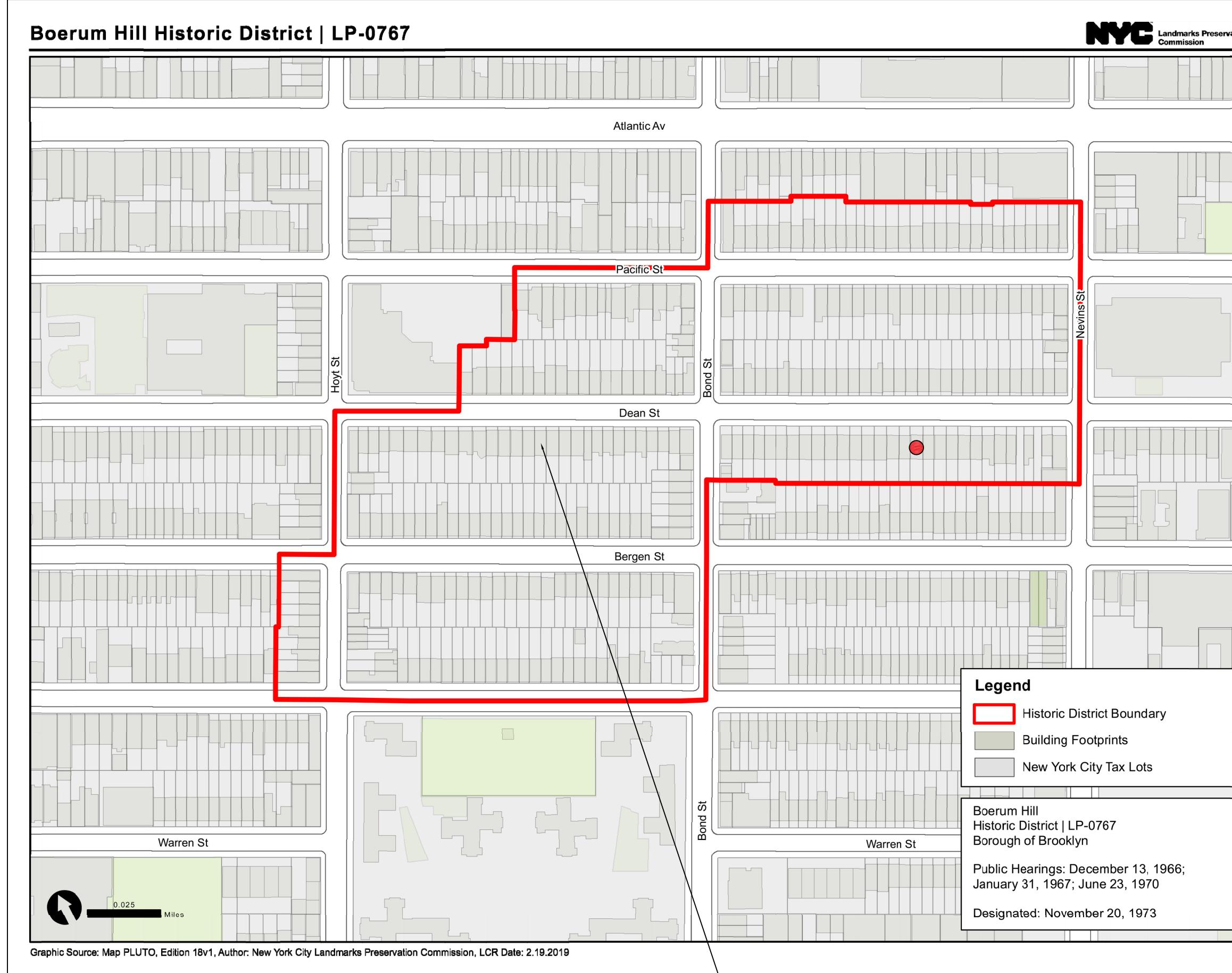


1 CA. 1940 TAX PHOTO OF SUBJECT BUILDING N.T.



3 HISTORIC DISTRICT BOUNDARY



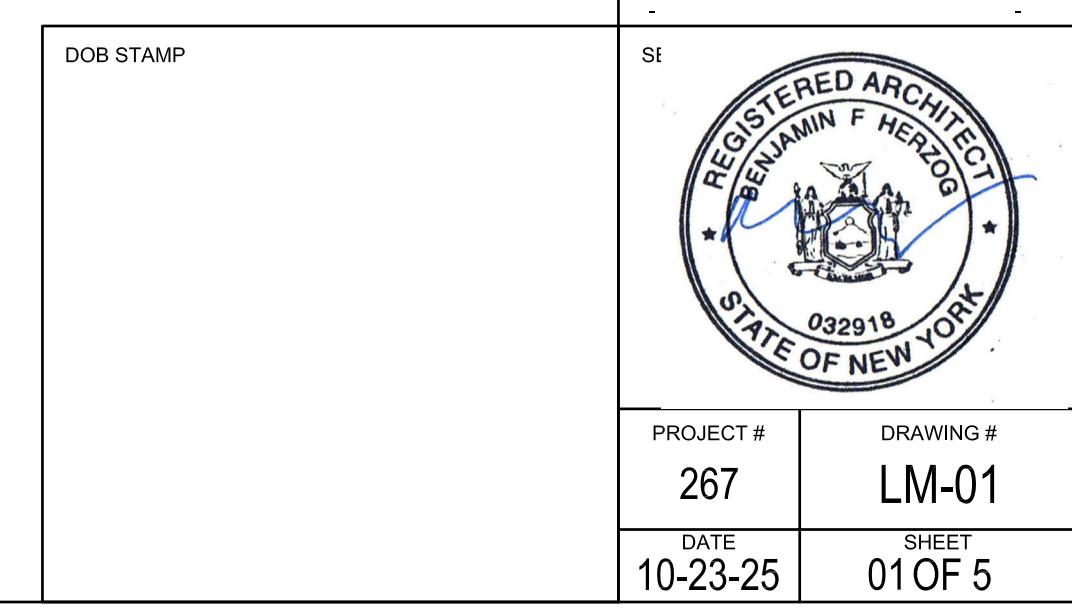
4 BLOCK PLAN

RENOVATION OF 164 DEAN STREET BROOKLYN, NEW YORK 11217



DRAWING INDEX

- LM-01 TAX PHOTOS AND BLOCK PLAN
- LM-02 BLOCK PLAN
- LM-03 MECHANICAL SIGHTLINE PHOTOS & DIAGRAM
- LM-04 EXISTING AND PROPOSED REAR EXTERIOR ELEVATIONS & REAR FACADE PHOTOS
- LM-05 EXISTING AND PROPOSED REAR WINDOWS



SHEET NOTES:

SHEET NOTES:

ARCHITECT OF RECORD:

Ben Herzog Architect, PC
247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (347) 410-5860

PROJECT:

CORDEN-LAKE-D'SOUZA
RESIDENCE

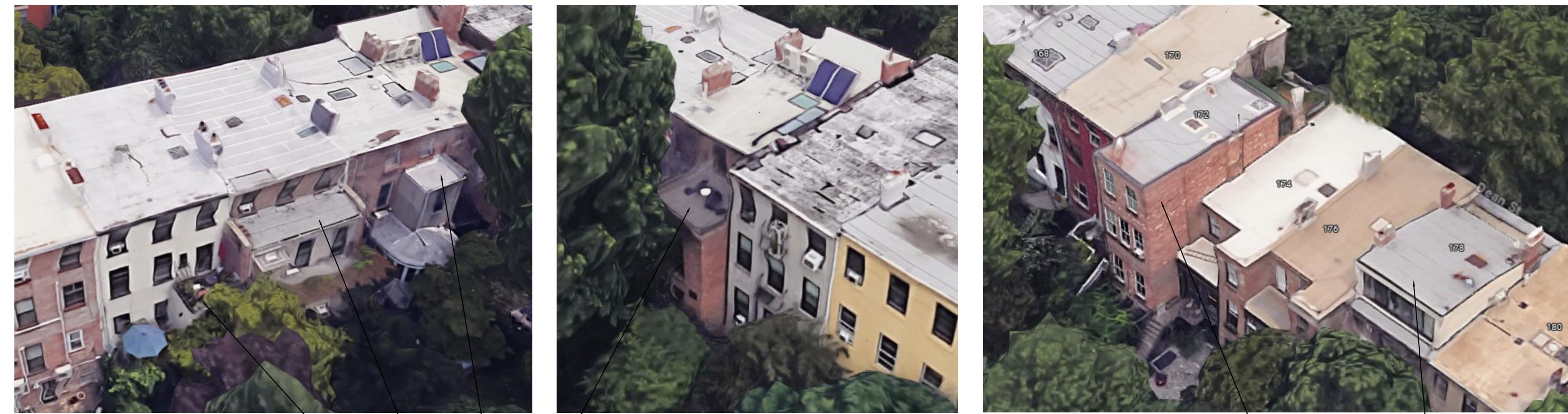
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Brooklyn, NY 11217

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DRAWING TITLE

AX PHOTOS, BLOCK PLAN, & SCOPE DIAGRAM

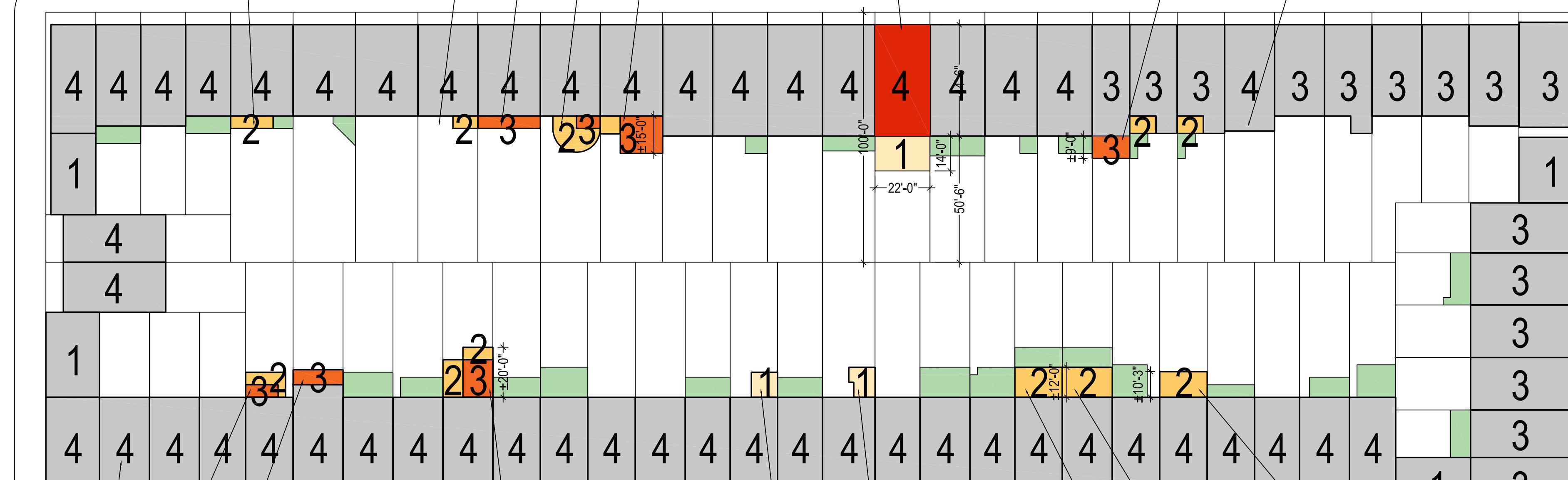
ISSUE DATE



142 DEAN 2 STORY ADDITION
148 DEAN 2 STORY ADDITION
150 DEAN 3 STORY ADDITION
152 DEAN 3 STORY ADDITION
154 DEAN 3 STORY ADDITION
BACK OF 164 DEAN IS NOT VISIBLE FROM PUBLIC WAY

172 DEAN 3 STORY ADDITION
178 DEAN 1 STORY VERTICAL ADDITION

DEAN STREET
SUBJECT PROPERTY -
164 DEAN STREET,
BROOKLYN, NY 11217



NUMBERS INDICATE HEIGHTS
OF BUILDINGS IN STORIES



141 BERGEN 3 STORY ADDITION
143 BERGEN 3 STORY ADDITION

149 BERGEN 3 STORY ADDITION

161 BERGEN 1 STORY ADDITION
165 BERGEN 1 STORY ADDITION

173 BERGEN 2 STORY ADDITION
175 BERGEN 2 STORY ADDITION

179 BERGEN 1 STORY RAISED ADDITION

1 BLOCK PLAN

N
1/64" = 1'-0"

ARCHITECT OF RECORD:
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Brooklyn, NY 11215
Phone: (247) 410-5600

PROJECT:

**CORDEN-LAKE-D'SOUZA
RESIDENCE**
164 Dean Street
Brooklyn, NY 11217



1 VIEW 'A'



2 VIEW 'B'



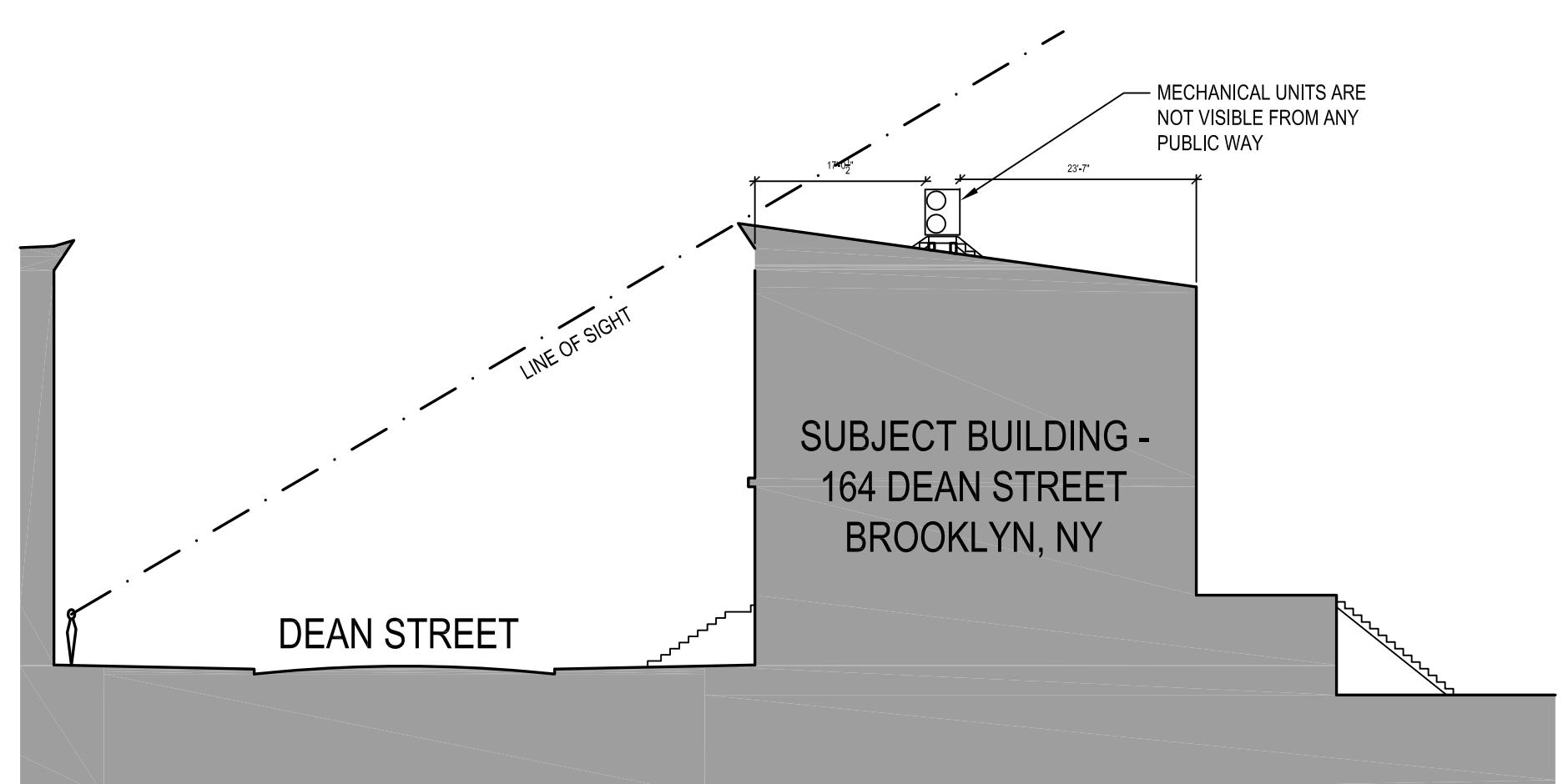
3 VIEW 'C'



4 VIEW 'D'



5 VIEW 'E'

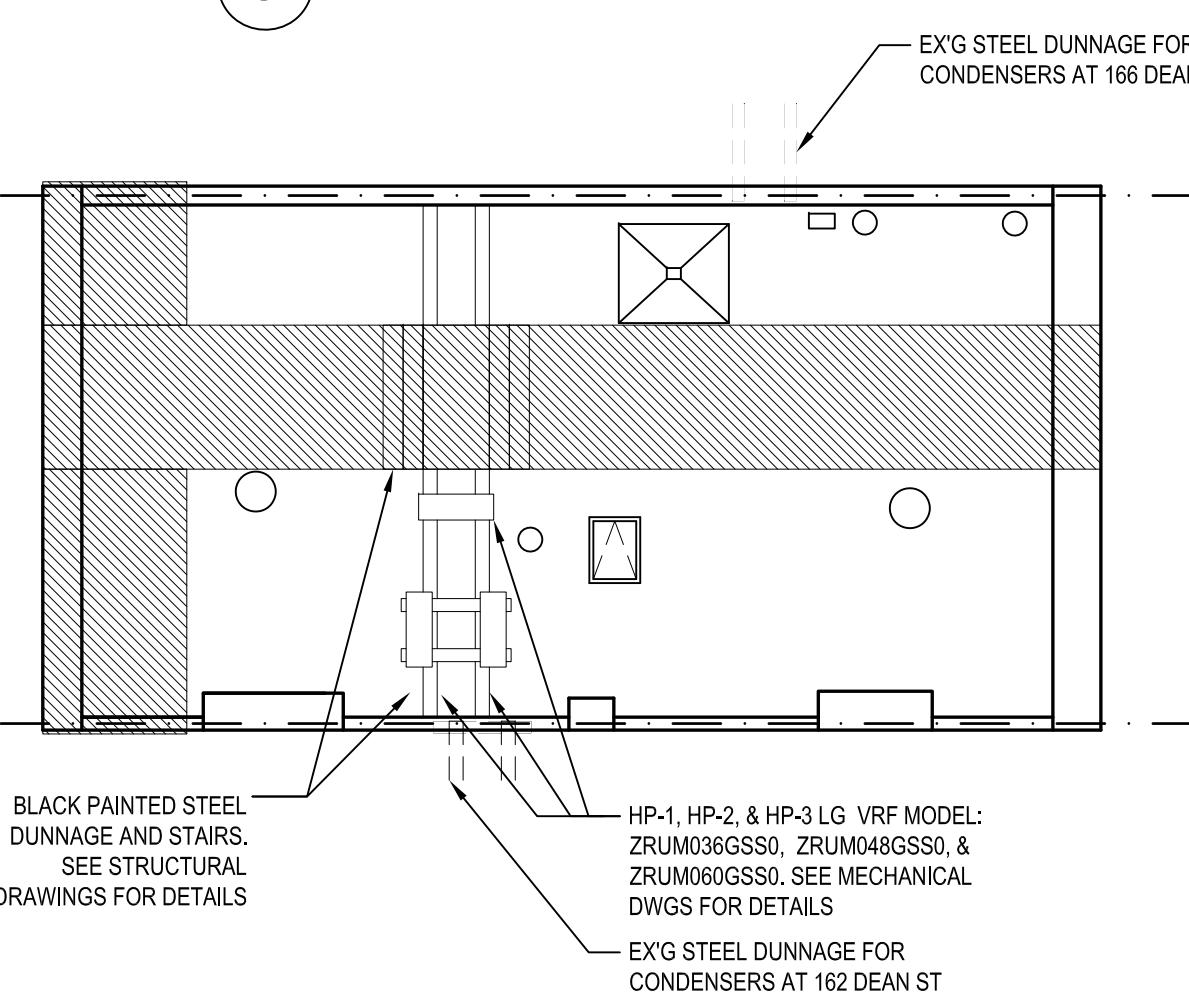


6 VIEW SIGHTLINE SECTION

1/16" = 1'-0"

7 PROPOSED ROOF PLAN

1/8" = 1'-0"



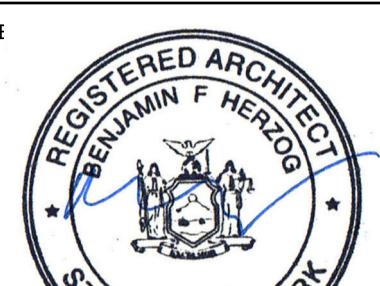
10 ROOFTOP DUNNAGE AT 162 DEAN ST

11 ROOFTOP DUNNAGE AT 166 DEAN ST

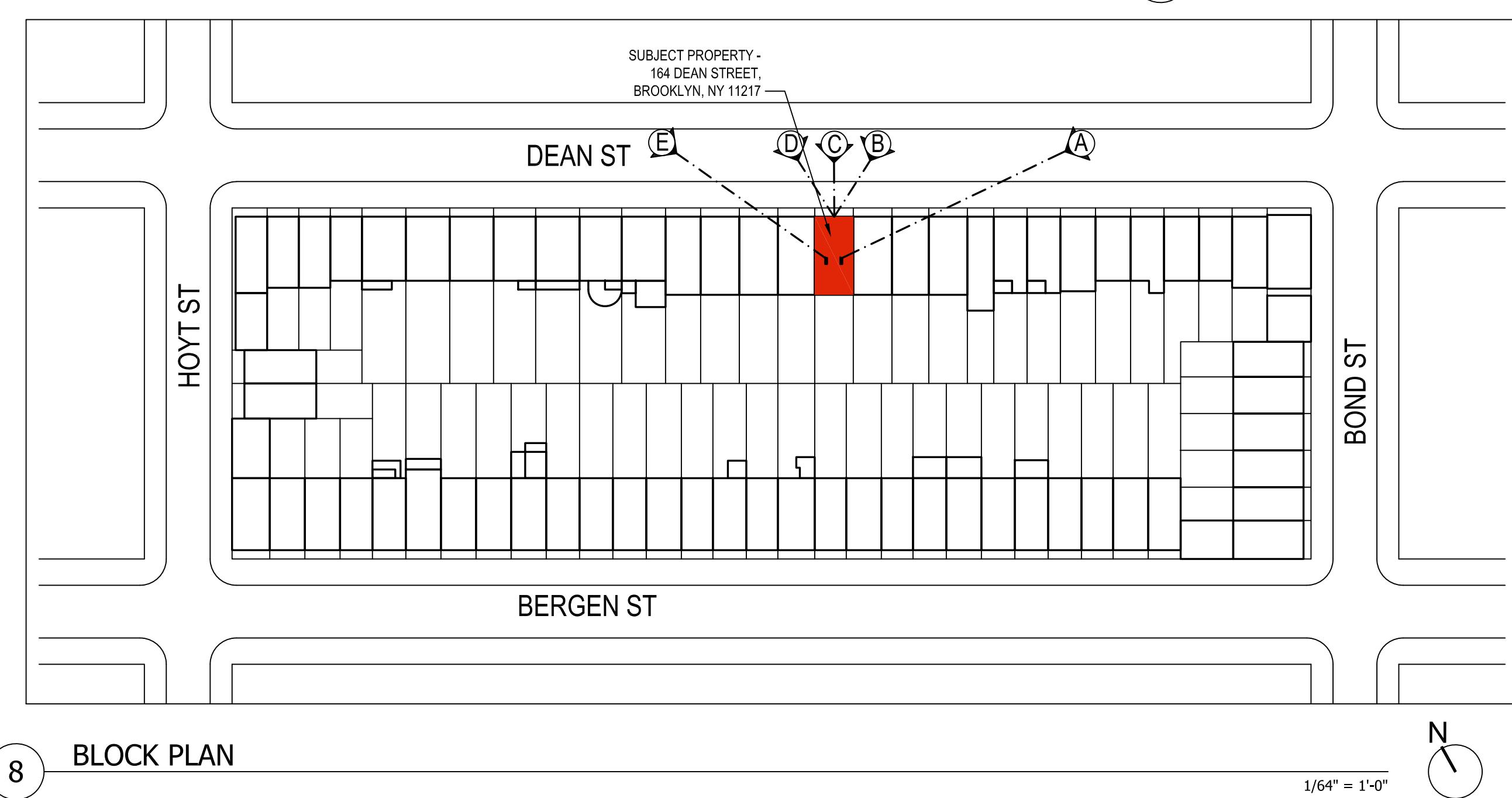
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DRAWING TITLE
MECHANICAL
SIGHTLINE PHOTOS &
DIAGRAM

ISSUE DATE
LPC SUBMITTAL 10/23/25



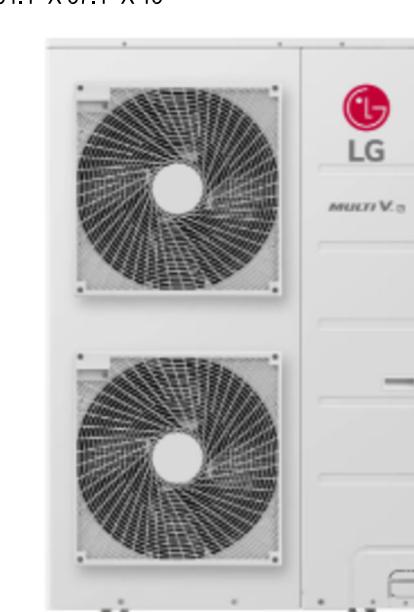
PROJECT # DRAWING #
267 LM-03
DATE 10-23-25 SHEET 03 OF 5



8 BLOCK PLAN

1/64" = 1'-0"

9 CONDENSER SPEC AND PHOTO



DOB STAMP



1 EXISTING / PROPOSED FRONT ELEVATION

1/4" = 1

2 EXISTING / DEMO REAR ELEVATION

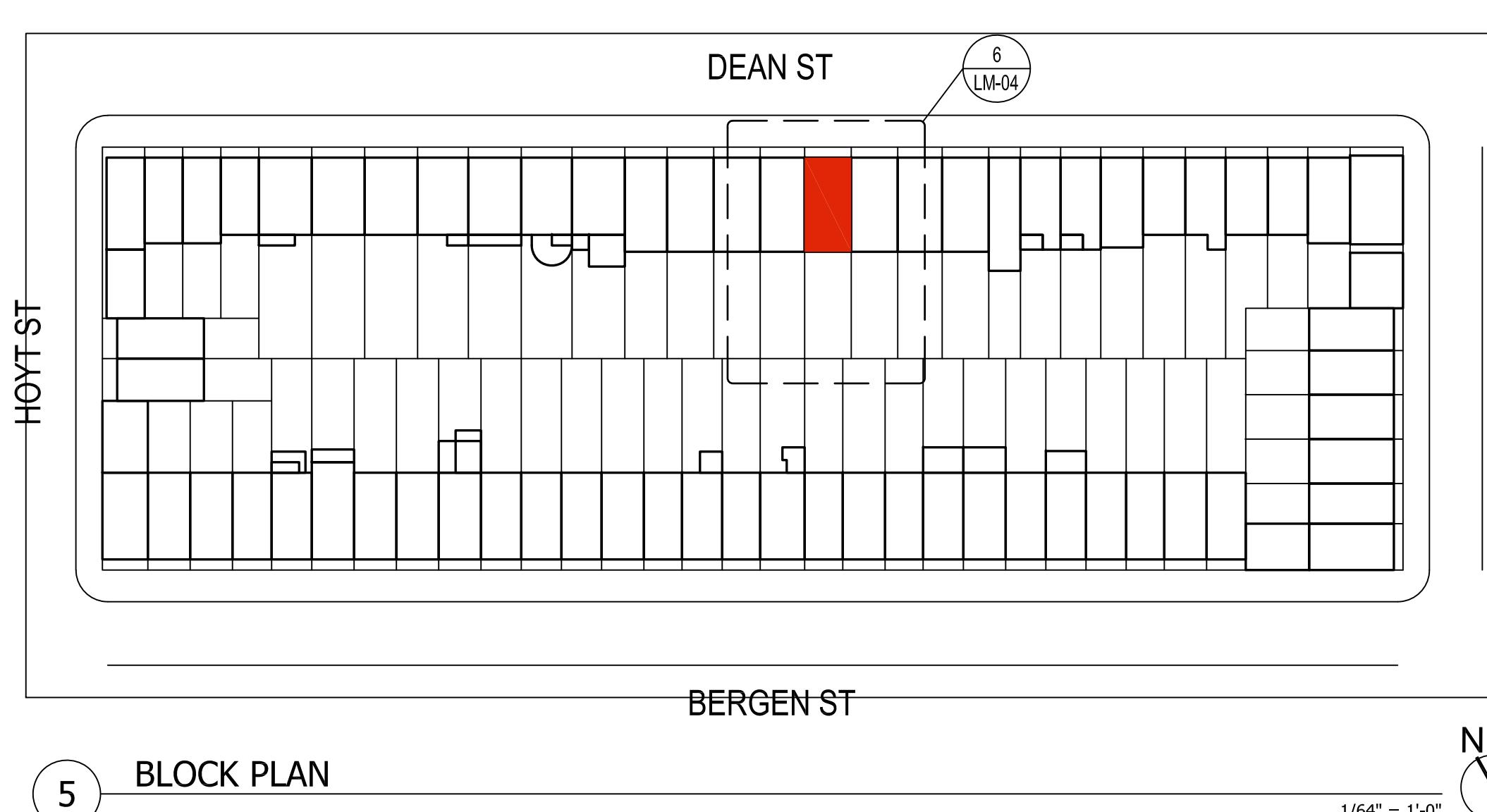
1/4" = 1'

PROPOSED REAR ELEVATION

<div

PROPOSED REAR ADDITION SIDE ELEVATION

1/4" = 1'-0"

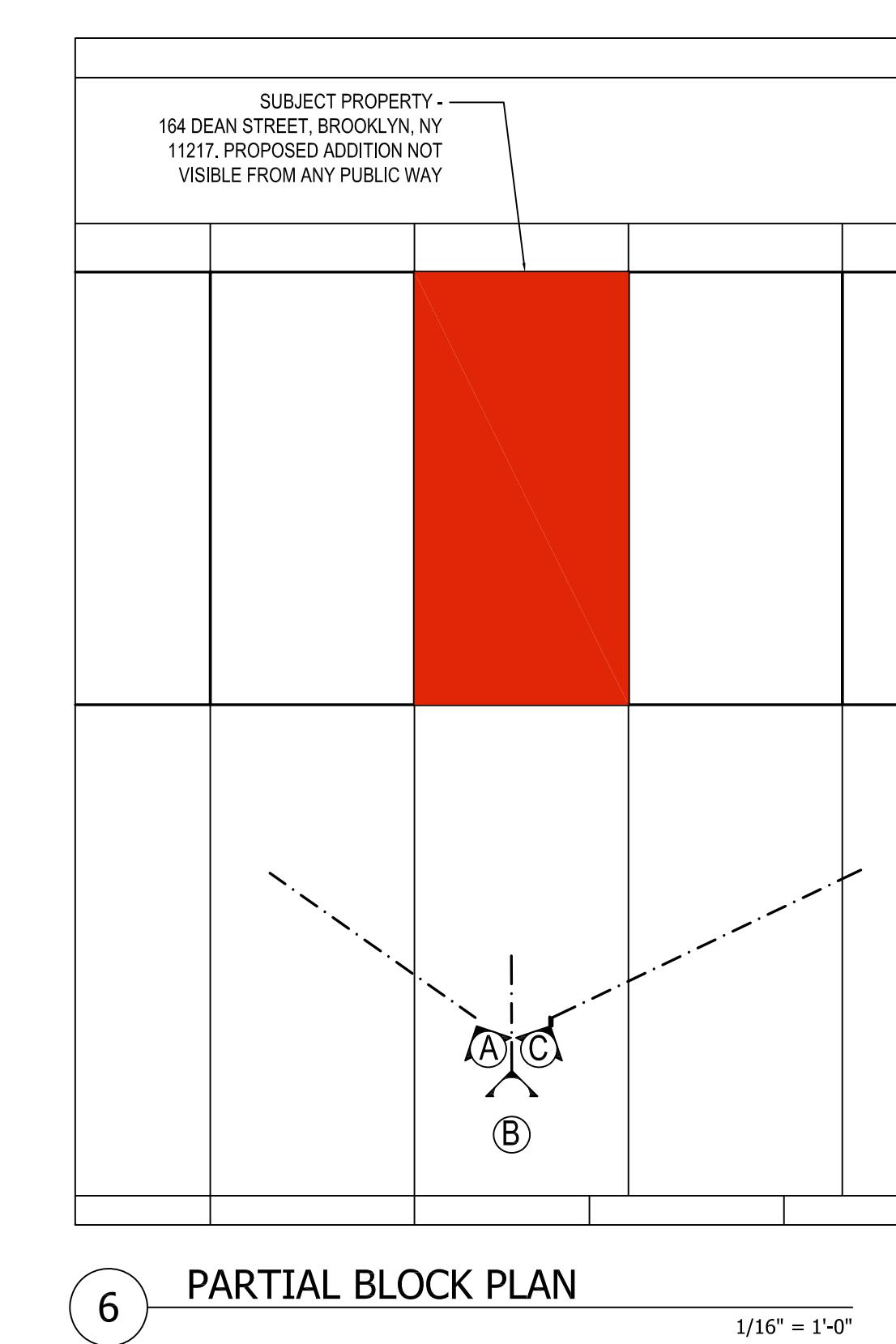


5 BLOCK PLAN

1/64" = 1'-0"

6 PARTIAL BLOCK PLA

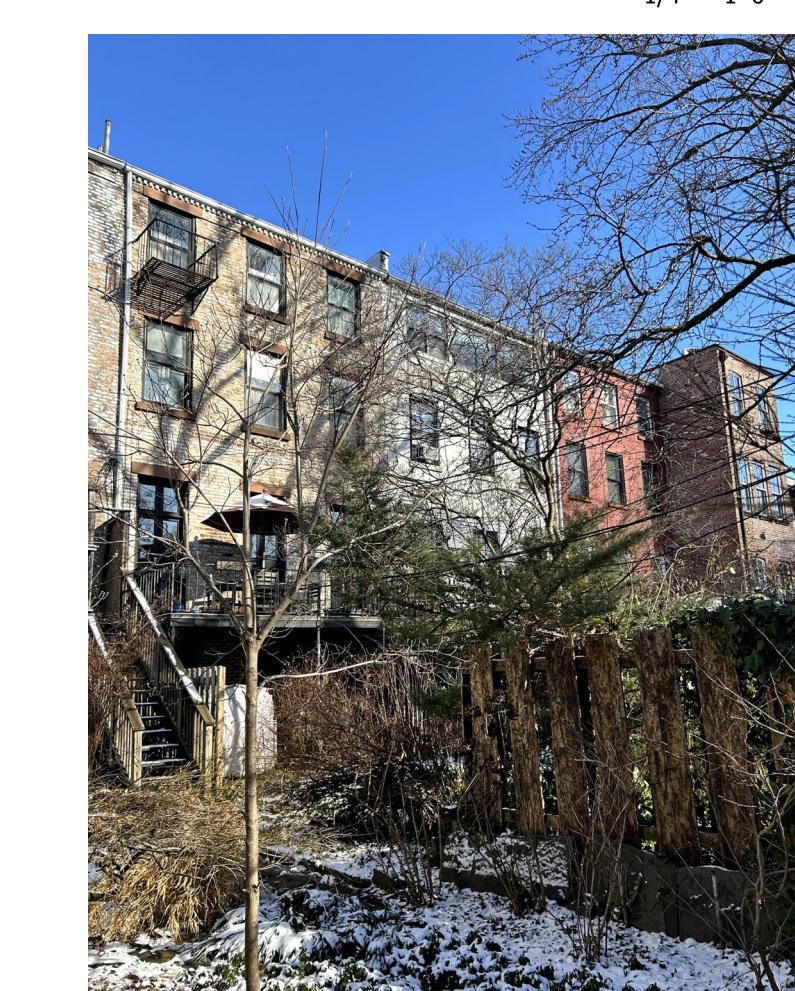
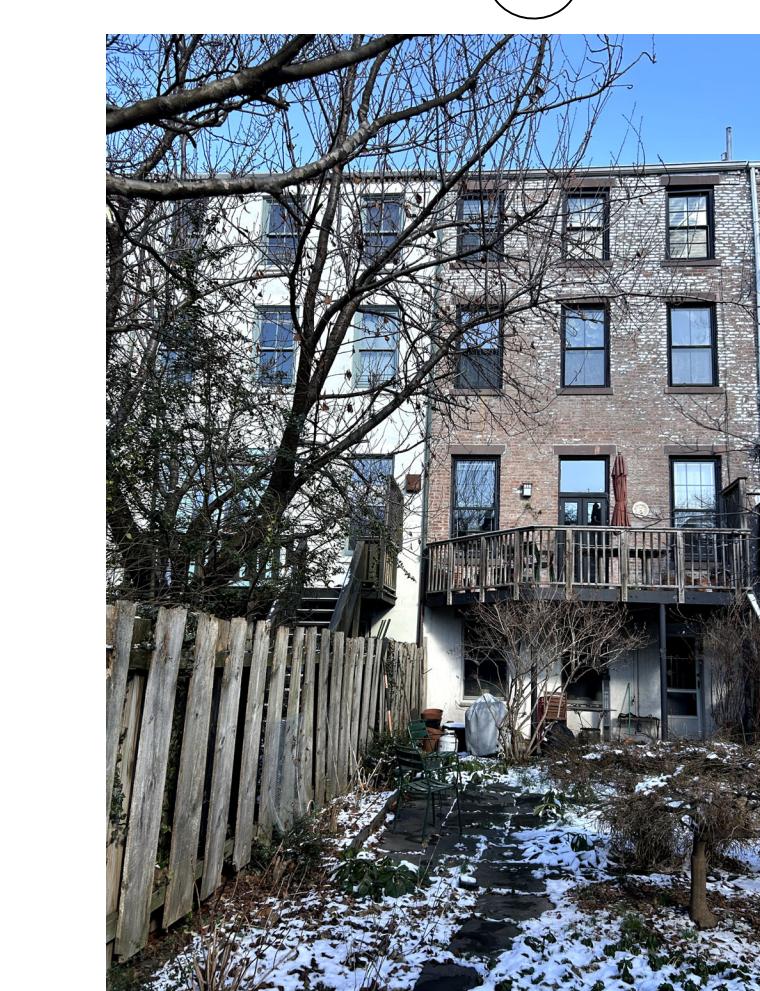
1/16"



7 WEST NEIGHBOR, VIEW

8 164 DEAN REAR FACADE, VIEW 'B'

9 EAST NEIGHBOR, VIEW 'C'



DOB ST

A circular registered architect seal. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom. The inner circle features a central emblem with a shield, a building, and a figure, surrounded by the name "BENJAMIN F HERZOG". The registration number "032918" is at the bottom of the inner circle. The entire seal is signed with a blue ink signature across the top and bottom.

PROJECT #	DRAWING #
267	LM-04
DATE	SHEET 4 OF 5
10-23-25	

NOTE: ALL EXISTING
DIMENSIONS TO BE
VERIFIED IN FIELD

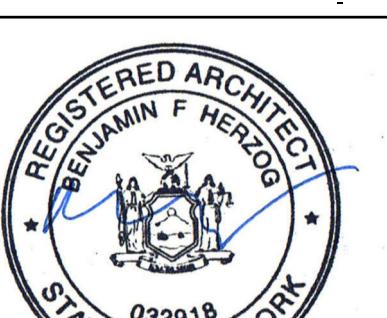
**CORDEN-LAKE-D'SOUZA
RESIDENCE**
164 Dean Street
Brooklyn, NY 11217

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EXISTING AND
PROPOSED REAR
WINDOWS

LPC SUBMITTAL 10/23/25

DOB STAMP

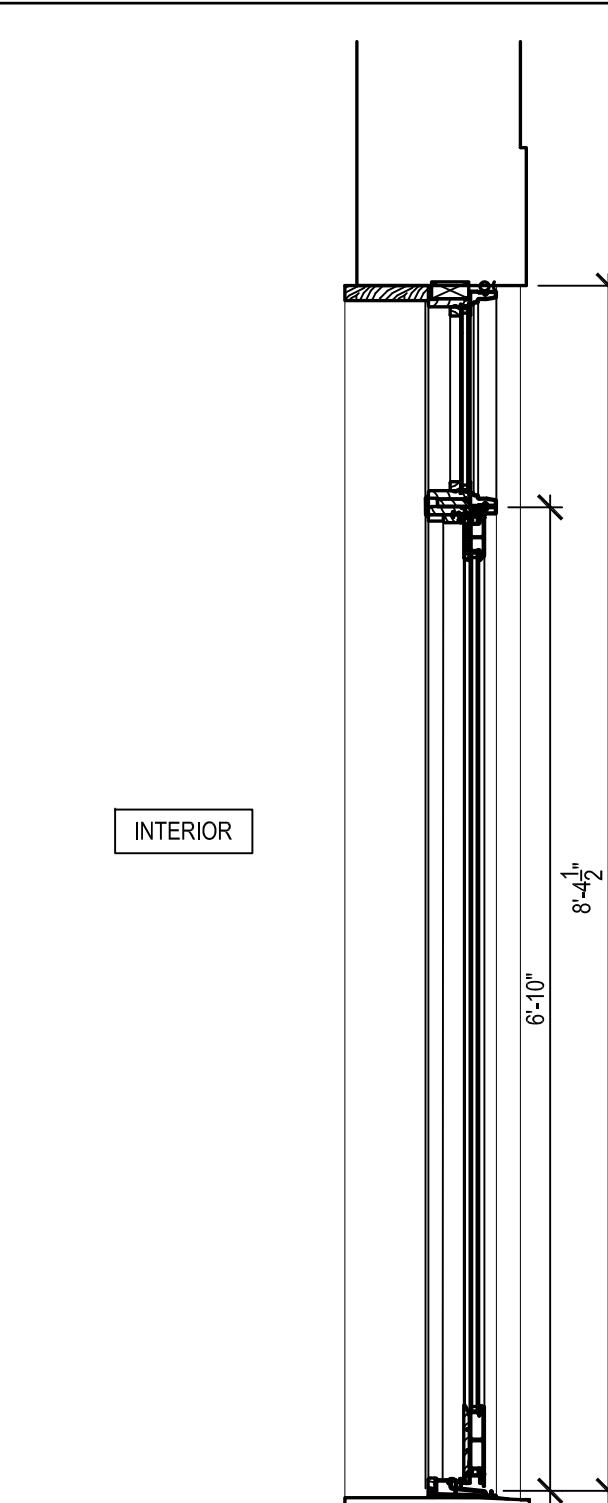


267

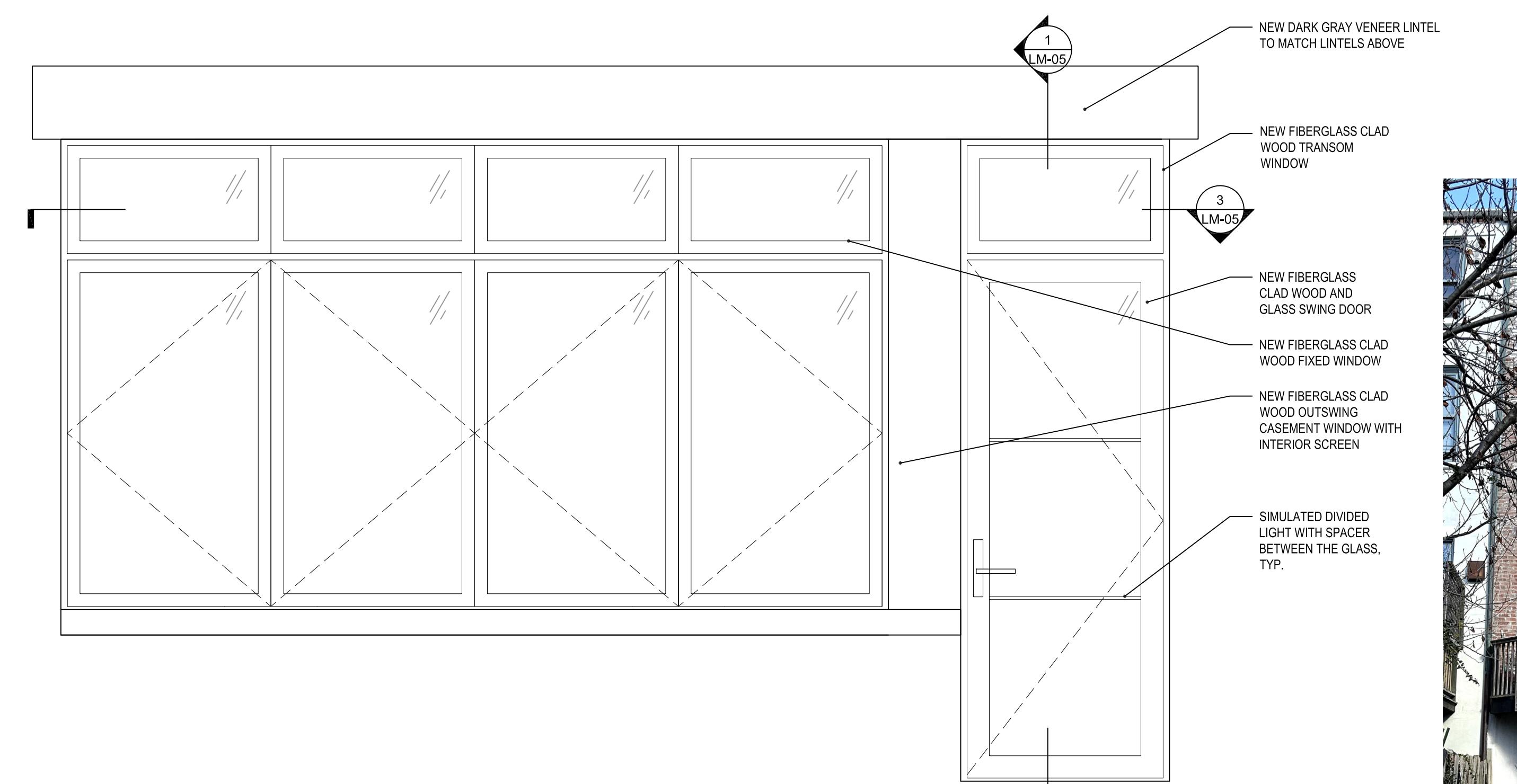
LM-05

10-23-25

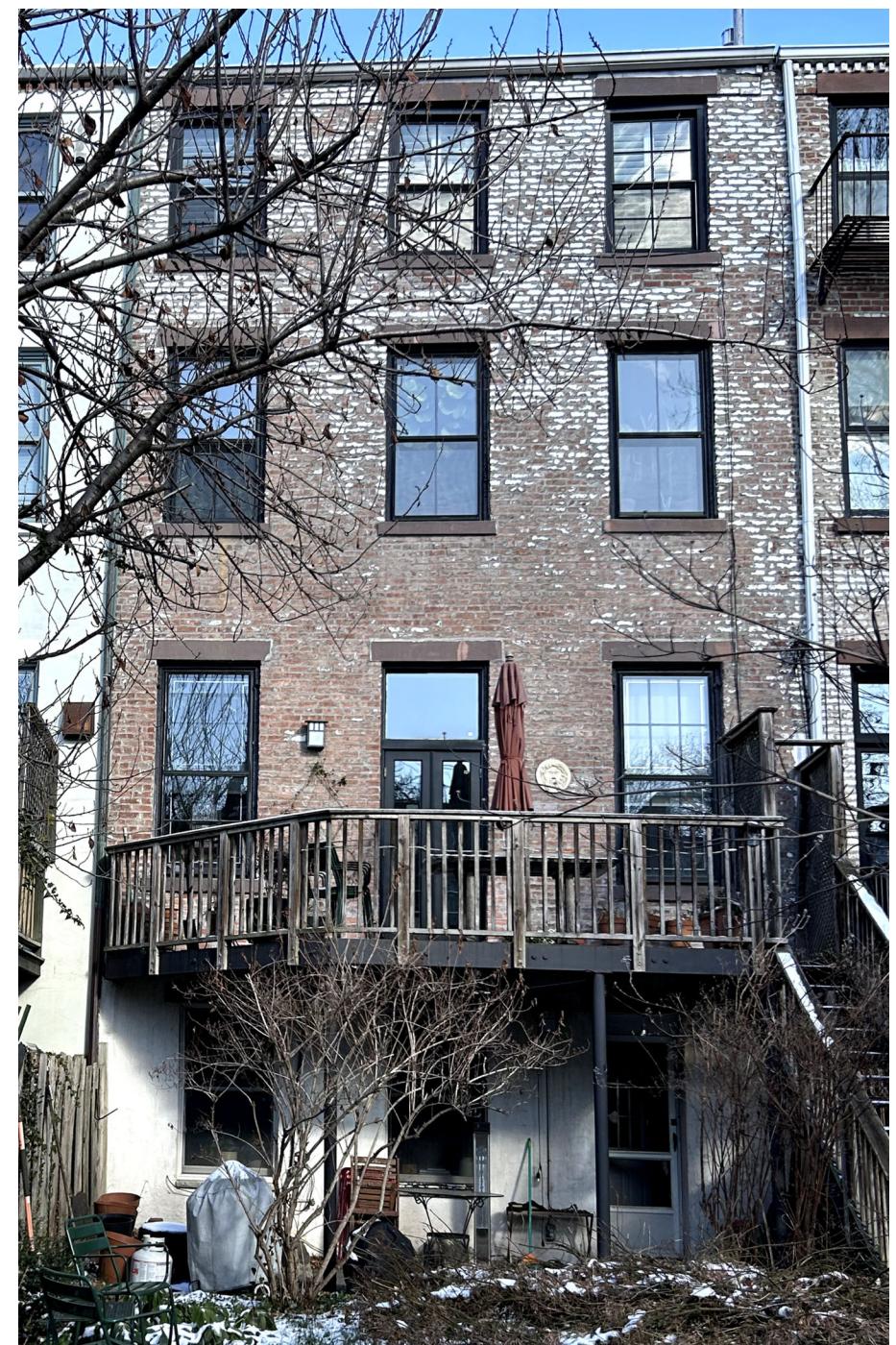
5 OF 5



1 PROPOSED SECT.
3/4"= 1'-0"



2 PROPOSED REAR PARLOR ELEV.
3/4"= 1'-0"



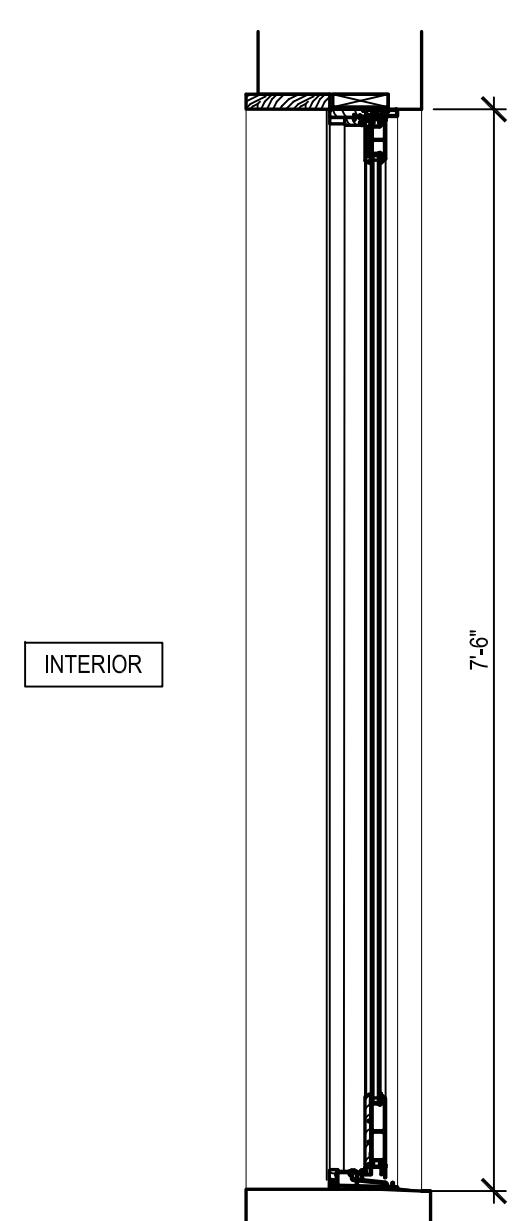
7 EXISTING REAR FACADE



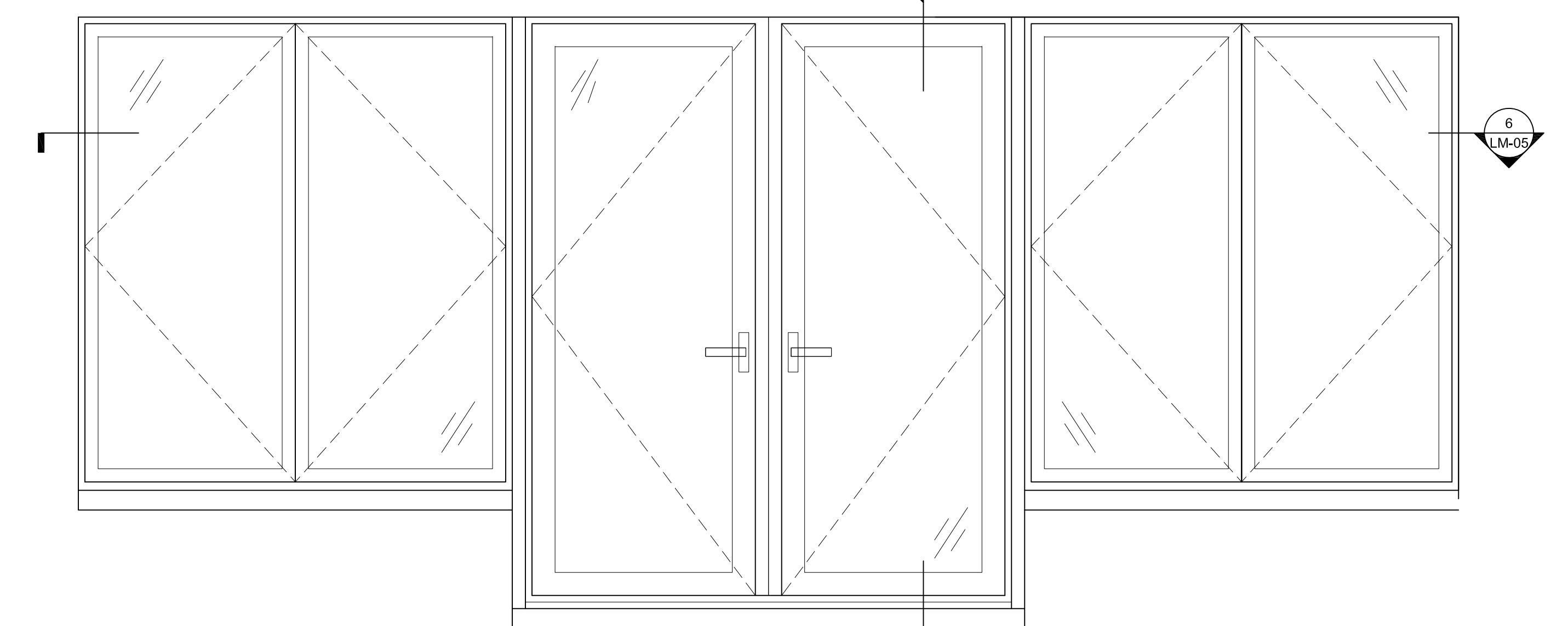
8 EXISTING SECOND AND THIRD FLOOR REAR FACADE



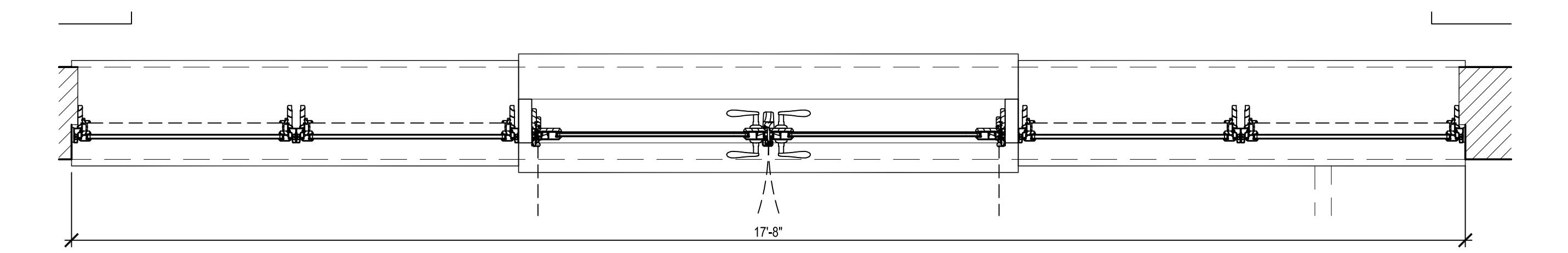
9 EXISTING BASEMENT & FIRST FL. REAR FACADE



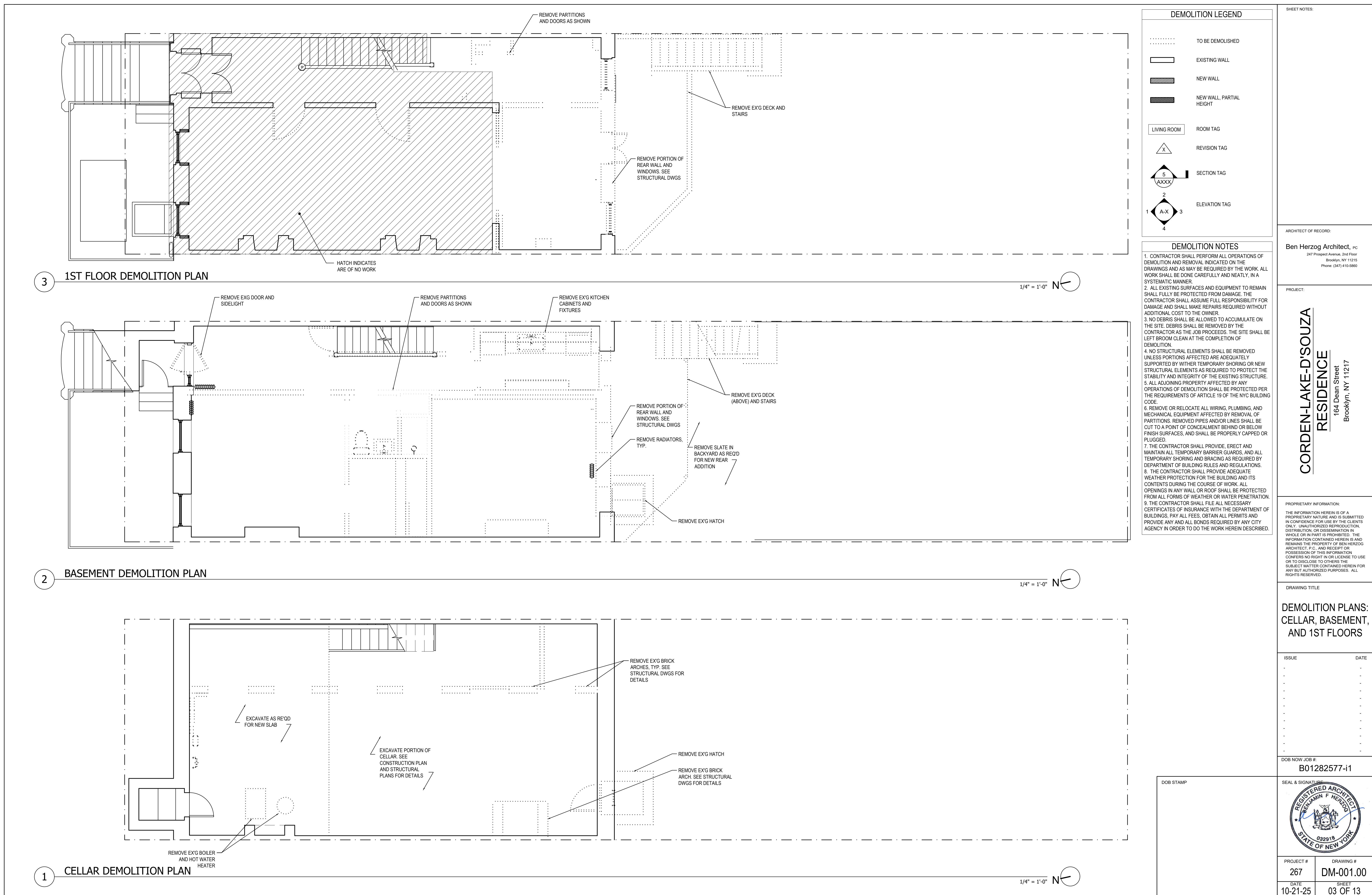
4 PROPOSED SECT.
3/4"= 1'-0"

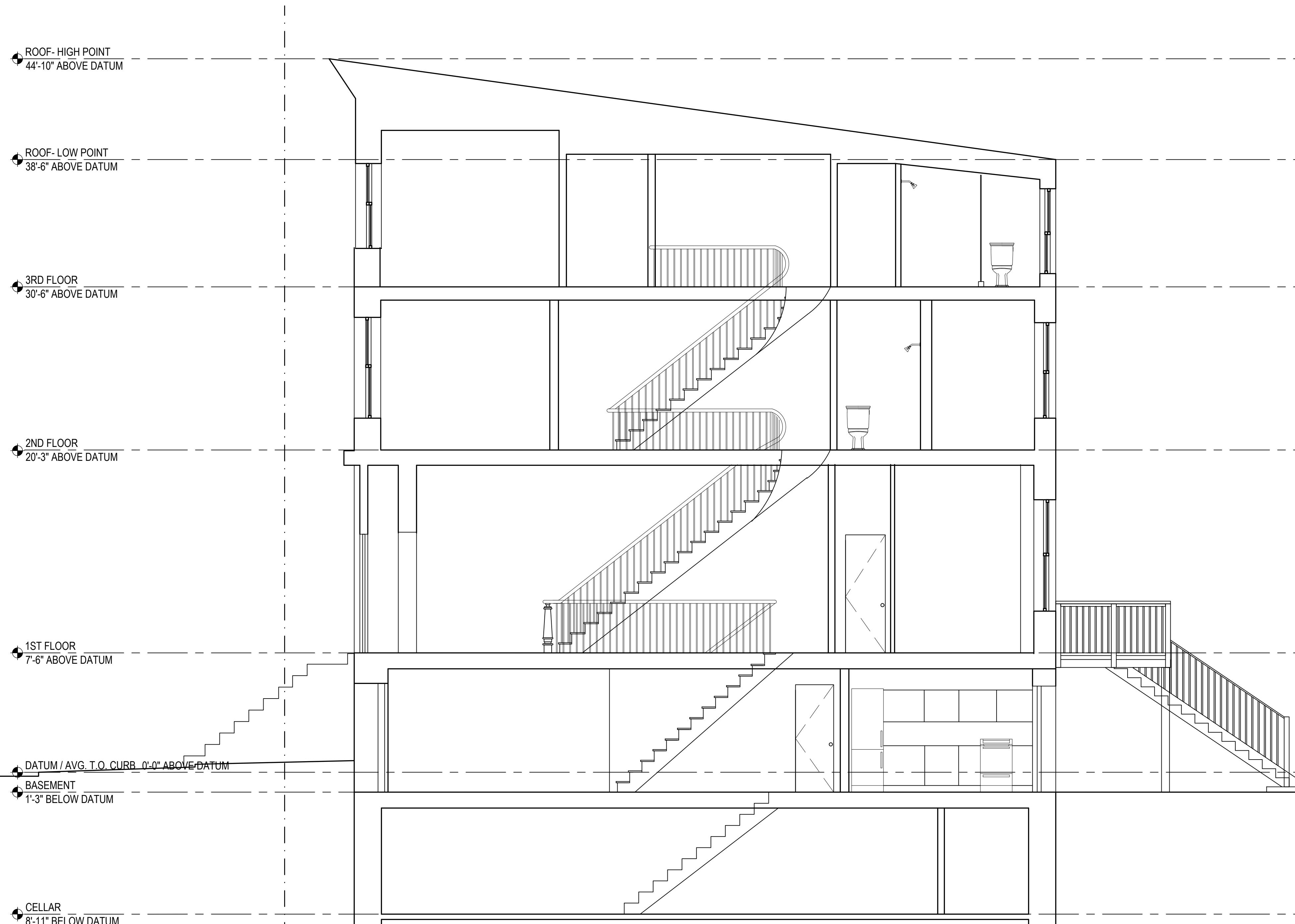


5 PROPOSED REAR PARLOR ELEV.
3/4"= 1'-0"



6 PROPOSED AND WINDOW DOOR PLAN
3/4"= 1'-0"





1 EXISTING BUILDING SECTION

1/4" = 1'-0"

DOB NOW JOB #:
B01282577-i1

DOB STAMP	SEAL & SIGNATURE	
PROJECT # 267	DRAWING # A-200.00	
DATE 10-21-25		Sheet 09 OF 13

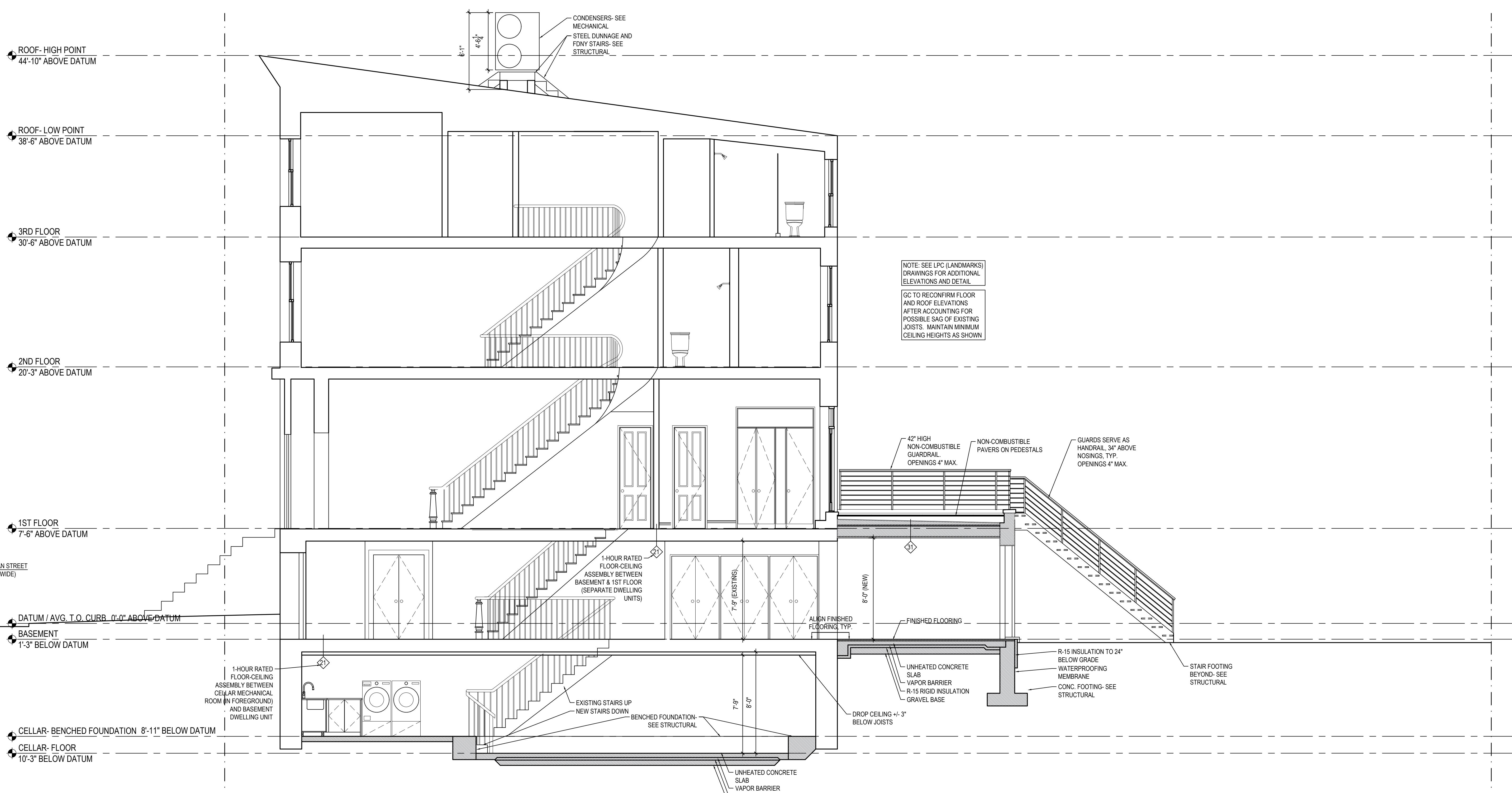
ARCHITECT OF RECORD:
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247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (247) 410-5880

PROJECT:
CORDEN-LAKE-D'SOUZA
RESIDENCE
164 Dean Street
Brooklyn, NY 11217

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**EXISTING BUILDING
SECTION**

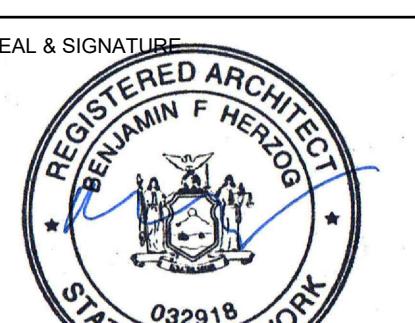
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1/4" = 1'-0"

DOB NOW JOB #:
B01282577-i1

DOB STAMP



REGISTERED ARCHITECT
BENJAMIN F. HERZOG
032918
STATE OF NEW YORK

PROJECT # 267 DRAWING # A-201.00

DATE 10-21-25

SHEET 10 OF 13

PROJECT:

ARCHITECT OF RECORD:
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247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (247) 410-5860

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Brooklyn, NY 11217

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DRAWING TITLE
PROPOSED BUILDING SECTION

ISSUE DATE

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247 Prospect Avenue, 2nd Floor
Brooklyn, NY 11215
Phone: (247) 410-5600

PROJECT:

CORDEN-LAKE-D'SOUZA
RESIDENCE
164 Dean Street
Brooklyn, NY 11217

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DRAWING TITLE
EXISTING &
PROPOSED EXTERIOR
ELEVATIONS

ISSUE

DATE

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B01282577-i1

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PROJECT #	DRAWING #
267	A-300.00
DATE	10-21-25
SHEET 11 OF 13	



