

**LANDMARK SUBMISSION FOR :
112-24 & 28 -177 STREET
PROPOSED 2 STORY - ONE FAMILY
DWELLING.**

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**LANDMARK SUBMISSION FOR :
112-24-177 STREET/ 112-28-177 STREET
PROPOSED 2 STORY - ONE FAMILY DWELLING.**



112-24 177 STREET

112-28 177 STREET

**LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.**

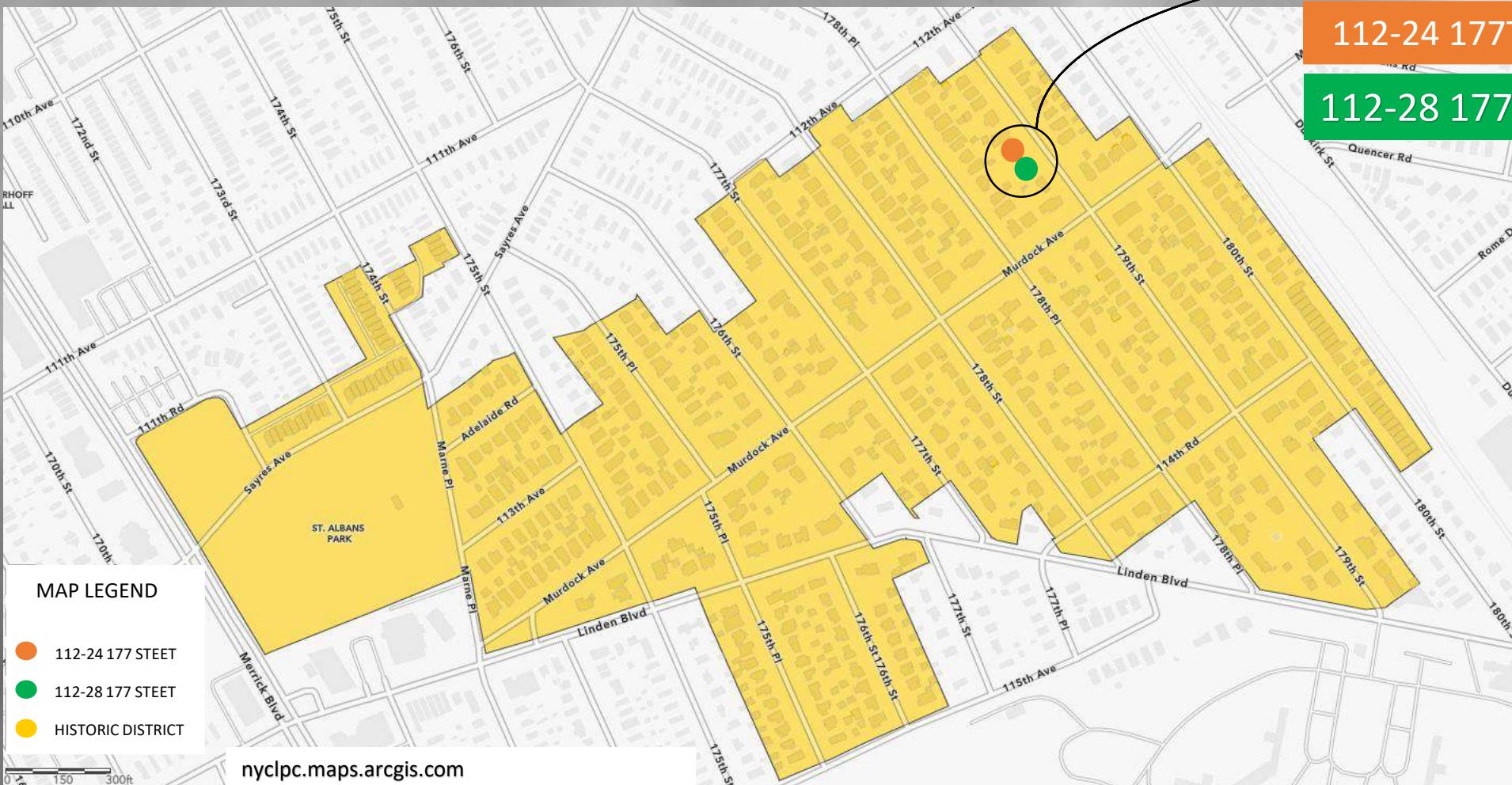
**THIS SUBMISSION IS FOR LANDMARK REVIEW ,
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AS RECOMMENDED BY LPC.**

**BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
CONTENTS**

**LOT : 48 - 49
MAP: 15B
USE GROUP: II**

**TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM**

2- HISTORIC DISTRICT ORDINANCE



112-24 177TH STREET VACANT LOT
112-28 177TH STREET VACANT LOT



**112-24 177TH STREET & 112-28 177TH STREET
LOT 48 & 49 BEFORE SUBDIVISION**

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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CONSTR. CLASS:

LOT : 48 - 49
MAP: 15B
USE GROUP:

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117 81 AVENUE
KEW GARDENS, NY 11415
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TABRIZGROUPRENT@GMAIL.COM**

3- NEIGHBORHOOD CHARACTERISTIC STUDY



Photo 01
Address: 114-31
179th Street
Cross streets:
between 114th
Road and
Murdock, east side
of street
Date built: 1930
Notes, if any: none



Photo 05
Address: 112-35
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1938
Notes, if any:
none



Photo 09
Address: 112-15
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1931
Notes, if any:
none



Photo 02
Address: 112-47
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1947
Notes, if any:
none



Photo 06
Address: 112-23
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: c. 1930
Notes, if any:
none



Photo 10
Address: 173-05
113th Avenue
Cross streets:
ortheast corner of
Marne Place
Date built: 1929
Notes, former
home of jazz
musician Milt
Hinton



Photo 03
Address: 112-39
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1924
Notes, if any: none



Photo 07
Address: 112-19
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1954
Notes, if any:
none



Photo 11
Address: 112-07
177th Street
Cross streets:
between Murdock
and 112th Avenue,
east side of street
Date built: 1937
Notes, if any:
none



Photo 04
Address: 114-29
179th Street
Cross streets:
between 114th Road
and Murdock, east
side of street
Date built: 1930
Notes, if any: none



Photo 08
Address: 175-46
Murdock Avenue
Cross streets:
Southwest corner of
176th Street
Date built: c. 1925
Notes, if any:
Owned by St.
Albans
Congregational
Church



Photo number: 12
Address: 113-03 175th
Street
Cross streets: between
Murdock Avenue and
Adelaide, east side of
street
Date built: c. 1927
Notes, if any: none

LANDMARK SUBMISSION FOR :
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112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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3- NEIGHBORHOOD CARACTERISTIC STUDY



Photo 13
Address: 112-03
177th Street
Cross streets:
between Murdock
and 112th
Avenue, east side
of street
Date built: 1937
Notes, if any:
none



Photo 17
Address: 112-12
177th Street
Cross streets:
between Murdock
and 112th
Avenue, west
side of street
Date built: 1937
Notes, if any:
none



Photo 21
Address: 112-32
177th Street
Cross streets:
between
Murdock and
112th Avenue,
west side of
street
Date built: 1965
Notes, if any:
none



Photo 14
Address: 112-04
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: c. 1937
Notes, if any: none



Photo 18
Address: 112-16
177th Street
Cross streets:
between
Murdock and
112th Avenue,
west side of
street
Date built: 1937
Notes, if any:
none



Photo 22
Address: 112-40
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: 1924
Notes, if any: former
home of baseball
player Jackie
Robinson



Photo 15
Address: 112-06
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: 1937
Notes, if any: none



Photo 19
Address: 112-20
177th Street
Cross streets:
between Murdock
and 112th
Avenue, west
side of street
Date built: 1937
Notes, if any:
none



Photo 23
Address: 112-50
177th Street
Cross streets:
between Murdock
and 112th Avenue,
west side of street
Date built: 1924
Notes, if any: none



Photo 16
Address: 176-15
Murdock Avenue
Cross streets:
Northwest corner
of 177th Street
Date built: c.
1925
Notes, if any:
none



Photo 20
Address: 175-12
Murdock Avenue
Cross streets:
Southwest corner
of 175th Place
Date built: 1928
Notes, if any:
former home of
boxer Joe Louis



Photo 24
Address: 173-23
113th Avenue
Cross streets:
between 175th Street
and Marne Place,
north side of street
Date built: 1930
Notes, if any: none

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112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

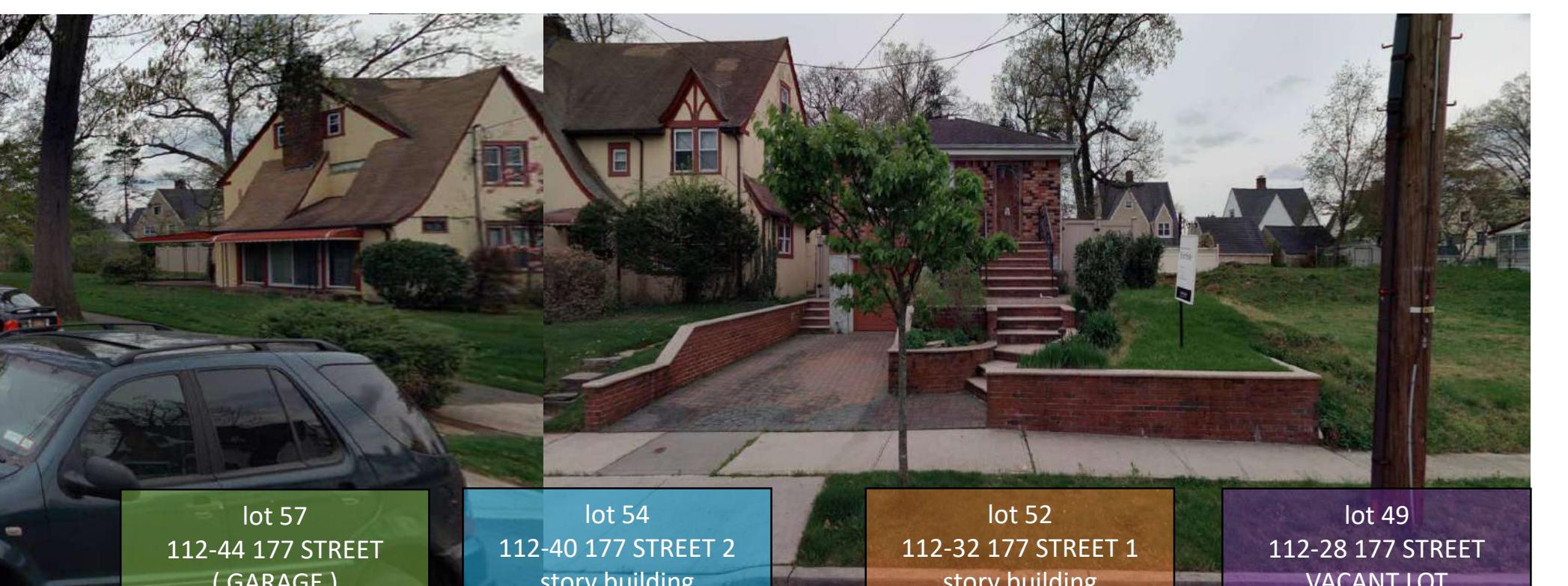
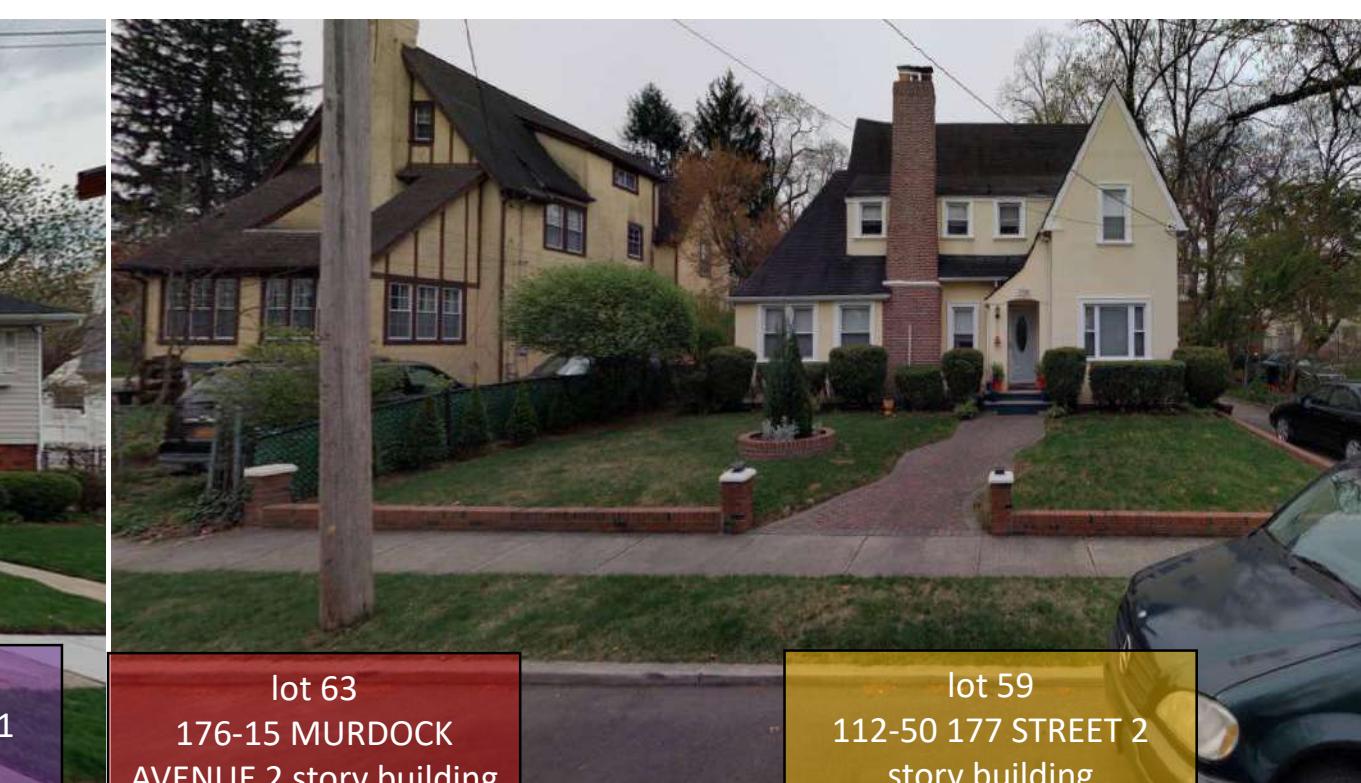
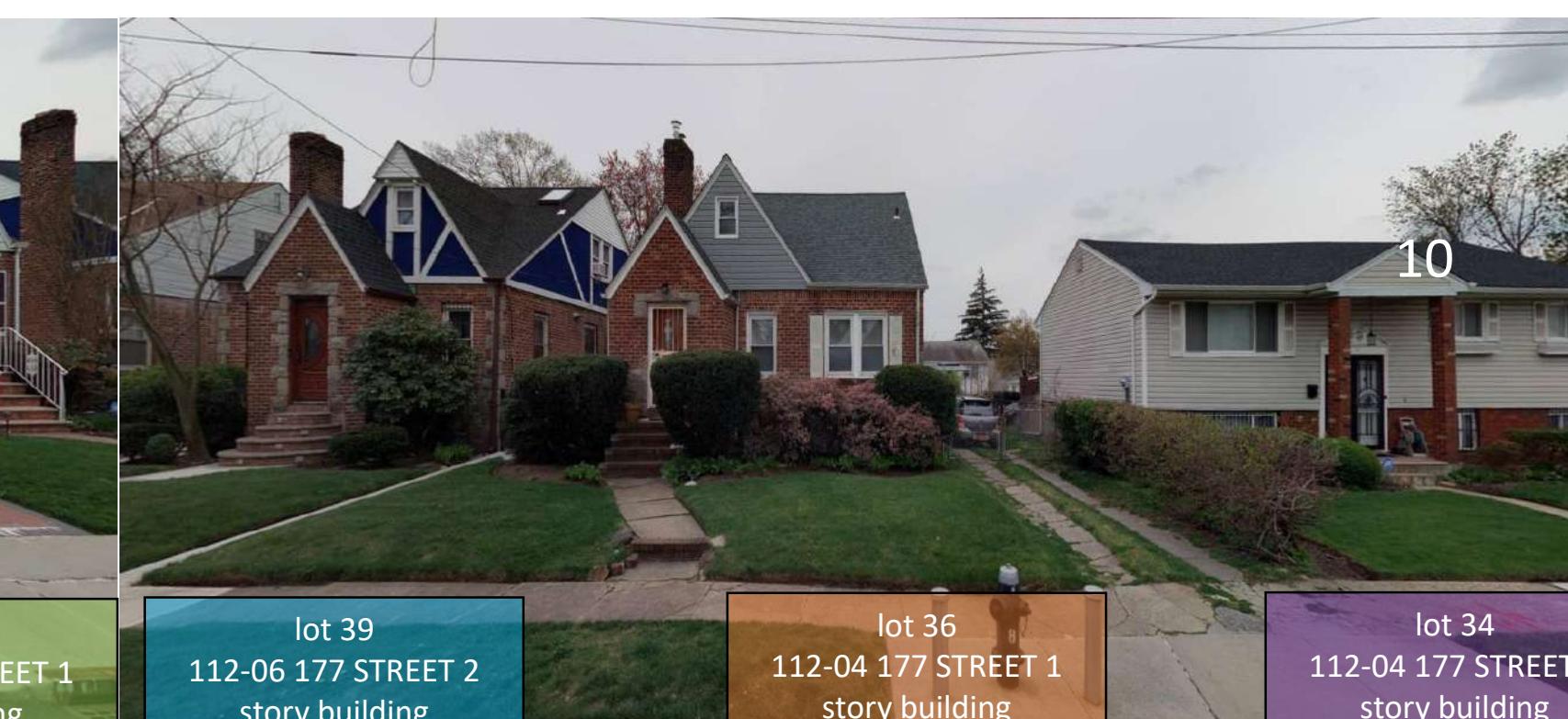
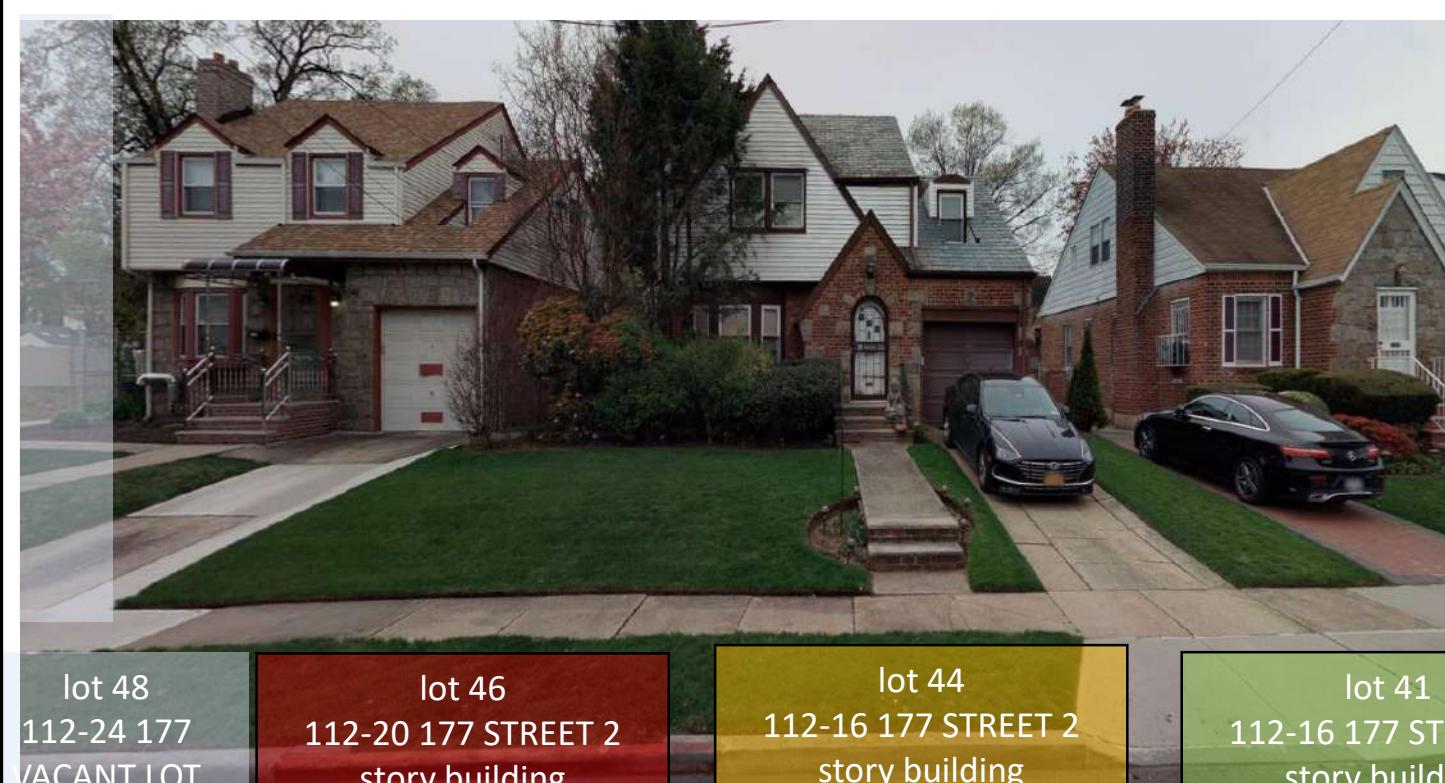
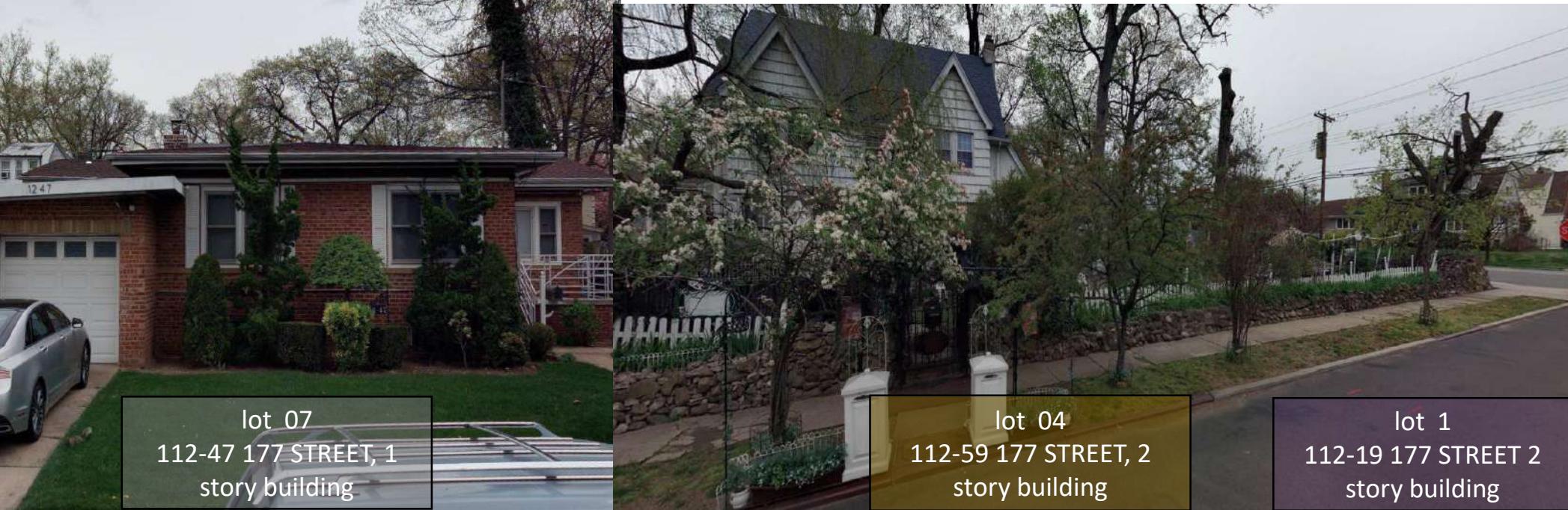
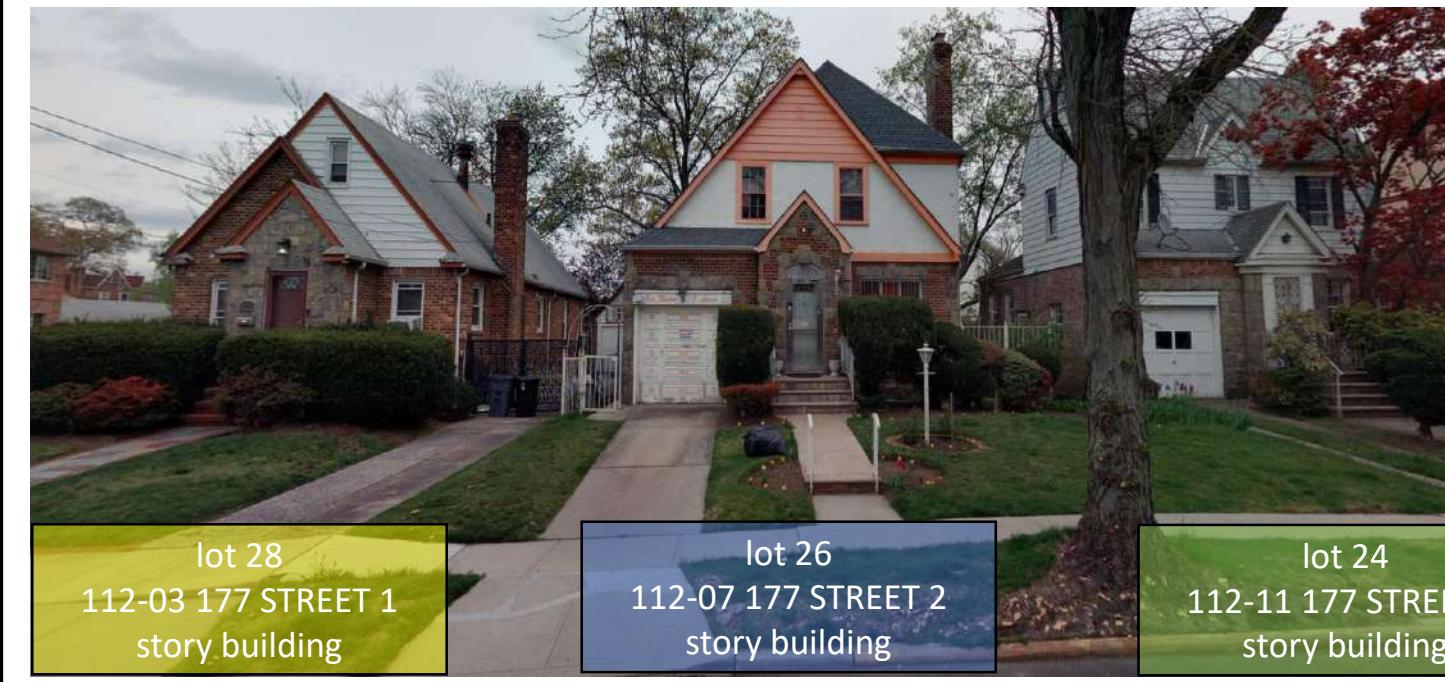
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**BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A**

**LOT : 48 - 49
MAP: 15B
USE GROUP: II**

**TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM**

5- CLOSE UP PHOTOS (STREETSCAPES)



4- EXISTING SITE CONDITIONS

EXISTING SITE CONDITIONS

Vacant lot, empty except for wild grass and dirt, created by splitting a larger property into two.



LANDMARK SUBMISSION FOR :
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DWELLING.
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BLOCK: 10299 LOT : 48 - 49
ZONING: R2 MAP: 15B
OCCUPANCY: R3 USE GROUP: II
CONSTR.CLASS: 5A

4- EXISTING SITE CONDITIONS

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Previous LPC Comments:

- This revised proposal incorporates LPC feedback to better align the two one-family dwellings with the historic district. The design updates address previous concerns in order to better reflect the neighborhood context

• Front porch design was incongruous with the neighborhood character.

• Elevated basement was not appropriate → advised removing or reducing it.

• Buildings appeared too boxy, lacking traditional dimensionality.



• Proposed paving in the front yard was excessive for the district.

• Two houses looked almost identical → requested more aesthetic variety.

• Roof lines were too shallow; requested more steeply pitched Tudor-style roofs.

• Proposed stone cladding on one house felt minimal

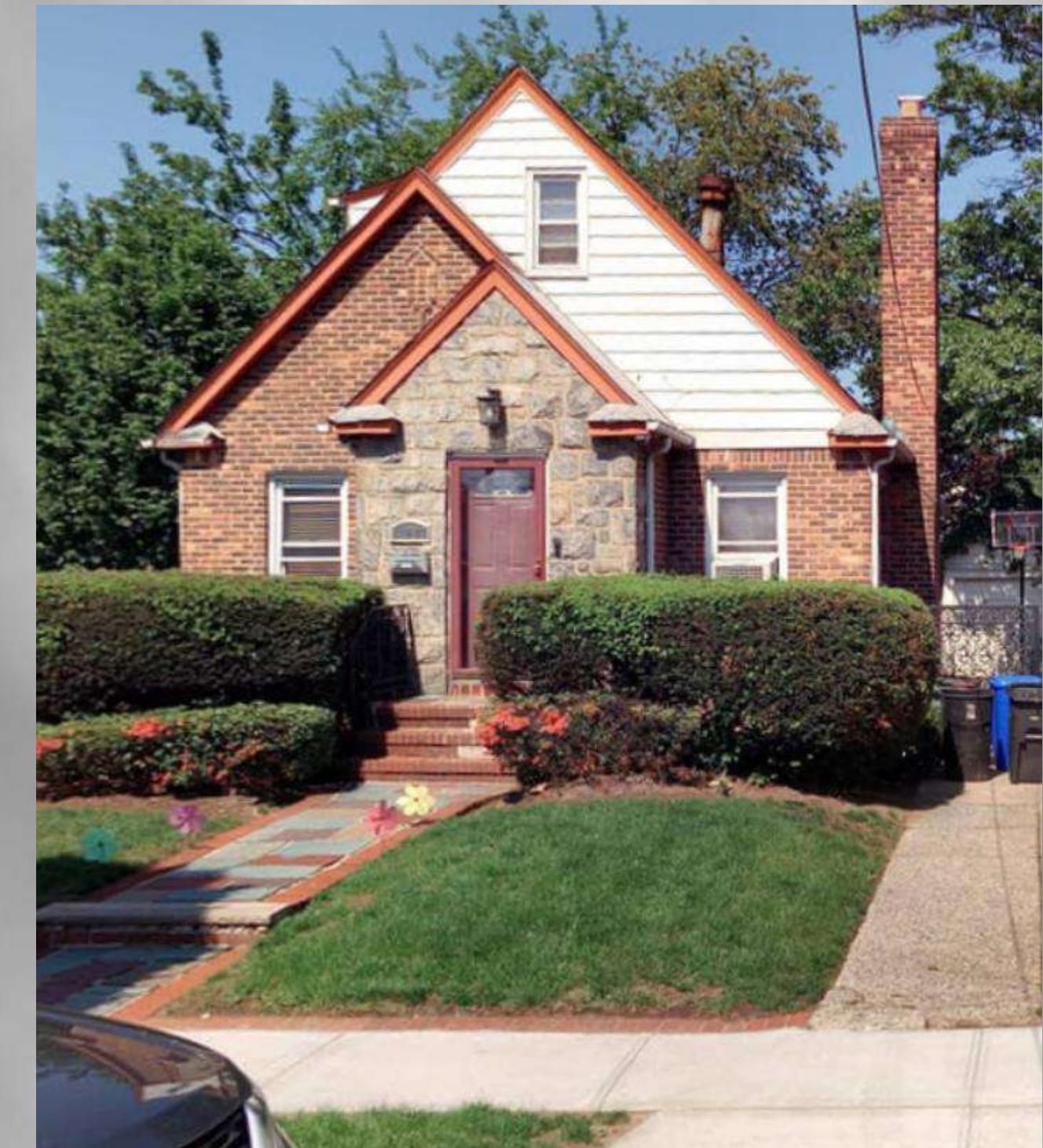
LANDMARK SUBMISSION FOR :
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NEIGHBORHOOD CONTEXT & INSPIRATION



These two houses, located within the neighborhood, were used as references. They reflect **the traditional scale, roof forms, and material** choices that informed our proposed design.”

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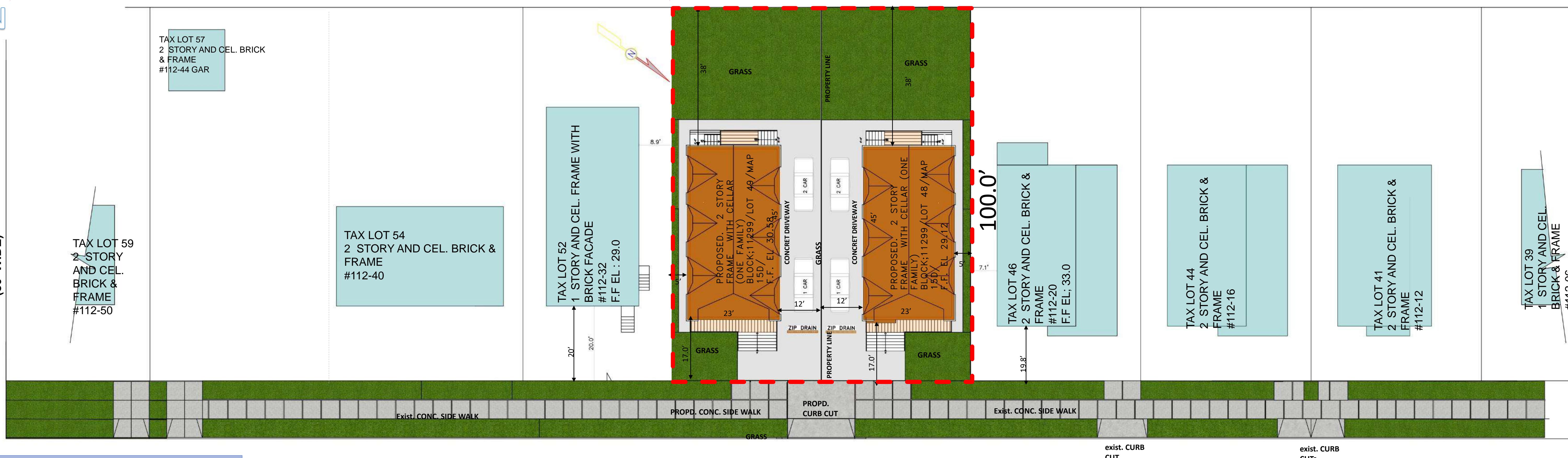
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6- SITE PLAN

MURDOCK (TREMONT STREET) STREET

(114 TH AVENUE)
(80' WIDE)

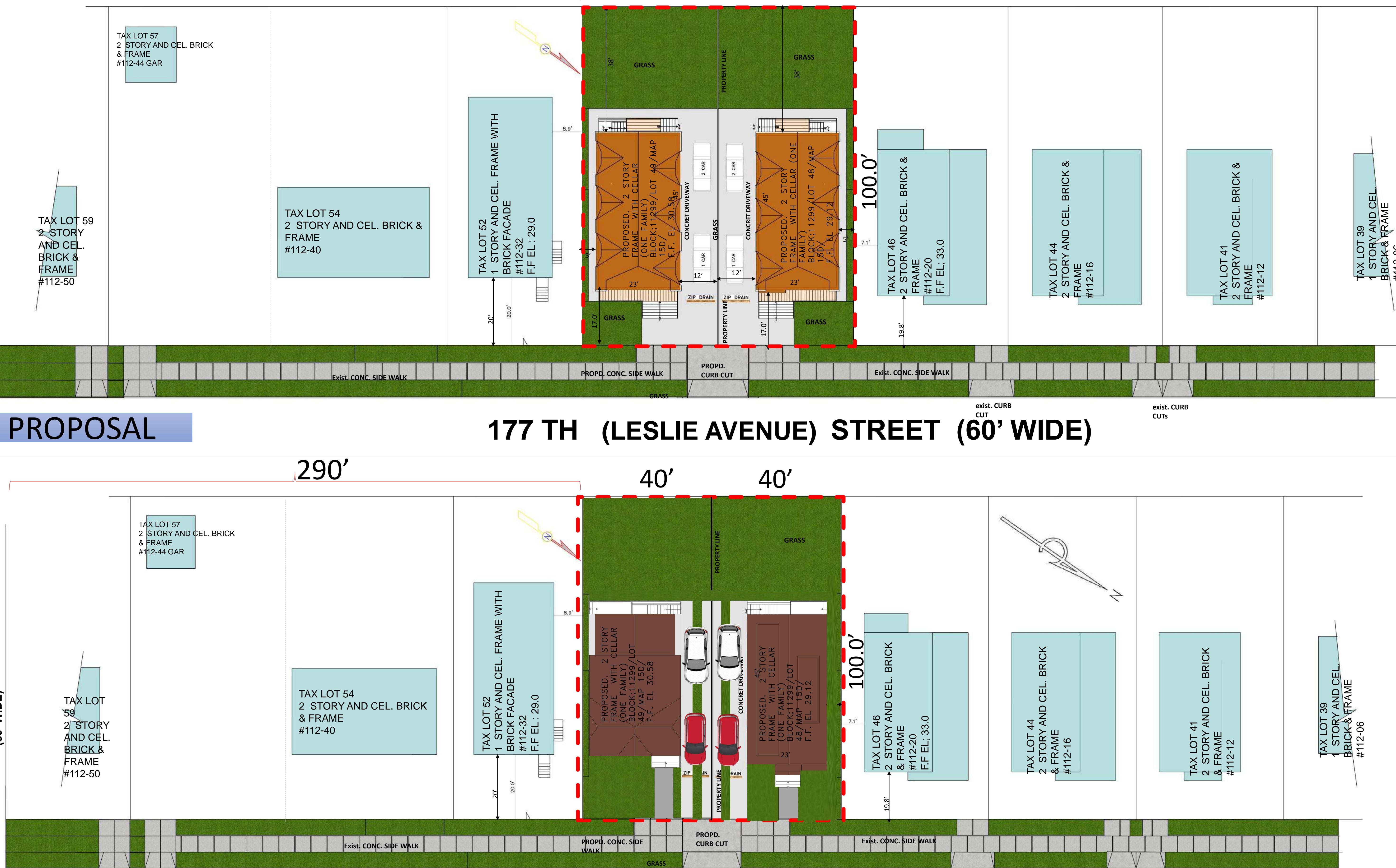


PREVIOUS PROPOSAL

177 TH (LESLIE AVENUE) STREET (60' WIDE)

MURDOCK (TREMONT STREET) STREET

(114 TH AVENUE)
(80' WIDE)



CURRENT PROPOSAL

177 TH (LESLIE AVENUE) STREET (60' WIDE)

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LOT : 48 - 49
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7-LOOKING AT 177 TH STREET



PREVIOUS PROPOSAL

112-28 177 PROPD.
STREET 2 story building

112-24 177 PROPD.
STREET 2 story building



CURRENT PROPOSAL

Lot 49
112-28 177 PROPD.
STREET 2 story building

Lot 48
112-24 177 PROPD.
STREET 2 story building

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY
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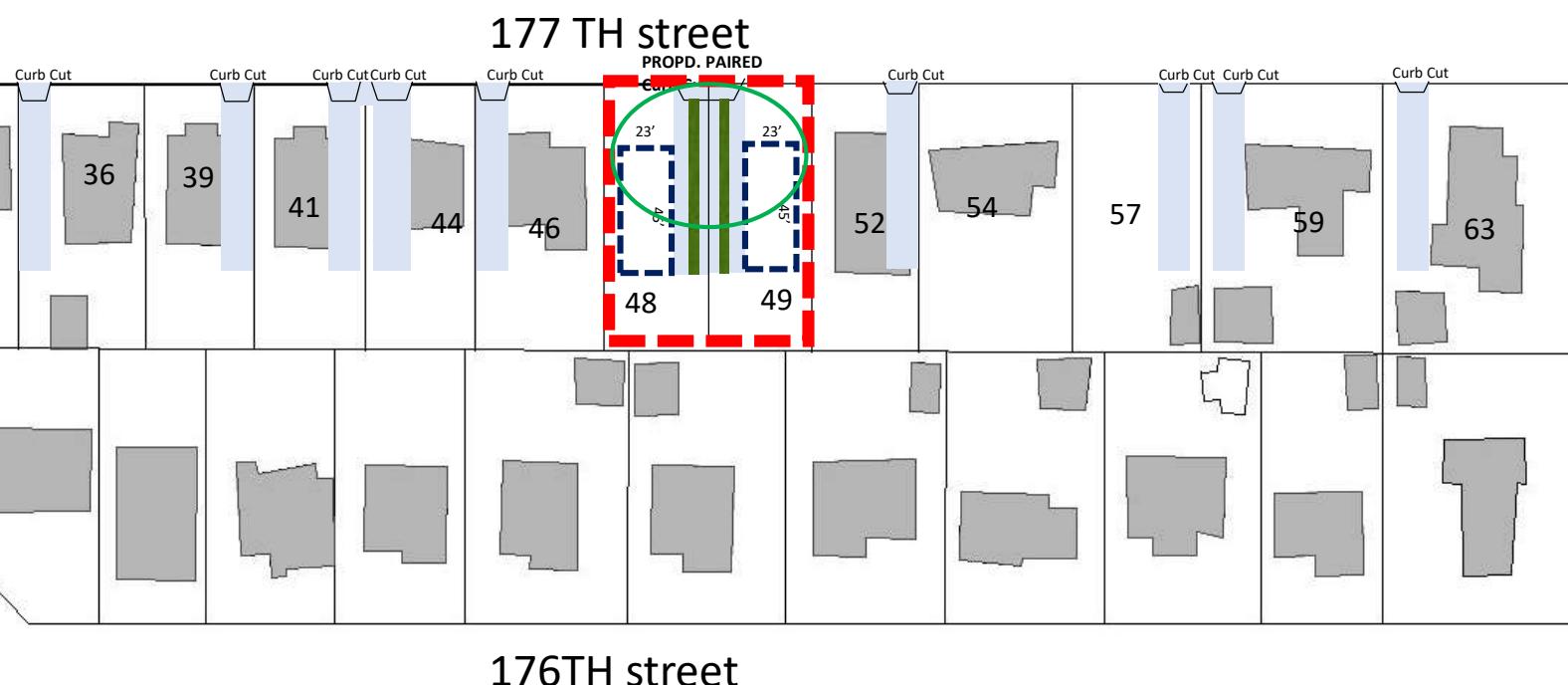
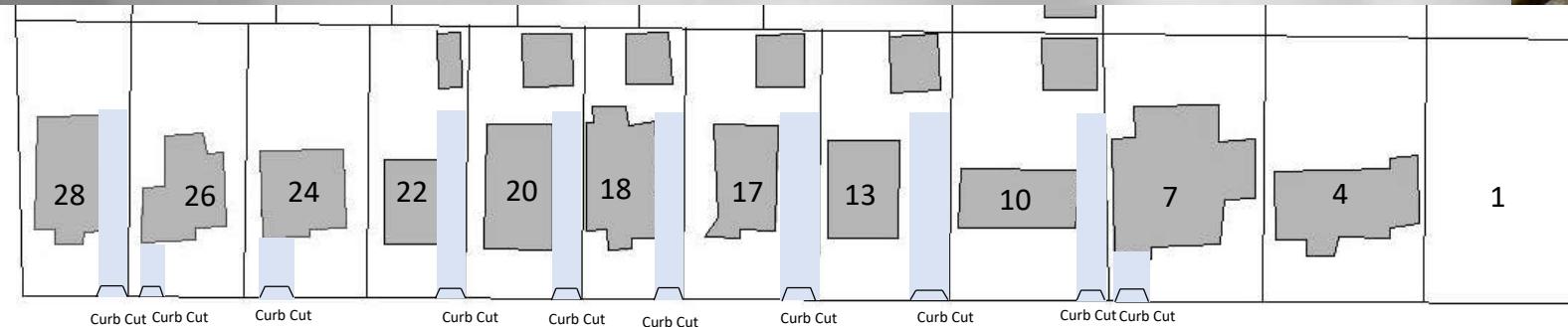
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8- EXISTING CURB CUTS

CURB CUTS ARE PROPOSED PAIRED IN ORDER TO MINIMIZE IMPACT
ON THE STREET PARKING



LANDMARK SUBMISSION FOR :
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8- EXISTING CURB CUT

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9- DRIVEWAY



TYPICAL DRIVEWAY CONDITIONS IN THE AREA

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

DRIVEWAY TO INCLUDE A GRASS CENTER STRIP BETWEEN CONCRETE STRIPS, REFERENCING HISTORIC DESIGN.

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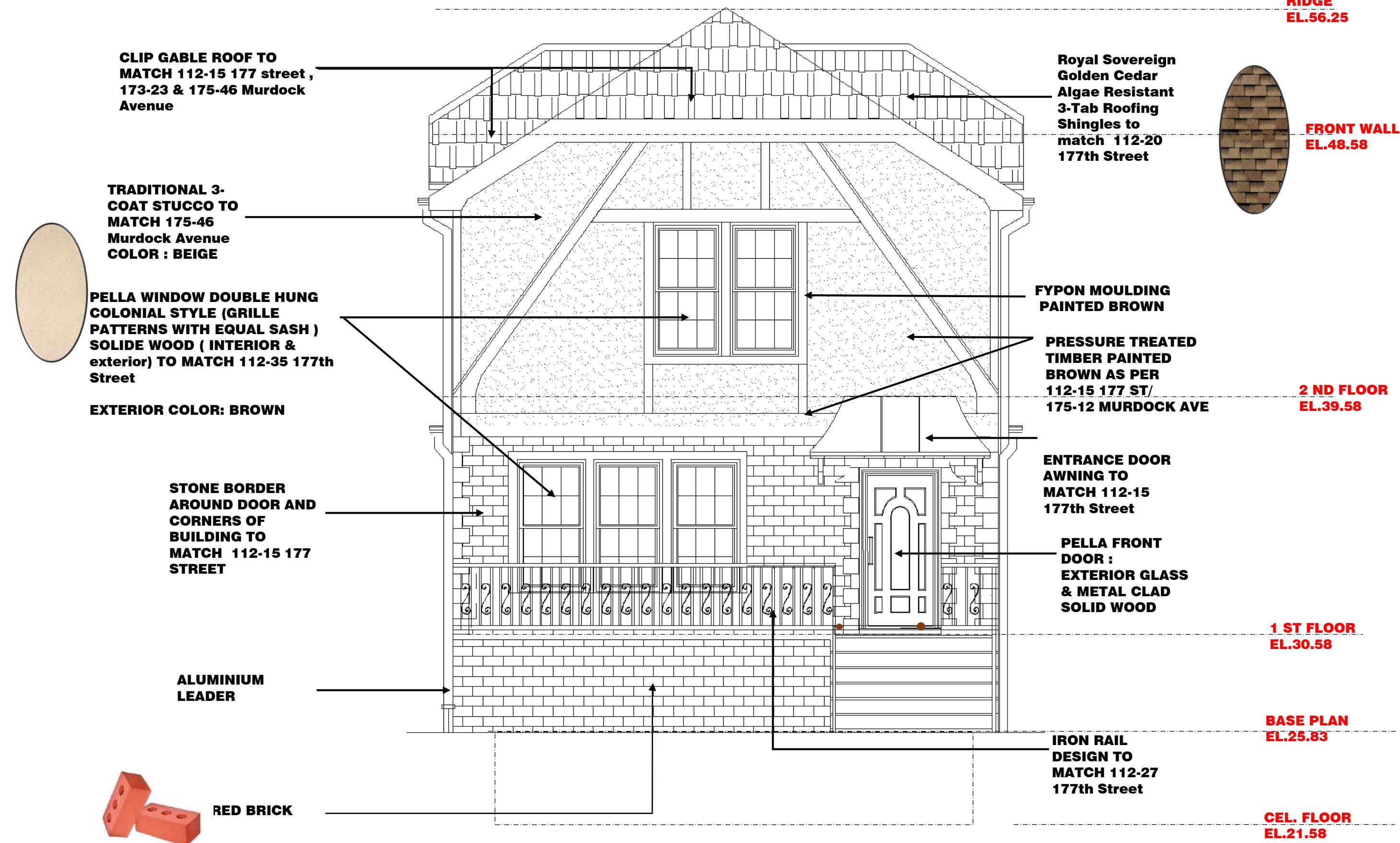
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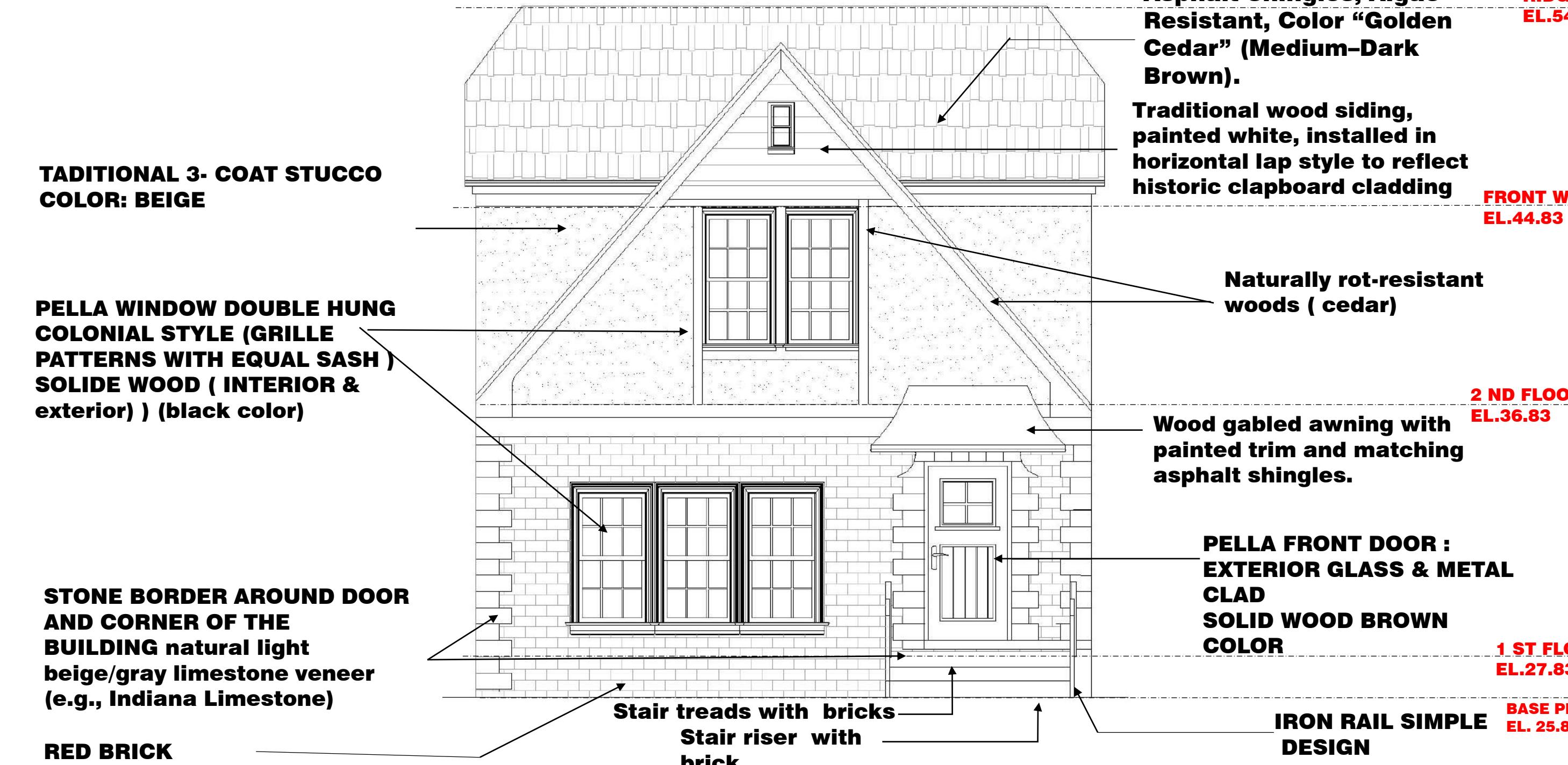
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112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL

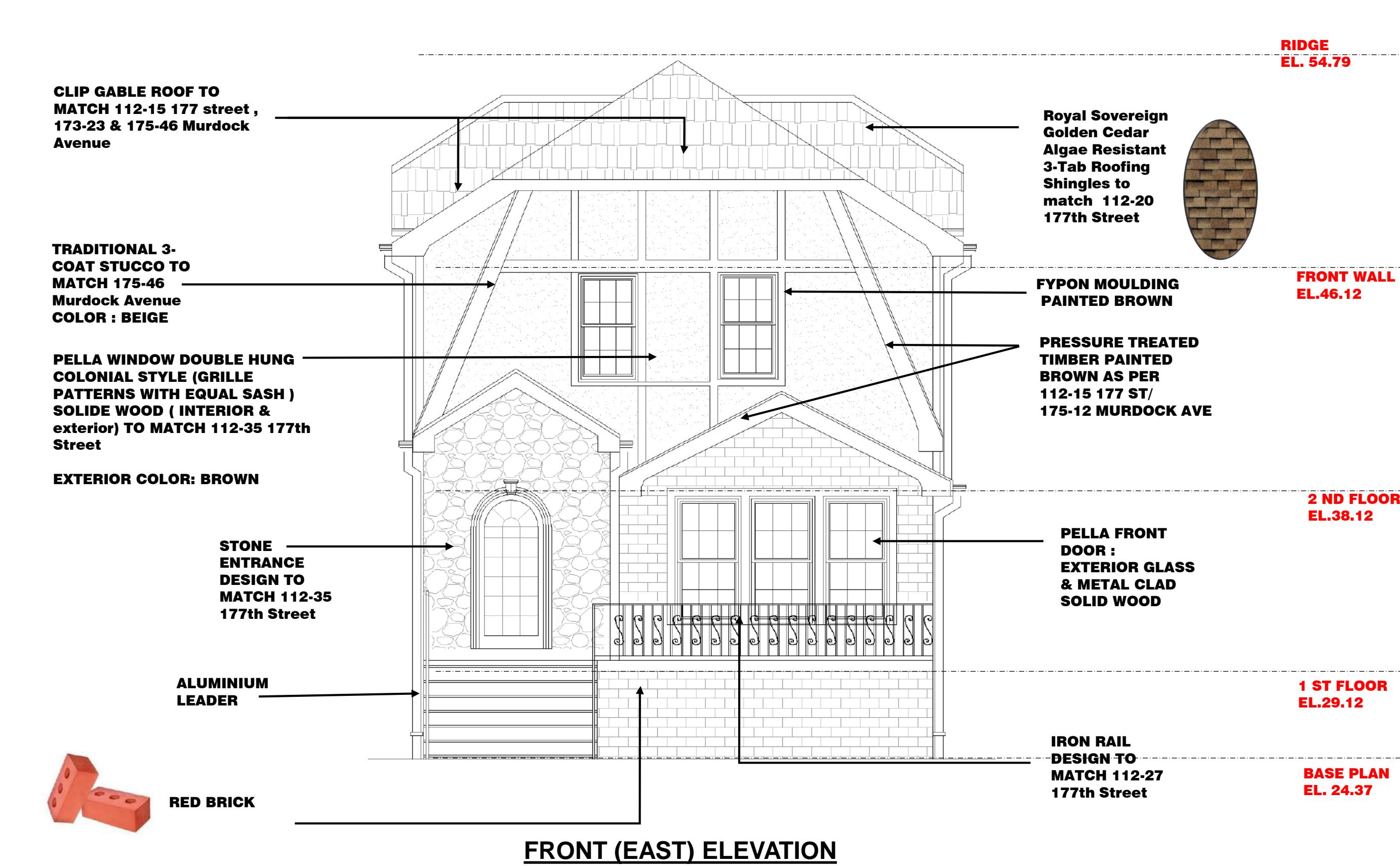


CURRENT PROPOSAL

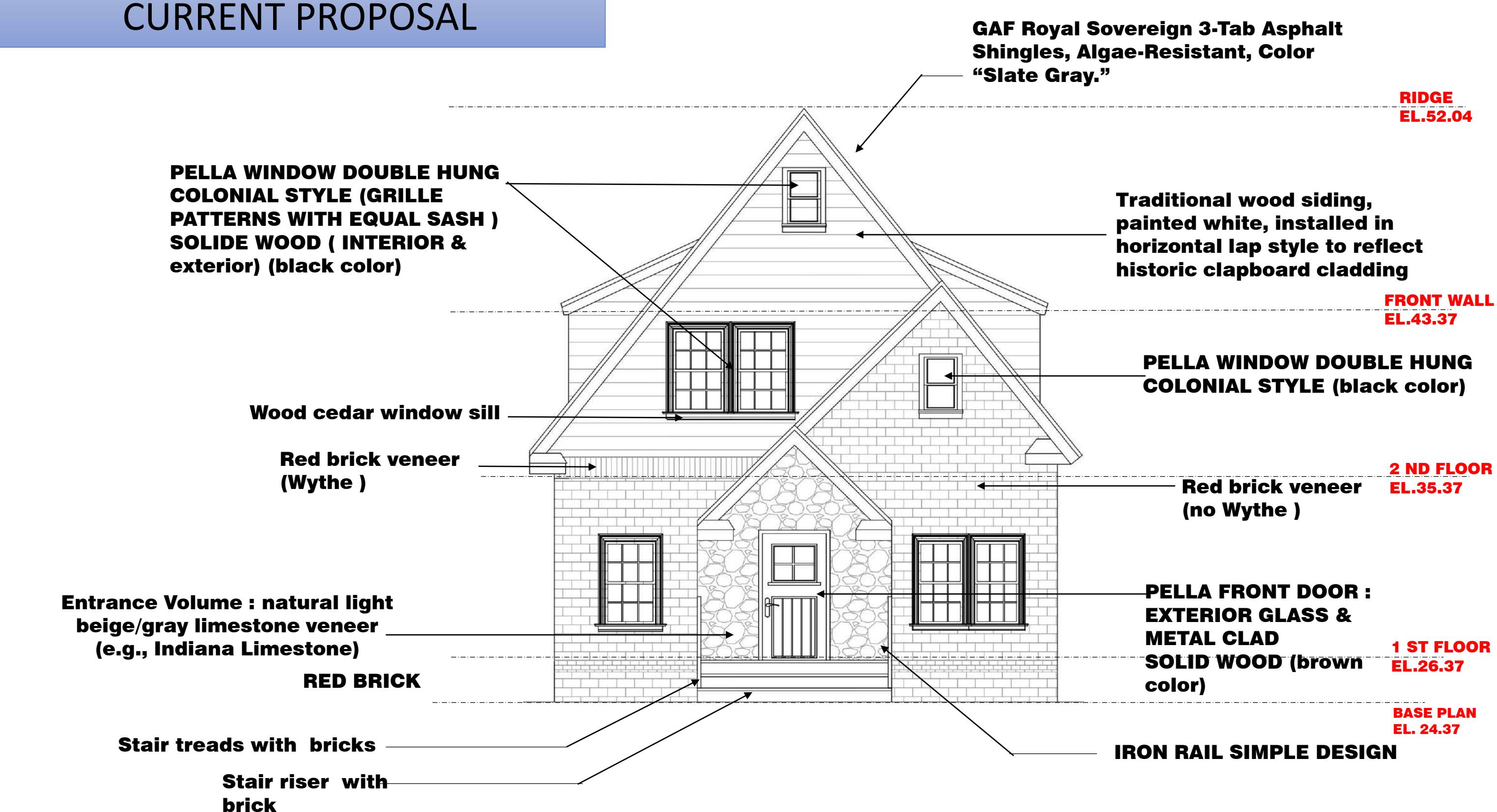


112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



CURRENT PROPOSAL



LANDMARK SUBMISSION FOR :

112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY

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112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY

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OCCUPANCY: R3

CONSTR.CLASS: 5A

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MAP: 15B

USE GROUP: II

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KEW GARDENS, NY 11415

PHONE: 718-263-4567

TABRIZGROUPENT@GMAIL.COM

112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL



CURRENT PROPOSAL

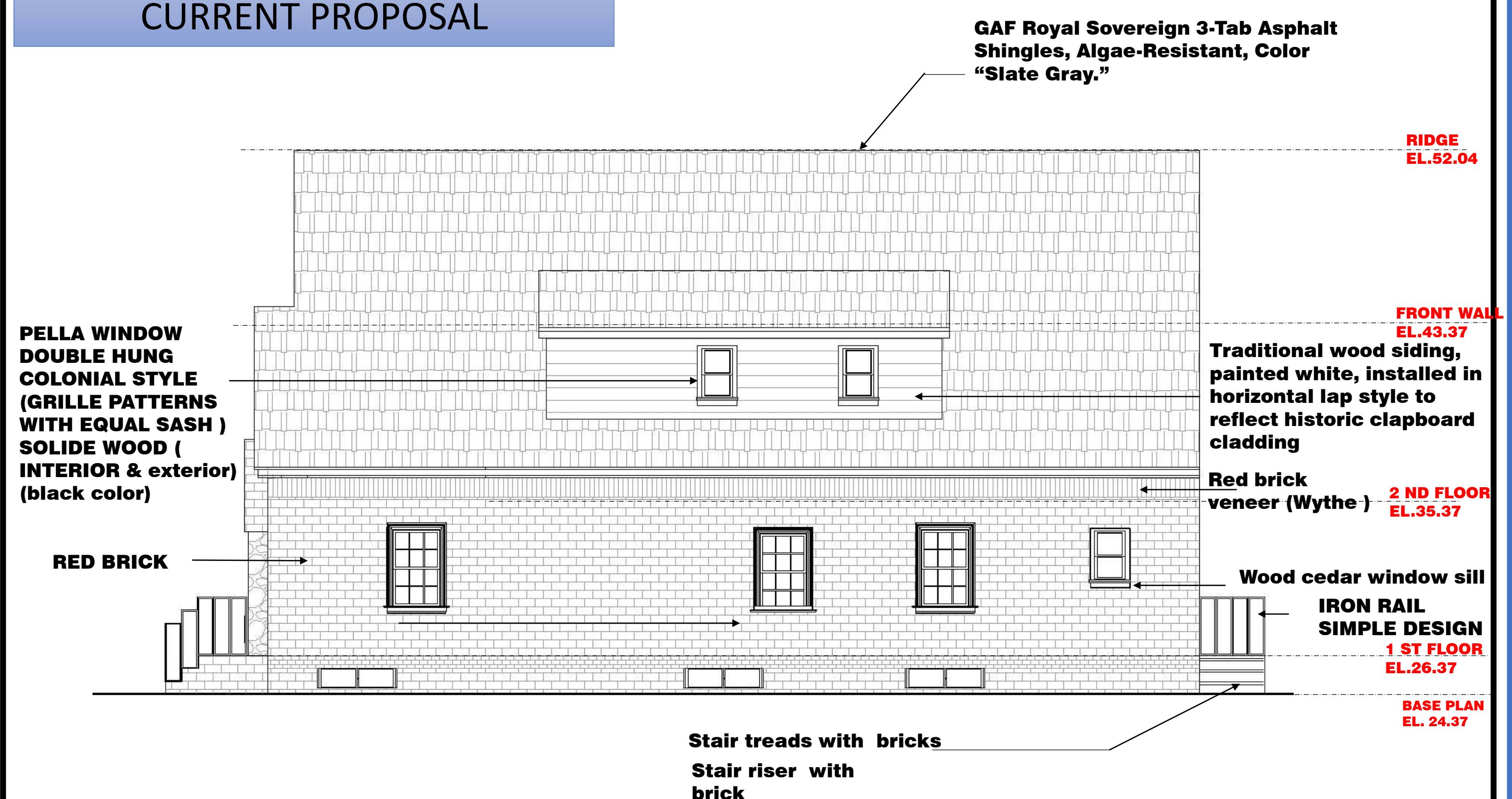


112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



CURRENT PROPOSAL



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112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL



CURRENT PROPOSAL

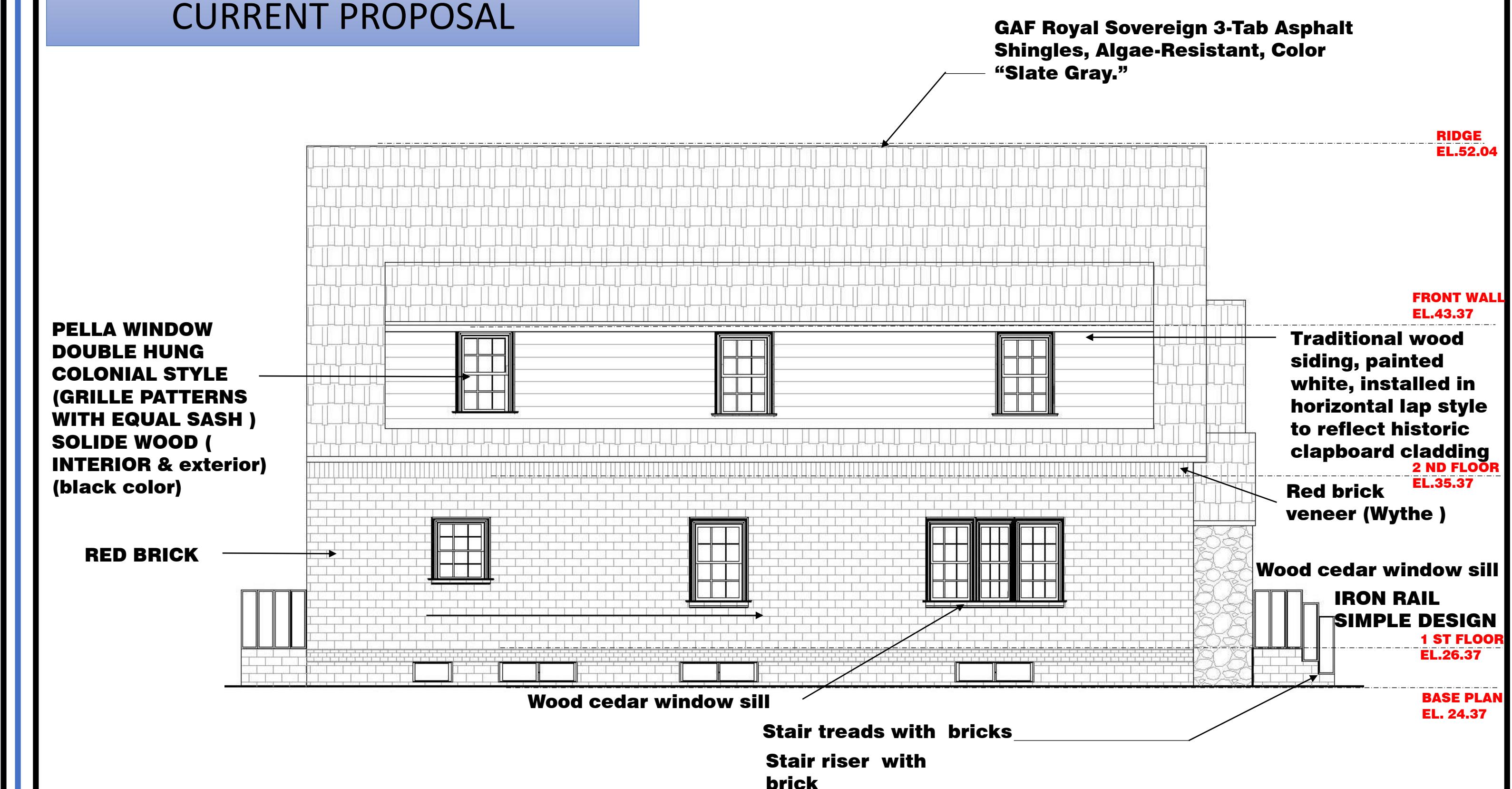


112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



CURRENT PROPOSAL



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OCCUPANCY: R3

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117 81 AVENUE

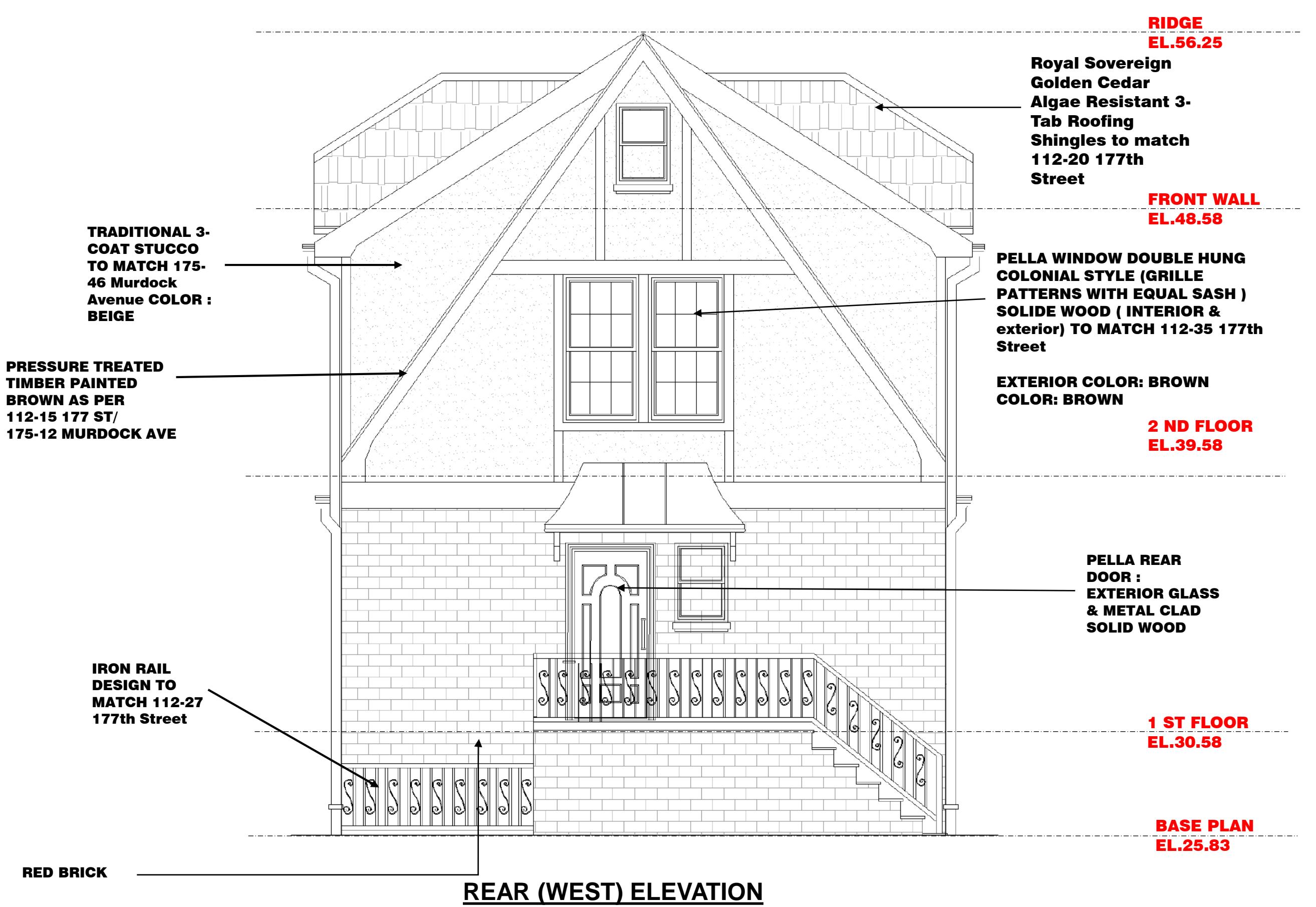
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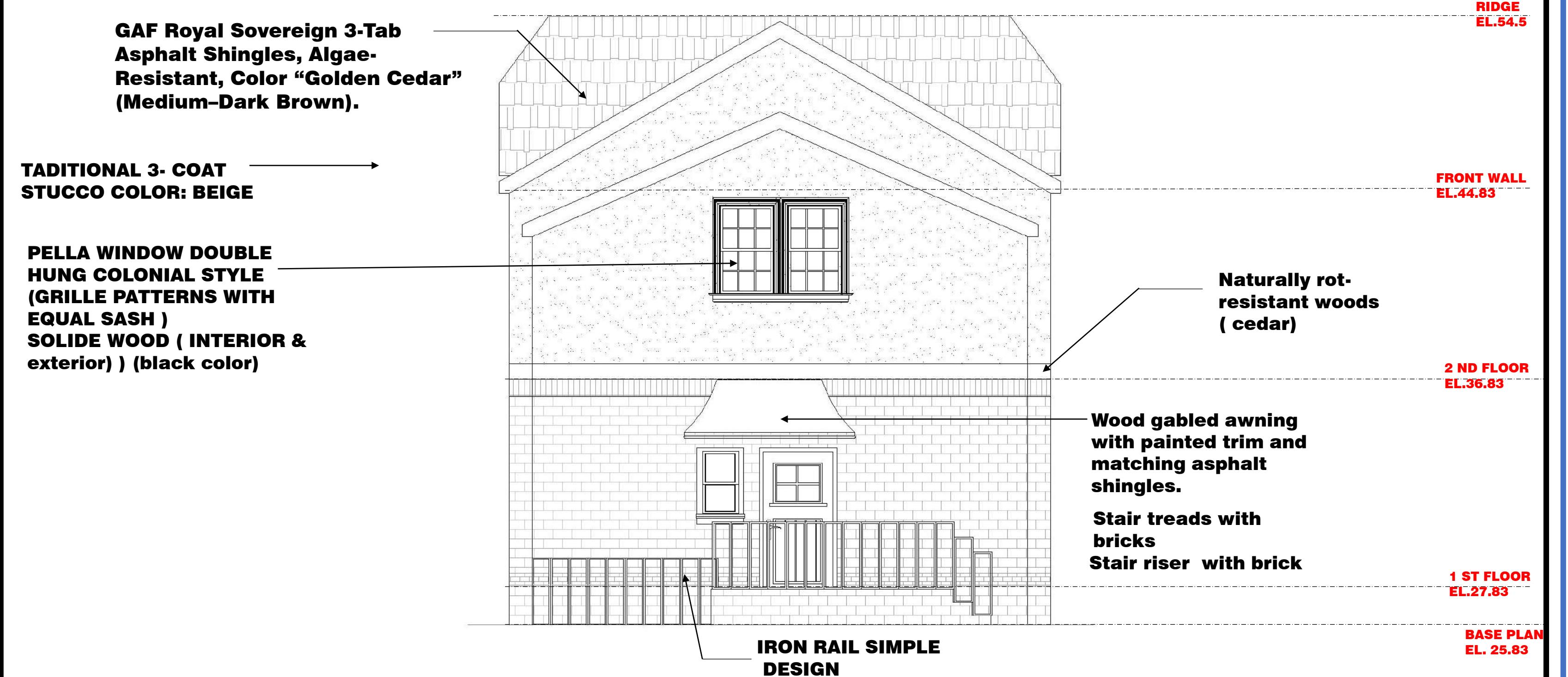
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112-28 177 STREET – LOT-49-

PREVIOUS PROPOSAL

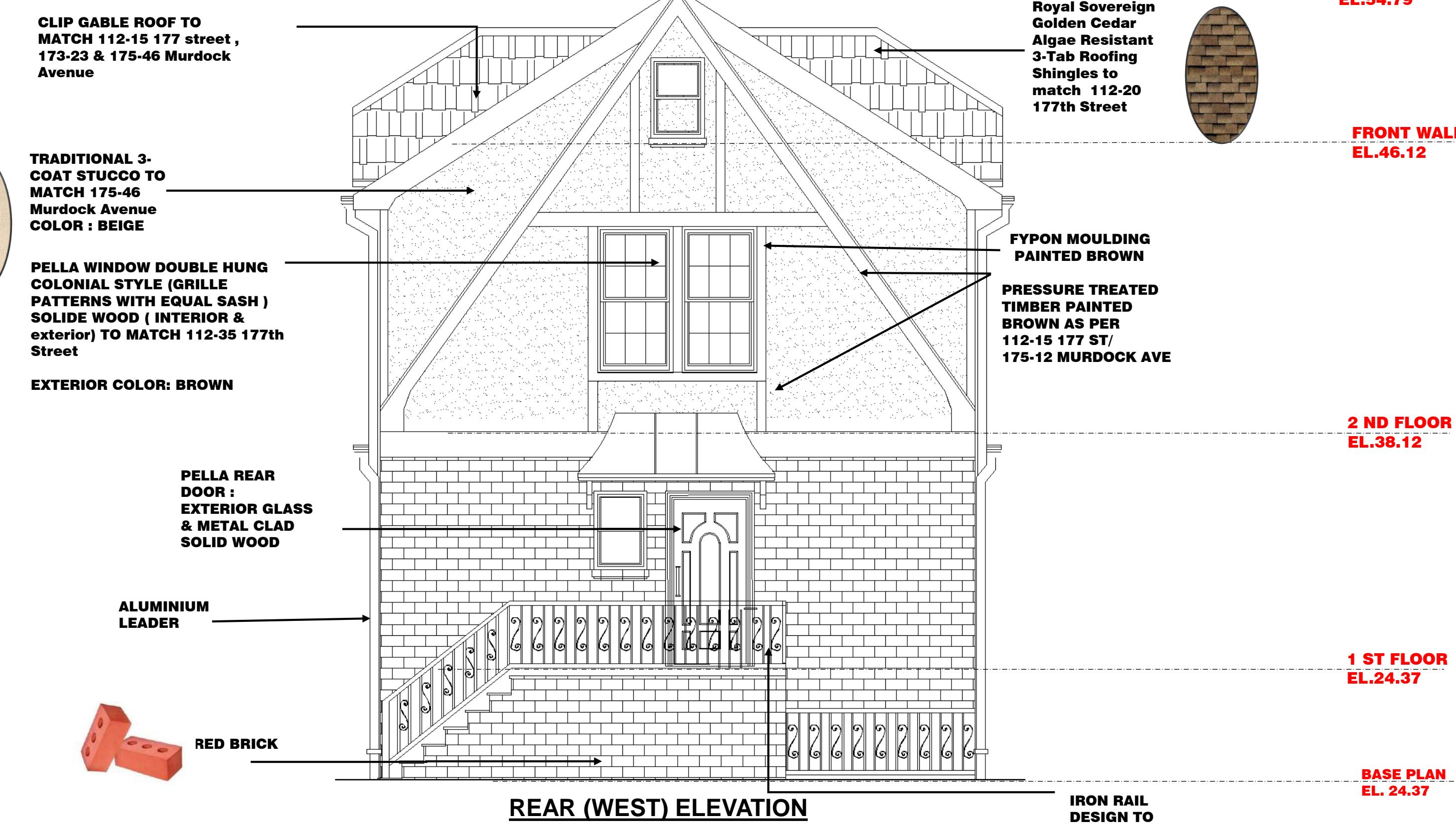


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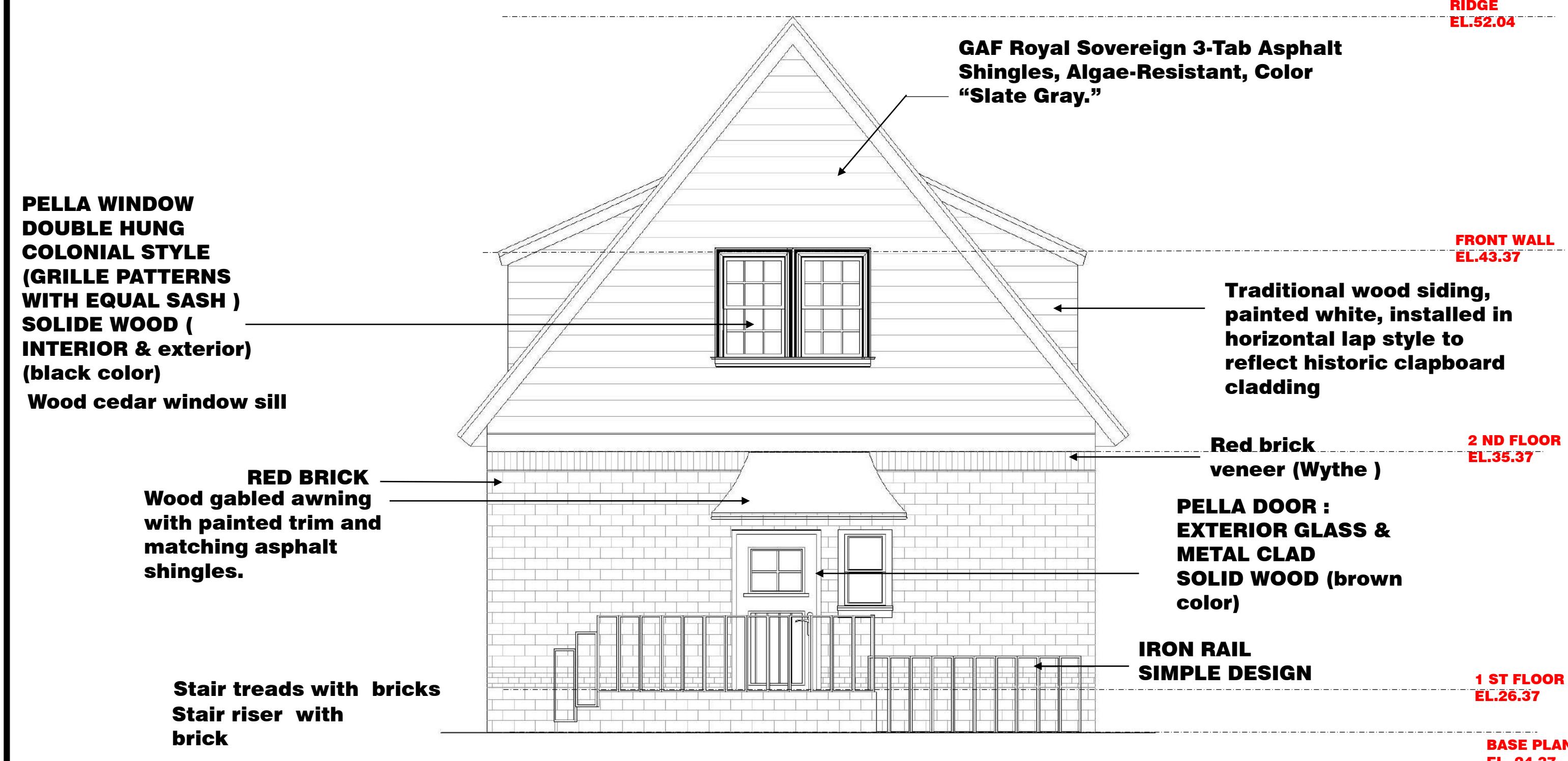


112-24 177 STREET – LOT-48-

PREVIOUS PROPOSAL



CURRENT PROPOSAL



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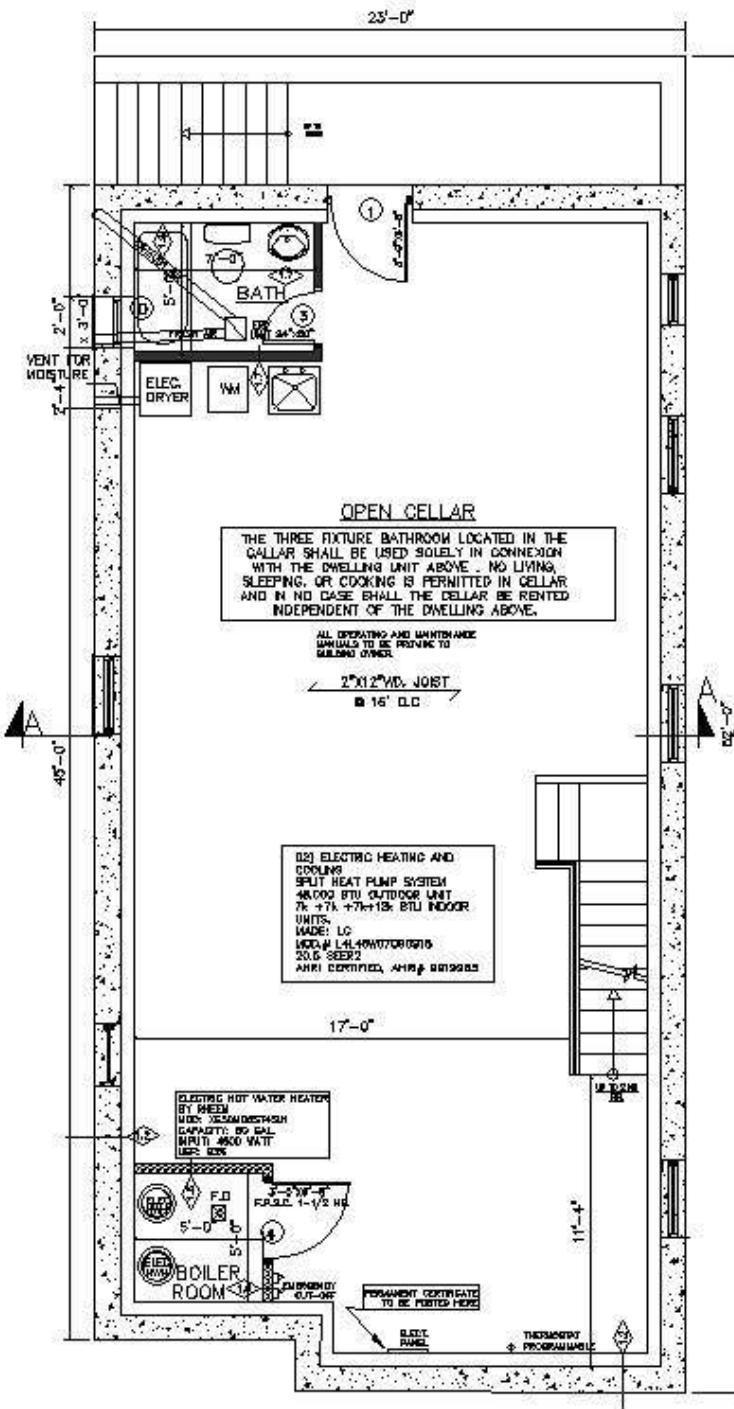
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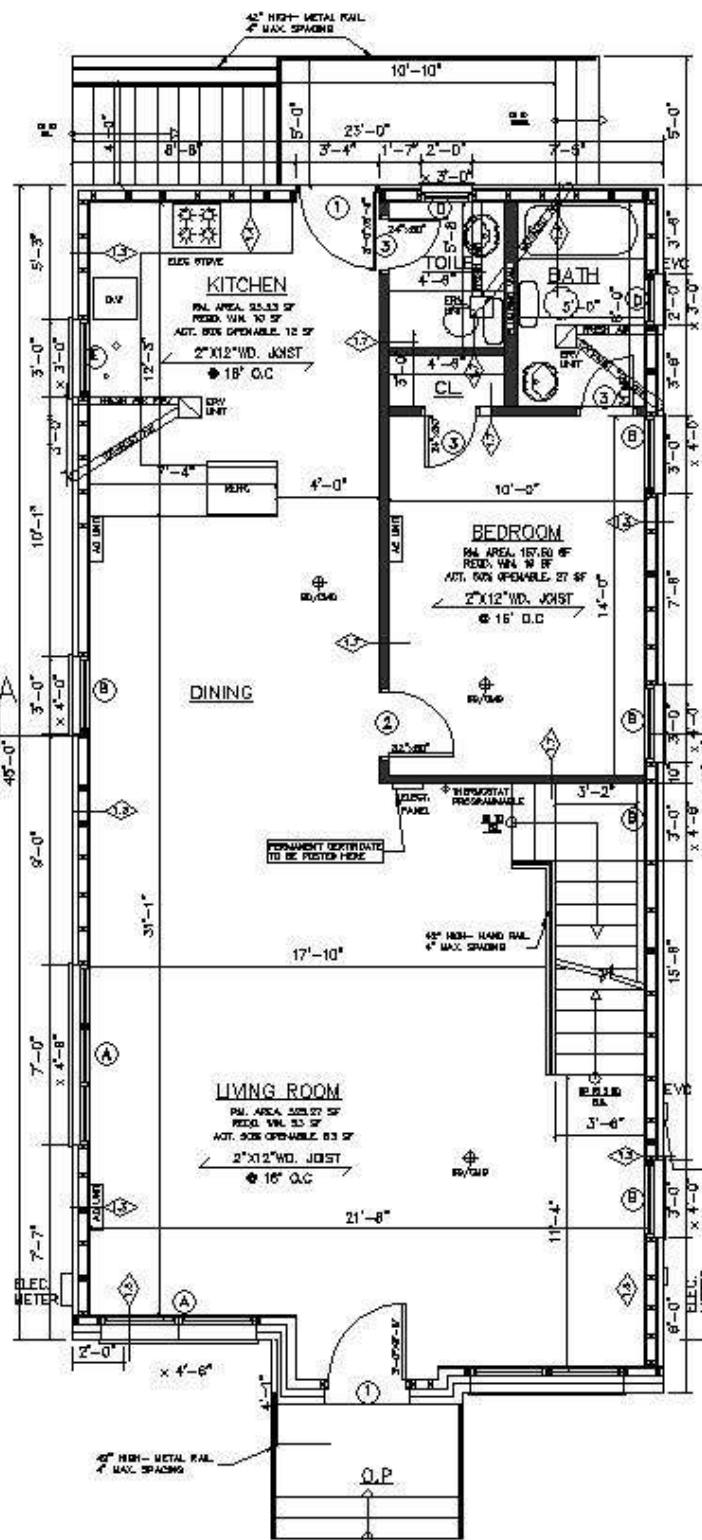
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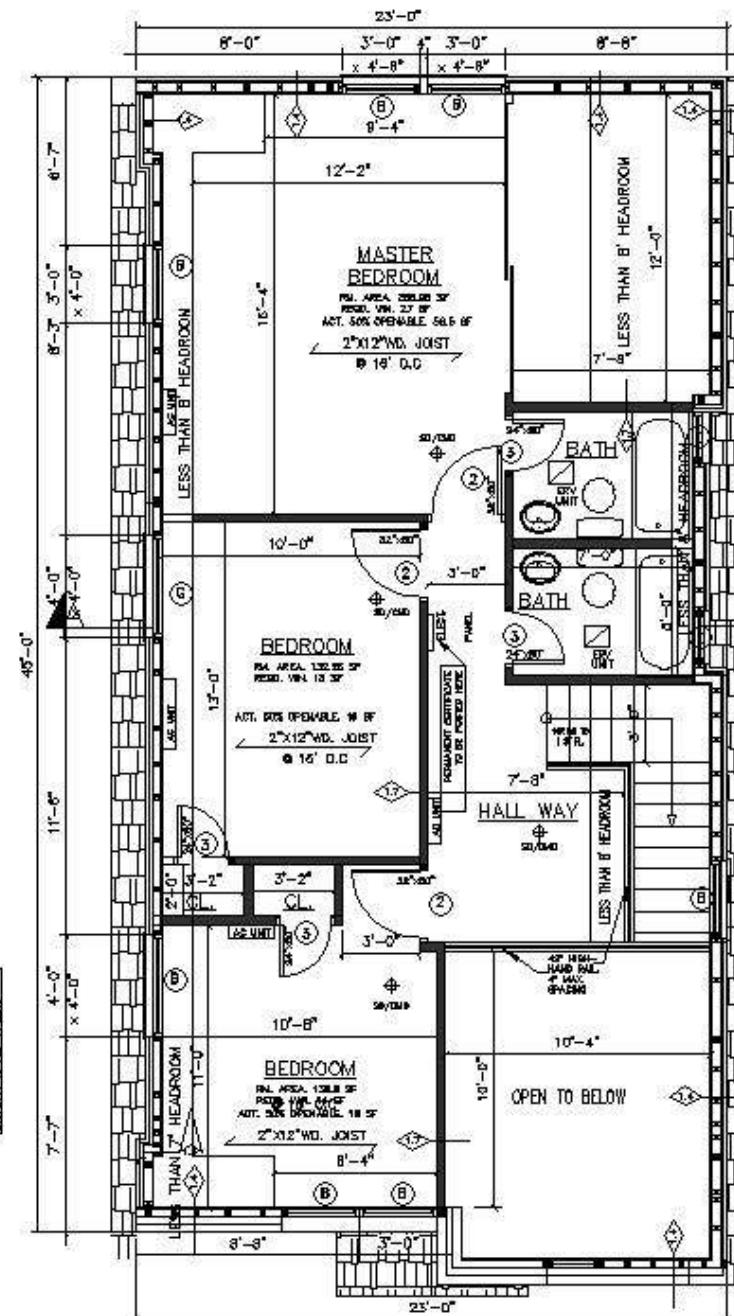
9- PROPOSED FLOOR PLANS



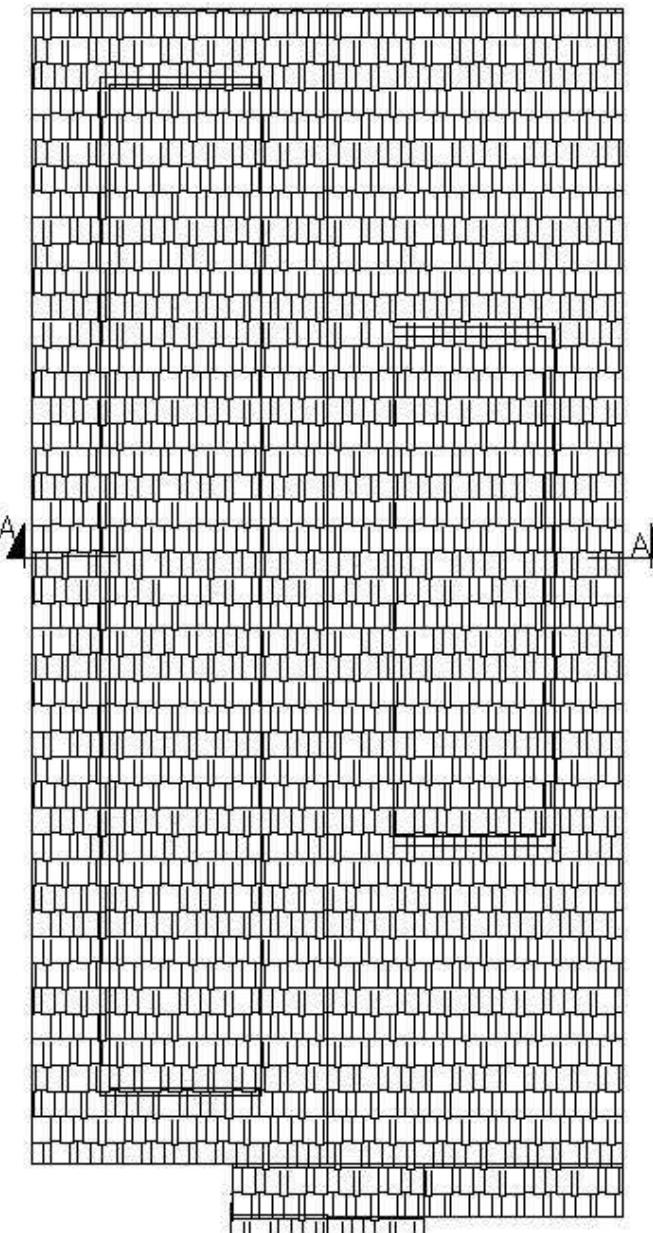
PROPD. CEL. FL. PLAN



PROPD 1 ST. FL. PLAN



PROPD 2 ND. FL. PLAN



PROPD ROOF PLAN

Lot 48

112-24 177 PROPD. STREET 2 story building

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

THIS SUBMISSION IS FOR LANDMARK REVIEW ,
THE PROPOSED ELEVATIONS , ALL RENDERINGS
AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
AS RECOMMENDED BY LPC.

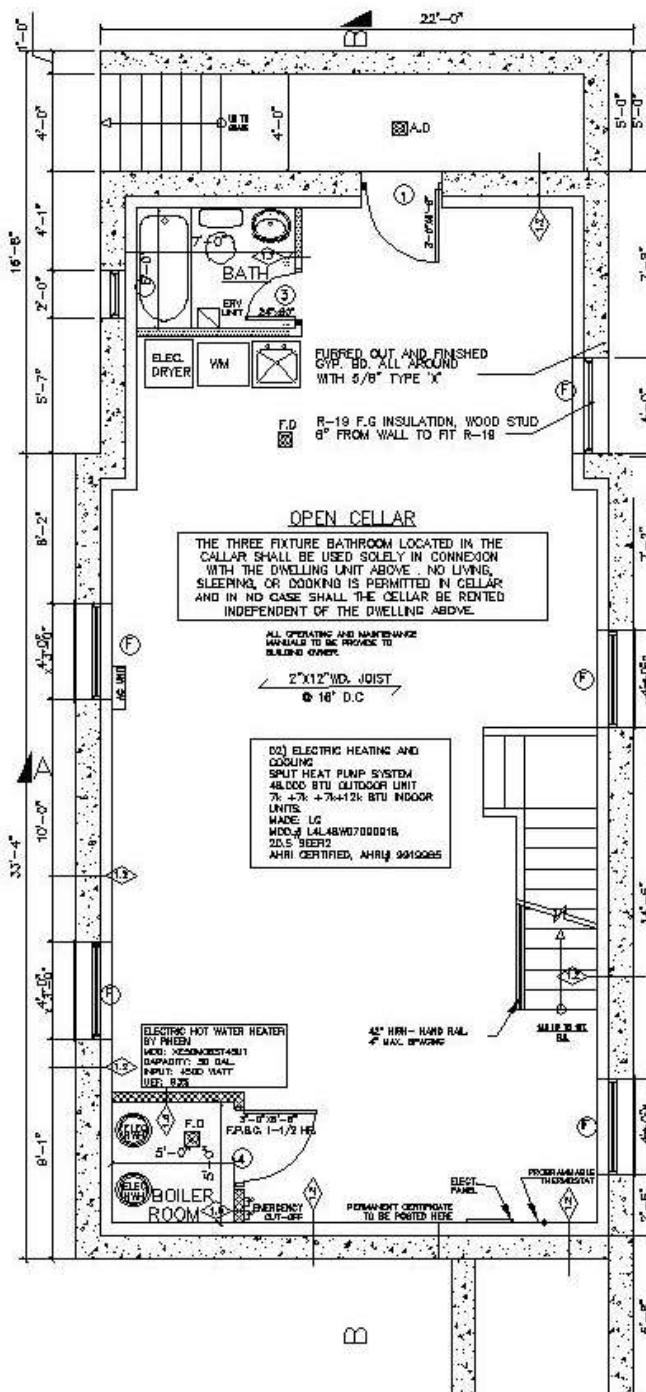
BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
LOT : 48 - 49
MAP: 15B
USE GROUP: II
9- PROPOSED FLOOR PLANS

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM

9- PROPOSED FLOOR PLANS

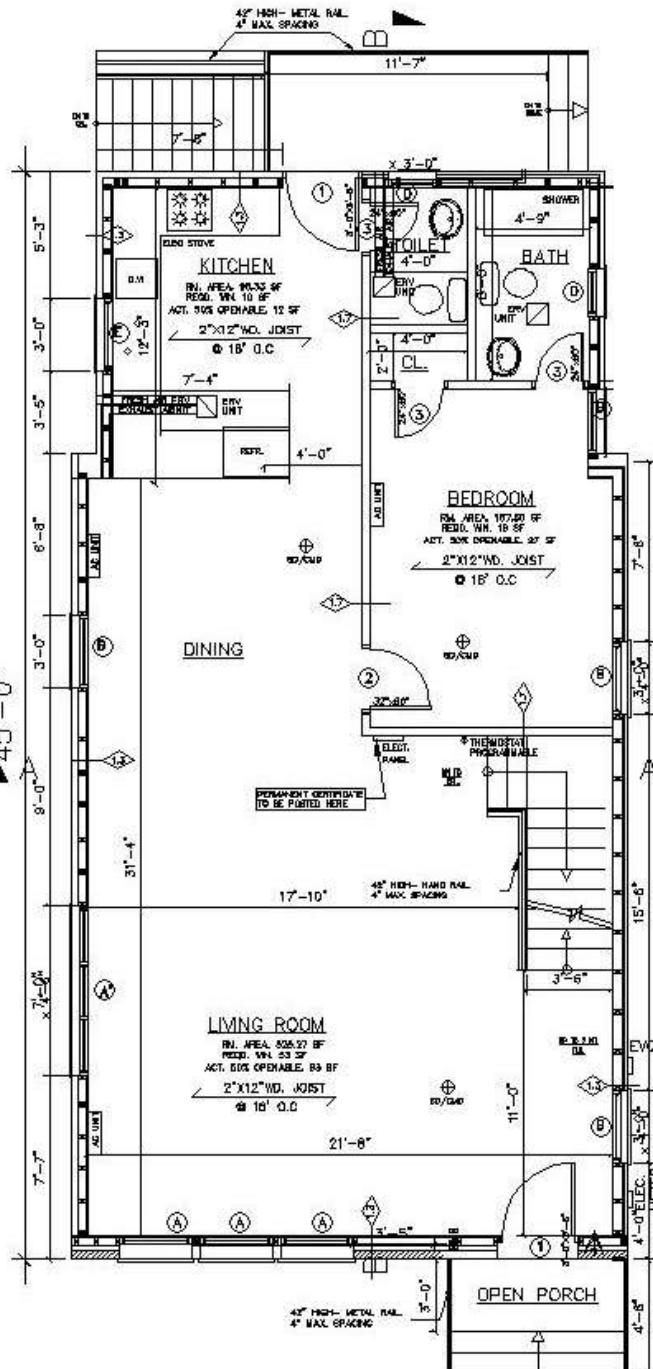
Lot 49

112-28 177 PROPD. STREET 2 story building



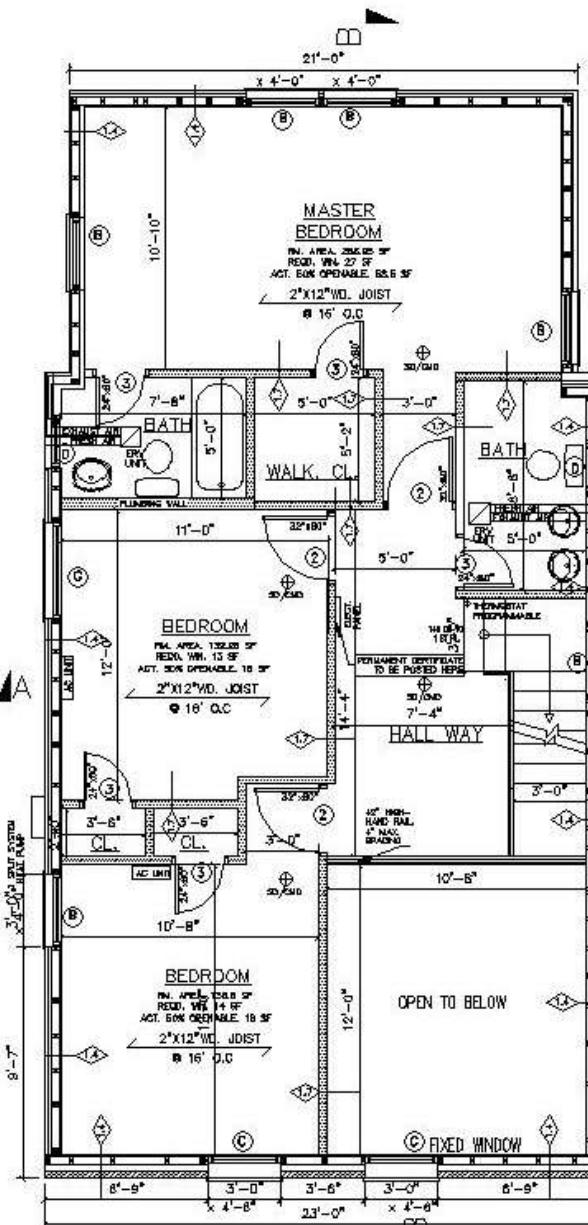
PROPD CEL. FL. PLAN

SCALE 1" = 1'-0"



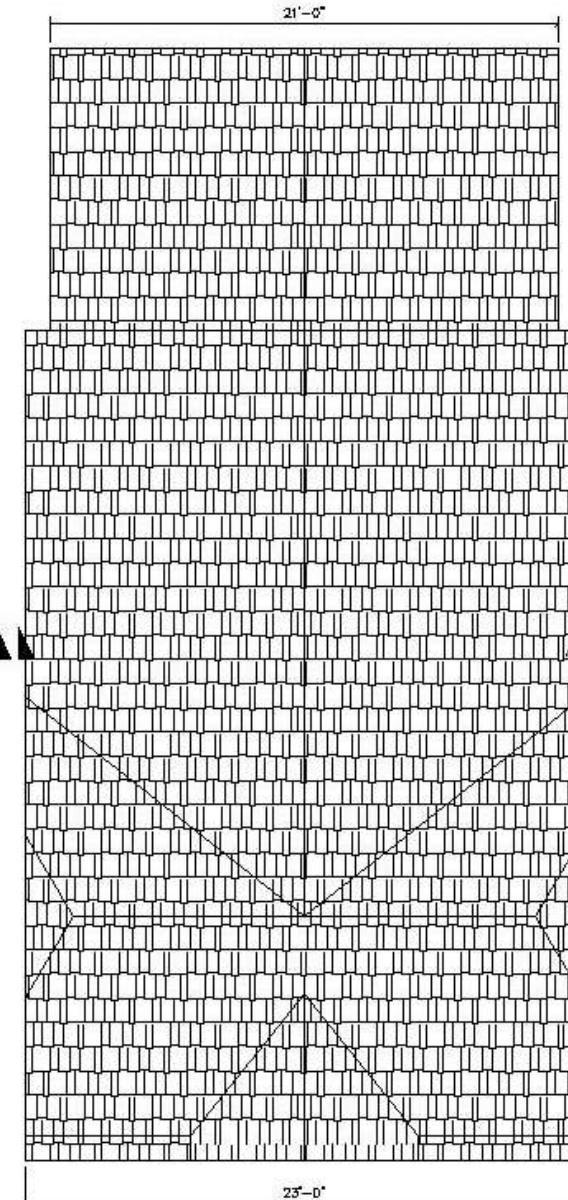
PROPD 1 ST. FL. PLAN

SCALE 1" = 1'-0"



PROPD 2 ND. FL. PLAN

SCALE 1" = 1'-0"



PROPD. ROOF PLAN

SCALE 1" = 1'-0"

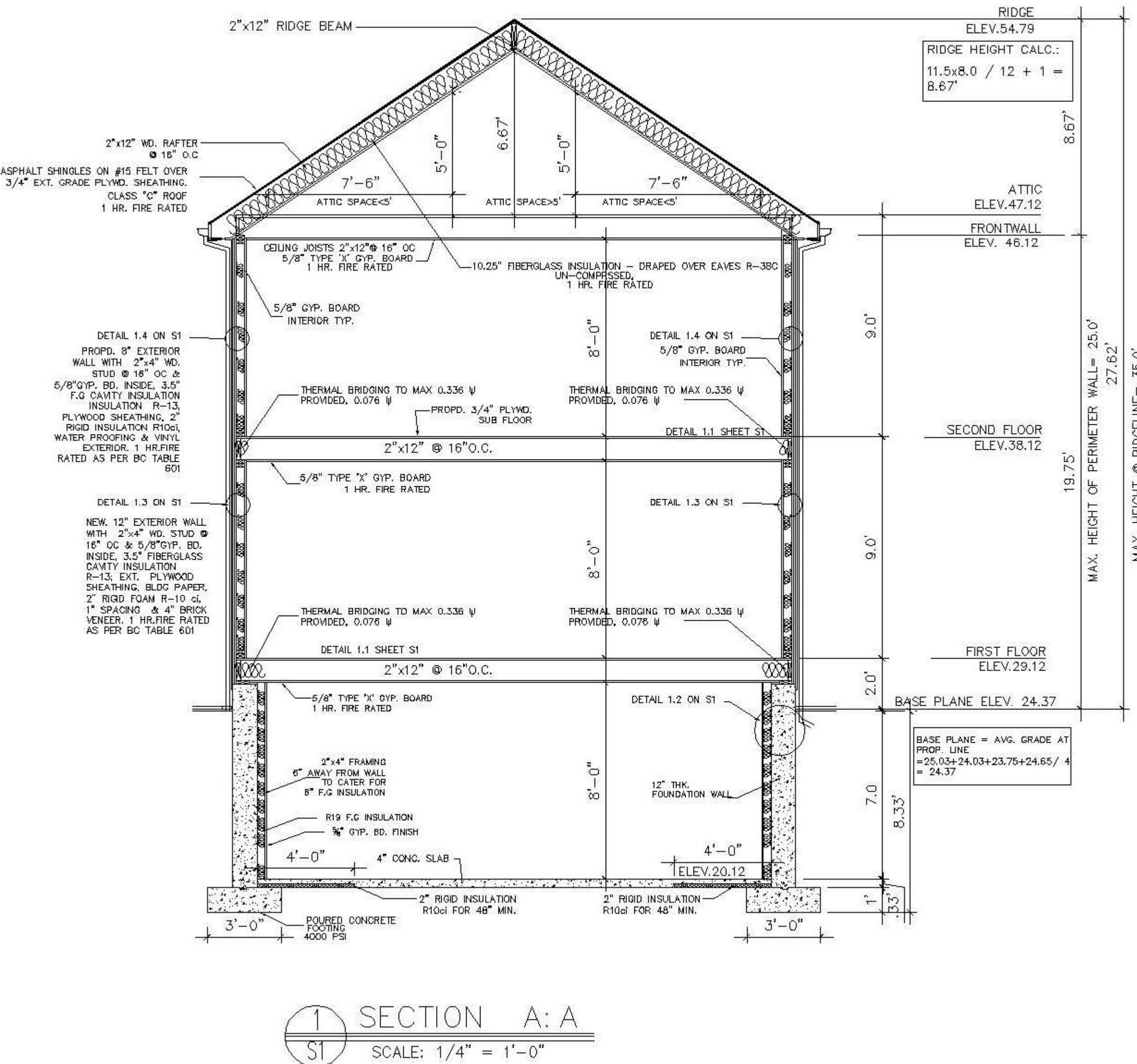
LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.

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AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
AS RECOMMENDED BY LPC.

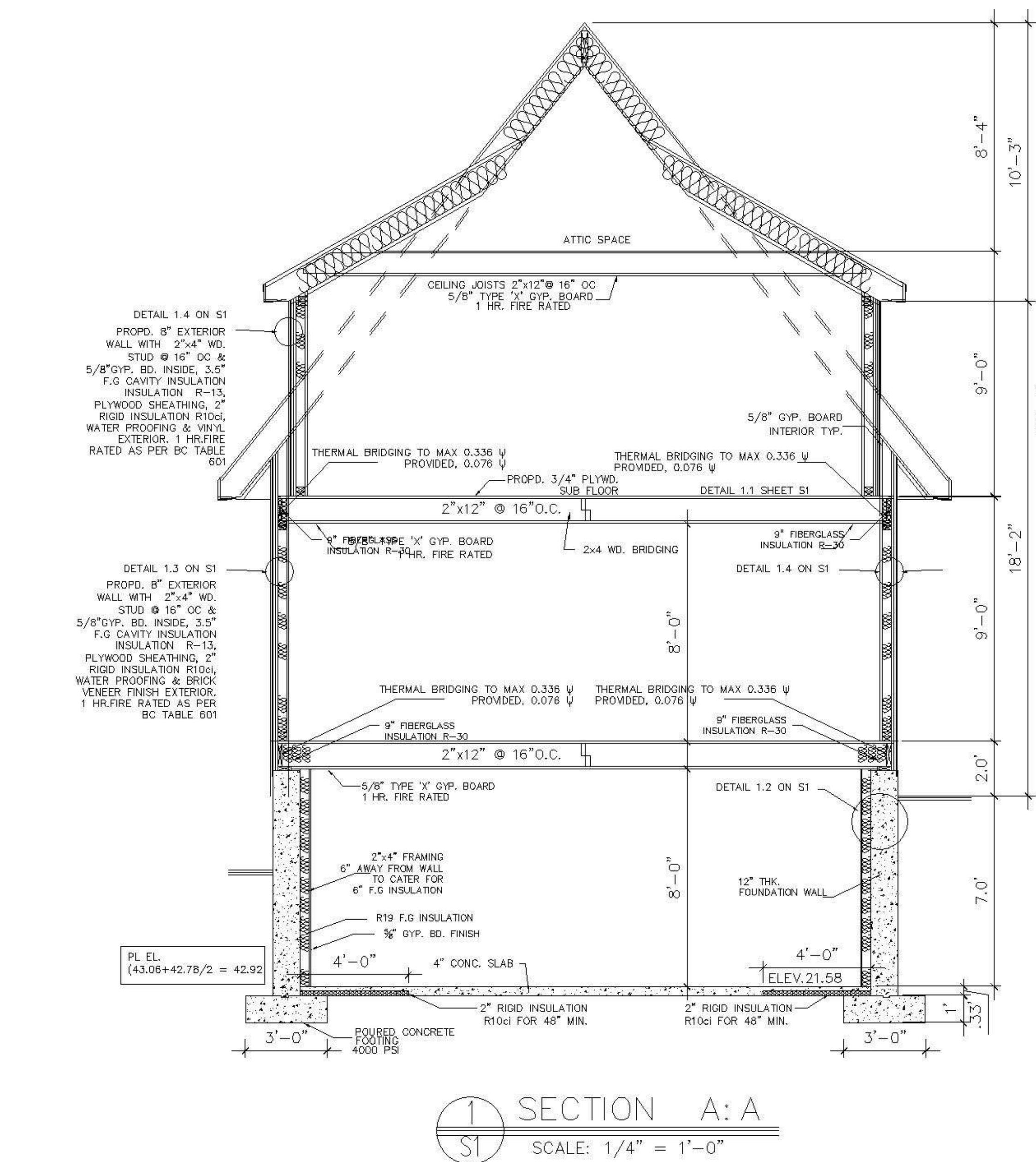
BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A
LOT : 48 - 49
MAP: 15B
USE GROUP: II
9- PROPOSED FLOOR PLANS

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM

CURRENT PROPOSAL



CURRENT PROPOSAL



LANDMARK SUBMISSION FOR :

112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY

DWELLING.

112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY

DWELLING.

THIS SUBMISSION IS FOR LANDMARK REVIEW,
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AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
AS RECOMMENDED BY LPC.

BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

10- PROPOSED ELEVATIONS

TABRIZ DESIGN GROUP

117 81 AVENUE

KEW GARDENS, NY 11415

PHONE: 718-263-4567

TABRIZGROUPENT@GMAIL.COM



FRONT VIEW

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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 AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
 AS RECOMMENDED BY LPC.

BLOCK: 10299
 ZONING: R2
 OCCUPANCY: R3
 CONSTR.CLASS: 5A

LOT : 48 - 49
 MAP: 15B
 USE GROUP: II

TABRIZ DESIGN GROUP
 117 81 AVENUE
 KEW GARDENS, NY 11415
 PHONE: 718-263-4567
 TABRIZGROUPENT@GMAIL.COM



LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

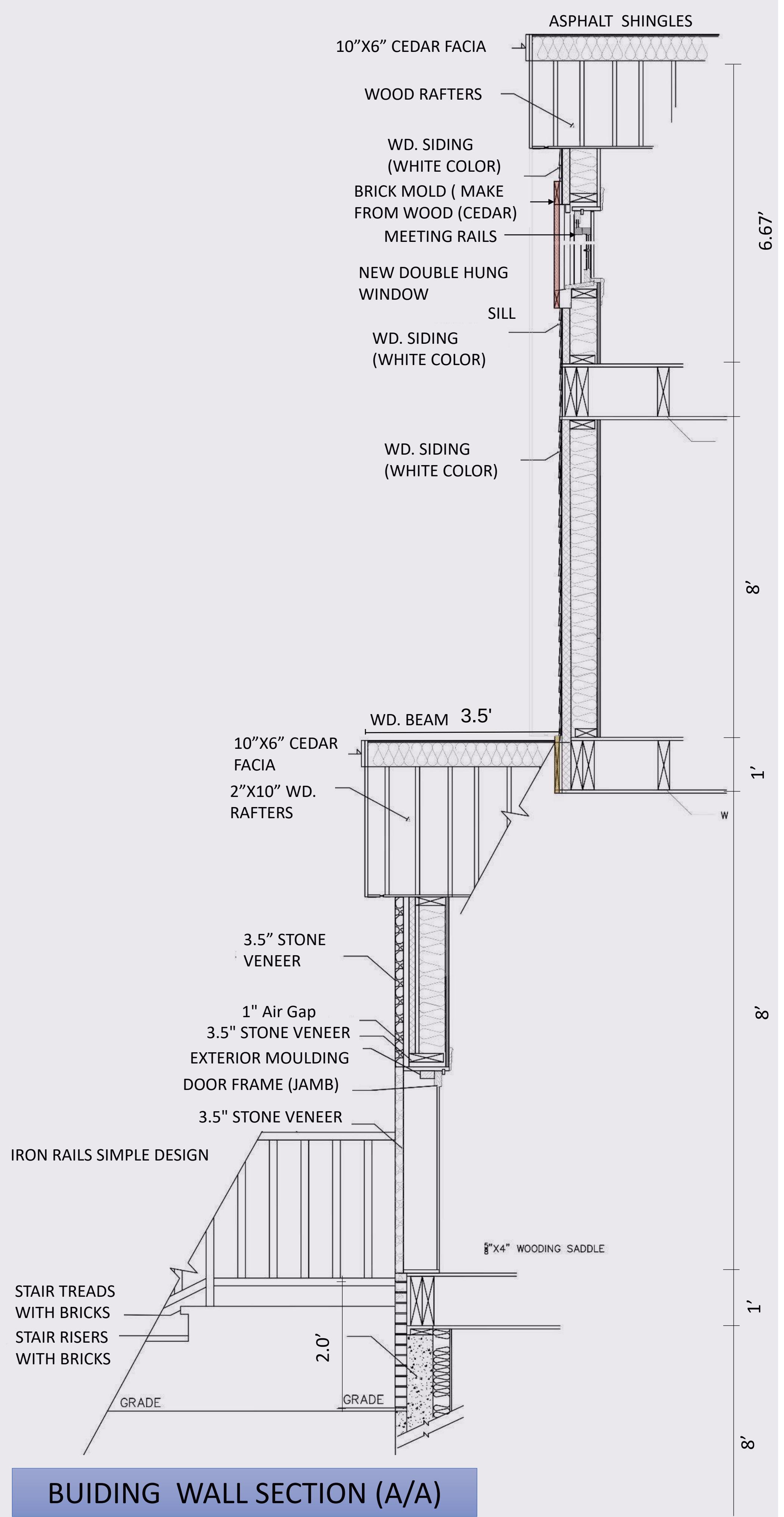
THIS SUBMISSION IS FOR LANDMARK REVIEW ,
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 AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
 AS RECOMMENDED BY LPC.

BLOCK: 10299
 ZONING: R2
 OCCUPANCY: R3
 CONSTR.CLASS: 5A

10- PROPOSED ELEVATIONS

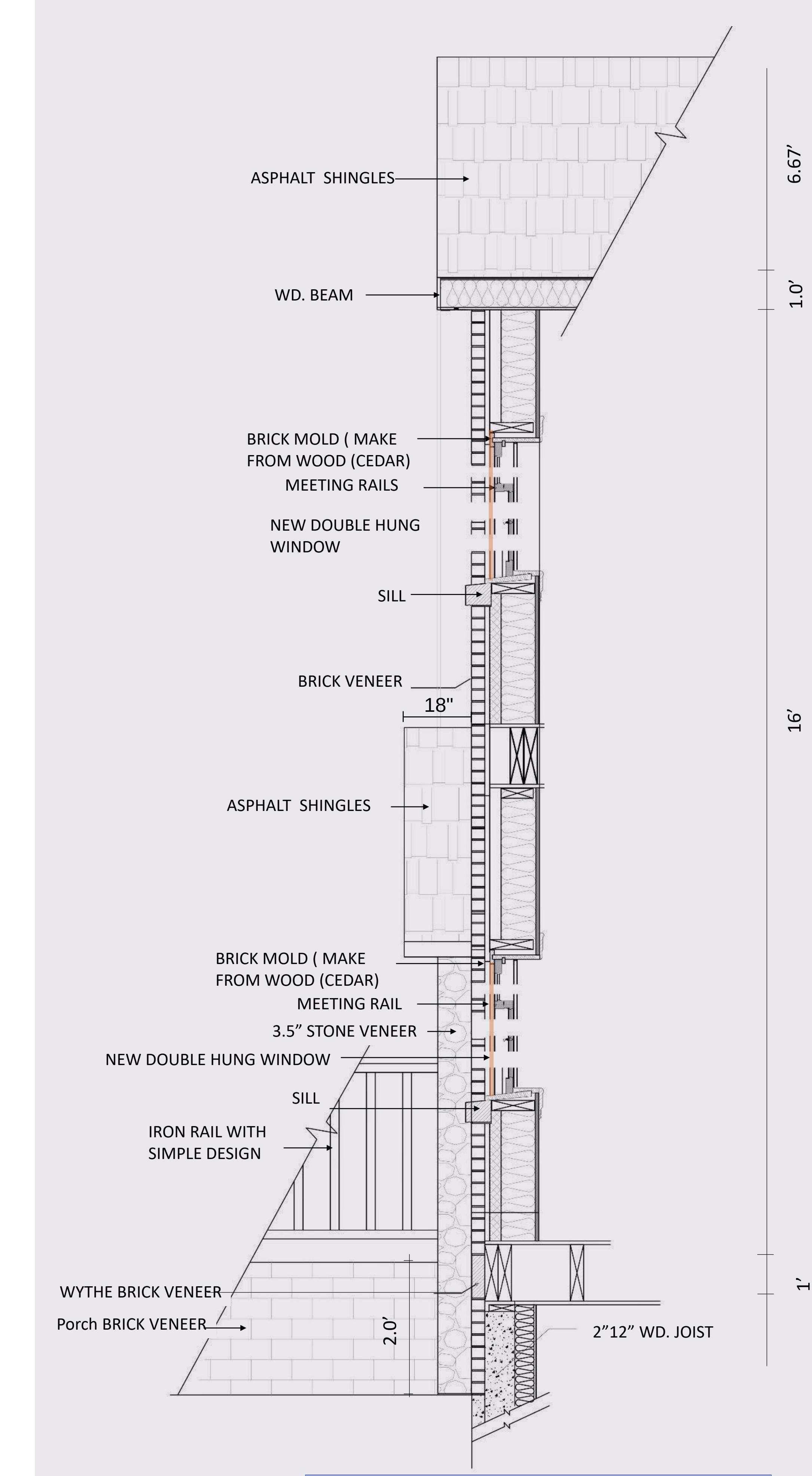
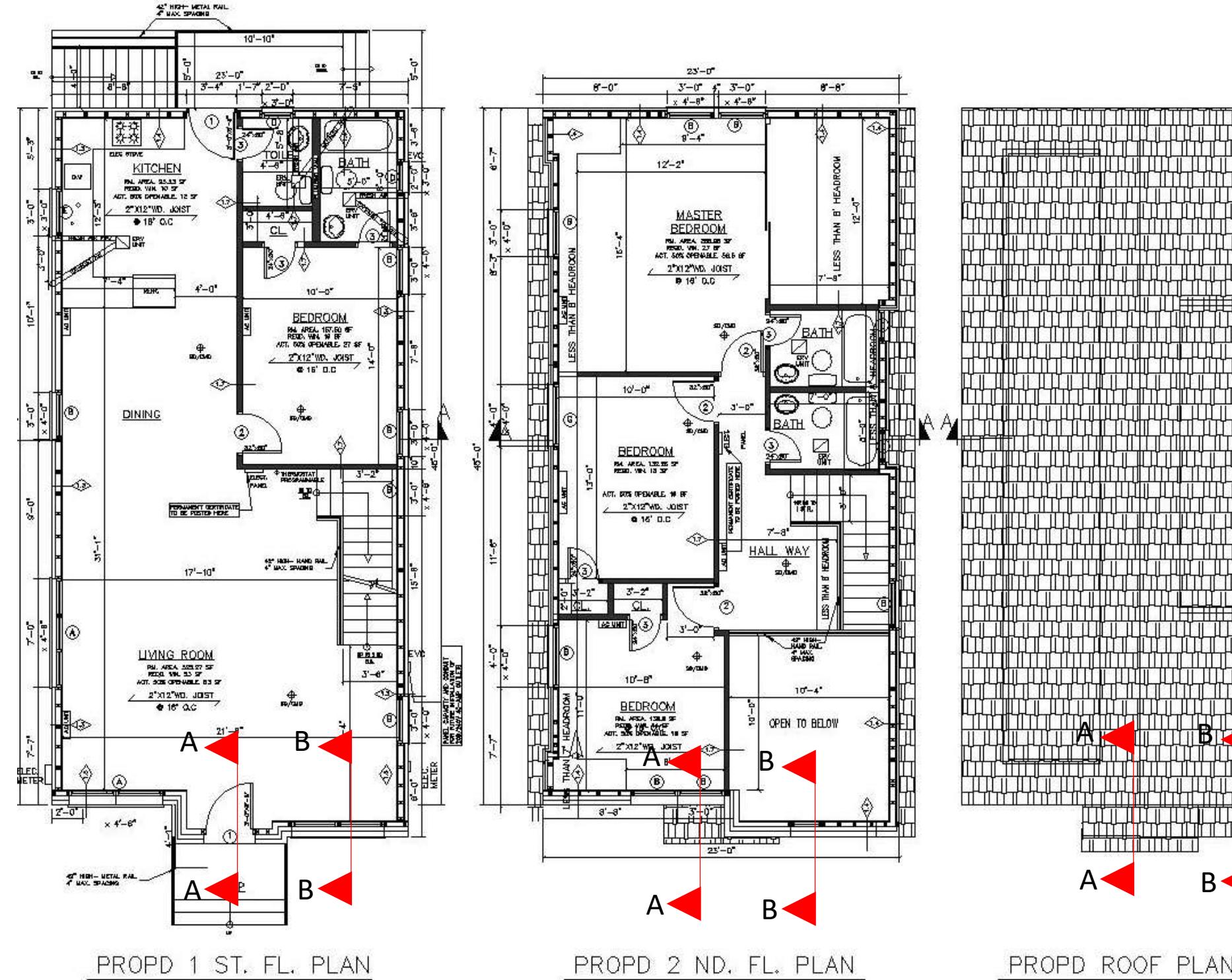
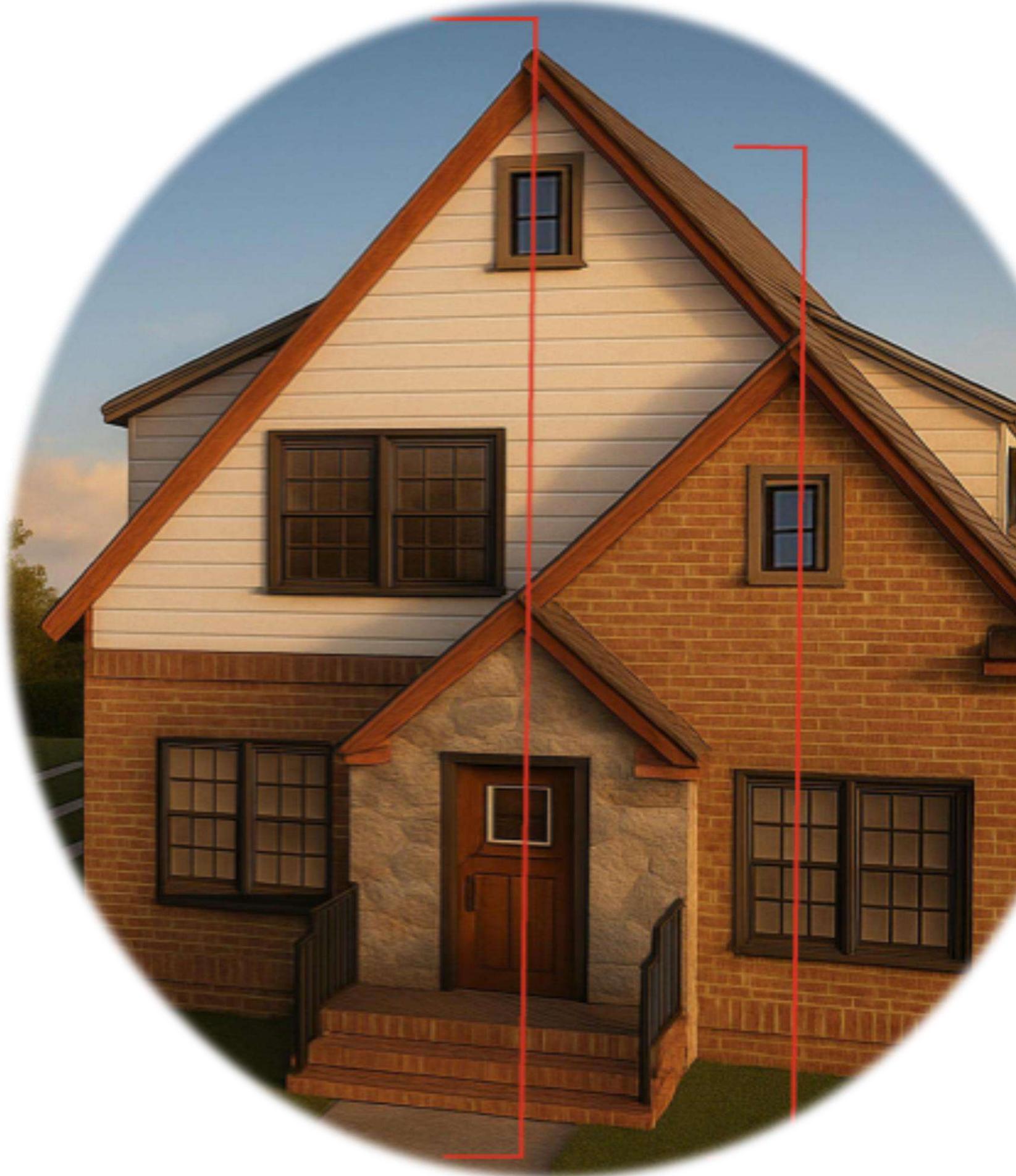
LOT : 48 - 49
 MAP: 15B
 USE GROUP: II

TABRIZ DESIGN GROUP
 117 81 AVENUE
 KEW GARDENS, NY 11415
 PHONE: 718-263-4567
 TABRIZGROUPENT@GMAIL.COM



BUIDING WALL SECTION (A/A)

112-24 177 STREET – LOT-48-



BUIDING WALL SECTION (B/B)

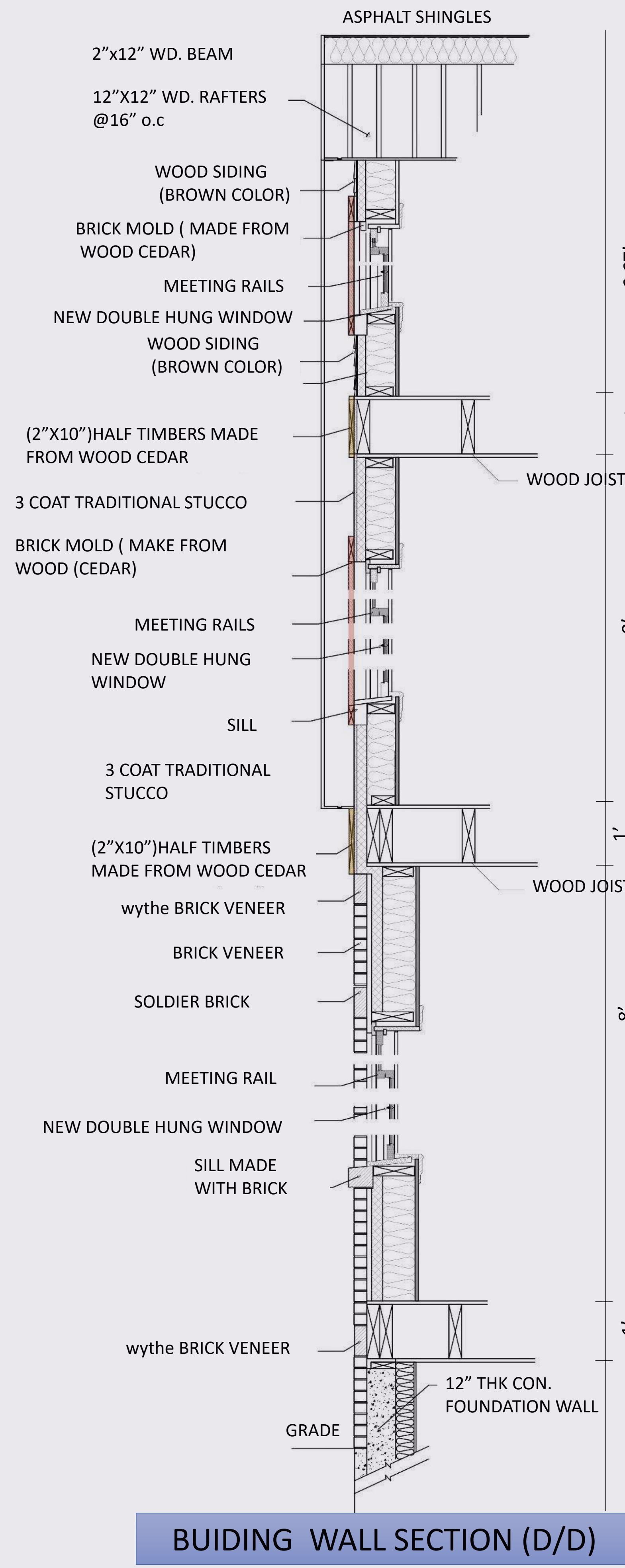
LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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 AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
 AS RECOMMENDED BY LPC.

BLOCK: 10299
 ZONING: R2
 OCCUPANCY: R3
 CONSTR. CLASS: 5A
 13- DETAILS

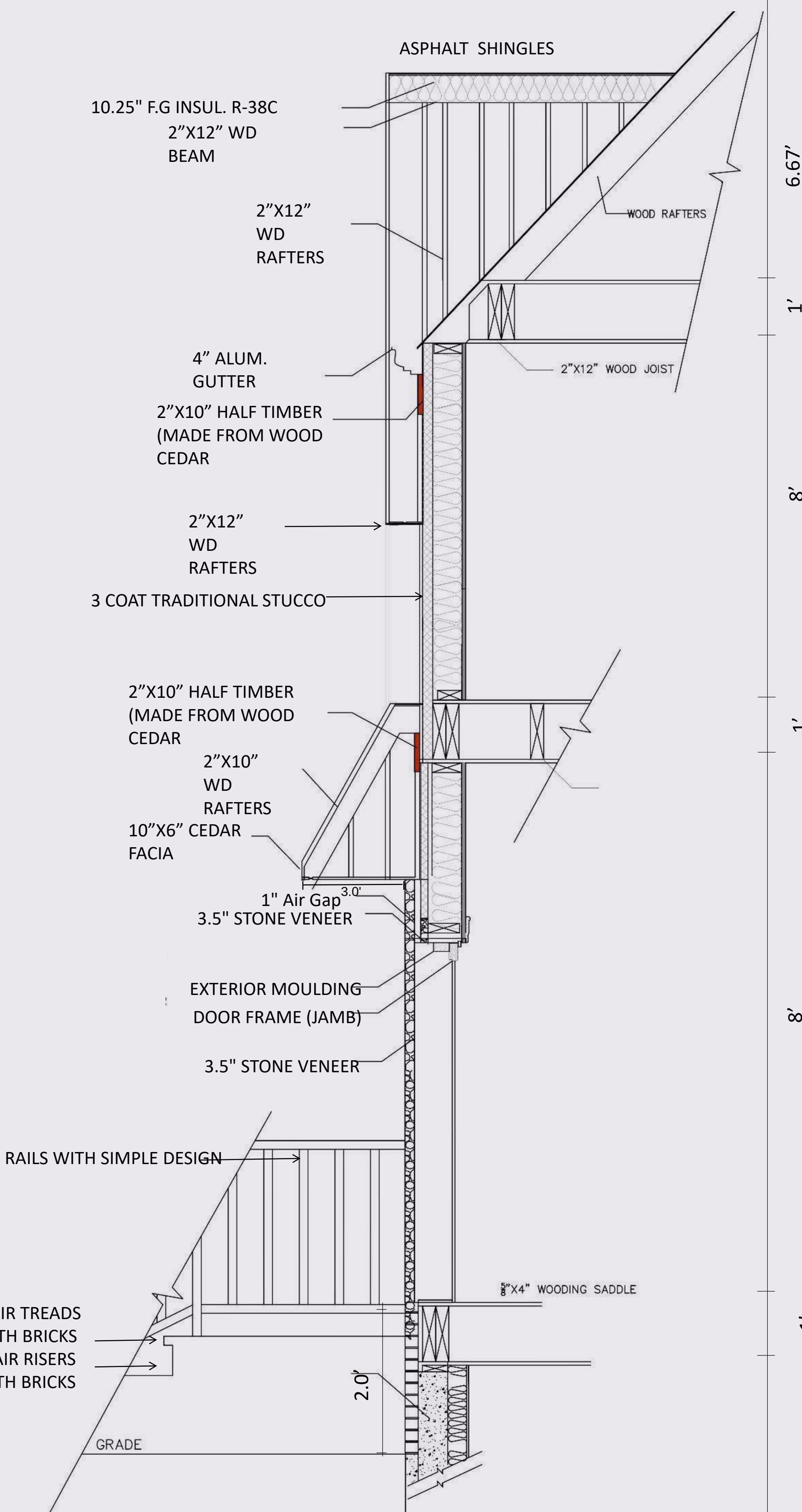
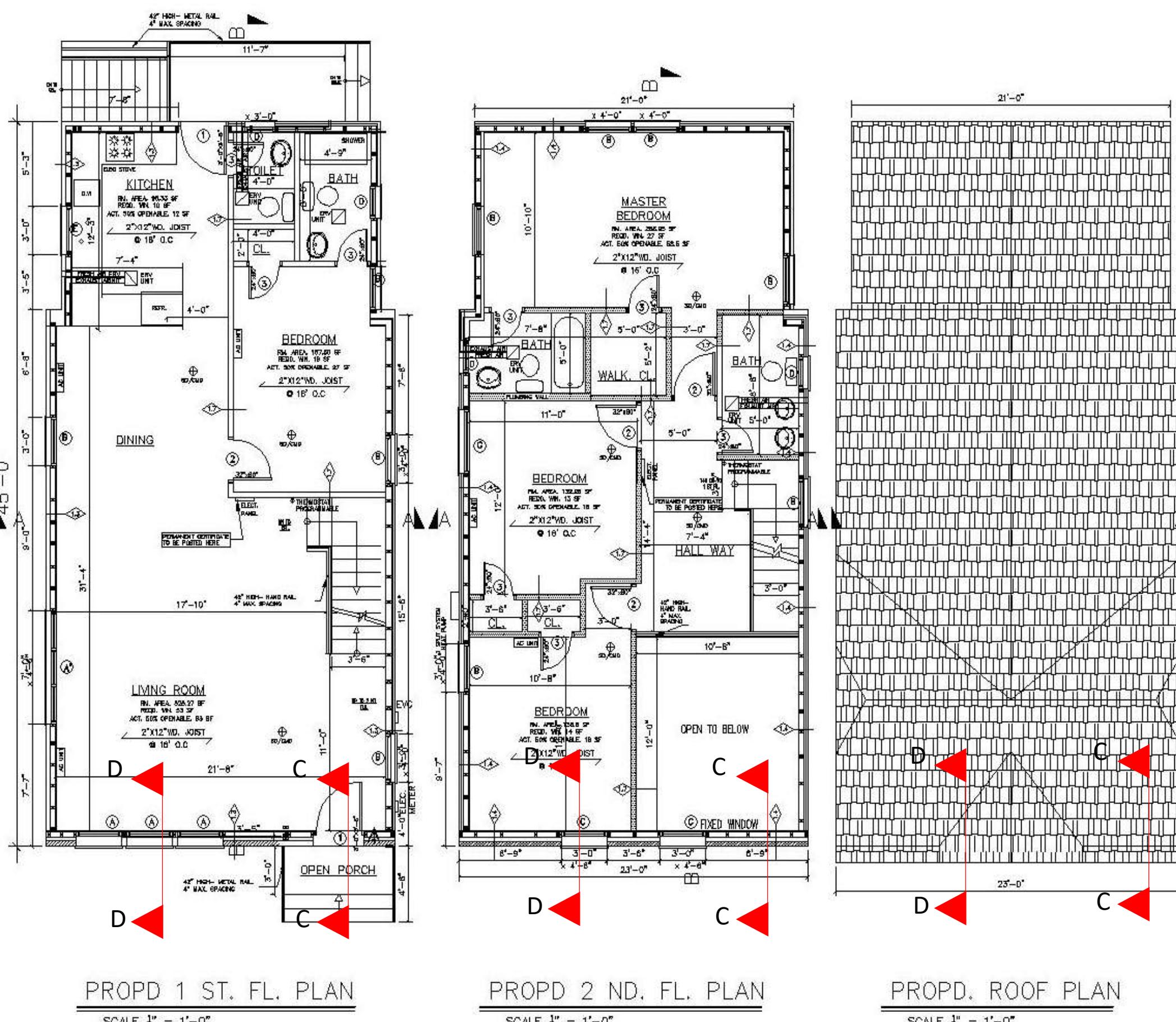
LOT : 48 - 49
 MAP: 15B
 USE GROUP: II

TABRIZ DESIGN GROUP
 117 81 AVENUE
 KEW GARDENS, NY 11415
 PHONE: 718-263-4567
 TABRIZGROUPENT@GMAIL.COM



BUIDING WALL SECTION (D/D)

112-28 177 STREET - LOT-49-



BUIDING WALL SECTION (C/C)

**LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.**

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AND ILLUSTRATIONS ARE SUBJECT TO CHANGE
AS RECOMMENDED BY LPC

BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

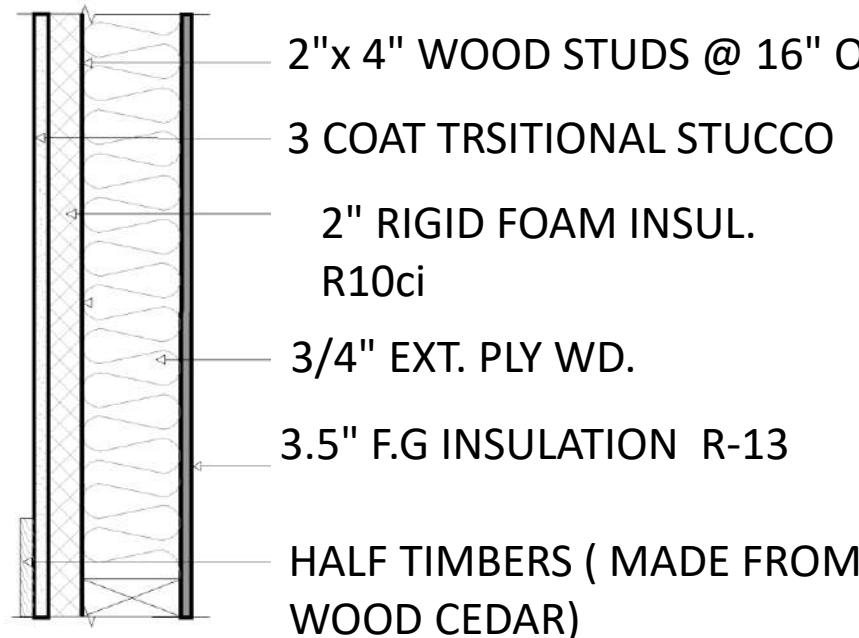
CONSTR.CLASS: 5A

LOT : 48 - 49

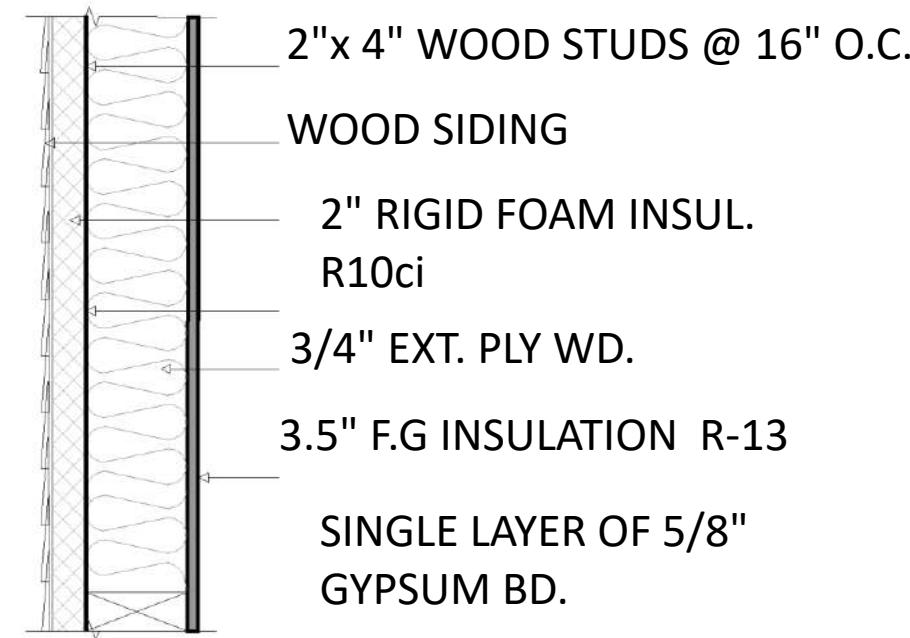
MAP: 15B

USE GROUP: II

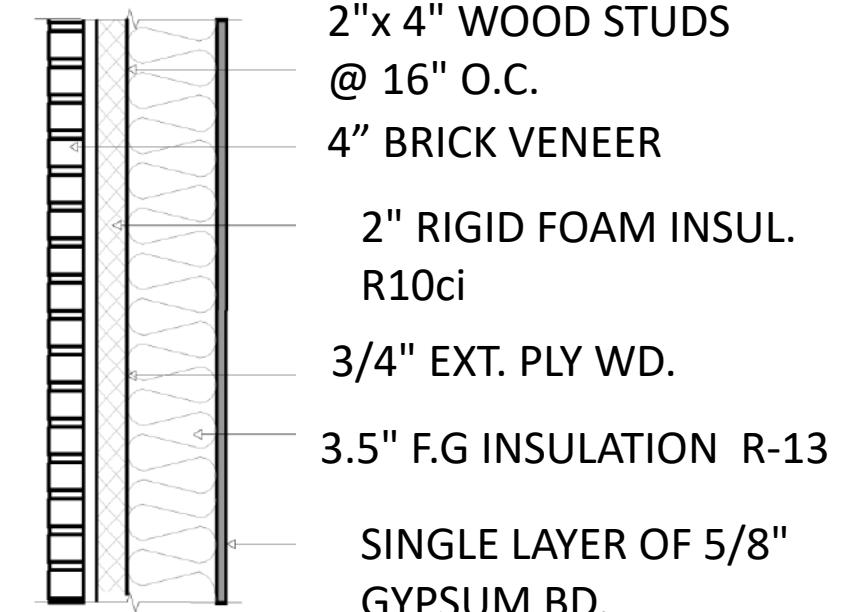
**TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM**



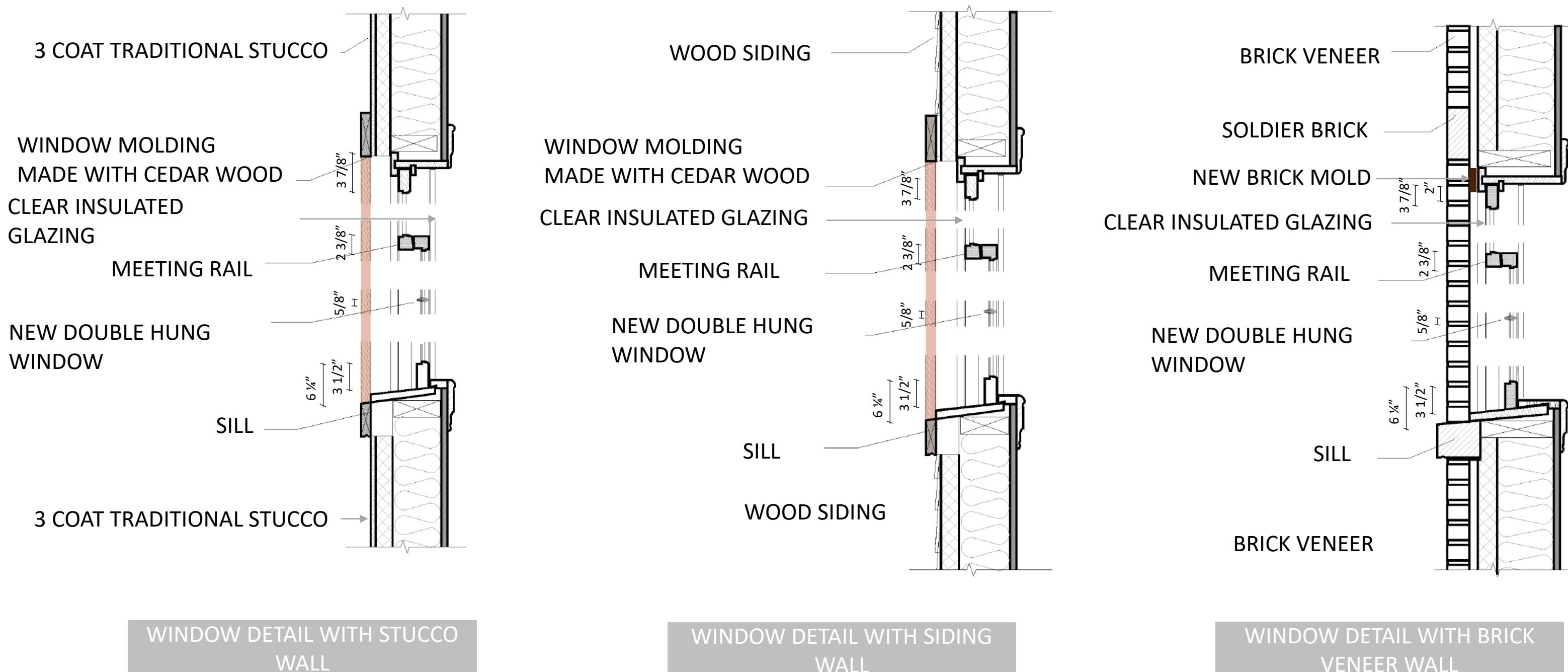
EXTERIOR STUCCO WALL



EXTERIOR SIDING WALL



EXTERIOR BRICK VENEER WALL



LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.

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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A

15- DETAILS

LOT : 48 - 49
MAP: 15B
USE GROUP: II

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM

APPENDIX

LANDMARK SUBMISSION FOR :
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY
DWELLING.
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY
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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A

LOT : 48 - 49
MAP: 15B
USE GROUP: II

2- HISTORIC DISTRICT ORDINANCE

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM

HISTORIC DISTRICT ORDINANCE

The Addisleigh Park historic district is a suburban-type enclave in southeast Queens with a rich and distinctive history.

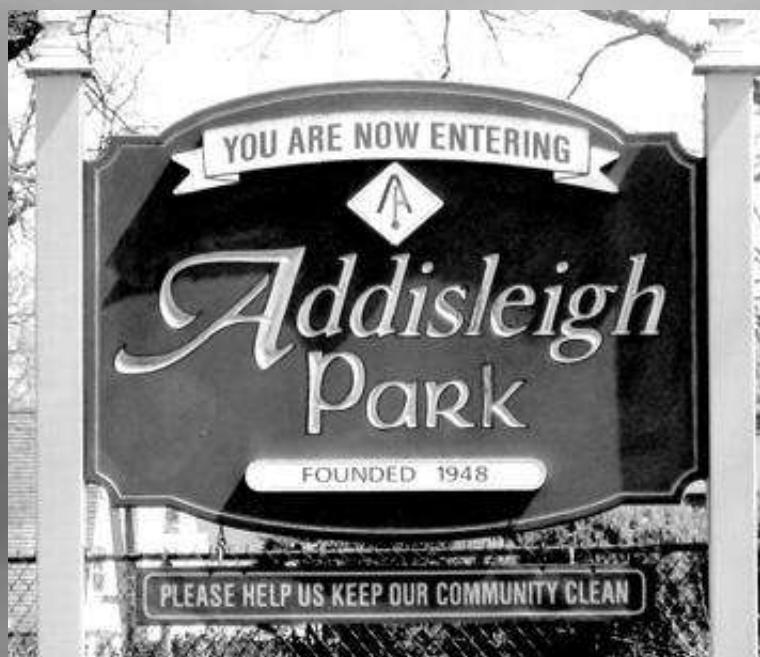
The neighborhood of approximately 650 homes lies in a rough triangle between Linden Boulevard on the south, the tracks of the Long Island Rail Road on the east, Sayres Avenue on the north and Marne Place on the west. (See map [HERE](#)) Typical of the era, the area possesses fine examples of English Tudor-style and neo-Colonial Revival houses, many of which are quite sizable.

Addisleigh Park was largely developed in the 1930's as part of the pre-World War II building boom that shaped large swaths of eastern Queens. Architecturally, the buildings are remarkably intact with few examples of inappropriate alterations or teardowns. Original materials such as stucco, wood siding and stone are predominant.

Built when race-restricted covenants dictated the segregation of the city's neighborhoods, Addisleigh Park eventually transformed from an exclusively white neighborhood into one of New York City's premier African-American enclaves by the early 1950's. Lured by the promise of seclusion, quietude, space and beauty, many of the newcomers were world-famous. The area would eventually become home to notables such as Count Basie, Lena Horne, Ella Fitzgerald, Illinois Jacquet, Jackie Robinson, James Brown, Joe Louis, Milt Hinton, Roy Campanella, Percy Sutton, Cootie Williams and many others.

In 2007, the Historic Districts Council, in partnership with the Addisleigh Park Civic Organization, launched a project to document the architectural and social significance of Addisleigh Park. The project includes a survey of the core area of architectural significance, brief summaries on each property, documentation of some of Addisleigh Park's most prominent residents, interviews with longtime members of the community, and an informational brochure detailing HDC's findings.

-Adapted from Addisleigh Park Statement of Significance by Jane Cowan



Historic district council/ queens-landmarked/addisleigh-park/

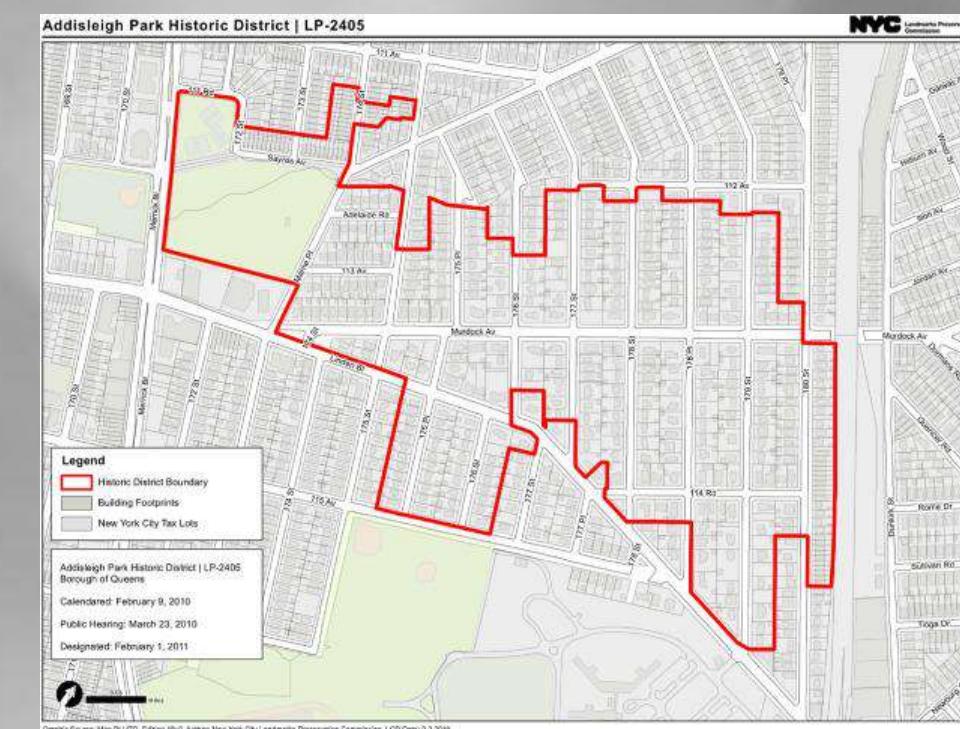
LANDMARK SUBMISSION FOR :
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112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A

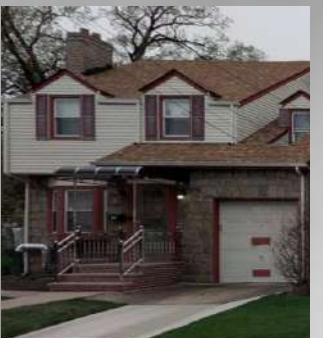
LOT : 48 - 49
MAP: 15B
USE GROUP: II

TABRIZ DESIGN GROUP
117 81 AVENUE
KEW GARDENS, NY 11415
PHONE: 718-263-4567
TABRIZGROUPENT@GMAIL.COM



5- CLOSE UP PHOTOS (STREETSCAPES)

CONT.



MURDOCK STREET

lot 46
112-20 177 STREET 2
story building

lot 44
112-16 177 STREET 2 story
building

lot 41
112-16 177 STREET 1
story building

lot 39
112-06 177 STREET 1
story building

lot 36
112-04 177 STREET 1
story building

lot 34
112-04 177 STREET 1 story
building



lot 63
176-15 MURDOCK AVENUE
2 story building

lot 59
112-50 177 STREET 1story
building

lot 57
112-44 177 STREET
(GARAGE)

lot 54
112-40 177 STREET 1story
building

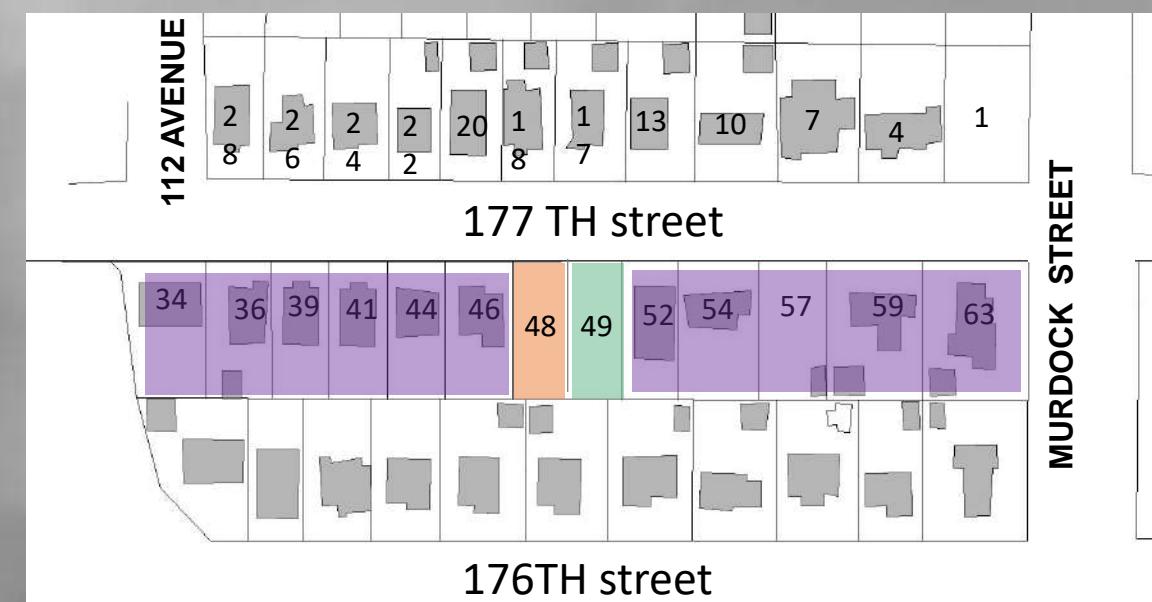
lot 52
112-32 177 STREET 1story
building

lot 49
112-28 177 PROPD. STREET
2 story building

lot 48
112-24 177 PROPD. STREET
2 story building

CONT.

LOOKING AT 177 TH STREET



LANDMARK SUBMISSION FOR :
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BLOCK: 10299
ZONING: R2
OCCUPANCY: R3
CONSTR.CLASS: 5A

LOT : 48 - 49
MAP: 15B
USE GROUP: II

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