

**LANDMARK SUBMISSION FOR :  
112-24 & 28 -177 STREET  
PROPOSED 2 STORY - ONE FAMILY  
DWELLING.**

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**LANDMARK SUBMISSION FOR :  
112-24-177 STREET/ 112-28-177 STREET  
PROPOSED 2 STORY - ONE FAMILY DWELLING.**



**112-24 177 STREET**

**112-28 177 STREET**

**LANDMARK SUBMISSION FOR :  
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY  
DWELLING.  
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY  
DWELLING.**

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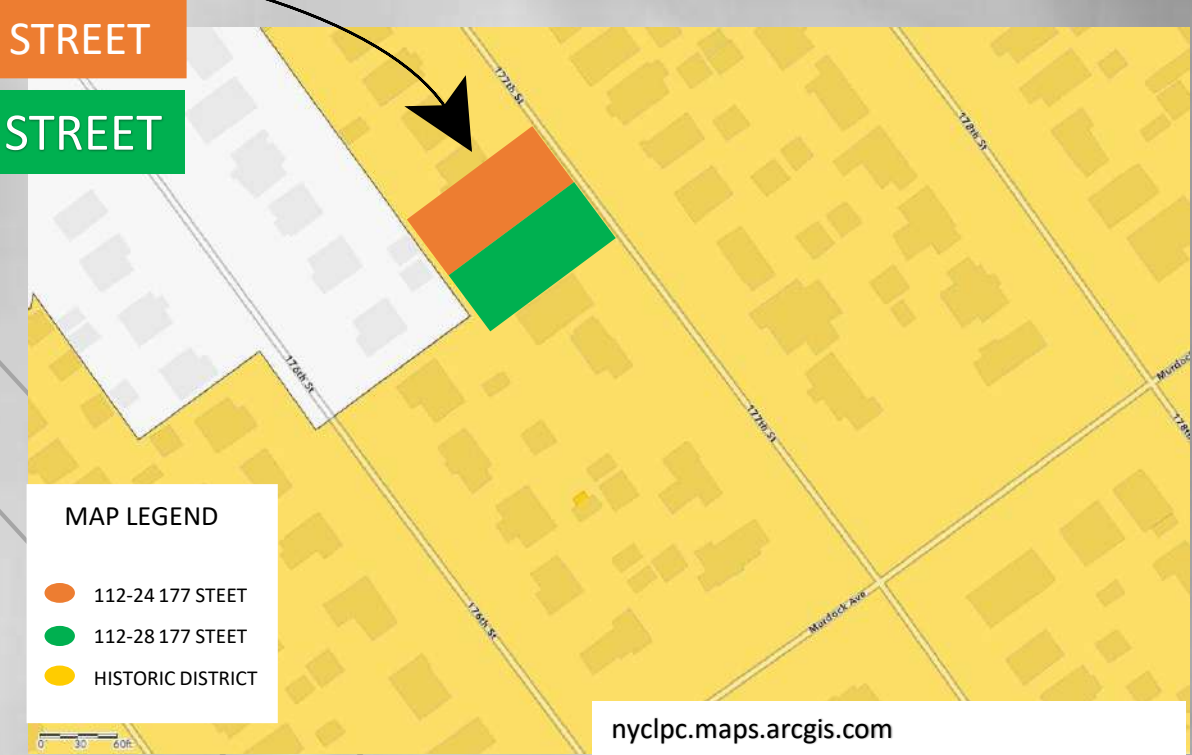
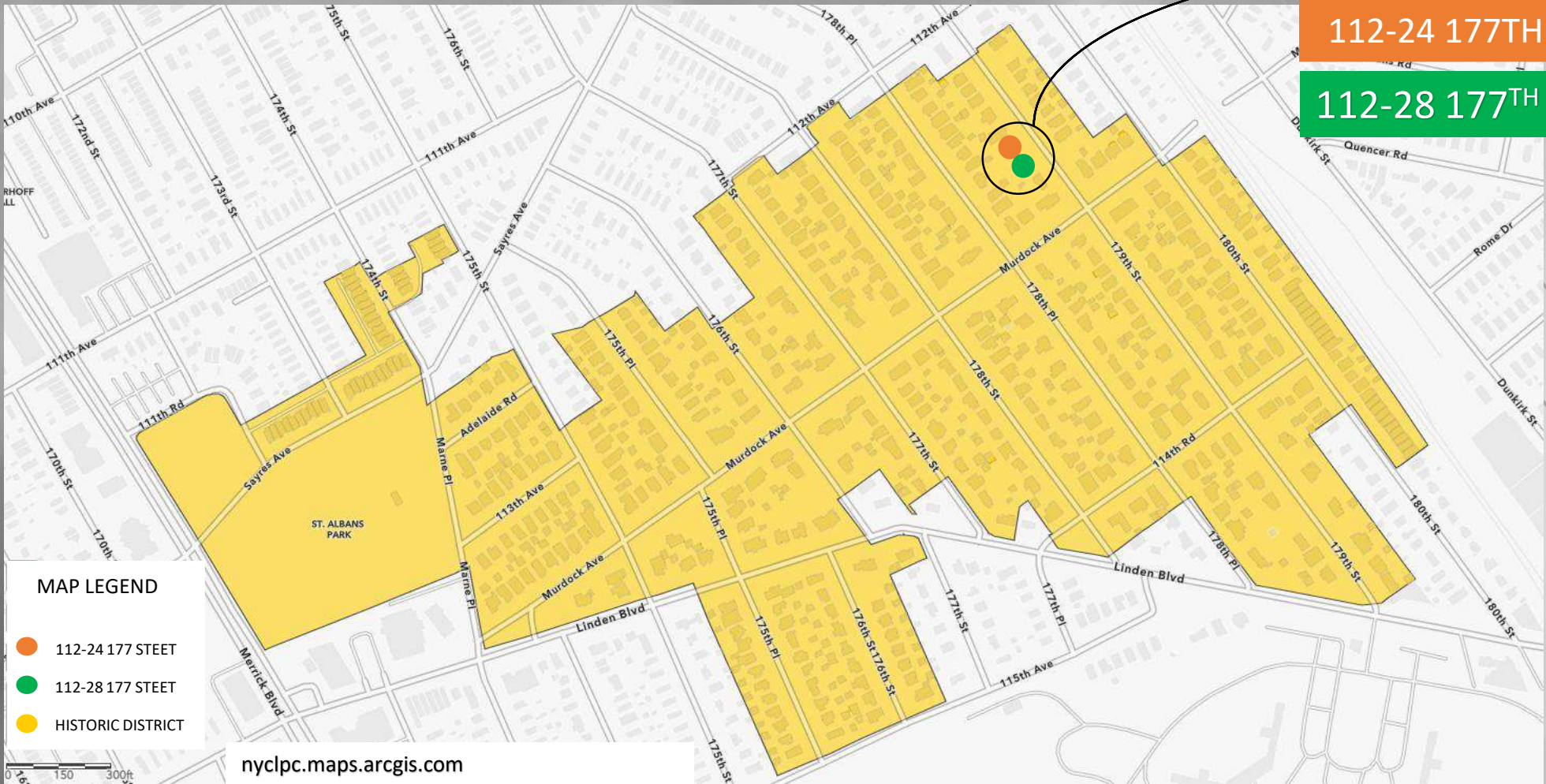
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ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A  
CONTENTS**

**LOT : 48 - 49  
MAP: 15B  
USE GROUP: II**

**TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM**



2- HISTORIC DISTRICT ORDINANCE



112-24 177<sup>TH</sup> STREET VACANT LOT  
112-28 177<sup>TH</sup> STREET VACANT LOT



112-24 177<sup>TH</sup> STREET & 112-28 177<sup>TH</sup> STREET  
LOT 48 & 49 BEFORE SUBDIVISION

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3- NEIGHBERHOOD CHARACTERISTIC STUDY



Photo 01  
Address: 114-31  
179th Street  
Cross streets:  
between 114th  
Road and  
Murdock, east side  
of street  
Date built: 1930  
Notes, if any: none



Photo 05  
Address: 112-35  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
east side of street  
Date built: 1938  
Notes, if any:  
none



Photo 09  
Address: 112-15  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
east side of street  
Date built: 1931  
Notes, if any:  
none



Photo 02  
Address: 112-47  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
east side of street  
Date built: 1947  
Notes, if any:  
none



Photo 06  
Address: 112-23  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
east side of street  
Date built: c. 1930  
Notes, if any:  
none



Photo 10  
Address: 173-05  
113th Avenue  
Cross streets:  
ortheast corner of  
Marne Place  
Date built: 1929  
Notes, former  
home of jazz  
musician Milt  
Hinton



Photo 03  
Address: 112-39  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
east side of street  
Date built: 1924  
Notes, if any: none



Photo 07  
Address: 112-19  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
east side of street  
Date built: 1954  
Notes, if any:  
none



Photo 11  
Address: 112-07  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
east side of street  
Date built: 1937  
Notes, if any:  
none



Photo 4  
Address: 114-29  
179th Street  
Cross streets:  
between 114th Road  
and Murdock, east  
side of street  
Date built: 1930  
Notes, if any: none



Photo 08  
Address: 175-46  
Murdock Avenue  
Cross streets:  
Southwest corner of  
176th Street  
Date built: c. 1925  
Notes, if any:  
Owned by St.  
Albans  
Congregational  
Church



Photo number: 12  
Address: 113-03 175th  
Street  
Cross streets: between  
Murdock Avenue and  
Adelaide, east side of  
street  
Date built: c. 1927  
Notes, if any: none

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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

3- NEIGHBERHOOD CHARACTERISTIC STUDY

LOT : 48 - 49

MAP: 15B

USE GROUP: II

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM



3- NEIGHBORHOOD CHARACTERISTIC STUDY



Photo 13  
Address: 112-03  
177th Street  
Cross streets:  
between Murdock  
and 112th  
Avenue, east side  
of street  
Date built: 1937  
Notes, if any:  
none



Photo 17  
Address: 112-12  
177th Street  
Cross streets:  
between Murdock  
and 112th  
Avenue, west  
side of street  
Date built: 1937  
Notes, if any:  
none



Photo 21  
Address: 112-32  
177th Street  
Cross streets:  
between  
Murdock and  
112th Avenue,  
west side of  
street  
Date built: 1965  
Notes, if any:  
none



Photo 14  
Address: 112-04  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
west side of street  
Date built: c. 1937  
Notes, if any: none



Photo 18  
Address: 112-16  
177th Street  
Cross streets:  
between  
Murdock and  
112th Avenue,  
west side of  
street  
Date built: 1937  
Notes, if any:  
none



Photo 22  
Address: 112-40  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
west side of street  
Date built: 1924  
Notes, if any: former  
home of baseball  
player Jackie  
Robinson



Photo 15  
Address: 112-06  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
west side of street  
Date built: 1937  
Notes, if any: none



Photo 19  
Address: 112-20  
177th Street  
Cross streets:  
between Murdock  
and 112th  
Avenue, west  
side of street  
Date built: 1937  
Notes, if any:  
none



Photo 23  
Address: 112-50  
177th Street  
Cross streets:  
between Murdock  
and 112th Avenue,  
west side of street  
Date built: 1924  
Notes, if any: none



Photo 16  
Address: 176-15  
Murdock Avenue  
Cross streets:  
Northwest corner  
of 177th Street  
Date built: c.  
1925  
Notes, if any:  
none



Photo 20  
Address: 175-12  
Murdock Avenue  
Cross streets:  
Southwest corner  
of 175th Place  
Date built: 1928  
Notes, if any:  
former home of  
boxer Joe Louis



Photo 24  
Address: 173-23  
113th Avenue  
Cross streets:  
between 175th Street  
and Marne Place,  
north side of street  
Date built: 1930  
Notes, if any: none

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ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A  
3- NEIGHBORHOOD CHARACTERISTIC STUDY

LOT : 48 - 49  
MAP: 15B  
USE GROUP: II

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
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BLOCK: 10299  
ZONING: R2  
OCCUPANCY: R3  
CONSTR. CLASS: 5A

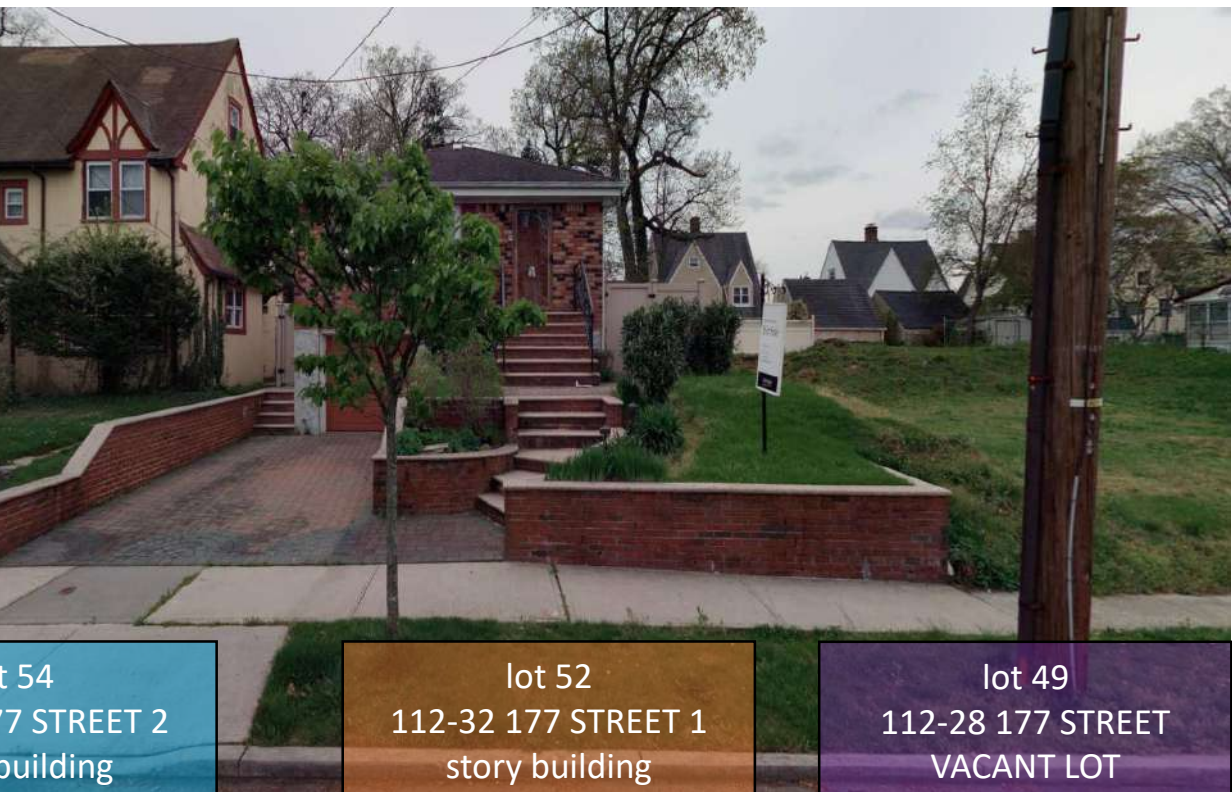
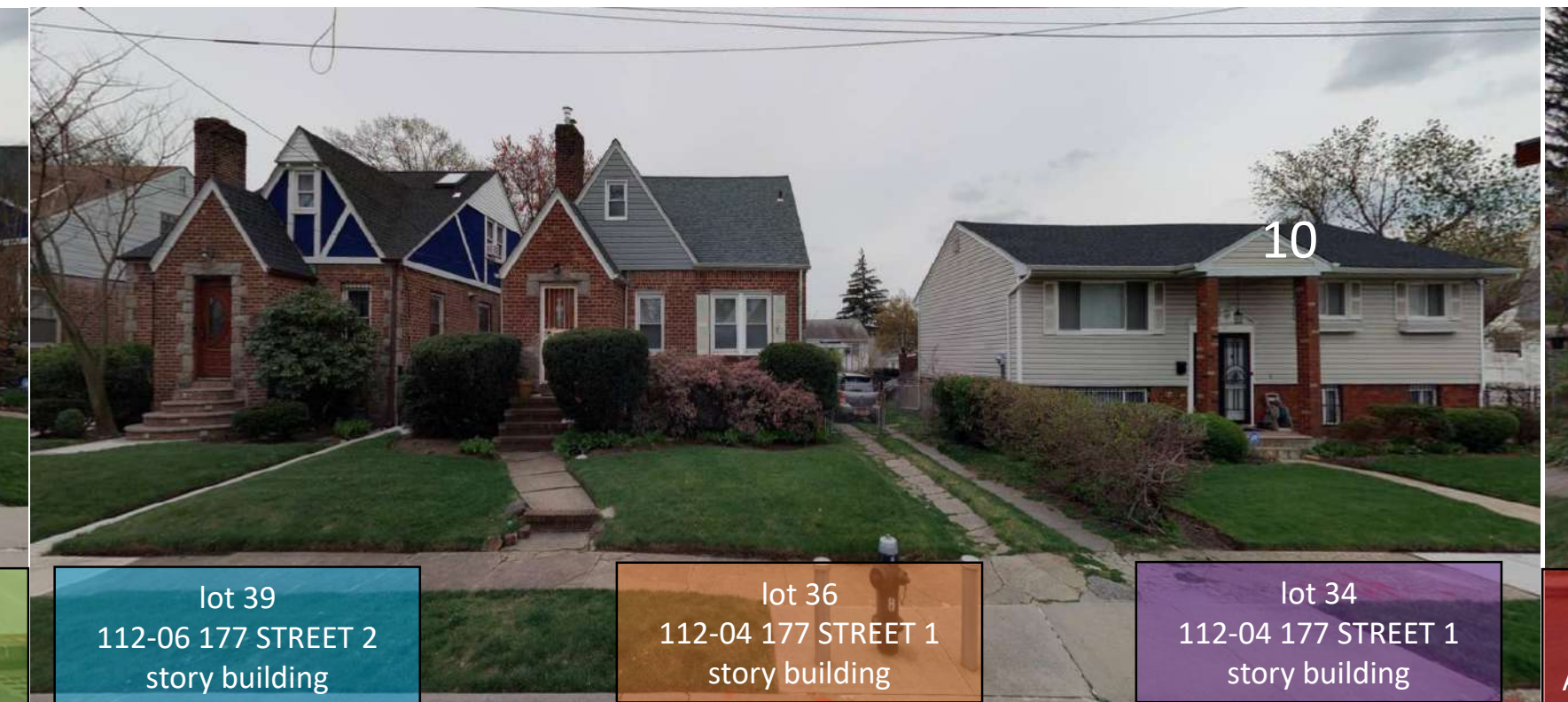
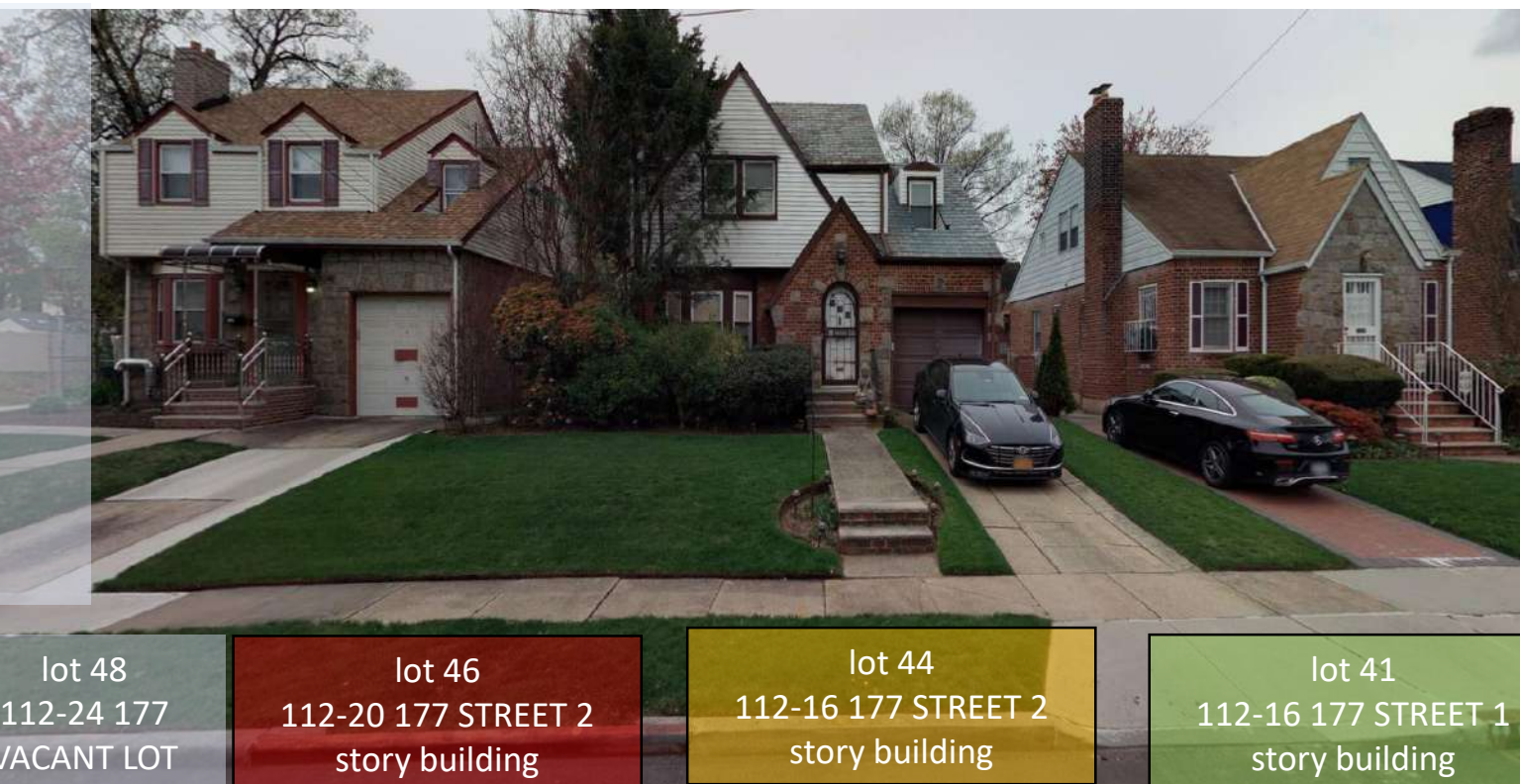
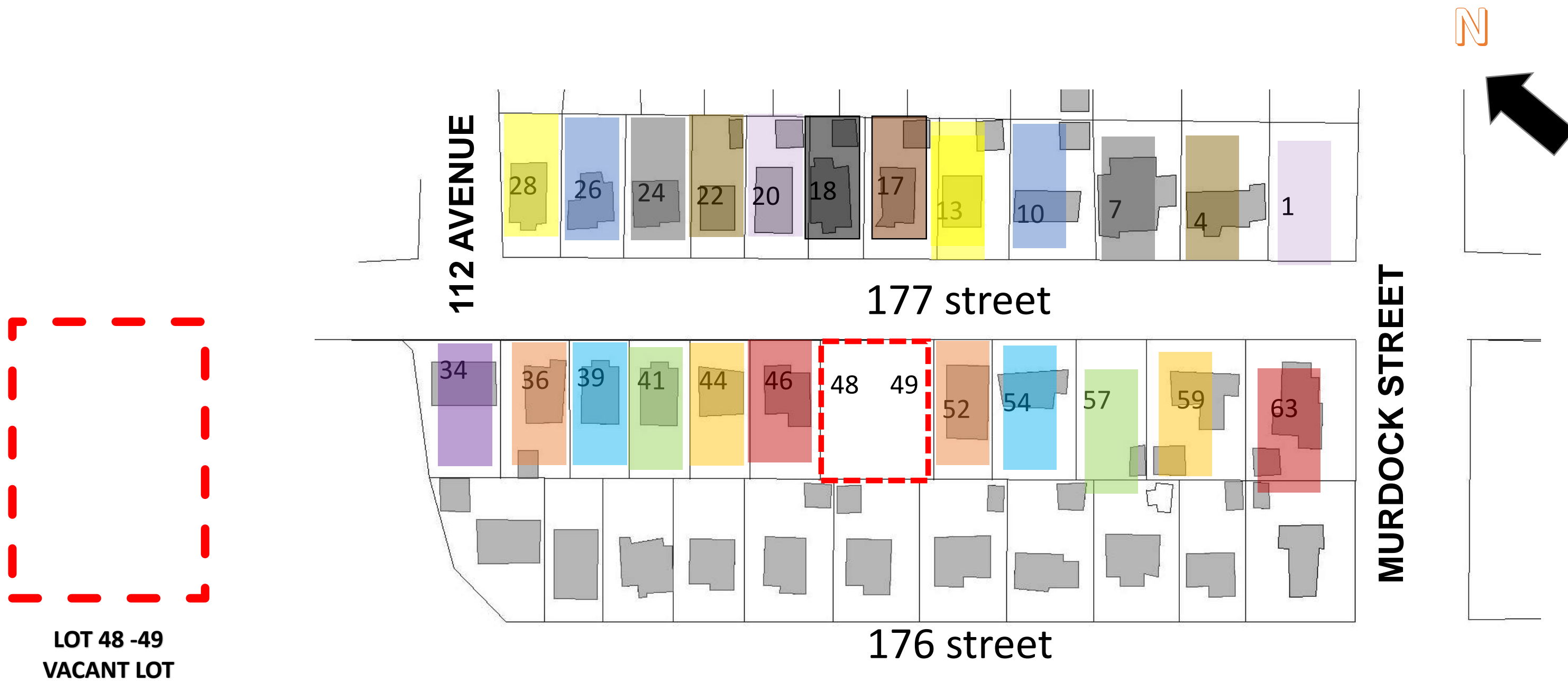
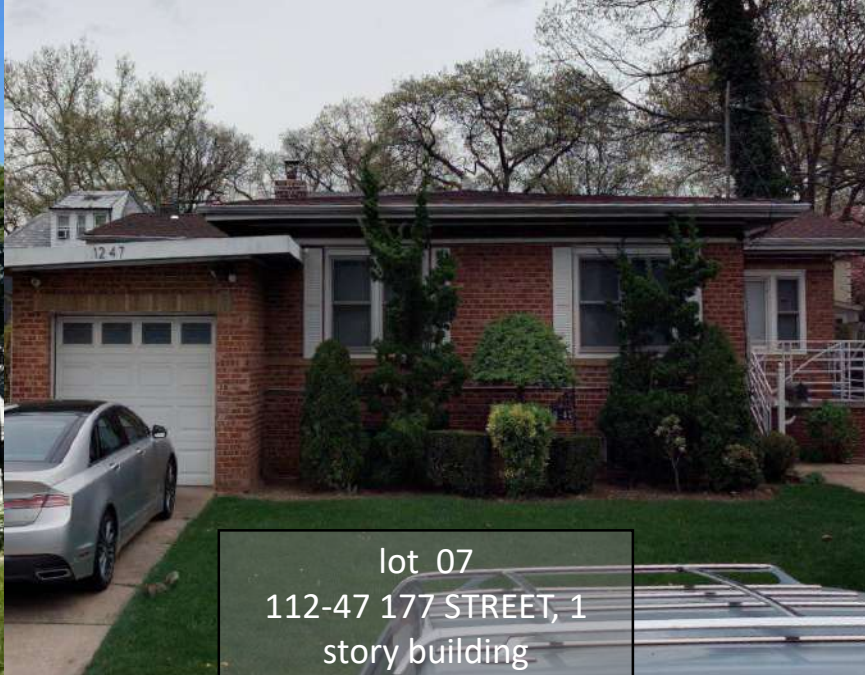
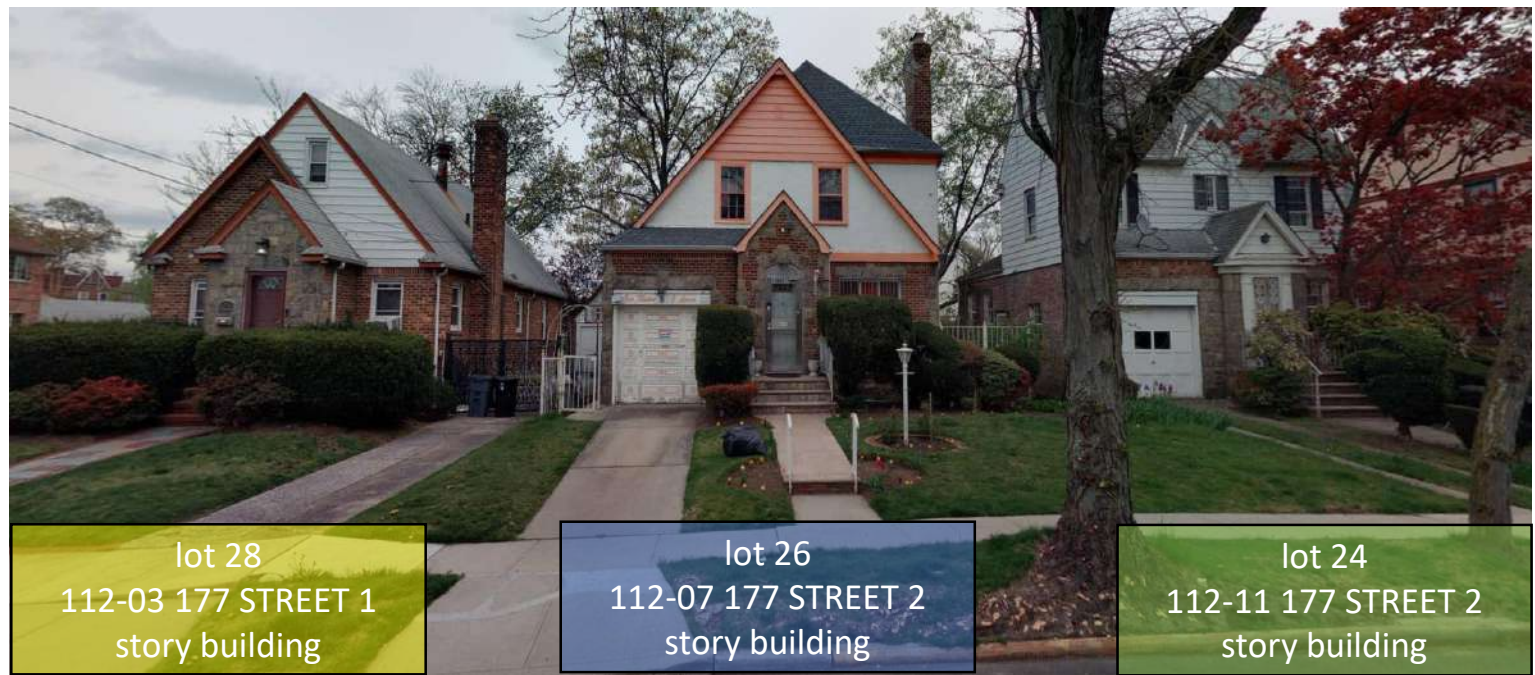
LOT : 48 - 49  
MAP: 15B  
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117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZROUPEENT@GMAIL.COM

5- CLOSE UP PHOTOS (STREETSCAPES )

05

## 5- CLOSE UP PHOTOS (STREETSCAPES )





4- EXISTING SITE CONDITIONS

EXISTING SITE CONDITIONS

Vacant lot, empty except for wild grass and dirt, created by splitting a larger property into two.



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ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A  
LOT : 48 - 49  
MAP: 15B  
USE GROUP: II  
4- EXISTING SITE CONDITIONS

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
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# Previous LPC Comments:

•This revised proposal incorporates LPC feedback to better align the two one-family dwellings with the historic district. The design updates address previous concerns in order to better reflect the neighborhood context

•**Front porch** design was incongruous with the neighborhood character.

•**Elevated basement** was not appropriate → advised removing or reducing it.

•**Buildings** appeared too boxy, lacking traditional 3-dimensionality.



•**Two houses** looked almost identical → requested more aesthetic variety.

•**Roof lines** were too shallow; requested more steeply pitched Tudor-style roofs.

•**Proposed stone cladding** on one house felt minimal

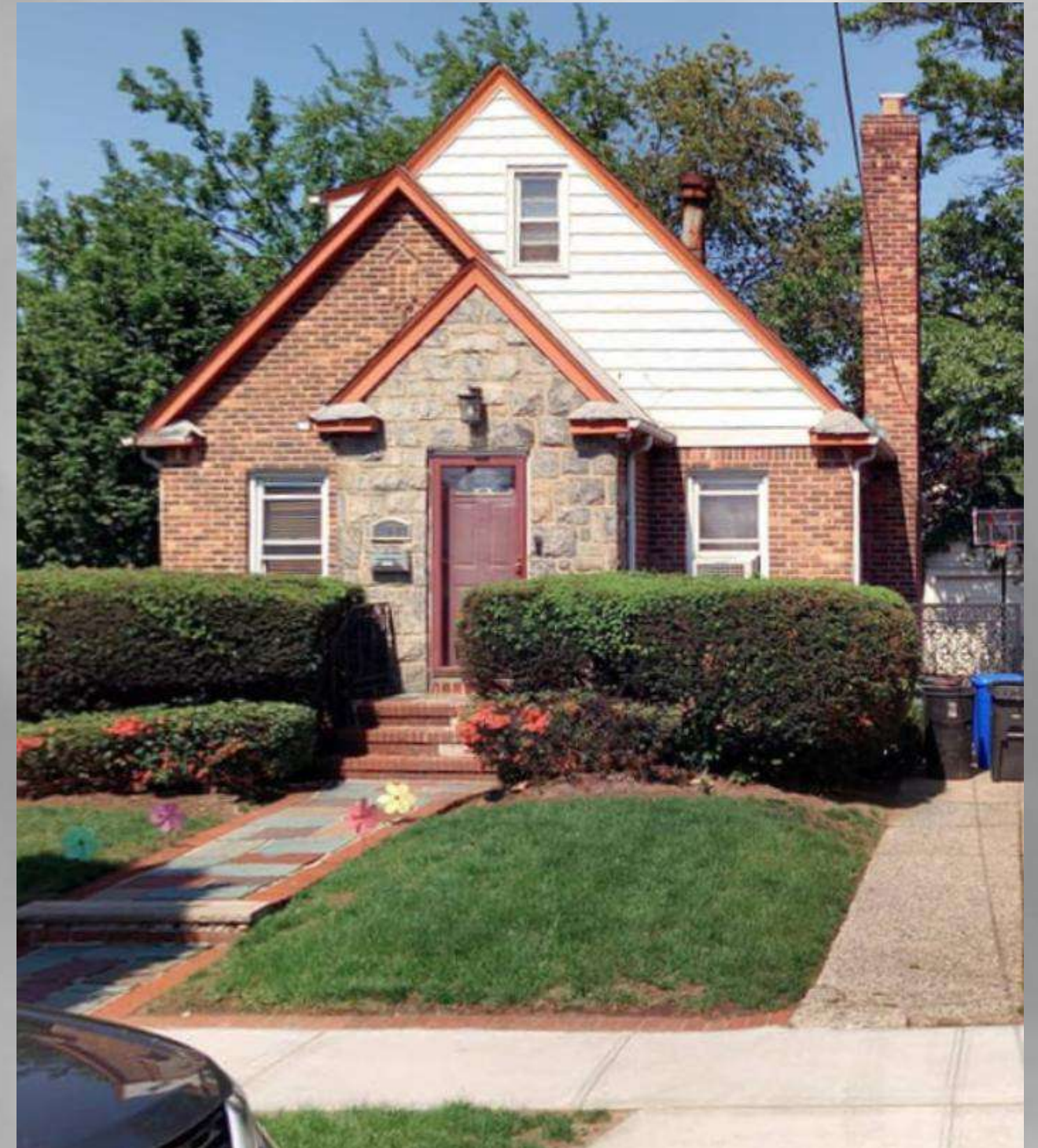
•**Proposed paving** in the front yard was excessive for the district.



## NEIGHBORHOOD CONTEXT & INSPIRATION



These two houses, located within the neighborhood, were used as references. They reflect **the traditional scale, roof forms, and material** choices that informed our proposed design.”



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ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

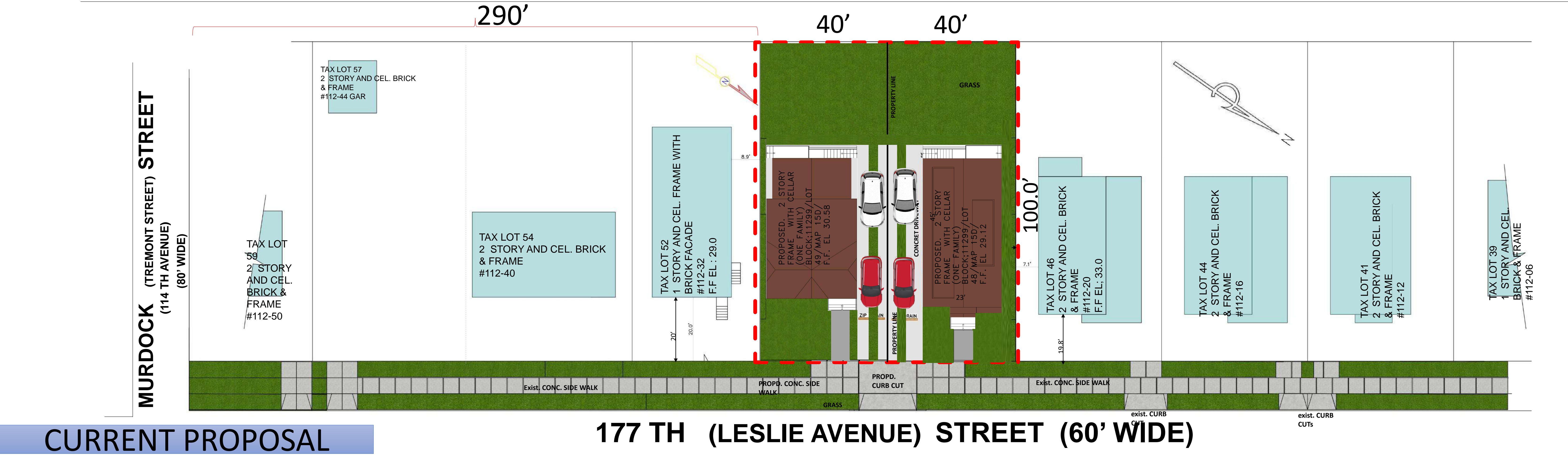
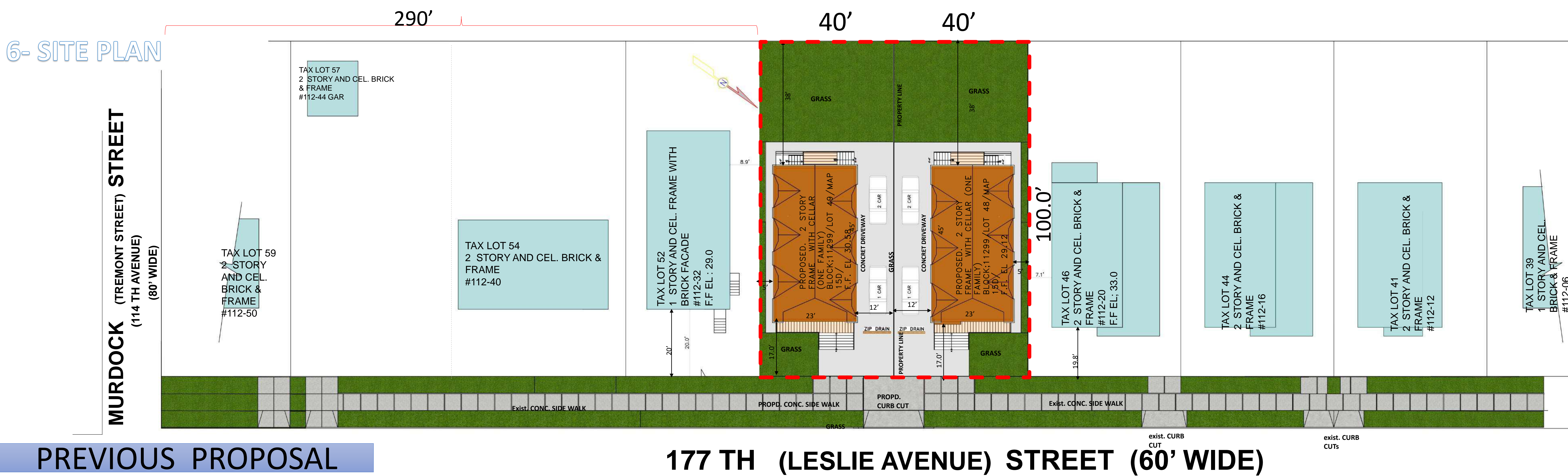
USE GROUP: II

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5- CLOSE UP PHOTOS (STREETSCAPES )



6- SITE PLAN



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OCCUPANCY: R3  
CONSTR.CLASS: 5A

LOT : 48 - 49  
MAP: 15B  
USE GROUP: II

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10- PROPOSED ELEVATIONS



7-LOOKING AT 177 TH STREET



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**OCCUPANCY: R3**  
**CONSTR.CLASS: 5A**  
**LOT : 48 - 49**  
**MAP: 15B**  
**USE GROUP: II**  
**7-LOOKING AT 177 TH STREET**

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8- EXISTING CURB CUTS

CURB CUTS ARE PROPOSED PAIRED IN ORDER TO MINIMIZE IMPACT ON THE STREET PARKING



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OCCUPANCY: R3  
CONSTR.CLASS: 5A  
8- EXISTING CURB CUT

LOT : 48 - 49  
MAP: 15B  
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9- DRIVEWAY



TYPICAL DRIVEWAY CONDITIONS IN THE AREA



DRIVEWAY TO INCLUDE A GRASS CENTER STRIP BETWEEN CONCRETE STRIPS, REFERENCING HISTORIC DESIGN.

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BLOCK: 10299  
ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A  
8- DRIVEWAY

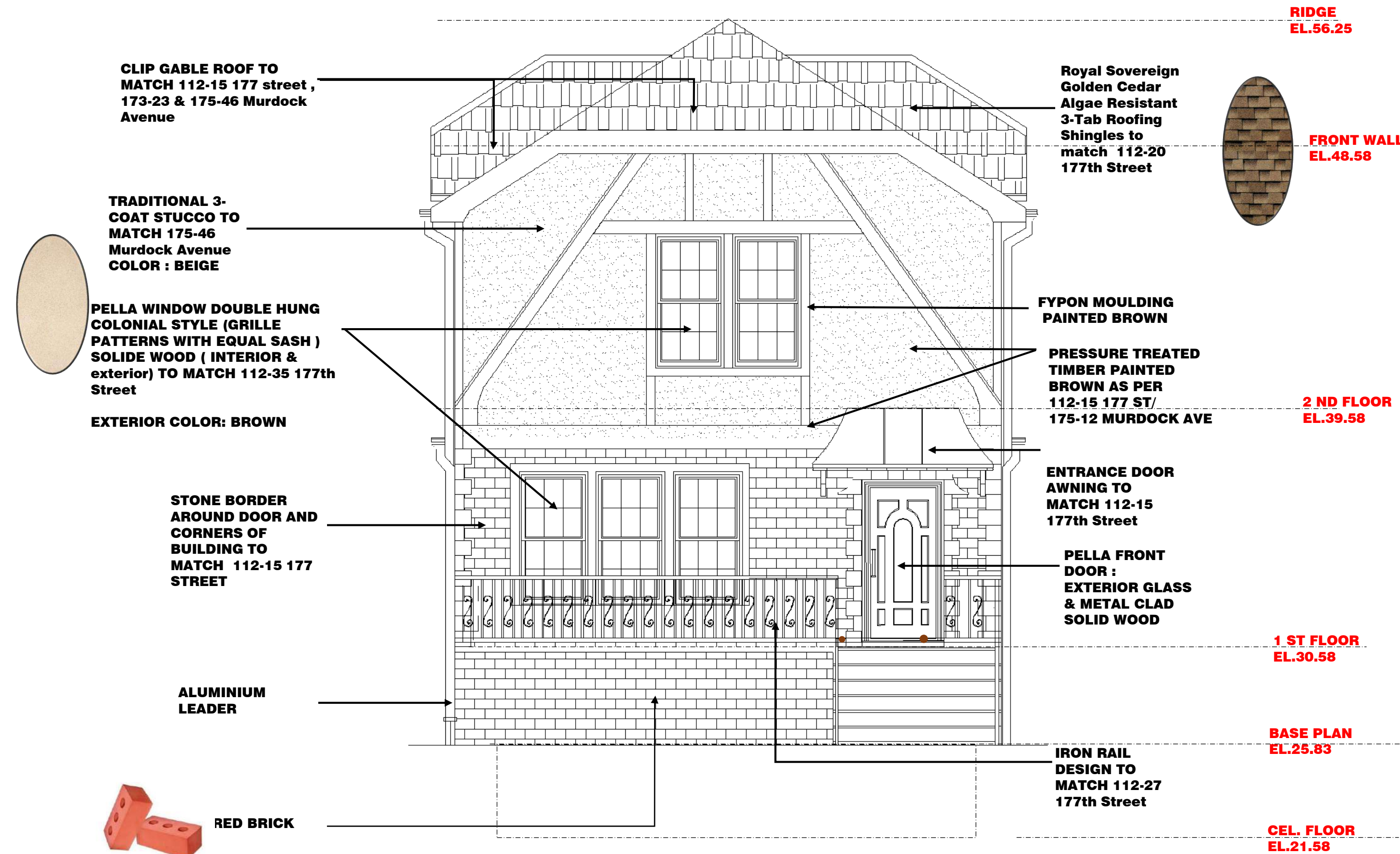
LOT : 48 - 49  
MAP: 15B  
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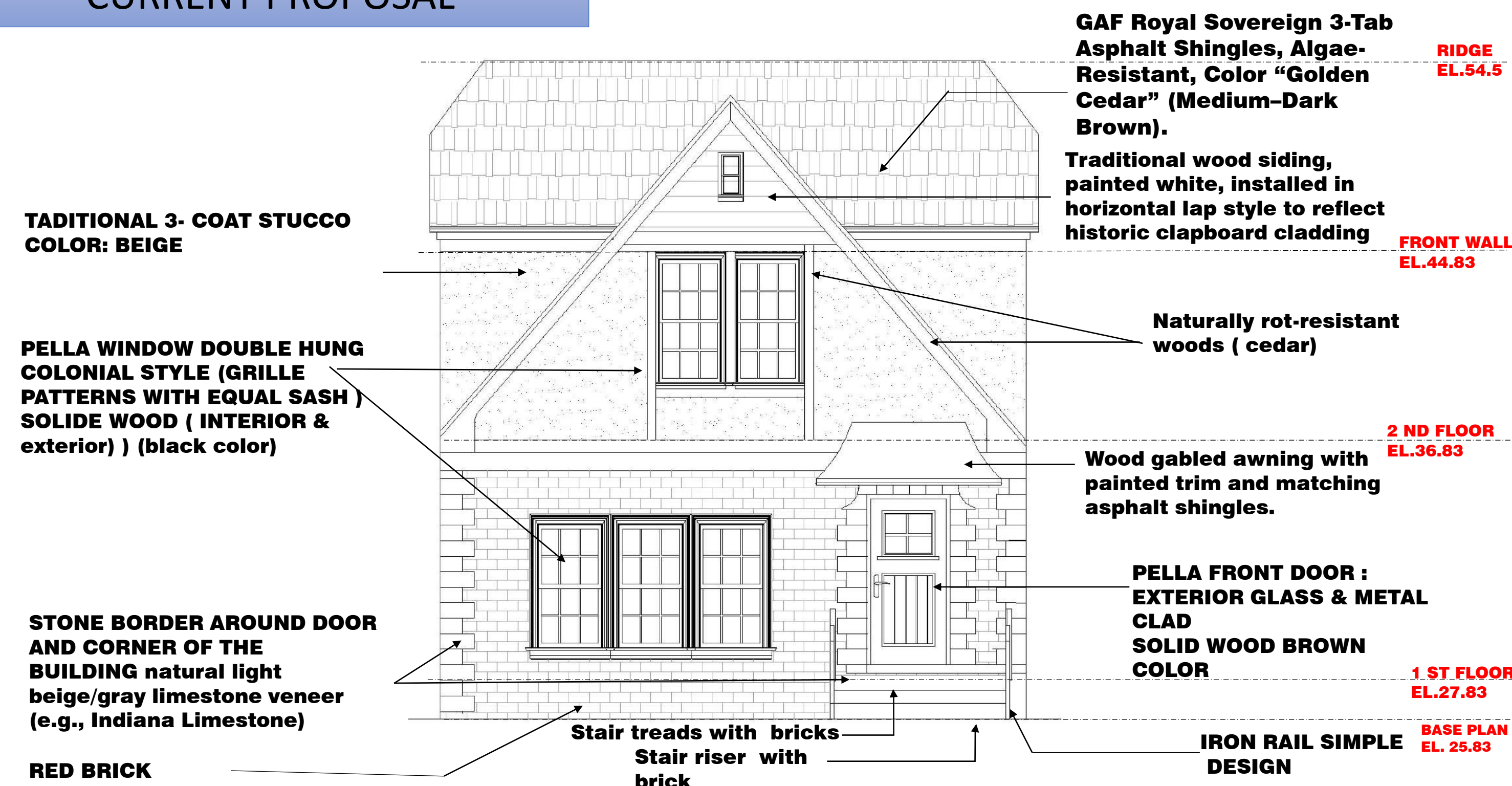
# 112-28 177 STREET – LOT-49-

## PREVIOUS PROPOSAL



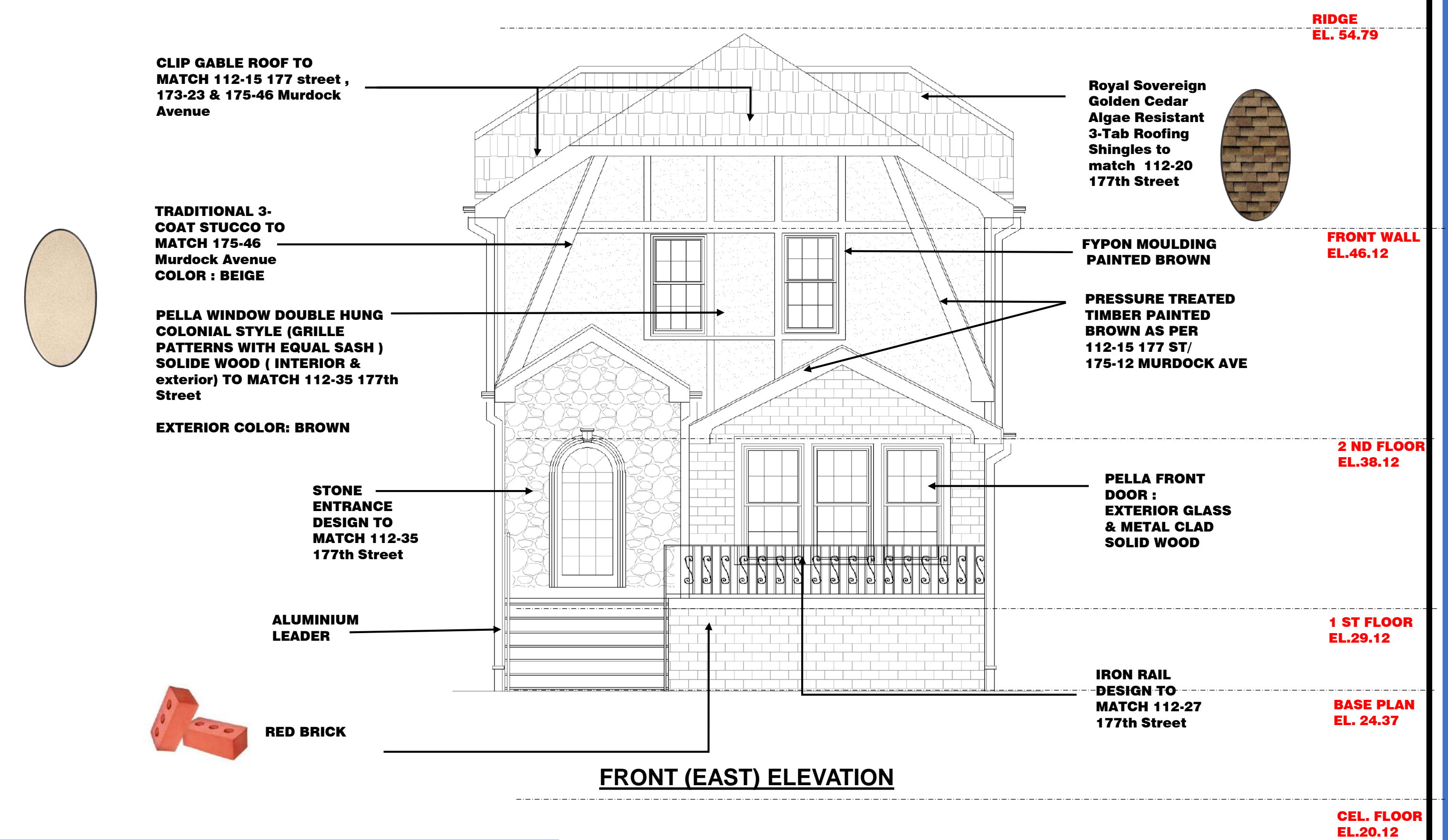
FRONT (EAST) ELEVATION

## CURRENT PROPOSAL



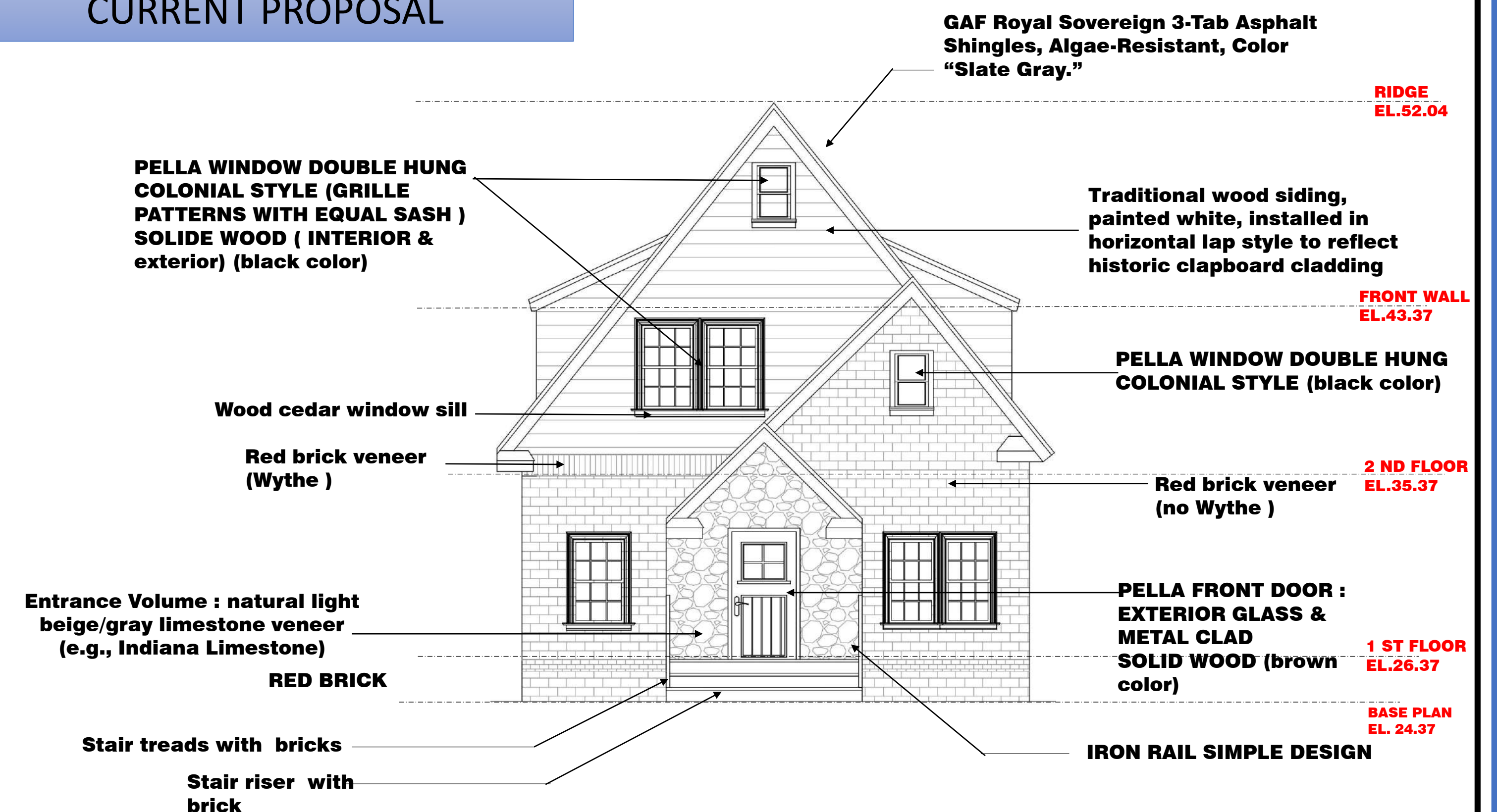
# 112-24 177 STREET – LOT-48-

## PREVIOUS PROPOSAL



FRONT (EAST) ELEVATION

## CURRENT PROPOSAL



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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

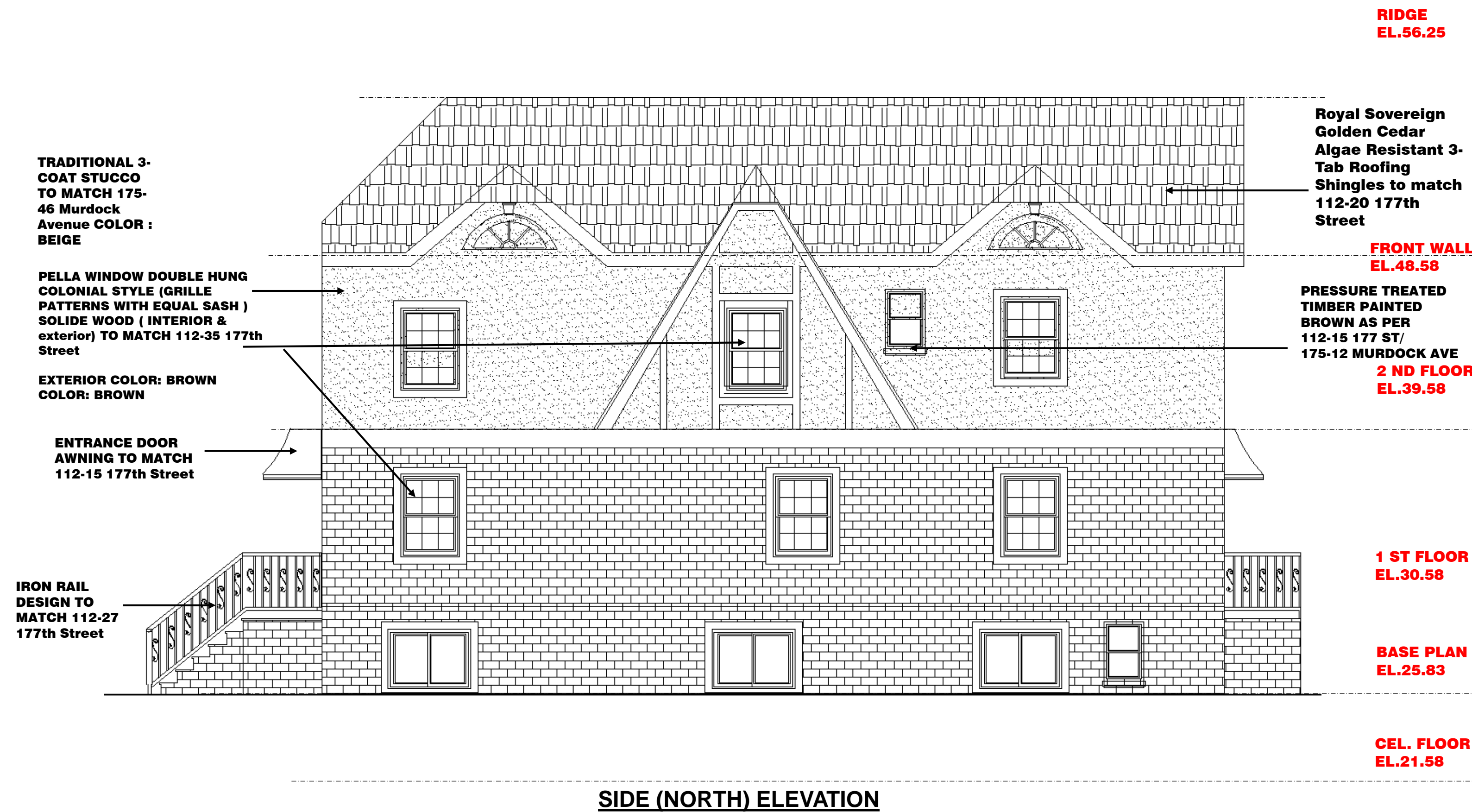
TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM

## 10- PROPOSED ELEVATIONS



# 112-28 177 STREET – LOT-49-

## PREVIOUS PROPOSAL



SIDE (NORTH) ELEVATION

## CURRENT PROPOSAL

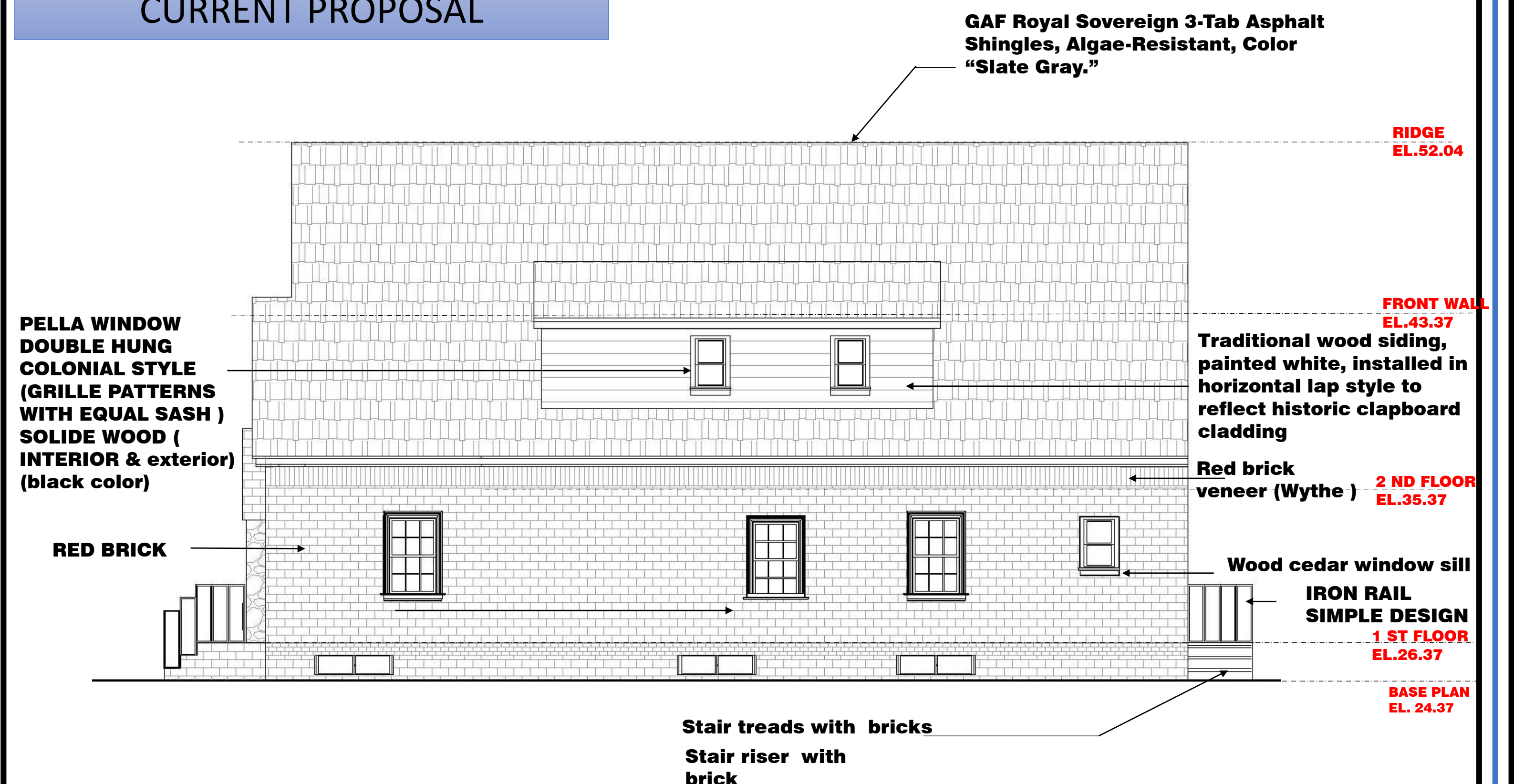


# 112-24 177 STREET – LOT-48-

## PREVIOUS PROPOSAL



## CURRENT PROPOSAL



LANDMARK SUBMISSION FOR :  
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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
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## 10- PROPOSED ELEVATIONS



# 112-28 177 STREET – LOT-49-

## PREVIOUS PROPOSAL



## CURRENT PROPOSAL

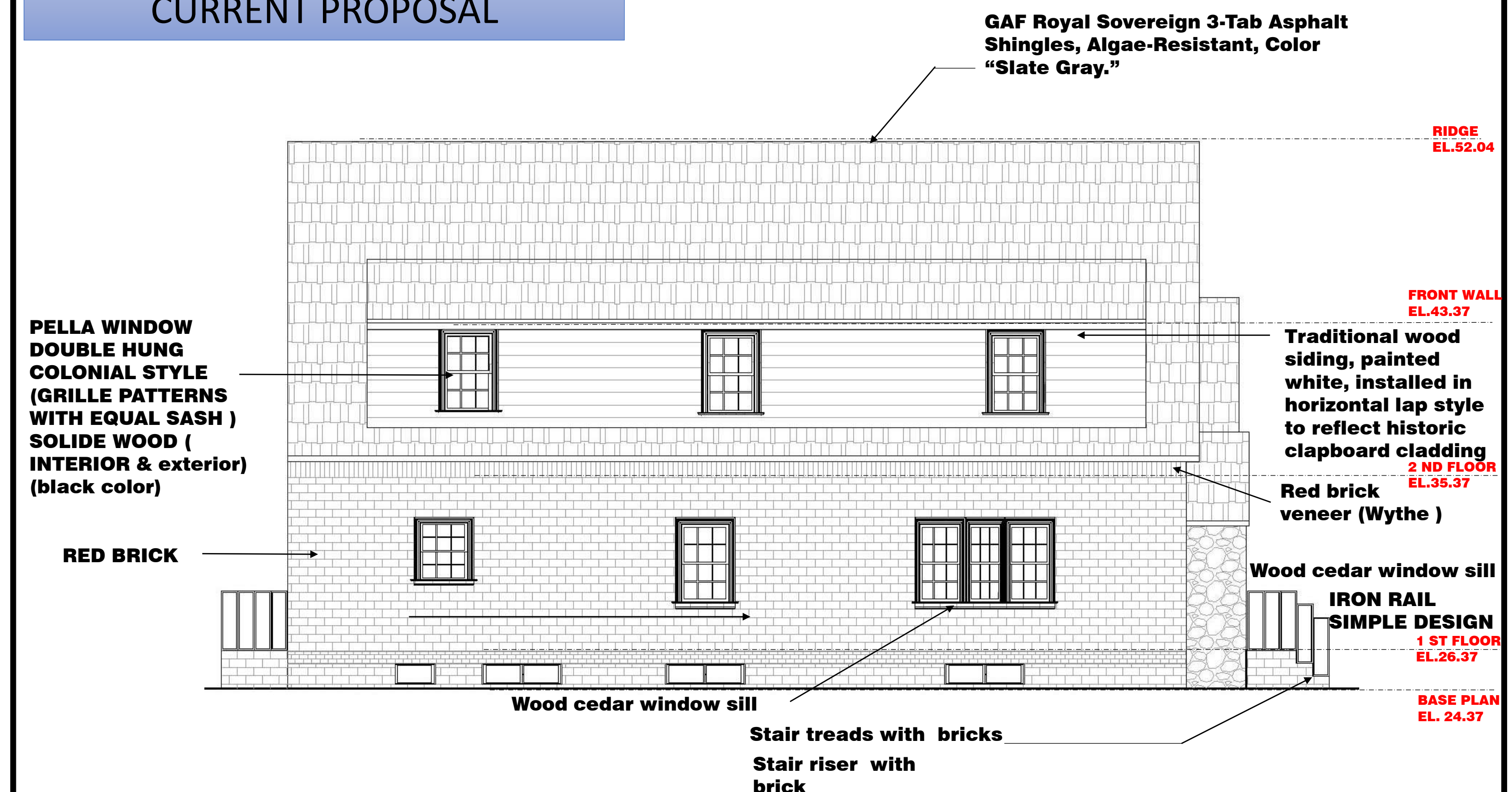


# 112-24 177 STREET – LOT-48-

## PREVIOUS PROPOSAL



## CURRENT PROPOSAL



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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

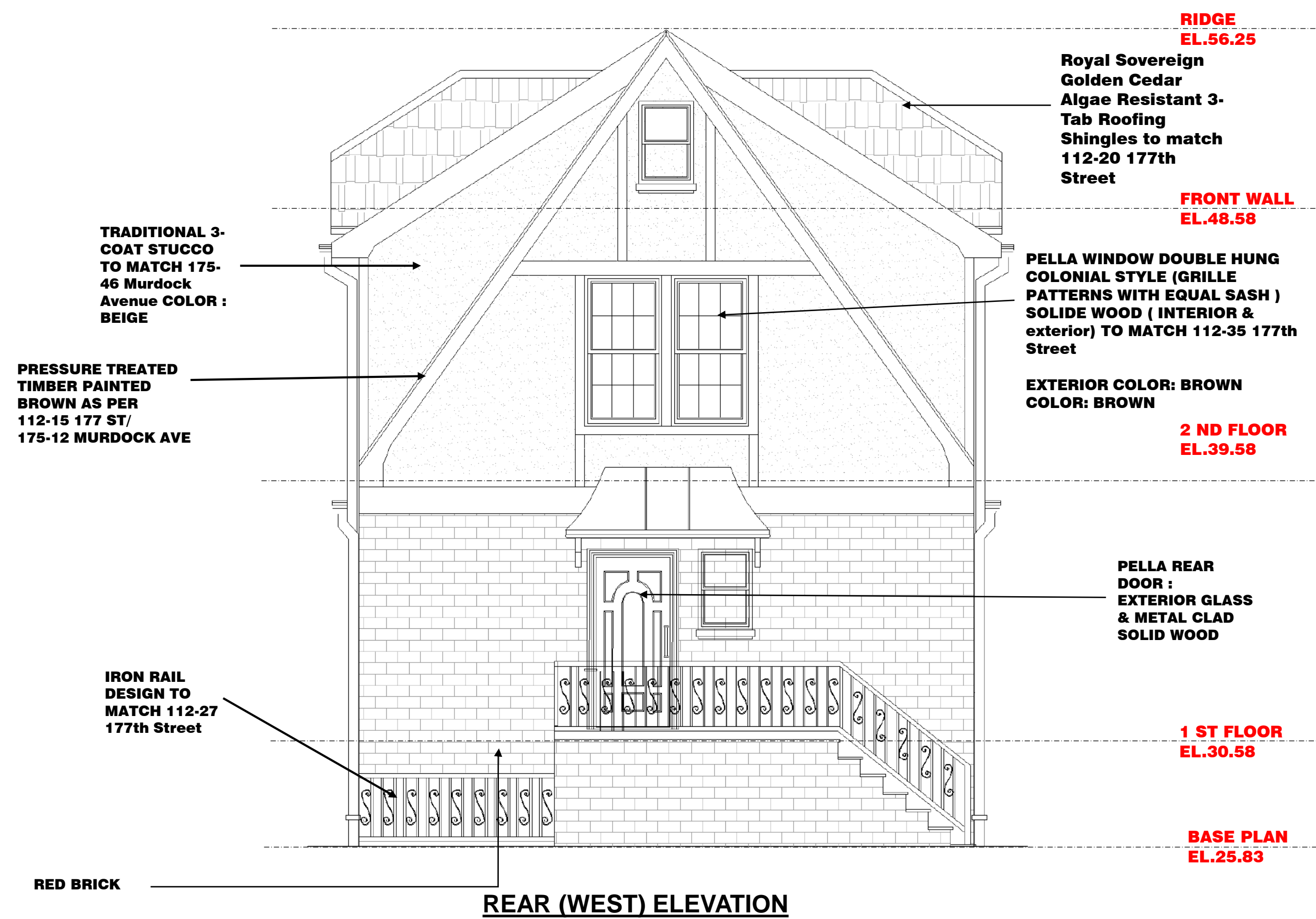
TABRIZ DESIGN GROUP  
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10- PROPOSED ELEVATIONS

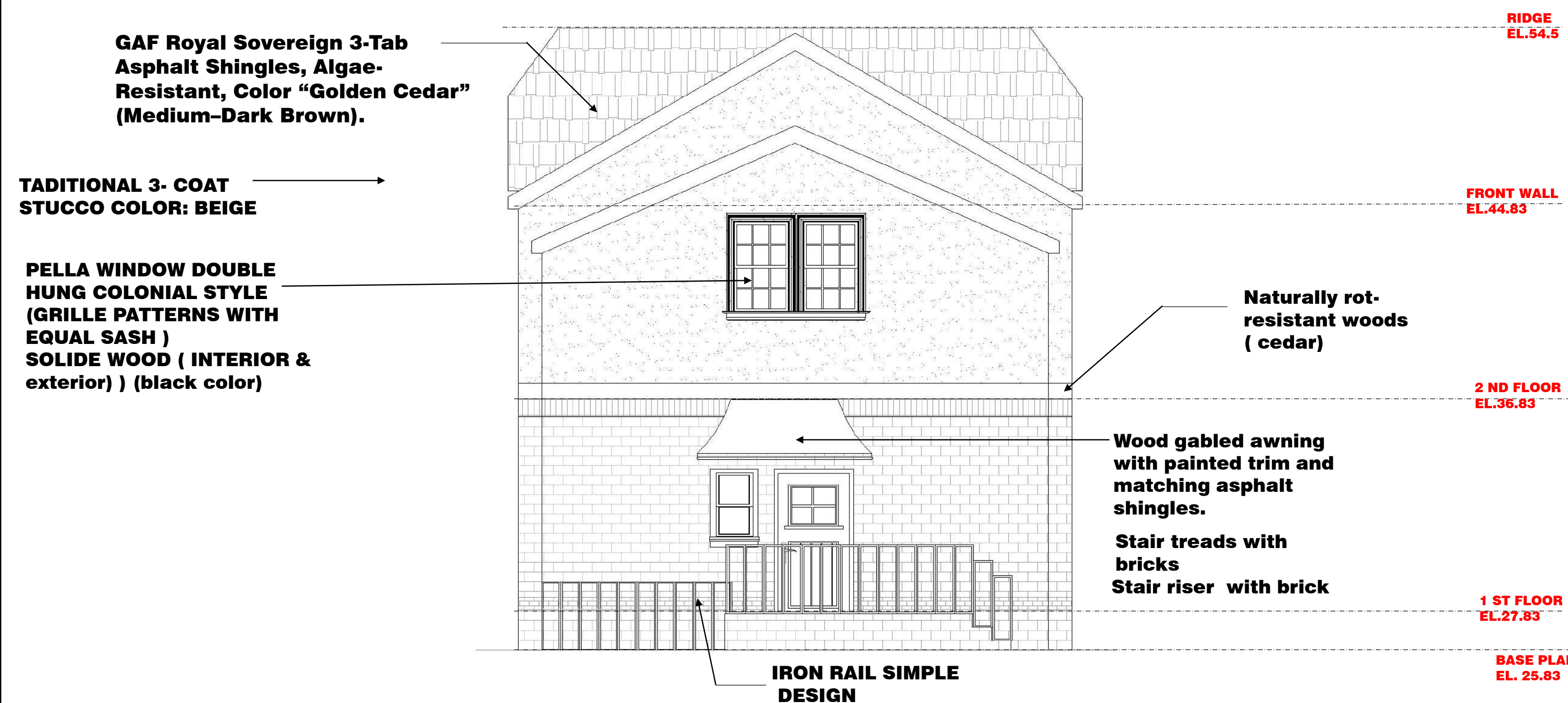


## 112-28 177 STREET – LOT-49-

### PREVIOUS PROPOSAL

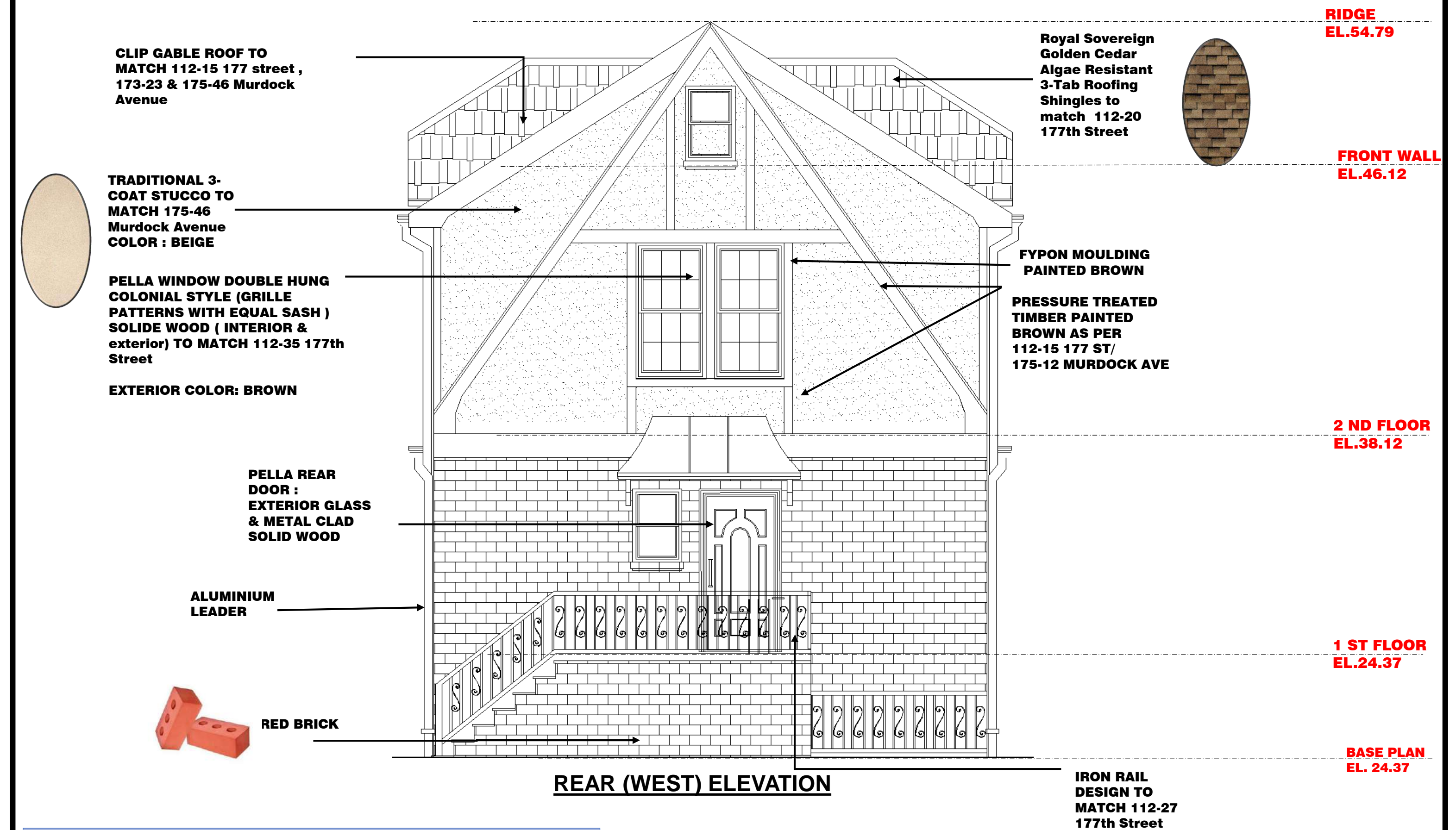


### CURRENT PROPOSAL

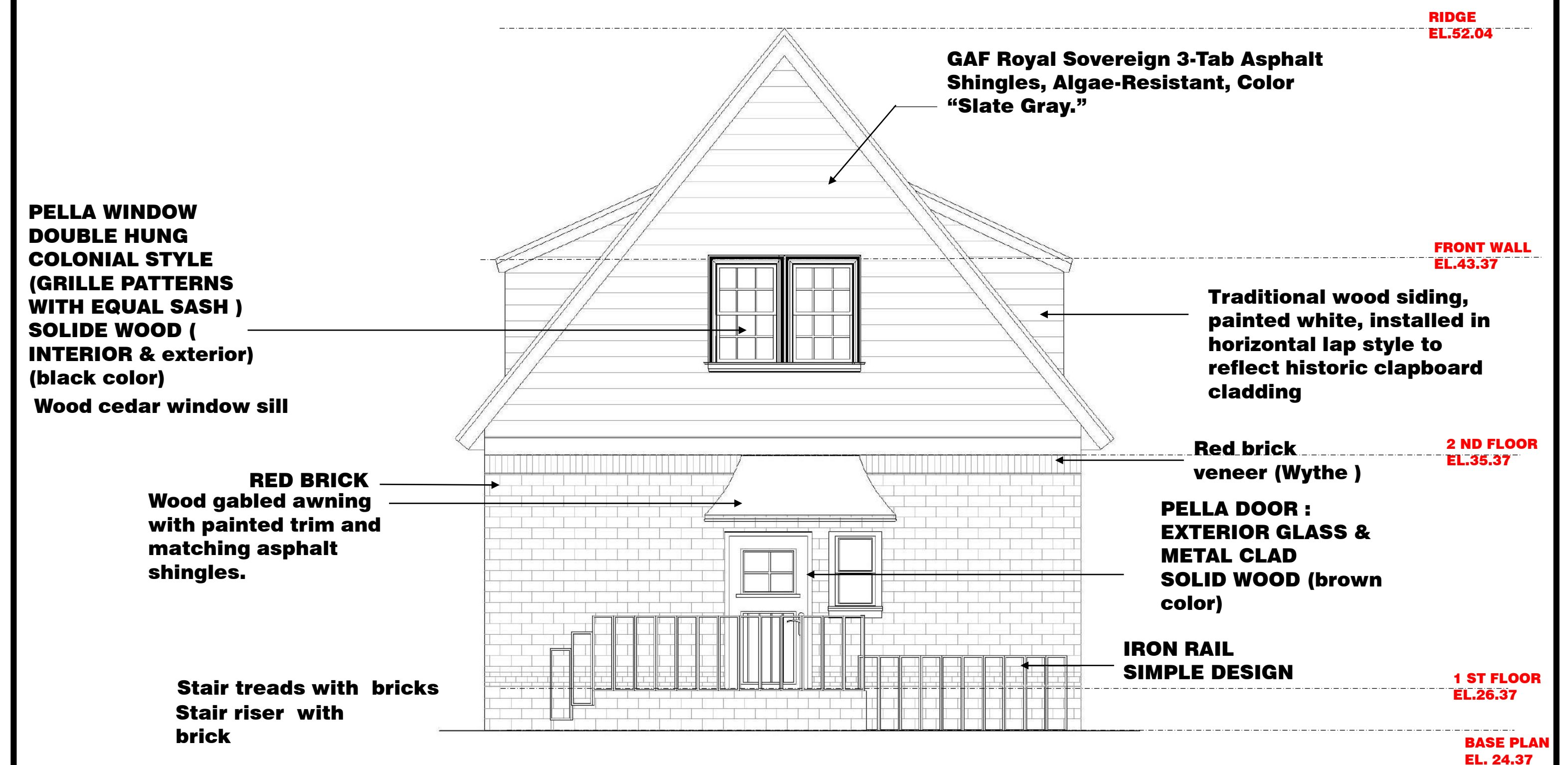


## 112-24 177 STREET – LOT-48-

### PREVIOUS PROPOSAL



### CURRENT PROPOSAL



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BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

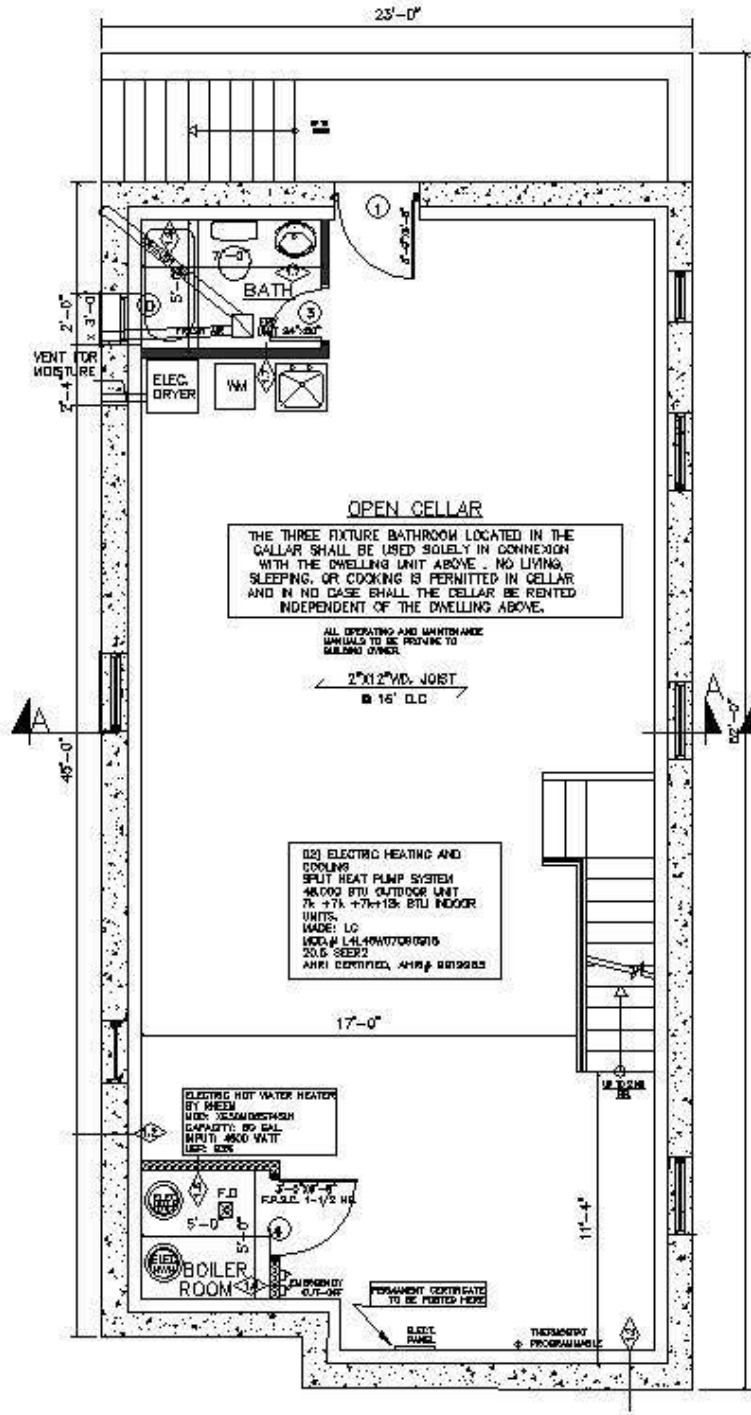
TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM

### 10- PROPOSED ELEVATIONS

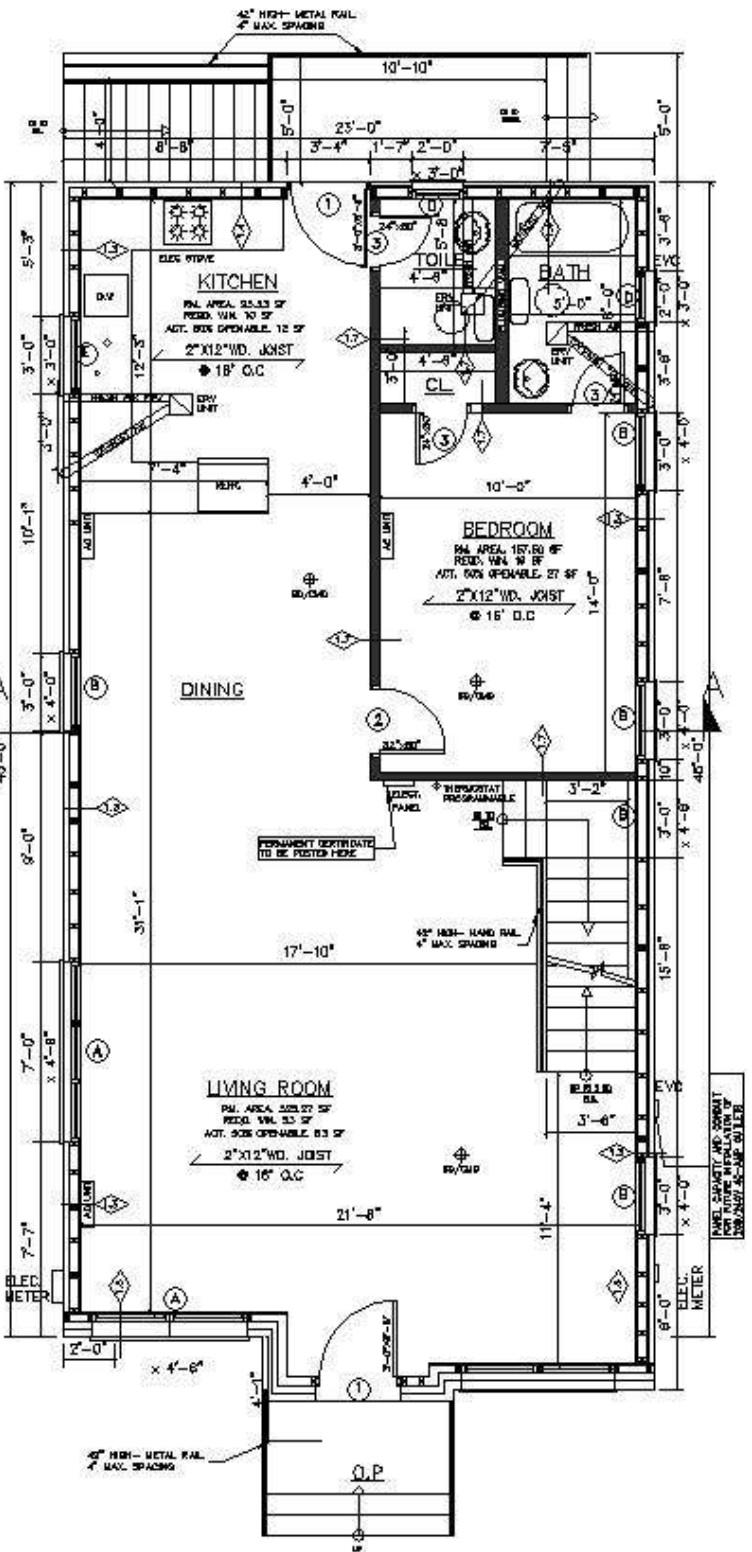


9- PROPOSED FLOOR PLANS

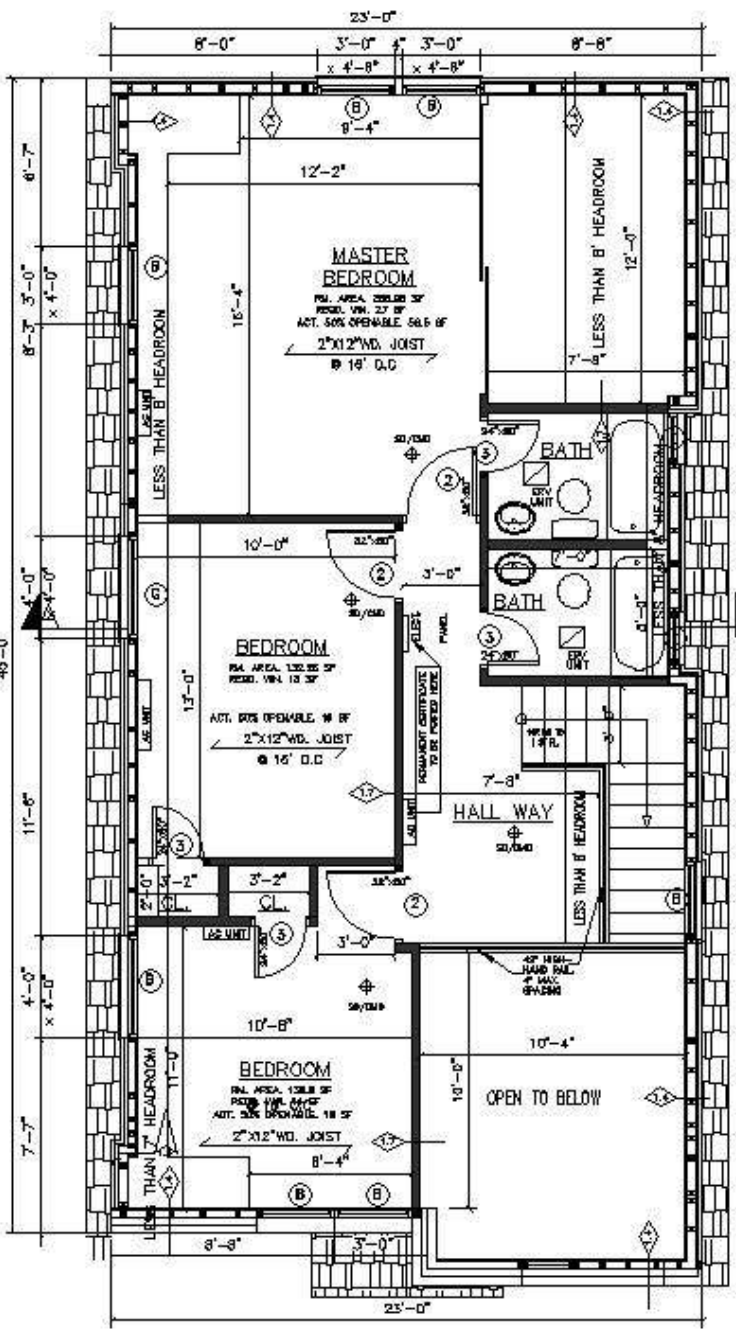
Lot 48  
112-24 177 PROPD. STREET 2 story building



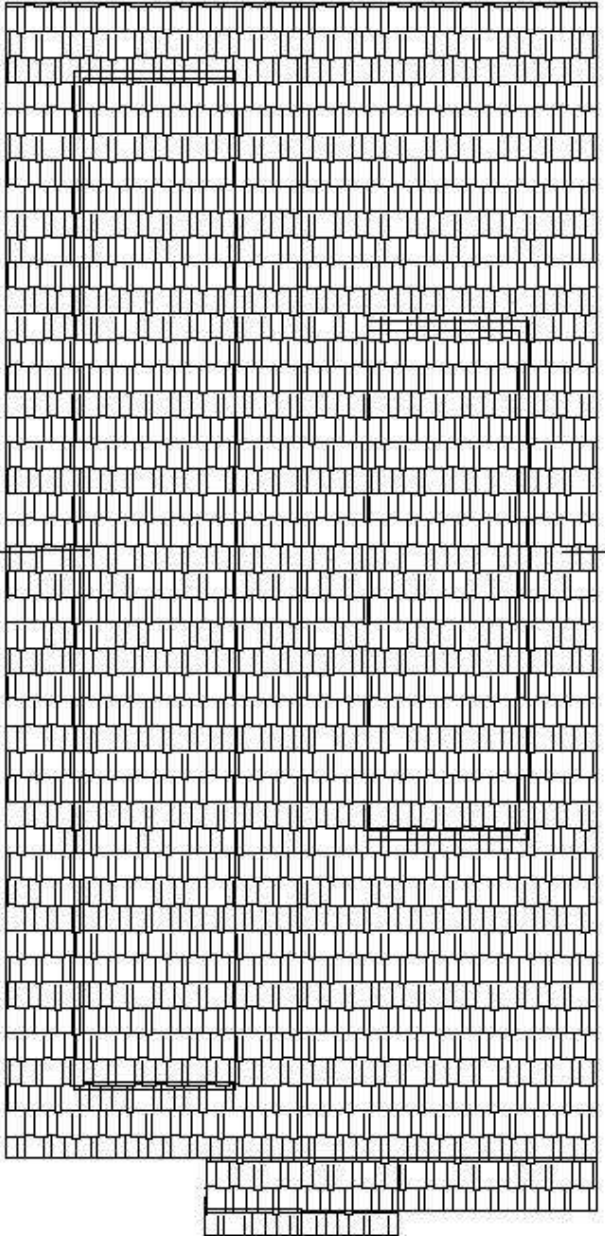
PROPD. CEL. FL. PLAN



PROPD 1 ST. FL. PLAN



PROPD 2 ND. FL. PLAN



PROPD ROOF PLAN

LANDMARK SUBMISSION FOR :  
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.  
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

THIS SUBMISSION IS FOR LANDMARK REVIEW ,  
THE PROPOSED ELEVATIONS , ALL RENDRINGS  
AND ILLUSTRATIONS ARE SUBJECT TO CHANGE  
AS RECOMMENDED BY LPC.

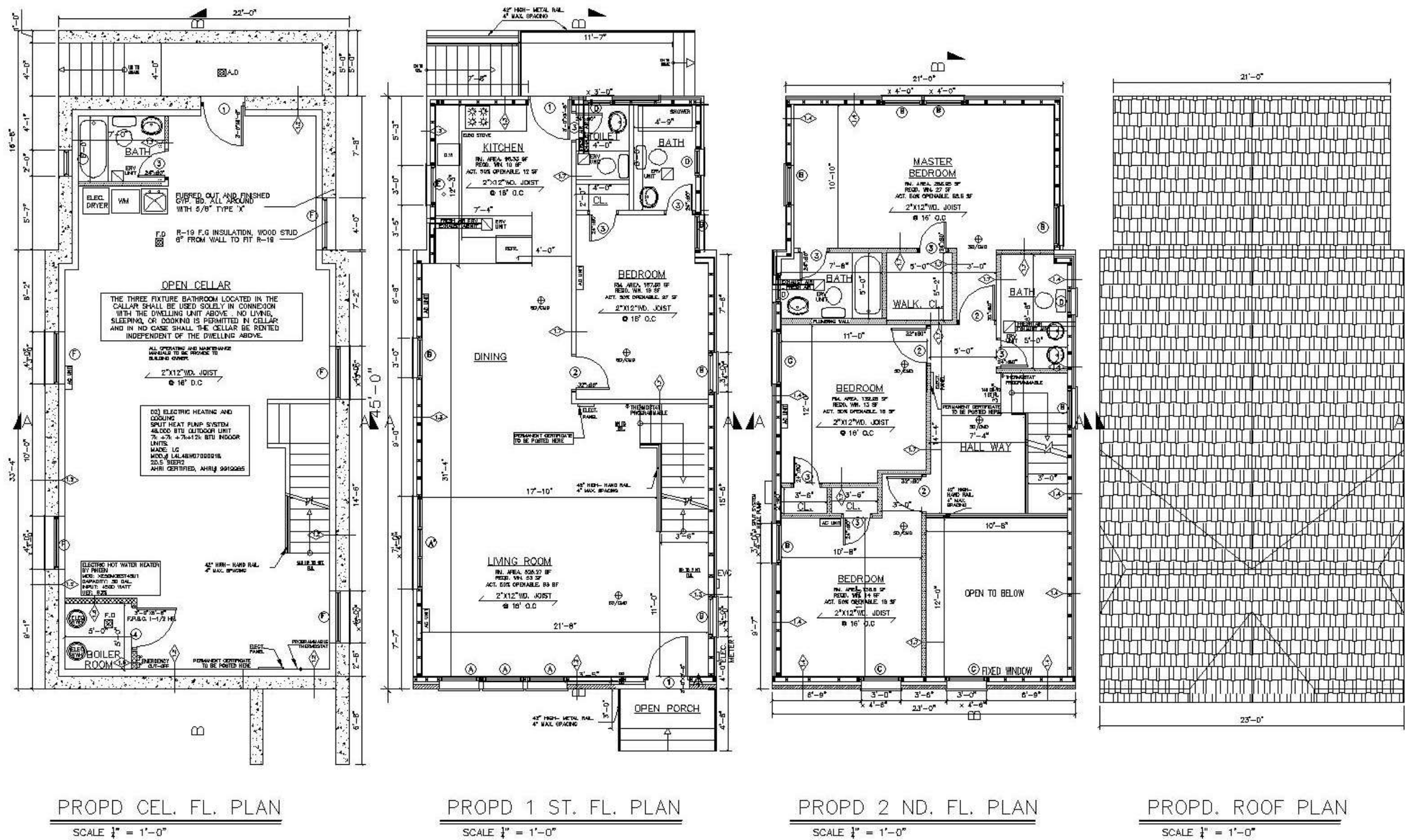
BLOCK: 10299  
ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A  
LOT : 48 - 49  
MAP: 15B  
USE GROUP: II  
9- PROPOSED FLOOR PLANS

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM



9- PROPOSED FLOOR PLANS

Lot 49  
112-28 177 PROPD. STREET 2 story building



LANDMARK SUBMISSION FOR :  
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.  
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

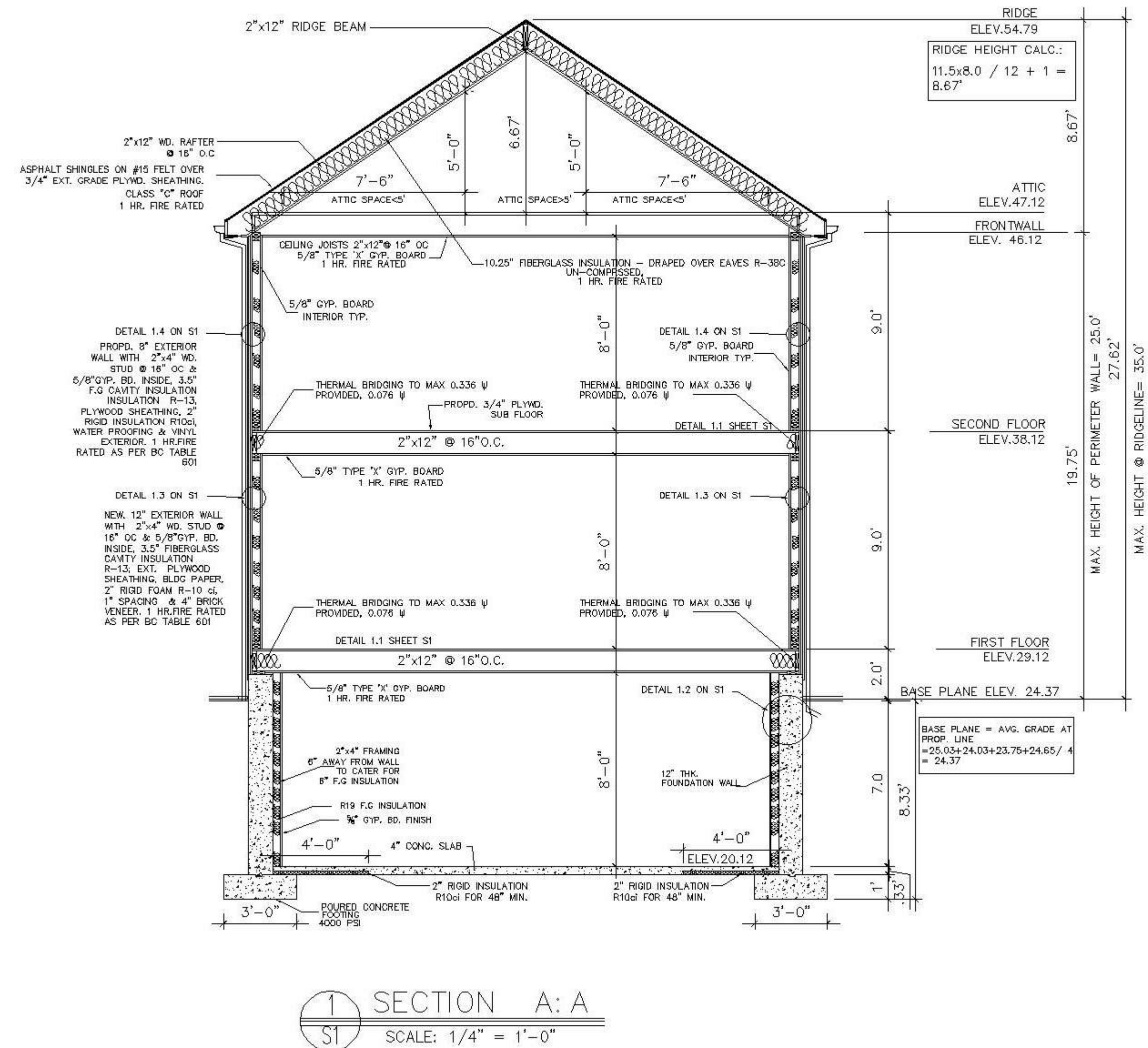
THIS SUBMISSION IS FOR LANDMARK REVIEW ,  
THE PROPOSED ELEVATIONS , ALL RENDRINGS  
AND ILLUSTRATIONS ARE SUBJECT TO CHANGE  
AS RECOMMENDED BY LPC.

BLOCK: 10299  
ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A  
LOT : 48 - 49  
MAP: 15B  
USE GROUP: II  
9- PROPOSED FLOOR PLANS

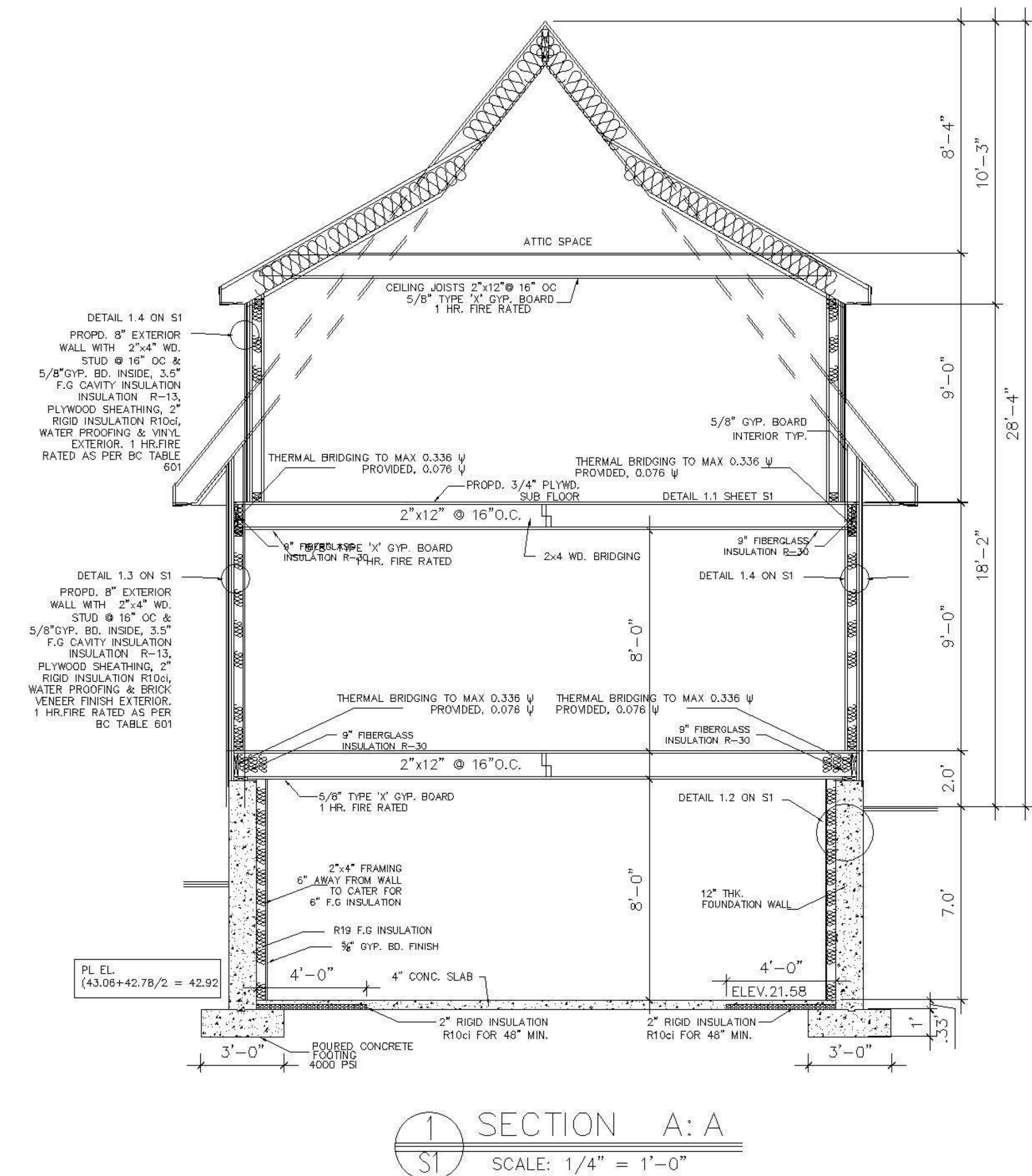
TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM



## CURRENT PROPOSAL



## CURRENT PROPOSAL



LANDMARK SUBMISSION FOR :  
**112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**  
**112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**

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 AND ILUUSTRATIONS ARE SUBJECT TO CHANGE  
 AS RECOMMENDED BY LPC.

BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

TABRIZ DESIGN GROUP  
 117 81 AVENUE  
 KEW GARDENS, NY 11415  
 PHONE: 718-263-4567  
 TABRIZGROUPENT@GMAIL.COM





FRONT VIEW

LANDMARK SUBMISSION FOR :  
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY  
DWELLING.  
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY  
DWELLING.

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AND ILUUSTRATIONS ARE SUBJECT TO CHANGE  
AS RECOMMENDED BY LPC.

BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

USE GROUP: II

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM

10- PROPOSED ELEVATIONS





REAR VIEW

LANDMARK SUBMISSION FOR :  
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.  
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

THIS SUBMISSION IS FOR LANDMARK REVIEW ,  
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AND ILUustrATIONS ARE SUBJECT TO CHANGE  
AS RECOMMENDED BY LPC.

BLOCK: 10299

ZONING: R2

OCCUPANCY: R3

CONSTR.CLASS: 5A

LOT : 48 - 49

MAP: 15B

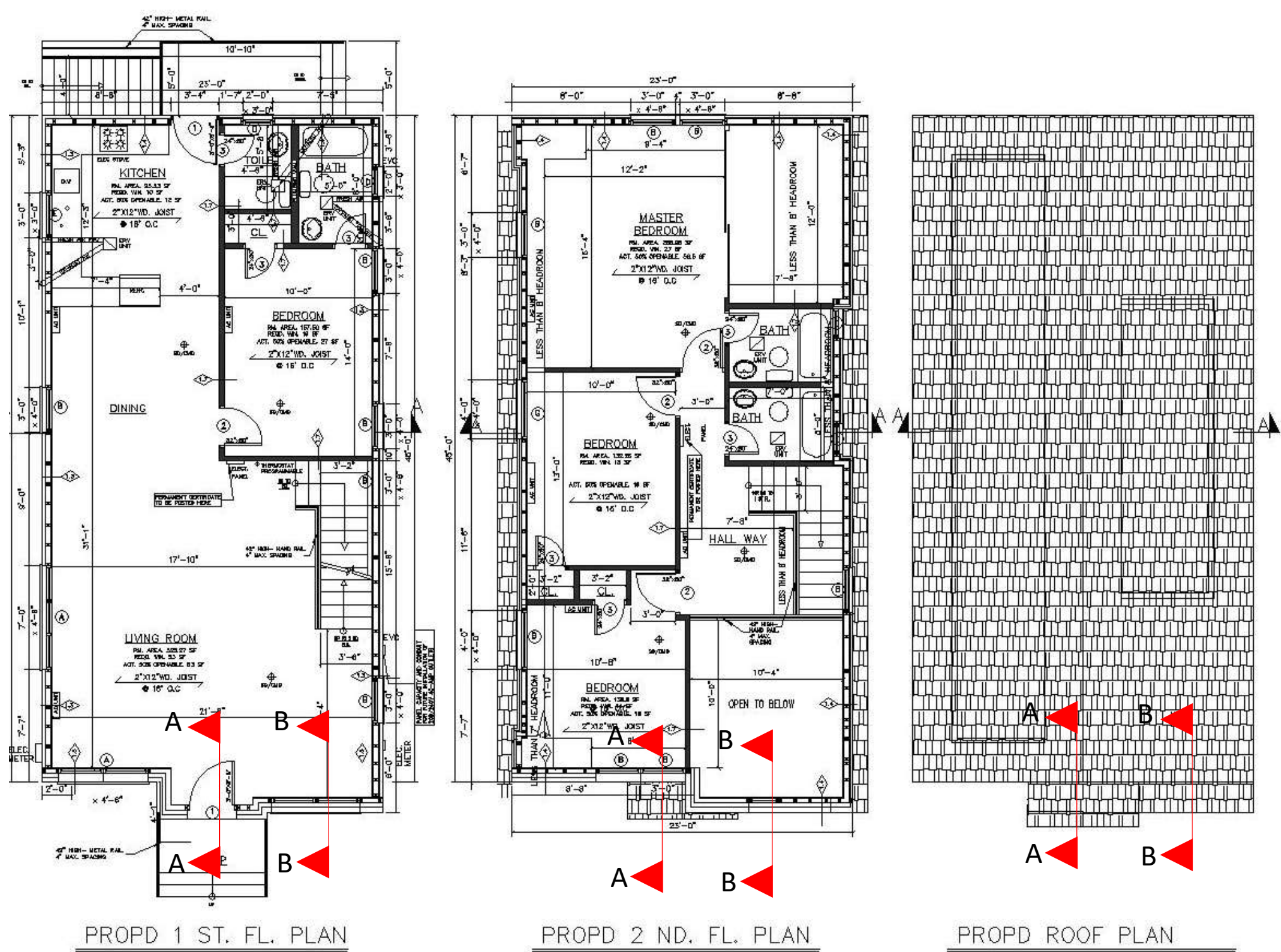
USE GROUP: II

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM

10- PROPOSED ELEVATIONS



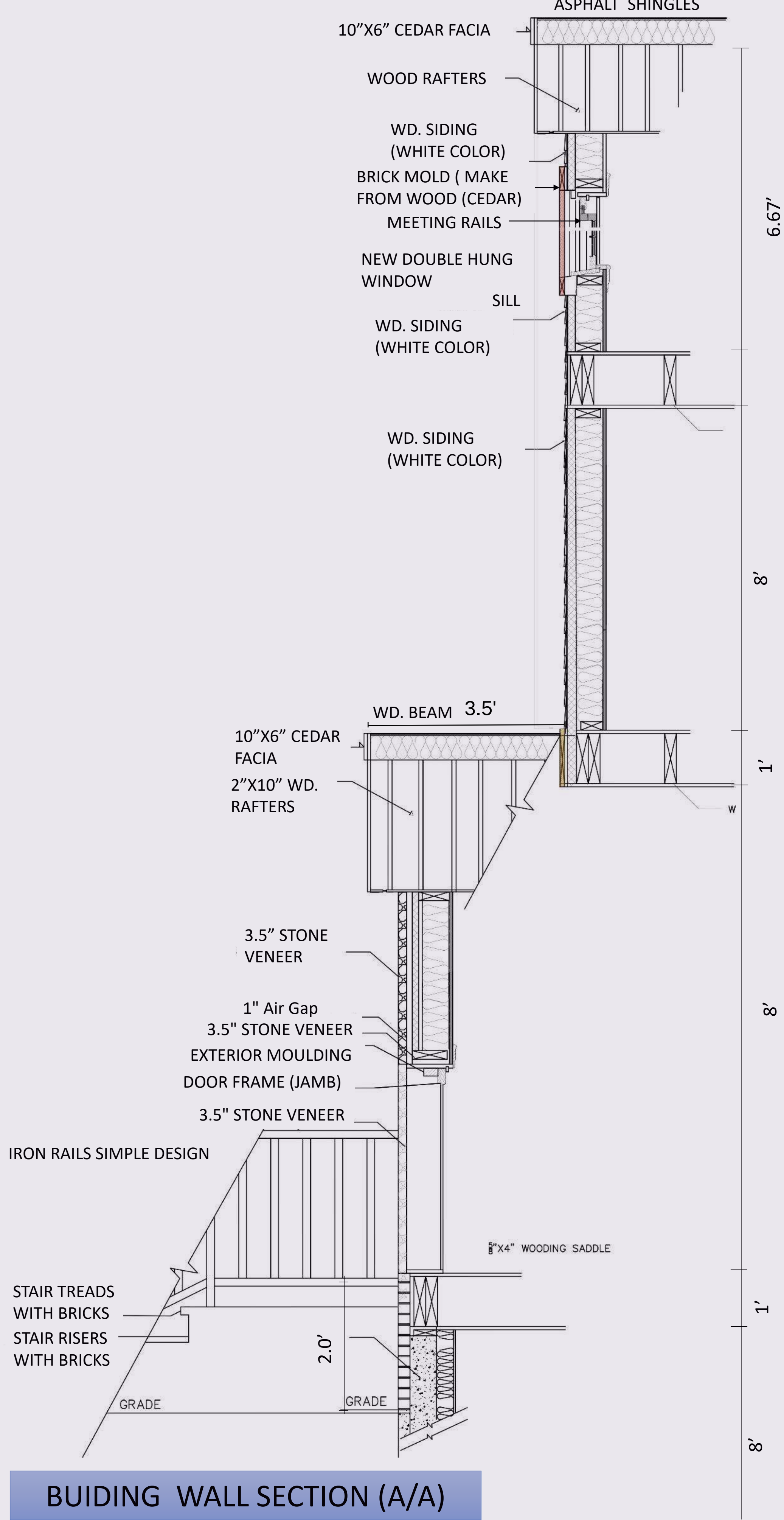
112-24 177 STREET – LOT-48-



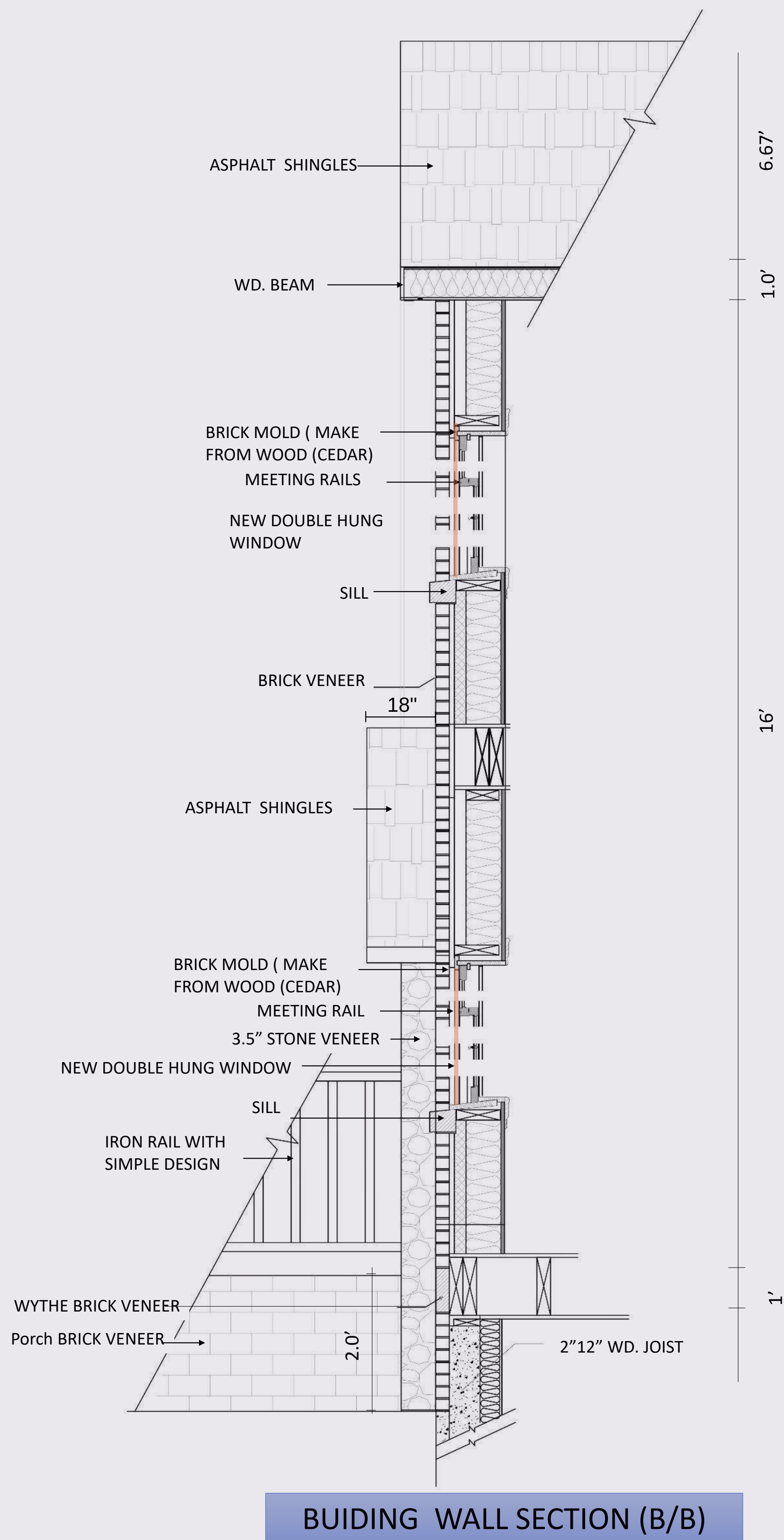
PROPD 1 ST. FL. PLAN

PROPD 2 ND. FL. PLAN

PROPD ROOF PLAN



BUIDING WALL SECTION (A/A)



BUIDING WALL SECTION (B/B)

LANDMARK SUBMISSION FOR :  
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.  
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.

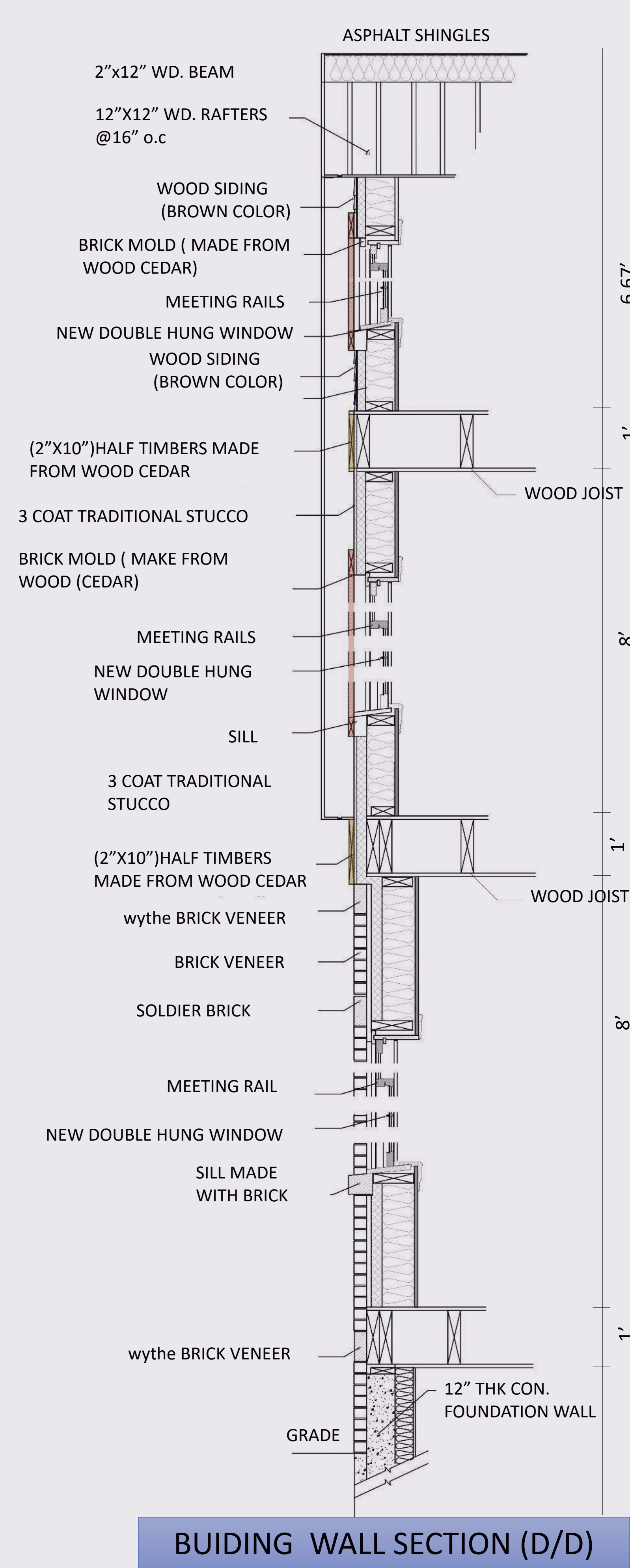
THIS SUBMISSION IS FOR LANDMARK REVIEW ,  
THE PROPOSED ELEVATIONS , ALL RENDRINGS  
AND ILUUSTRATIONS ARE SUBJECT TO CHANGE  
AS RECOMMENDED BY LPC.

BLOCK: 10299  
ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A  
13- DETAILS

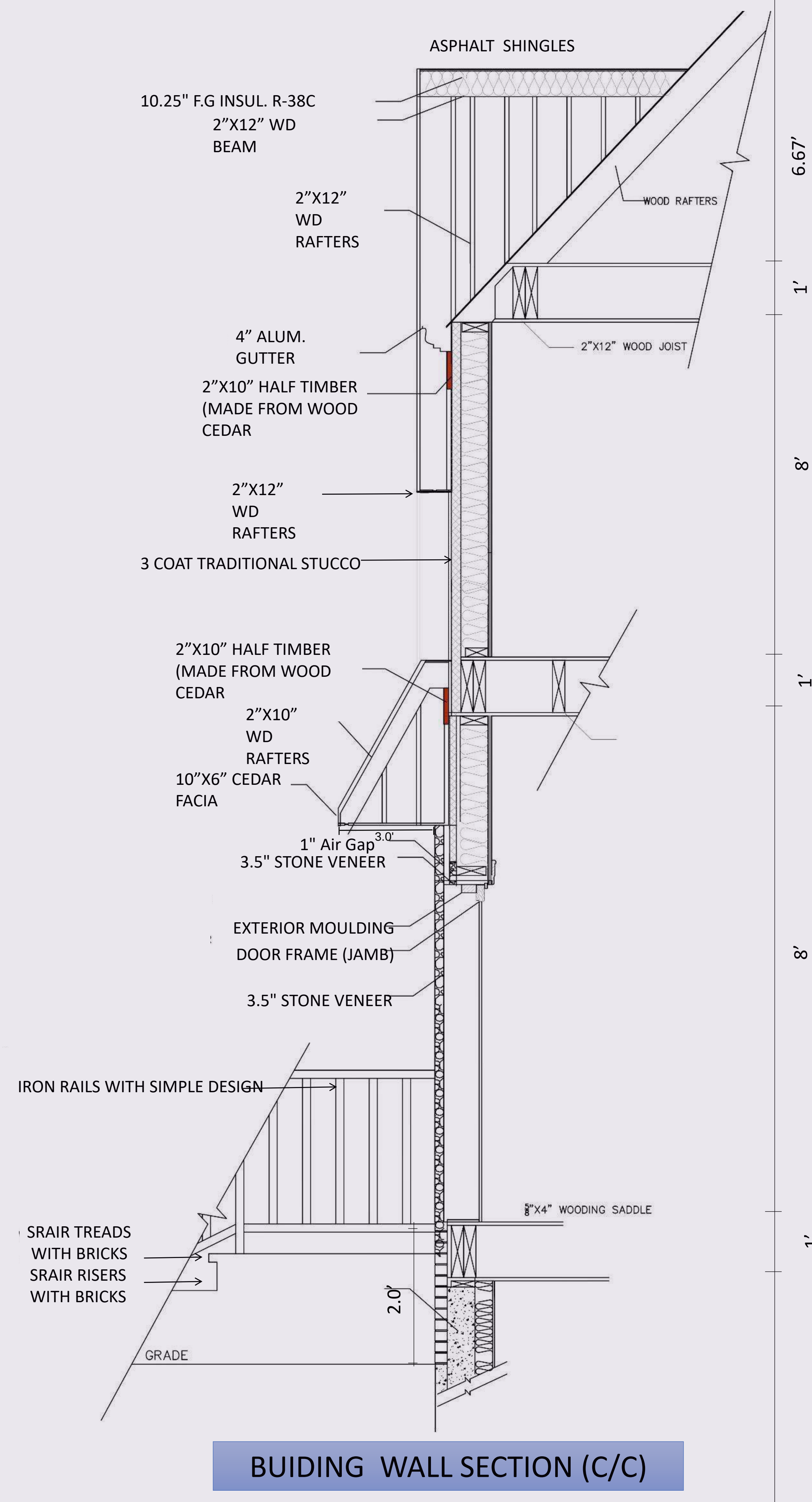
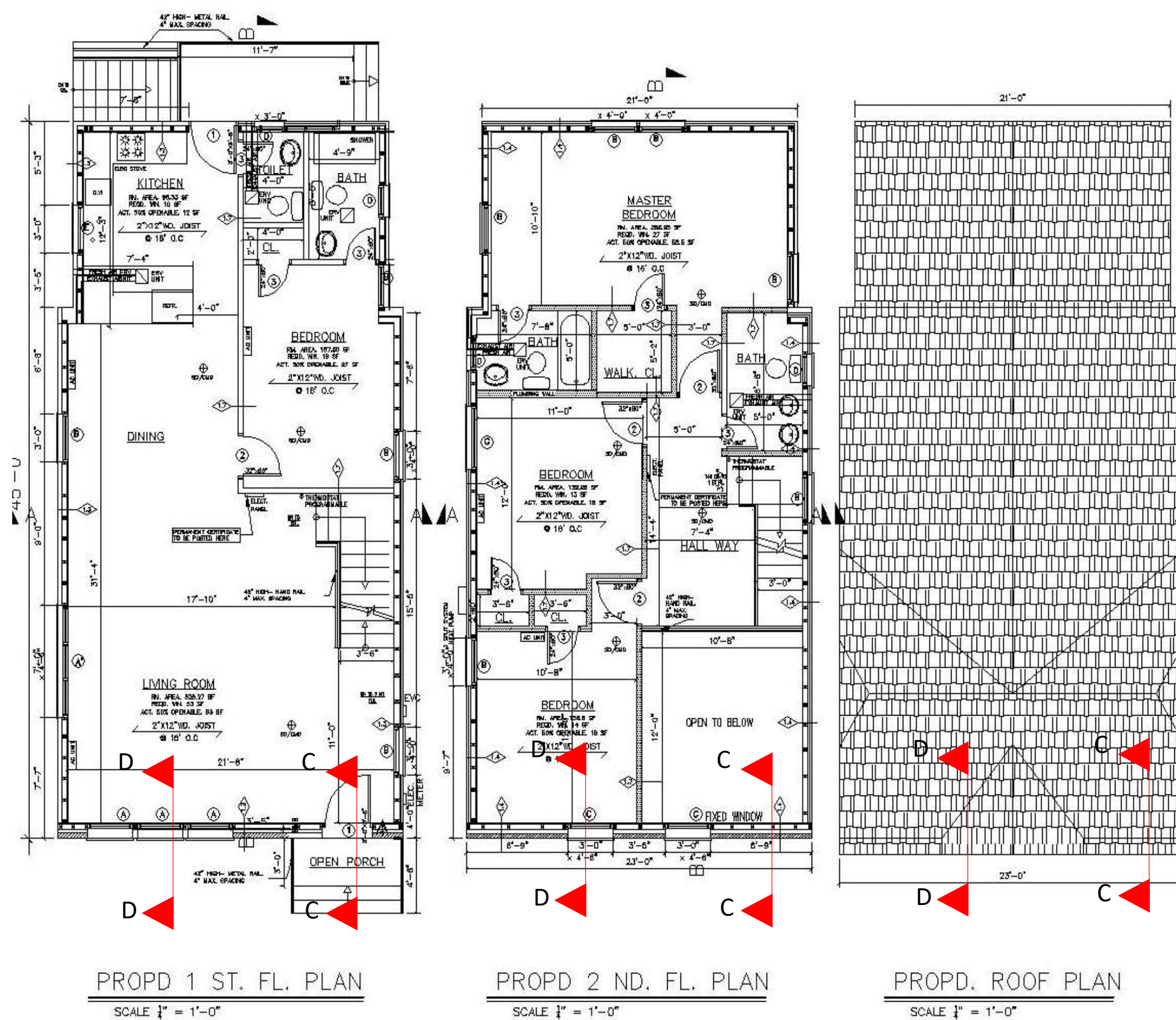
LOT : 48 - 49  
MAP: 15B  
USE GROUP: II

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM





## 112-28 177 STREET – LOT-49-



**LANDMARK SUBMISSION FOR :**  
**112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**  
**112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**

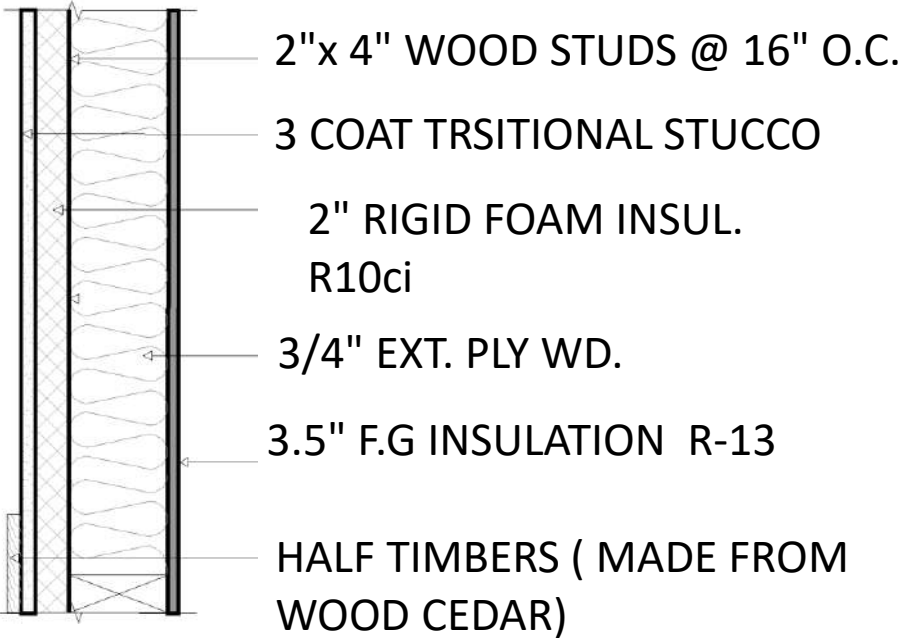
**THIS SUBMISSION IS FOR LANDMARK REVIEW ,**  
**THE PROPOSED ELEVATIONS , ALL RENDRINGS**  
**AND ILUUSTRATIONS ARE SUBJECT TO CHANGE**  
**AS RECOMMENDED BY LPC.**

**BLOCK: 10299**  
**ZONING: R2**  
**OCCUPANCY: R3**  
**CONSTR.CLASS: 5A**  
**13- DETAILS**

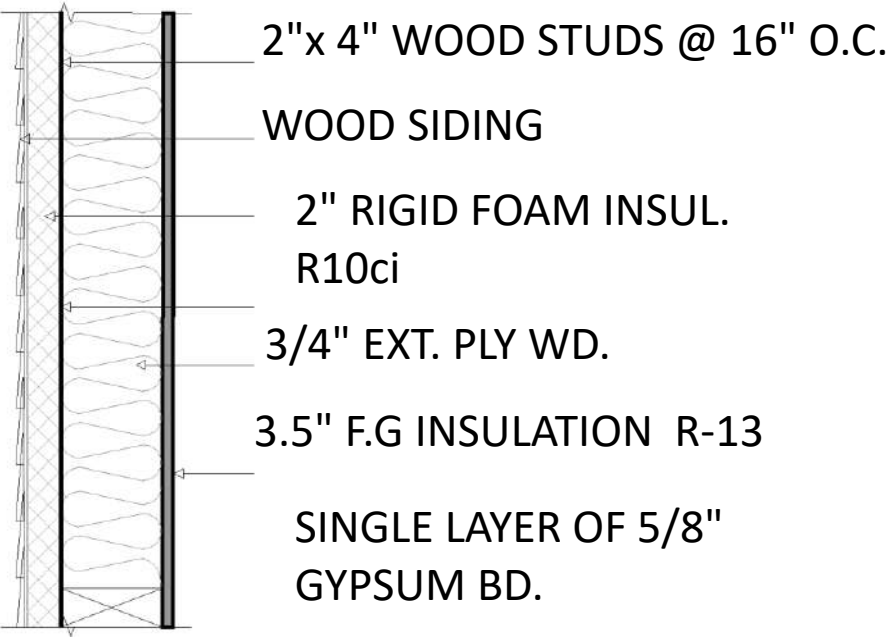
**LOT : 48 - 49**  
**MAP: 15B**  
**USE GROUP: II**

**TABRIZ DESIGN GROUP**  
**117 81 AVENUE**  
**KEW GARDENS, NY 11415**  
**PHONE: 718-263-4567**  
**TABRIZGROUPENT@GMAIL.COM**

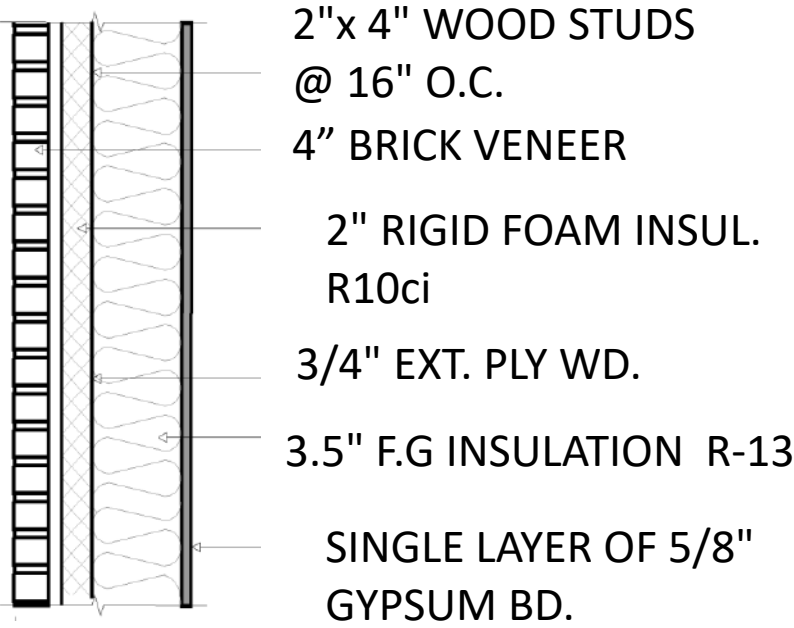




EXTERIOR STUCCO WALL

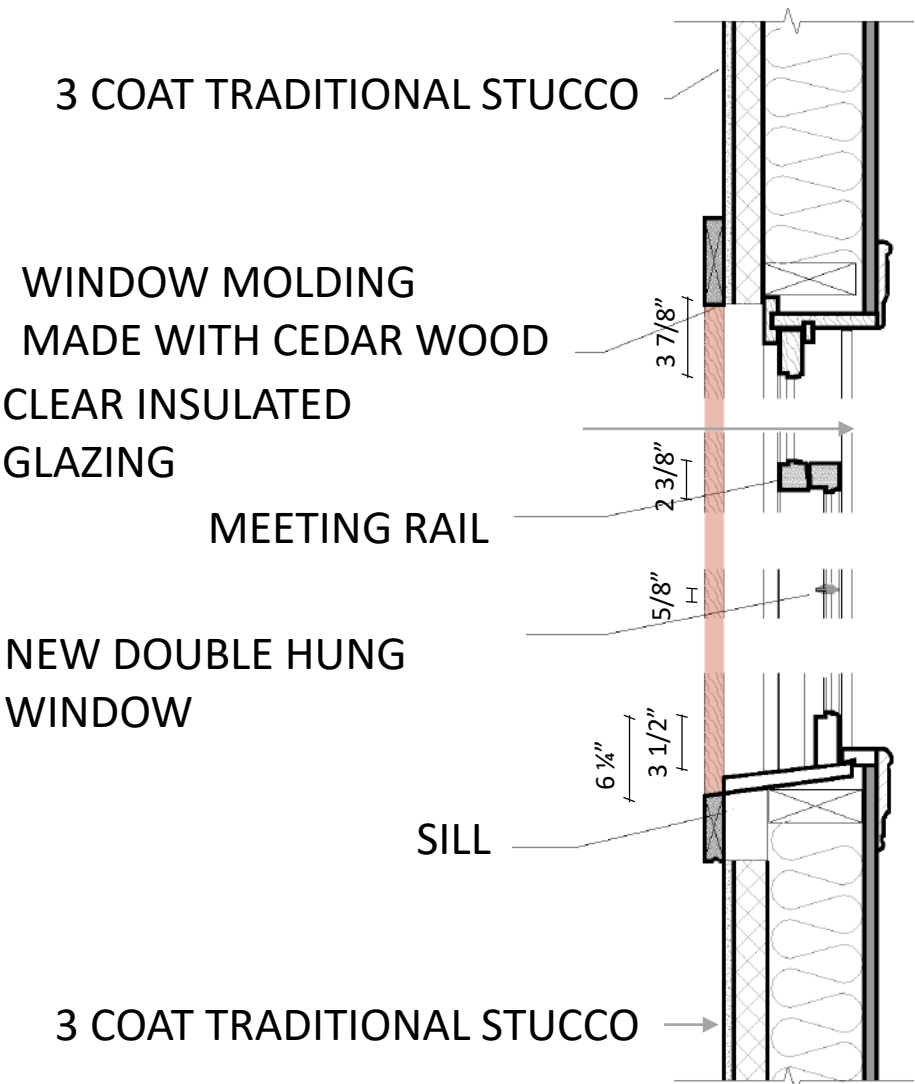


EXTERIOR SIDING WALL

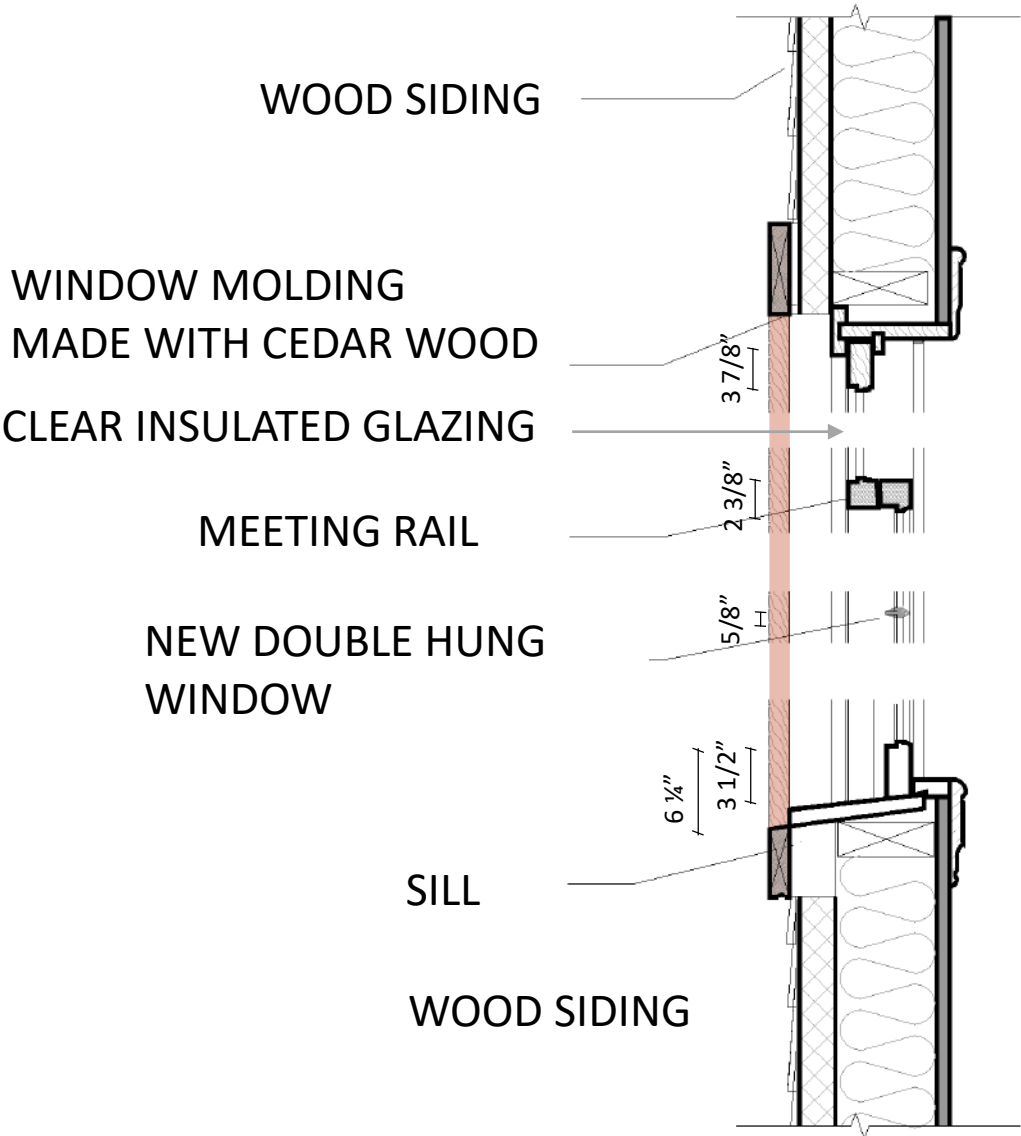


EXTERIOR BRICK VENEER WALL

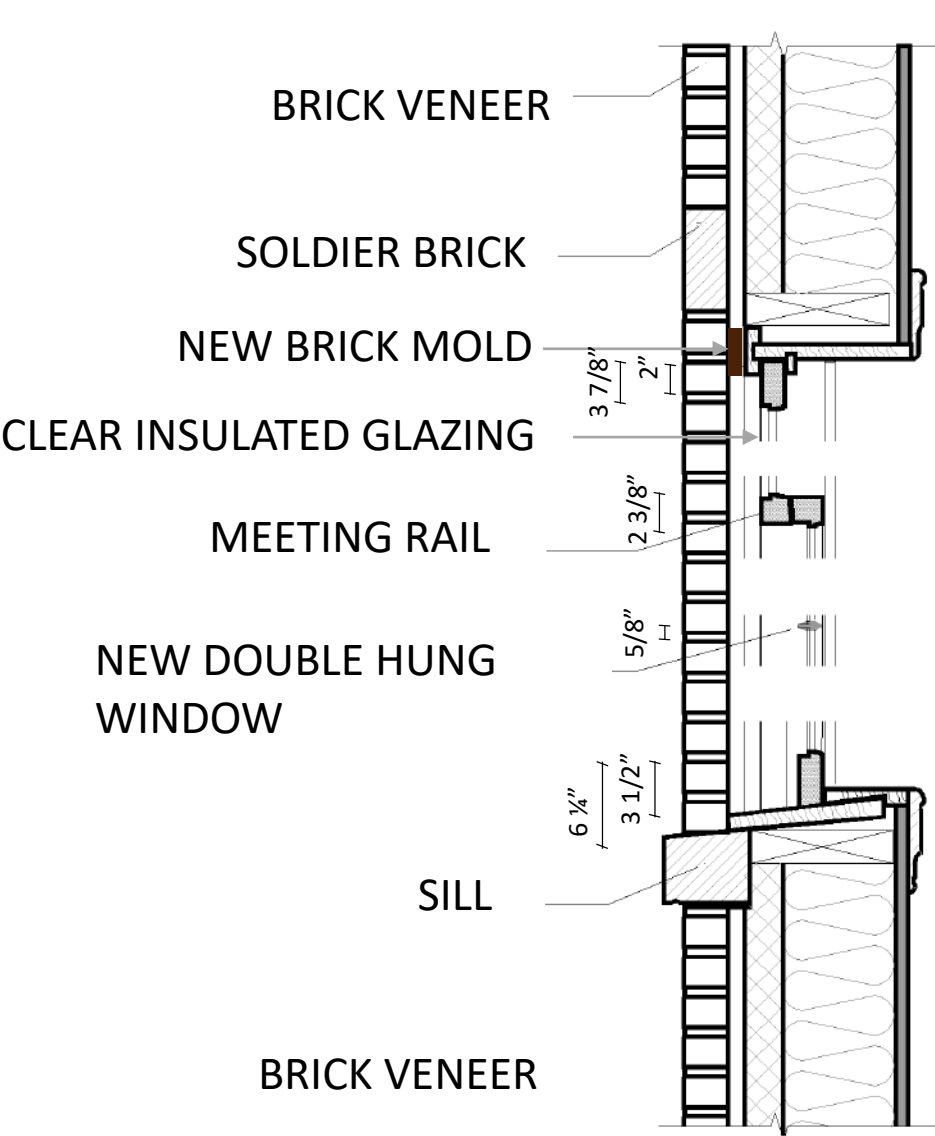




WINDOW DETAIL WITH STUCCO  
WALL



WINDOW DETAIL WITH SIDING  
WALL



WINDOW DETAIL WITH BRICK  
VENEER WALL



# APPENDIX

**LANDMARK SUBMISSION FOR :**  
**112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**  
**112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**

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AND ILUUSTRATIONS ARE SUBJECT TO CHANGE  
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**BLOCK: 10299**

**ZONING: R2**

**OCCUPANCY: R3**

**CONSTR.CLASS: 5A**

**LOT : 48 - 49**

**MAP: 15B**

**USE GROUP: II**

**2- HISTORIC DISTRICT ORDINANCE**

**TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM**



HISTORIC DISTRICT ORDINANCE

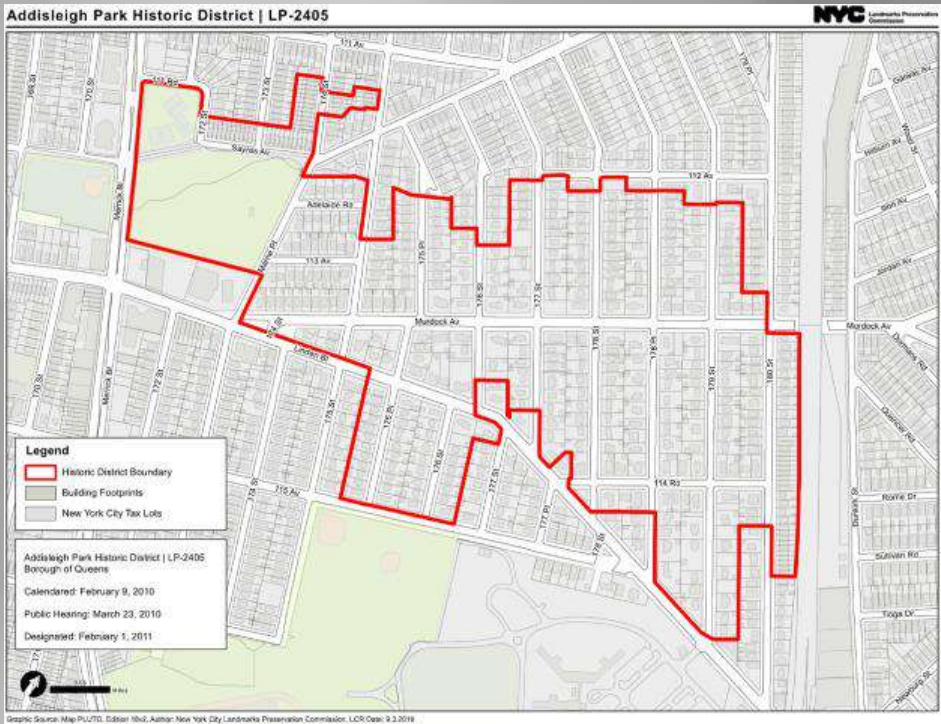
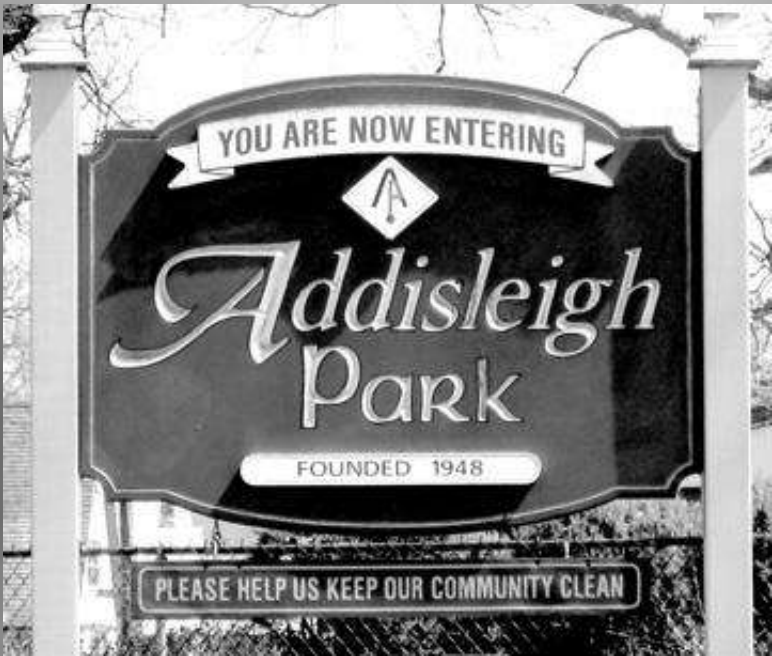
**The Addisleigh Park historic district** is a suburban-type enclave in southeast Queens with a rich and distinctive history. The neighborhood of approximately 650 homes lies in a rough triangle between Linden Boulevard on the south, the tracks of the Long Island Rail Road on the east, Sayres Avenue on the north and Marne Place on the west. (See map HERE) Typical of the era, the area possesses fine examples of English Tudor-style and neo-Colonial Revival houses, many of which are quite sizable.

Addisleigh Park was largely developed in the 1930’s as part of the pre-World War II building boom that shaped large swaths of eastern Queens. Architecturally, the buildings are remarkably intact with few examples of inappropriate alterations or teardowns. Original materials such as stucco, wood siding and stone are predominant.

Built when race-restricted covenants dictated the segregation of the city’s neighborhoods, Addisleigh Park eventually transformed from an exclusively white neighborhood into one of New York City’s premier African-American enclaves by the early 1950’s. Lured by the promise of seclusion, quietude, space and beauty, many of the newcomers were world-famous. The area would eventually become home to notables such as Count Basie, Lena Horne, Ella Fitzgerald, Illinois Jacquet, Jackie Robinson, James Brown, Joe Louis, Milt Hinton, Roy Campanella, Percy Sutton, Cootie Williams and many others.

In 2007, the Historic Districts Council, in partnership with the Addisleigh Park Civic Organization, launched a project to document the architectural and social significance of Addisleigh Park. The project includes a survey of the core area of architectural significance, brief summaries on each property, documentation of some of Addisleigh Park’s most prominent residents, interviews with longtime members of the community, and an informational brochure detailing HDC’s findings.

-Adapted from Addisleigh Park Statement of Significance by Jane Cowan



Historic district council/ queens-landmarked/addisleigh-park/

**LANDMARK SUBMISSION FOR :**  
**112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**  
**112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY DWELLING.**

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**AND ILUUSTRATIONS ARE SUBJECT TO CHANGE**  
**AS RECOMMENDED BY LPC.**

**BLOCK: 10299**  
**ZONING: R2**  
**OCCUPANCY: R3**  
**CONSTR.CLASS: 5A**  
**2- HISTORIC DISTRICT ORDINANCE**

**LOT : 48 - 49**  
**MAP: 15B**  
**USE GROUP: II**

**TABRIZ DESIGN GROUP**  
**117 81 AVENUE**  
**KEW GARDENS, NY 11415**  
**PHONE: 718-263-4567**  
**TABRIZGROUPENT@GMAIL.COM**



5- CLOSE UP PHOTOS (STREETSCAPES )

CONT.



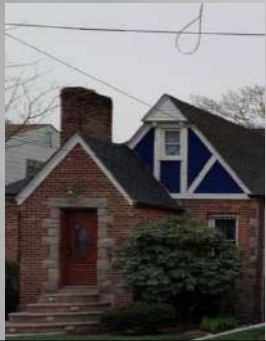
lot 46  
112-20 177 STREET 2  
story building



lot 44  
112-16 177 STREET 2 story  
building



lot 41  
112-16 177 STREET 1  
story building



lot 39  
112-06 177 STREET 1  
story building



lot 36  
112-04 177 STREET 1  
story building



lot 34  
112-04 177 STREET 1 story  
building

MURDOCK STREET



lot 63  
176-15 MURDOCK AVENUE  
2 story building



lot 59  
112-50 177 STREET 1story  
building



lot 57  
112-44 177 STREET  
( GARAGE )



lot 54  
112-40 177 STREET 1story  
building



lot 52  
112-32 177 STREET 1story  
building

PROPD. RIDGE  
EL.56.25



lot 49  
112-28 177 PROPD. STREET  
2 story building

lot 48  
112-24 177 PROPD. STREET  
2 story building

CONT.

LOOKING AT 177 TH STREET



LANDMARK SUBMISSION FOR :  
112-24-177 STREET PROPOSED 2 STORY - ONE FAMILY  
DWELLING.  
112-28-177 STREET PROPOSED 2 STORY - ONE FAMILY  
DWELLING.

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AS RECOMMENDED BY LPC.

BLOCK: 10299  
ZONING: R2  
OCCUPANCY: R3  
CONSTR.CLASS: 5A

5- CLOSE UP PHOTOS (STREETSCAPES )

LOT : 48 - 49  
MAP: 15B  
USE GROUP: II

TABRIZ DESIGN GROUP  
117 81 AVENUE  
KEW GARDENS, NY 11415  
PHONE: 718-263-4567  
TABRIZGROUPENT@GMAIL.COM