

December 2, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 6, LPC-26-03246

252 West 11th Street – Greenwich Village Historic District
Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 161 812 1468

Passcode: 845296

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.



~1940 Department of Finance



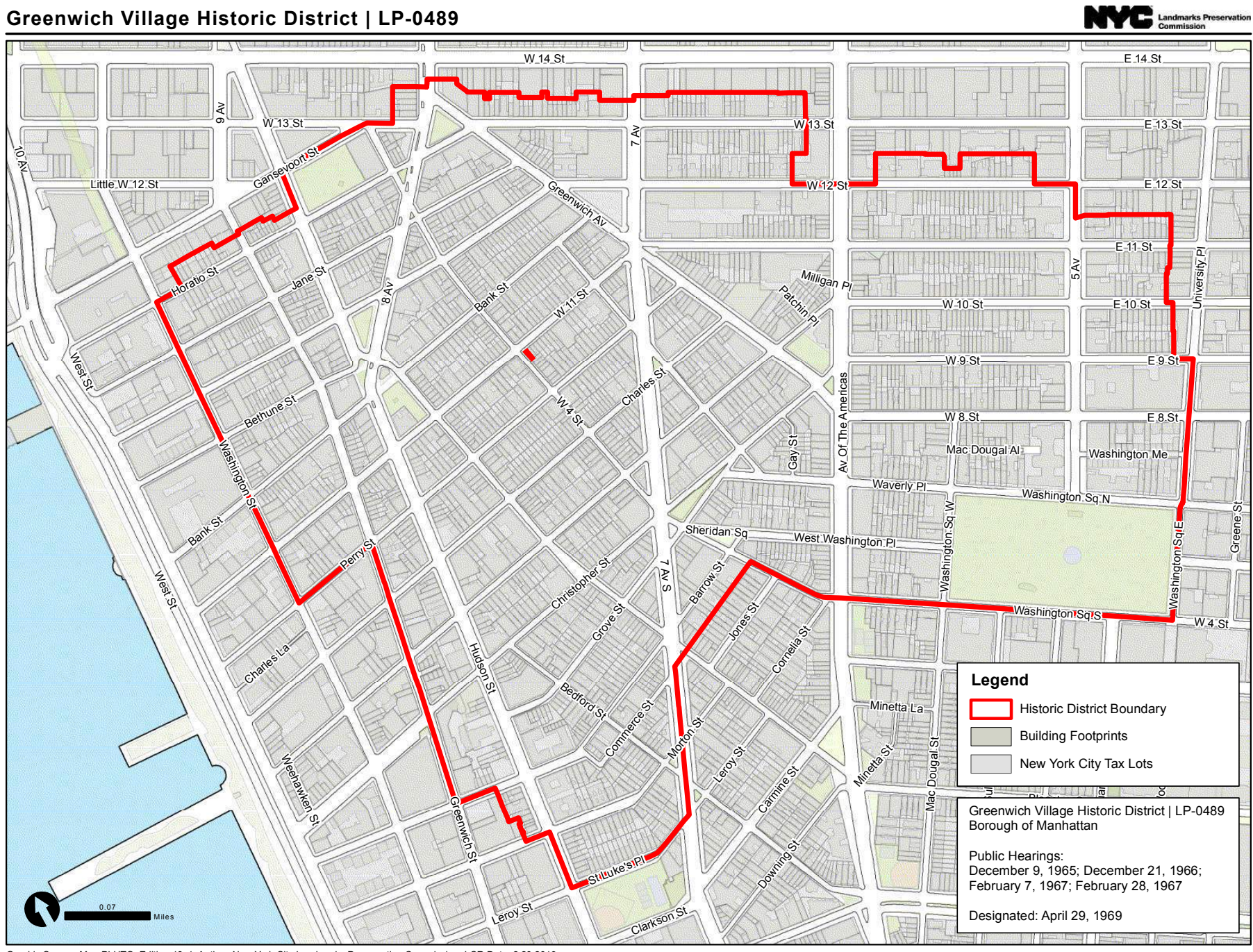
1964 LPC Designation Photo

BUILDING INFORMATION

LPC DOCKET #:26-03246
LPC PUBLIC HEARING DATE 12/2/25
Address: 252 West 11th Street (aka 283 West 4th Street)
Construction Date: 1869
Architect/Builder: James J. Howard
Owner/Developer: George T. Mickens and William H. Gray
Style: French Second Empire
Material: Brick
Building Type: Town House
Original Use: Residential
Secondary Use: n/a
BBL: 1006130009
BIN Number: 1010907
Number of Floors: 3
Greenwich Village Historic District | LP-0489
Landmark Type: Historic District
Designation Date: April 29 1969
Borough: Manhattan

#248-252 This attractive row of three brick town houses was erected in 1869 by Mickens & Welcher, builders, for George T. Mickens and William H. Gray. At No. 248 Mr. Mickens made his home. The architect was James J. Howard.

Three stories high, they are handsomely unified by a modillioned cornice which returns along the side wall of the corner house, No. 252. The fascias, however, are short of the width of each house. The doorways of Nos. 250 and 252 retain their stoops and have segmental-arched lintels with shoulders, indicative of French Second Empire influence. The present simple wrought iron railings are later replacements but the handsome paneled double doors at No. 252 are the originals. No. 248 has been redesigned to provide a square-headed basement entrance. The basements are of rusticated stone, except at No. 252. The side wall of No. 252 displays six very interesting blind windows, complete with sills and lintels, arranged in two tiers, one tier near the front and one near the back. This construction project of 1869 included two more houses around the corner, facing on West Fourth Street (Nos. 279 and 281).





1 - NORTH FACADE (WEST 11TH STREET)



2



3



4 - WEST FACADE (WEST 4TH STREET)



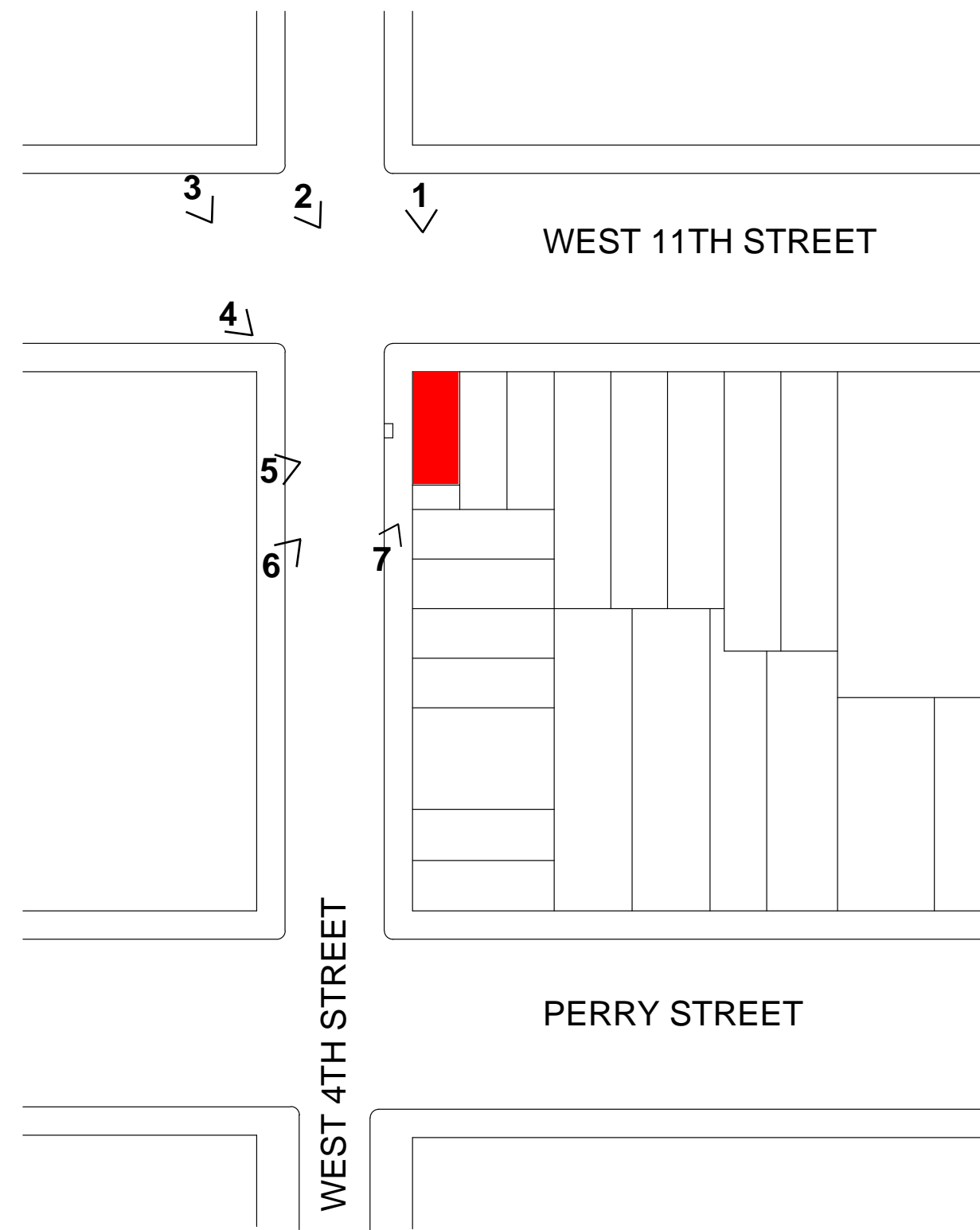
5 - WEST/SOUTH FACADES (WEST 4TH ST)

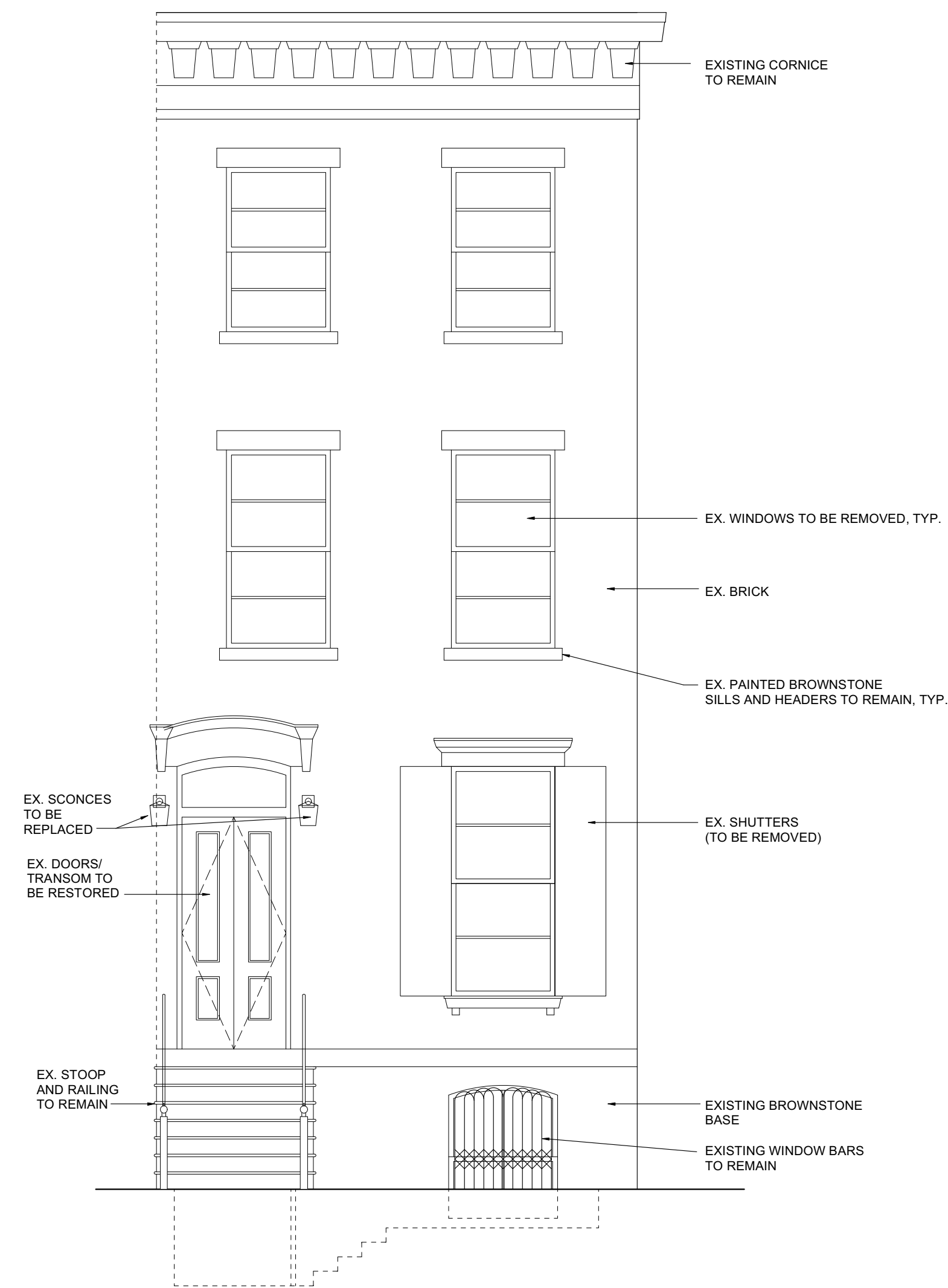


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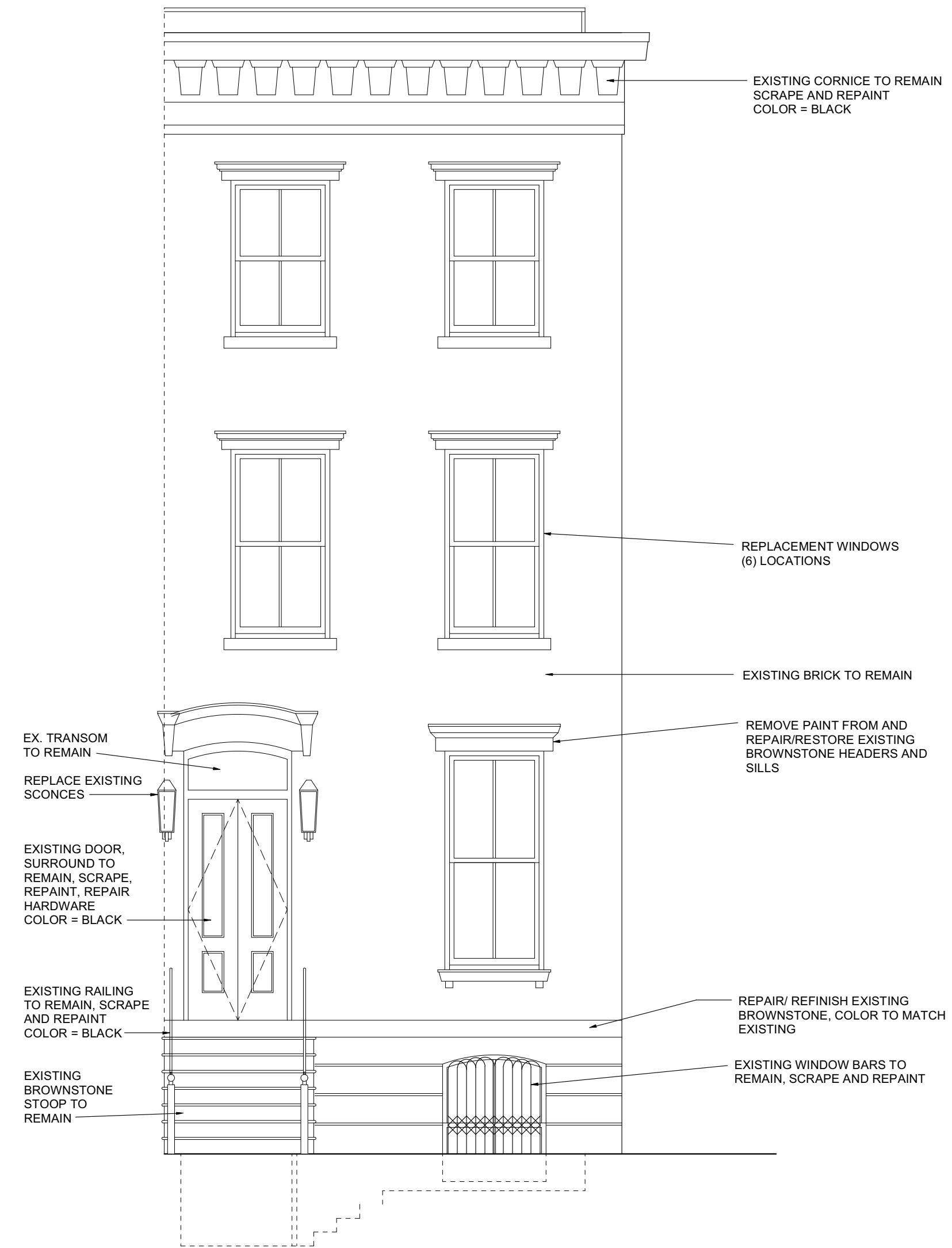


7





1 North Elevation (West 11th Street) Existing



2 North Elevation (West 11th Street) Proposed

ROOF BULKHEAD
ELEVATION = 41'-4"

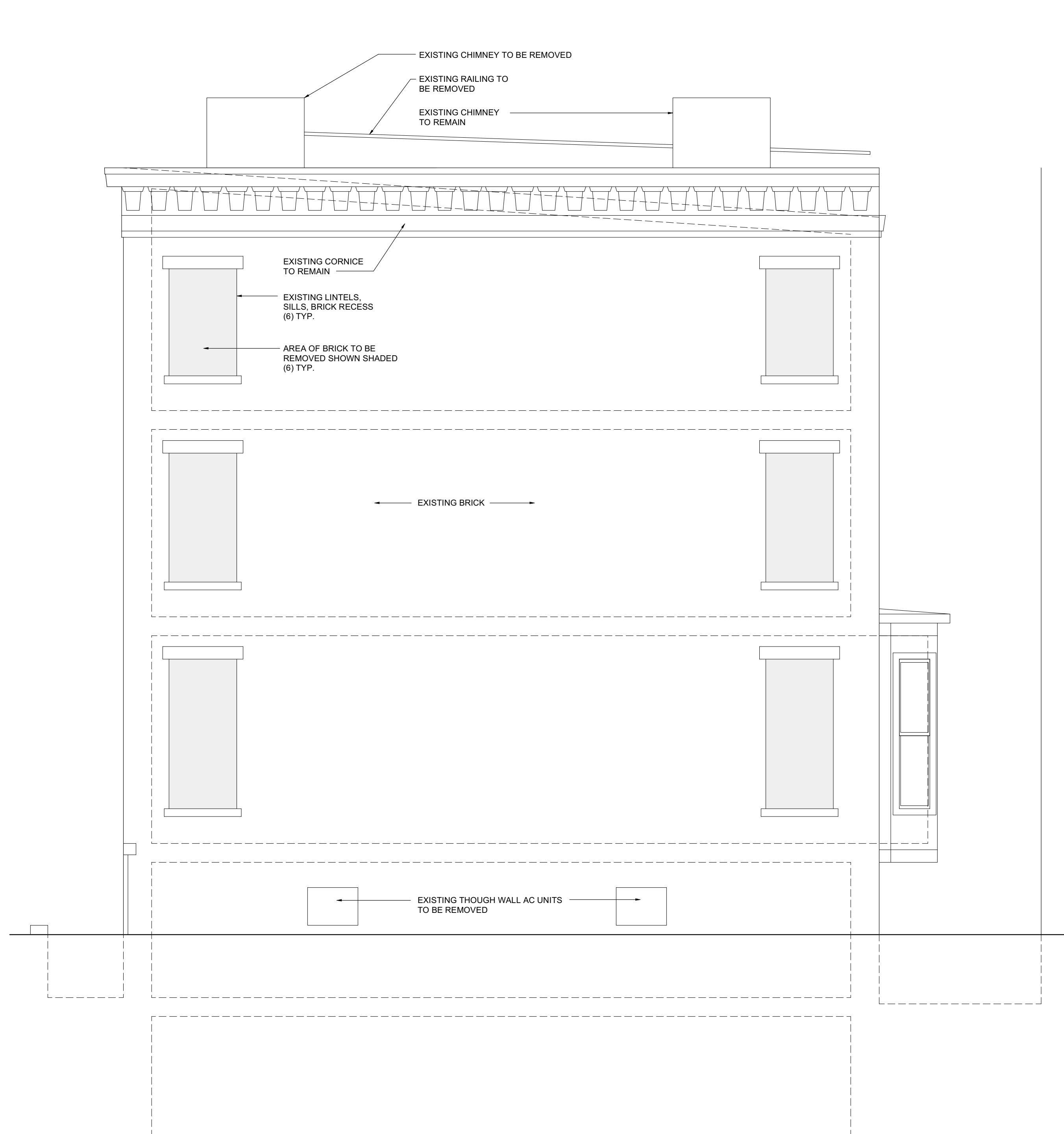
THIRD FLOOR
ELEVATION = 31'-1"

SECOND FLOOR
ELEVATION = 20'-2"

FIRST FLOOR
ELEVATION = 8'-2"

NORTH SIDEWALK
ELEVATION = +3'-4"

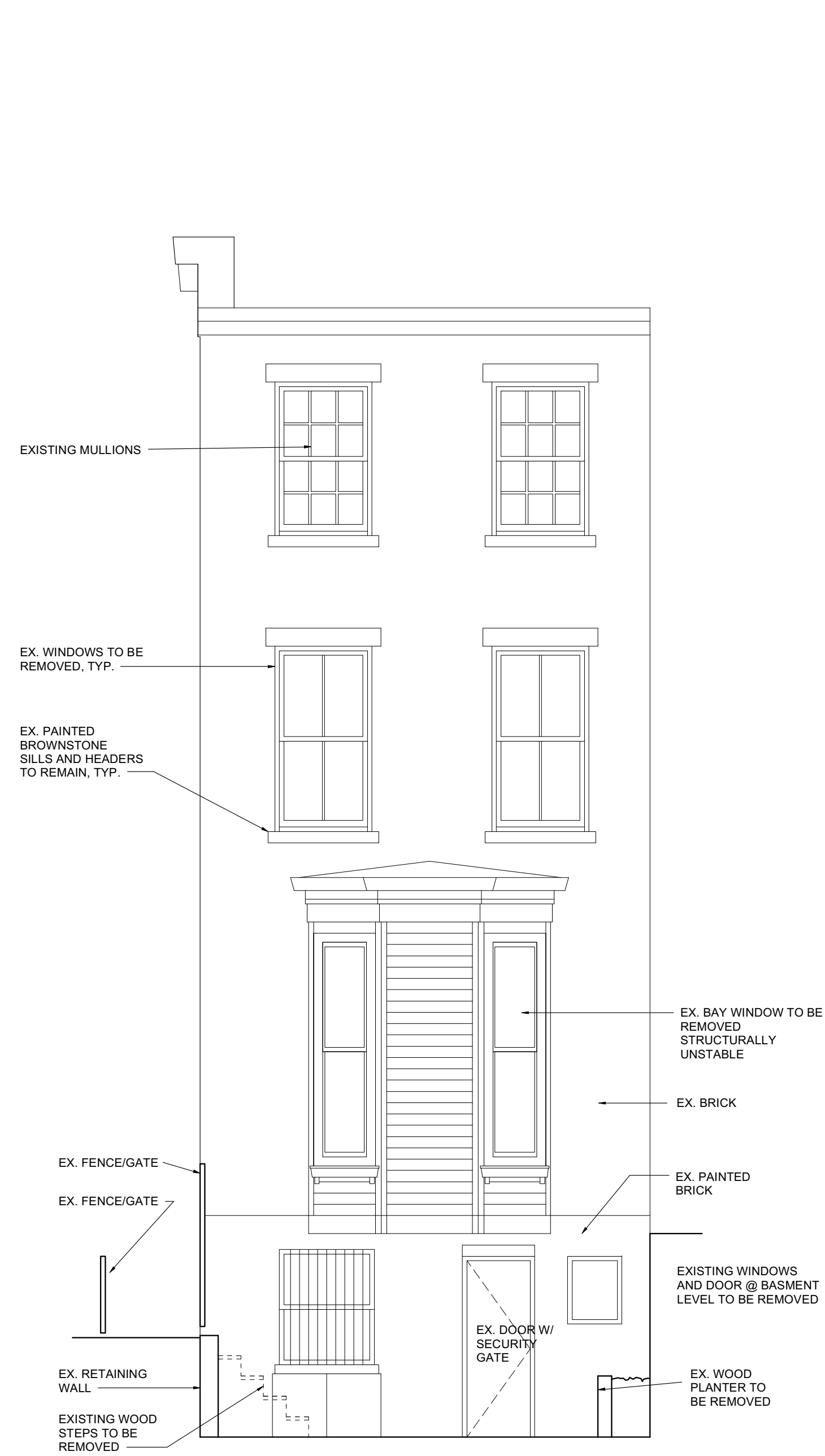
BASEMENT FLOOR
ELEVATION = 0'-0"



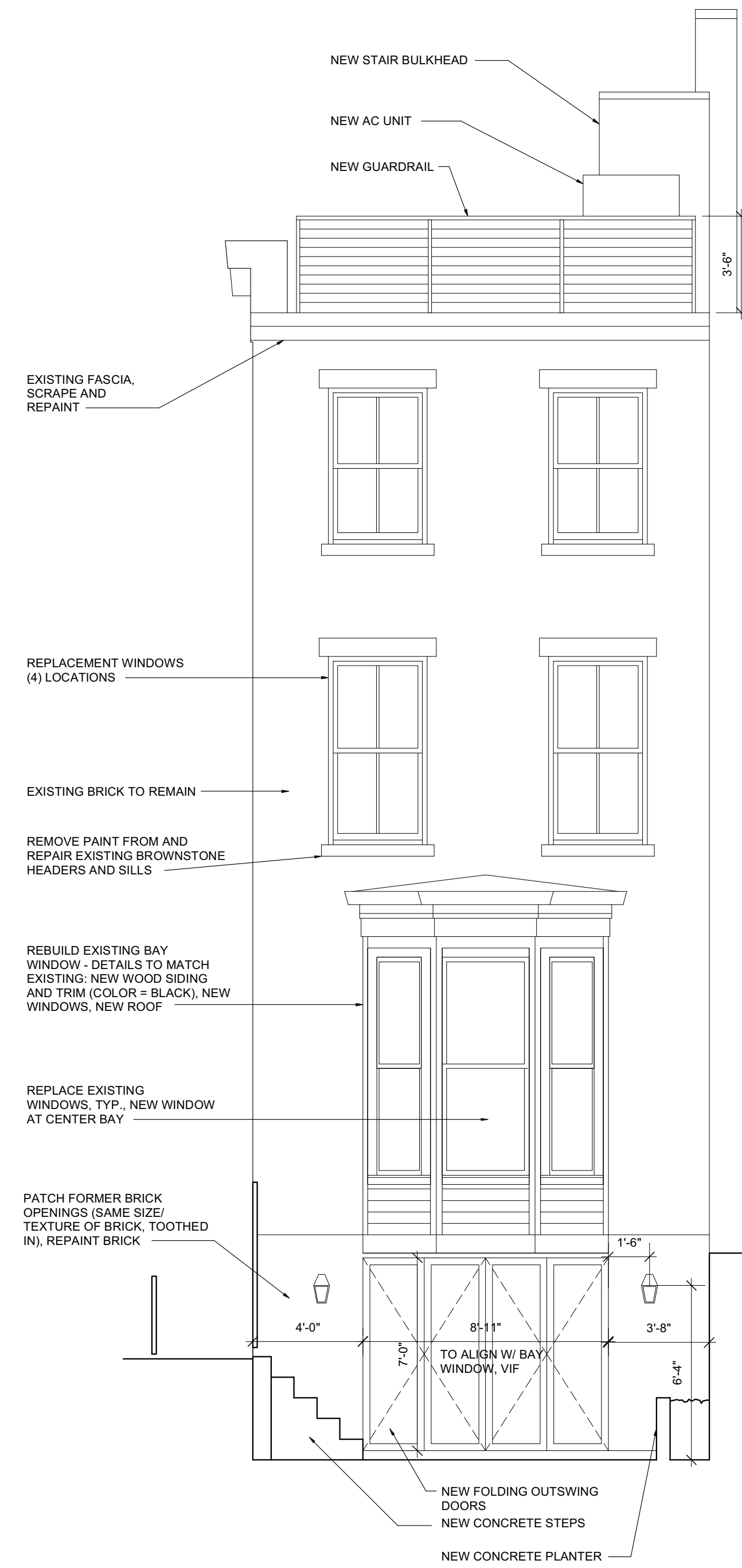
1 West Elevation (West Fourth Street) Existing



2 West Elevation (West Fourth Street)-Proposed



1 South Elevation (Rear Yard)-Existing



2 South Elevation (Rear Yard)-Proposed

TOP OF EXISTING WALL
ELEVATION = 41'-4"

THIRD FLOOR
ELEVATION = 31'-1"

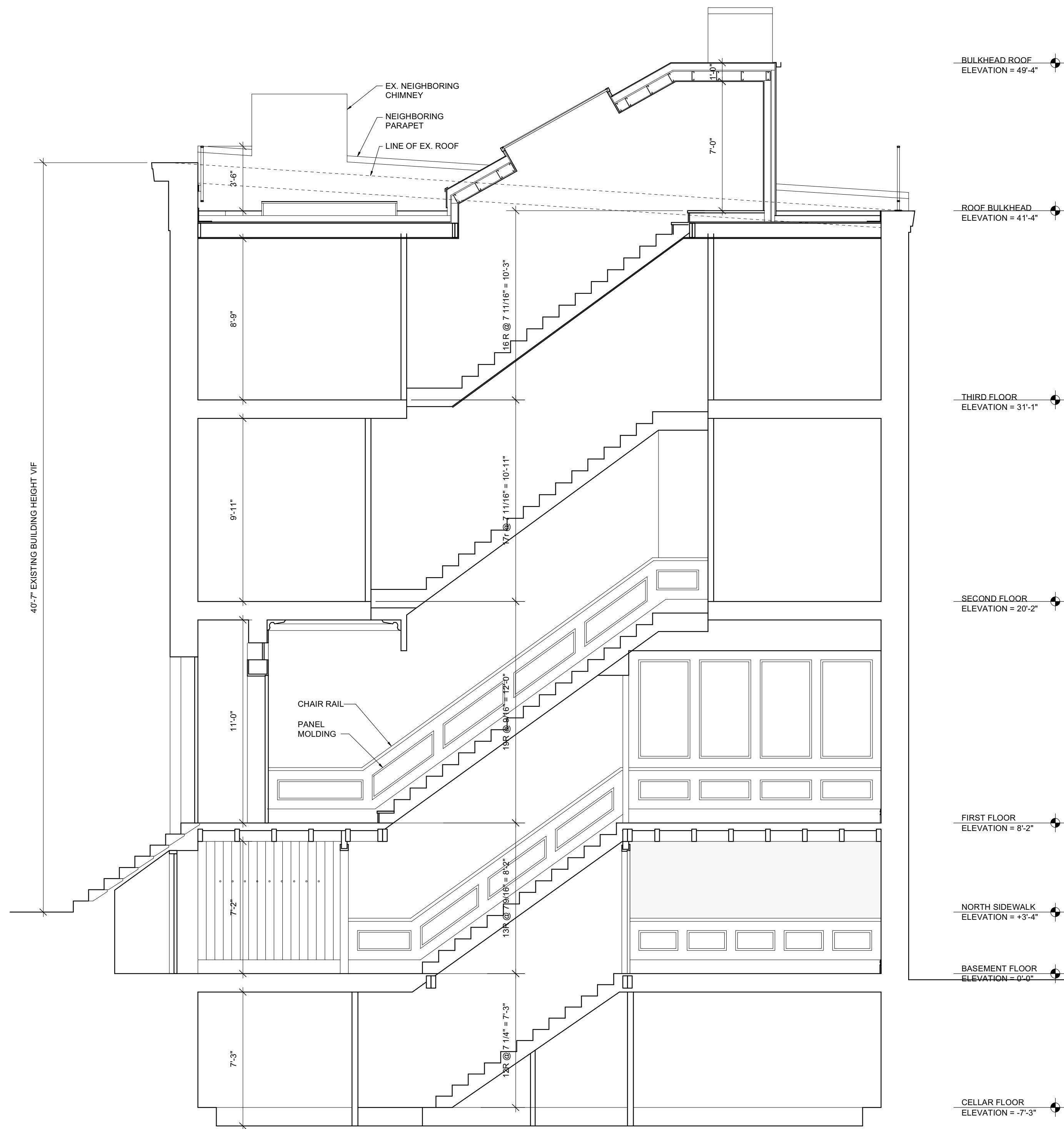
SECOND FLOOR
ELEVATION = 20'-2"

FIRST FLOOR
ELEVATION = 8'-2"

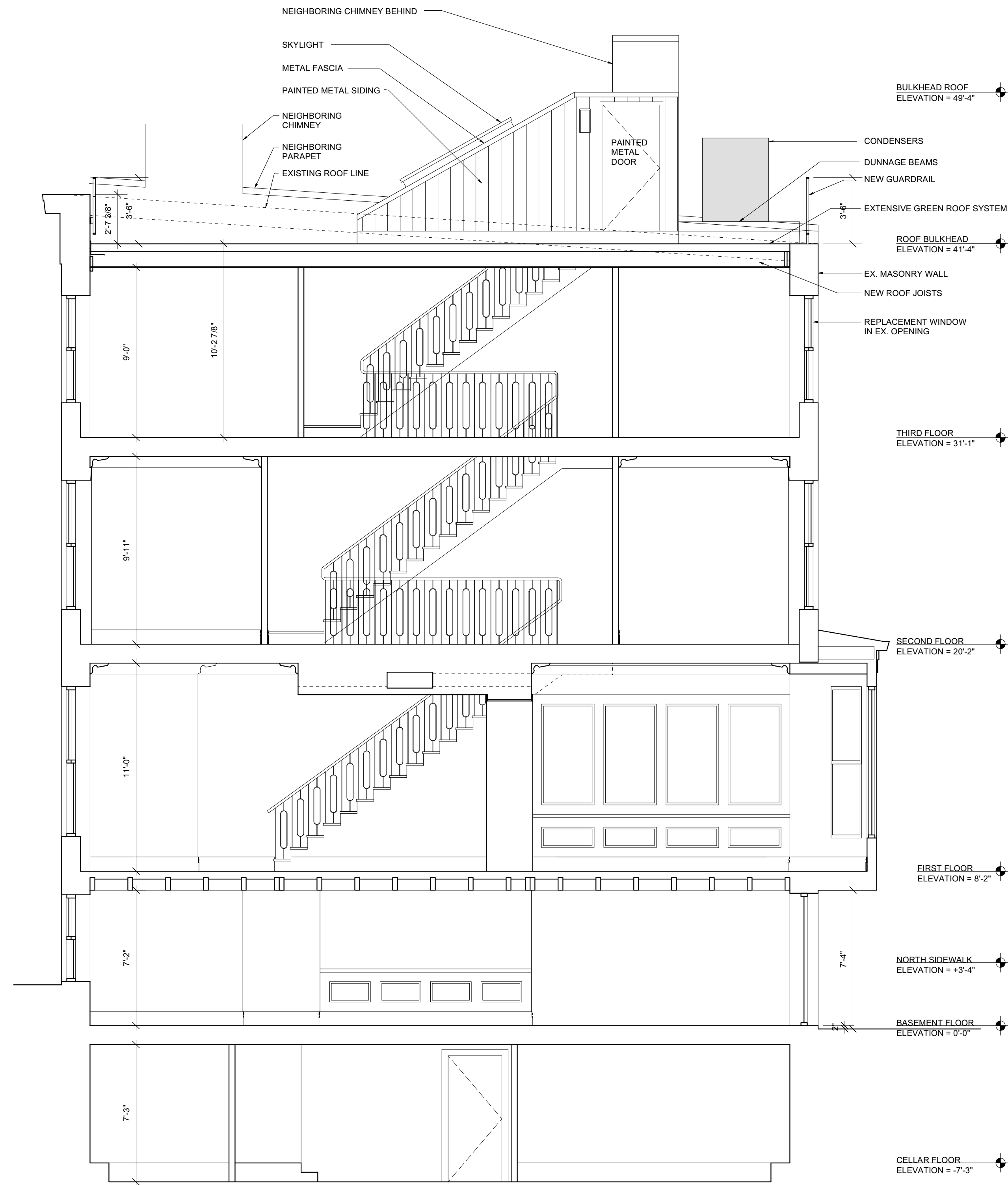
NORTH SIDEWALK
ELEVATION = +3'-4"

BASEMENT FLOOR
ELEVATION = 0'-0"

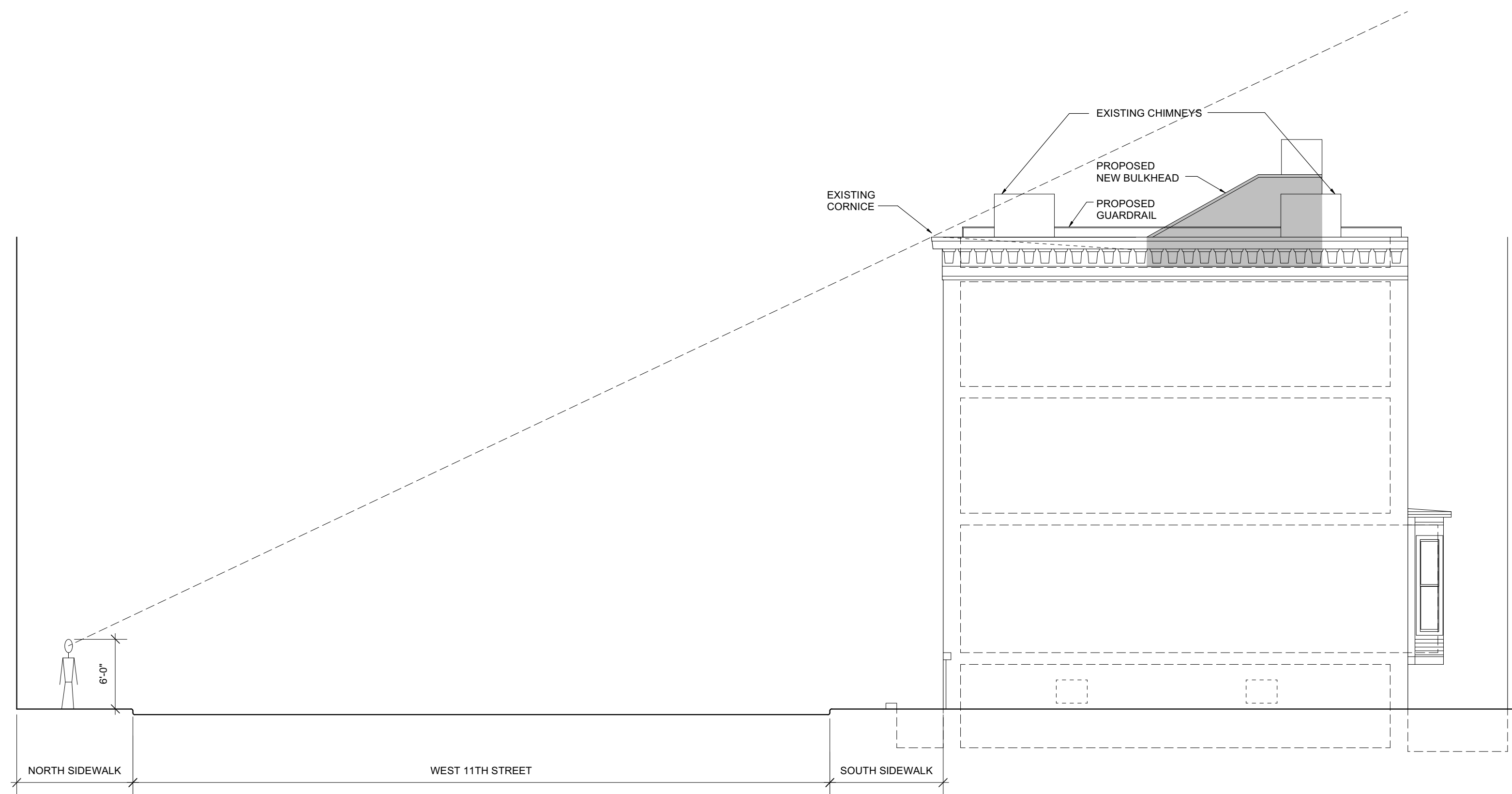
CELLAR FLOOR
ELEVATION = -7'-3"



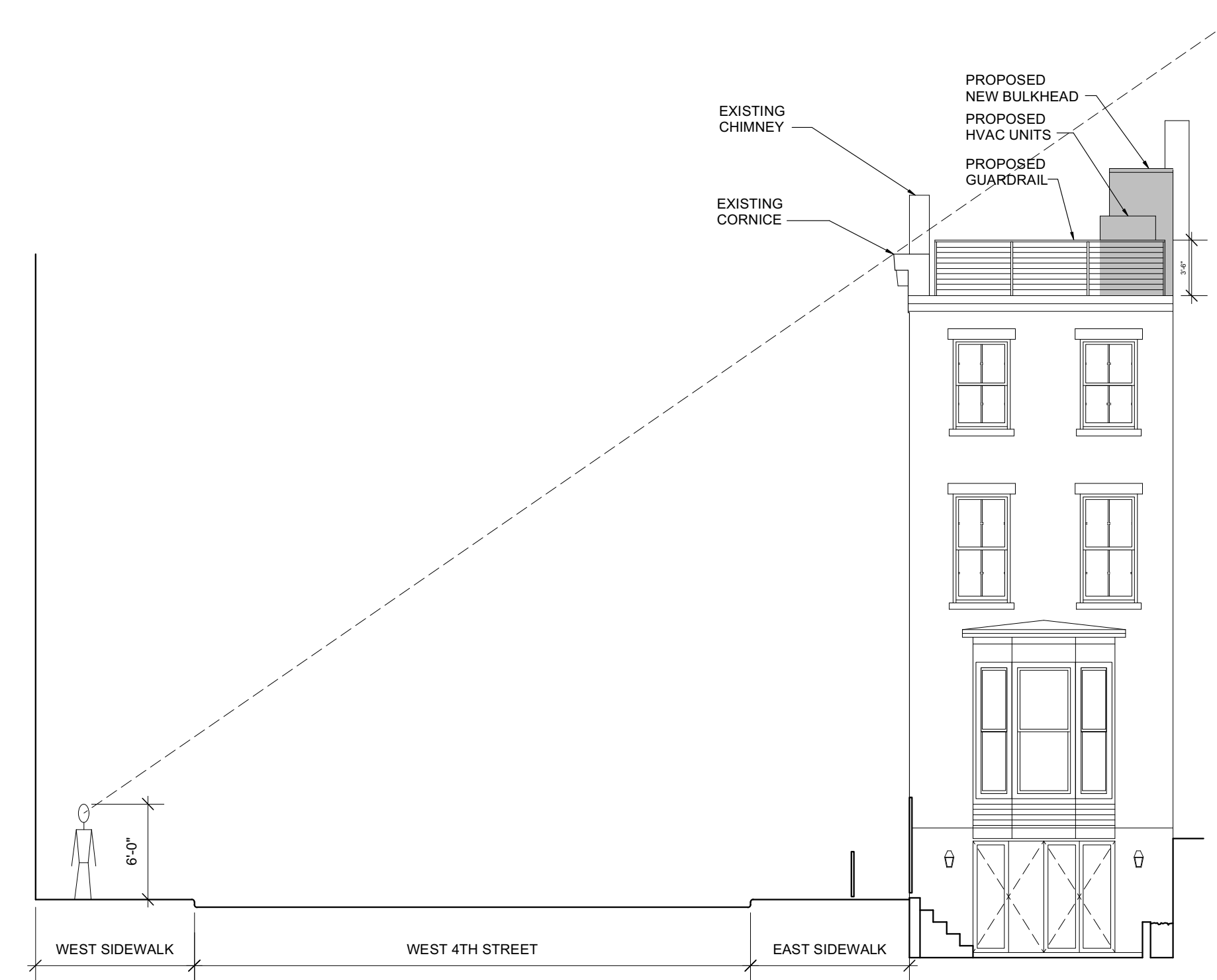
2 North / South Section at Stair



1 North / South Section looking East



1 North / South Section



2 East / West Section

NEIGHBORHOOD VIEWS OF MOCK UP



FROM ACROSS W 11TH STREET



FROM ACROSS W 11TH STREET



FROM ACROSS W 4TH STREET



FROM ACROSS W 4TH STREET

VIEWS ON ROOF



VIEW LOOKING NORTH
(PROPOSED BULKHEAD ON RIGHT)



VIEW LOOKING SOUTH
(PROPOSED BULKHEAD ON LEFT)

VIEWS FROM ROOF



TO THE NORTHWEST



TO THE SOUTHWEST



BAY WINDOW



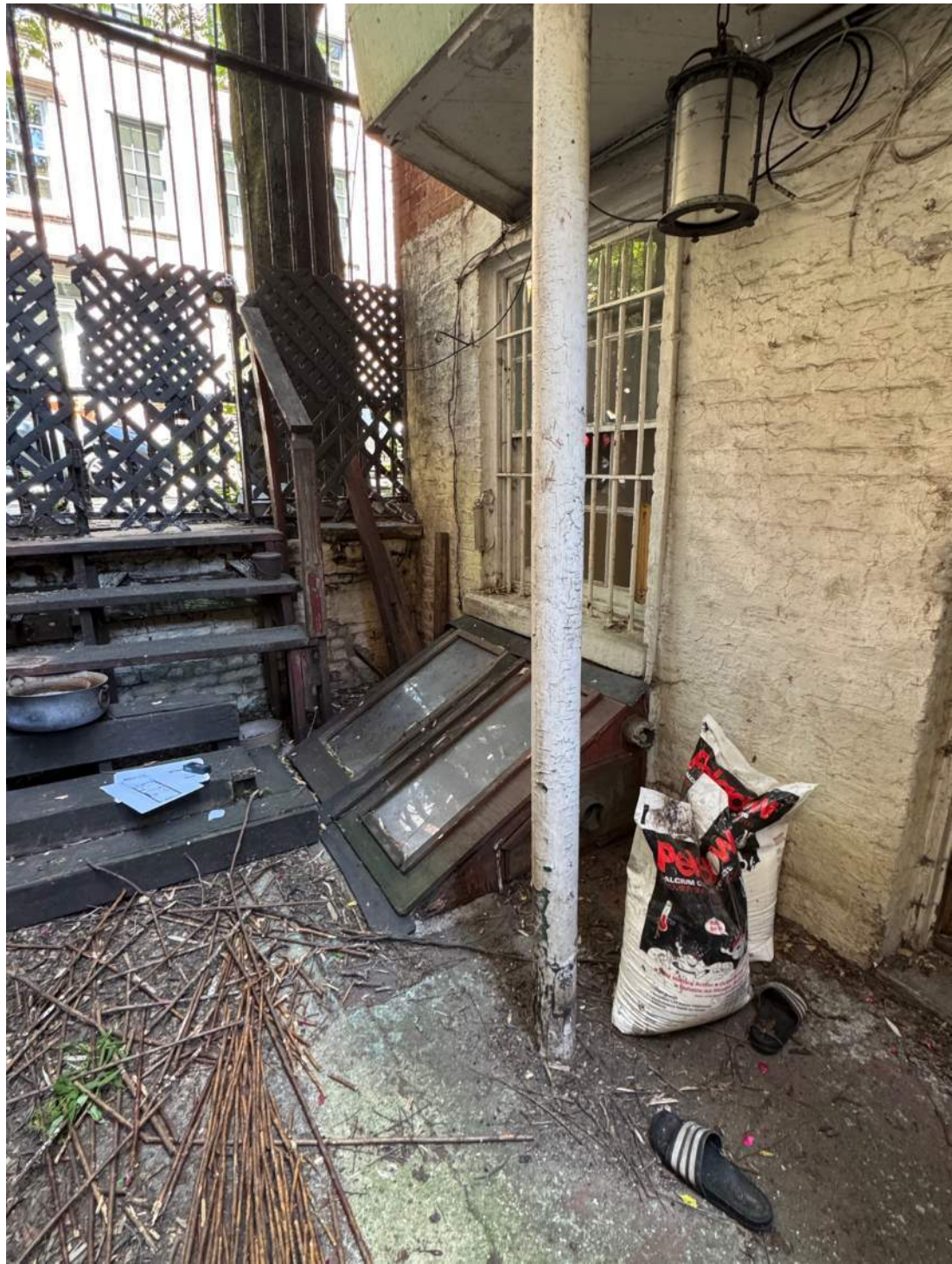
BAY WINDOW



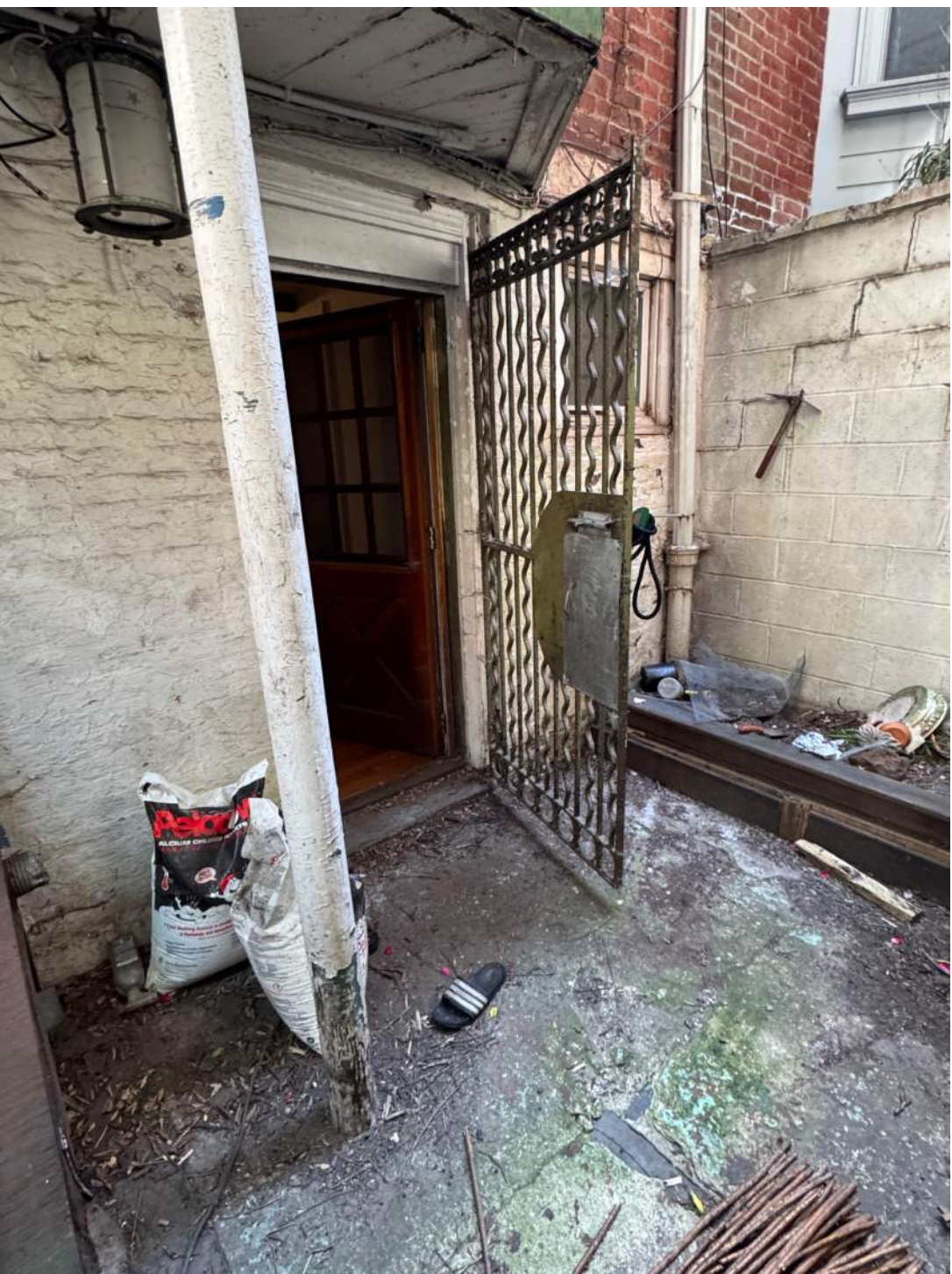
RESTORED BAY WINDOW AT ADJACENT PROPERTY
250 WEST 11TH STREET



BAY DETAIL



BASEMENT FACADE @ REAR YARD



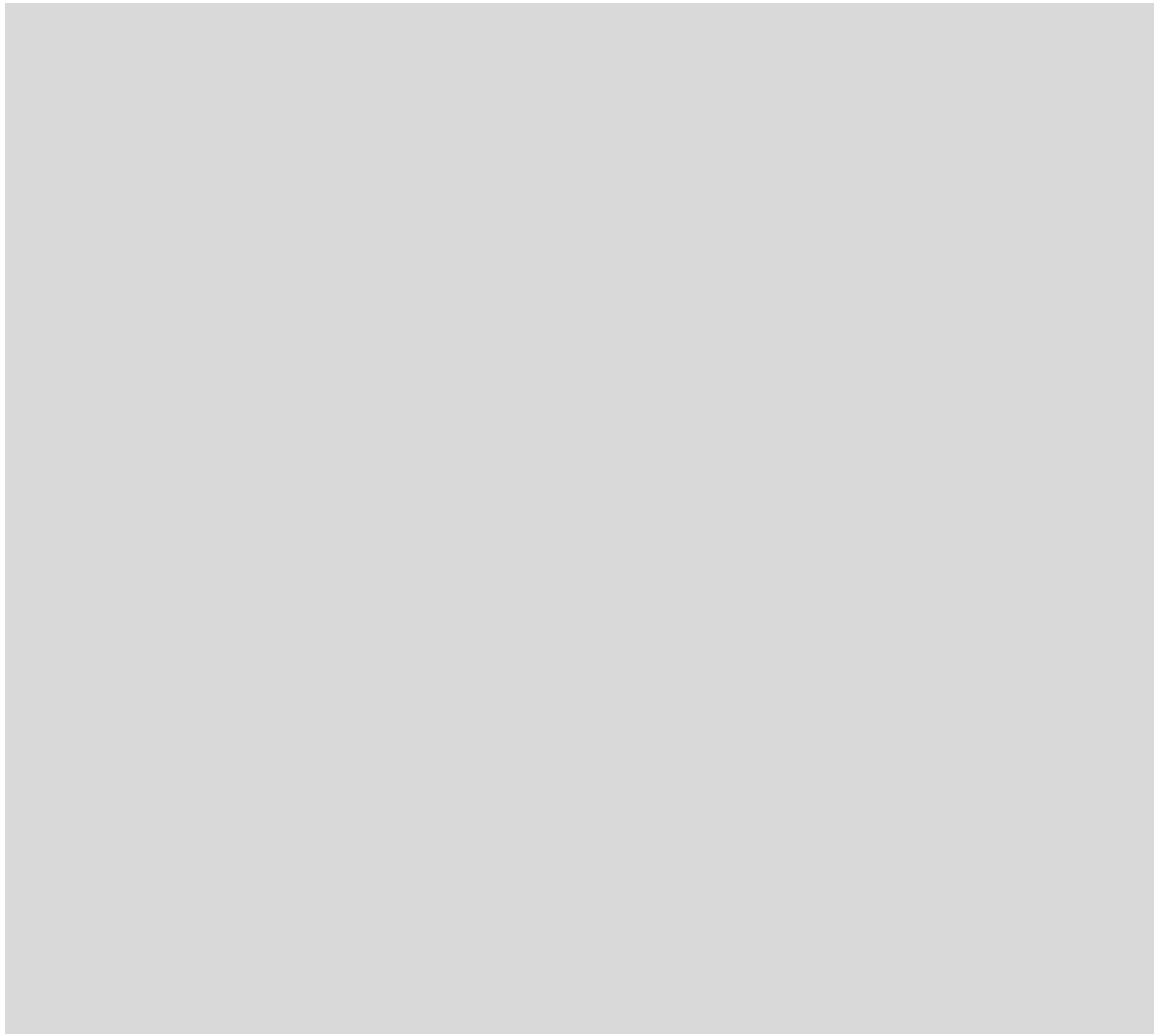


- PAINT COLOR**
- Benjammin Moore Black 2132-10
 - Front door/surround
 - Cornice
 - Fences and gates
 - Window frames and mullions
 - Bay window siding, trim, roof



- CABLE RAILING**
- New roof guardrail
 - Black posts and rail

EXTERIOR LIGHTING



- PAINT COLOR**
- Benjammin Moore Greytint #1611
 - South facade basement level



- Hinkley Georgetown 28895BU**
-8.5" wide x 26.5" tall x 7.5" deep
-12w LED 2700K
-North facade at Parlor entry door



- Hinkley Georgetown 28890BU**
-8" wide x 12.5" tall x 7.5" deep
-12w LED 2700K
-South facade at Basement door



- Hinkley Taper 2144TK**
-7" wide x 15" tall x 3.5" deep
-8w LED 2700K
-Roof Bulkhead Door



- VERTICAL METAL SIDING**
- New stair bulkead
 - Wassau Supply Tru Cedar Ironstone 414 or approved equal, matte finish
 - Bulkhead hollow metal door painted to match

EXTERIOR MECHANICAL



- BLUESTONE**
- Pavers rear yard and roof
 - Blue select color
 - Thermal finish



- CHIMNEY DRAFT INDUCER**
- Low profile
 - Northline NLE5SA_1208
 - 17" X 17" X 16" tall

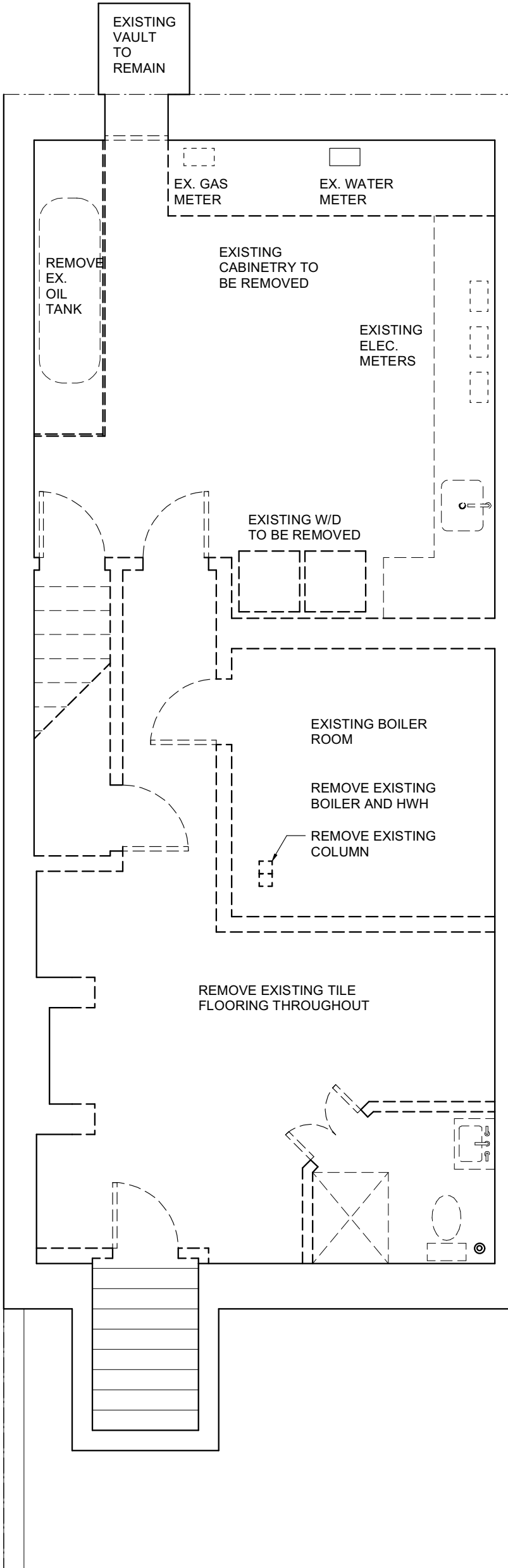
- AC CONDENSERS**
- Mitsubishi MXZ-SM42NLHZ
 - 42" wide x 13" deep x 53" tall
 - Two units located on roof

LEGEND

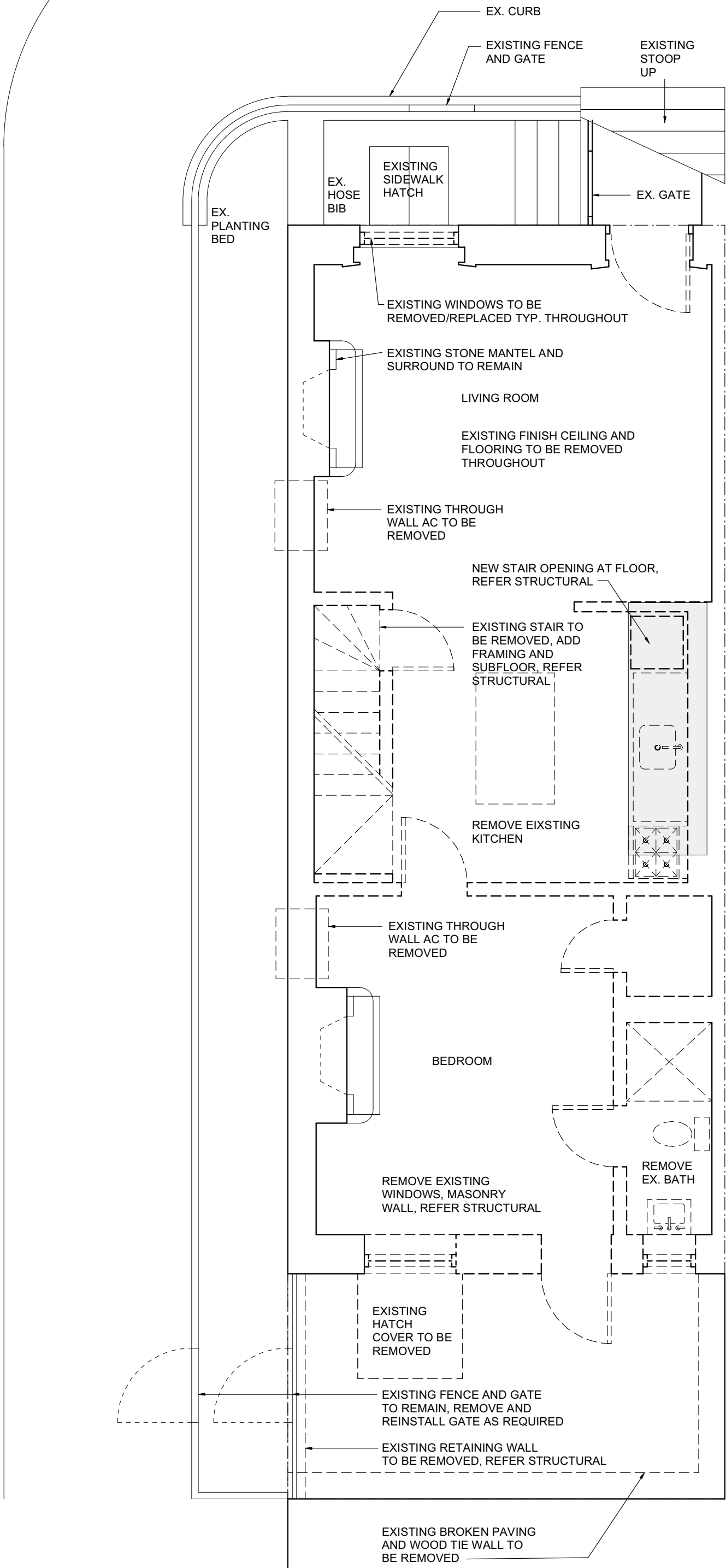
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

THROUGHOUT:

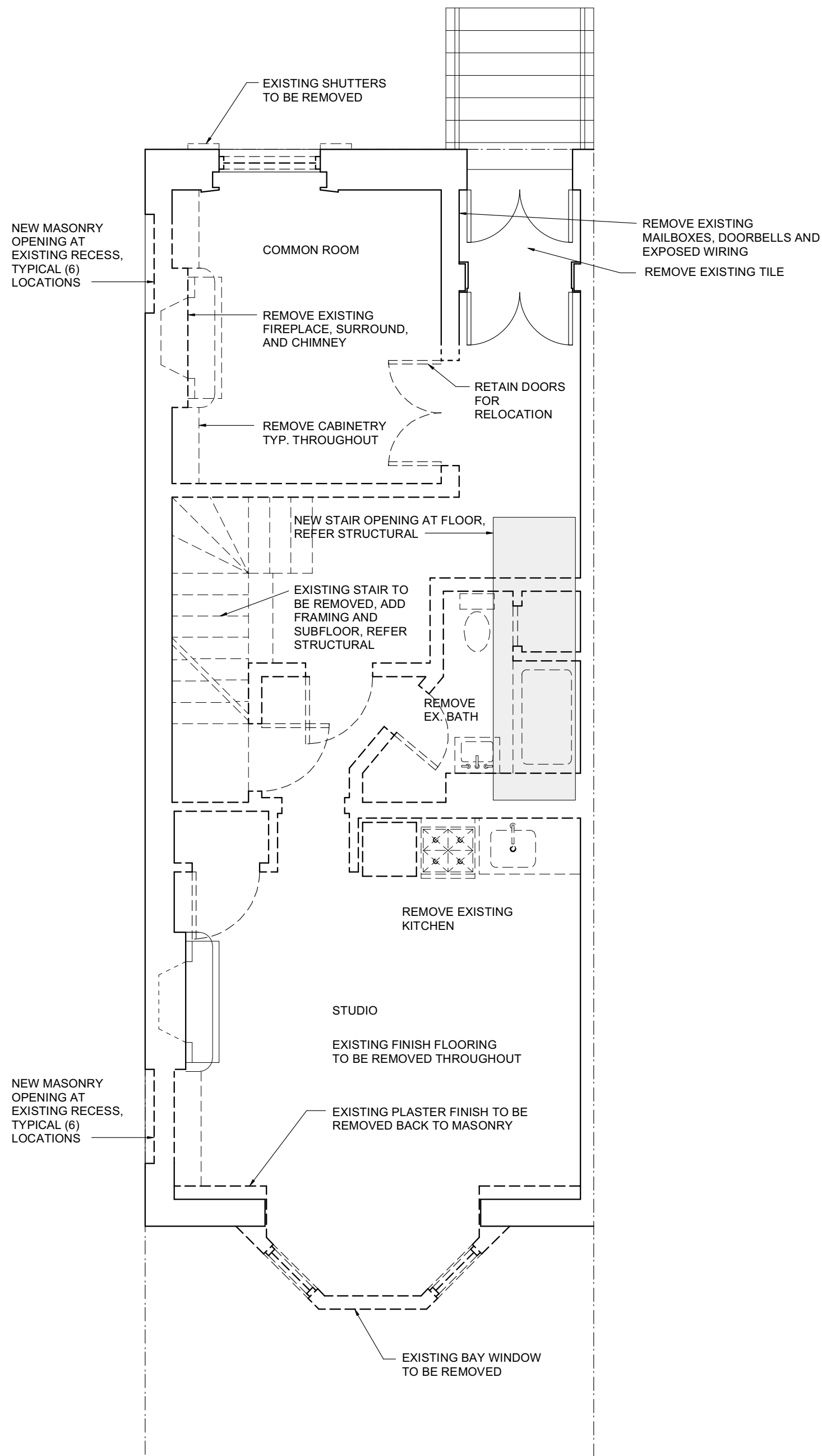
1. PROTECT ALL EXISTING WALLS, FINISHES, PIPING, ETC. TO REMAIN.
2. THE CONTRACTOR SHALL MAKE ADEQUATE PROBES TO EXISTING PARTITIONS, SOFFITS AND HEADERS TO BE REMOVED TO DETERMINE THE PRESENCE OF ANY STRUCTURAL ELEMENTS, RISERS, ETC. PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR MUST CONTROL DUST AND NOISE TO THE MAXIMUM EXTENT DURING THE DEMOLITION AND CONSTRUCTION WITHIN THE BUILDING
4. THE CONTRACTOR SHALL COMPLY WITH "THE USE OF LEAD-SAFE PRACTICES" FOR WORK IMPACTING 6 SQ. FT. OR MORE OF LEAD PAINT IN BUILDINGS ERECTED BEFORE 1978, AND ALL APPLICABLE STATE AND LOCAL REGULATIONS. PROPOSED WORK MUST ALSO COMPLY WITH THE FEDERAL EPA RULE ISSUED APRIL 22, 2008 AND LOCAL LAW 31/2020.
5. PROPER FIRE EXTINGUISHERS AND SAFETY PRECAUTIONS MUST BE UNDERTAKEN AND PROVIDED FOR THROUGHOUT THE PROJECT.
6. NO ADVERTISEMENT SIGNS OR BANNERS CAN BE PLACED IN WINDOWS, TERRACES OR DOORS.



1 Cellar Level



2 Basement Level



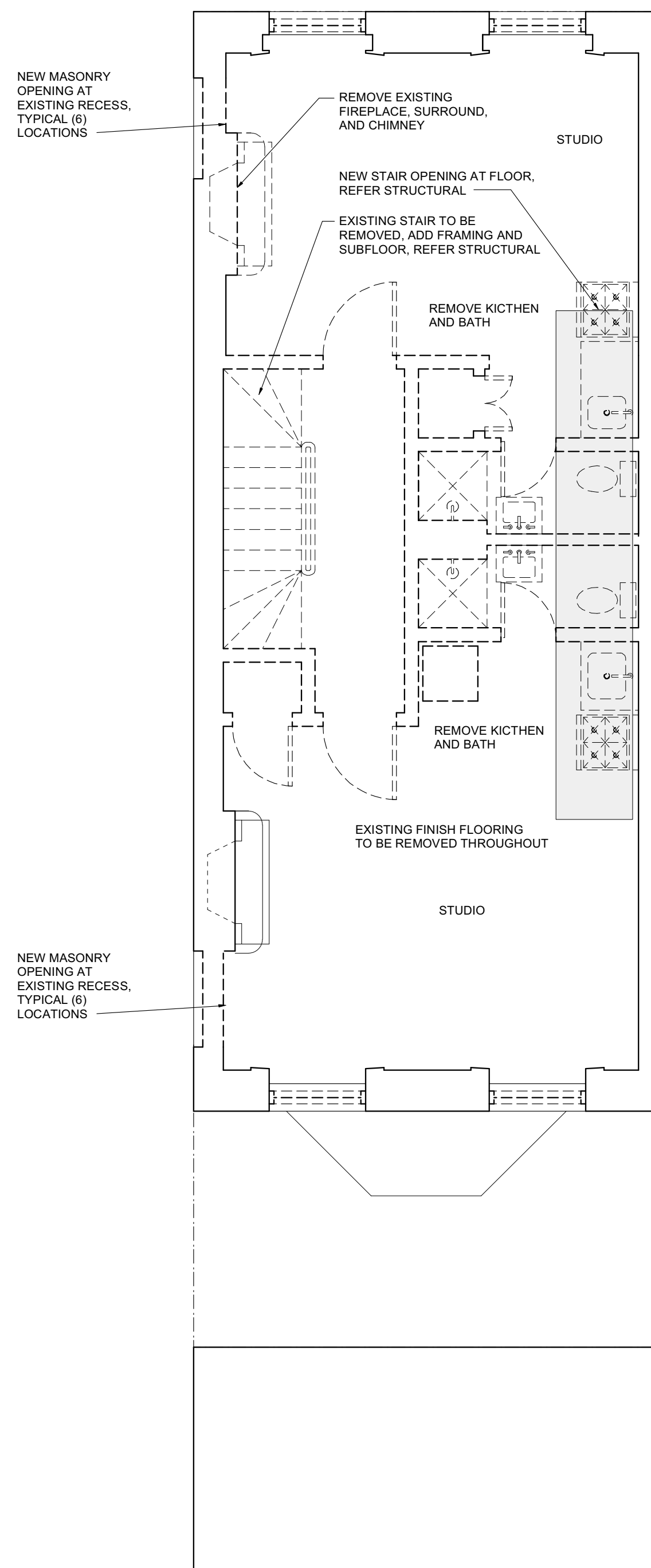
3 First Floor (Parlor)

LEGEND

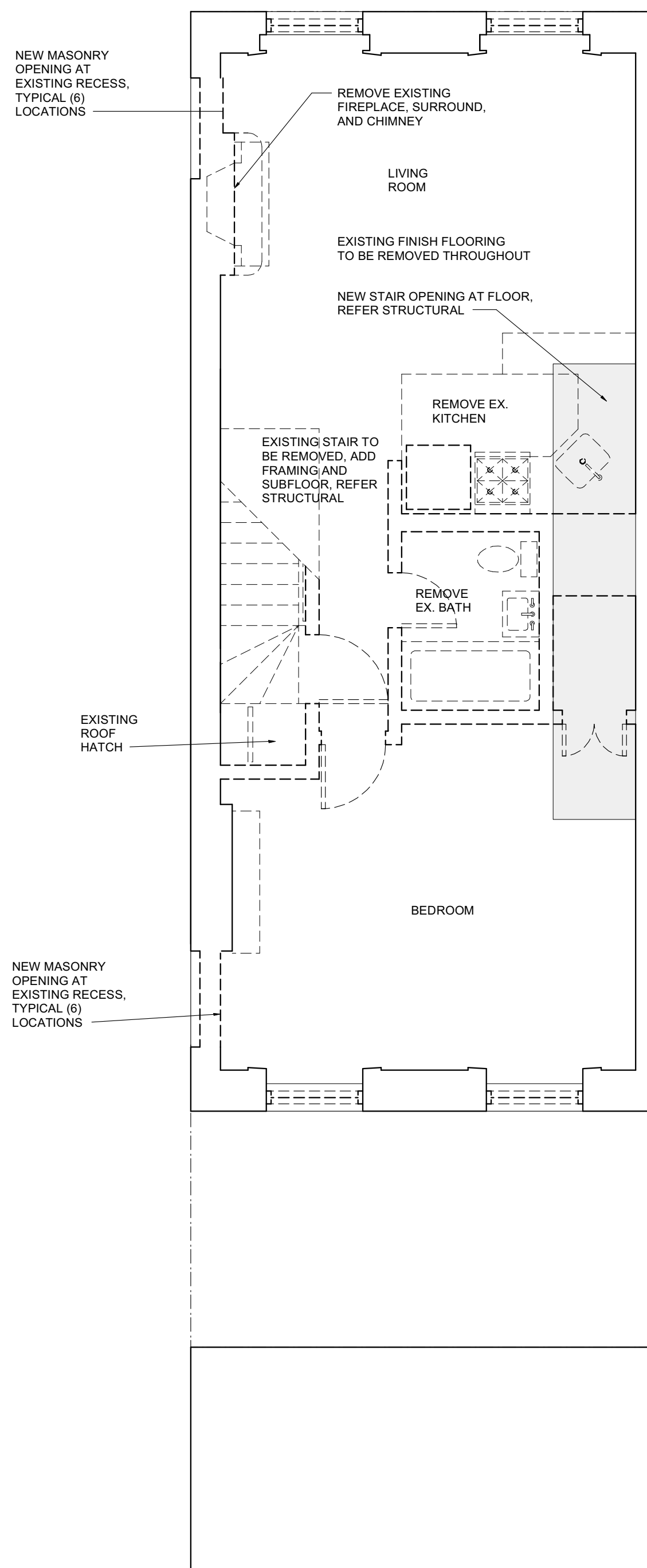
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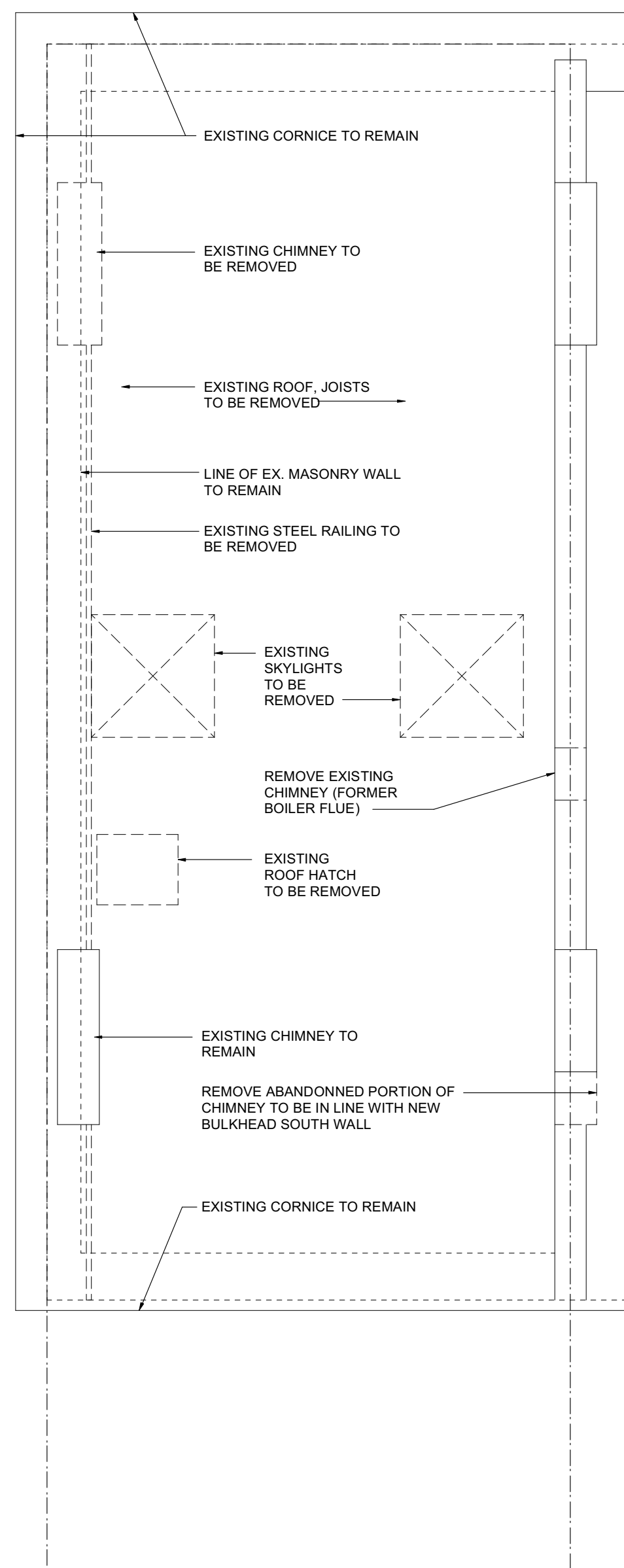
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1 Second Floor



2 Third Floor



3 Roof

EXISTING BUILDING WALL TO REMAIN

NEW FULL HEIGHT PARTITION OF METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GWB EACH SIDE, STUD SIZE VARIES, REFER TO PLANS, INCLUDE 2" MINERAL WOOL INSULATION TYPICAL

NEW FULL HEIGHT 1 HOUR RATED PARTITION OF 2 1/2" METAL STUDS @ 16" O.C. W/ ONE LAYER TYPE ULIX 5/8" GWB ONE SIDE AND (2) LAYERS TYPE ULIX OTHER SIDE INCLUDE 2" FIBERGLASS INSULATION TYPICAL UL # U419 (MECHANICAL ROOM)

NEW BRICK MASONRY, BRICK SIZE, COLOR, TEXTURE TO MATCH EXISTING, TOOTHED INTO ADJACENT BRICKS

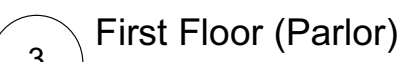
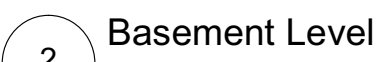
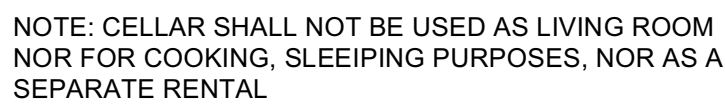
NEW 3 HOUR RATED WALL, 6" CMU GROUTED SOLID, REFER TO STRUCTURAL

FLUID APPLIED VAPOR PERMEABLE MEMBRANE, METAL SIDING EXTERIOR, 5/8" DRYWALL FINISH ON METAL FURRING CHANNELS INTERIOR (STAIR BULKHEAD/PARTY WALL)

NEW EXTERIOR BULKHEAD WALL - 4" METAL STUDS @ 16" OC REFER TO STRUCTURAL

MINERAL WOOL INSULATION, 3/4" SHEATHING, 2" POLY ISO RIGID INSULATION, VAPOR PERMEABLE MEMBRANE, METAL SIDING EXTERIOR, 5/8" DRYWALL FINISH INTERIOR

- ANY EXISTING OPENINGS BETWEEN FLOORS OR WALLS EXPOSED DURING CONSTRUCTION SHALL BE FIREFASATED AT THE TOP AND BOTTOM WITH HILTI FS 1000 APPROVED EQUAL TO PREVENT DUST, AIR, FUME AND RODENT TRANSFER
- CONTRACTOR SHALL UTILIZE LOW/VOC AND ENVIRONMENTALLY COMPATIBLE PRODUCTS FOR PAINT, VARNISHES, SEALERS, STRIPPERS, ETC. ALL PAINTS TO BE TAKEN FROM THE SUPPLY OF MOLD AND MILDEW AS PER 2014 BUILDING CODE #2506.3 AND 2509
- ALL EXISTING OUTLETS, MECHANICAL VENTILATION, PLUMBING AND OTHER PENETRATIONS IN THE PARTY/CHASE WALLS MUST BE PROPERLY SEALED TO PREVENT DUST, AIR, FUME AND RODENT TRANSFER
- NEGATIVE AIR FILTERED MACHINES MUST BE UTILIZED DURING ANY WORK THAT WOULD CREATE DUST AND/OR FUMES.

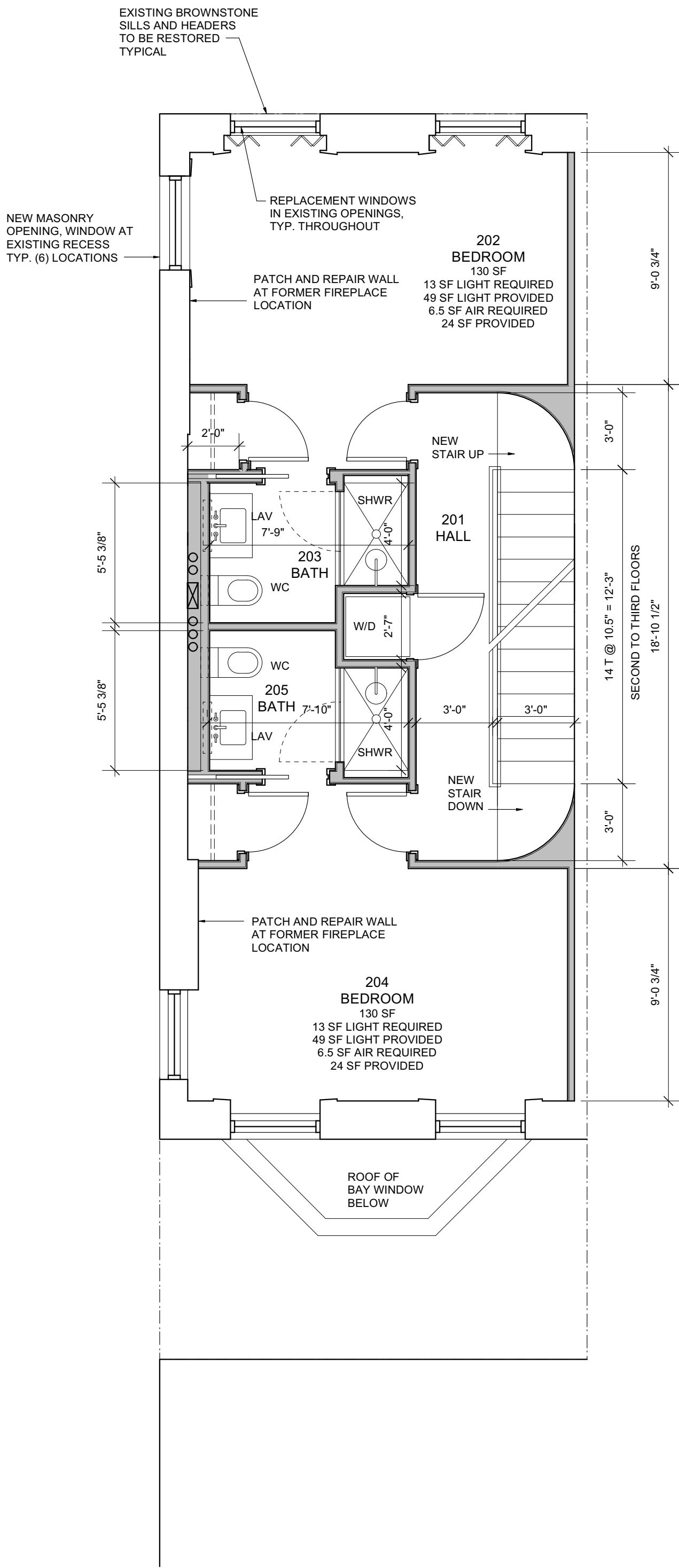


LEGEND

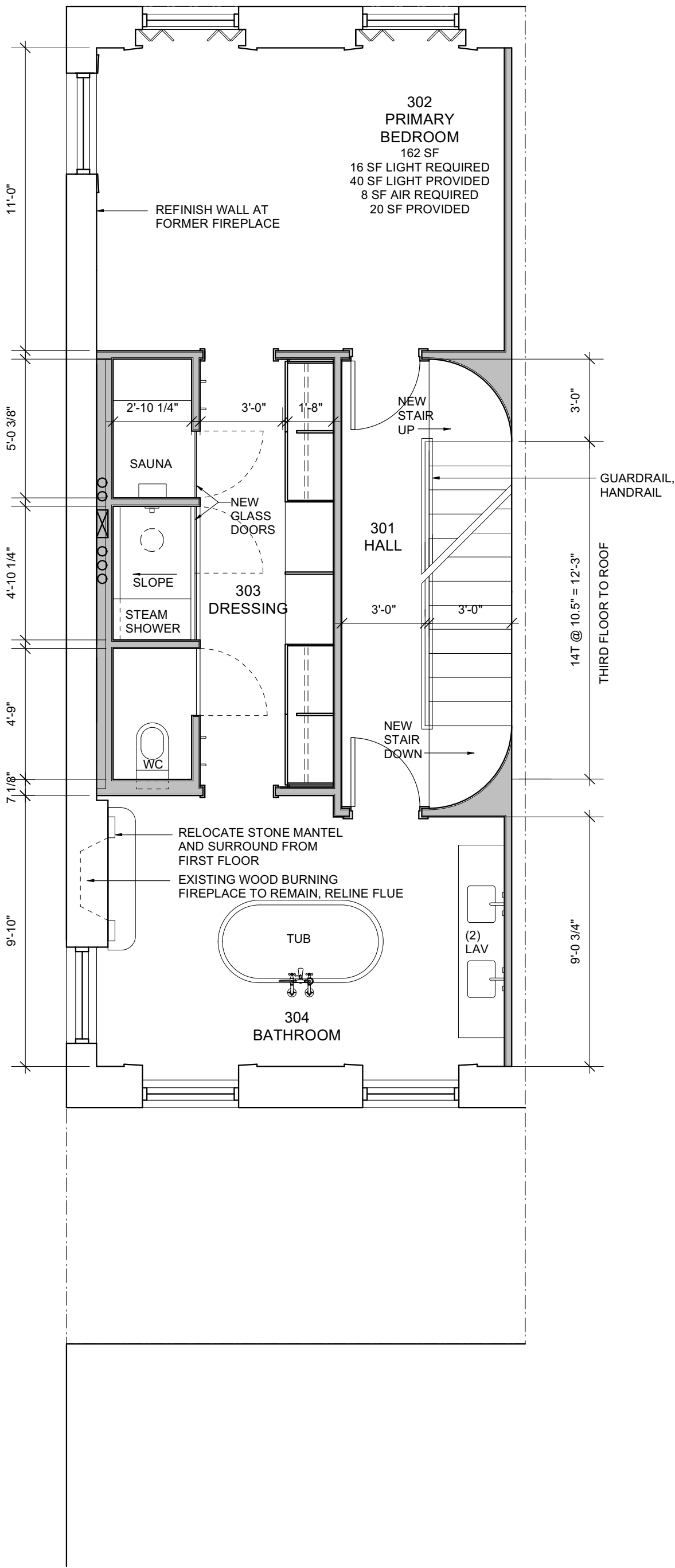
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- NEW EXTERIOR BULKHEAD WALL - 4" METAL STUDS @ 18" OC REFER TO STRUCTURAL MINERAL WOOL INSULATION 3/4" SHEATHING, 2" POLY ISO RIGID INSULATION, VAPOR PERMEABLE MEMBRANE, METAL SIDING EXTERIOR, 5/8" DRYWALL FINISH INTERIOR

NOTES:

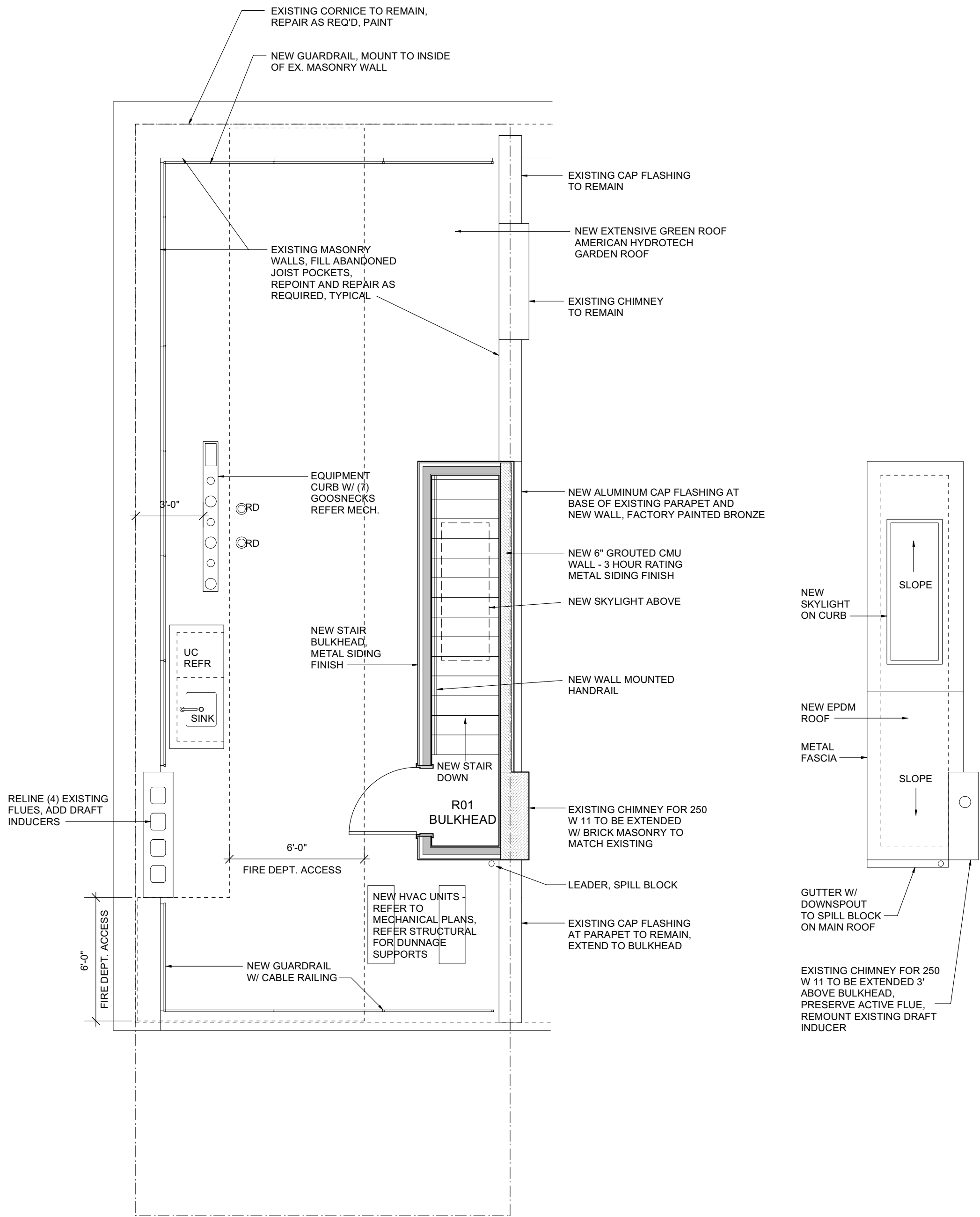
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- CONTRACTOR SHALL UTILIZE LOW/NO VOC AND ENVIRONMENTALLY COMPATIBLE PRODUCTS FOR PAINT, VARNISHES, SEALERS, STRIPPERS, ETC.
- ALL STEPS SHALL BE TAKEN TO REDUCE THE POSSIBILITY OF MOLD AND MILDEW AS PER 2014 BUILDING CODE #2506.3 AND 2509.
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1 Second Floor


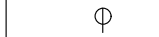







2 Third Floor



3 Roof

4 Roof Bulkhead

SYMBOL	LIGHT FIXTURE DESCRIPTION
	NEW UNDER CABINET/CLOSET LED LIGHTING
	NEW LED WALL SCONCE
	NEW CHANDELIER/PENDANT FIXTURE
	NEW LED SURFACE MOUNTED FIXTURE
	NEW 4" LOW PROFILE RECESSED "WAFER" LED FIXTURE WAC LOTOS, 2700K, 9W
	NEW RECESSED DOWNLIGHT - ROUND, WHITE, FLANGELESS BEVEL (TAPED INTO DRYWALL), VISUAL COMFORT EXTRA CL 3" LED 2700K 15 W, EX. = NEW FIXTURE IN EXISTING LOCATION, GC TO REPAIR DRYWALL/ PLASTER AS REQUIRED FOR INSTALLATION, ARROW INDICATES WALLWASHER TRIM
	LANDSCAPE LED STEP LIGHTING

LEGEND

⌚ LIGHT SWITCH
NEW FORBES AND LOMAX ROTARY DIMMER, 38" AFF TYPICAL
-AGED UNLACQUERED BRASS FINISH
-PROVIDE TOGGLE SWITCH FOR FANS
-WHERE 2 OR MORE SWITCHES ARE TOGETHER, PROVIDE A SINGLE COVERPLATE
-AT CELLAR LEVELM LUTRON DIVA DIMMERS, WHITE FINISH
-J= JAMB SWITCH

Ⓢⓐ NEW SMOKE/CARBON MONOXIDE DETECTOR HARDWIRED

TS NEW REMOTE THERMOSTAT SENSOR, REFER TO MECHANICAL DRAWINGS

Ⓣ NEW THERMOSTAT, REFER TO MECHANICAL DRAWINGS

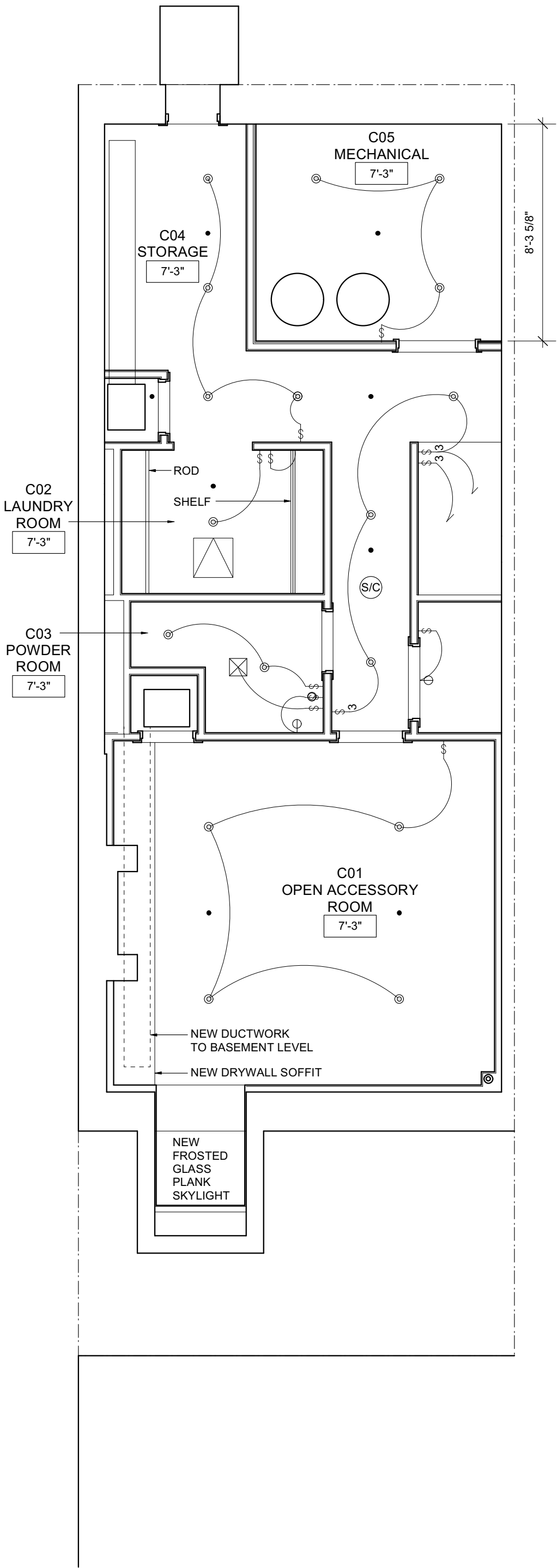
☒ NEW EXHAUST FAN GRILLE TAPED IN BORDER, REFER TO MECHANICAL DRAWINGS

≡ NEW LINEAR BAR GRILLE, ARCHITECTURAL GRILLE, PRIMED FINISH, TAPED IN BORDER, REFER TO MECHANICAL DRAWINGS

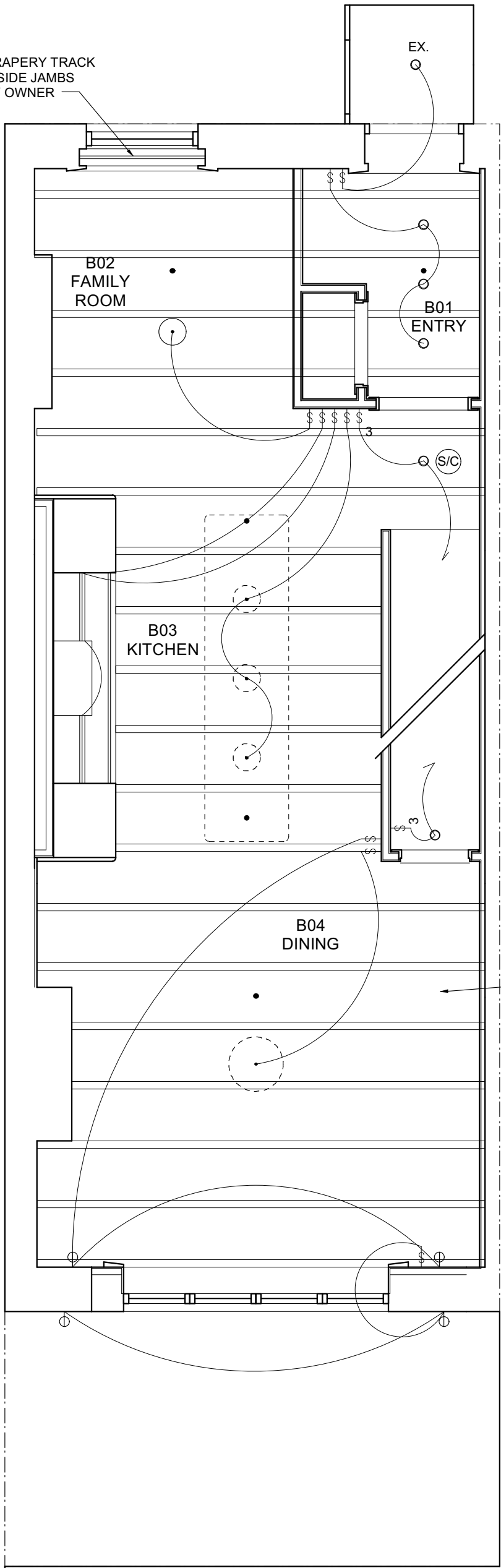
◀ NEW ACCESS PANEL - DRYWALL FINISH, TAPED IN BORDER

• NEW CONCEALED SPRINKLER HEAD, WHITE, REFER TO ENGINEERING DRAWINGS, ALIGN WITH LIGHT FIXTURES AND/OR OTHER CEILING ELEMENTS

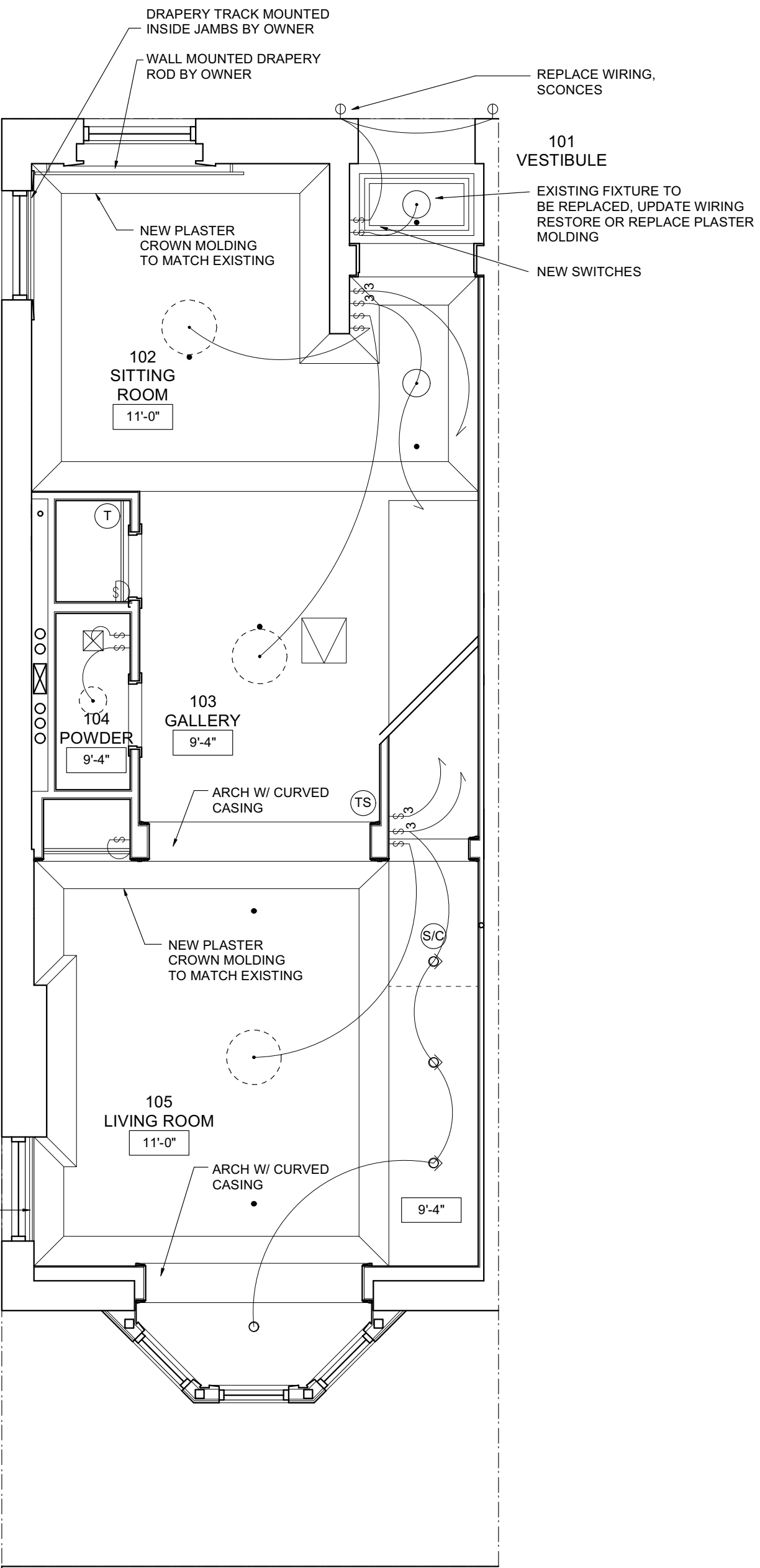
STRUCTURAL, MECHANICAL, SPRINKLER AND PLUMBING ELEMENTS ARE SHOWN FOR REFERENCE, THIS SCOPE OF WORK IS INCLUDED IN RESPECTIVE FILINGS, TYPICAL



1 Cellar Level



2 Basement Level



3 First Floor (Parlor)

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	NEW UNDER CABINET/CLOSET LED LIGHTING
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- Ⓢ/Ⓒ

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- TS

NEW REMOTE THERMOSTAT SENSOR, REFER TO MECHANICAL DRAWINGS
- Ⓣ

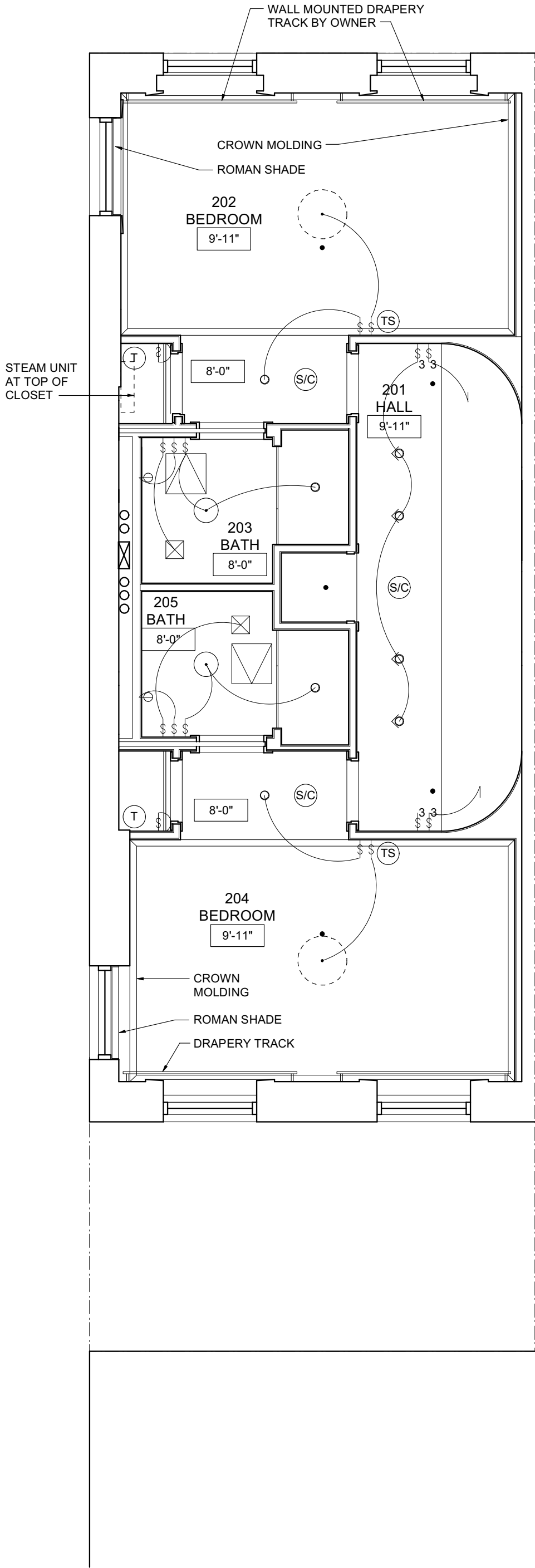
NEW THERMOSTAT, REFER TO MECHANICAL DRAWINGS
- ⊠

NEW EXHAUST FAN GRILLE TAPED IN BORDER, REFER TO MECHANICAL DRAWINGS
- ▨

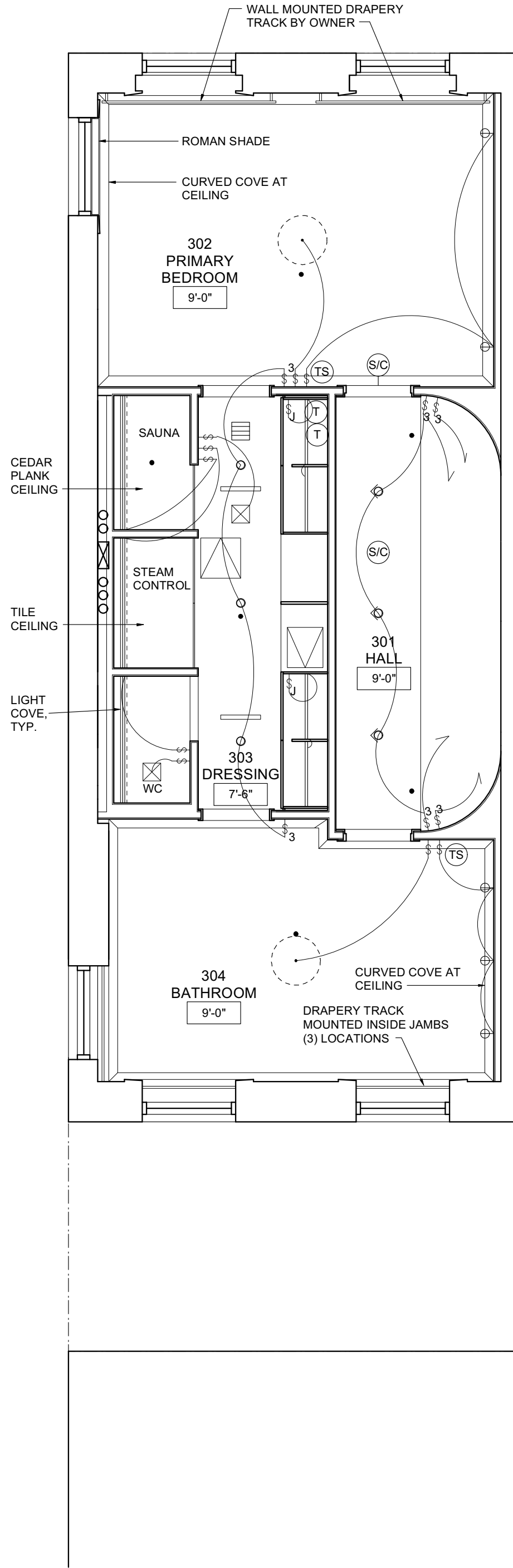
NEW LINEAR BAR GRILLE, ARCHITECTURAL GRILLE, PRIMED FINISH, TAPED IN BORDER, REFER TO MECHANICAL DRAWINGS
- ◻

NEW ACCESS PANEL - DRYWALL FINISH, TAPED IN BORDER
- NEW CONCEALED SPRINKLER HEAD, WHITE, REFER TO ENGINEERING DRAWINGS, ALIGN WITH LIGHT FIXTURES AND/OR OTHER CEILING ELEMENTS

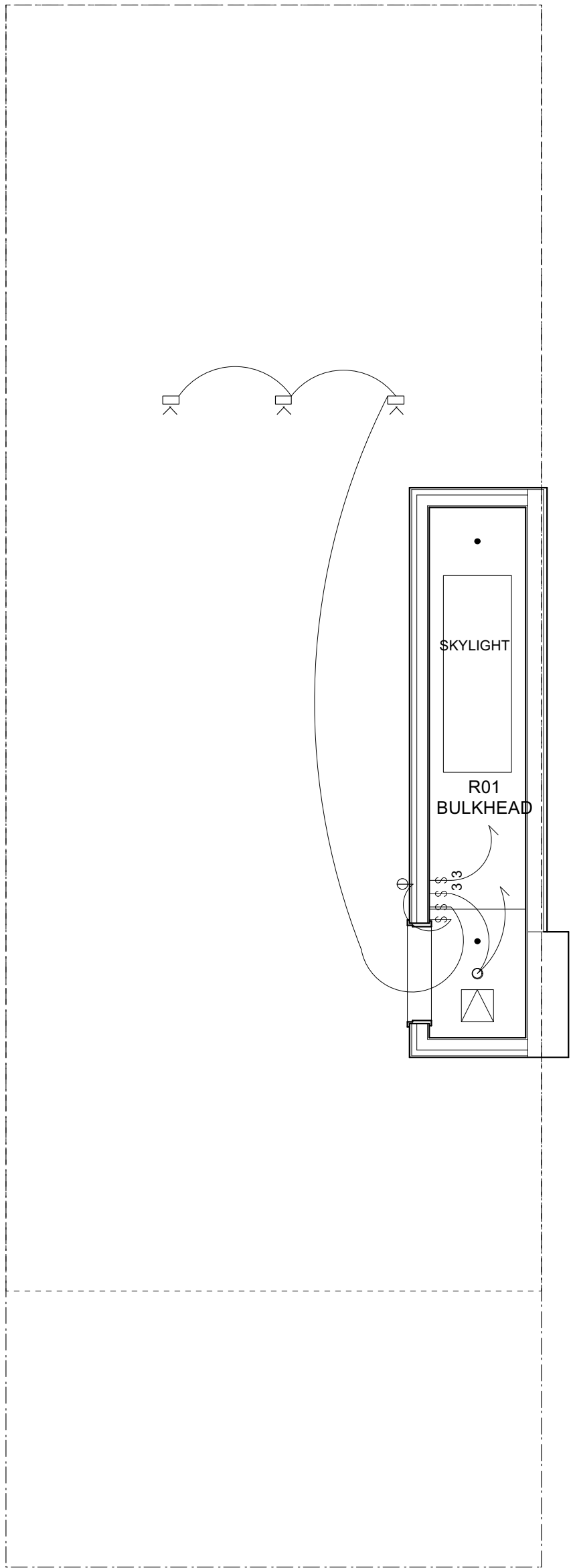
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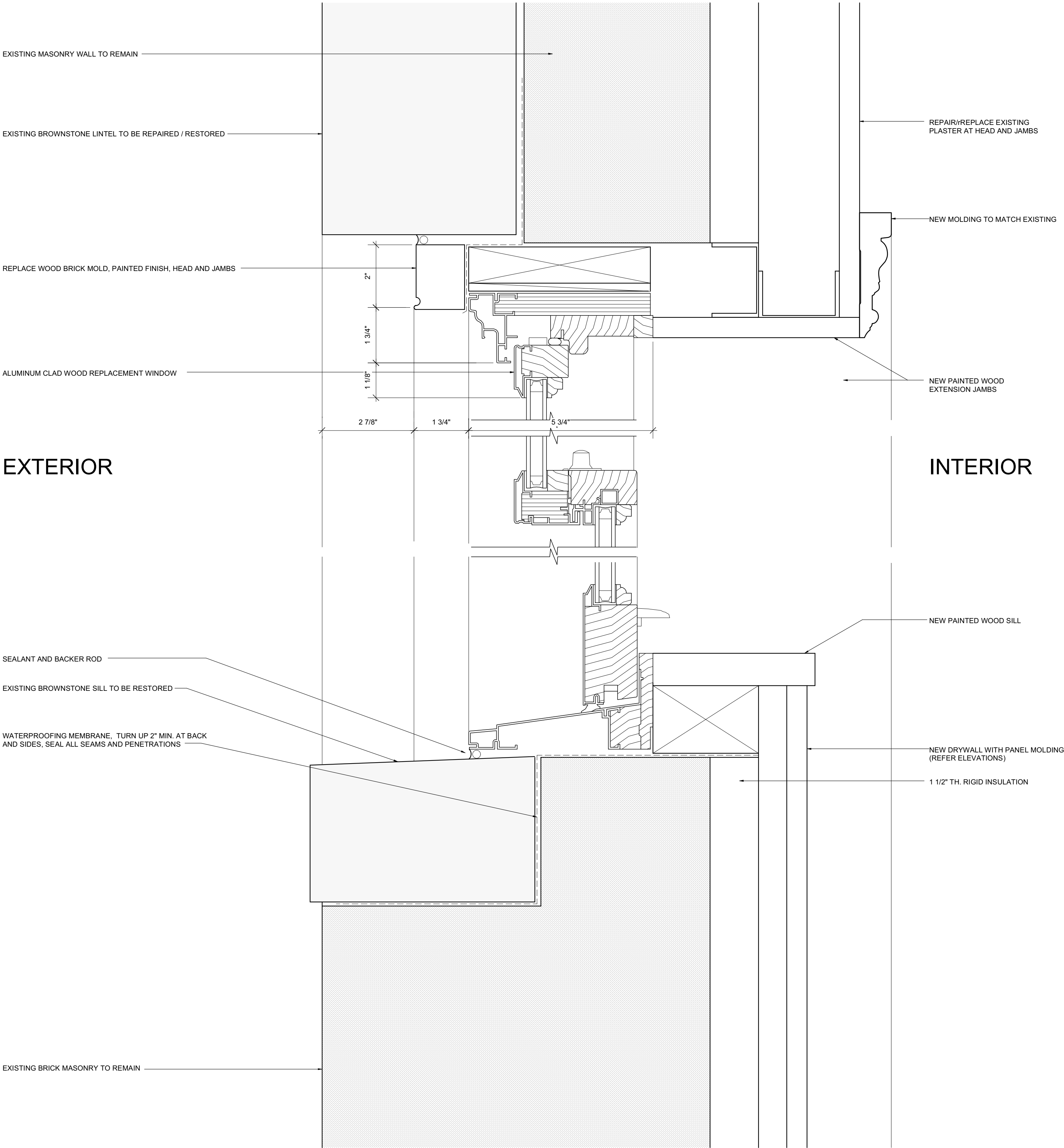
1 Second Floor



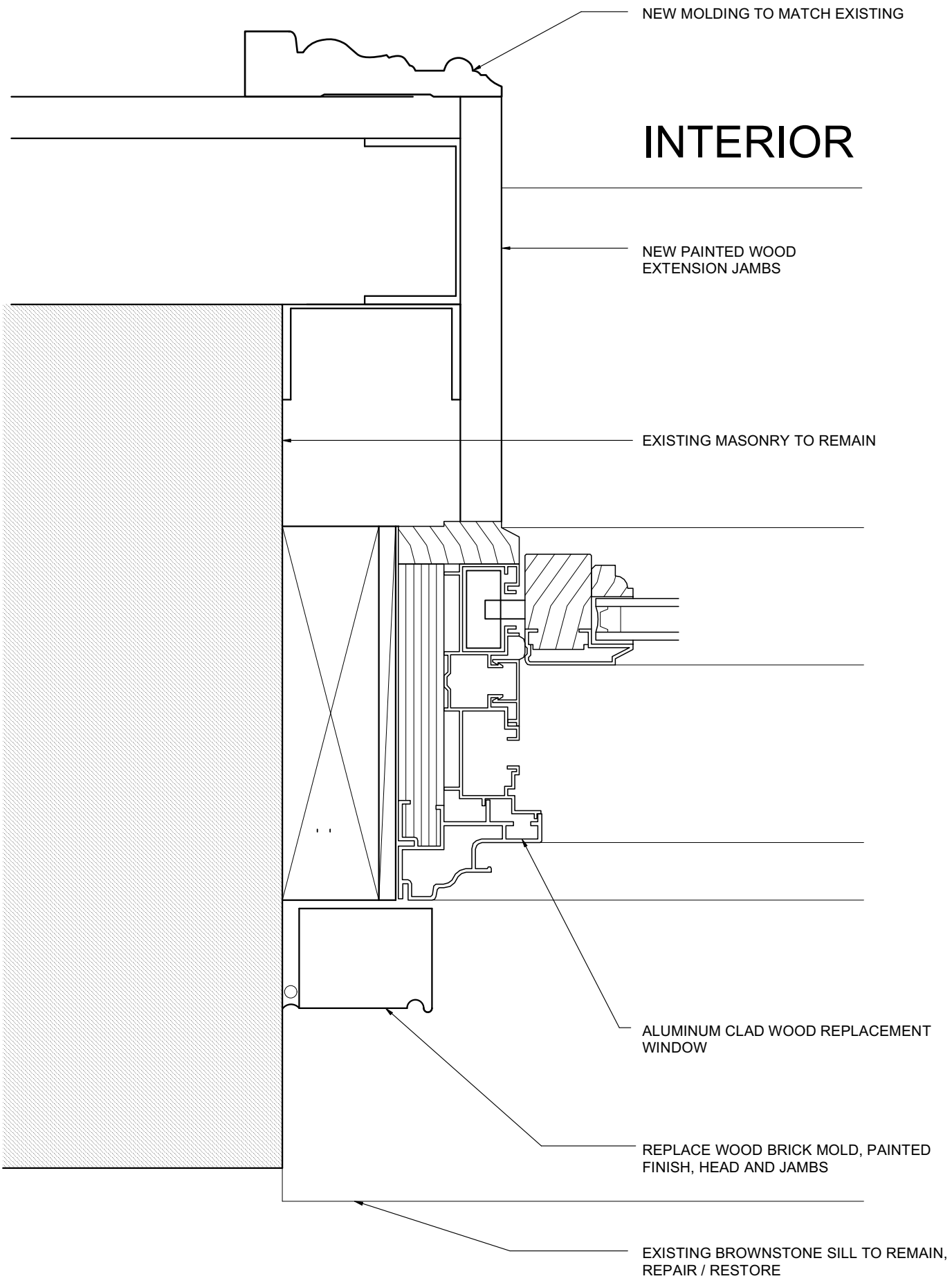
2 Third Floor



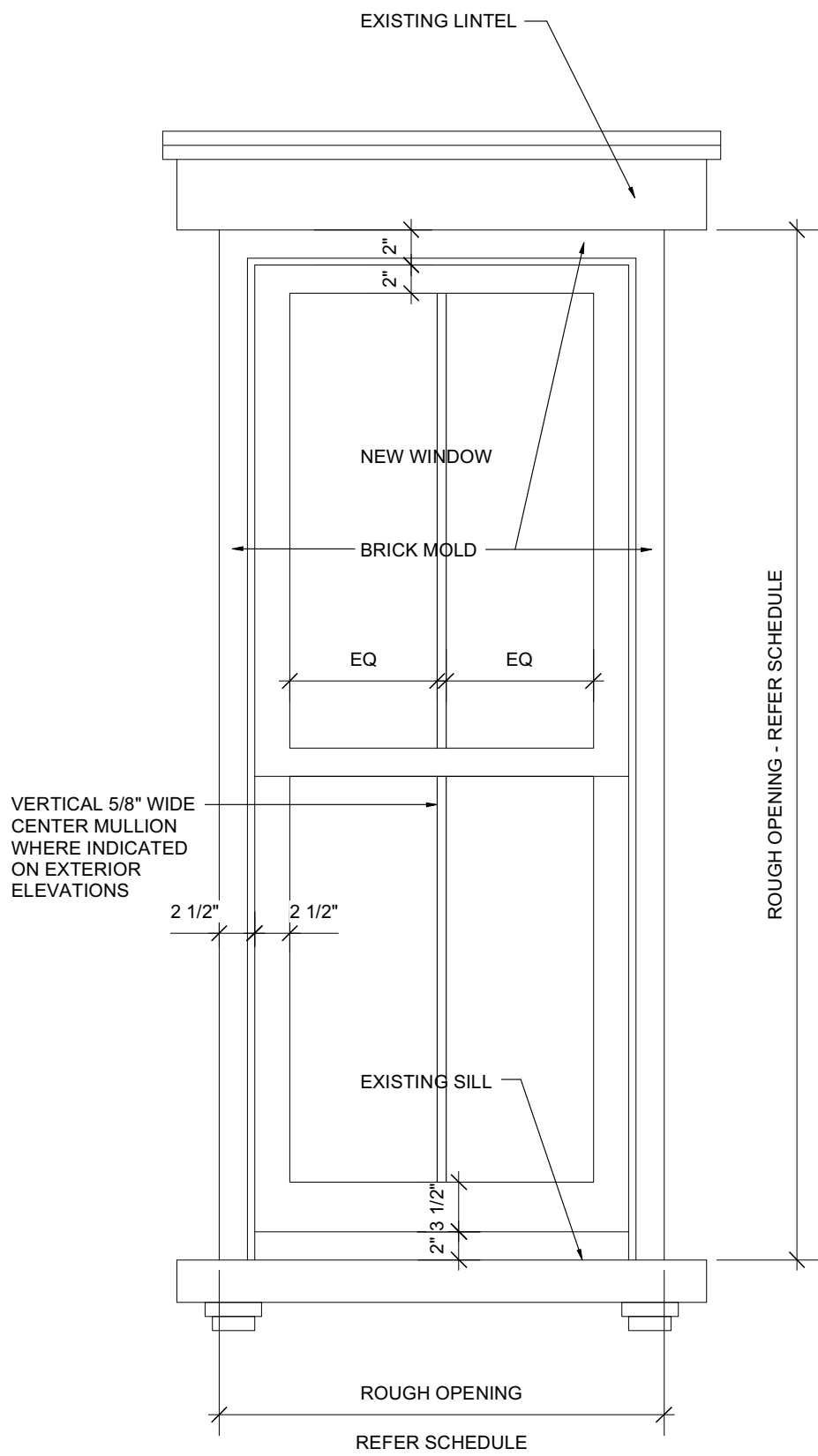
3 Roof



1 Section Detail at Double Hung Window
HALF FULL SIZE



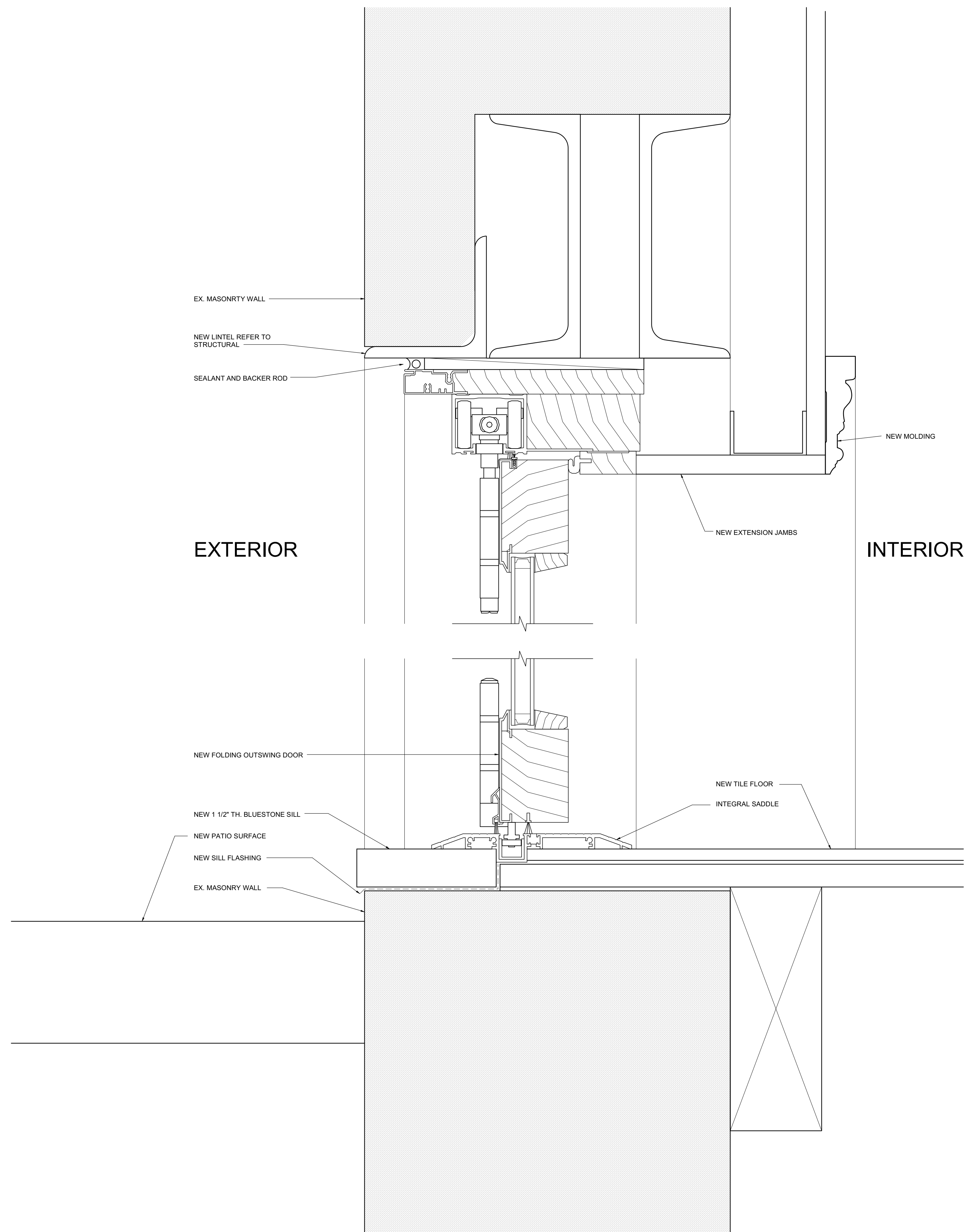
2 Plan Detail at Double Hung Window
HALF FULL SIZE



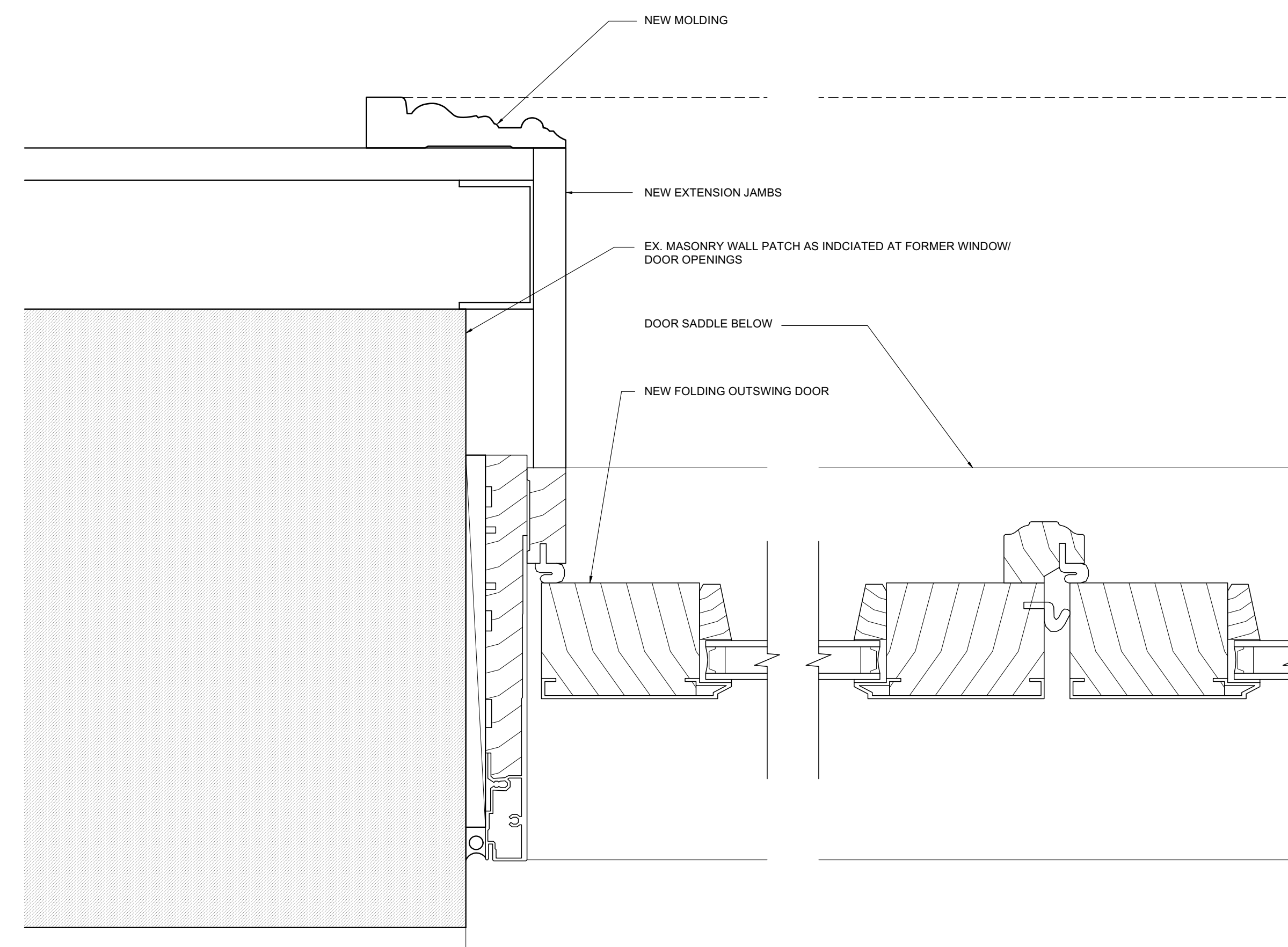
3 Typical Double Hung Window Elevation
1"=1'-0"

WINDOW SCHEDULE							
#	Operation	Rough Opening W x H	Glazing	Detail	Exterior Frame Material / Finish	Interior Frame Material / Finish	Notes
B01	Double hung	3'-9" x 4'-3"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	No grilles, existing exterior bars to remain
B02	Folding Outswing Door	8'-11" x 7'-0"	Insulated, Low E	1/A901.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	No grilles, 4 panels
B03	Single Swinging Door	3'-0" x 6'-8" VIF	Insulated, Low E		Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	Door under stoop, to fit in existing opening
101	Double hung	3'-7" x 7'-11"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
102	Double hung	3'-6" x 7'-11"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
103	Double hung	3'-6" x 7'-11"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
104	Double hung	3'-4" x 7'-11"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	No grilles
105	Double hung	3'-4" x 7'-11"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	No grilles
106	Double hung	3'-4" x 7'-11"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	No grilles
201	Double hung	3'-7" x 6'-10"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
202	Double hung	3'-7" x 6'-10"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
203	Double hung	3'-6" x 6'-10"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
204	Double hung	3'-6" x 6'-10"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
205	Double hung	3'-7" x 6'-10"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
206	Double hung	3'-7" x 6'-10"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
301	Double hung	3'-7" x 5'-8"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
302	Double hung	3'-7" x 5'-8"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
303	Double hung	3'-6" x 5'-8"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
304	Double hung	3'-6" x 5'-8"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
305	Double hung	3'-7" x 5'-8"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	
306	Double hung	3'-7" x 5'-8"	Insulated, Low E	1/A900.00	Aluminum Clad Wood, painted black	Wood, unfinished pine to be field painted	

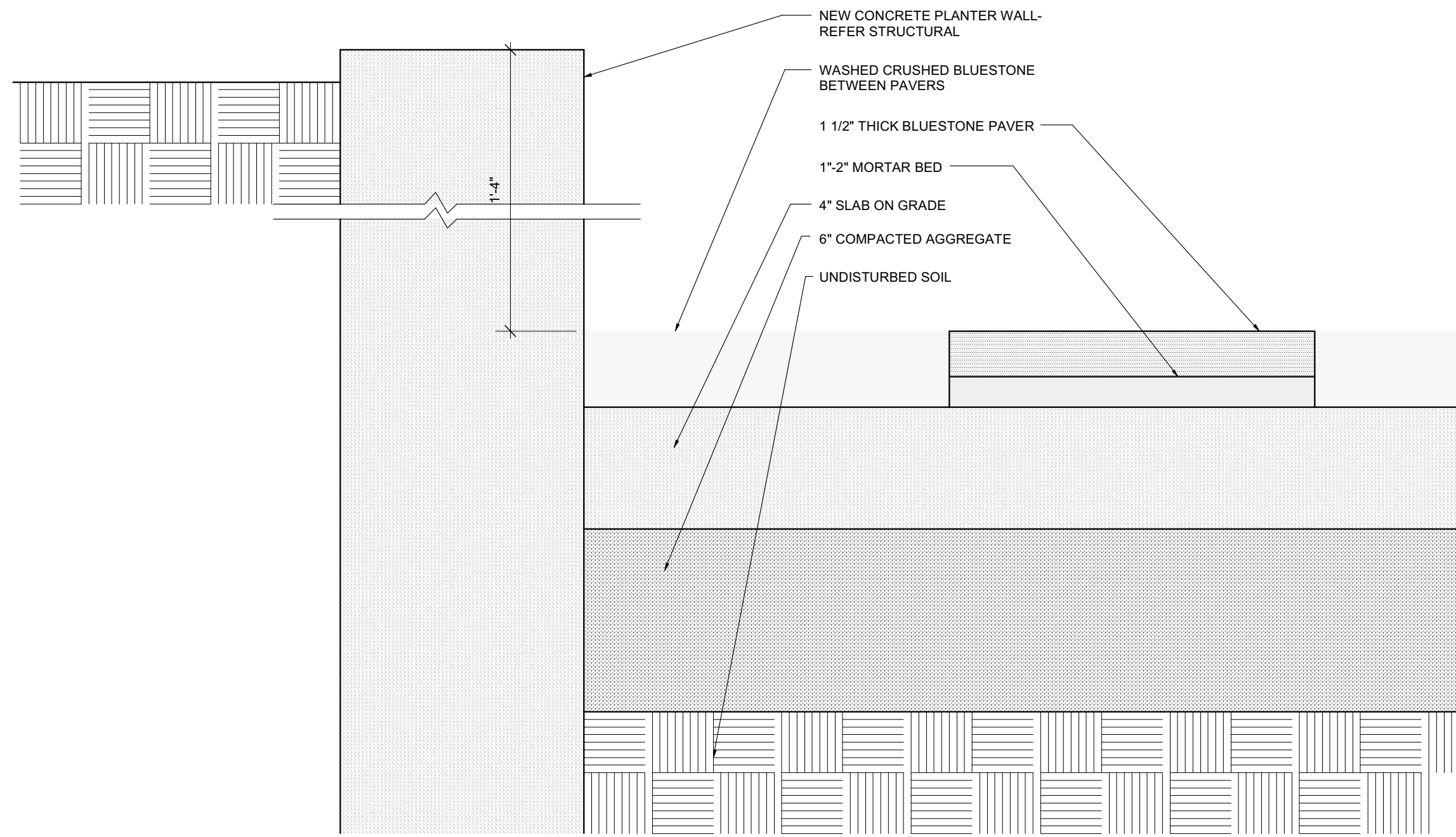
BASIS OF DESIGN:
ANDERSEN E SERIES DOUBLE HUNG WINDOWS / FOLDING OUTSWING DOOR / SINGLE SWINGING DOOR
EXTERIOR - ALUMINUM CLAD WOOD = FACTORY FINISH PAINTED BLACK
INTERIOR - UNFINISHED (FIELD PAINT BY GC, SATIN FINISH)
HARDWARE - ANTIQUE BRASS
DOUBLE HUNG TO HAVE VERTICAL MULLIONS (FULL DIVIDED LITE) AS INDICATED ON THE EXTERIOR ELEVATIONS
GLAZING - SMART SUN GLASS WITH HEAT LOCK COATING
ALL EXISTING OPENINGS TO BE FIELD VERIFIED BY GC PRIOR TO ORDERING



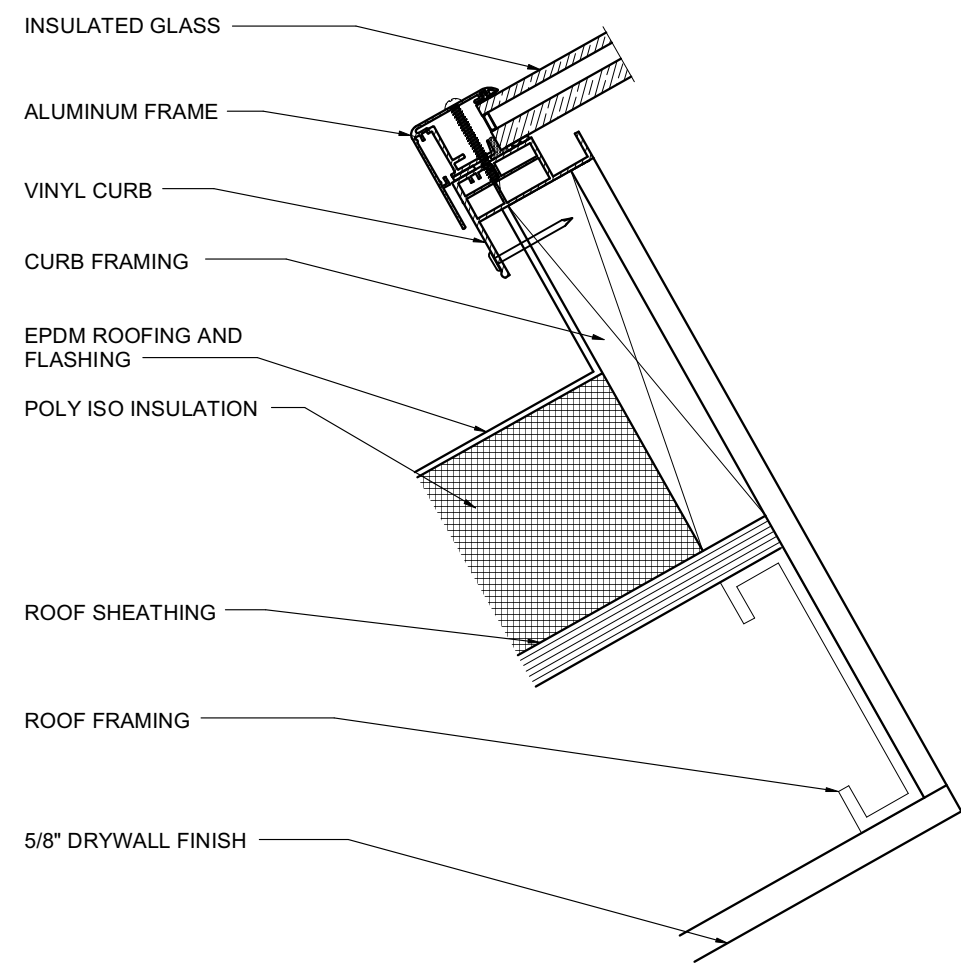
2 Section Detail at Folding Outswing Door
HALF FULL SIZE



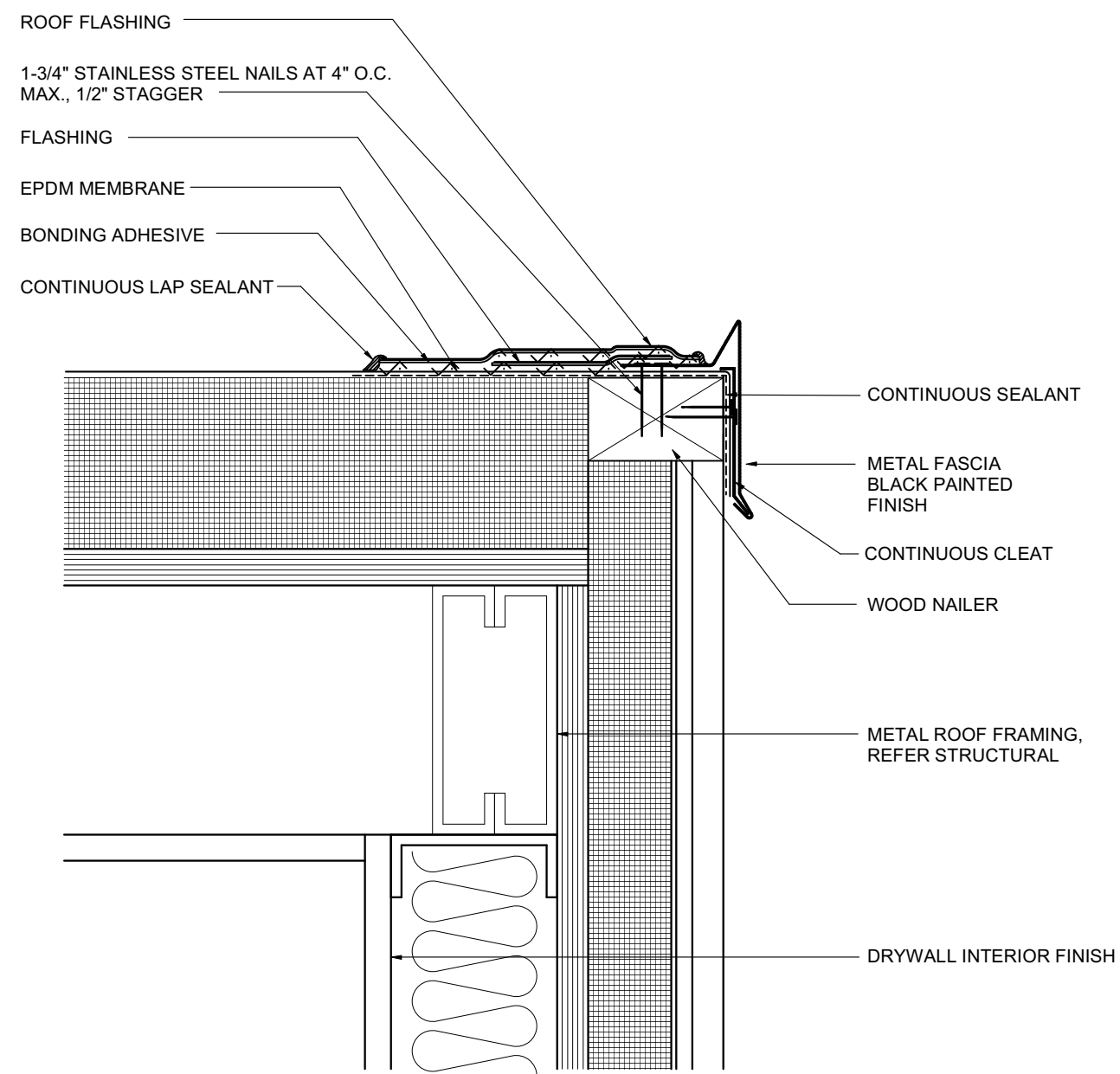
1 Plan Detail at Folding Outswing Door
HALF FULL SIZE



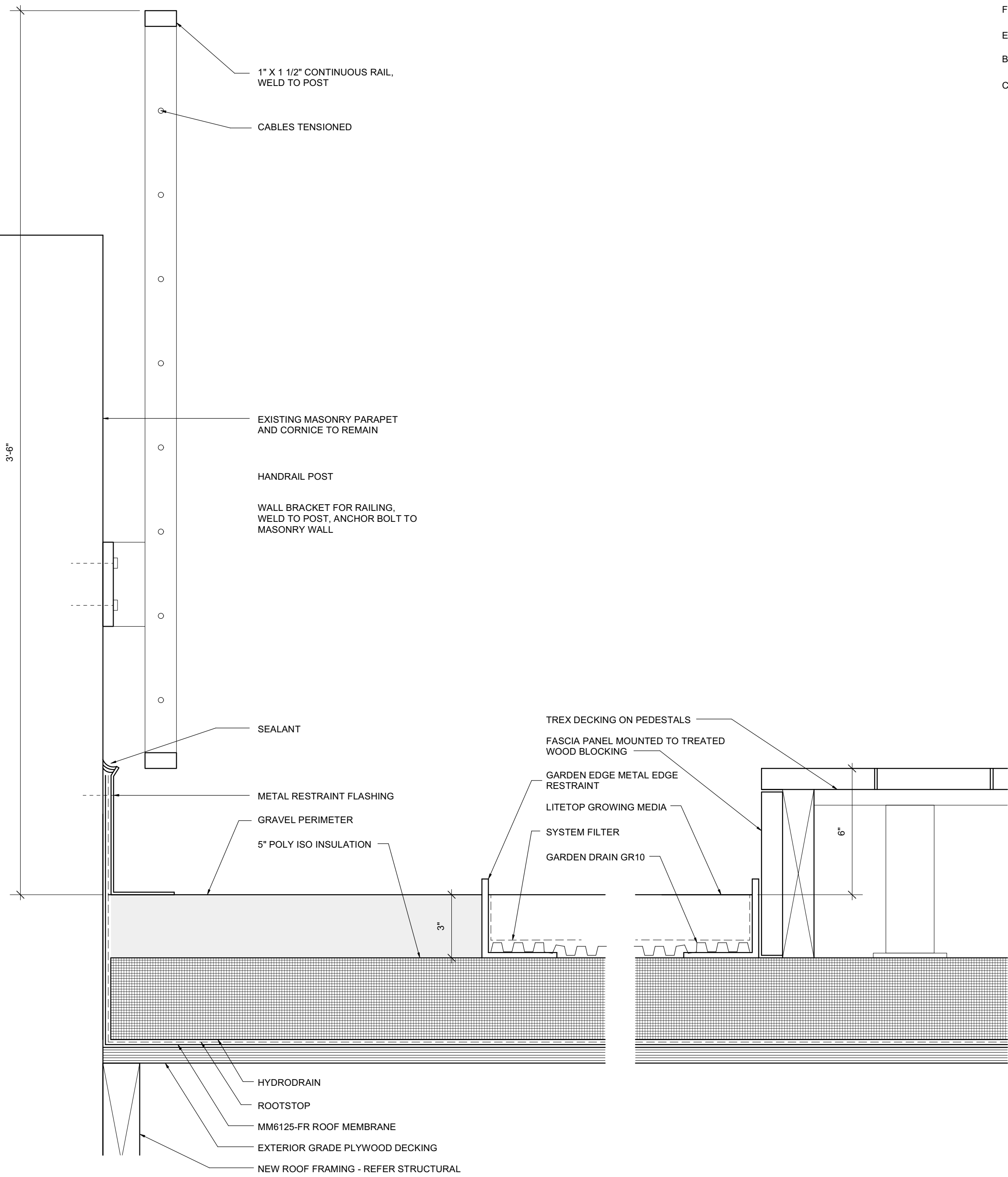
7 DETAIL AT REAR YARD / BLUESTONE PAVERS
3"=1'-0"



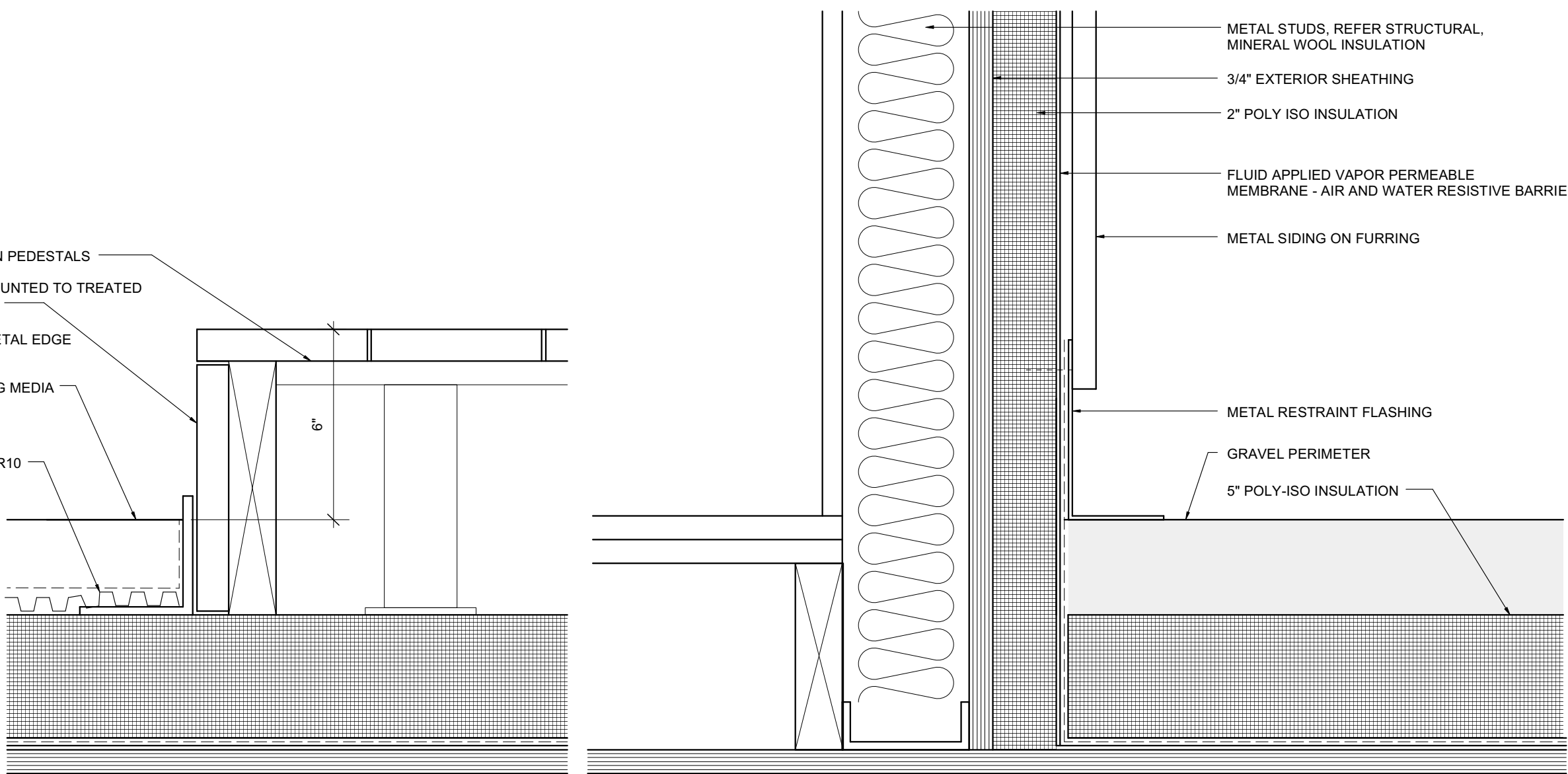
5 DETAIL AT SKYLIGHT
3"=1'-0"



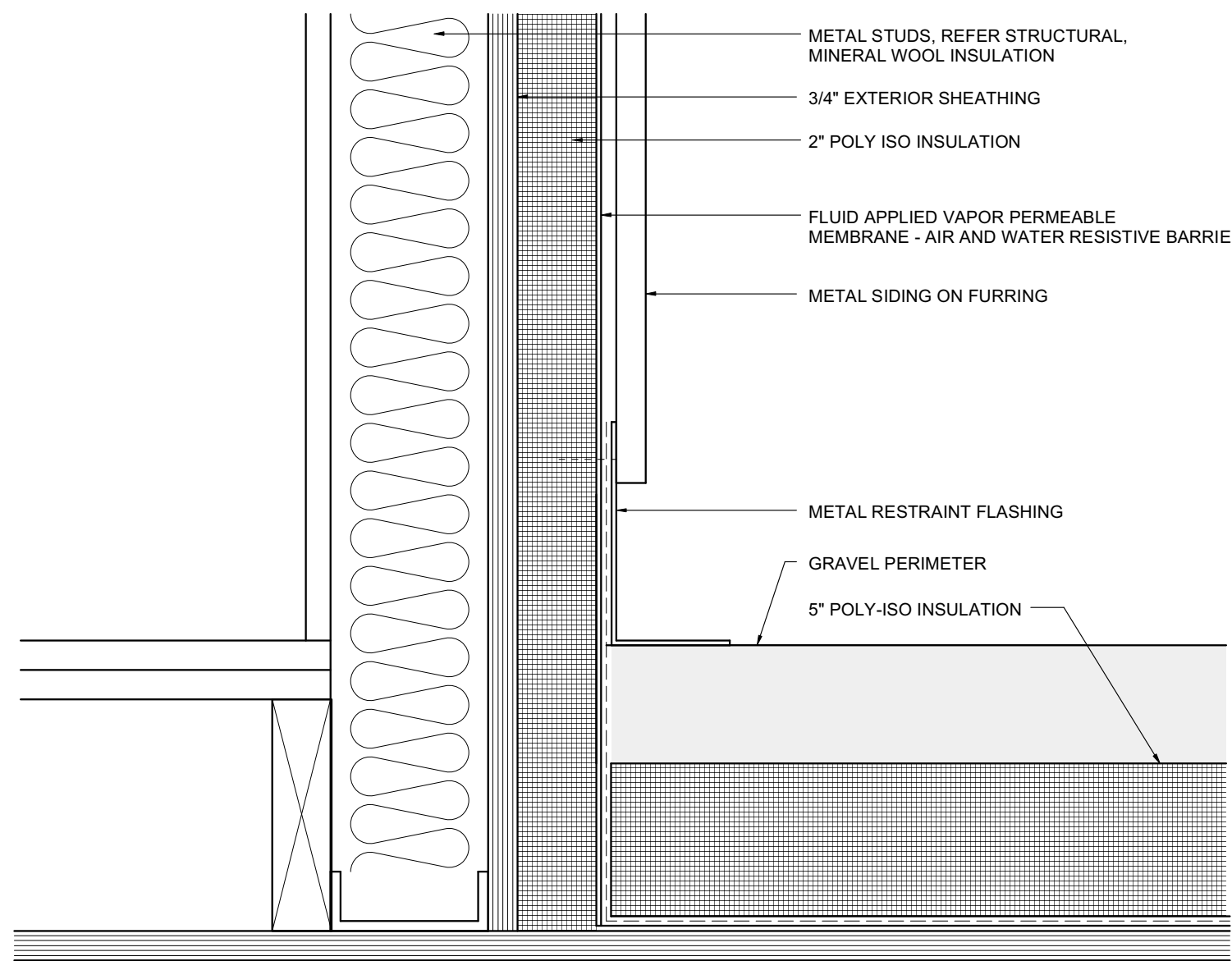
6 DETAIL AT BULKHEAD FASCIA
3"=1'-0"



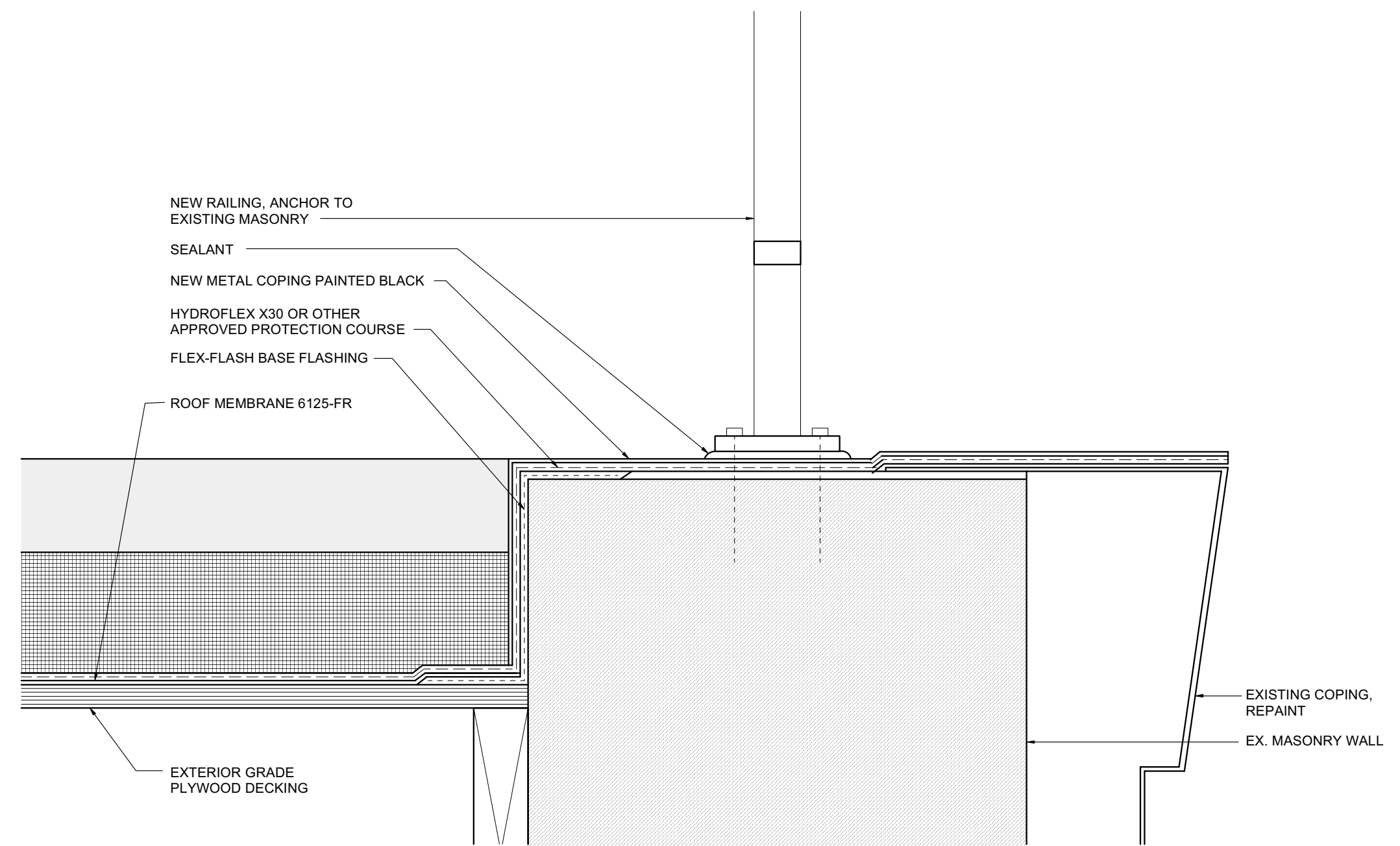
4 DETAIL AT ROOF/ NORTHWALL
3"=1'-0"



3 DETAIL AT ROOF/ DECKING
3"=1'-0"



2 DETAIL AT ROOF/ BULKHEAD
3"=1'-0"



1 DETAIL AT ROOF/SOUTH WALL
3"=1'-0"

December 2, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 6, LPC-26-03246

252 West 11th Street – Greenwich Village Historic District
Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 161 812 1468

Passcode: 845296

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.