

September 30,
2025 Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-26-01231

59-39 70th Avenue – Central Ridgewood Historic District Borough of Queens

To testify virtually, please join Zoom

Webinar ID: 161 043 8319

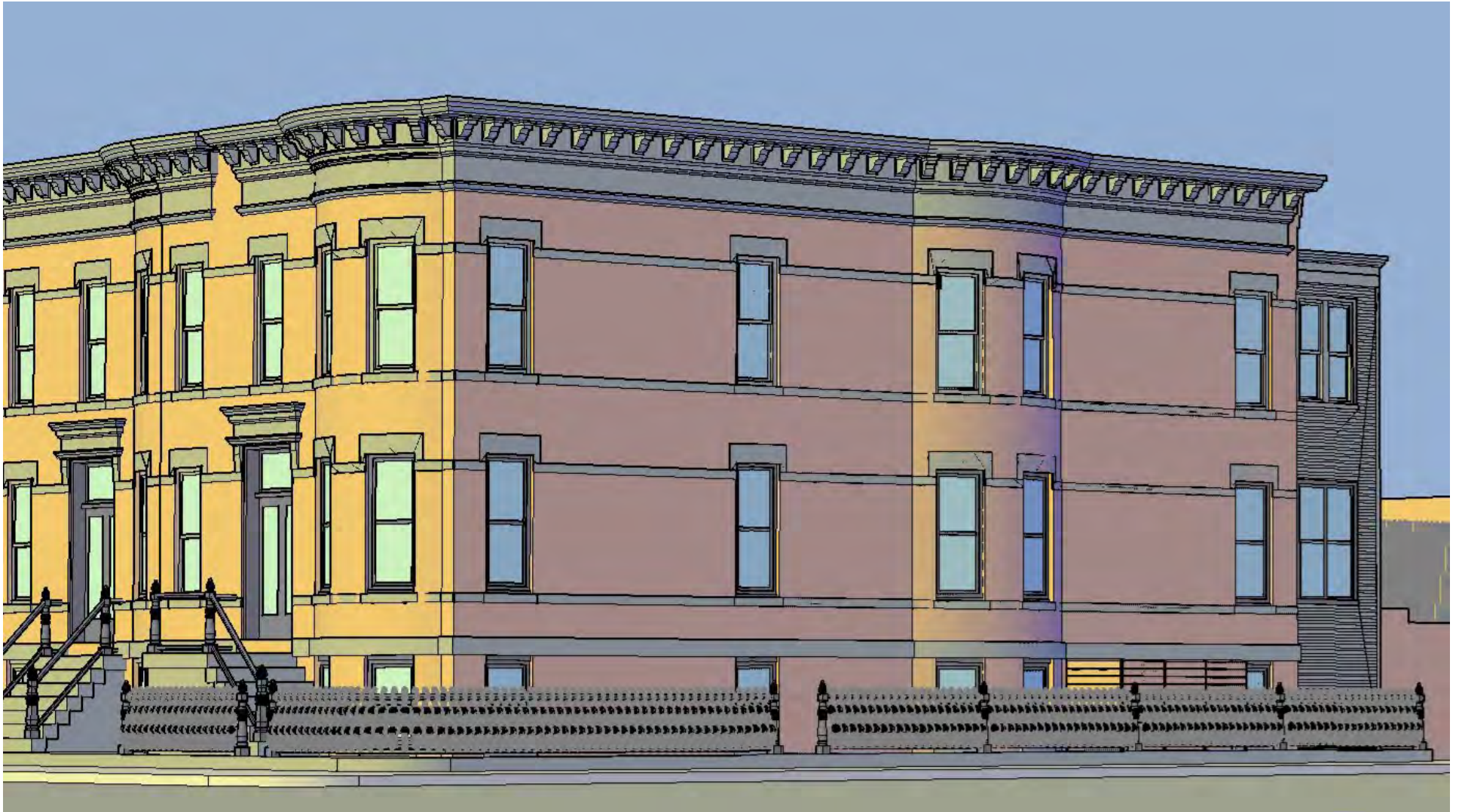
Passcode: 442922

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.



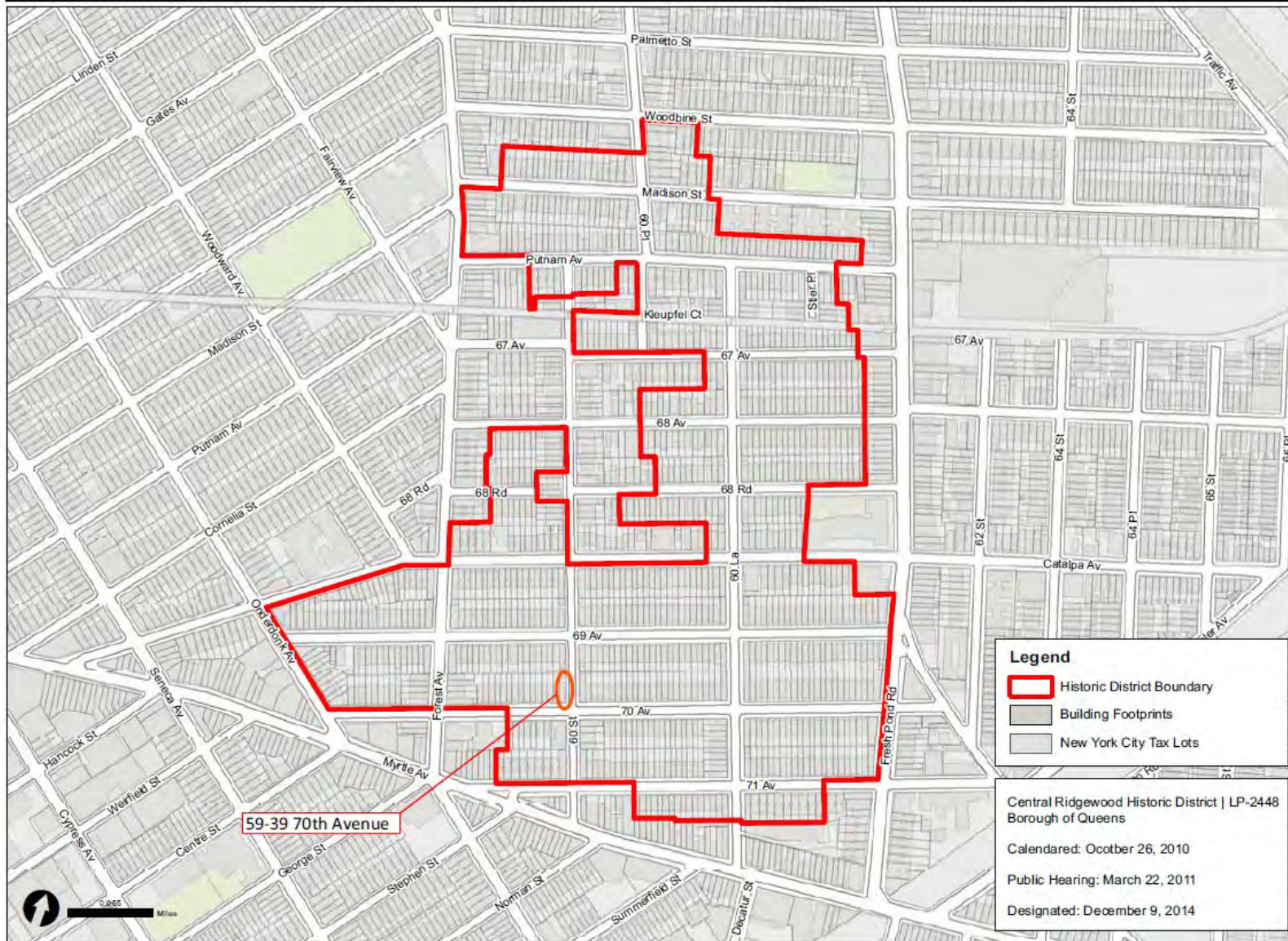
59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29

PROPOSAL FOR LEGALIZATION OF ALTERATIONS

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Central Ridgewood Historic District | LP-2448

NYC Landmarks Preservation
Commission



Central Ridgewood Historic District

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



1940's Tax photo

Requesting LPC approval for the following alterations:

Window replacement with new modifications:

Replacement of existing wood double-hung windows at basement and 1st floor with triple-glazed. Low-E, 45 DB noise reduction, steel-reinforced PVC, tilt/turn casement windows. (LPC Docket #WL-23-0136)

New color-matched self-adhesive, surface applied PVC window muntins to create appearance of double-hung windows.

HVAC Units with new privacy screen:

Installation of HVAC units at 60th St. façade.
(LPC Docket # WL-23-0138)

New natural cedar privacy screen to conceal units from street level view.

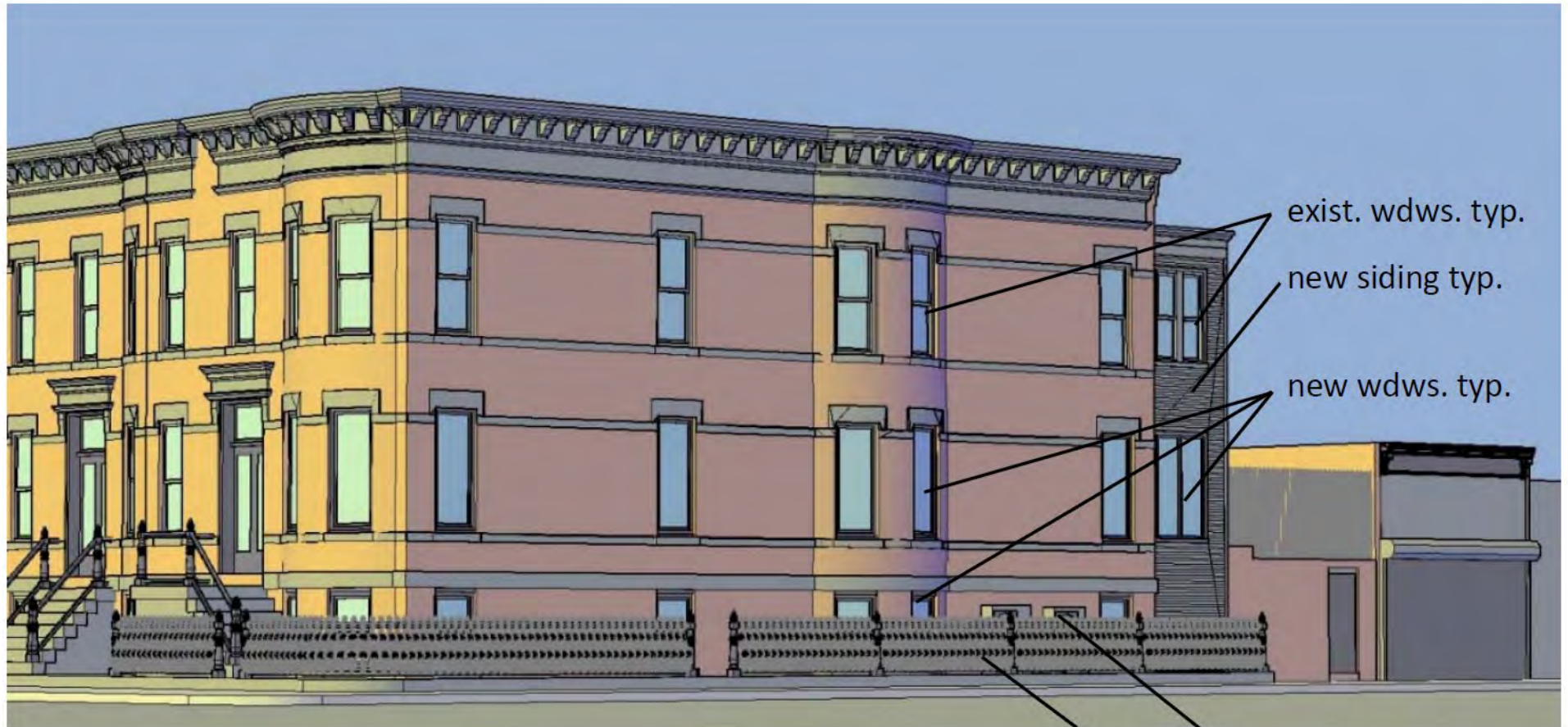
Rear addition alterations:

Alterations to non-original rear yard addition, including reconfiguring openings and replacing windows and door, and replacement of existing aluminum siding with vinyl siding.
(LPC Docket #WL-23-0137)

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



Current view from corner of 70th Avenue and 60th Street (September 23, 2025)



Current existing alterations:
view from corner w/ new windows at basement and first floor,
wall-mounted HVAC units, vinyl siding at existing addition.

View from corner of 70th Avenue and 60th Street showing existing alterations



Proposed new alterations:

new windows modified to resemble existing double-hung configuration;
HVAC units concealed with new privacy screen.

modified new
windows typ.

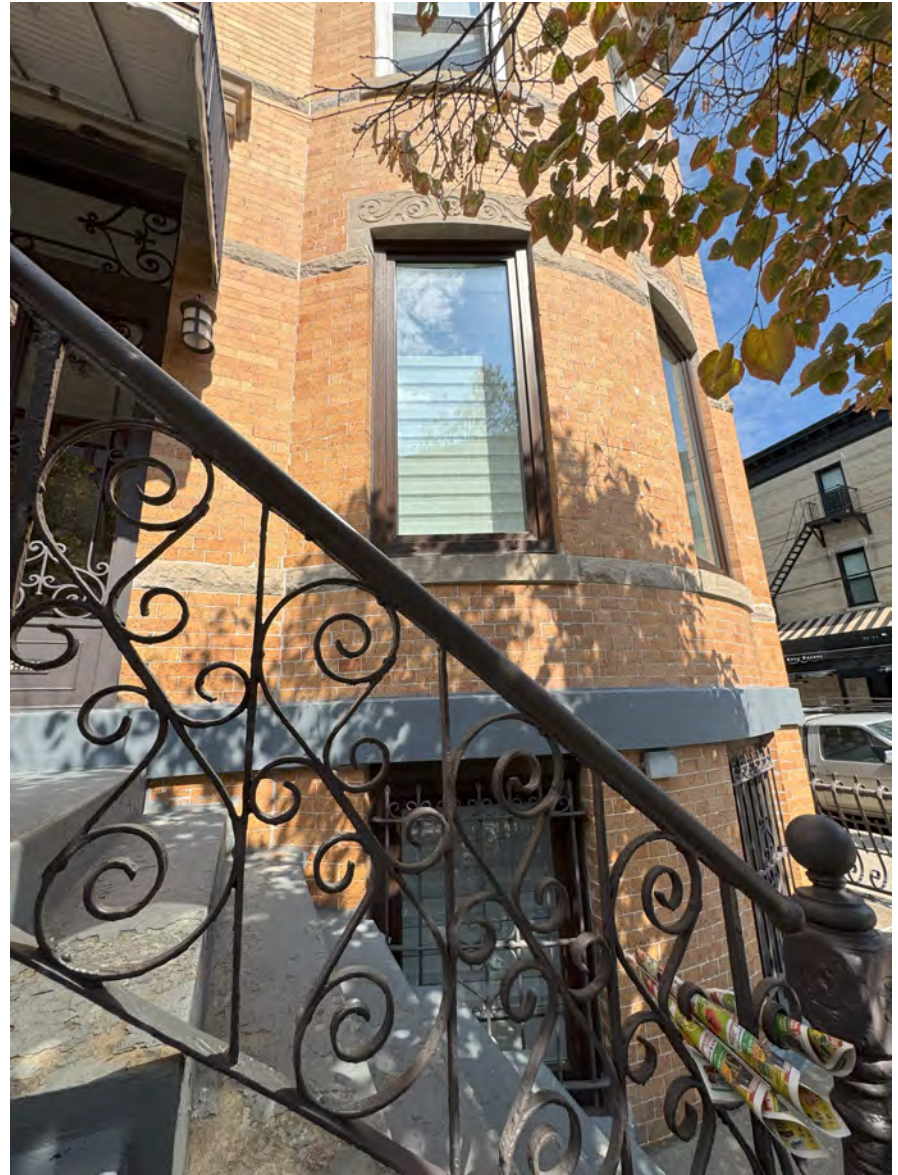
new privacy screen
at HVAC units

View from corner of 70th Avenue and 60th Street showing proposed new alterations

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



Detail view of original ironwork at 70th Ave. entry (9/23/25)



Detail view of new windows at 70th Ave. and 60th St. (9/23/25)

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



Detail view at 70th Ave. and 60th St. (9/23/25)



Detail view of original ironwork at new windows (9/23/25)

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



Detail view at 70th Ave. and 60th St. (9/23/25)



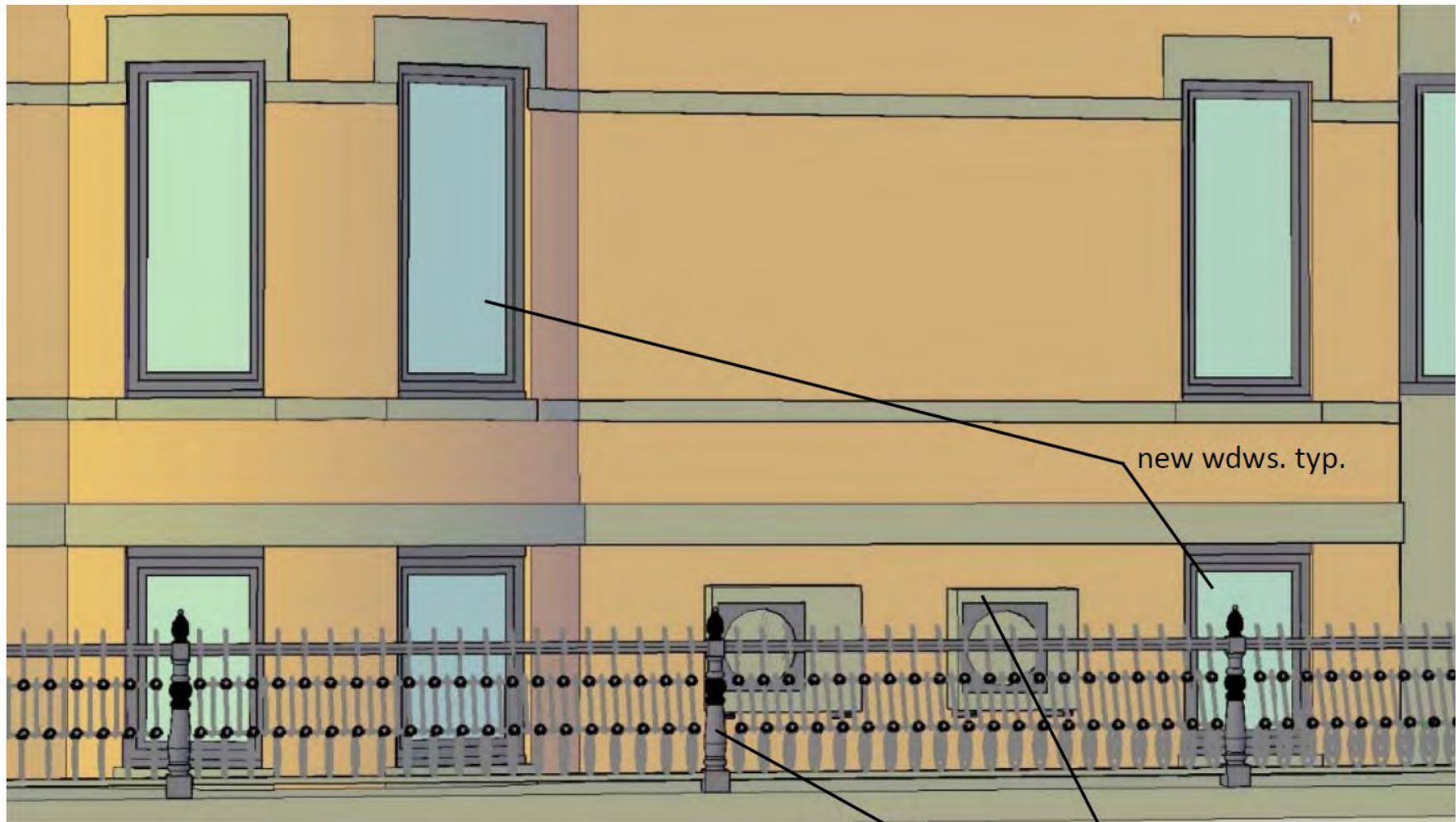
Detail view of original ironwork, new windows (9/23/25)



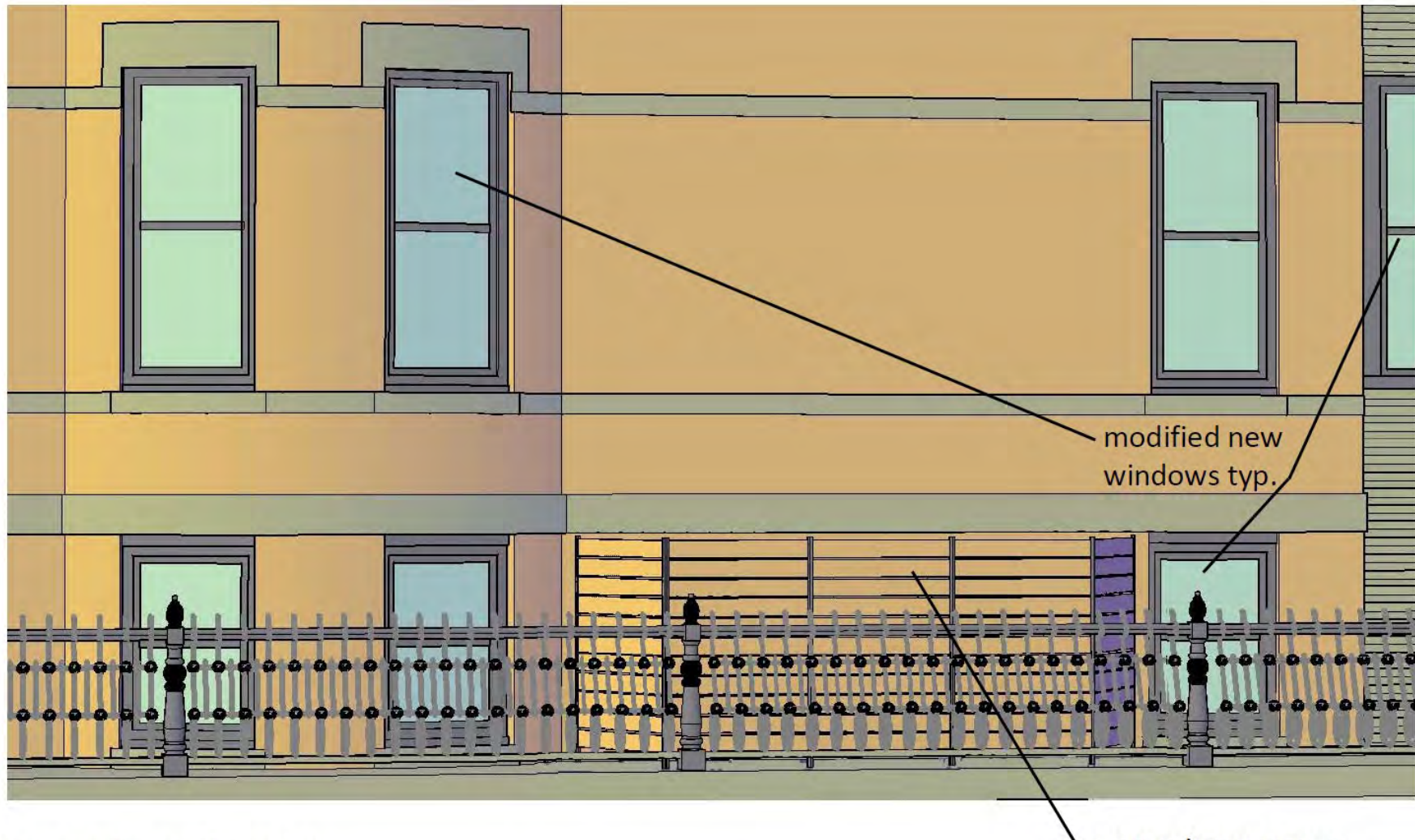
Current view of 60th Street facade (September 23, 2025)



Detail view of 60th St. façade showing new windows, HVAC units (9/23/25)



Current existing alterations:
60th Street side detail view w/ new windows at basement
and first floor, wall-mounted HVAC units.



Proposed new alterations:
new windows modified to resemble existing double-hung configuration;
HVAC units concealed with new privacy screen.

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



Detail view of original ironwork, new windows, HVAC units (9/23/25)



Detail view at new siding, alterations to exist. addition (9/23/25)

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



Current view from 60th Street rear (September 23, 2025)



Current existing alterations:
60th Street side/rear view w/ new windows at basement and first floor,
wall-mounted HVAC units, vinyl siding at existing addition.



Proposed new alterations:
new windows modified to resemble existing double-hung configuration;
HVAC units concealed with new privacy screen.

new privacy screen
at HVAC units

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Window replacement:

LPC expressed concern that the original single-pane white wood windows were double-hung and that the replacement windows are single-panels and inconsistent with the look of the original; also that the brown color of the new windows was inconsistent with the prior color.

The new windows as installed are triple-glazed, highly energy efficient and reduce noise transmission (due to adjacent restaurant expansion). It would be impractical and extremely expensive to replace the new windows with double-hung versions.

Proposed is the application of matching self-adhesive surface-mounted PVC muntins to create the look of double-hung. The white frame color, while currently common in the neighborhood, is in fact relatively recent. The original frame colors were typically dark brown or dark green. Proposed is to paint the remaining original white wood windows dark brown to match the new windows.



Original wood double hung window with original dark brown paint (at neighboring house 59-98 69th Avenue)



new triple-glazed stl.-rein. PVC window section (illustration shows double-glazed)

www.aluplast.net © aluplast GmbH 2022-07

IDEAL 4000 Page 5/5

Product Data Sheet
Standard PVC window

IDEAL 4000
chambers
Classic-line
reinforced profiles

glazed with glazing blocks

Notes:
1) Windows with a thermal transfer coefficient of glazing $U_g \leq 1.8$ W/m²K may be indicated as argon-filled with the standard dimensions 1.23 m x 1.40 m (for 1.40 m x 1.70 m, see 1.1, footnote 1).
2) If values ≤ 1.0 W/m²K are given with 2 decimal places in accordance with EN ISO 10277.

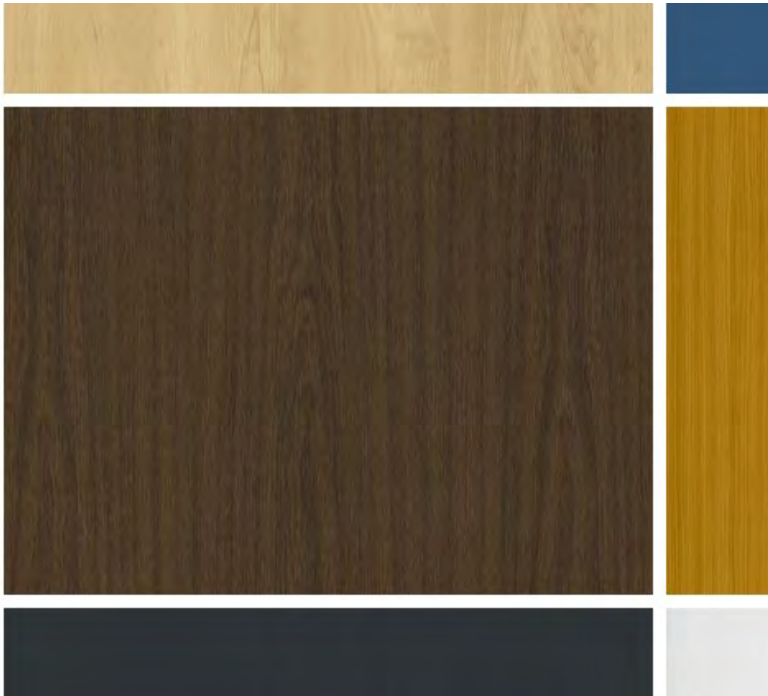
Ordering profile dimension for UP
Visible profile height = 114 mm

Ug Glazing		Uf Frame		Use Window	
with standard glazing without glazing reserve dimension		Based on the underlying profile construction and equipment (optional)		insulated glass edge seal foam edge spacer	
EN 613	W	EN 10277-1	W	EN 10277-1	W
1.3	1.3	1.3	1.3	1.3	1.3
4.40mm	1.3	1.3	1.3	1.3	1.3
1.3	1.3	1.3	1.3	1.3	1.3
1.2	1.2	1.2	1.2	1.2	1.2
1.1	1.1	1.1	1.1	1.1	1.1
1.0	1.0	1.0	1.0	1.0	1.0
0.9	0.9	0.9	0.9	0.9	0.9
0.8	0.8	0.8	0.8	0.8	0.8
0.7	0.7	0.7	0.7	0.7	0.7
0.6	0.6	0.6	0.6	0.6	0.6
0.5	0.5	0.5	0.5	0.5	0.5
0.4	0.4	0.4	0.4	0.4	0.4

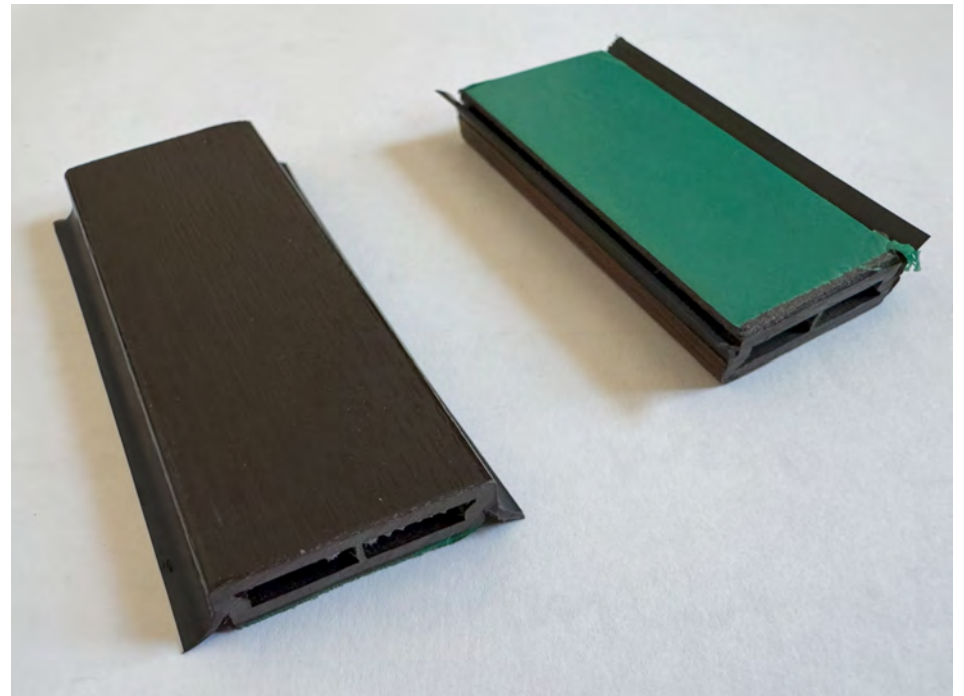
General Information
Product Data Sheet

new Aluplast window specification (illustration shows double-glazed)

Window replacement/ modification detail:



Aluplast window color swatch



Self-adhesive surface-mounted PVC muntin samples

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Window replacement/ modification detail:



Local example of dark framed replacement windows (9/17/25)



Local example of applied (wood) muntin to mimic double-hung

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Window replacement/ modification detail:



Local example of dark framed replacement windows (9/17/25)



"triple-glazed... and reduce noise transmission" (9/23/25)

HVAC Units / New natural cedar privacy screen

Removing the installed HVAC units from the 60th St. side yard would require major expense and interior disruption as the piping configuration runs through walls/ceilings to reach upper levels. Proposed is to maintain the units in their current location and install an attractive natural cedar privacy screen system that would conceal the units from view.

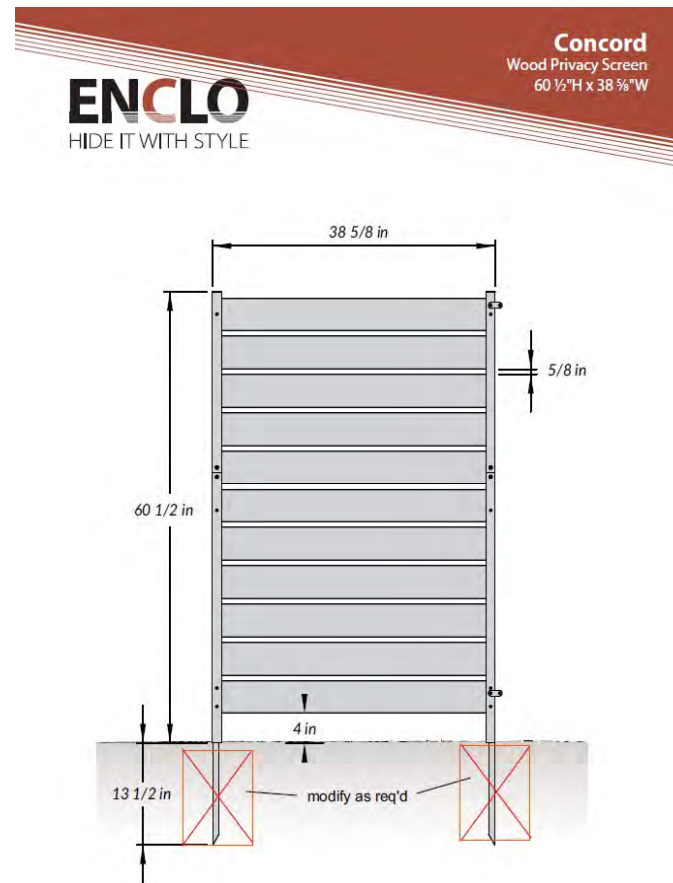
The top of the units is at 4'-11" above sidewalk level and 4'-3" above the raised sideyard paving. The top of the installed 5'-0" high panel system would be at 5'-8" above the adjacent sidewalk and would conceal the units from view and complement the yellow brick of the house.

Concord 5 ft. H x 3.2 ft. W Cedar Wood Slatted Panel Flat Top Privacy Fence Screen 1-Panel

★★★★★ (111) Questions & Answers (39)



Proposed new natural cedar privacy screen unit



Privacy screen details

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

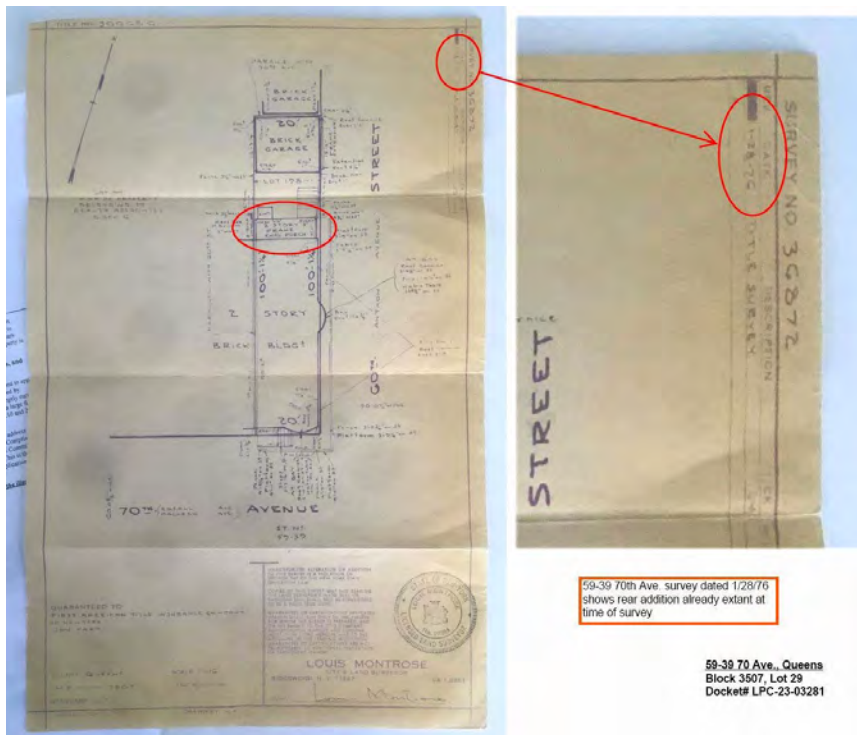
Rear addition alterations:

There are no available photos or records of the house prior to a 1976 survey. However, it's clear that the addition at the rear is not original to the structure as it seems that the only other house in the District with a similar addition is the house directly behind it at 59-98 69th Avenue.

The siding in the 'before' photos at the rear of the house appears to be aluminum, also not original to the house overall. The new vinyl siding is clean, crisp, fresh, subdued in tone and color, and undented. The existing non-original addition at 59-98 69th Avenue also has vinyl siding of an earlier vintage.

The reconfiguration of window and door openings was limited to the removal of a non-original aluminum awning and the closing of two of the five existing windows on the 2nd floor of the addition, on the back side of the house.

Proposed is legalization of this portion of the work in its current state, without any changes.



1976 Survey 59-39 70th Avenue



Detail view of new window configuration and siding (9/23/25)

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Rear addition alterations:



Views along 60th Street toward rear of 59-39 70th Ave, showing rear addition and corresponding rear addition at 59-98 69th Ave.

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Rear addition alterations:



View of rear addition at 59-98 69th Avenue



Vinyl siding dimensions 59-98 69th Ave.



Vinyl siding dimensions 59-39 70th Ave.

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Before / Current Street Views: Corner of 70th Avenue and 60th Street:



September 2014



July 2021

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Before / Current Street Views: 60th Street facade:



May 2012



July 2021

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Before / Current Street Views: 60th Street rear:



August 2019



July 2021

September 30,
2025 Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-26-01231

59-39 70th Avenue – Central Ridgewood Historic District Borough of Queens

To testify virtually, please join Zoom

Webinar ID: 161 043 8319

Passcode: 442922

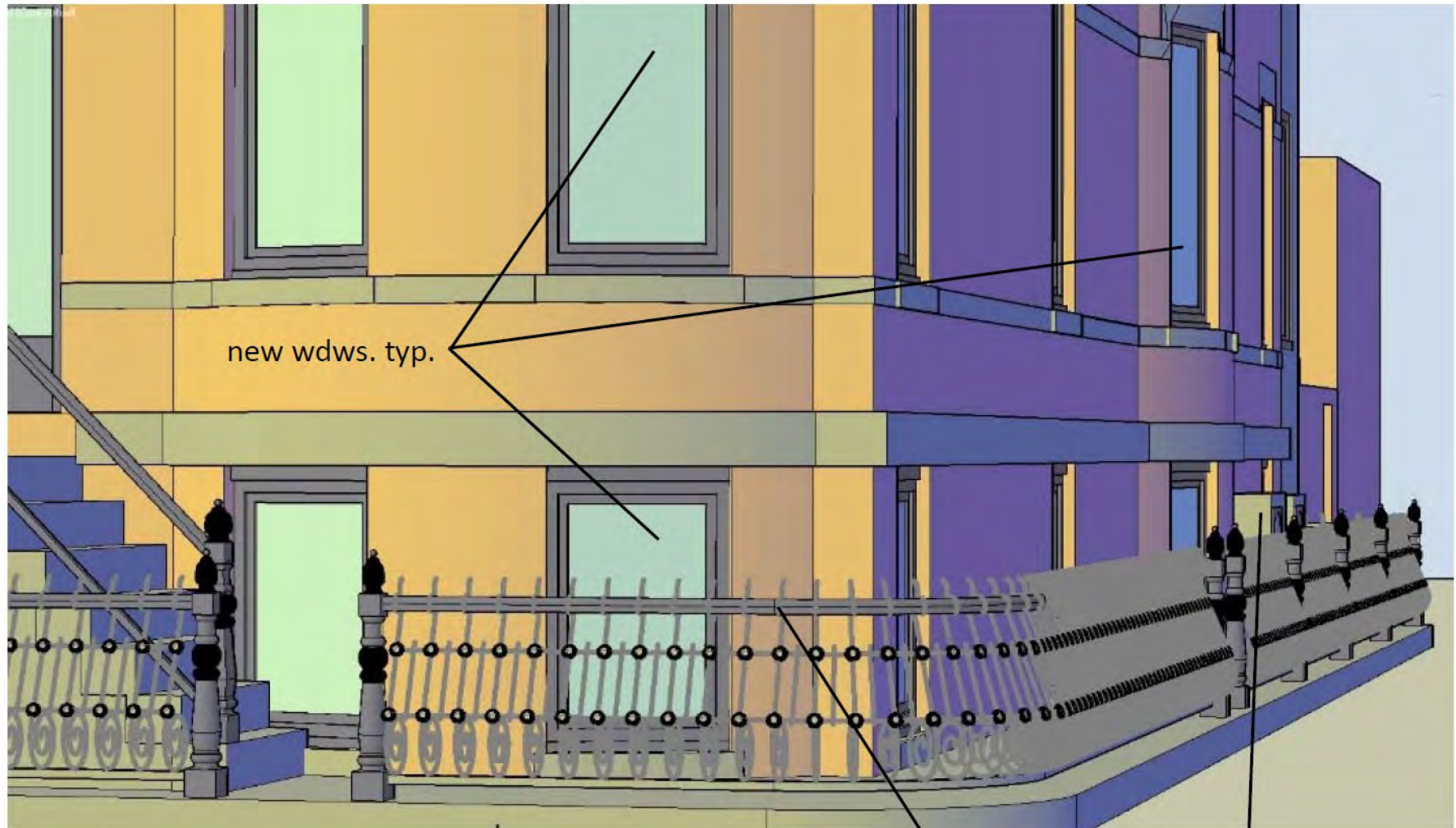
By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

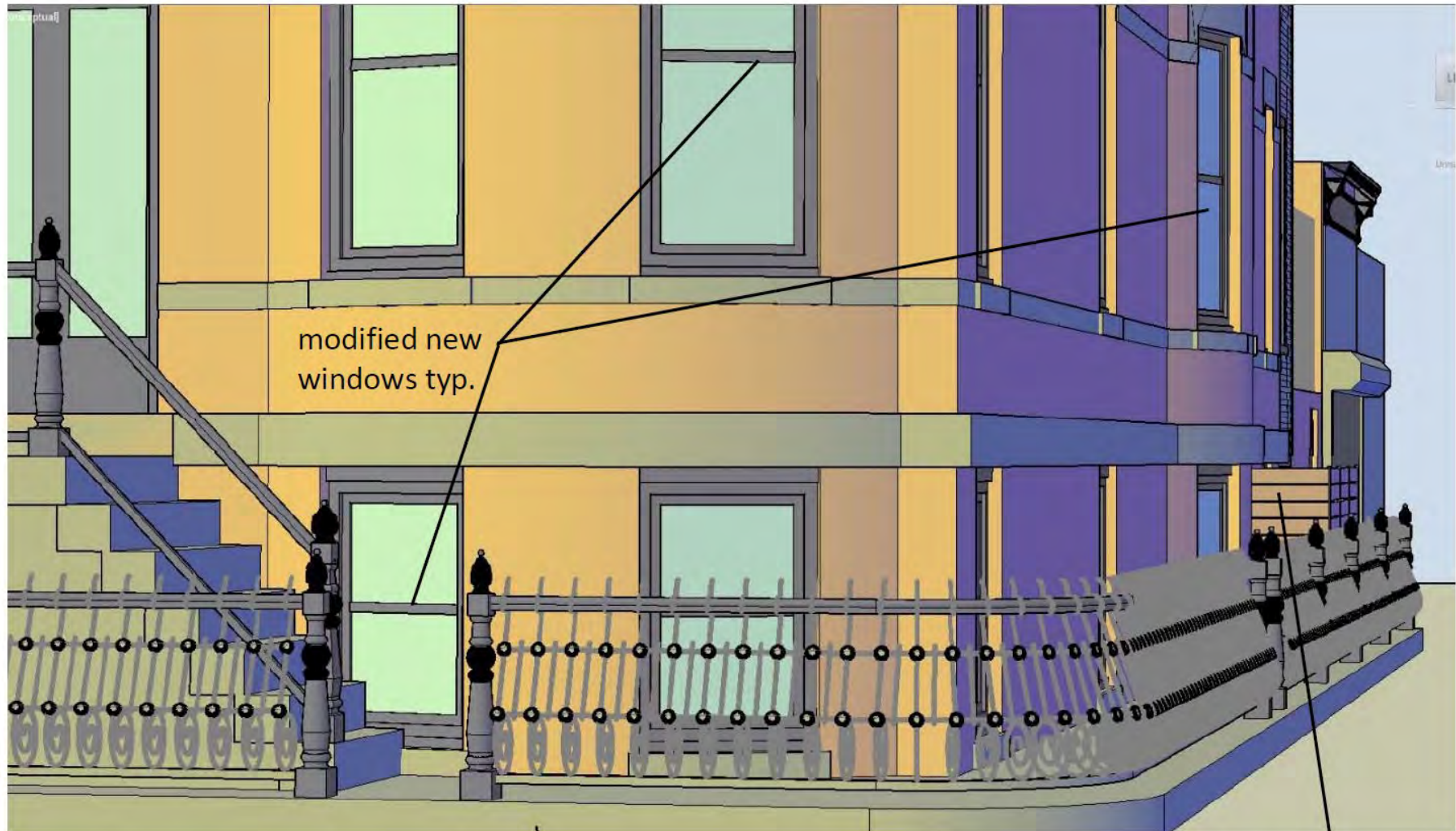
Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

APPENDIX



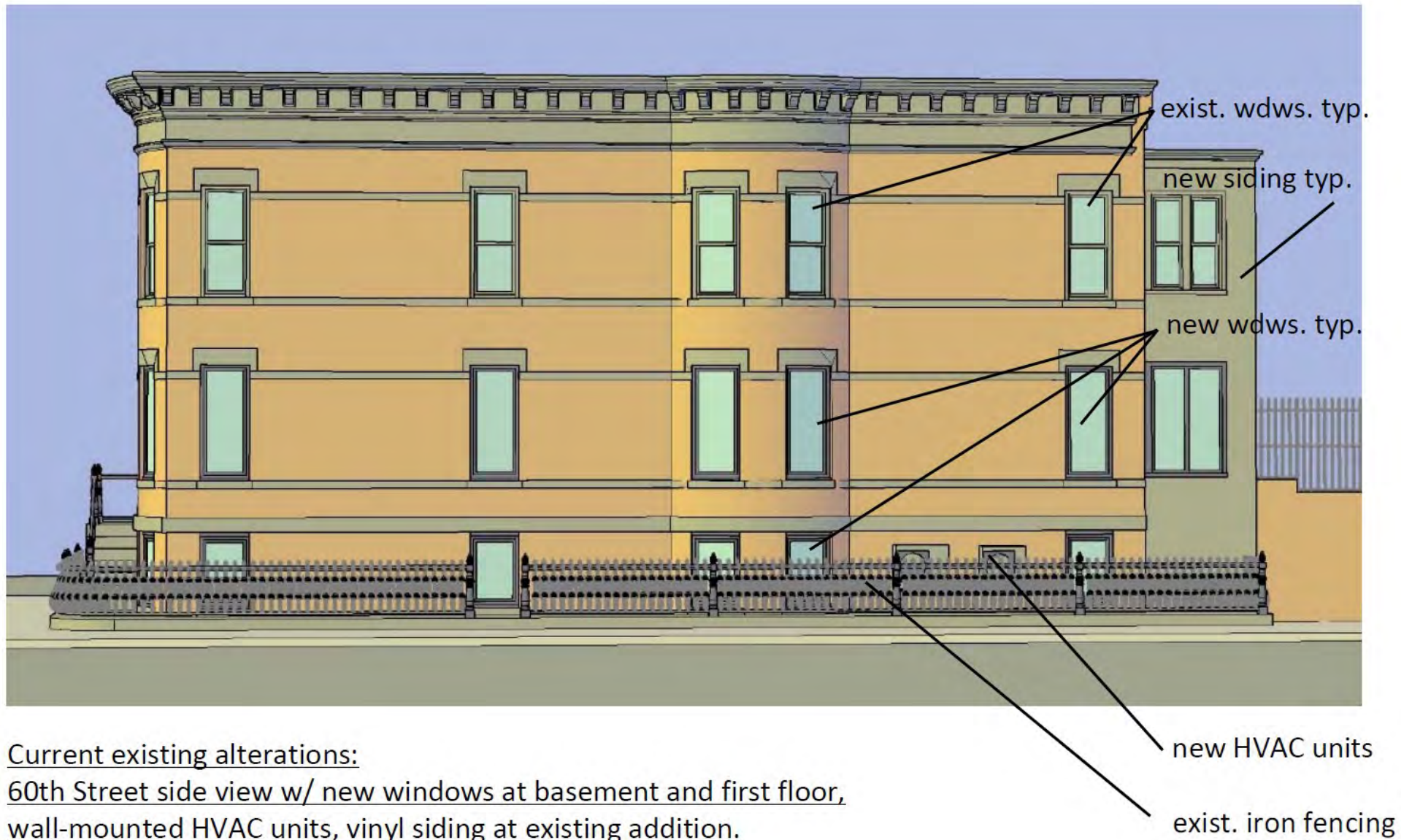
Current existing alterations:
detail view from corner w/ new windows at basement
and first floor, wall-mounted HVAC units.

new HVAC units
exist. iron fencing



Proposed new alterations:
new windows modified to resemble exist. double-hung configuration;
HVAC units concealed with new privacy screen.

new privacy screen
at HVAC units



View from 60th Street showing existing alterations



View from 60th Street showing proposed new alterations



Detail view of original ironwork at new 60th St. window (9/23/25)



Detail view at new 60th St. window (9/23/25)



Detail view from 60th Street showing original ironwork, new HVAC units (9/23/25)

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

HVAC Units / New natural cedar privacy screen



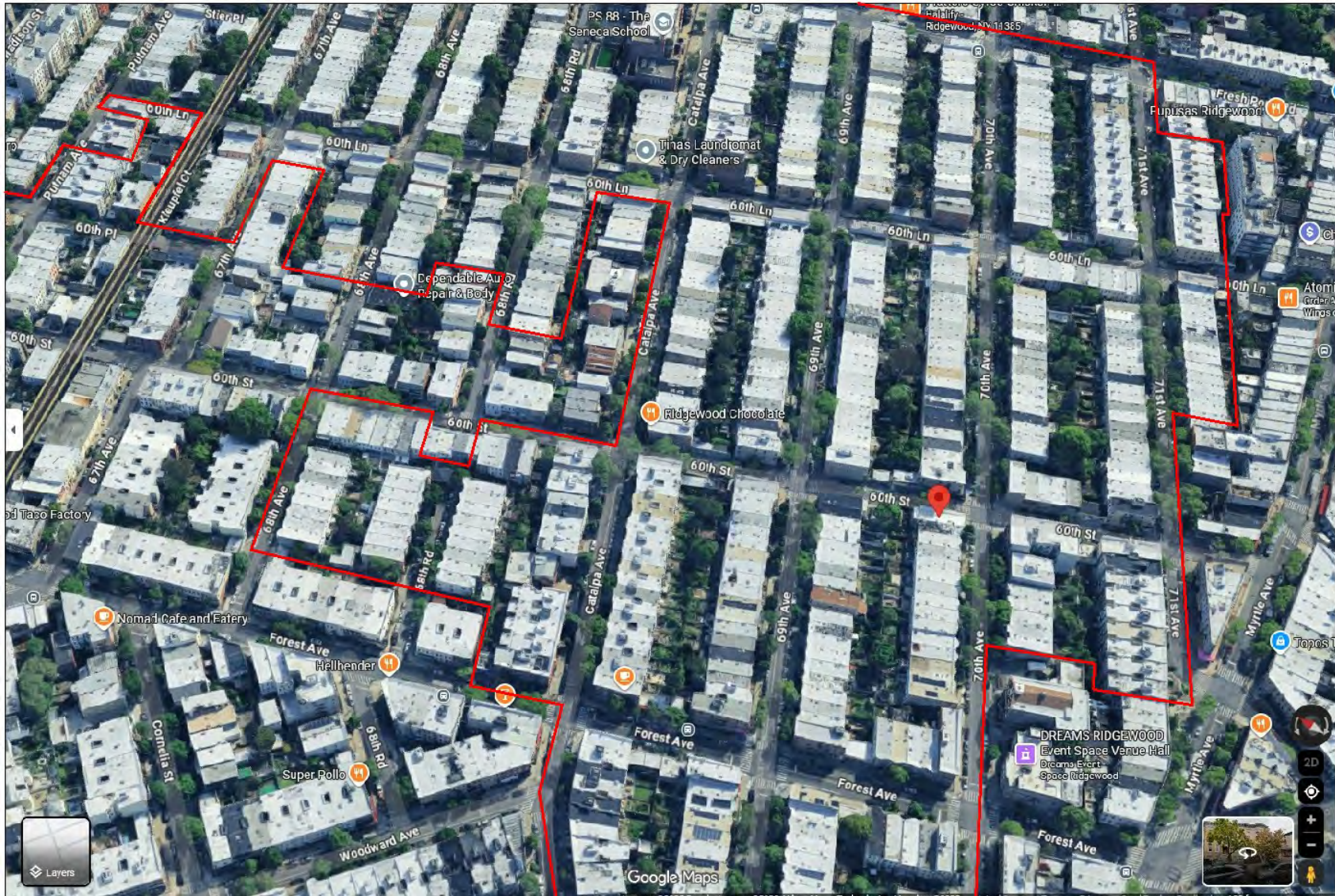
View of HVAC units from 70th Ave



View of HVAC units toward 70th Ave

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Rear addition alterations:



Location of 59-39 70th Ave in Central Ridgewood Historic District

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Rear addition alterations:



Location of 59-39 70th Ave, showing rear addition and corresponding facing rear addition at 59-98 69th Avenue

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Rear addition alterations:



View from 60th Street at rear of 59-39 70th Ave, showing rear addition and corresponding facing rear addition at 59-98 69th Avenue

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS

Before / Current Street Views: 70th Avenue at 60th Street restaurant expansion:



August 2019



July 2021

59-39 70th AVENUE / LPC-23-03281 / RIDGEWOOD, QUEENS-3507-29
PROPOSAL FOR LEGALIZATION OF ALTERATIONS



View from corner of 80th Avenue and 60th Street (11/8/23)

September 30,
2025 Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-26-01231

59-39 70th Avenue – Central Ridgewood Historic District Borough of Queens

To testify virtually, please join Zoom

Webinar ID: 161 043 8319

Passcode: 442922

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.