

September 30,
2025 Public Hearing

The current proposal is:

Preservation Department – Item 7, LPC-26-00124

**1 East 60th Street – Upper East Side Historic District
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 161 043 8319

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The Metropolitan Club

Presentation for Landmark Restoration and Proposed Capital Work

Prepared for the Landmarks Preservation Commission

September 30, 2025



ADP
ARCHITECTS



LAND USE COUNSEL

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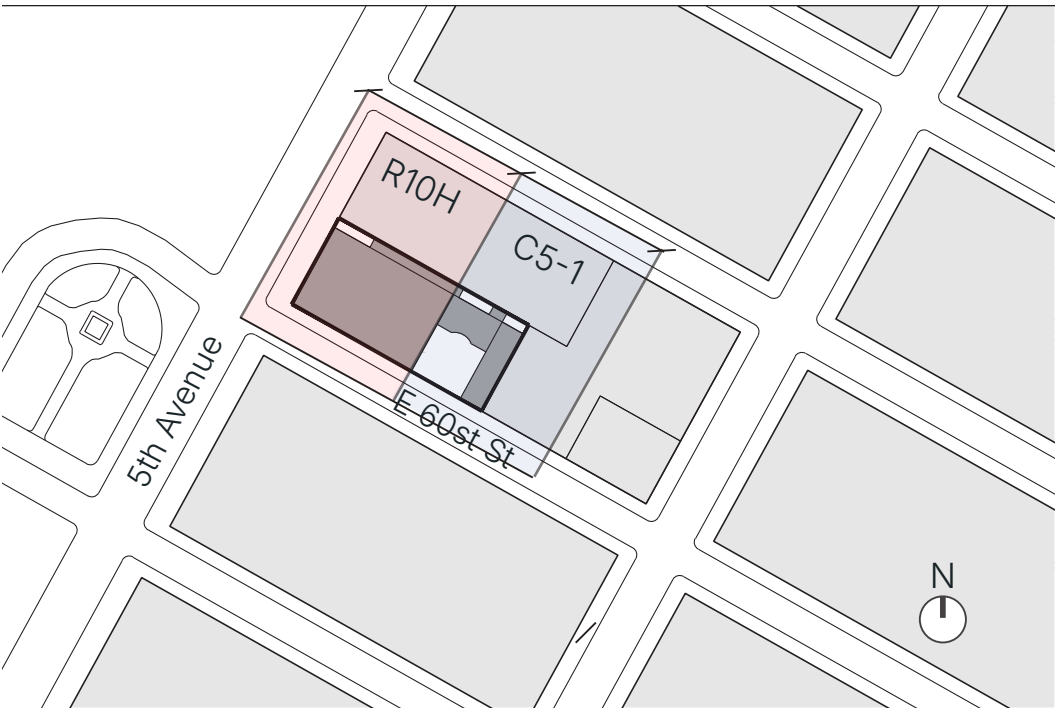
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1.0 Introduction

Introduction

As a requirement for **LPC approval of a Continuing Maintenance Program for the Metropolitan Club** in connection with a transfer of its Development Rights, this report outlines the following:

- Existing Conditions of the Metropolitan Club and Annex Buildings, Interior Conditions, and Shared MEP Systems.
- Agreement for Continuing Maintenance as required per ZR 75-422.



Existing Building Info

Address:
1 East 60th Street
New York, NY 10022

Block / Lot:
1375/1

Zoning District:
R10H, C5-1

Special District:
Special Park Improvement District

Zoning Map:
R10H
C5-1

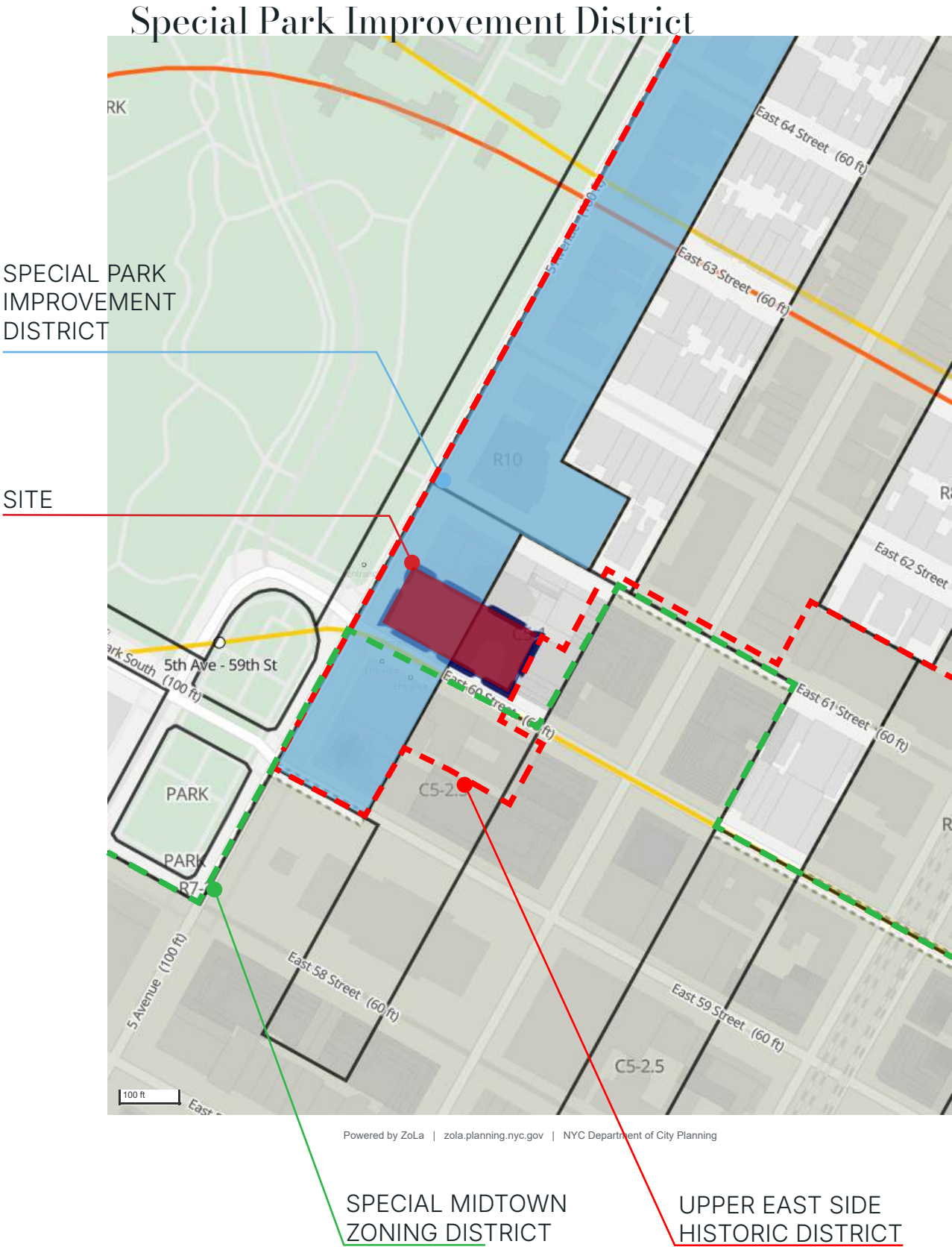
Community Board:
Manhattan 08

Use Group:
UG 3

NYC Landmark:
NYC Designated Landmark LP-1020

National Register of Historic Places:
Individually Listed #06101.000682
Contributing to Upper East Side Historic District

*All photos are by Acheson Doyle Partners Architects Unless Otherwise Noted



History

“Described by the 19th-century architectural historian Montgomery Schuyler as ‘the largest, most imposing, and most luxurious of the club-houses of New York,’” the Metropolitan Club Building was designed by Stanford White, a partner in the firm of McKim, Mead & White, and was built between 1892 and 1894. Executed on a grand scale in a restrained Italian Renaissance manner, the building incorporated the prestige and dignity of the Club’s founding members.

Located at the foot of what was becoming “Millionaires’ Row,” the site was part of the newest and most fashionable districts in the city. From the initial planning stage it was reported that the building would be of marble ‘in the simplest and severest style of Italian architecture.’ Following the extreme diversity of mid-19th century architectural styles, the classical tenets of the Renaissance were seen to offer an authoritative design solution which combined order, proportion, balance and urbanity.

Purchased for the relatively reasonable price of \$420,000, the Metropolitan Club site with its spectacular 100-foot Fifth Avenue front overlooking Central Park, featured in the founders’ plans from the very beginning. One design constraint imposed by the founders on the architects was the demand for a great lounging room from which the club men could enjoy both the vistas of the park and the processions of society along the avenue.

Raised up on a rusticated base encircled by a bold molding, the tightly jointed walls of the main block of the Metropolitan Club are pierced by rectilinear windows, chastely surrounded by an egg and dart molding and sheltered by a hood molding. Because of the importance of both the Fifth Avenue and 60th Street facades, they are handled in a similar restrained manner. Quoins strengthen the building’s corners and a band of small, square attic windows is set below the cornice. The most prominent feature of the general design is the elaborately modeled marble and copper cornice which projects six feet beyond the plane of the facade. The cornice, which is built up of a series of classical moldings including dentils, egg and dart and modillions provides a dramatic shading of an otherwise unrelieved surface. The overriding emphasis of the horizontal elements is moderately balanced by a series of balconies which gives a central emphasis normally provided by an entrance. The 60th Street facade is further adorned by a series of club plaques.

In 1912 the fashionable architect and interior designer Odgen Codman, Jr. transformed a vacant five-story residence adjacent to the club on 60th Street into a six-story club addition containing bachelor apartments.

An important element of the vanguard of development along Central Park’s eastern boundary, the Metropolitan Club Building helped to set the style and high standard of design for the surrounding area. While the club was born out of the changing social pattern of the 1890s, the building fits comfortably into a tradition of club design which began in England in the 1830s. Although the building’s design was a solution to the very specific requirements of the Metropolitan Club, it was also a significant advancement in the evolution of the neo-Italian Renaissance style as interpreted by the New York firm of McKim, Mead & White. Standing today amid some of the city’s most sophisticated architecture, the Metropolitan Club Building continues to contribute to the architectural excellence of the district and provides a vital link in the growth of this well-known neighborhood.”¹

¹Landmarks Preservation Commission Metropolitan Club Building Designation Report [LP-1020], New York, City of New York 1979.



Park Avenue
ca. 1900



E 60th Street Portico
ca. 1910

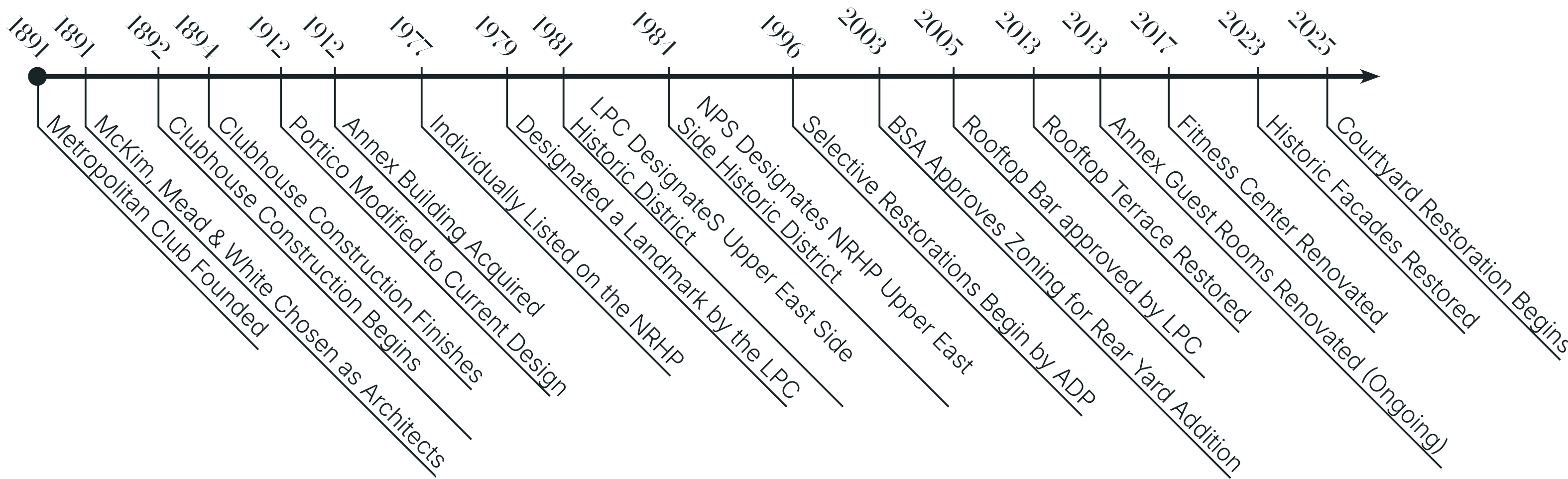


Rear Facade
ca. 1929



Interior (Great Hall)
ca. 1916-1960

History



Courtyard Portico
2024



5th Avenue Facade
2024



Courtyard Facade
2025

2.0 Needed Work

Capital Work Items Currently Required

- Capital work items currently required as a result of the February 2025 Existing Conditions Assessment
 - a) Courtyard Restoration & Exterior Lighting - In Progress
 - b) Main Club Library Wing Rear Facade
 - c) Library Wing, Club, & Annex Roofs
 - d) Facade Cleaning and Restoration (major portion completed 2023, ongoing work & completion required).

East 60th Street Courtyard

Exterior Details



- 2.3-1 Courtyard Porch
- Re-graded courtyard and eliminated non-ADA level change to entrance.
 - Removed deteriorated pressed concrete.
 - Mosaic restoration currently before LPC and Department of Buildings.

- 2.3-2 Courtyard Pavement
- Restored historic granite cobblestone paving.
 - Regraded entire courtyard to eliminate inaccessible conditions and improve drainage.
 - Patched holes in structural slab under pavement.

- 2.3-3 Replaced Courtyard Pavement
- Non-matching concrete patch.
 - Shifting pavement.
 - Significant cracking.
 - Restoration currently before LPC and Department of Buildings.

- 2.3-4 Courtyard Facade Base
- Removed ad hoc conduit from facade.
 - Cleaning currently in progress.

East 60th Street Courtyard

Exterior Details



- 2.1-5 Courtyard Path Pavement**
- Removed deteriorated concrete and non-matching concrete patching.
 - Re-introduced historic granite paving.
 - Entire courtyard graded to eliminate changes in level to entrances.

- 2.1-6 Courtyard Entrance**
- Significant cracked concrete removed.
 - Introduced drainage between courtyard & sidewalk.

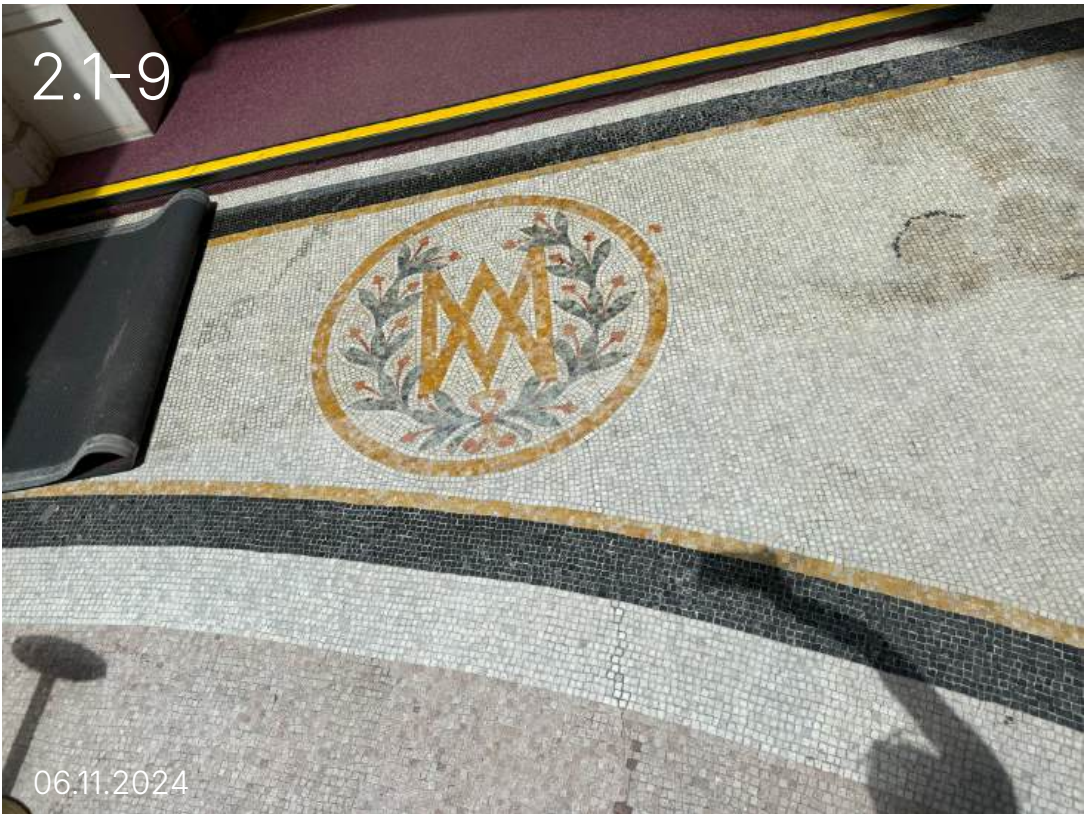


- 2.1-7 Courtyard Drain**
- Replaced undersized drain at courtyard portico with bronze trench drain to prevent water spilling from courtyard to the street.
 - New drain also provides additional drainage for the building and prevents cellar water infiltration.

- 2.1-8 Low Windows**
- Removed ad hoc conduit at low windows.
 - Removed ahistorical security booth.
 - Window grilles cleaned and restored.

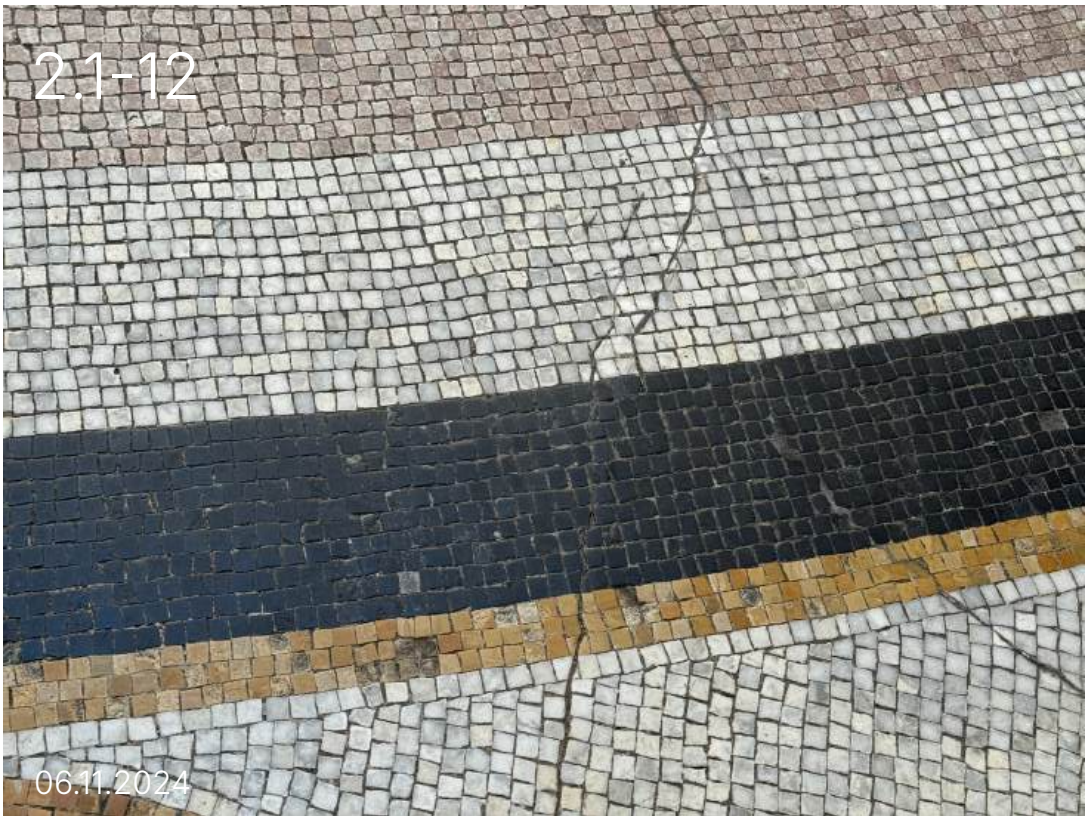
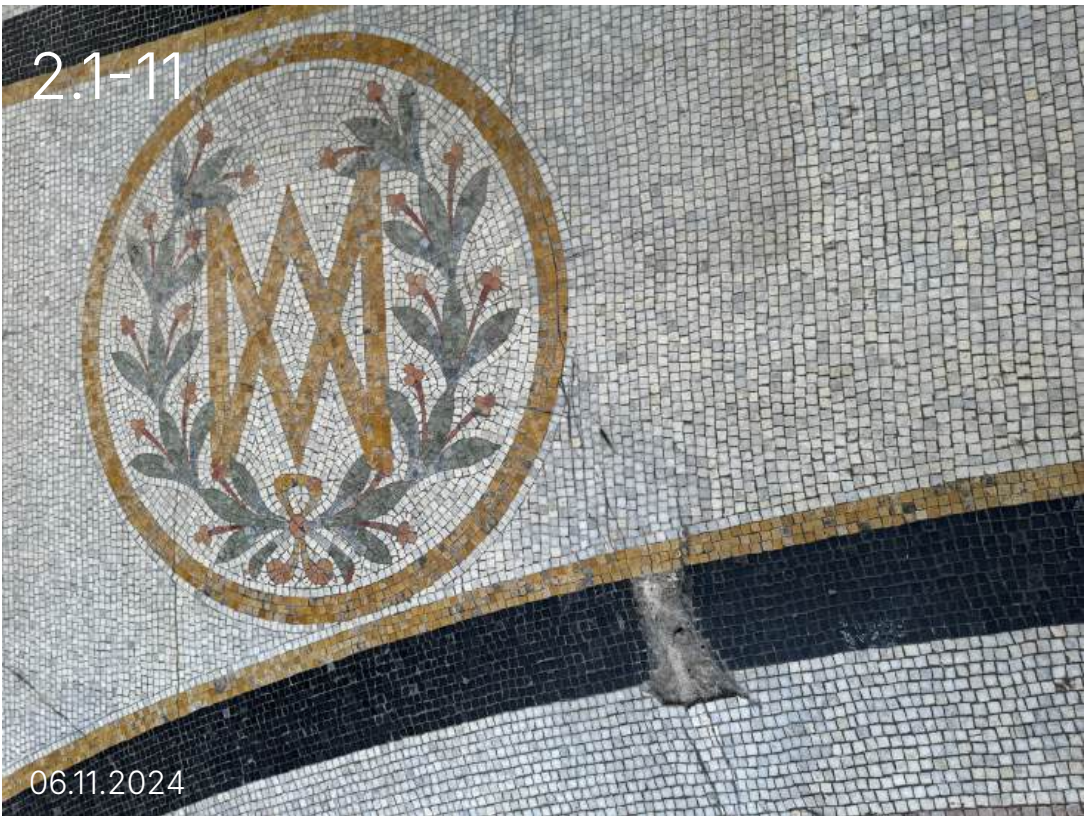
Courtyard Existing Conditions - Mosaic Porches

Exterior Details



- 2.1-9 West Porch**
- Stained tiles to be cleaned.
 - Cracking to be repaired.
 - Non-matching replacement tiles to be removed and replaced with matching tiles.
 - Restoration currently before LPC and Department of Buildings.

- 2.1-10 West Porch**
- Stained tiles to be cleaned.
 - Cracking to be repaired.
 - Non-matching replacement tiles to be removed and replaced with matching tiles.
 - Restoration currently before LPC and Department of Buildings.



- 2.1-11 East Porch**
- Missing tiles to be replaced.
 - Significant cracking throughout to be repaired.
 - Stained tiles to be cleaned.
 - Restoration currently before LPC and Department of Buildings.

- 2.1-12 East Porch**
- Significant cracking throughout to be repaired.
 - Missing tiles to be replaced.
 - Restoration currently before LPC and Department of Buildings.





Library Wing Existing Conditions - Rear Facade

Exterior Details



- 2.2-1 Library Wing Rear Facade**
- Incomplete drainage system. Integrate into building drainage system and replace deteriorated parts as required.
 - Remove organic growth on brick.
 - Augment insufficient bird mitigation.
 - Repair raised flashing.
 - Needs immediate attention.

- 2.2-2 Library Wing Rear Facade**
- Repair and/or restore spalled brick.
 - Insufficient pointing.Repoint as required.
 - Needs immediate attention.



- 2.2-3 Library Wing Rear Facade**
- Step cracking. To be repaired as required.
 - Brick face cracking. To be repaired as required.
 - Repair and/or restore spalled brick.
 - Remove organic growth.
 - Needs immediate attention.

- 2.2-4 Library Wing Rear Facade**
- Remove organic growth.
 - Repair and/or restore cracked and spalled brick.
 - Insufficient bird mitigation.
 - Needs immediate attention.

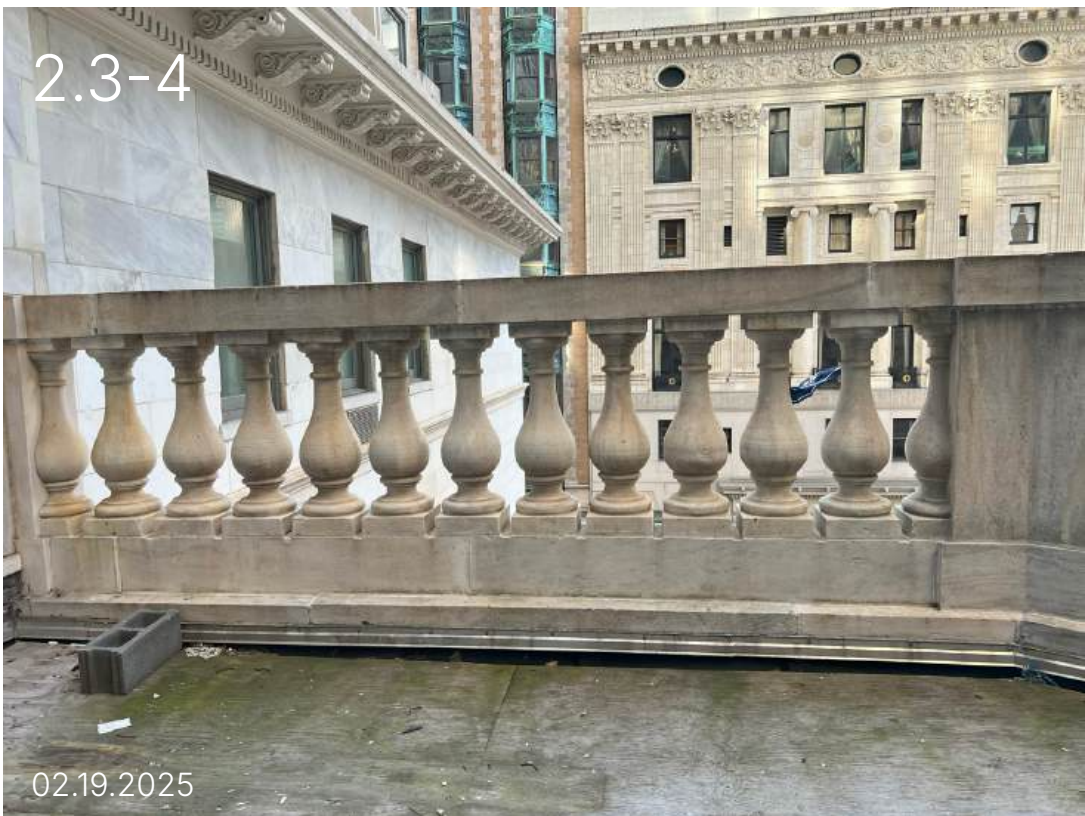
Main Club Building Library Wing Roof - Existing Conditions

Exterior Details



- 2.3-1 Library Roof**
- Library roof under temporary protection due to ongoing work at the adjacent Hotel Pierre.
 - Condition of roofing to be assessed once it is safe and possible.

- 2.3-2 Library Roof - North Parapet**
- Deteriorated masonry joints to be repaired.
 - Replace spalled brick.
 - Repair deteriorated parging.
 - Base flashing, coping, and waterproofing in good condition.



- 2.3-3 Library Roof - Skylight**
- Skylight under temporary protection due to ongoing work at the adjacent Hotel Pierre.
 - Adjacent flashing and waterproofing appeared to be in fair condition.

- 2.3-4 Library Roof - Balustrade**
- Courtyard facing balustrade restored and cleaned in 2023 and is in good condition.
 - Potential lighting behind balustrade planned.

Annex Wing Roof - Existing Conditions

Exterior Details



- 2.4-1 Roof
- General condition of flat roof is good.
 - Waterproofing in fair condition.
 - HVAC and plumbing equipment in good condition and is accessible.
 - Install guard rail as required by code

- 2.4-2 Roof - Skylight
- Skylight glazing and frame in good condition.
 - Waterproofing and flashing in good condition.

- 2.4-3 Roof - Dormers
- Slate in good condition.
 - Metal dormer roofs and cladding in good condition.
 - Cornice and waterproofing in good condition.

- 2.4-4 Roof - HVAC
- Waterproofing in fair condition.
 - HVAC & penetration waterproofing in good condition.
 - Metal dormers in good condition but will be made historically appropriate with leaded copper in next restorative repair.

Annex Wing Roof - Existing Conditions

Exterior Details



- 2.4-5 Roof - Typical Dormer**
- General condition of dormer roof and cladding is good.
 - Rust stains at selective locations to be removed.
 - Joints with roof are in good condition.

- 2.4-6 Roof - Typical Slate**
- Slate roof system generally in good condition.
 - Accumulation of detritus and organic matter in gutter to be removed.
 - Slight organic growth on slate to be removed.

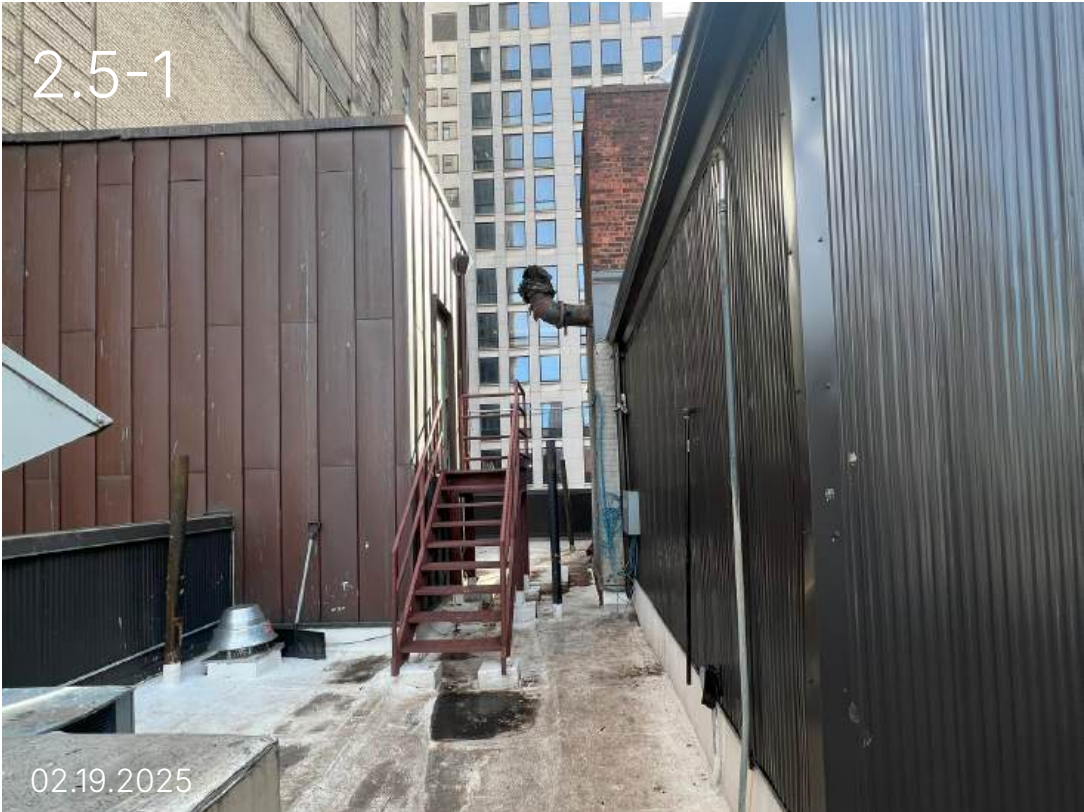


- 2.4-7 Roof - Parapet**
- Coping in good condition.
 - Paint peeling at select locations. Repaint as required.
 - Rust staining at select locations. Clean as required.
 - Flashing in good condition.

- 2.4-8 Roof - Chimney and Support**
- Support observed to be in good condition.
 - Slight rusting on structural support.
 - Chimney observed to be in good condition.

Main Club Building Roof - Existing Conditions

Exterior Details



- 2.5-1 Roof
- Waterproofing in serviceable condition.
 - 6th Floor Cladding in good condition.



- 2.5-2 Roof
- Drains in working order, typical throughout.
 - Waterproofing in serviceable condition.
 - Some ponding in selective areas.

- 2.5-3 Roof
- Waterproofing and HVAC equipment in good condition.
 - Some ponding along direction to drain. Investigate and repair underlayment as required.

- 2.5-4 Roof
- Drain scupper overturned at one location. Return to correct position.
 - Waterproofing in good condition.
 - Cracked brick. Replace as required.
 - Damaged MEP systems. Replace as required.

Main Club Building Roof - Existing Conditions

Exterior Details



- 2.5-5 Chimney**
- Flashing in somewhat deteriorated condition. To be repaired.
 - Peeling paint. Repaint as required.
 - Waterproofing up to flashing in good condition.
 - Coping in good condition.

- 2.5-6 Chimney Bulkhead**
- Peeling paint. Repaint as required.
 - Waterproofing up to flashing in serviceable condition.
 - Coping in generally good condition. Some spalls along the edges. Repair as required.
 - HVAC equipment in serviceable condition.



- 2.5-7 Roof Parapet**
- Cladding, coping and waterproofing in generally good condition.
 - Light selective cleaning in the future.

- 2.5-8 Roof at Bulkhead**
- Waterproofing in good condition.
 - Ponding in select locations.
 - Waterproofing and coping in good condition.
 - Peeling paint on brick. Repaint as required.
 - Wiring to be concealed and protected.

Main Club Building and Annex Facades

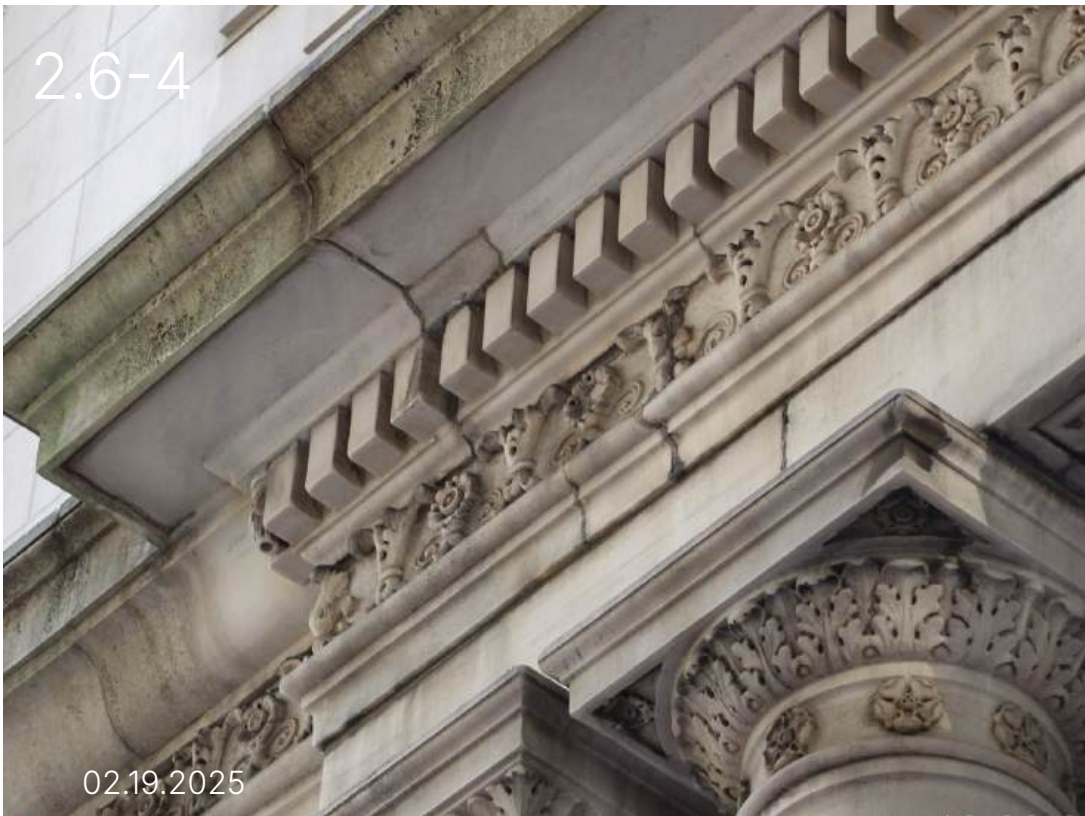


Main Club Building and Annex Facades



- 2.6-1 Library Wing Facade**
- Upper facade blackened with dirt. To be cleaned.
 - Repoint masonry as required.

- 2.6-2 Portico Plinths**
- Deteriorated joints. Repoint as required.
 - Clean staining as required.



- 2.6-3 Annex - South Facade**
- Repaint cornice.
 - Brick in generally good condition. Repoint as required.
 - Terracotta window surrounds in fair condition. Repair/patch as required.

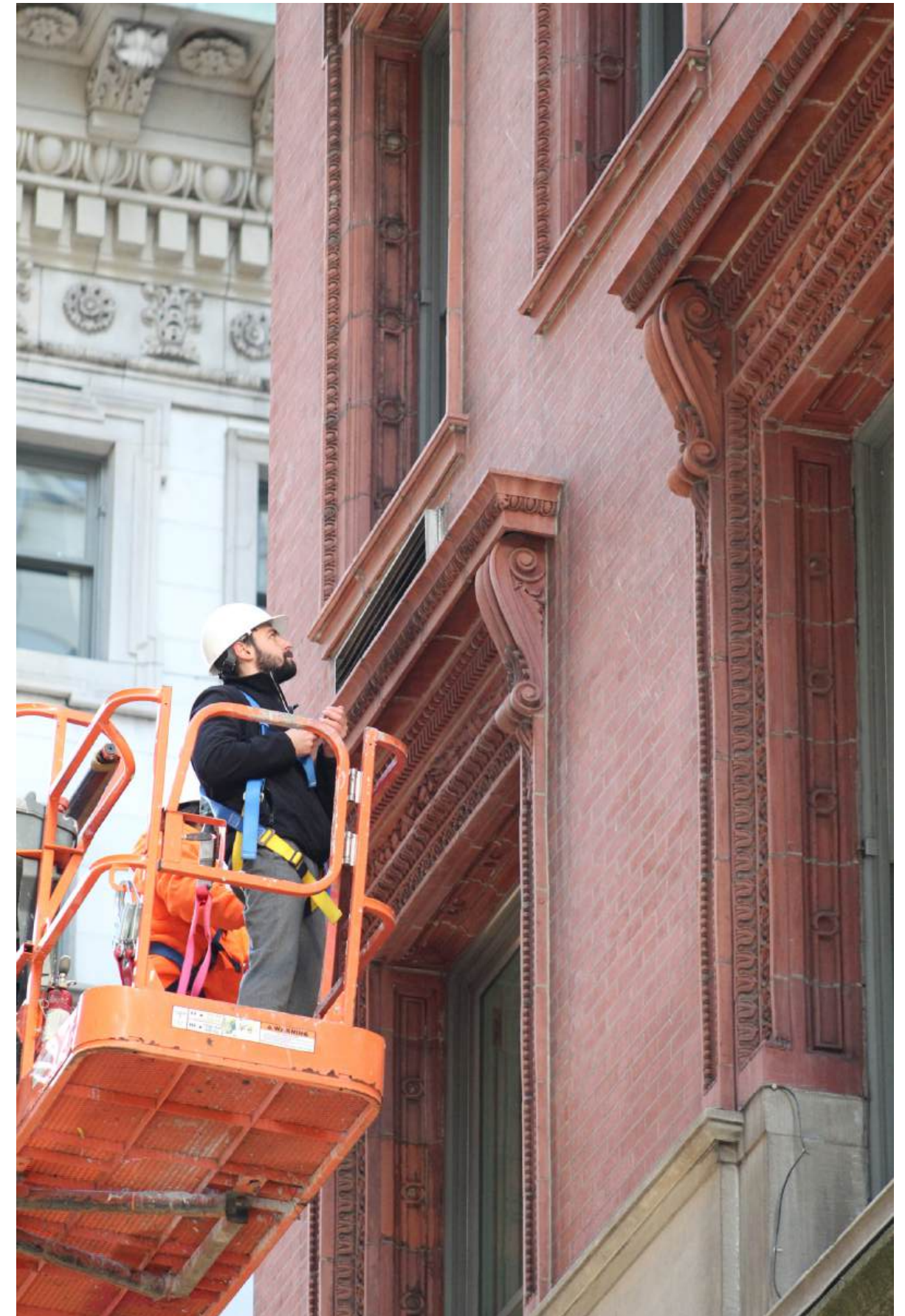
- 2.6-4 Portico Cornice**
- Masonry in generally good condition.
 - Repoint joints as required.
 - Clean dirt on cornice.
 - Patch spalls in stone ornament/reform reliefwork as required.

3.0 Continuing Maintenance Plan

Continuing Maintenance Plan

The Continuing Maintenance Agreement will be documented in a recorded instrument and will include the following elements:

1. Require the Owner of the Landmark to do the exterior work identified in the Existing Conditions Report.
2. Require the Owner to thereafter maintain the Landmark structure in sound condition.
3. Require the Owner to (i) undertake a survey of the Landmark structure every seven years for the benefit of the LPC to assess the condition of the building and identify any work require to ensure that the building meets the required standard, and (ii) carry out any work identified in the survey as necessary to maintain the building on an ongoing basis.
4. Require the Owner to have a maintenance fund for the completion of the upfront work and for the ongoing survey and Landmark work.



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4.0 Appendix A: Existing Conditions Report

Library Wing Existing Conditions - Rear Facade

Exterior Details



4.1-1 Library Wing Rear Facade



- Incomplete drainage system.
- Organic growth on brick.
- Insufficient bird mitigation.
- Raised flashing.
- Needs immediate attention.

4.1-2 Library Wing Rear Facade



- Spalled brick.
- Insufficient pointing.
- Needs immediate attention.



4.1-3 Library Wing Rear Facade



- Step cracking.
- Brick face cracking.
- Brick spalling.
- Organic growth.
- Needs immediate attention.

4.1-4 Library Wing Rear Facade



- Organic growth.
- Cracked and spalled brick.
- Insufficient bird mitigation.
- Needs immediate attention.

Main Club Building Library Wing Roof - Existing Conditions

Exterior Details



- 4.2-1 Library Roof**
- Library roof under temporary protection due to ongoing work at the adjacent Hotel Pierre.
 - Condition of roofing to be assessed once it is safe and possible.

- 4.2-1 Library Roof - North Parapet**
- Deteriorated masonry joints.
 - Brick spalling
 - Peeling parging.
 - Base flashing, coping, and waterproofing in good condition.



- 4.2-3 Library Roof - Skylight**
- Skylight under temporary protection due to ongoing work at the adjacent Hotel Pierre.
 - Adjacent flashing and waterproofing appeared to be in fair condition.

- 4.2-4 Library Roof - Balustrade**
- Courtyard facing balustrade restored and cleaned in 2023 and is in good condition.
 - Potential lighting behind balustrade planned.

Courtyard Existing Conditions

Exterior Details



- 4.3-1 Courtyard Porch**
- Non-ADA Level Change to Entrance.
 - Deteriorating pressed concrete.
 - Restoration currently before LPC and Department of Buildings.



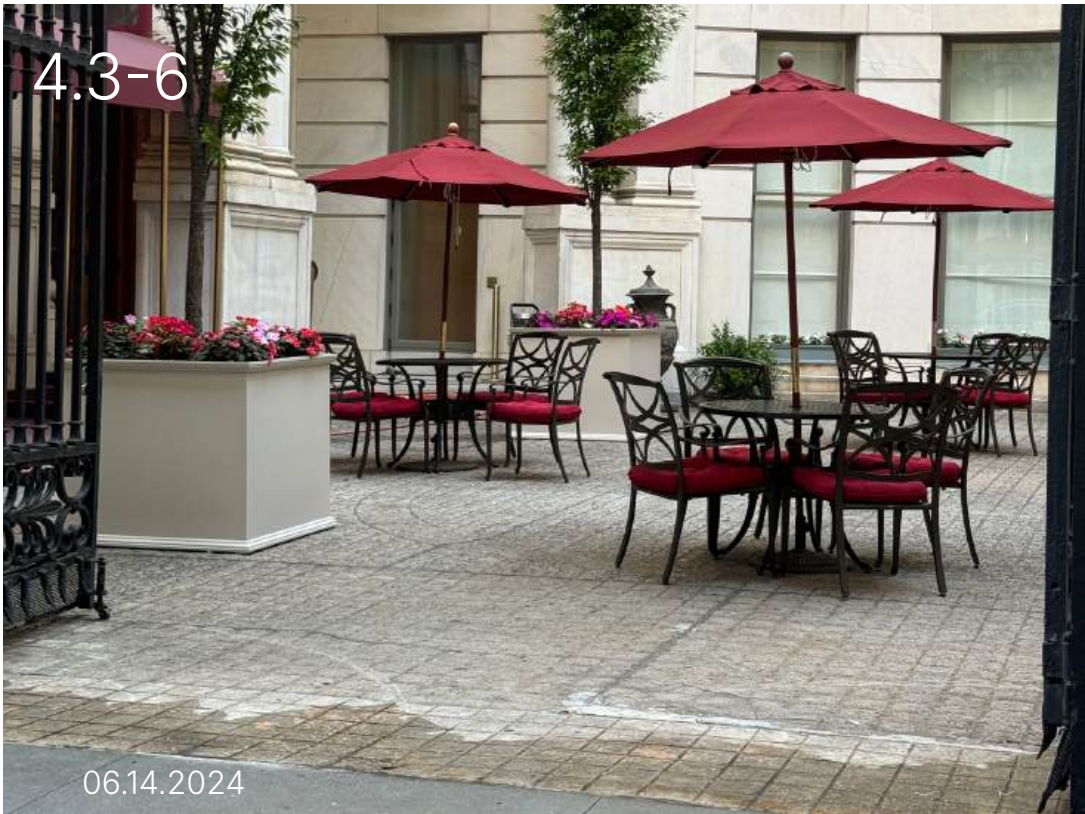
- 4.3-2 Courtyard Pavement**
- Shifting pavement.
 - Significant cracking.
 - Holes in pavement.
 - Deteriorating concrete.
 - Restoration currently before LPC and Department of Buildings.

- 4.3-3 Courtyard Pavement**
- Non-matching concrete patch.
 - Shifting pavement.
 - Significant cracking.
 - Restoration currently before LPC and Department of Buildings.

- 4.3-4 Courtyard Pavement**
- Non-matching repair.
 - Deteriorating pavement.
 - Restoration currently before LPC and Department of Buildings.

Courtyard Existing Conditions

Exterior Details



4.3-5 Courtyard Path Pavement



- Deteriorating concrete.
- Non-matching concrete patching.
- Restoration currently before LPC and Department of Buildings.

4.3-6 Courtyard Entrance



- Significant cracking.
- No drainage between courtyard & sidewalk.
- Deteriorating concrete.
- Restoration currently before LPC and Department of Buildings.



4.3-7 Courtyard Drain



- Undersized drain at courtyard portico
- Significant cracking at drain.
- Restoration currently before LPC and Department of Buildings.

4.3-8 Courtyard Power



- Ad hoc conduit at *bocca di lupo* window.
- Ahistorical security booth.
- Restoration currently before LPC and Department of Buildings.

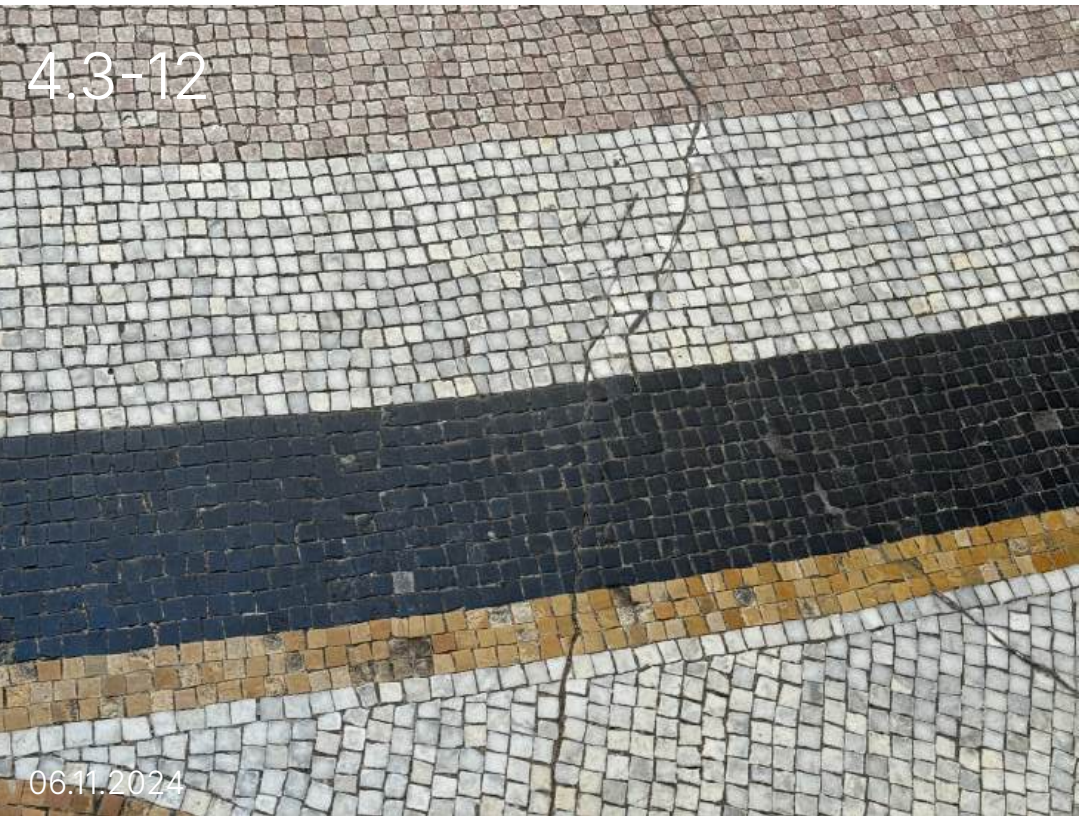
Courtyard Existing Conditions - Mosaic Porches

Exterior Details



- 4.3-9 West Porch**
- Stained tiles
 - Cracking.
 - Non-matching replacement tiles.
 - Restoration currently before LPC and Department of Buildings.

- 4.3-10 West Porch**
- Stained tiles.
 - Cracking.
 - Missing/damaged tiles.
 - Restoration currently before LPC and Department of Buildings.



- 4.3-11 East Porch**
- Large areas of missing tiles
 - Significant cracking throughout.
 - Stained tiles.
 - Restoration currently before LPC and Department of Buildings.

- 4.3-12 East Porch**
- Significant cracking throughout.
 - Missing tiles.
 - Restoration currently before LPC and Department of Buildings.

Main Club Facade Existing Conditions

Exterior Details



4.4-1 5th Avenue Facade

- Cleaned and Restored in 2023.

4.4-2 5th Avenue Balcony

- Marble cleaned and restored in 2023.
- New drainage installed in 2023.



4.4-3 Cornice

- All modillions and moldings cleaned and Restored in 2023.

4.4-4 Courtyard Facades

- Cleaned and Restored in 2023.

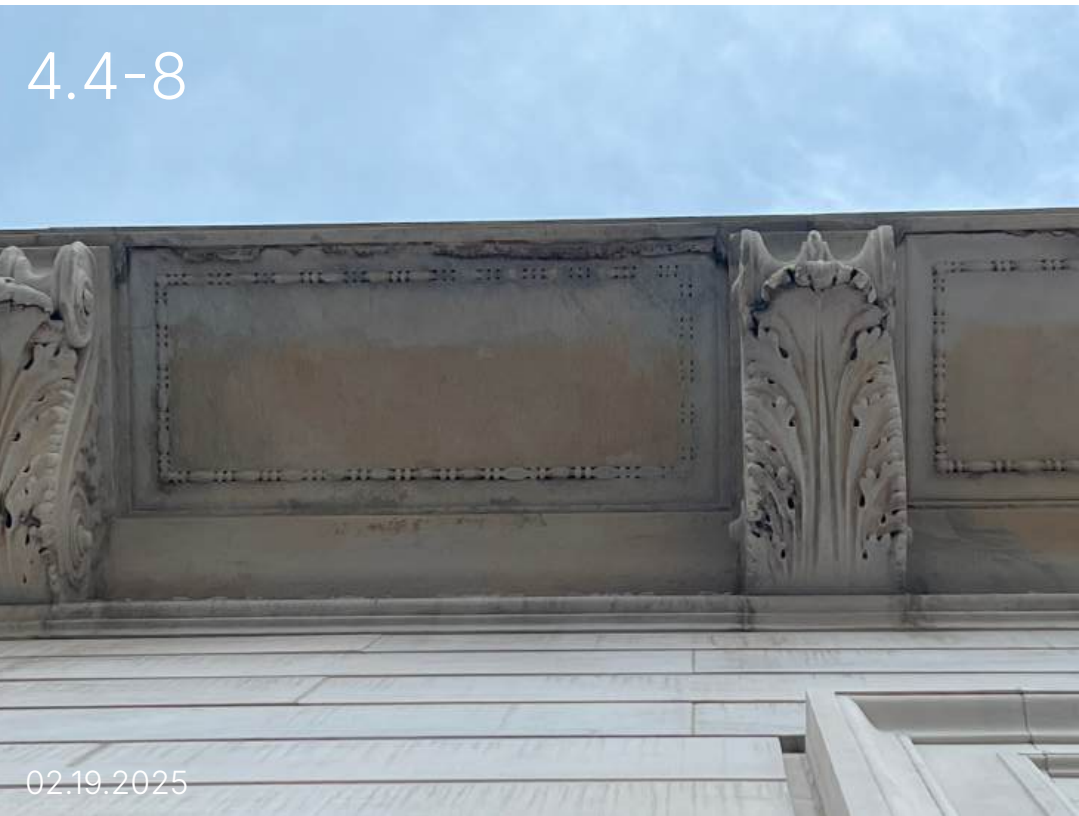
Main Club Facade Existing Conditions

Exterior Details



4.4-5 Bird Mitigation
• Electrified and non-electrified bird mitigation strategies deployed across entire facade.

4.4-6 5th Avenue Facade
• Marble cleaned in 2023.
• Selective areas of slight spalling.

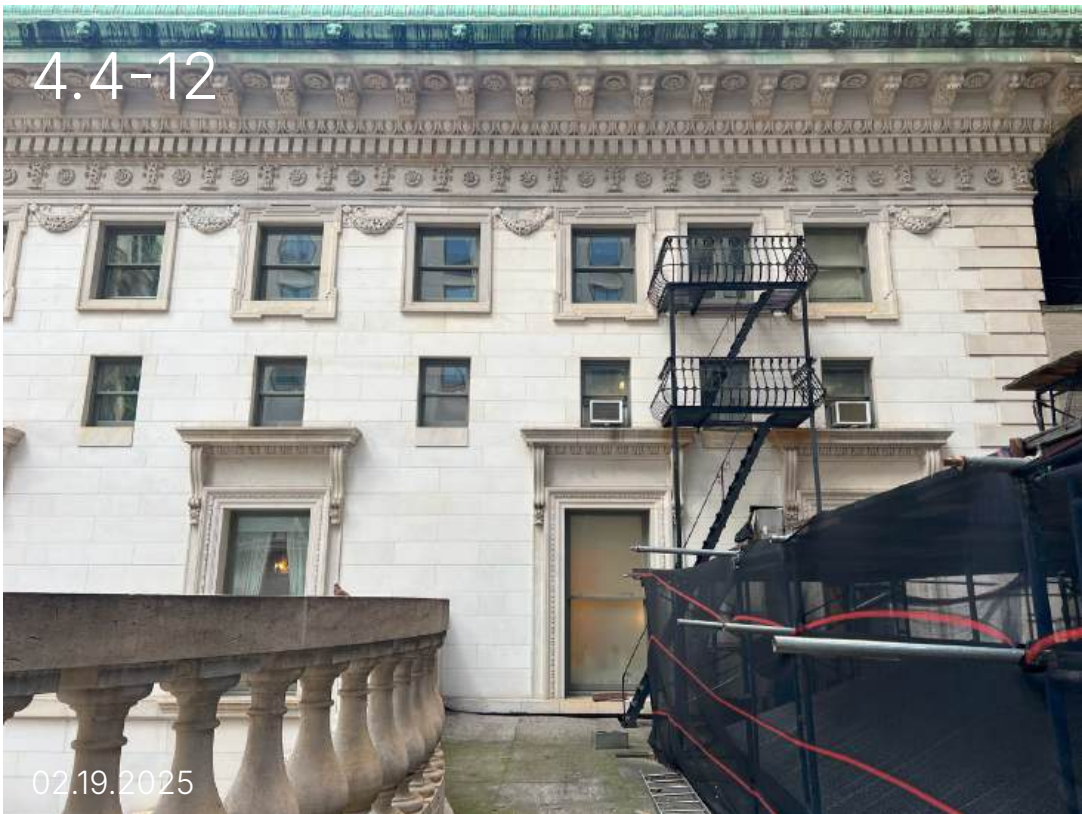
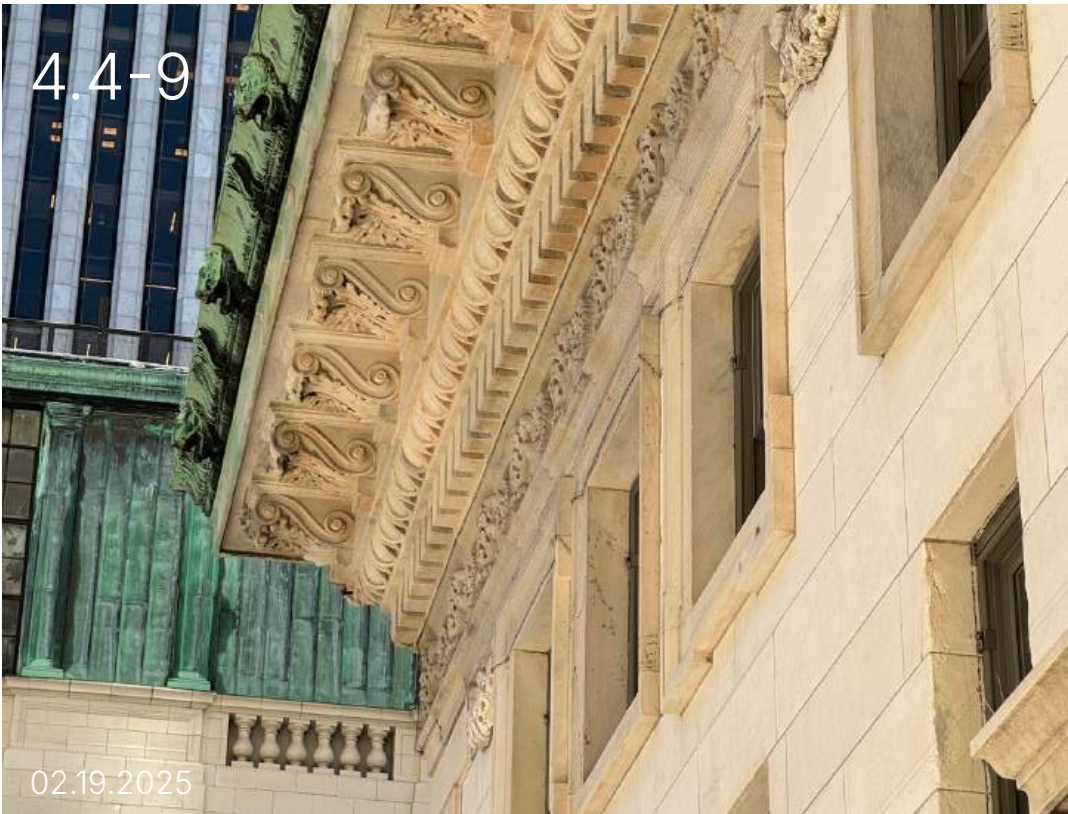


4.4-7 Facades
• Dutchman repairs to select areas made in 2023.

4.4-8 Cornice
• Cleaned in 2023.
• Generally good condition. Selective areas of deterioration (e.g., bead and reel as shown).

Main Club Facade Existing Conditions

Exterior Details



- 4.4-9 Courtyard Facade**
- Marble and copper cornice cleaned and restored in 2023.
 - Slight erosion around blank window openings.
 - Attic story architraves in good condition.

- 4.4-10 5th Avenue Balconies**
- Marble cleaned and restored in 2023.
 - Generally very good condition.

- 4.4-11 Facades**
- Rust at ground-level opening grates.

- 4.4-12 Courtyard Facade**
- Cleaned in 2023.
 - Generally good condition.
 - Historic fire escape in good condition.

Annex Facade Existing Conditions

Exterior Details

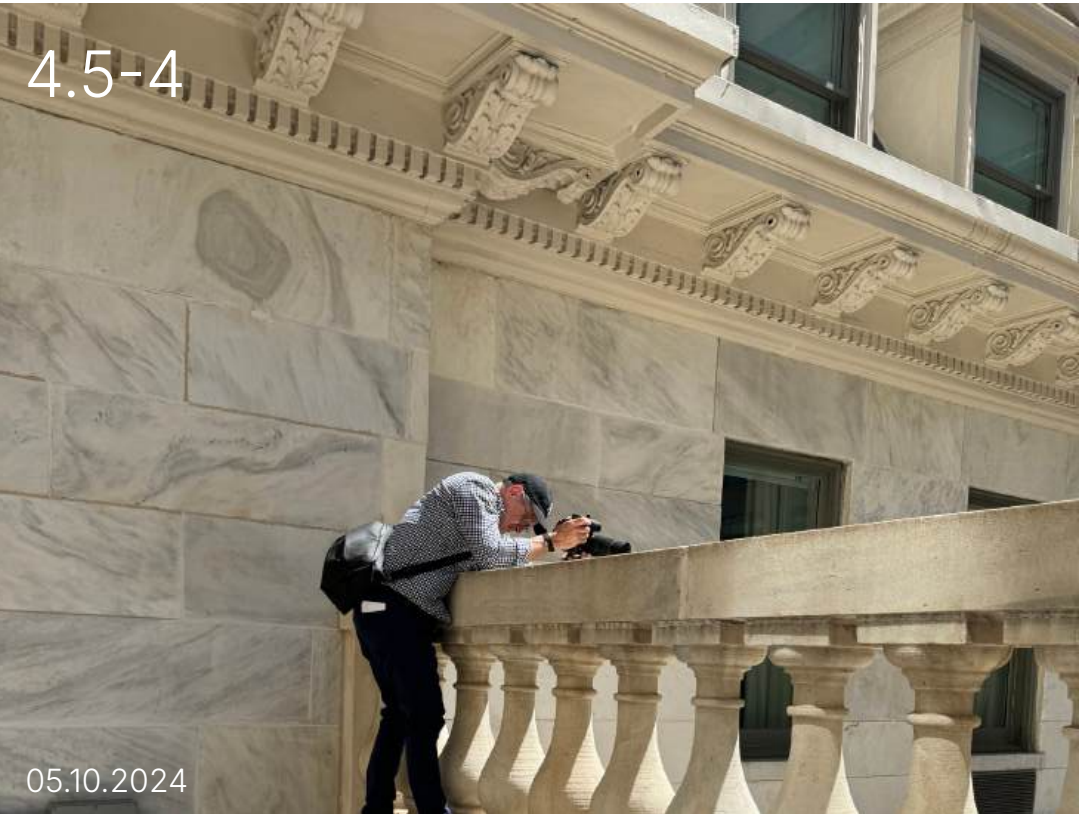


4.5-1 Terracotta Architraves

- Sounded and cleaned in 2023.

4.5-2 E 60th Street Facade

- Brick and stone cleaned and restored in 2023.



4.5-3 Courtyard Facade

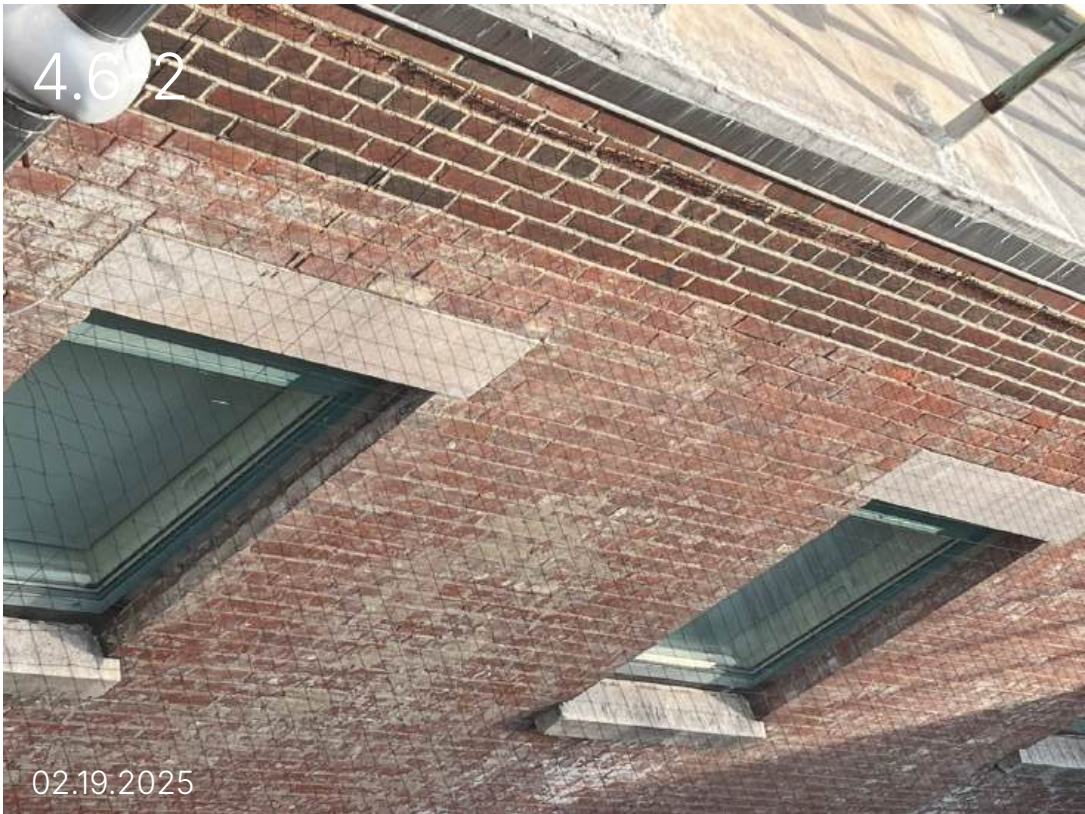
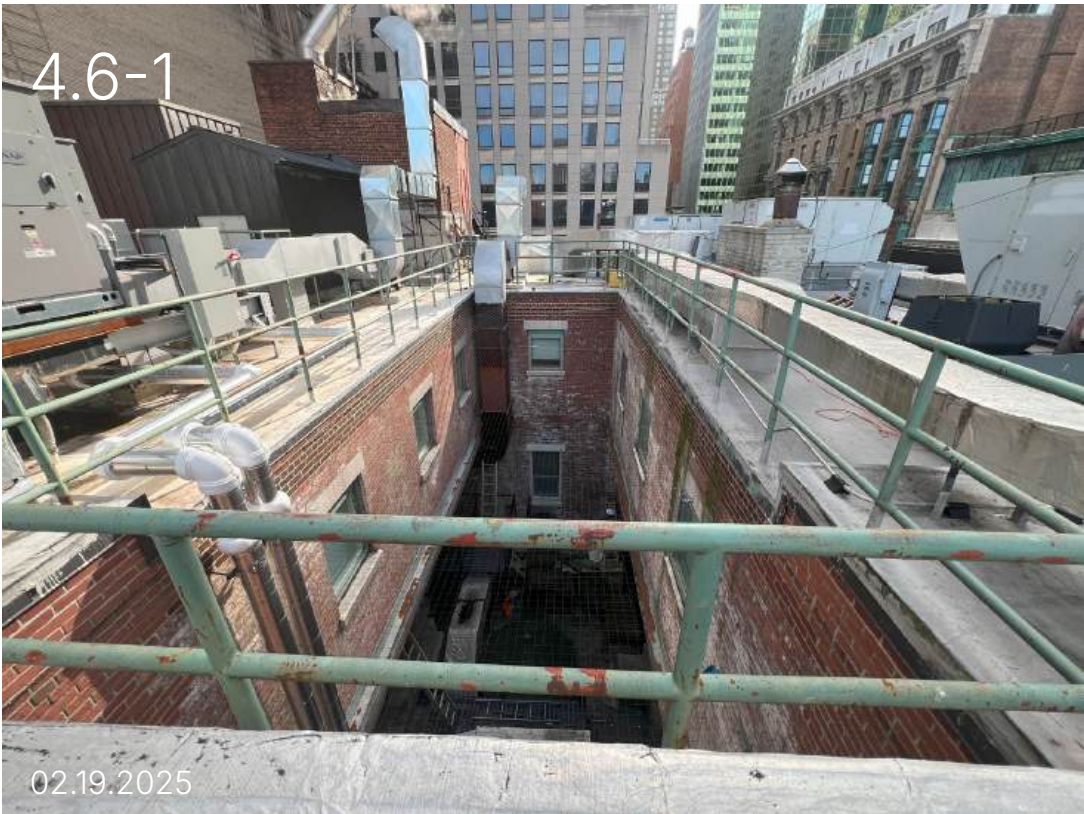
- Stone cleaned and restored in 2023

4.5-4 Cornice

- Cornice cleaned and repainted in 2023.

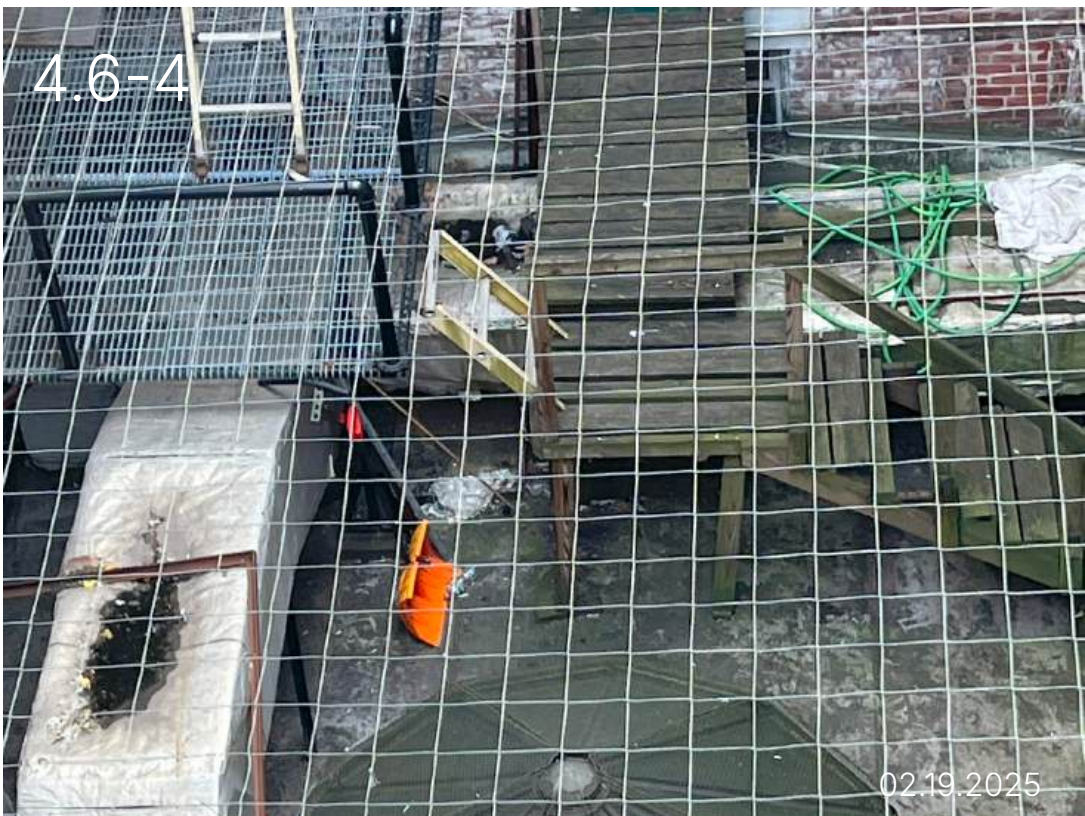
Main Club Building Light well - Existing Conditions

Exterior Details



- 4.6-1 Light well Facade
- Efflorescence
 - Selective repointing required.
 - Railing repainting required.

- 4.6-2 Light well Facade
- Mortar deterioration in select areas
 - Efflorescence
 - Metal coping generally in good condition.



- 4.6-3 Light well Facade
- Organic growth observed
 - Efflorescence
 - Mortar deterioration in select areas

- 4.6-4 Light well
- Wooden duct access platform requires repair.
 - Ponding on duct run and depressed duct insulation.
 - Skylight protection and waterproofing observed to be in good condition.
 - Future plans to electrically illuminate skylights for evening events.

Annex Wing Roof - Existing Conditions

Exterior Details



- 4.7-1 Roof**
- General condition of flat roof is good.
 - Waterproofing in fair condition.
 - HVAC and plumbing equipment in good condition and is accessible.
 - Install guard rail as required by code

- 4.7-2 Roof - Skylight**
- Skylight glazing and frame in good condition.
 - Waterproofing and flashing in good condition.

- 4.7-3 Roof - Dormers**
- Slate in good condition.
 - Metal dormer roofs and cladding in good condition.
 - Cornice and waterproofing in good condition.

- 4.7-4 Roof - HVAC**
- Waterproofing in fair condition.
 - HVAC & penetration waterproofing in good condition.
 - Metal dormers in good condition but will be made historically appropriate with leaded copper in next restorative repair.

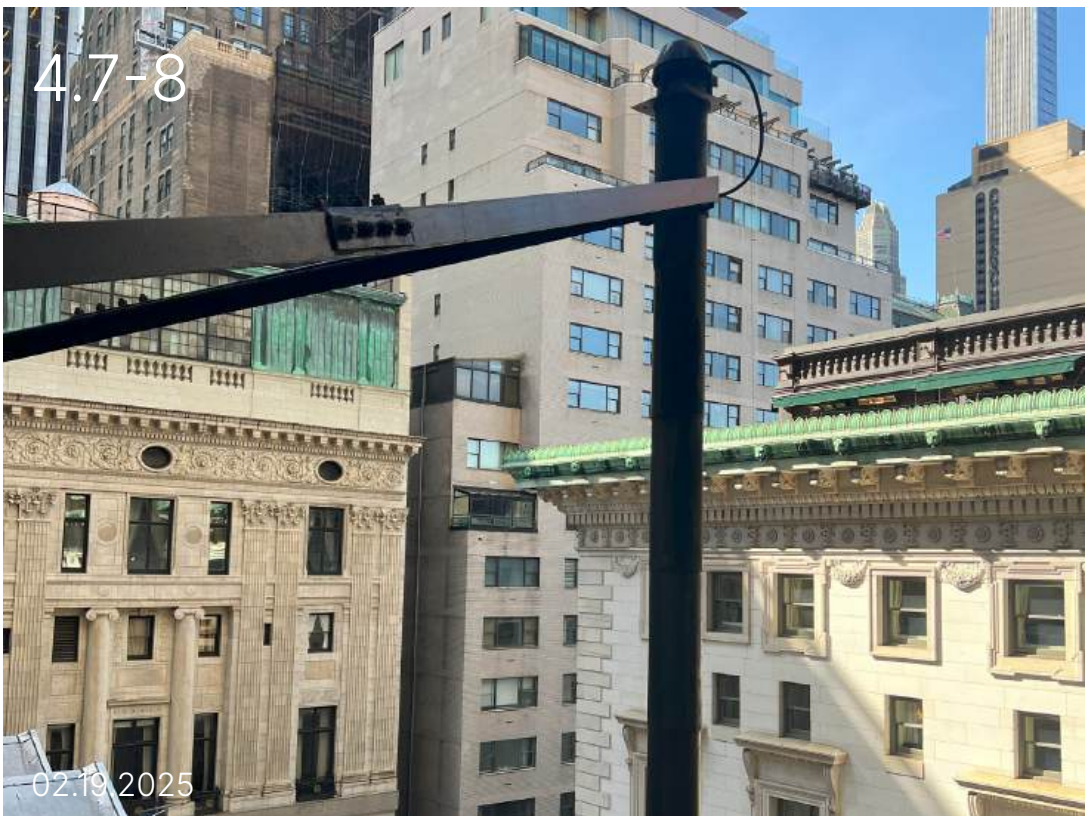
Annex Wing Roof - Existing Conditions

Exterior Details



- 4.7-5 Roof - Typical Dormer**
- General condition of dormer roof and cladding is good.
 - Rust stains at selective locations.
 - Joints with roof are in good condition.

- 4.7-6 Roof - Typical Slate**
- Slate roof system generally in good condition.
 - Accumulation of detritus and organic matter in gutter.
 - Slight organic growth on slate.



- 4.7-7 Roof - Parapet**
- Coping in good condition.
 - Paint peeling at select locations.
 - Rust staining at select locations.
 - Flashing in good condition.

- 4.7-8 Roof - Chimney and Support**
- Support observed to be in good condition.
 - Slight rusting on structural support.
 - Chimney observed to be in good condition.

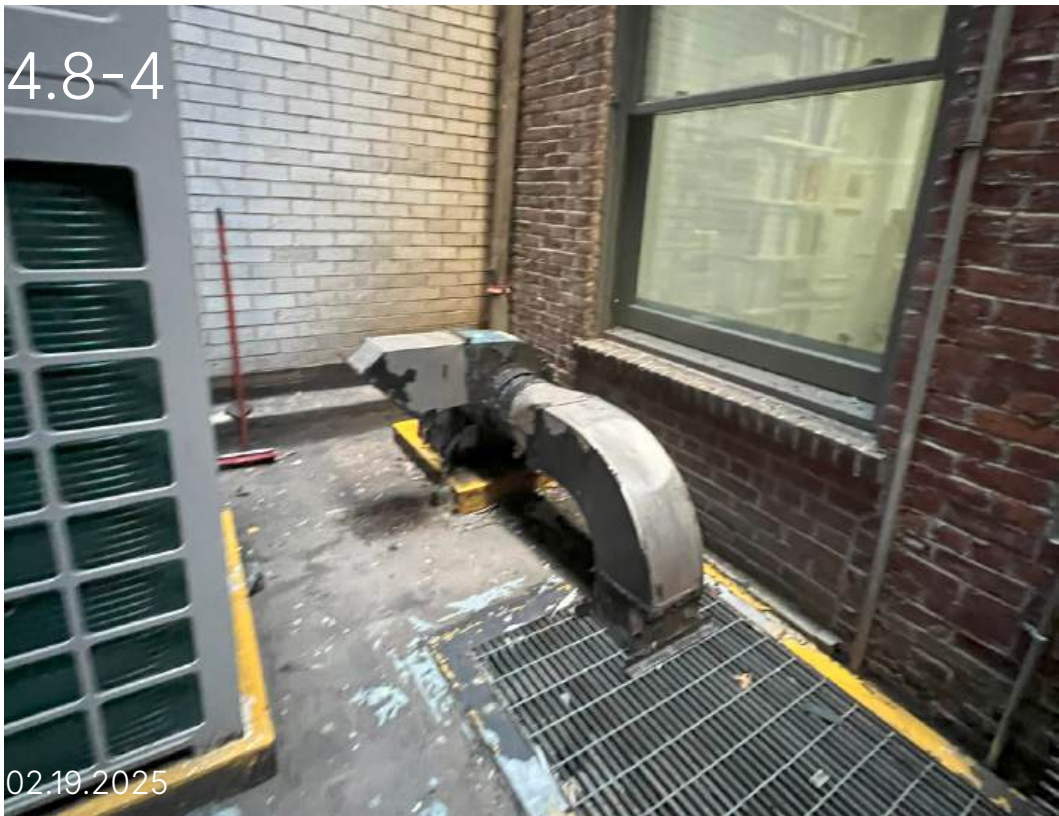
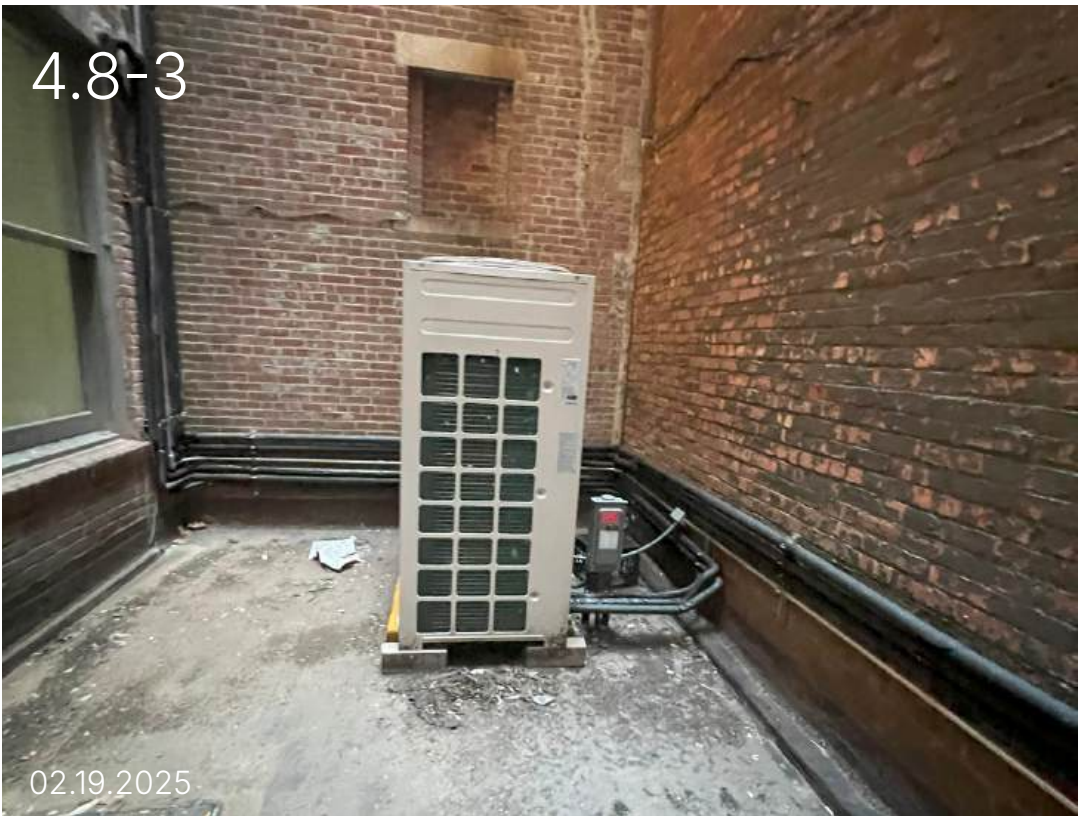
Annex Wing Existing Conditions - Rear Facade

Exterior Details



- 4.8-1 Annex Wing Rear Facade
- Reasonable condition.
 - Selective areas in need of repointing.
 - Efflorescence
 - Reasonable bird mitigation.

- 4.8-2 Annex Wing Rear Facade
- Spalled brick.

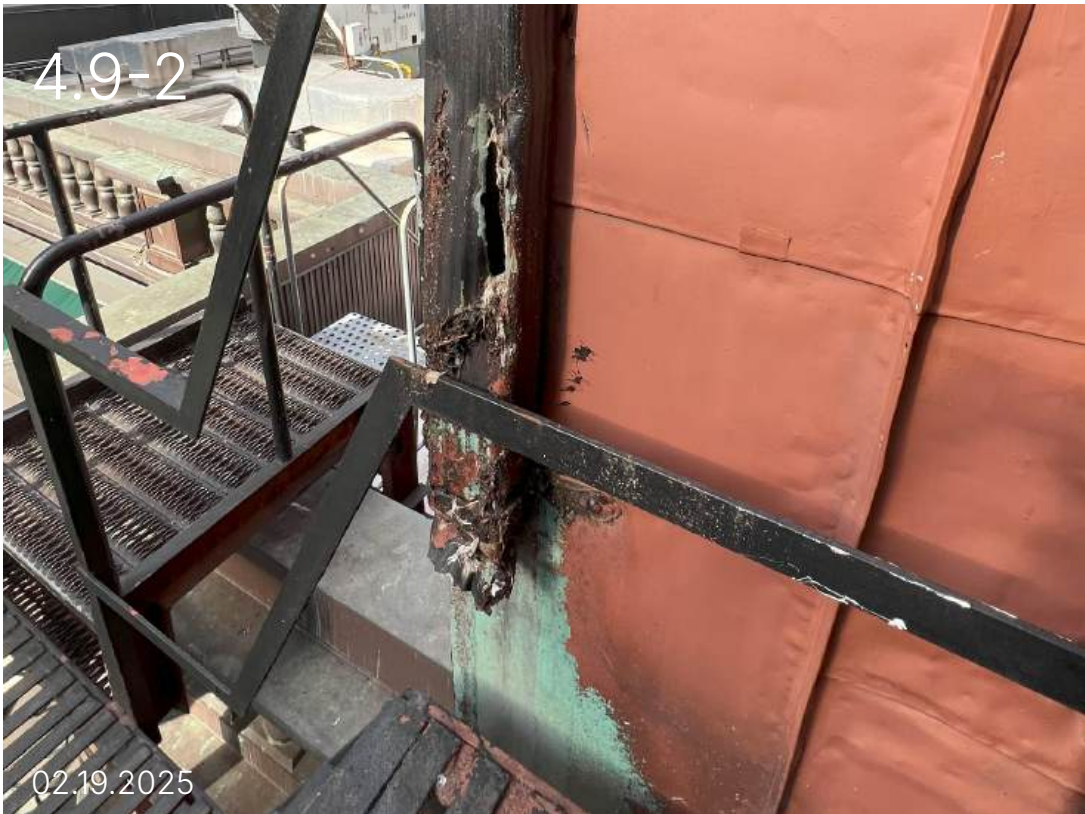
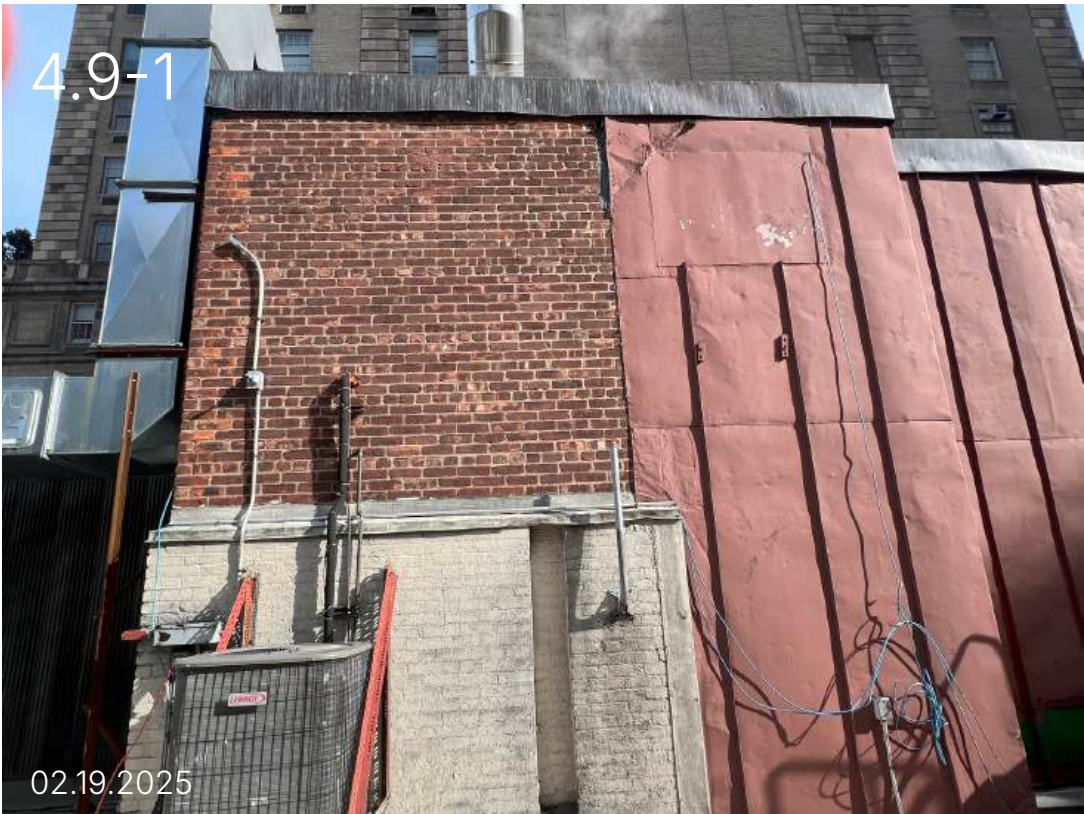


- 4.8-3 Annex Wing Rear Facade
- Back areaway in reasonable condition.
 - Mechanical equipment in good condition.

- 4.8-4 Annex Wing Rear Facade
- Back areaway in reasonable condition.
 - Mechanical equipment in good condition.

Bulkheads - Existing Conditions

Exterior Details



- 4.9-1 Bulkhead
- Brick appears to be in relatively good condition, selective repointing and cleaning recommended.
 - Flashing and Metal cladding in serviceable condition.

- 4.9-2 Bulkhead
- Deteriorated drain pipe to be replaced.
 - Painted metal cladding in good condition.

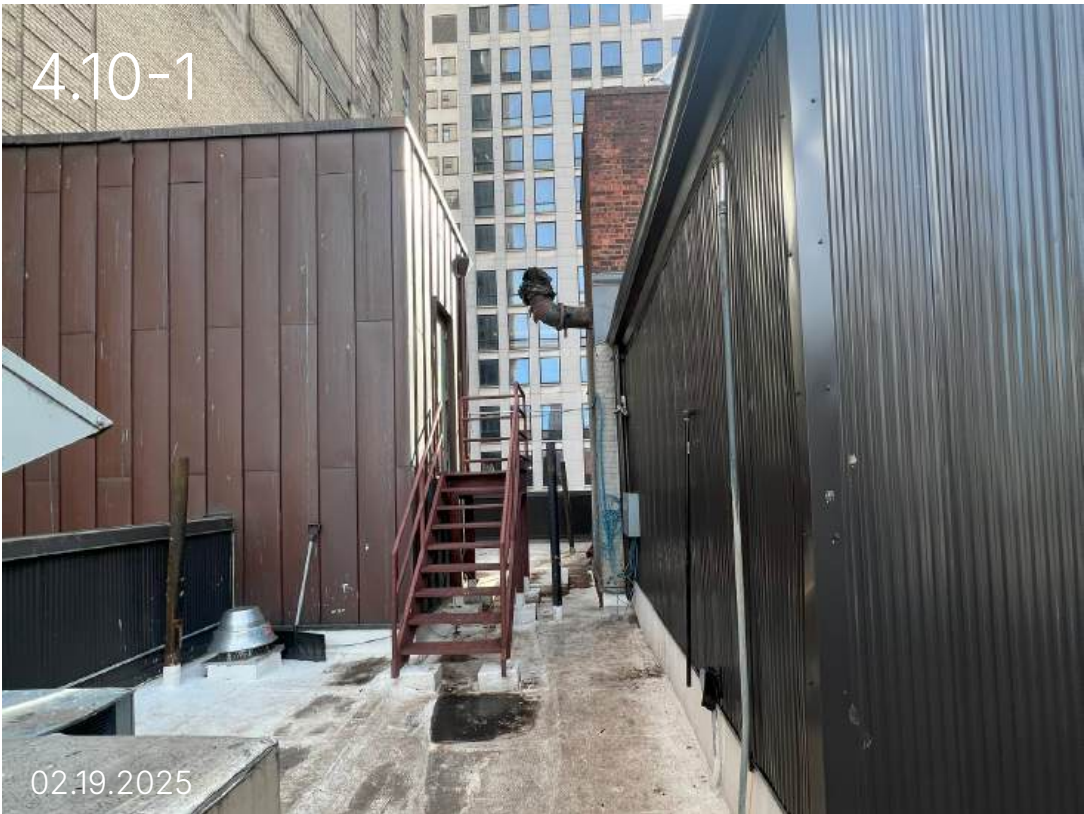


- 4.9-3 Bulkhead
- Base flashing in good condition.

- 4.9-4 Bulkhead
- Deteriorated stucco to be repaired.
 - Delaminating fascia to be repaired.
 - Cracked brick to be restored as required.
 - Damaged MEP systems to be replaced.

Main Club Building Roof - Existing Conditions

Exterior Details



- 4.10-1 Roof
- Waterproofing in serviceable condition.
 - 6th Floor Cladding in good condition.

- 4.10-2 Roof
- Drains in working order, typical throughout.
 - Waterproofing in serviceable condition.
 - Some ponding in selective areas.



- 4.10-3 Roof
- Waterproofing and HVAC equipment in good condition.
 - Some ponding along direction to drain.

- 4.10-4 Roof
- Drain scupper overturned at one location.
 - Waterproofing in good condition.
 - Cracked brick.
 - Damaged MEP systems.

Main Club Building Roof - Existing Conditions

Exterior Details



- 4.11-5 Chimney**
- Flashing in somewhat deteriorated condition.
 - Peeling paint
 - Waterproofing up to flashing in good condition.
 - Coping in good condition.

- 4.11-6 Chimney Bulkhead**
- Peeling paint.
 - Waterproofing up to flashing in serviceable condition.
 - Coping in generally good condition. Some spalls along the edges.
 - HVAC equipment in serviceable condition.



- 4.11-7 Roof Parapet**
- Cladding, coping and waterproofing in generally good condition.
 - Light selective cleaning in the future.

- 4.11-8 Roof at Bulkhead**
- Waterproofing in good condition.
 - Ponding in select locations.
 - Waterproofing and coping in good condition.
 - Peeling paint on brick.
 - Wiring to be concealed and protected.

Main Club Building HVAC - Existing Conditions

Exterior Details



- 4.12-1 HVAC
- Chiller and dunnage in good condition.
 - Ductwork in good condition and accessible.

- 4.12-2 HVAC
- Equipment and dunnage in good condition and accessible.



- 4.12-3 HVAC
- Ductwork, conduit, and dunnage in good condition and accessible.

- 4.12-4 HVAC
- Ductwork, conduit, and dunnage in good condition and accessible.

Main Club Building 6th Floor Terrace - Existing Conditions

Exterior Details



- 4.13-1 6th Floor Terrace**
- Pavers, guard rail, and cornice observed to be in good condition.
 - Organic growth on pavers at select locations.
 - Cladding in good condition.
 - Select areas candidates for future light cleaning.
 - Metal coping generally in good condition.

- 4.13-2 6th Floor Terrace - Drainage Below Pavers**
- Roofing below pavers has needed periodic maintenance.



- 4.13-3 6th Floor Terrace**
- Flashing, Ductwork, and cornice in good condition.
 - Selective repainting of guard rail in the future.

- 4.13-4 6th Floor Terrace**
- Stone stairs and pavers in good condition.
 - Waterproofing in good condition but needs constant monitoring and localized repairs.
 - Conduit and piping in good condition.

Main Club Building 6th Floor Terrace - Existing Conditions

Exterior Details



4.13-5 6th Floor Terrace

• Glass railing and supports in good condition.

4.13-6 6th Floor Terrace

• Typical glass railing support. No insecure locations observed as repairs and reinforcing are part of continued maintenance.



4.13-7 6th Floor Facade

• Greenhouse glazing, flashing, and cladding observed to be in good condition.

4.13-8 6th Floor Facade

• Egress systems in working order.
• MEP systems in good condition.
• Cladding in good condition. Minor cleaning could be affected in selective areas.
• Sealing at windows and joints on facade need upgrades and monitoring.

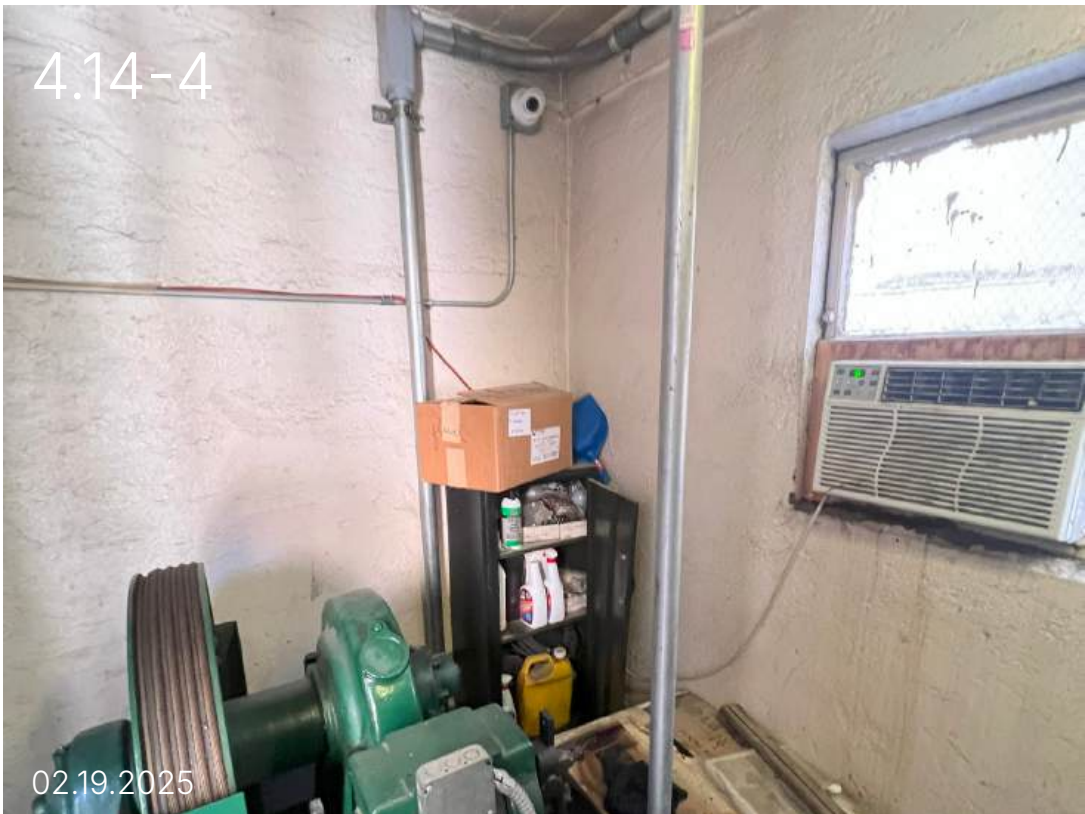
Annex Wing Roof Bulkheads - Existing Conditions

Exterior Details



- 4.12-1 Elevator Bulkhead**
- Cladding in fair condition.
 - Metal coping deformed at select locations.
 - Parapet wall, flashing, and waterproofing observed to be in fair condition.
 - Access stairs in good condition.

- 4.12-2 Elevator Bulkhead**
- Base flashing in fair condition.
 - Waterproofing in good condition.
 - Future repainting and regular maintenance of sealant at reglets.



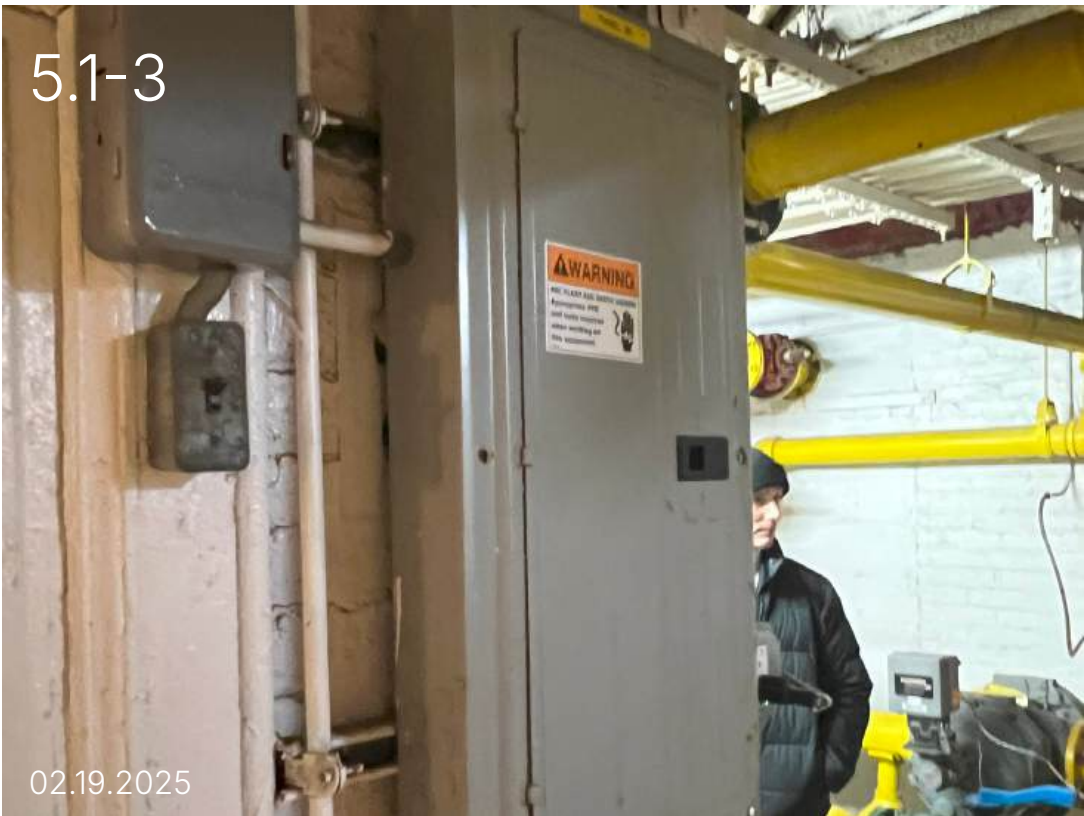
- 4.12-3 Elevator Bulkhead**
- Vertical flashing in good condition.
 - Horizontal coping deformed at select locations.
 - Future repainting.

- 4.12-4 Elevator Bulkhead**
- Good interior condition.
 - No signs of leaks or pest infiltration.

5.0 Appendix B: Building Systems Observations and Assessments

Mechanical Systems - Electrical

Interior Details

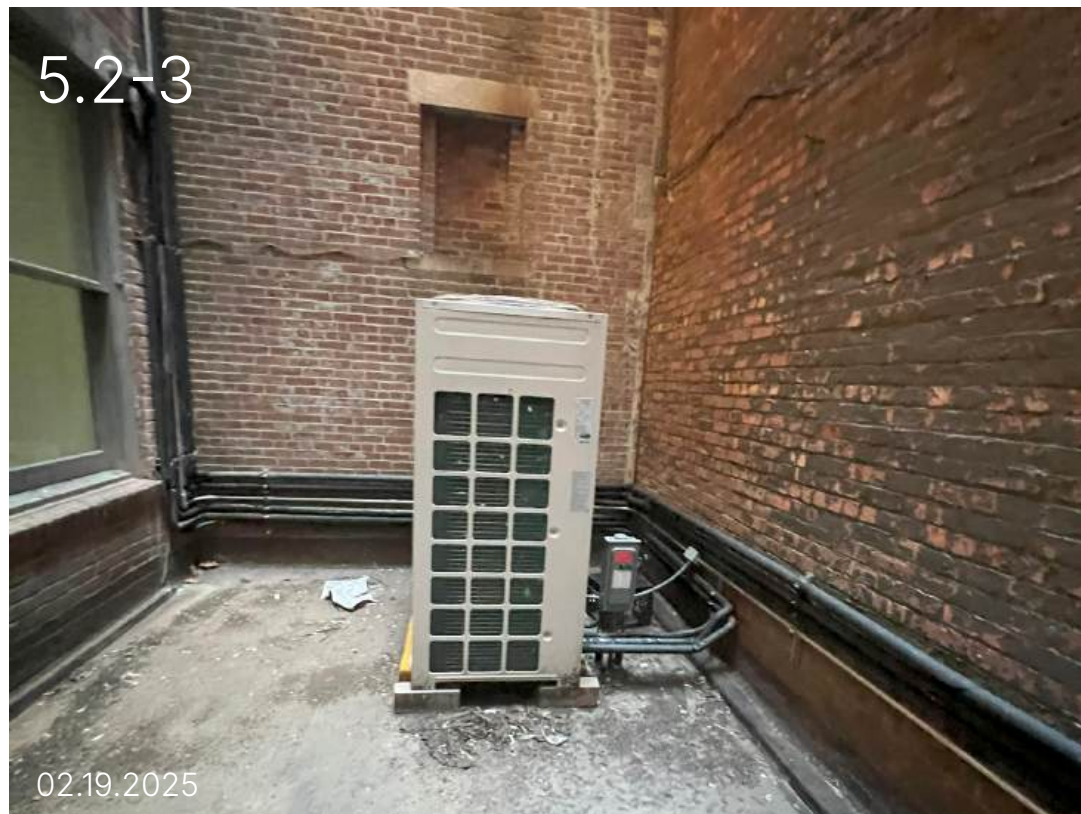


5.1 Electrical Systems

- The electrical service for the Metropolitan Club enters the main Club House through the cellar level. The Club has upgraded its electrical systems in a phased fashion as various renovations have been made over the decades.
- Electrical service for the current uses of the Club is adequate and serviceable.
- Sub-metering to monitor usage is not available.
- Branch circuit wiring, distribution panels, and devices are in need of upgrades. Power has been distributed throughout the Club on an ad hoc basis as required. Rationalization of power sourcing, runs, and plans for the connection of future systems is required in compliance with Local Law 87 mandates.

Mechanical Systems - Air Conditioning

Interior Details

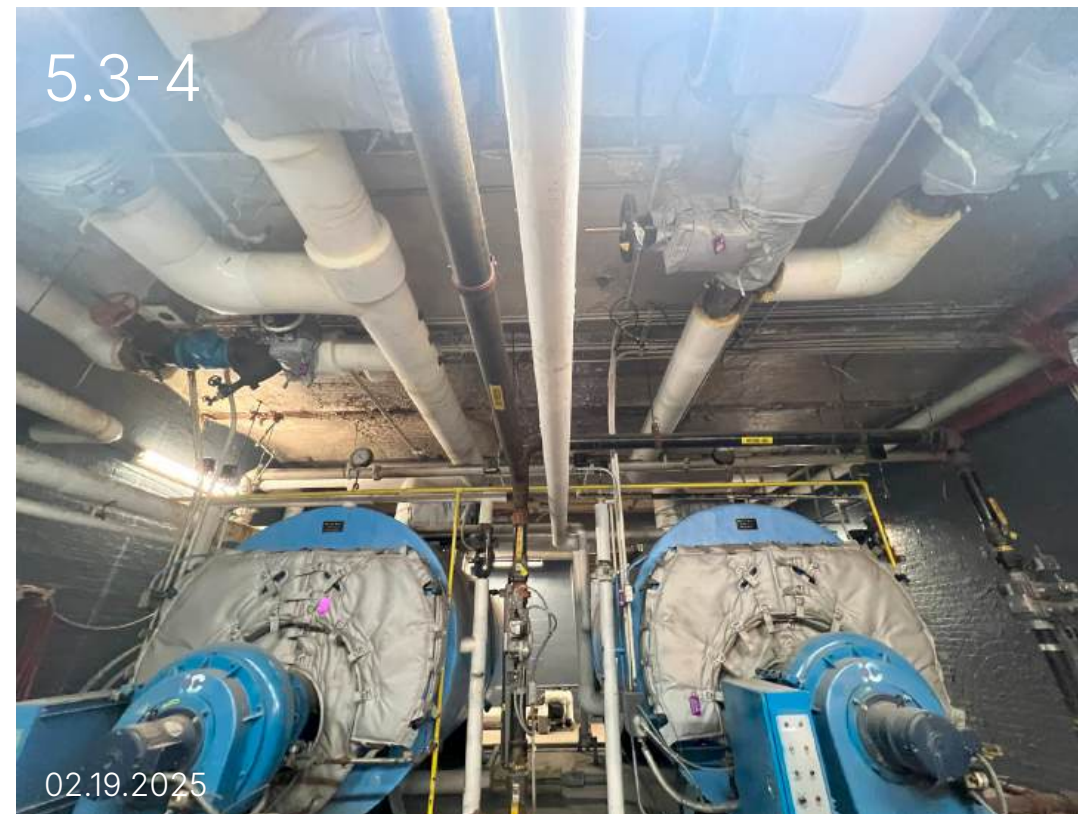


5.2 Air Conditioning Systems

- Central air conditioning is distributed to the Main Club's principal spaces via metal ductwork introduced to the Club post original 1894 construction. Observable ductwork appeared to be in good condition.
- The rooftop chiller was replaced in 2024 and is in good condition and is serviceable.
- Central air conditioning is distributed to the Annex via metal ductwork, introduced after the Annex's initial construction and 1910 renovations post-Club ownership.
- Air conditioning is provided to the Annex guest rooms via VRV Heat Pumps, introduced in 2016. Units are reported to be in serviceable condition. Units recommended for replacement in the near-medium term as they near the end of their useful life.
- Air conditioning to Annex tenant spaces is provided by two air conditioning units (Image 5.2-3), located on the Annex rear yard setback. Condition is reported as serviceable.
- 3rd Floor Main Club Kitchen not integrated into Club air conditioning system. Introduction of a dedicated air conditioning system for the kitchen planned for the near future. Image 5.2-4 shows one of the fans distributed throughout the kitchen as part of an ad hoc solution. New systems will assist balancing of air/humidity control to adjacent.

Mechanical Systems - Heating

Interior Details



5.3 Heating Systems

- Heat is provided to the Main Club Building and Annex Building via two natural gas powered boilers.
- Heat is distributed throughout the buildings via metal ductwork. The ductwork and steam piping has been maintained and replaced as required throughout the Club's history.
- Steam pipes largely follow the same runs as the original steam pipes.
- Registers and radiators are largely original to the buildings. Some radiators in main Club Building have been replaced by fan coil units circa 1998.
- The insulation around steam pipes was observed to be deteriorated at select locations. To be replaced on an ongoing basis as required.

Fire Protection - Sprinkler System

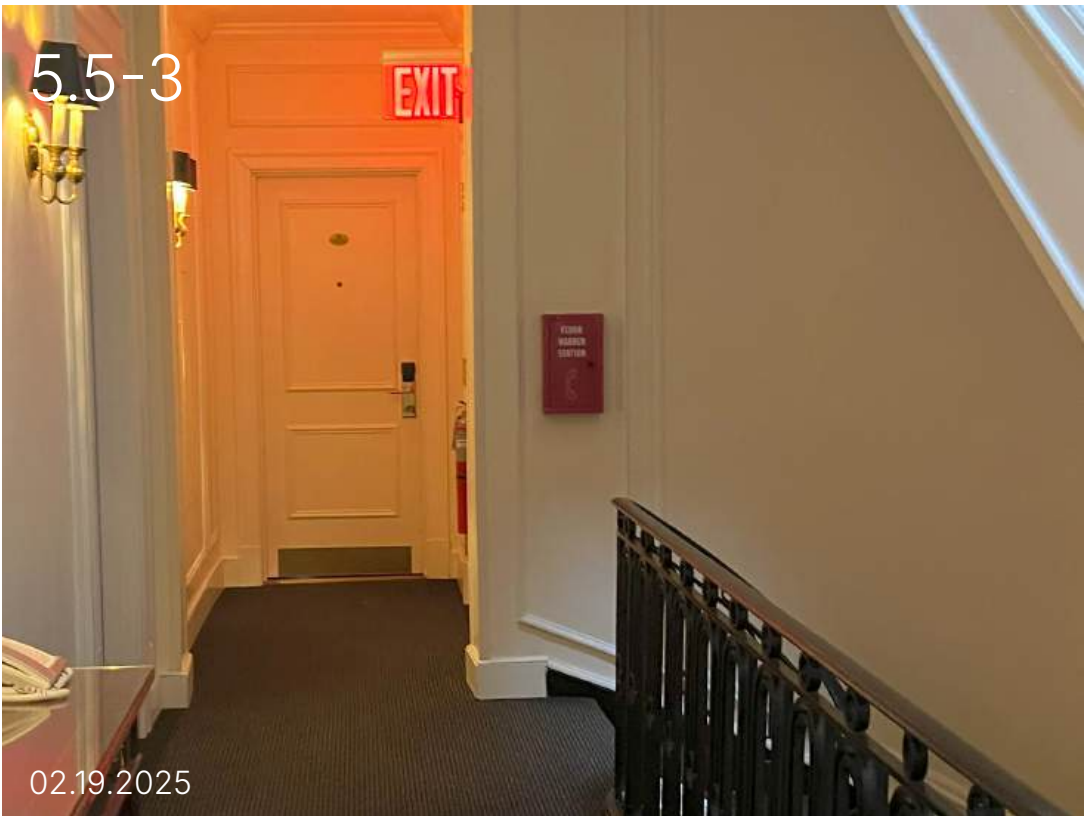
Interior Details



- 5.4 Sprinkler System
- The Club and Annex Buildings are fully sprinklered and integrated as one system.
 - The sprinkler system's standpipes, mains, and distribution lines were observed to be inspected regularly and reported to be maintained in good condition.
 - Individual sprinkler heads were observed in the spaces surveyed, from the cellar to the bulkheads on both the Main Club's and Annex roofs.

Fire Protection - Fire Alarm System

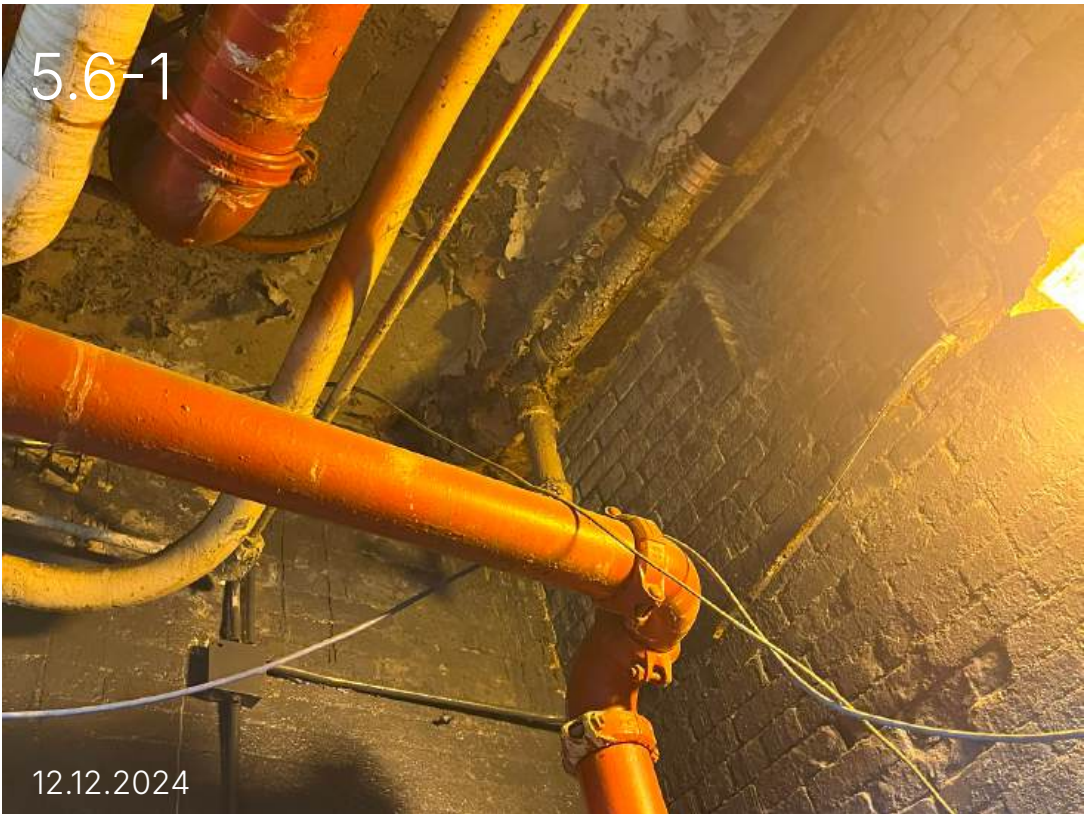
Interior Details



- 5.5 Fire Alarm System
- All Club and Annex spaces are served by a building-wide fire alarm system which is currently fully-approved by the FDNY.
 - Smoke detectors observed in all surveyed spaces.
 - Fire extinguishers observed in all required locations at all floors.
 - Fire extinguishers reported to be inspected regularly as required.

Plumbing Systems - Drainage

Interior Details

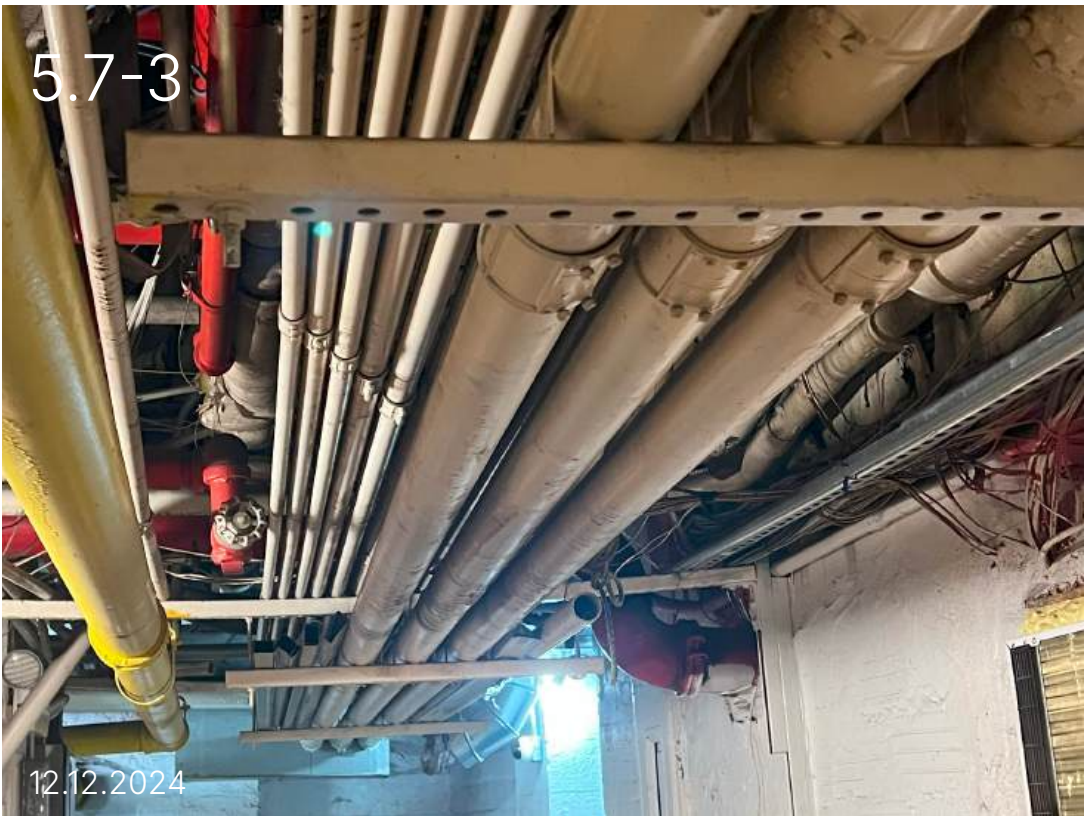


5.6 Drainage System

- Roof drainage at the Club and Annex buildings is accomplished via a series of roof drains and internal gutters and drainpipes. No issues were reported or observed at the time of the survey.
- Courtyard drainage consists of two drains at the south end of the courtyard. The drains (5.5-1 & 5.5-3) tie into the main drainage outlet in the cellar (5.5-2), which then exists the Club building towards the direction of 5th Avenue.
- The capacity of the Courtyard drainage system is planned to be increased as part of the Courtyard pavement restoration work, currently before the LPC and the DOB.
- Water infiltration/leaks reported in cellar under courtyard (5.5-4). Courtyard pavement restoration scope includes new waterproofing and repairs to make the courtyard watertight. Drainage and infrastructure continue to be monitored through the exterior as a major concern and effort.

Plumbing Systems - General

Interior Details



- 5.7 General Plumbing**
- The various plumbing systems (e.g. steam, domestic hot and cold water, waste water, pumps, sewage, roof drainage, etc.) have been subject to repairs and modernizations on an as-needed basis throughout the decades. The overall condition of the plumbing systems is good and no major issues are reported.
 - However, there are select instances of rusted or broken pipes (5.6-1). These are largely the result of age or temperature fluctuations on uninsulated pipes. The Club is in the process of repairing and replacing these pipes on an as-needed basis.

6.0 Appendix B: Proposed Development Rights Transfer

Proposed Development Rights Receiving Site: 655 Madison Avenue

Site Plan & Zoning Information

Property/Lot Information

Address:
655 Madison Avenue
New York, NY 10022

Block:
1375

Lots:
21, 26, 27, 127, & 147

Zoning District:
C5-3 (MiD) & C5-1

Zoning Map:
8C

Community Board:
Manhattan 08



September 30,
2025 Public Hearing

The current proposal is:

Preservation Department – Item 7, LPC-26-00124

**1 East 60th Street – Upper East Side Historic District
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 161 043 8319

Passcode: 442922

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.