

**September 16, 2025**  
Public Hearing

The current proposal is:

**Preservation Department – Item 4, LPC-25-09136**

# **460 West Broadway – SoHo-Cast Iron Historic District Extension**

## **Borough of Manhattan**

**To testify virtually, please join Zoom**

**Webinar ID:** 161 307 6826

**Passcode:** 203639

By Phone: 646-828-7666 (NY)

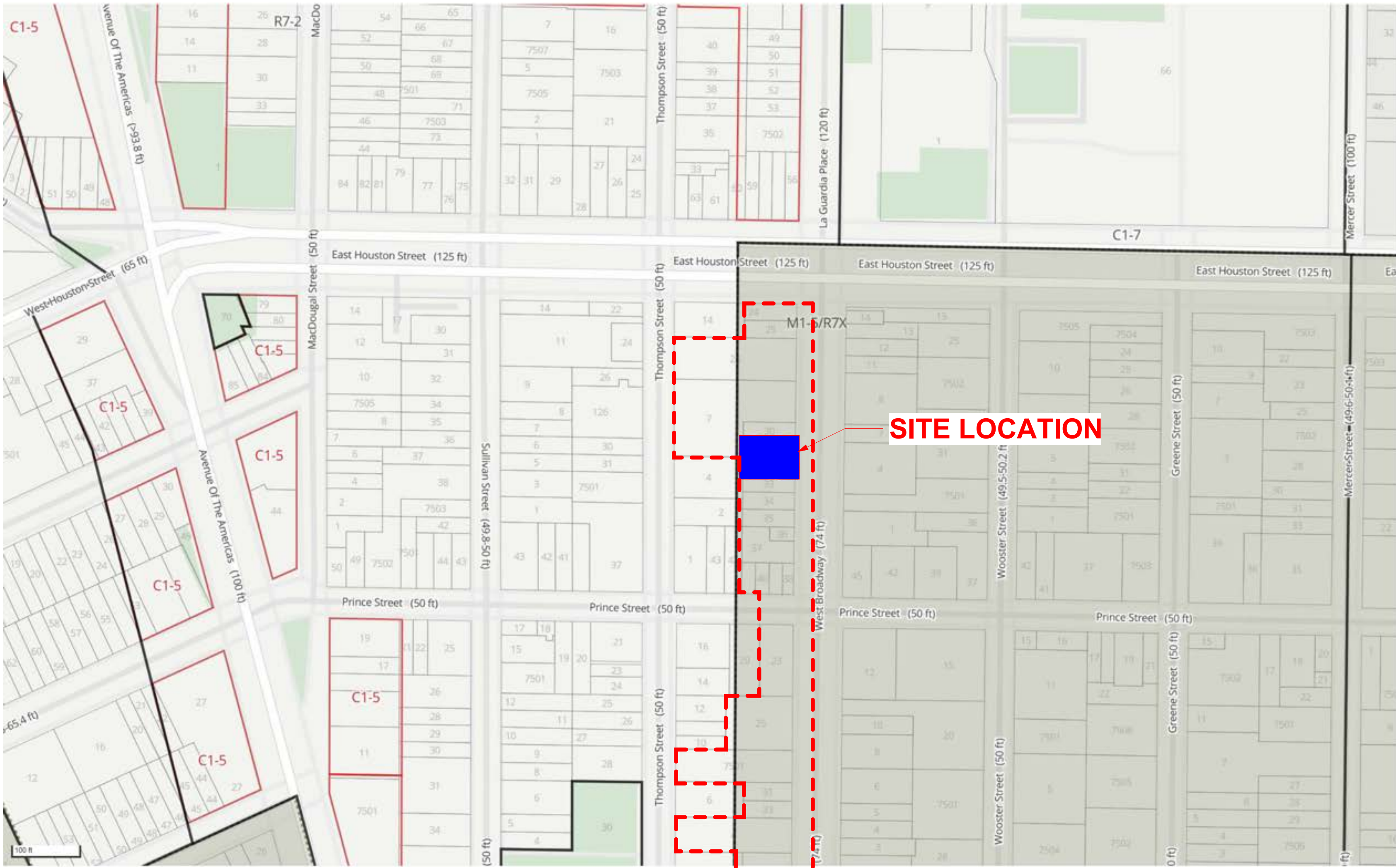
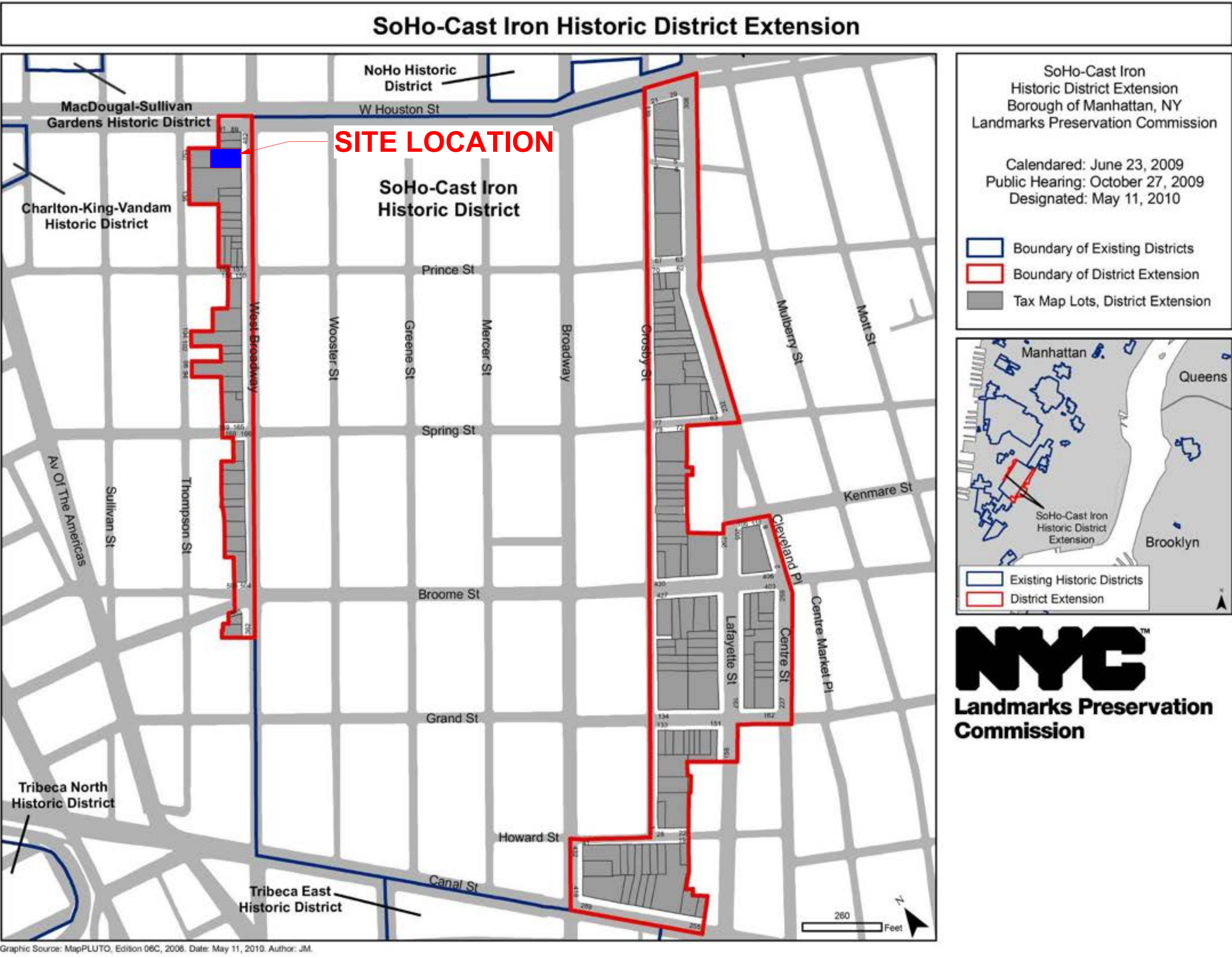
833-435-1820 (Toll-free)

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# 460 WEST BROADWAY ROOF ADDITION & INTERIOR RENOVATIONS





SOHO CAST IRON HISTORIC DISTRICT EXTENSION





1940'S TAX LOT PHOTO



1980'S TAX LOT PHOTO

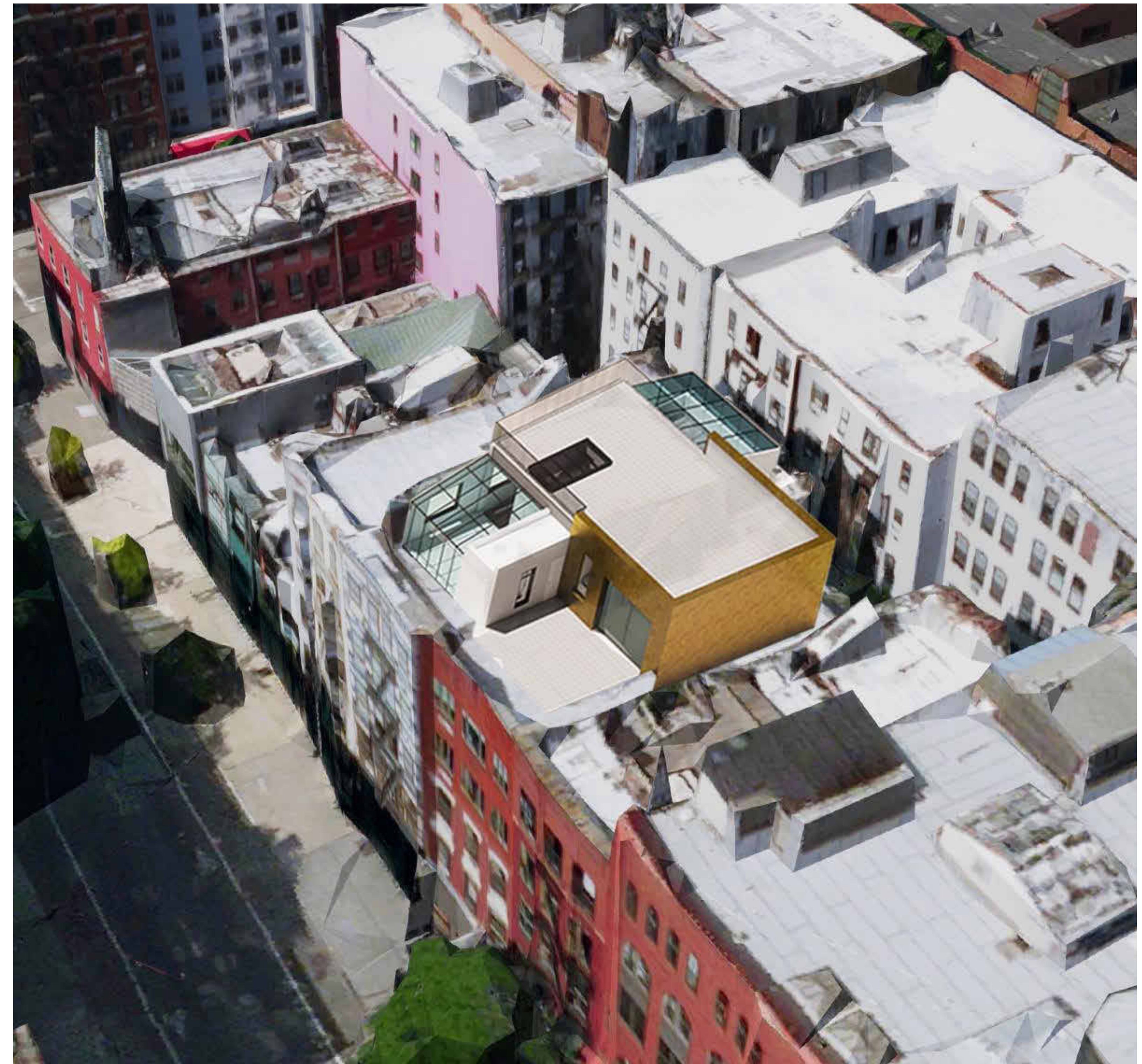
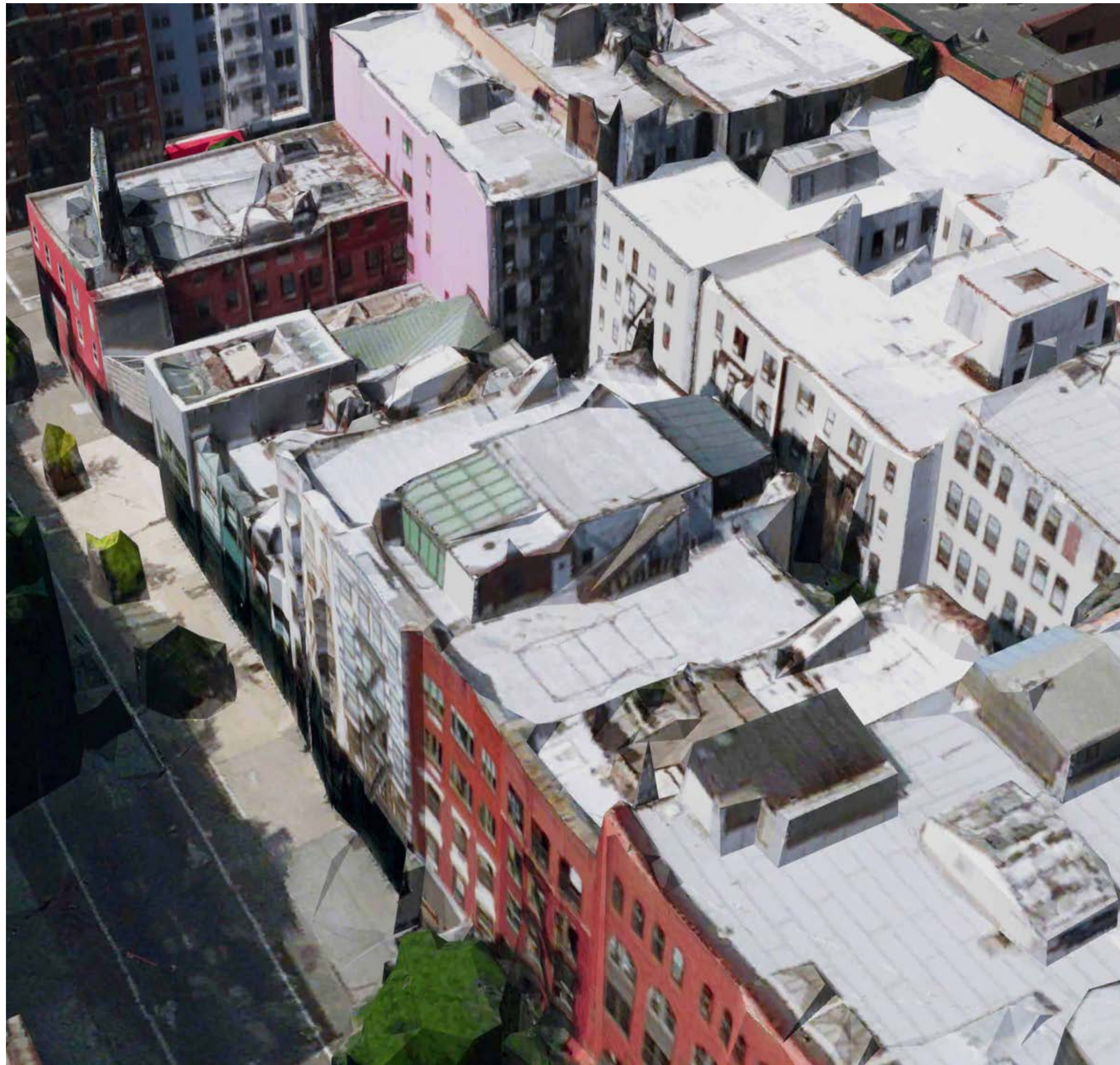


CURRENT











LEGEND

DEMOLITION

EXISTING PARTITION TO REMAIN

NEW PARTITION

DEMOLITION KEY NOTES:

1. REMOVE EXISTING WOOD STAIRCASE.

2. RELOCATE EXISTING ELECTRICAL PANEL.(SEE PROPOSED PLAN).

3. ALL TILES AND FIXTURES TO BE REMOVED.

4. EXISTING WASHER DRYER TO BE RELOCATED ON SIXTH FLOOR.

5. ALL CEILING FIXTURES TO REMAIN.

6. DOORS TO BE REMOVED.

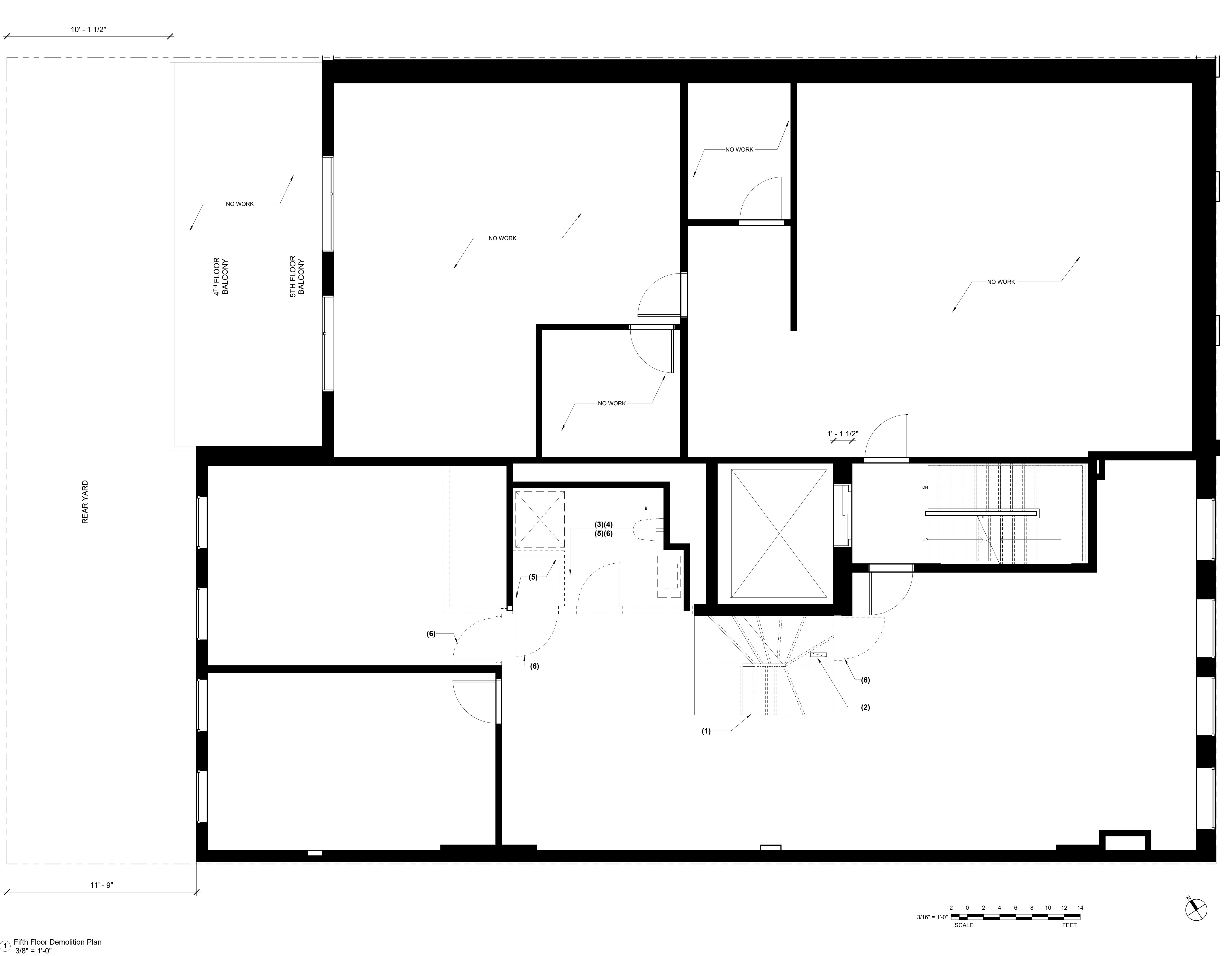
GENERAL DEMOLITION NOTES:

1. REMOVE EXISTING WOOD STAIRCASE AND PATCH AWAY REMAINING WOOD THAT WILL BE EXPOSED.

2. REMOVE EXISTING PARTITIONS INCLUDING GYPSUM BOARD, WOOD, AND METAL FRAMES.

3. REMOVE EXISTING BATHROOM FIXTURES. ( GC TO PROTECT APARTMENTS BELOW).

4. DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED DAILY.



① Fifth Floor Demolition Plan  
3/8" = 1'-0"



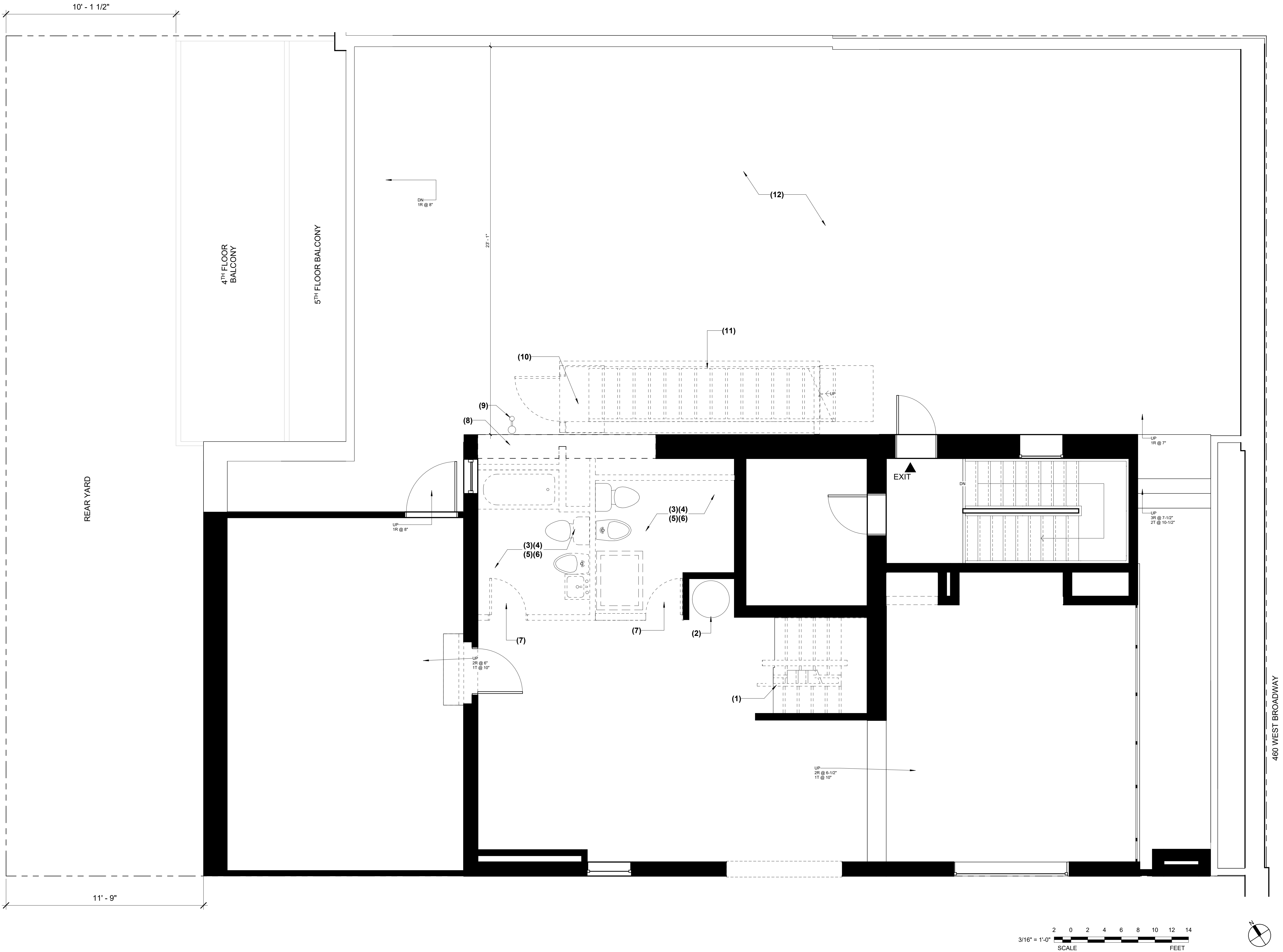
**LEGEND**

DEMOLITION

EXISTING PARTITION TO REMAIN

NEW PARTITION

- DEMOLITION KEY NOTES:**
1. REMOVE EXISTING INTERIOR STAIRCASE (POINT OF ARRIVAL TO REMAIN THE SAME).
  2. EXISTING WATER HEATER TANK TO BE REMOVED. PLUMBING TO BE CAPPED
  3. EXISTING BATHROOM TO BE DEMO
  4. ALL PLUMBING FIXTURES TO BE REMOVE
  5. ALL EXISTING PLUMBING TO BE CAPPED
  6. CEILING FIXTURES TO BE REMOVED
  7. DOORS TO BE REMOVED
  8. NEW OPENING ON EXISTING WALL DOWN TO INTERIOR FLOOR LEVEL (L10'-7" X H10'-0")
  9. EXISTING EXTERIOR SHOWER TO BE REMOVED. PLUMBING TO REMAIN FOR NEW USE
  10. EXISTING CLOSET TO BE REMOVED
  11. EXISTING METAL STAIRCASE TO BE REMOVED
  12. EXISTING WOOD COMPOSITE FLOOR TO BE REMOVED FROM TERRACE (D 28' - 6 1/2"X L 23'-1")
- GENERAL DEMOLITION NOTES:**
1. REMOVE EXISTING WOOD STAIRCASE AND PATCH AWAY REMAINING WOOD THAT WILL BE EXPOSED.
  2. REMOVE EXISTING PARTITIONS INCLUDING GYPSUM BOARD, WOOD, AND METAL FRAMES.
  3. REMOVE EXISTING BATHROOM FIXTURES. ( GC TO PROTECT APARTMENTS BELOW.
  4. DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED DAILY.



① Sixth Floor Demolition Plan  
3/8" = 1'-0"



LEGEND

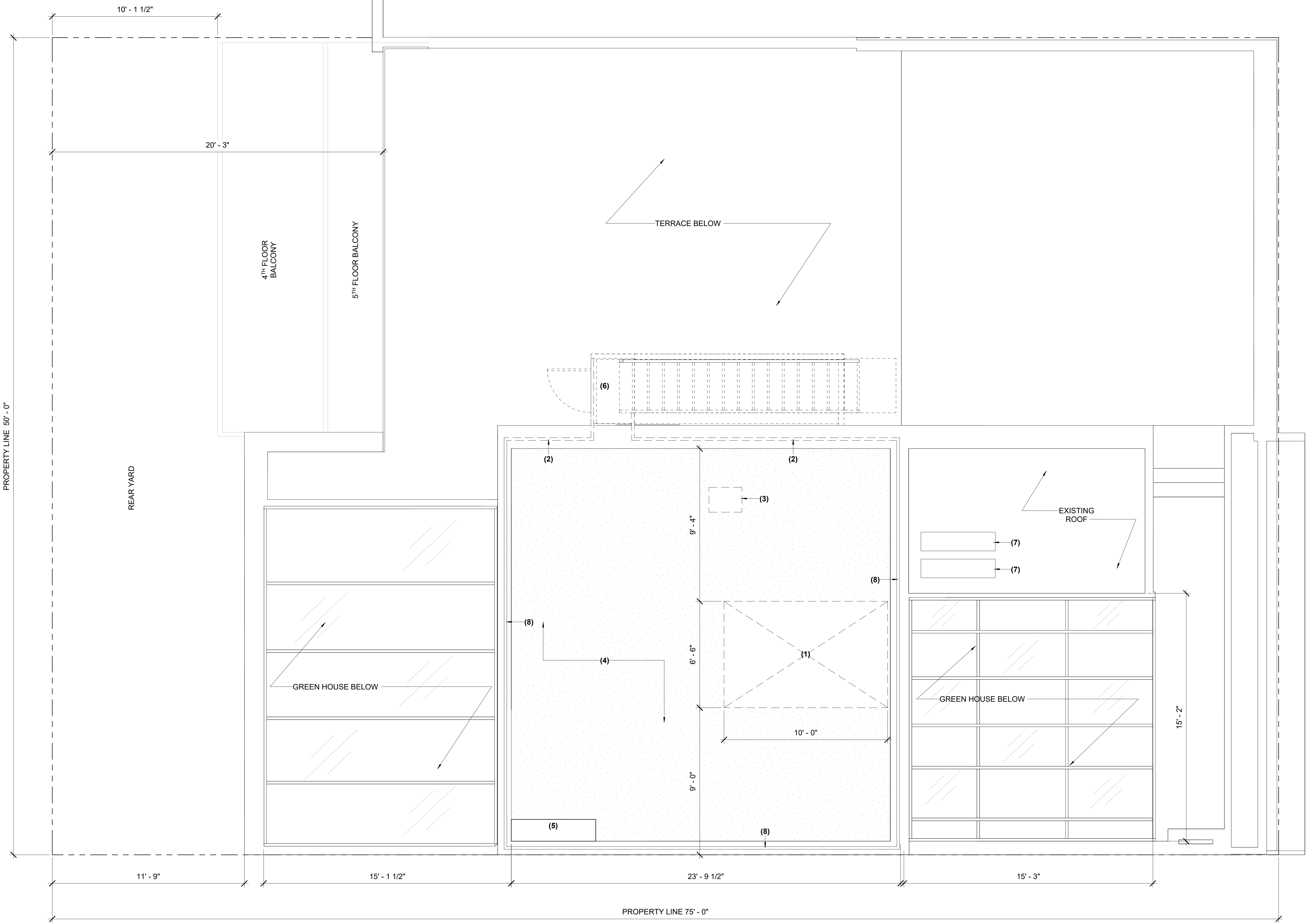
- DEMOLITION
- EXISTING PARTITION TO REMAIN
- NEW PARTITION

DEMOLITION KEY NOTES:

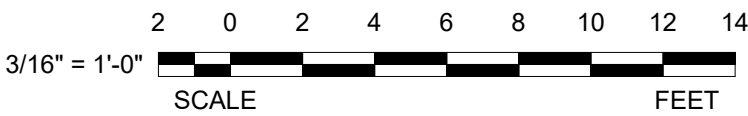
- (1) NEW ROOF OPENING 6'-0" x 10'-0".
- (2) EXISTING HAND RAILINGS TO BE REMOVED DOWN TO PARAPET CONNECTION.
- (3) EXISTING METAL DUCT WORK TO BE RELOCATED.
- (4) EXISTING WOOD COMPOSITE FLOOR TO REMAIN.
- (5) EXISTING BRICK SHAFT TO REMAIN.
- (6) EXISTING METAL STAIRCASE TO BE REMOVED.
- (7) EXISTING HVAC SPLIT SYSTEM TO REMAIN.
- (8) EXISTING HAND RAILINGS TO REMAIN.

GENERAL DEMOLITION NOTES:

- 1. WHEN REMOVING EXTRIOR ELEMENTS G.C SHALL CONFIRM ROOF MEMBRANES REMAIN FREE OF PENETRATIONS.
- 2. NO MATERIAL THAT CAN BE LIFTED BY THE WIND SHALL BE LEFT IN ROOF TOP.



1 Roof Demolition Plan  
3/8" = 1'-0"









LEGEND

- DEMOLITION
- EXISTING PARTITION TO REMAIN
- NEW PARTITION

PROPOSED WORK KEY NOTES

1. NEW INTERIOR METAL STAIRCASE TO ROOF
2. NEW POSITION OF LAUNDRY MACHINES
3. NEW CLOSET
4. METAL STEPS
5. NEW W/C AND HAND SINK
6. RELOCATION OF EXISTING E.C PANEL
7. NEW KITCHEN

GENERAL CONSTRUCTION NOTES:

1. GC TO PREVENT ANY DAMAGE TO FLOORS BELOW.
2. GC TO PROTECT ALL EXISTING FLOORS AND WALLS.
3. GC TO ISOLATE FLOOR AND CEILING WITH PLASTIC SHEATHING.

LIGHT & AIR NOTES:

2022 BC 1203.5.1.2.1 HABITABLE SPACES: THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 5 % OF THE FLOOR AREA OF THE HABITABLE SPACE BEING VENTILATED. EVERY OPENING PROVIDING REQUIRED NATURAL VENTILATION SHALL BE AT LEAST 12 SF OF GLAZED AREA, PROVIDING A MINIMUM OF 6 SF OF OPENABLE AREA.

2022 BC 1203.5.1.3.1 BATHROOMS: THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 5% OF THE FLOOR AREA. EVERY WINDOW OR SKYLIGHT PROVIDING REQUIRED NATURAL VENTILATION SHALL BE AT LEAST 3 SF PROVIDING A MINIMUM OF 1-1/2 SF OF OPENABLE AREA.

2022 BC 1205.2.1 NATURAL LIGHT: THE MINIMUM NET GLAZED AREA SHALL BE NOTLESS THAN 10% OF THE FLOOR AREA. EVERY OPENING PROVIDING REQUIRED NATURAL LIGHT SHALL BE AT LEAST 12 SF OF GLAZED AREA.

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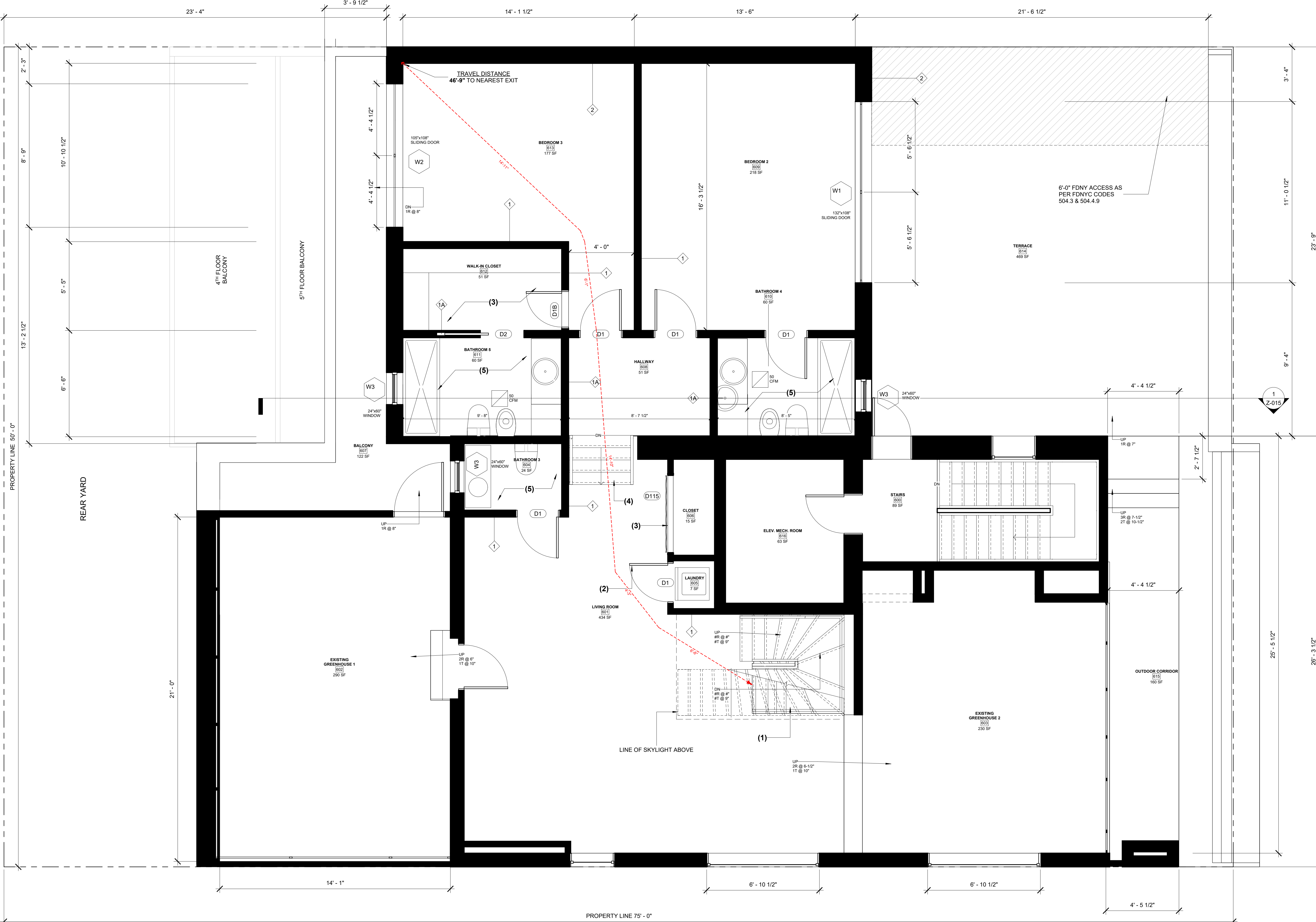
BEDROOM 2	
218 SF	
LIGHT REQ 10%	LIGHT PROVIDED 78.8 SF
AIR REQ 5%	AIR PROVIDED 39.4 SF

BATHROOM 3	
24 SF	
LIGHT REQ 10% OR 3 SF	LIGHT PROVIDED 10 SF
AIR REQ 5% or 1.5 SF	AIR PROVIDED 5 SF

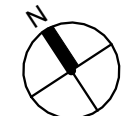
BATHROOM 5	
60 SF	
LIGHT REQ 10%	LIGHT PROVIDED 10 SF
AIR REQ 5%	AIR PROVIDED 5 SF

BEDROOM 3	
178 SF	
LIGHT REQ 10%	LIGHT PROVIDED 99 SF
AIR REQ 5%	AIR PROVIDED 49.9 SF

BATHROOM 4	
60 SF	
LIGHT REQ 10%	LIGHT PROVIDED 10 SF
AIR REQ 5%	AIR PROVIDED 5 SF



① Sixth Floor Proposed Plan  
3/8" = 1'-0"



LEGEND

- DEMOLITION
- EXISTING PARTITION TO REMAIN
- NEW PARTITION

PROPOSED CONTRUCTION KEY NOTES:

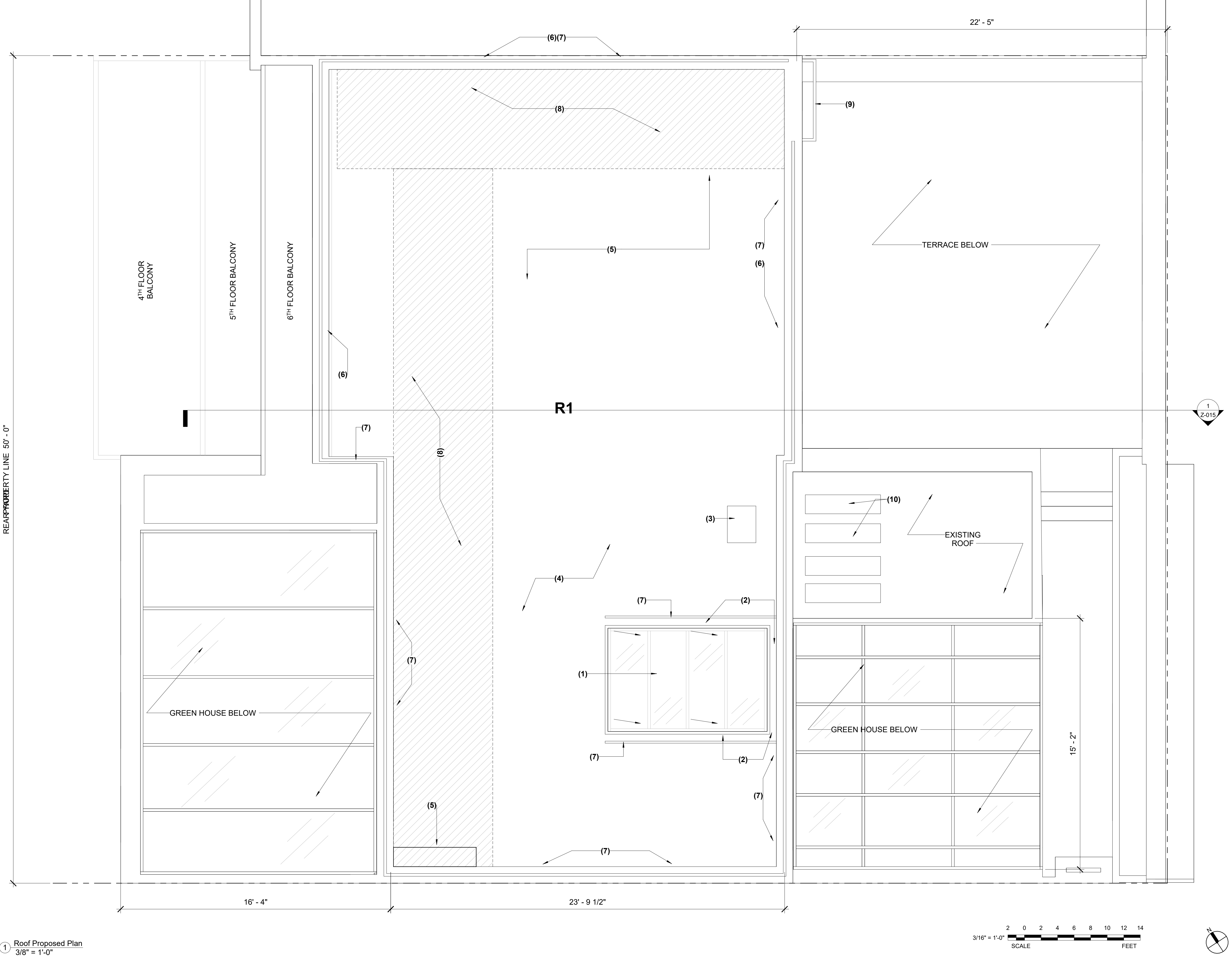
- (1) NEW RETRACTABLE SKYLIGHT MODEL TBD.
- (2) NEW CURB TO BE WATERPROOF AND TO FINISH AT EXISTING FLOOR HEIGHT
- (3) NEW POSITION OF DUCT
- (4) EXISTING WOOD COMPOSITE FLOOR TO REMAIN
- (5) NEW WOOD COMPOSITE FLOOR TO MATCH EXISTING IN SIZE AND COLOR (APROX. 645 SF)
- (6) NEW PARAPET TO MATCH IN HEIGHT EXISITNG ADJACENT WALL
- (7) NEW RAILING TO MATCH EXISTING IN HEIGHT
- (8) NEW FDNY ROOF ACCESS PATH AS PER BC 504.4.4
- (9) NEW SHIP LADDER
- (10) NEW HVAC SPLIT SYSTEM (36,000 BTU CONDENSER FUJITSU AOU36RLXFZ1)

GENERAL CONSTRUCTION NOTES:

- 1. EXISTING BUILDING IS JOINT LIVING WORK QUARTERS FOR ARTIST (JLWQA)
- 2. ROOF ENLARGEMENT TO BE SAME HEIGHT AS EXISTING 6TH FLOOR ROOF
- 3. ENLARGEMENT FOR OFFICE USE
- 4. NO CHANGE TO LIVING AREAS THROUGHOUT

FIRE DEPARTMENT NOTES:

- 1. AS PER FDNY 504.4.4 A CLEAR PATH OF NOT LESS THAN 6' HORIZONTAL WIDTH OF 9' IN HEIGHT SHALL BE PROVIDED FROM THE FRONT OF THE BUILDING TO THE REAR OF THE BUILDING AND FROM ONE SIDE OF THE BUILDING TO THE OTHER. SUCH PATH SHALL BE ACCESSIBLE FROM EACH ROOFTOP PERIMETER ACCESS LANDING REQUIERED PERSUANT TO FC504.4.3 IT SHALL AFFORD ACCESS TO THE BULKHEAD DOOR AND ANY ACCESS LADDERS, SKYLIGHTS, SCUTTLES AND SHAFTS. A CONDUIT OR PIPE MAY CROSS SUCH PATH IN ACCORDANCE WITH FC504.4.7 A FIXED LADDER OR OTHER APPROVED MEANS SHALL BE PROVIDED TO AFFORD ACCESS ALONG THE CLEAR PATH RFROM ONE ROOF LEVEL TO THE NEXT, INCLUDING THE BULKHEAD.
- 2. AS PER 504.4.3AN ACCESS LANDING 6' IN ANY DIMENSIONON CONNECTED TO THE CLEAR PATH IS REQUIRED.





LEGEND

- NEW ADDITION BRASS FINISH PANELS (AGED FINISH MATTE)
- GLASS
- EXISTING TO REMAIN

PROPOSED ELEVATIONS KEY NOTES:

- (1) NEW METAL BRASS FINISH CLADDING ON PARAPETS AND FACADE.
- (2)NEW EXTERIOR WALLS TO MATCH IN HEIGHT ADJASENT WALLS
- (3) EXISTING GREEN HOUSE TO REMAIN, EXISTING WALLS TO REMAIN.
- (4) EXTERIOR LEVEL TO REMAIN THE SAME
- (5)EXISTING PARAPET WALL TO REMAIN UNTOUCHED
- (6) NEW METAL SHIP LADDER TO COMPLY WITH FDNY STANDARDS
- (7) EXISTING METAL RAILING TO REMAIN.

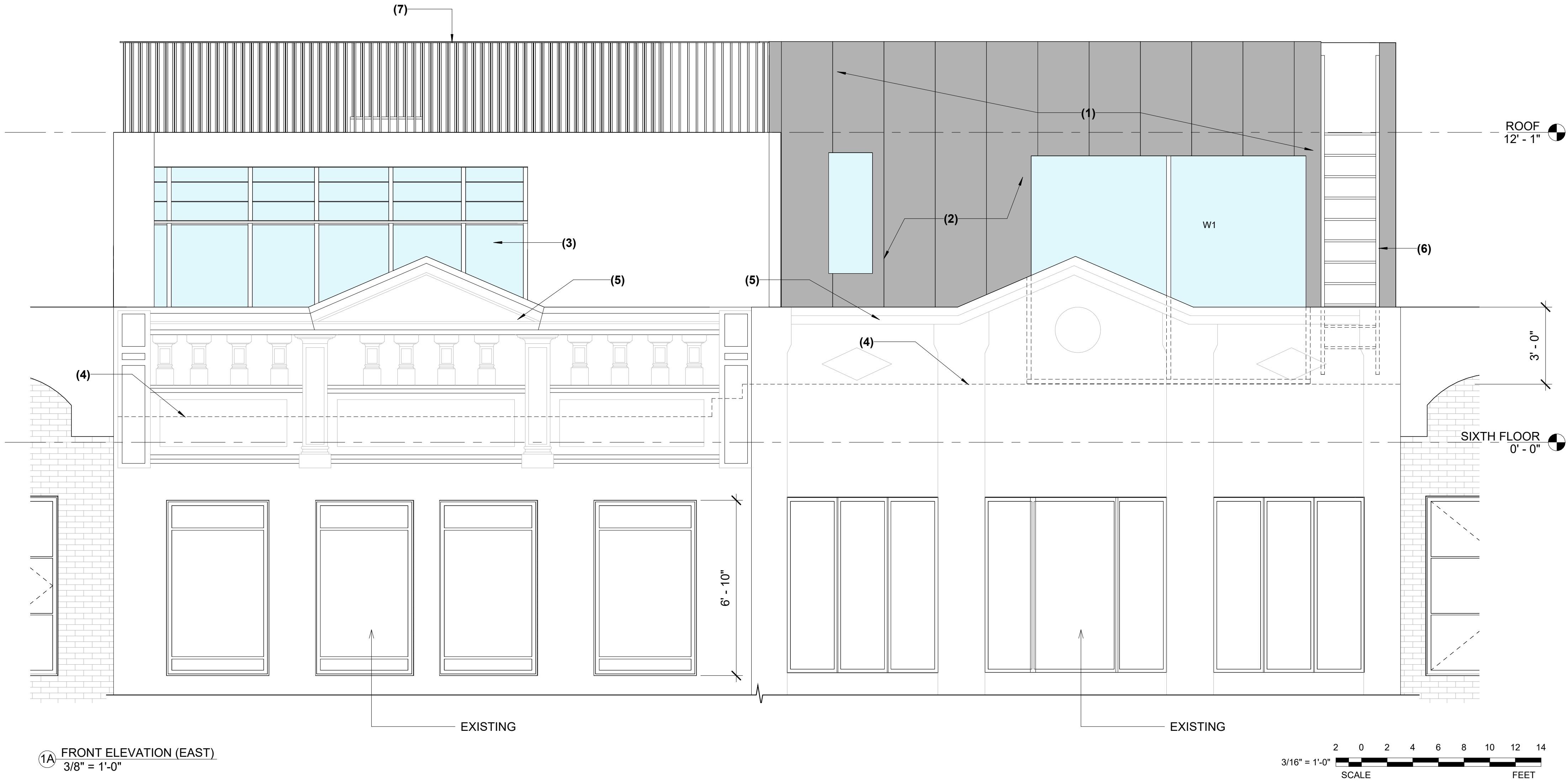
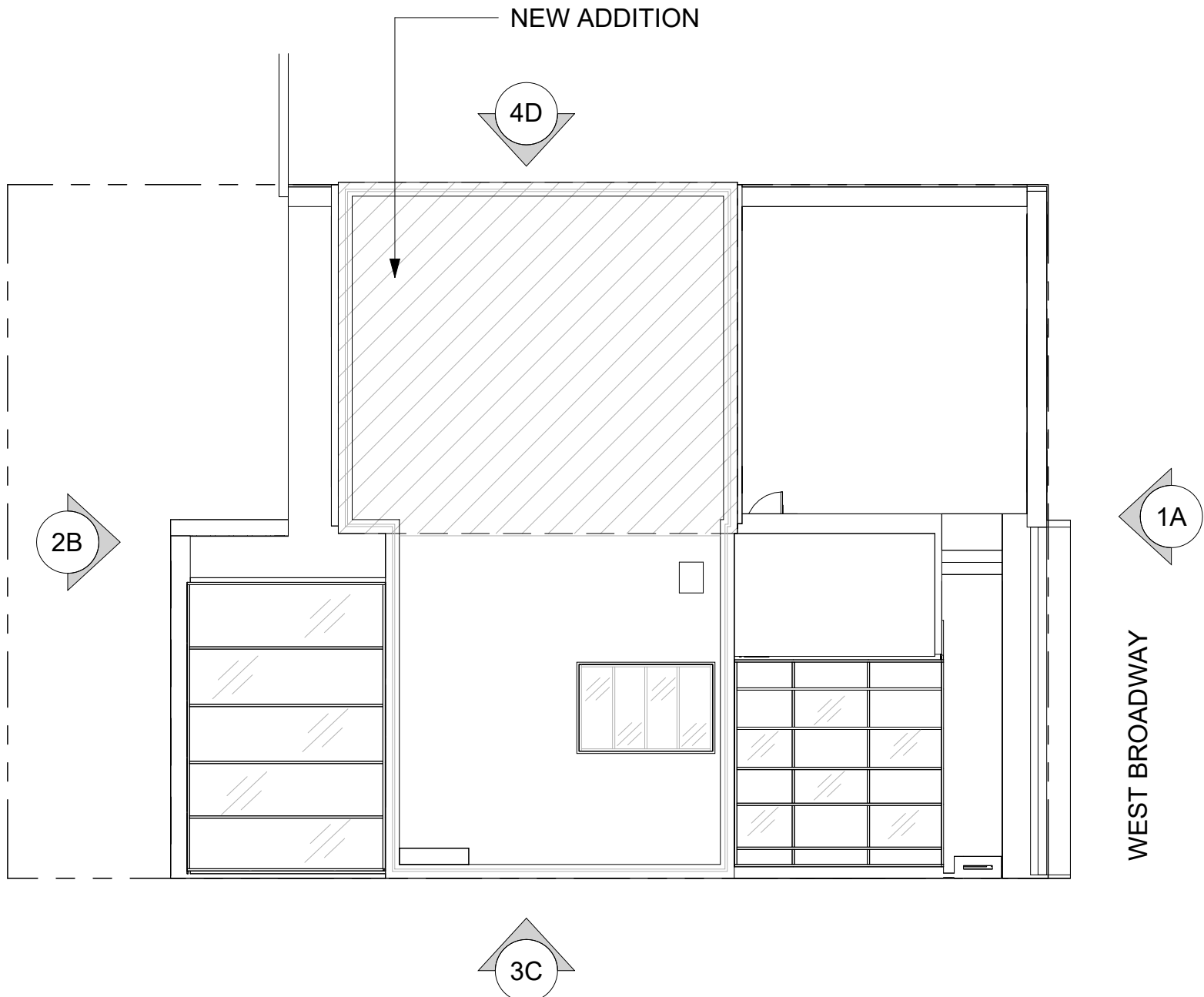
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- 3. ENLARGEMENT FOR OFFICE USE.
- 4. NO CHANGE TO LIVING AREAS THROUGHOUT.
- 5. ALL RAILINGS TO MATCH IN HEIGHT PREVIUS HAND RAILS.
- 6. WARNING! NO MATERIAL THAT CAN POTENTIALLY BE LIFTED BY WIND SHALL BE LEFT LOOSED AT ROOF TOP.
- 7.NO MATERIAL SHALL REST ON ADJACENT PROPERTIES.



BRASS FINISH PANELS (AGED FINISH MATTE)

KEY PLAN



BRASS FINISH PANELS.  
CUSTOM STAINLESS STEEL PANELS TREATED WITH ACID TO OBTAIN AN AGED BRASS FINISH. ONCE THE PATINA IS STABILIZED IT IS INSTALLED. ACID TREATMENTS ARE MANUFACTURED BY SCULPTNOUVEAU.



- LEGEND
- NEW ADDITION BRASS FINISH PANELS (AGED FINISH MATTE)
- GLASS
- EXISTING TO REMAIN

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(4) EXTERIOR LEVEL TO REMAIN THE SAME

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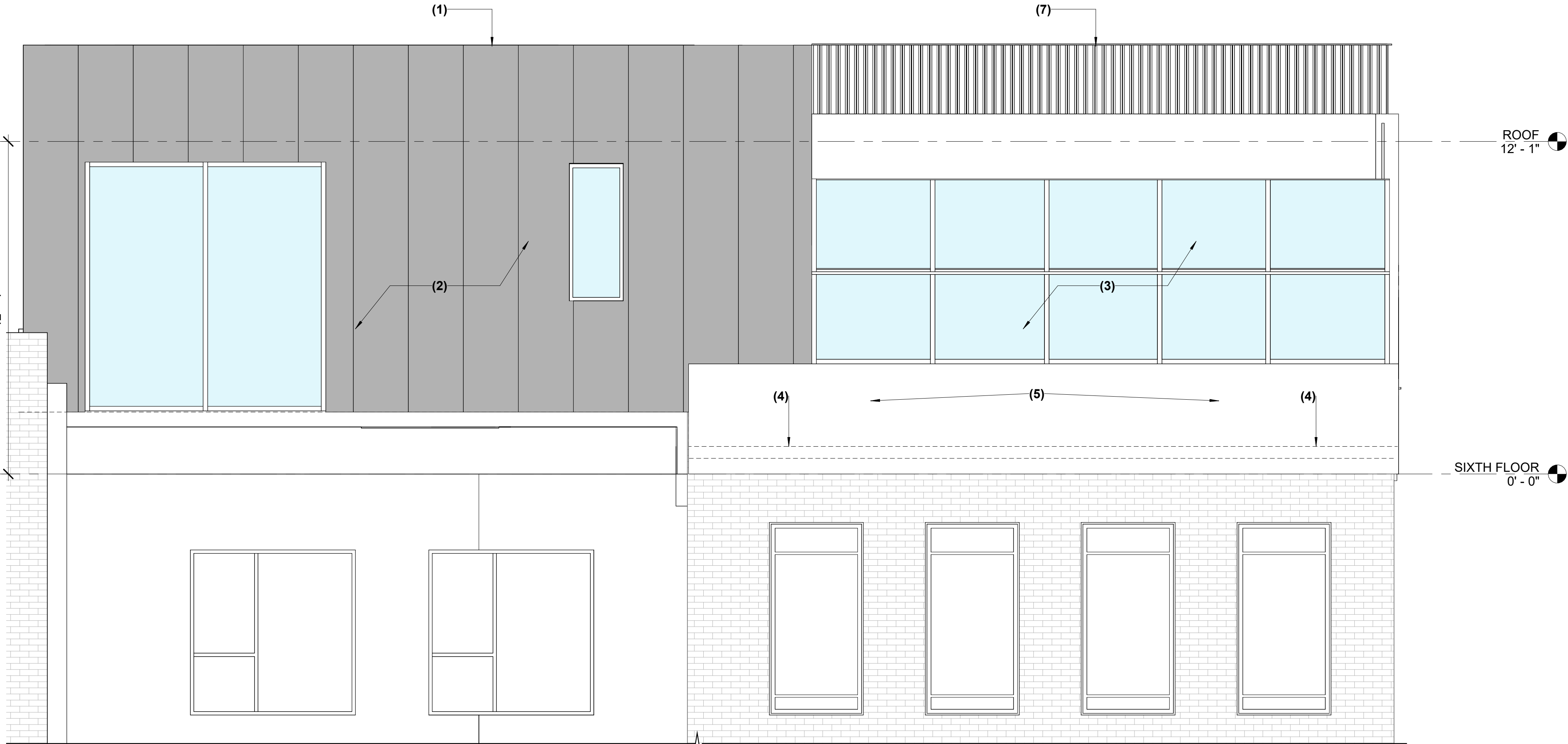
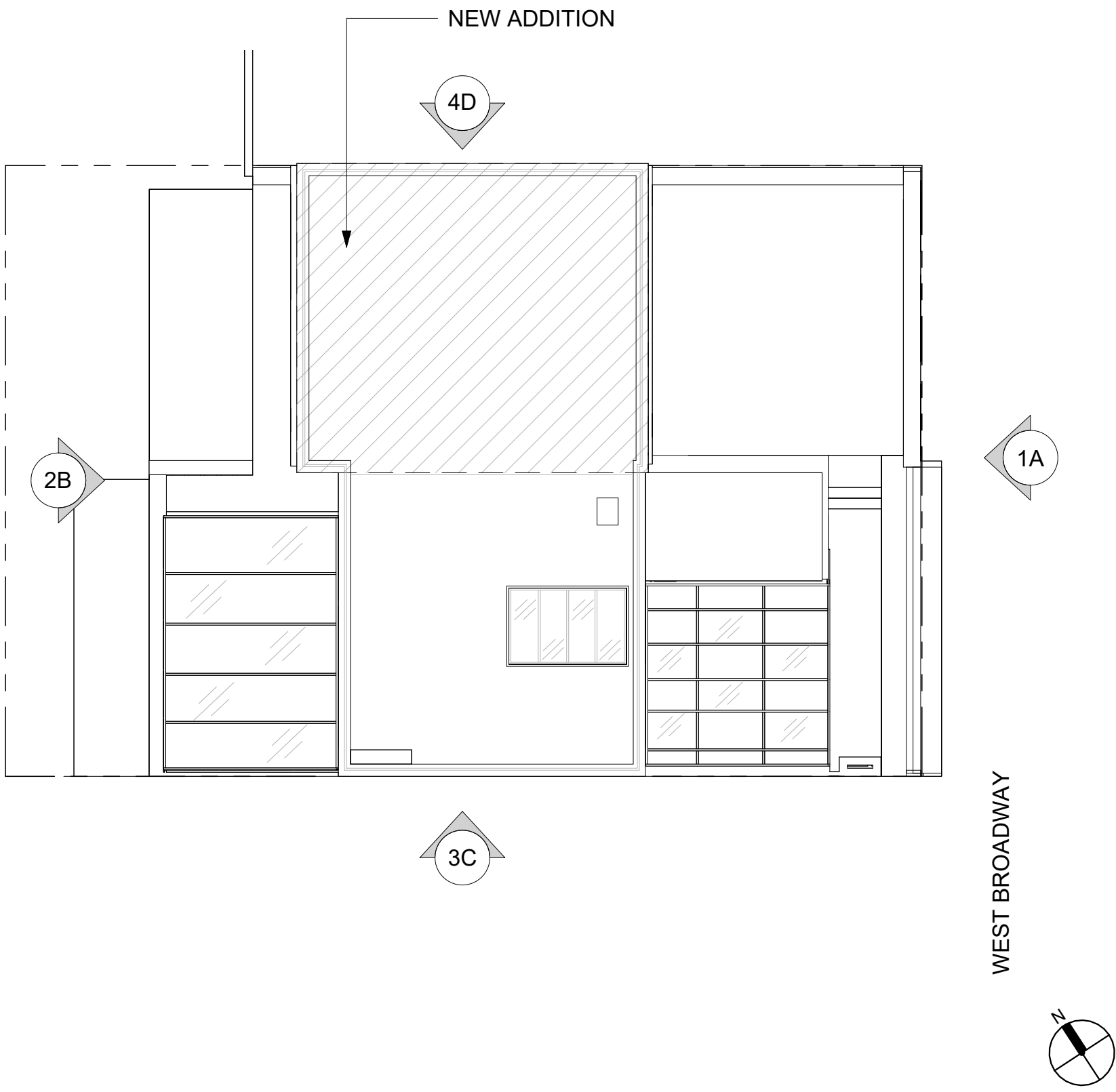
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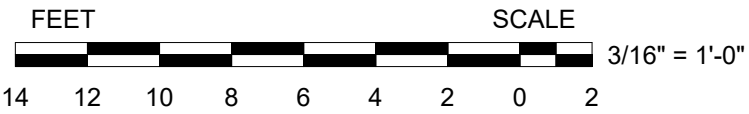
6. WARINING! NO MATERIAL THAT CAN POTENTIALLY BE LIFTED BY WIND SHALL BE LEFT LOOSED AT ROOF TOP.

7.NO MATERIAL SHALL REST ON ADJACENT PROPERTIES.

KEY PLAN



2B REAR ELAVATION (WEST)  
3/8" = 1'-0"





LEGEND

NEW ADDITION BRASS FINISH PANELS (AGED FINISH MATTE)

GLASS

EXISTING TO REMAIN

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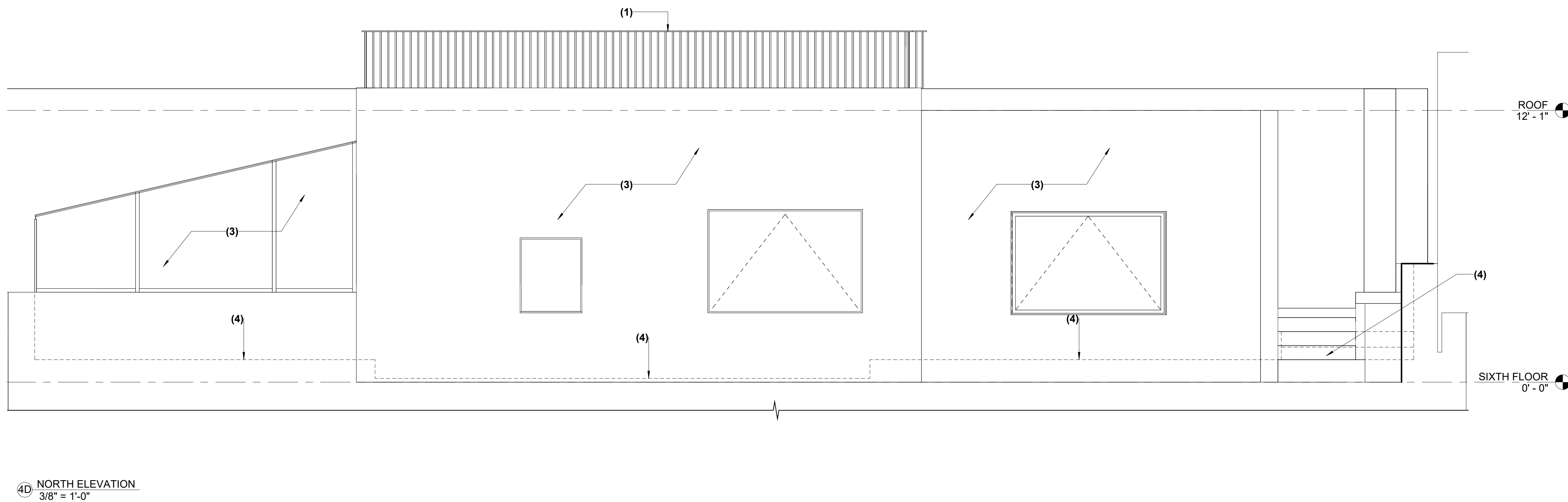
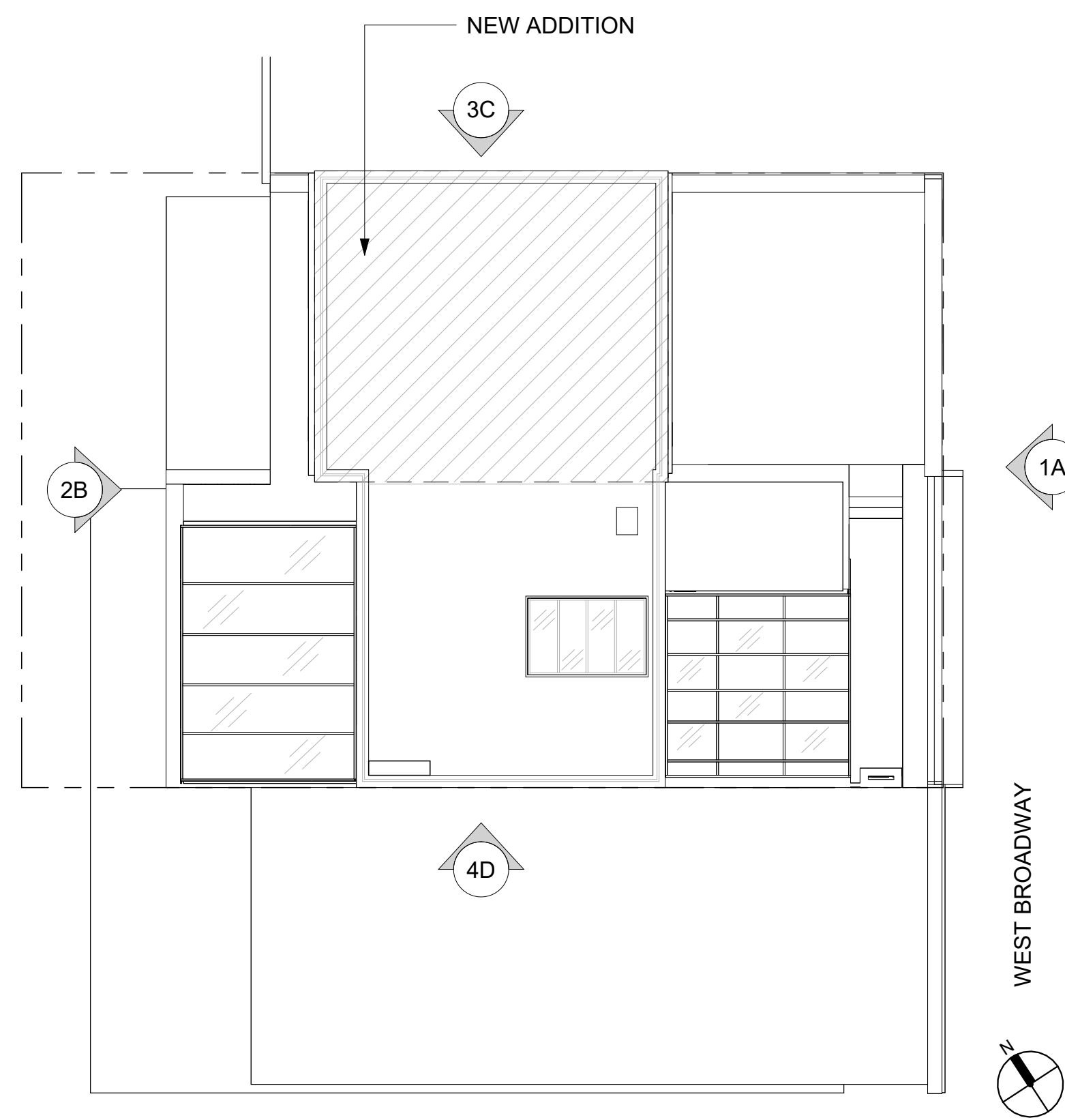
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KEY PLAN





NEW ADDITION BRASS FINISH PANELS (AGED FINISH MATTE)

GLASS

EXISTING TO REMAIN

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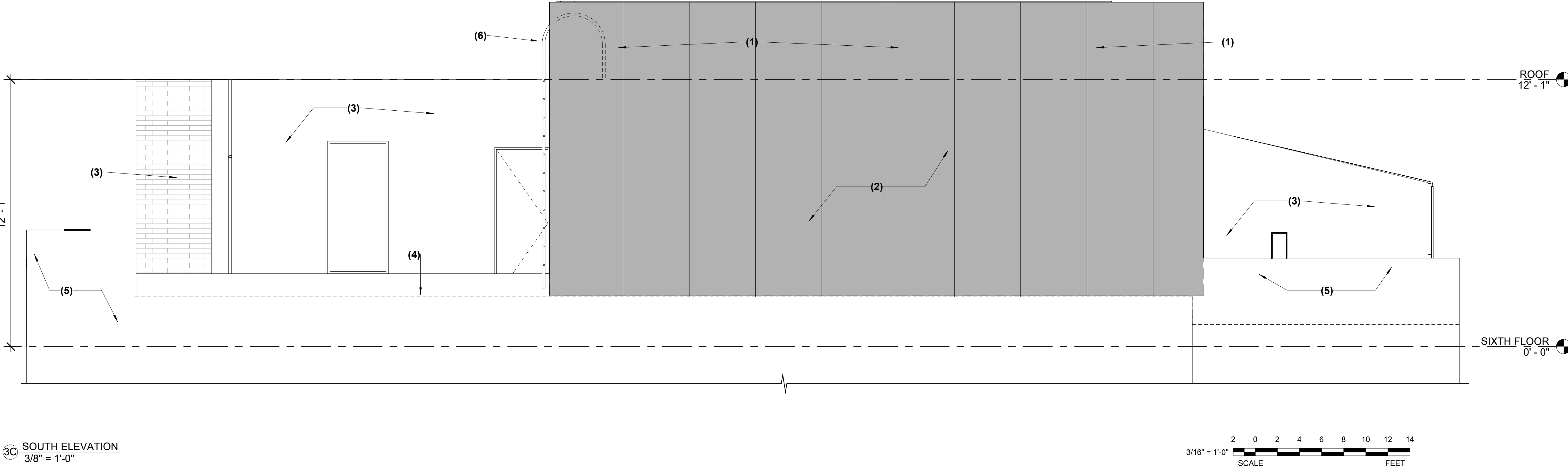
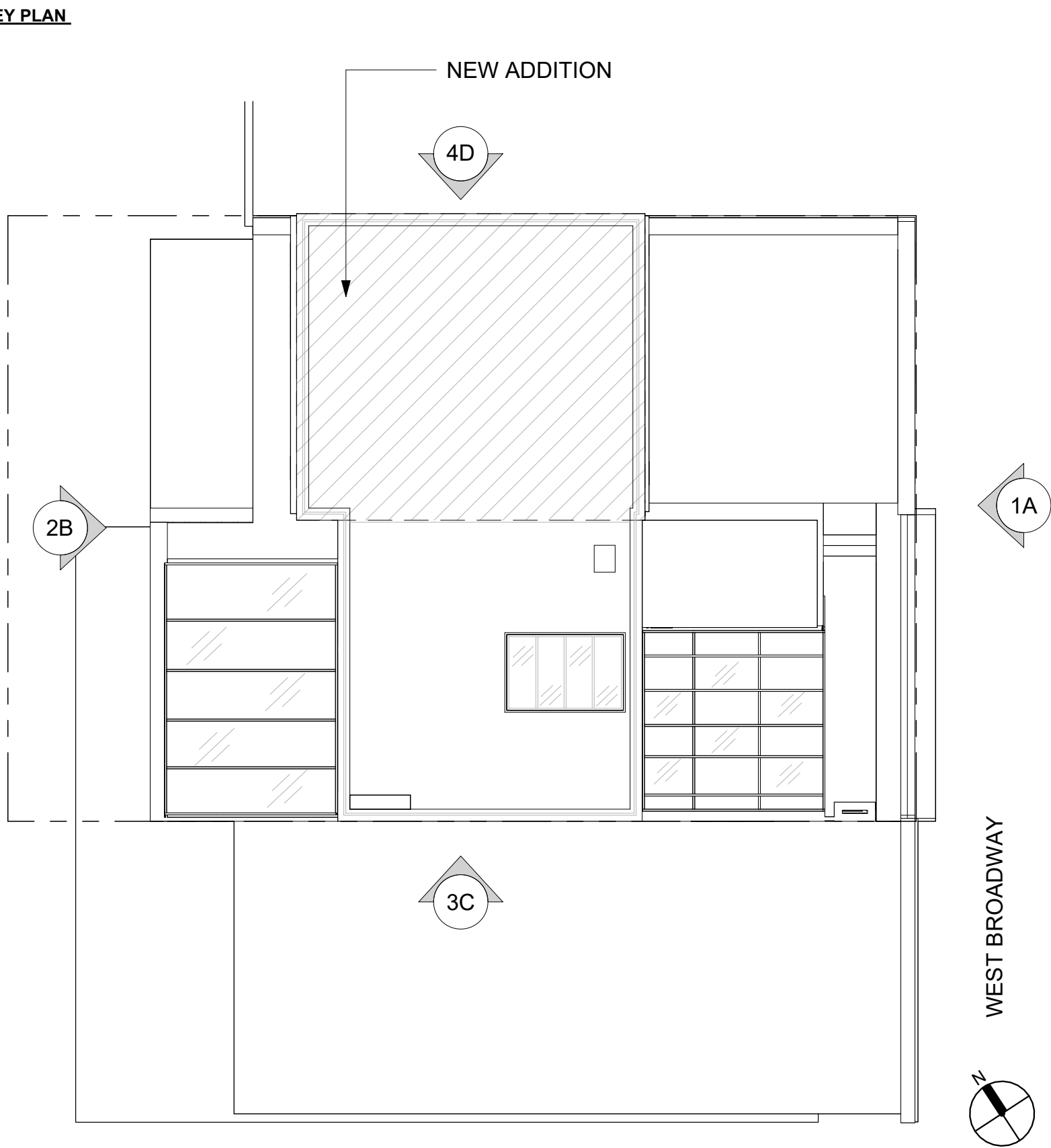
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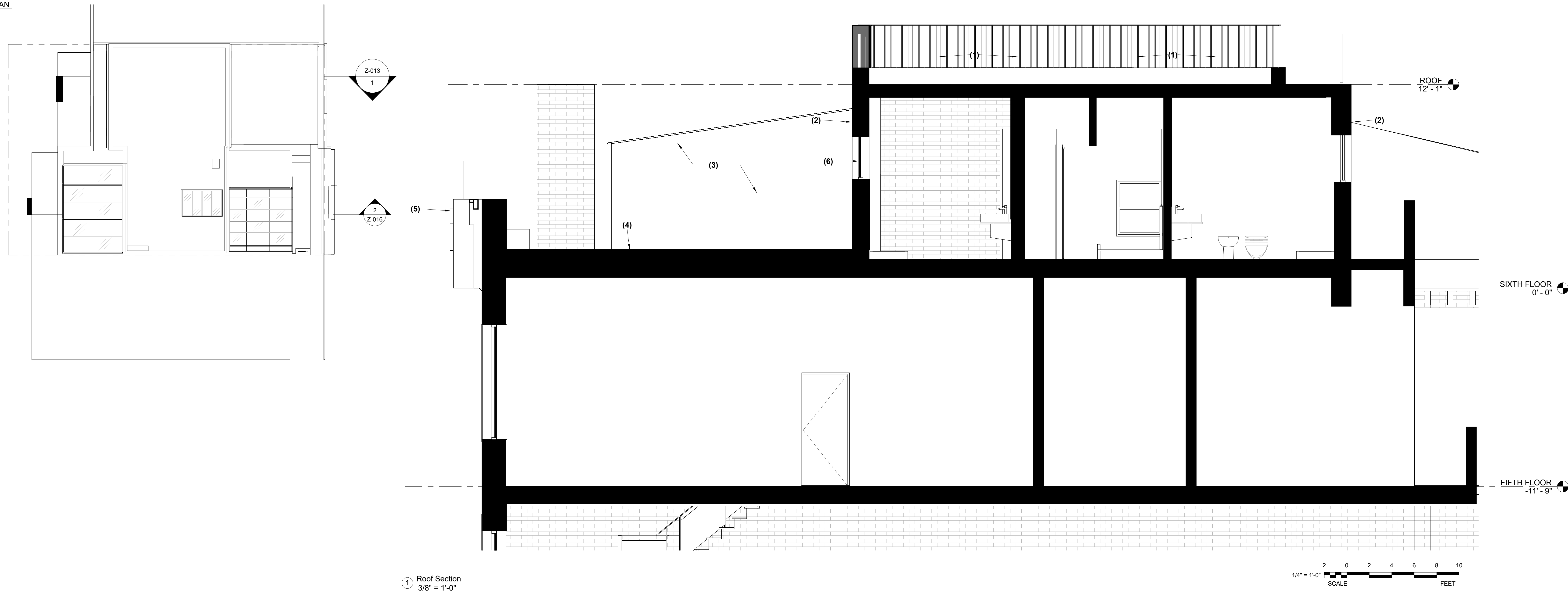
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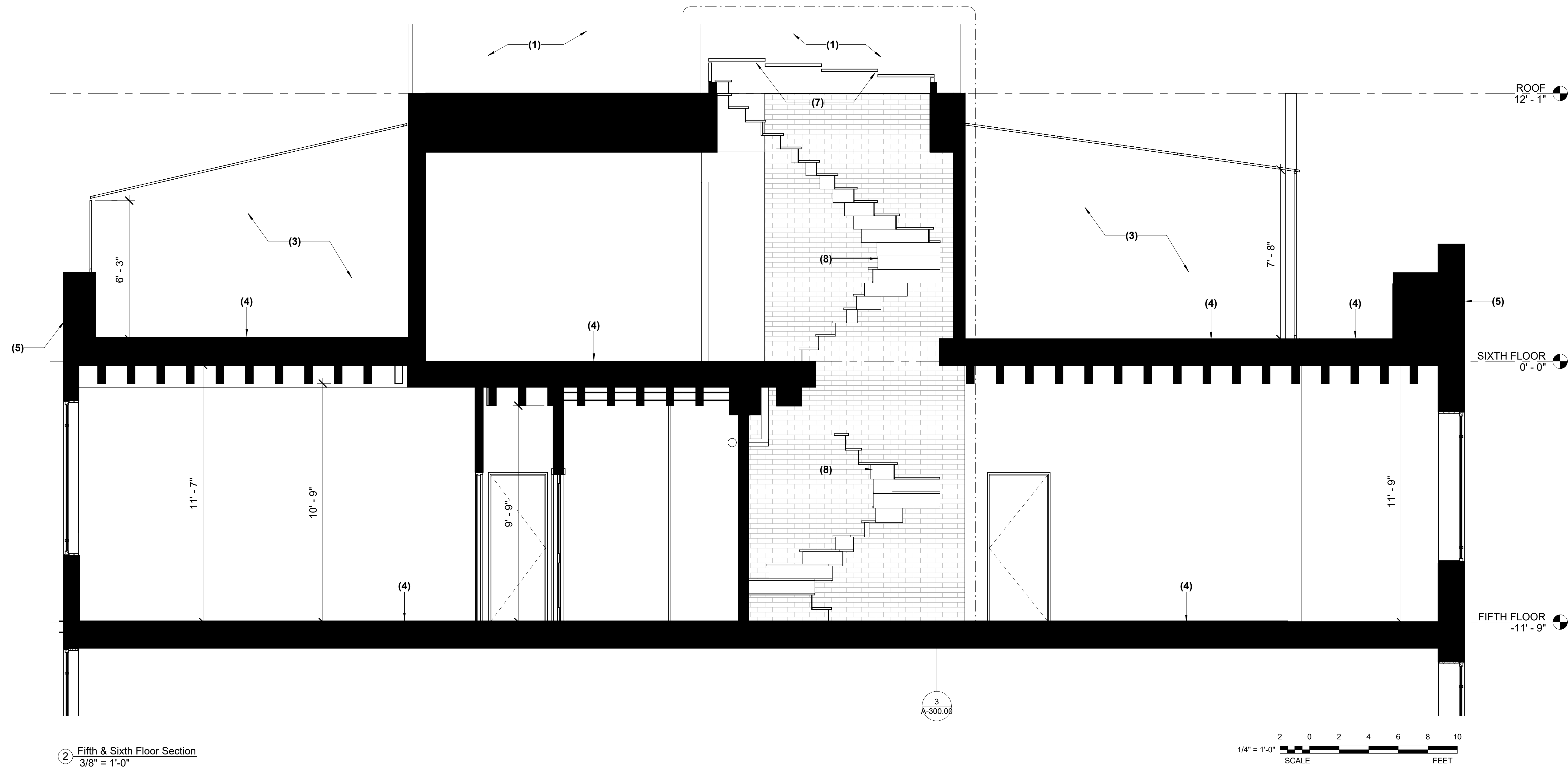
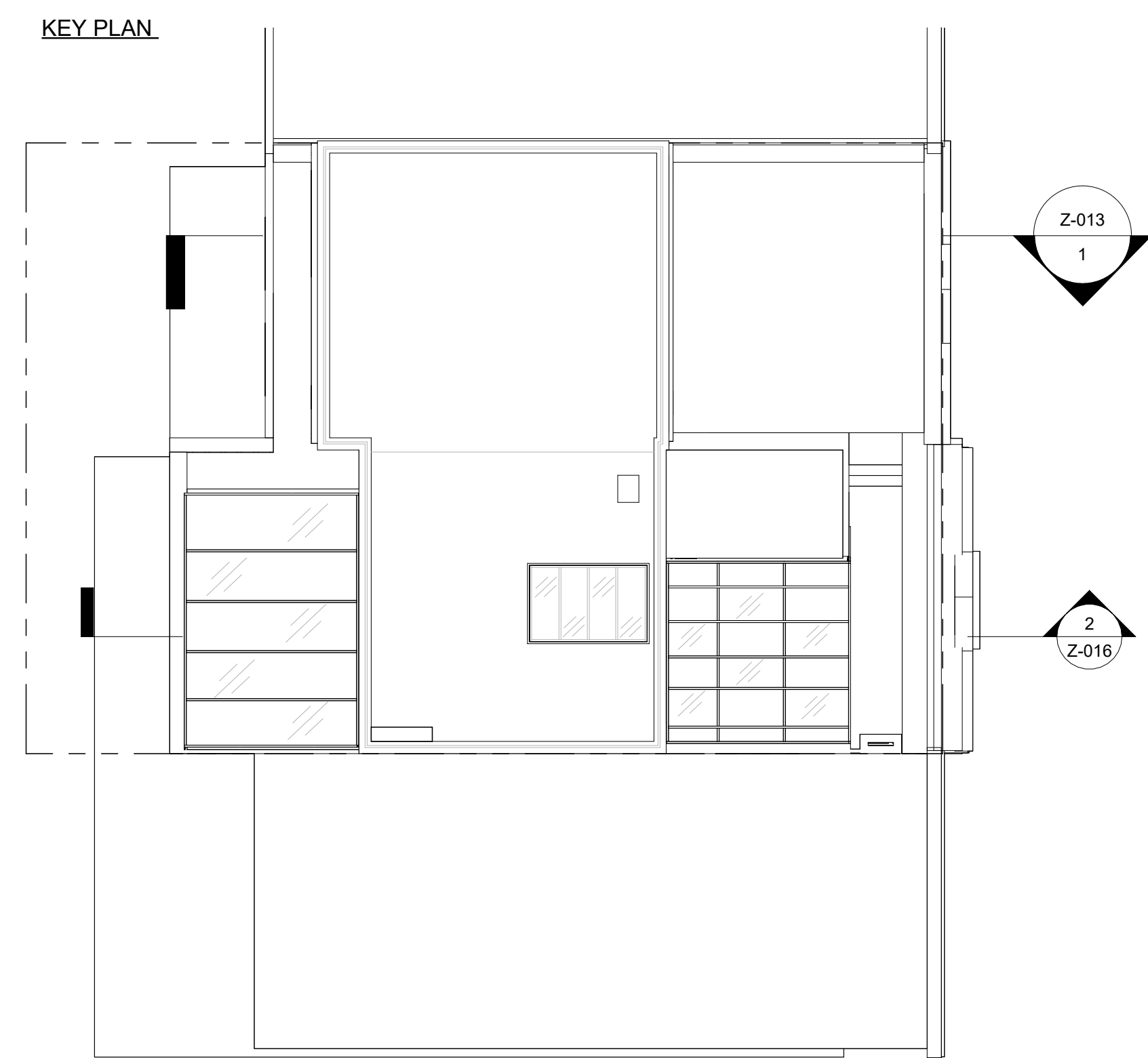
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  - (6) EXISTING DOOR AND WINDOW TO REMAIN
  - (7) NEW OPERABLE SKY LIGHT
- GENERAL CONSTRUCTION NOTES:**
- 1. G.C TO V.I.F ALL DIMENSTIONS
  - 2. NEW OPEINING ON ROOF SHALL BE WATERPROOFED WITH KEMPER 2K-PUR
  - 3. ALL GLAZING USED FOR EXTERIOR SHALL BE LAMINATED TEMPERED GLASS
  - 4. G.C TO V.I.F SKY LIGHT OPENING POSITION

**KEY PLAN**





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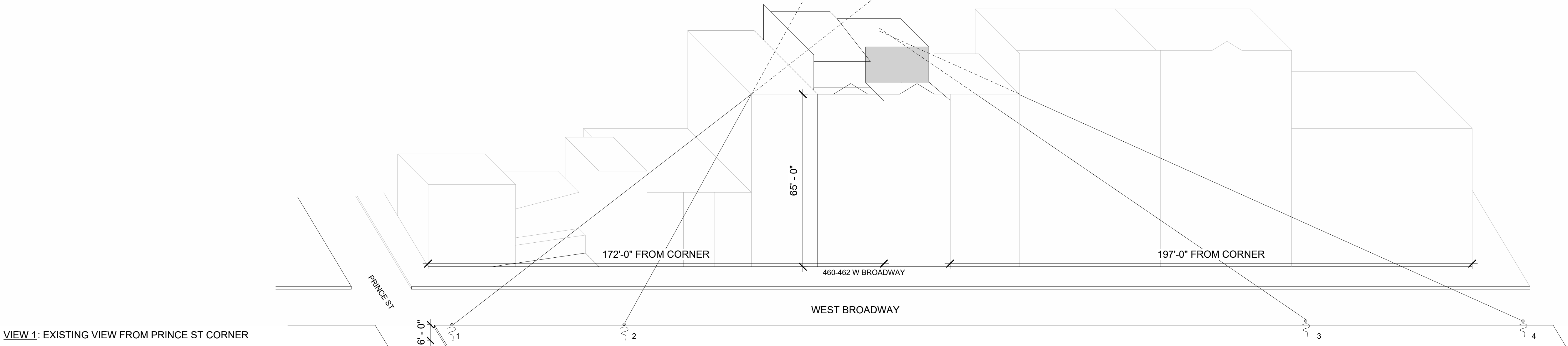




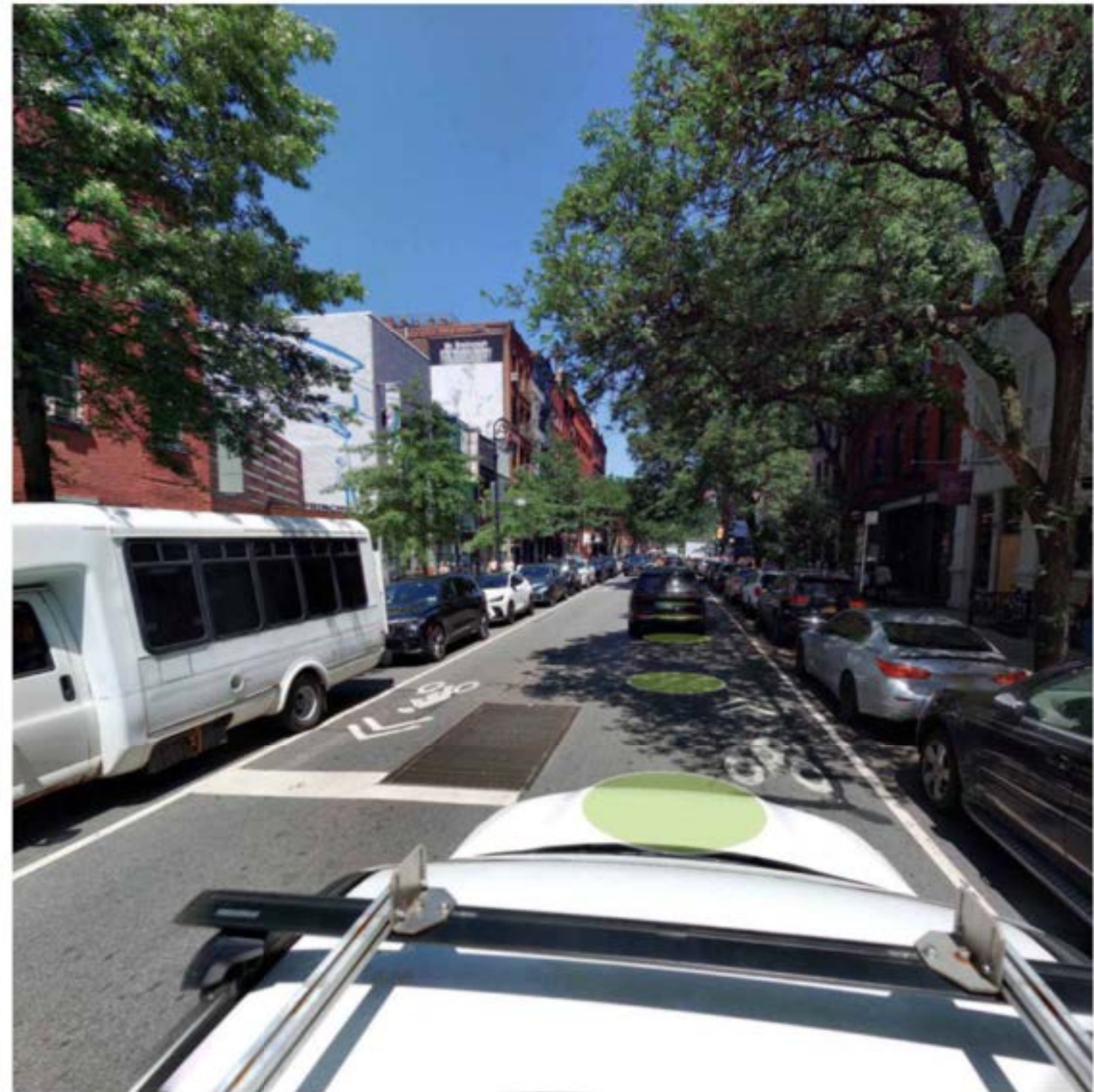








VIEW 1: EXISTING VIEW FROM PRINCE ST CORNER



VIEW 1: EXISTING VIEW FROM PRINCE ST CORNER



VIEW 2: EXISTING VIEW FROM PRINCE ST CORNER



VIEW 3: EXISTING VIEW FROM WEST HOUSTON ST CORNER



VIEW 4: EXISTING VIEW FROM WEST HOUSTON ST CORNER



VIEW 1: PROPOSED VIEW FROM PRINCE ST CORNER



VIEW 2: PROPOSED VIEW FROM PRINCE ST CORNER



VIEW 3: PROPOSED VIEW FROM WEST HOUSTON ST CORNER



VIEW 4: PROPOSED VIEW FROM WEST HOUSTON ST CORNER







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