

September 9, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 8, LPC-21-10447

132 Kane Street – Cobble Hill Historic District
Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 161 548 5062

Passcode: 888453

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.



CURRENT STREET FACADE IN 2024

132 KANE STREET BROOKLYN, NY 11231

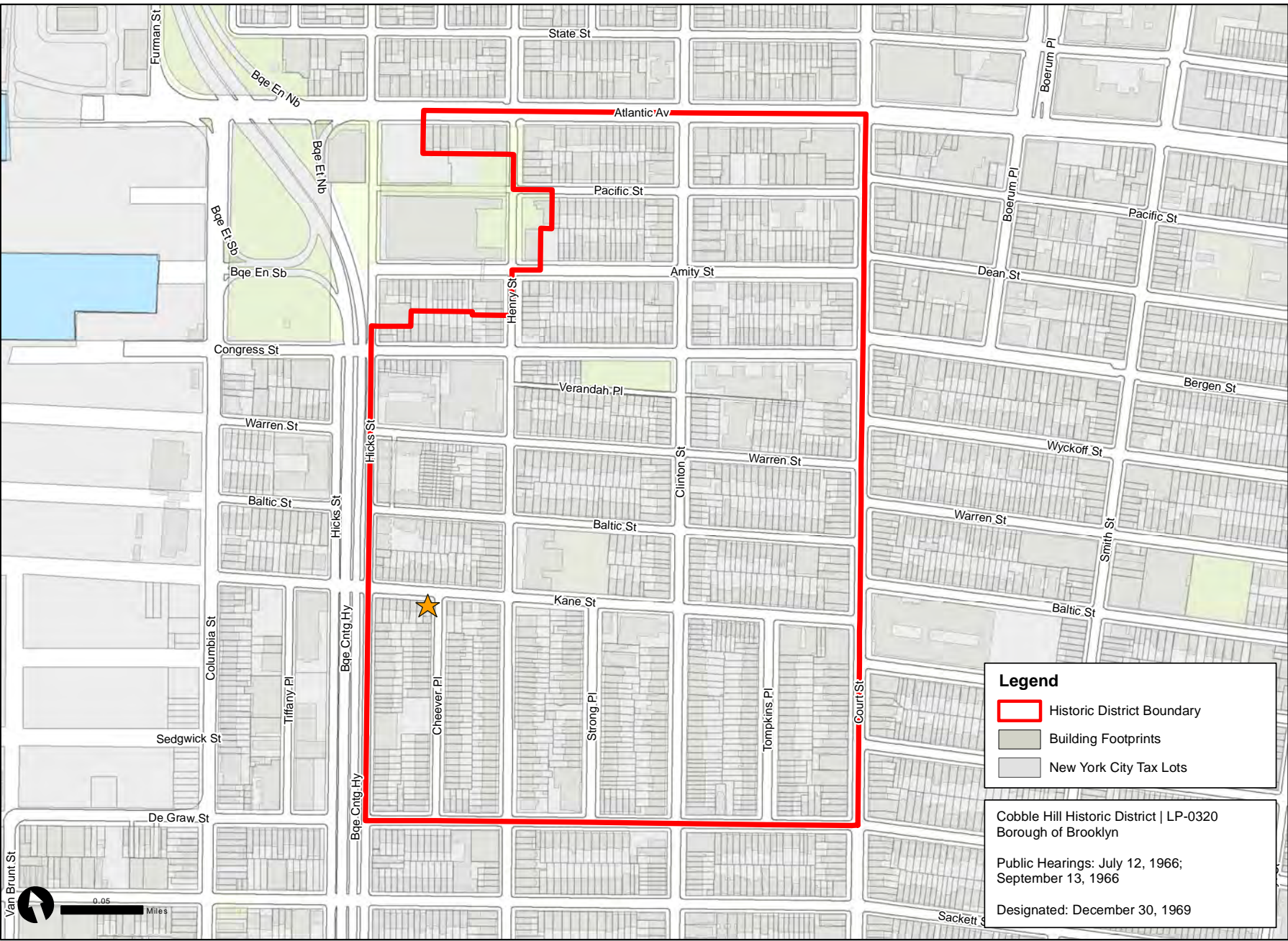
THE BROOKLYN STUDIO

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132 KANE RESIDENCE
132 KANE STREET
BROOKLYN, NY
11231

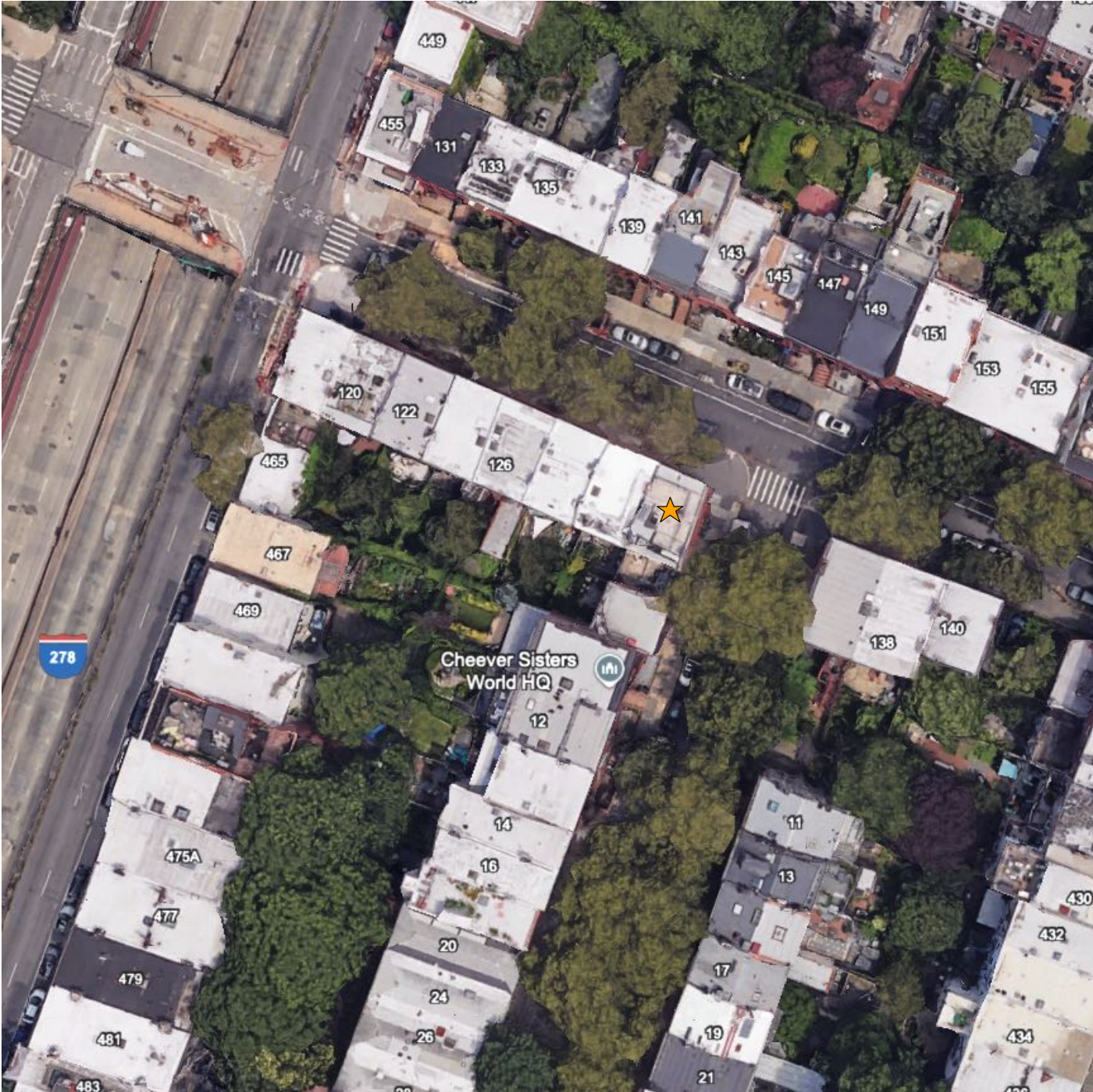
TITLE PAGE
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SCALE: N.T.S.

Cobble Hill Historic District | LP-0320



Graphic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LCR Date: 2.19.2019

PROJECT LOCATION, CORNER OF KANE STREET & CHEEVER PLACE -
COBBLE HILL HISTORIC DISTRICT
★ = PROJECT LOCATION



PROJECT LOCATION, CORNER OF KANE STREET &
CHEEVER PLACE- GOOGLE EARTH SCREENSHOT
★ = PROJECT LOCATION

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PROJECT INFO & SITE INFO
DRAWN BY: CG
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1940s TAX PHOTO



1980s TAX PHOTO



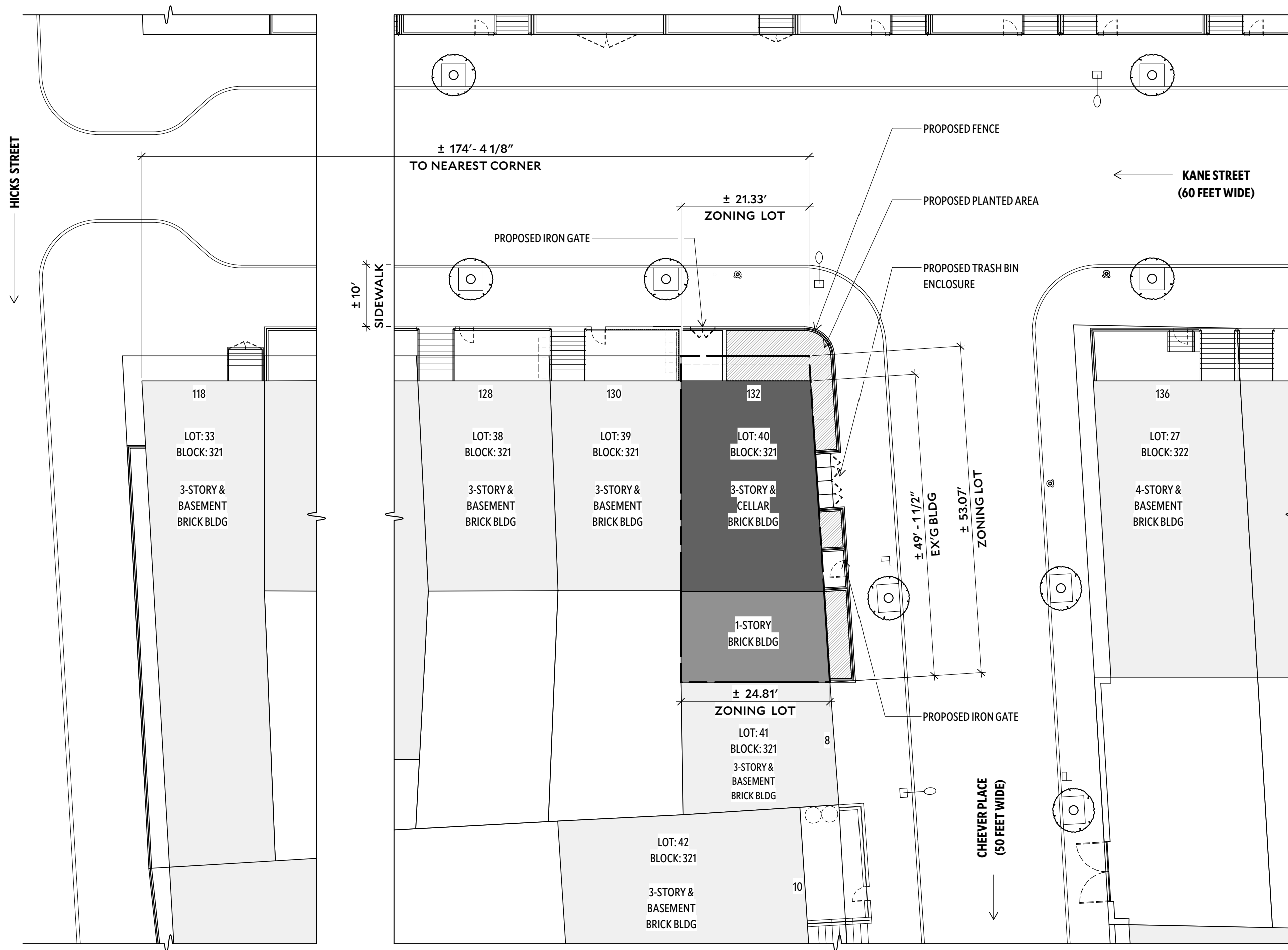
PRESENT DAY

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HISTORICAL PHOTOGRAPHS
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PROPOSED PLOT PLAN
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EXISTING STORE FRONT



④ EXISTING STOREFRONT AT STREET LEVEL

FRONT YARD REFERENCE



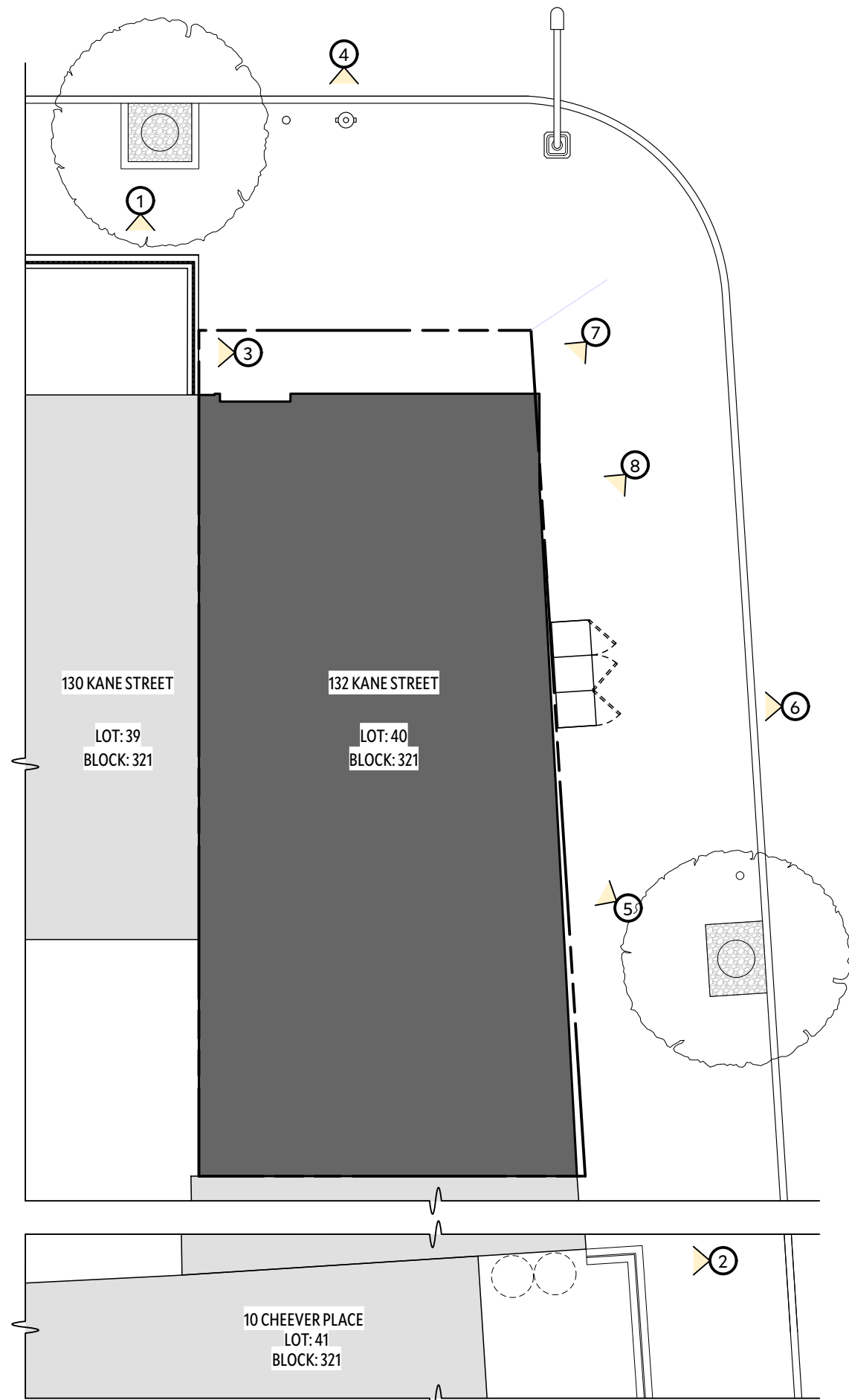
② 10 CHEEVER PLACE RESIDENCE FRONT YARD



③ 130 KANE STREET RESIDENCE FRONT YARD



① 130 KANE STREET RESIDENCE FRONT YARD



KEY PLAN OF 132 KANE STREET AND SURROUND PROPERTIES

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EXISTING FRONT AND EAST FACADE
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⑧ EXISTING TRASH ENCLOSURE AT STREET LEVEL



⑦ EXISTING STOREFRONT AT STREET LEVEL



⑥ EXISTING EAST FACADE



⑤ EXISTING WINDOW AT STREET LEVEL: ORIGINAL DOOR LOCATION

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EXISTING EAST FACADE PHOTOGRAPHS
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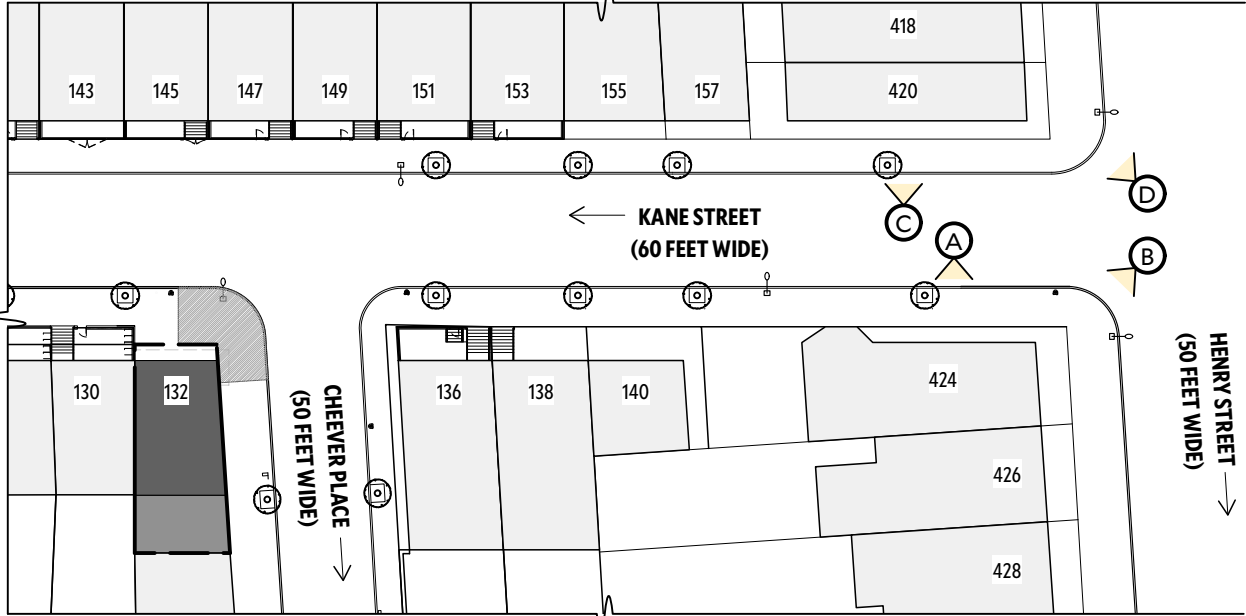
REFERENCE IMAGES OF CORNER LOTS WITH FRONT & SIDE YARDS



D VIEW OF 420 HENRY STREET W/ FRONT AND SIDE YARDS



B VIEW OF 424 HENRY STREET W/ FRONT AND SIDE YARDS



KEY PLAN OF COBBLE HILL BLOCKS NEAR PROPERTY



C VIEW OF 420 HENRY STREET W/ FRONT AND SIDE YARDS



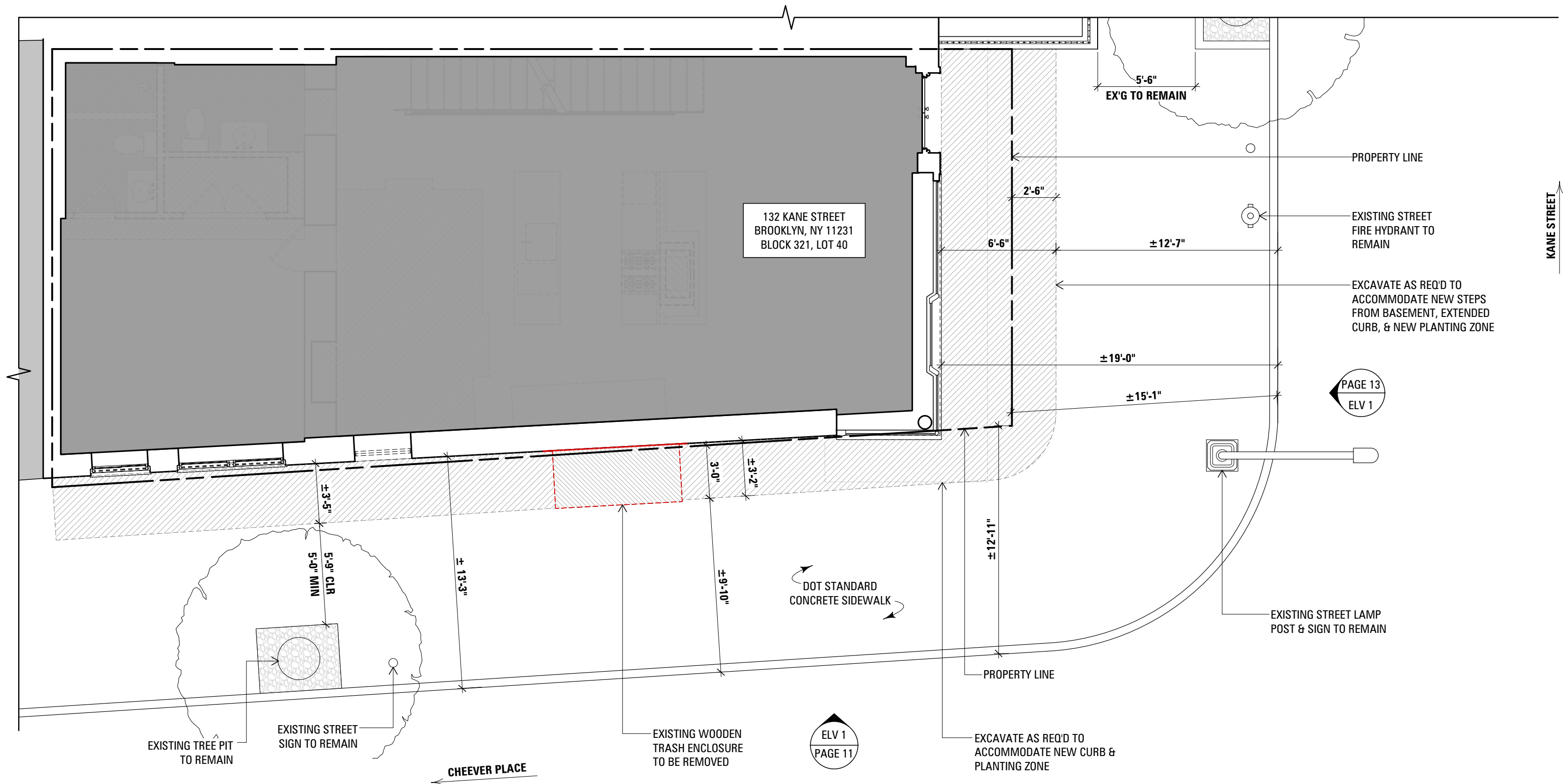
A VIEW OF 424 HENRY STREET W/ FRONT AND SIDE YARDS

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REFERENCE IMAGES OF CORNER LOTS
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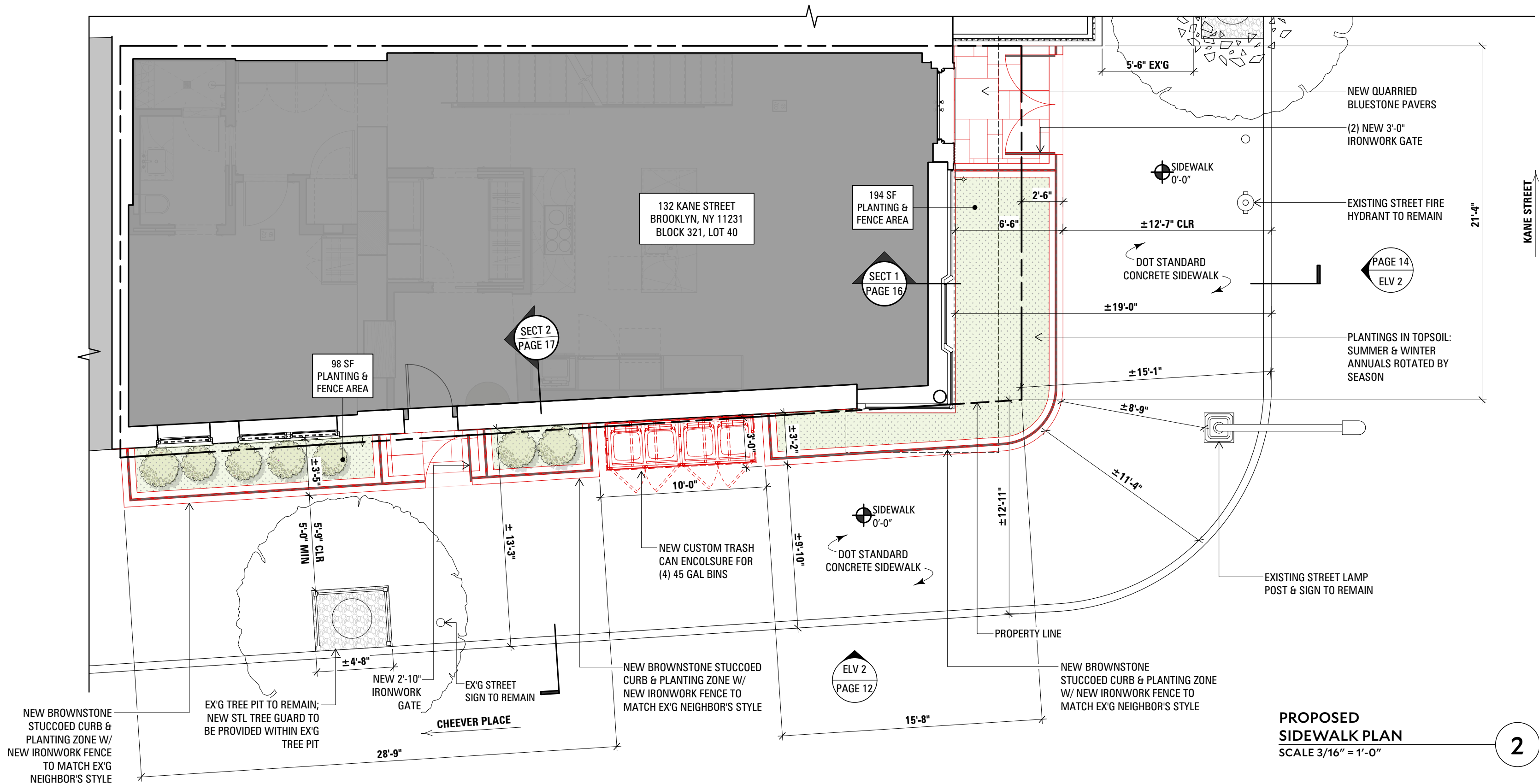
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EXISTING FLOOR PLAN:
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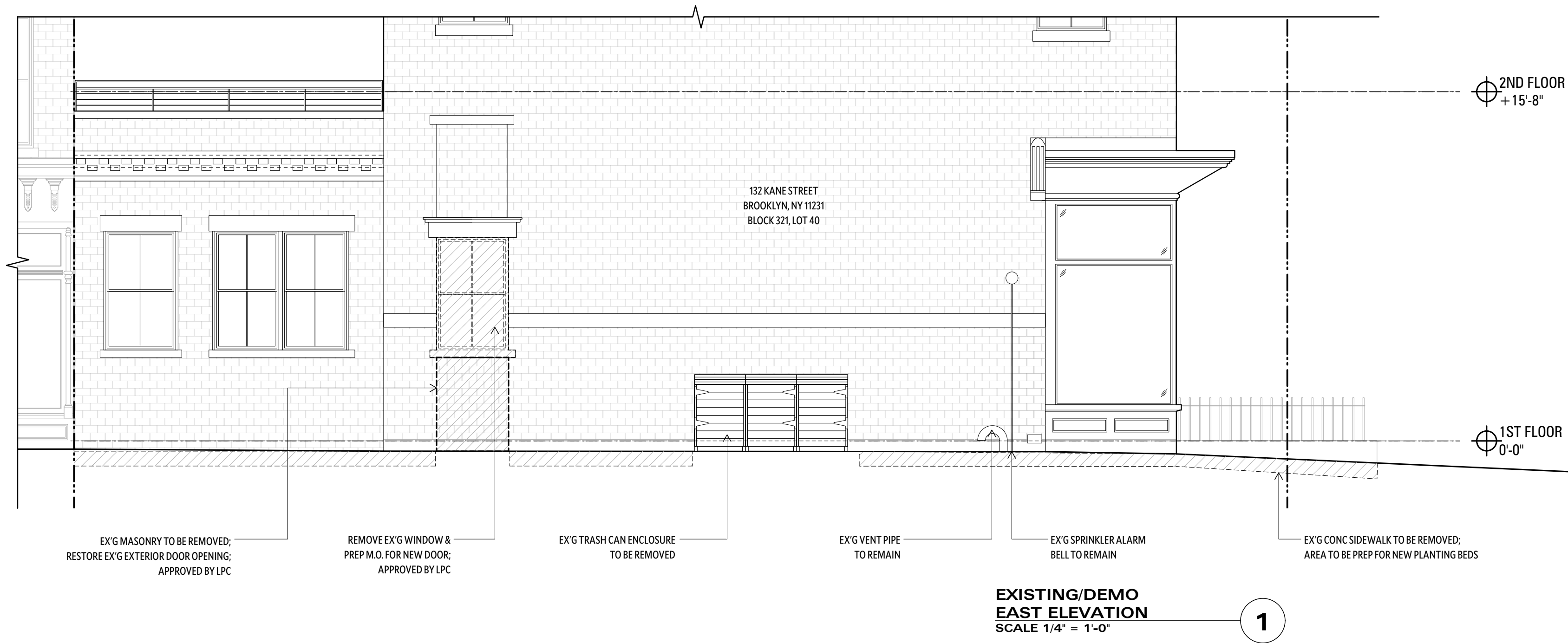
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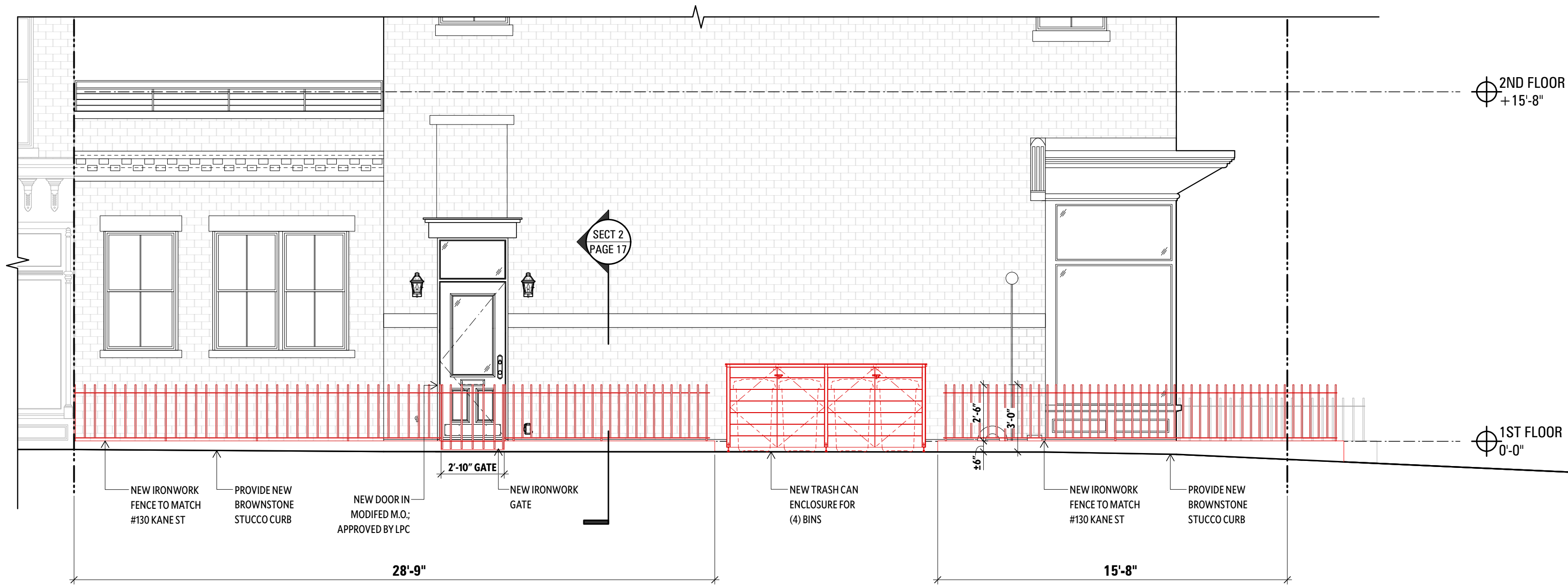


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EXISTING EAST FACADE
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**PROPOSED
EAST ELEVATION**
SCALE 1/4" = 1'-0"

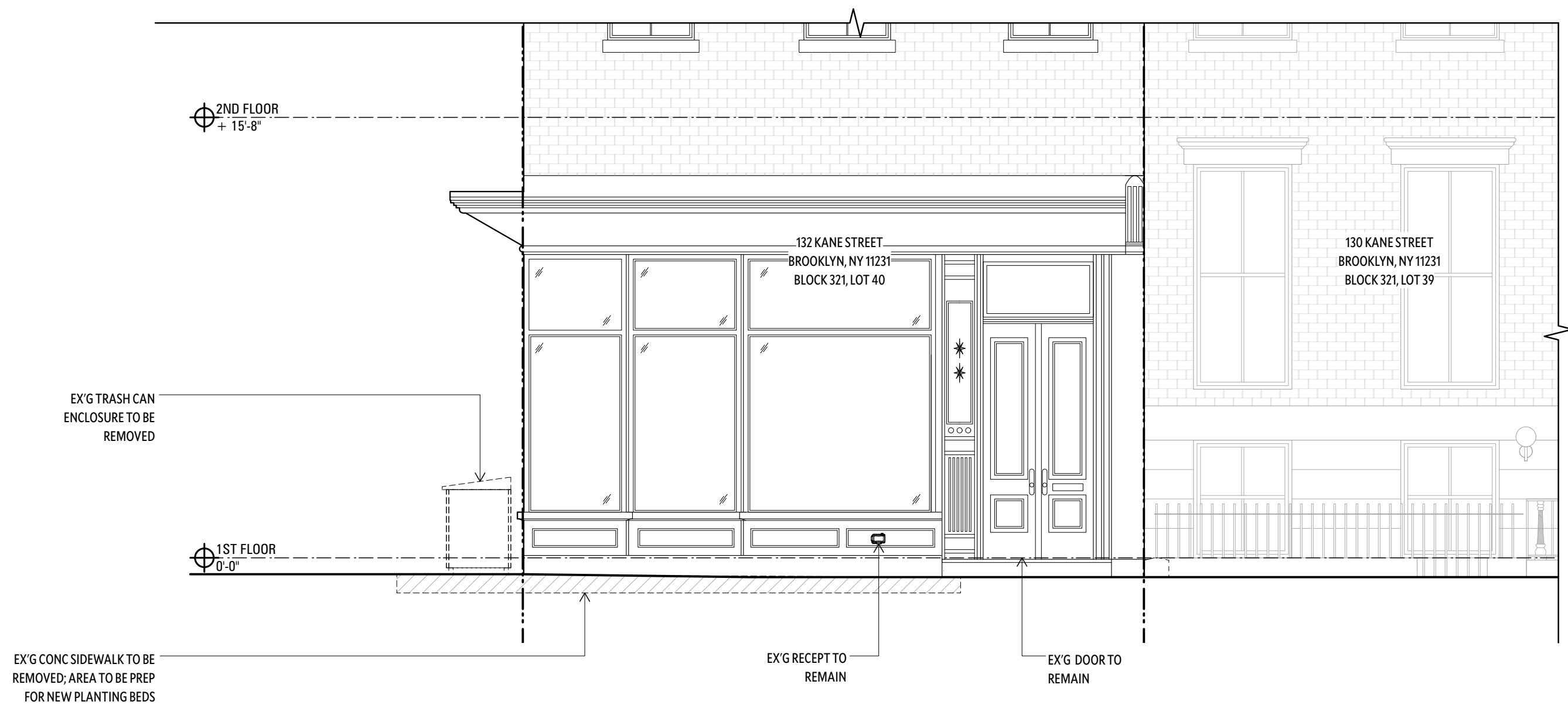
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PROPOSED EAST FACADE
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**EXISTING/DEMO
FRONT ELEVATION**
SCALE 1/4" = 1'-0"

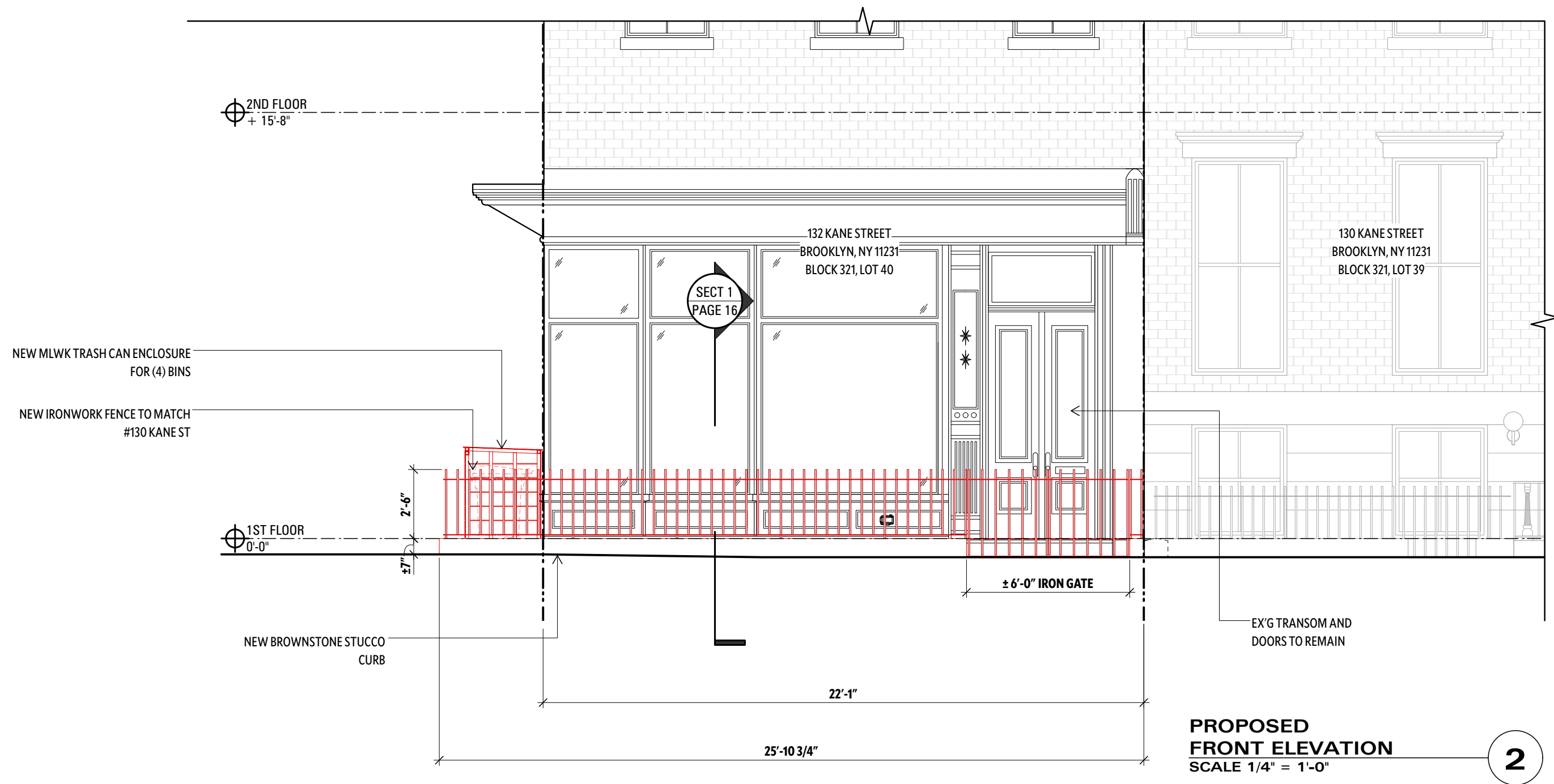
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EXISTING NORTH FACADE
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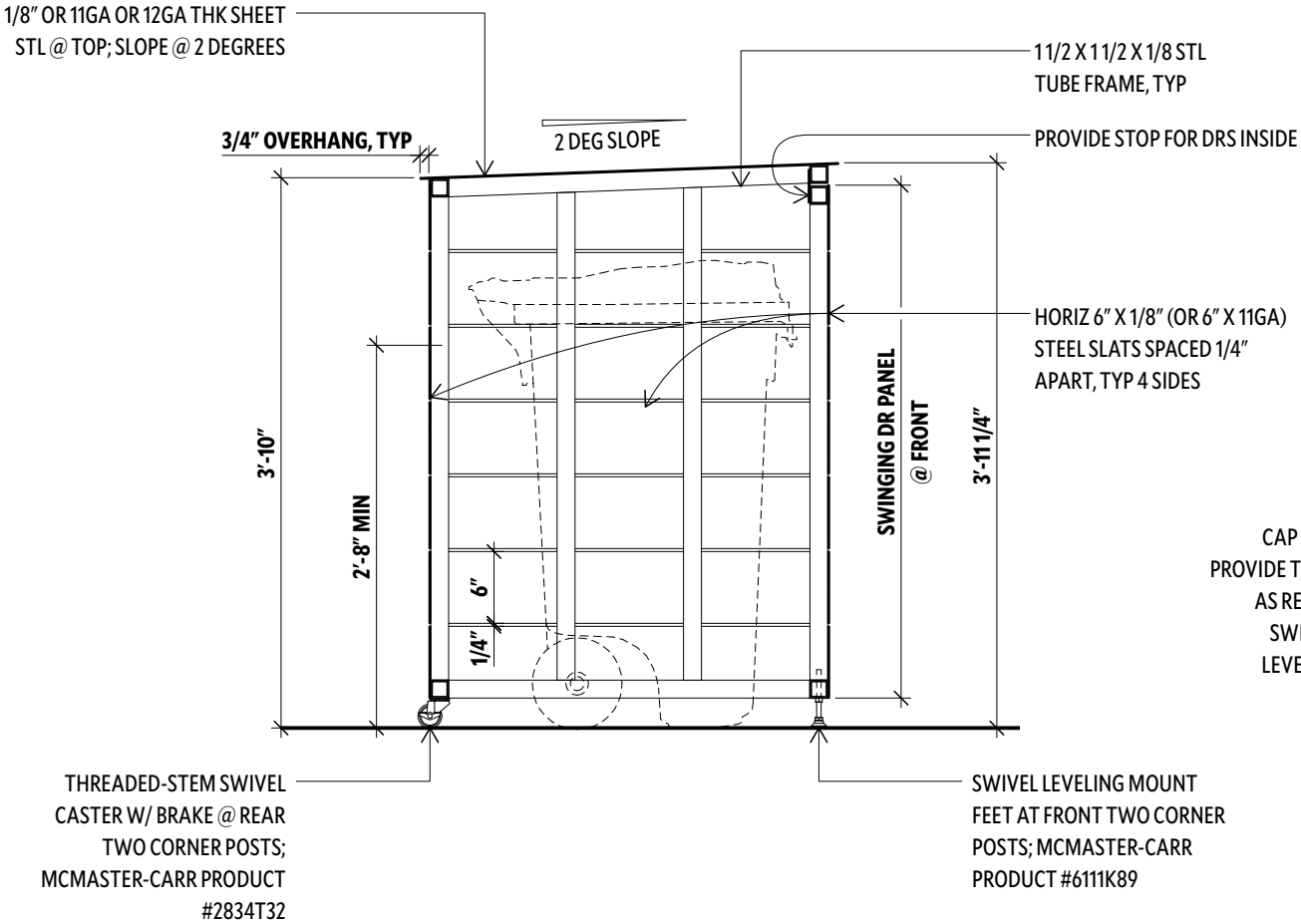


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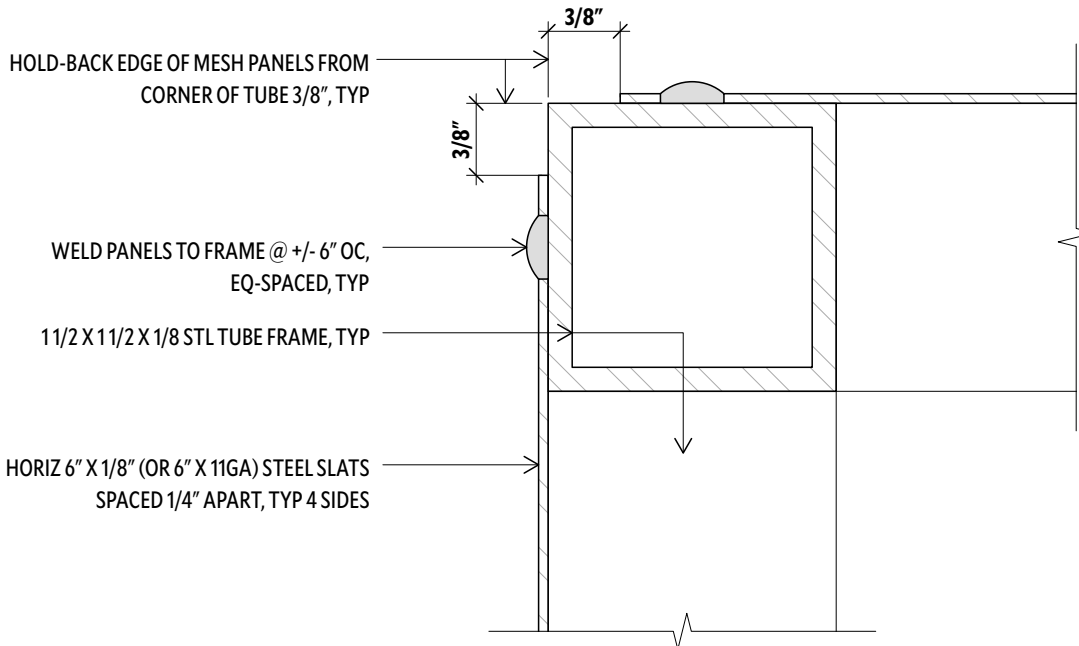
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PROPOSED NORTH FACADE
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SIDE ELEVATION
SCALE 3/4" = 1'-0"

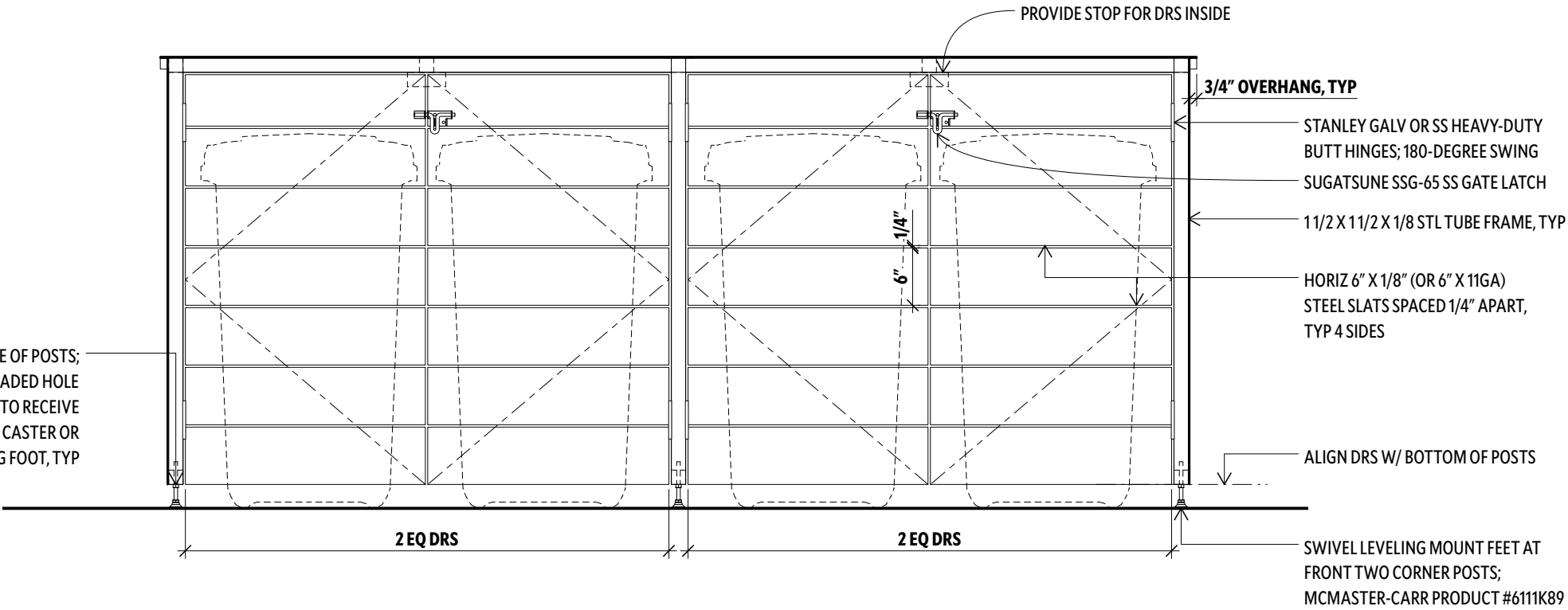
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PLAN DETAIL:
POST @ CORNER
SCALE 1" = 1'

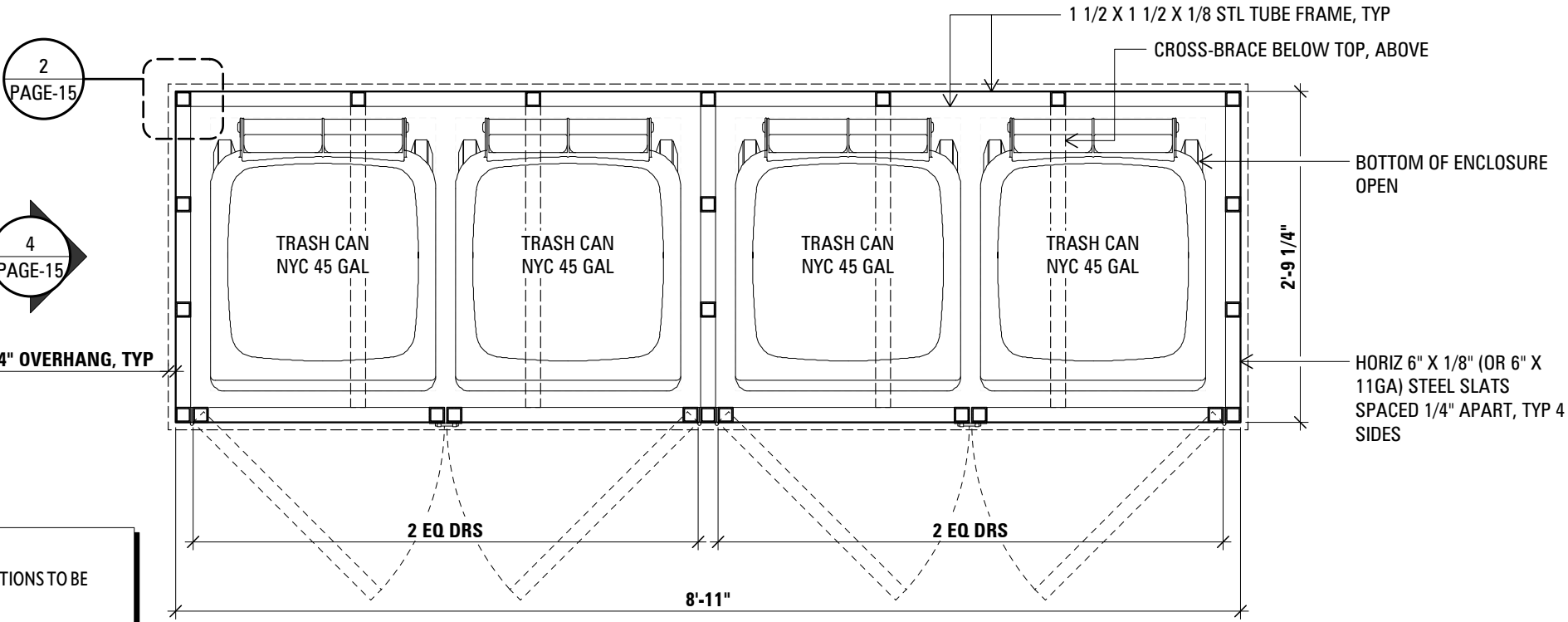
2

NOTE:
- STL TUBE FRAME CONNECTIONS TO BE
WELDED, TYP.
- PRIME ENTIRE ENCLOSURE W/ RUST-PROOF
PRIMER.
- PAINT ENTIRE ENCLOSURE, COLOR=BLACK.



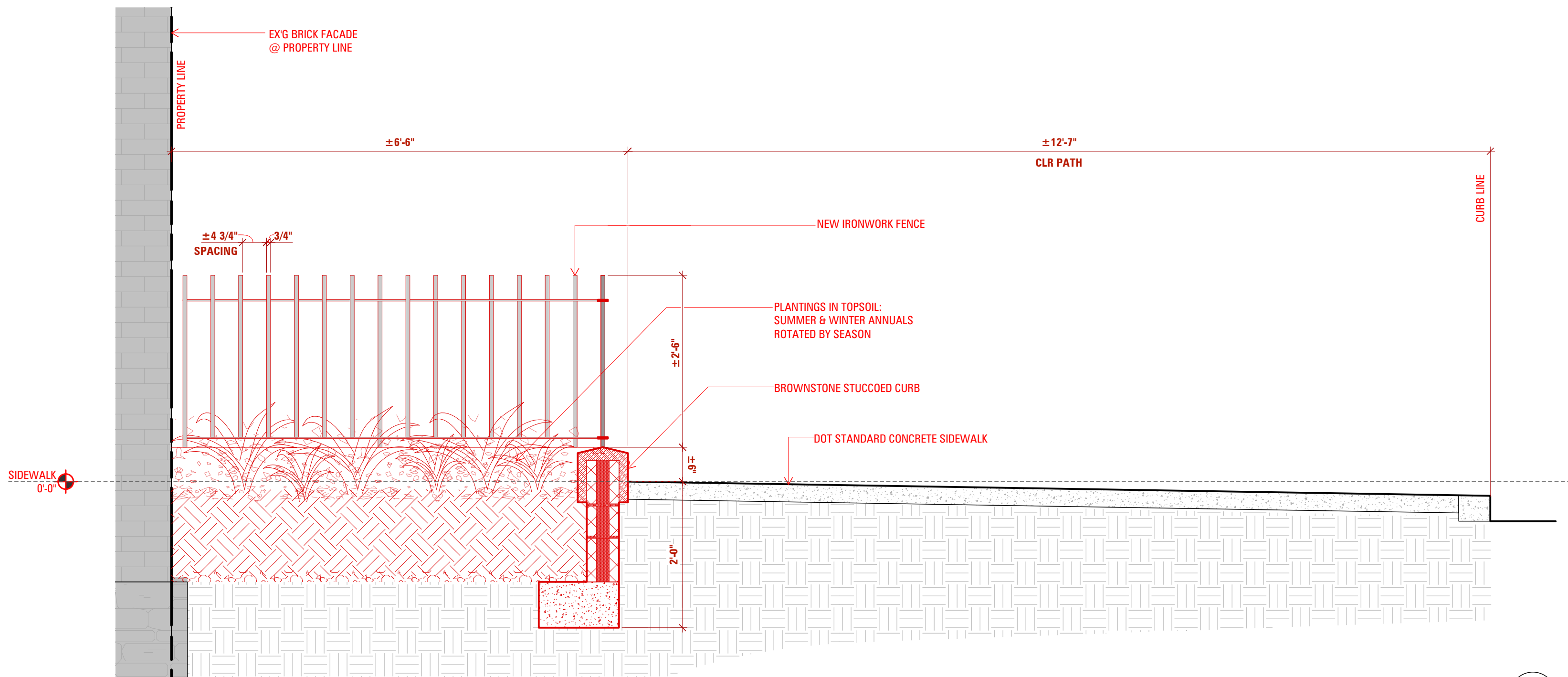
FRONT ELEVATION
SCALE 3/4" = 1'-0"

3



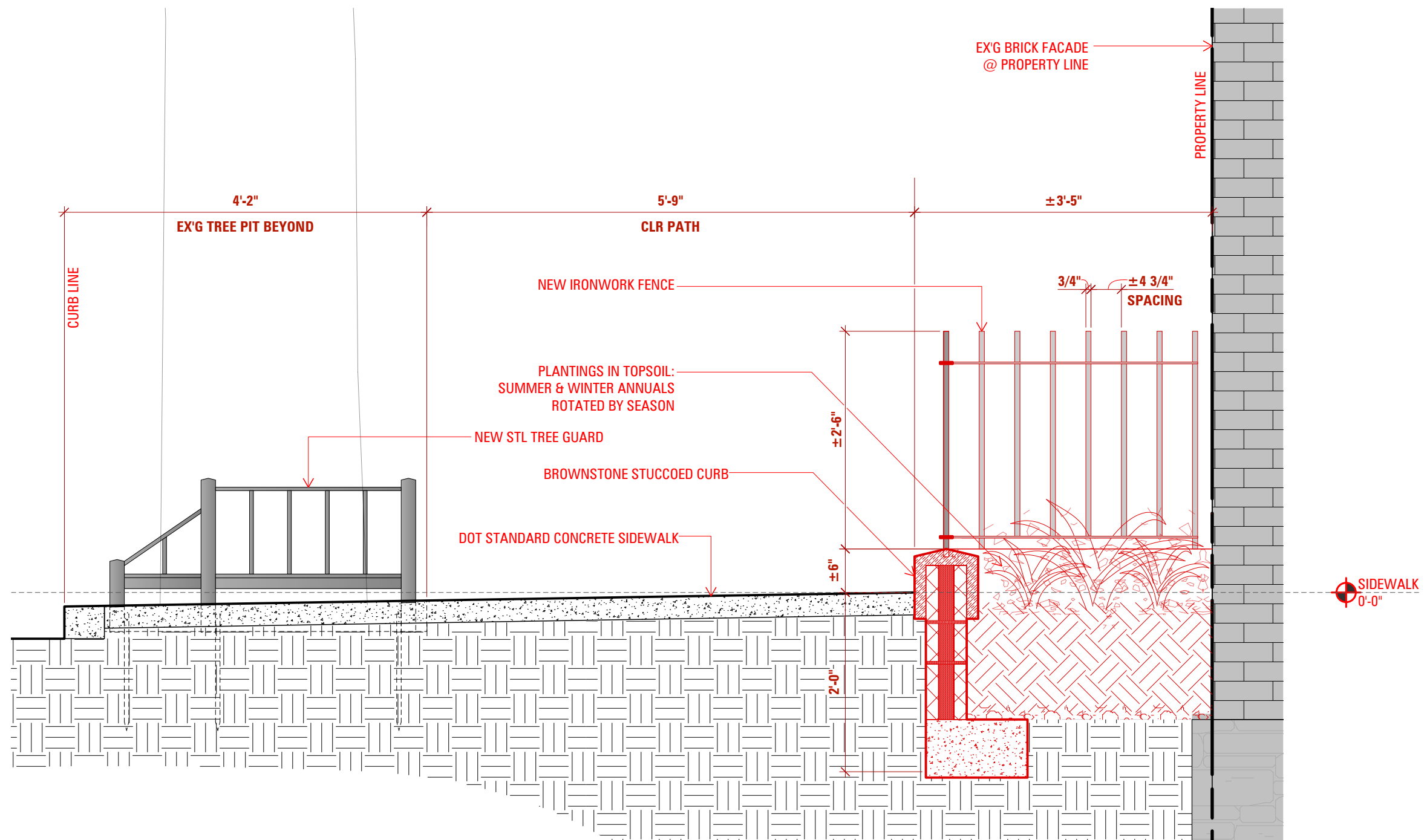
PLAN
SCALE 3/4" = 1'-0"

1



SECTION 1
SCALE 3/4" = 1'-0"

1



SECTION 2
SCALE 3/4" = 1'-0"

2

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