

June 24, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-25-11594

56 Joralemon Street – Brooklyn Heights Historic District Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 160 398 4258

Passcode: 804515

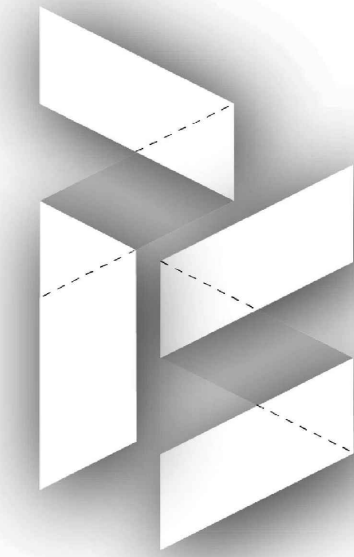
By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

SHERWANI RESIDENCE
56 JORALEMON STREET
BROOKLYN, NY 11201
INTERIOR RENOVATION



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

ABBREVIATIONS				ADA COMPLIANCE DIAGRAM		PROPERTY INFORMATION		PROJECT DATA		DRAWING INDEX	
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DWG.</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> <p>PRE-EXISTING CABINET</p> 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Issue Date
FOR LANDMARK PRESERVATION COMMISSION FILING 11/27/2024
FOR LANDMARK PRESERVATION COMMISSION FILING REV #1 01/17/2025
FOR LANDMARK PRESERVATION COMMISSION FILING REV #2 02/21/2025
FOR PERMIT FOR CONSTRUCTION 03/03/2025
ADDENDUM #1 03/21/2025
FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION 04/15/2025
FOR LANDMARK PRESERVATION COMMISSION FILING PHASE 2 06/11/2025

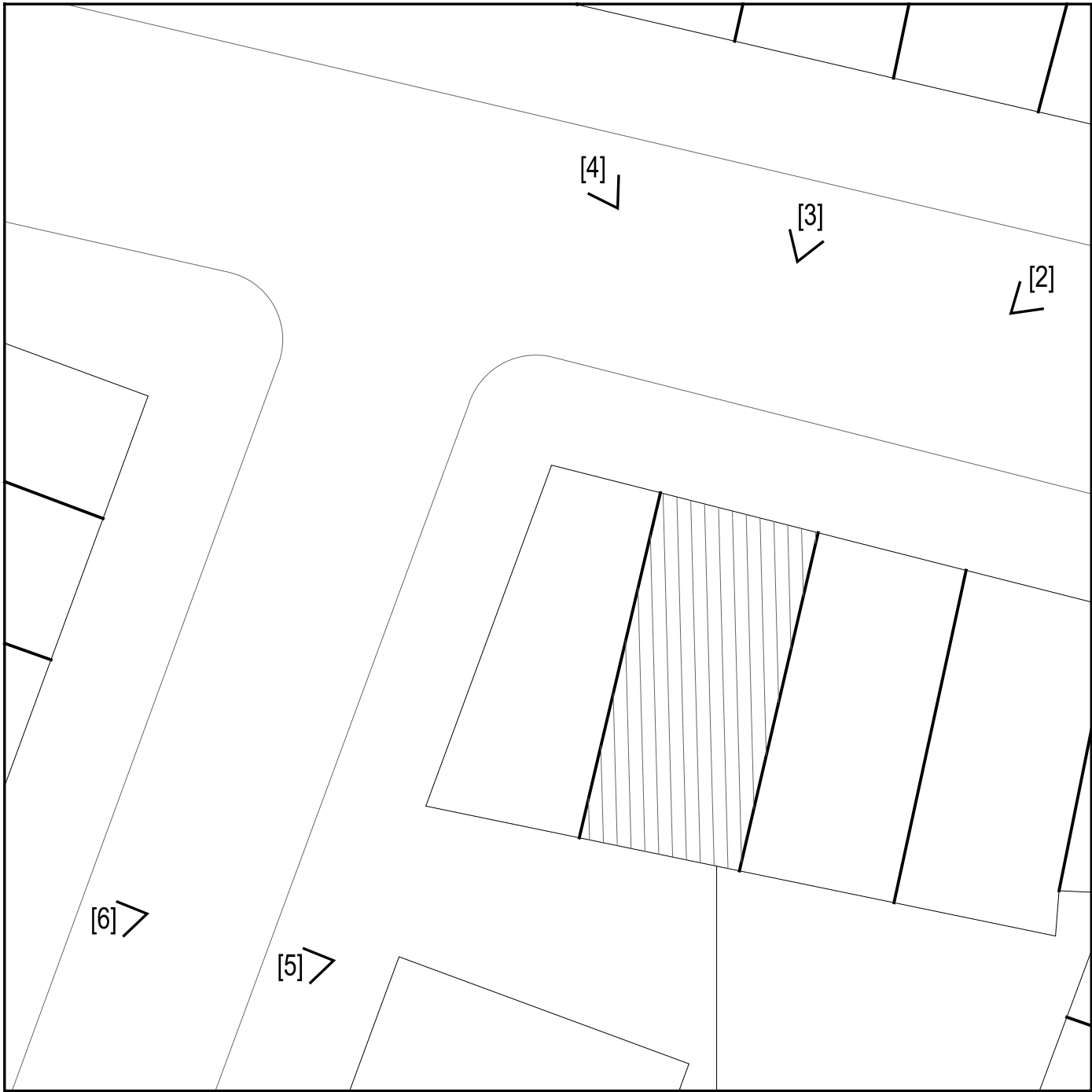
Project
SHERWANI RESIDENCE
56 JORALEMON STREET
BROOKLYN, NY 11201

Drawing Title
TITLE SHEET

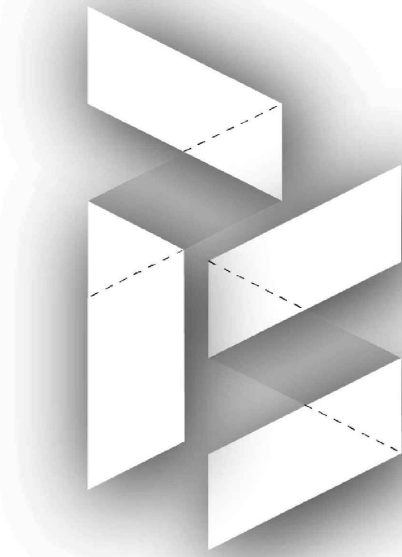
Project No. Drawn By Date Scale
02-24019.00 JB 06-11-25 N/A

Seal Floor(s)

REGISTERED ARCHITECT
JAMES W. BROWNING
039571
Drawing No.
T-001.00



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CONTACT: RAMEZ AFFIFY
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01 PHOTO KEY PLAN

05 EXIST. VIEW OF BACK FACADE LOOKING EAST FROM WILLOW PL.

06 EXIST. VIEW OF BACK FACADE LOOKING EAST FROM WILLOW PL.



PERMIT #: B01166507-11

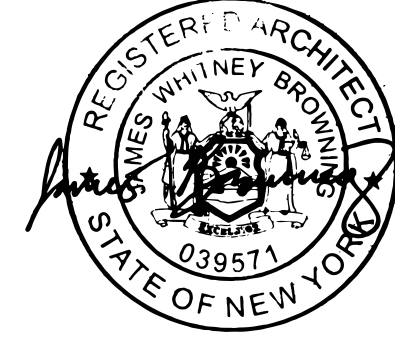
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FOR LANDMARK PRESERVATION COMMISSION FILING REV #1	01/17/2025
FOR LANDMARK PRESERVATION COMMISSION FILING REV #2	02/21/2025
FOR PERMIT FOR CONSTRUCTION	03/03/2025
ADDENDUM #1	03/21/2025
FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION	04/15/2025

Project
SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title
EXISTING PHOTOS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	04-15-25	NTS

Seal	Floor(s)

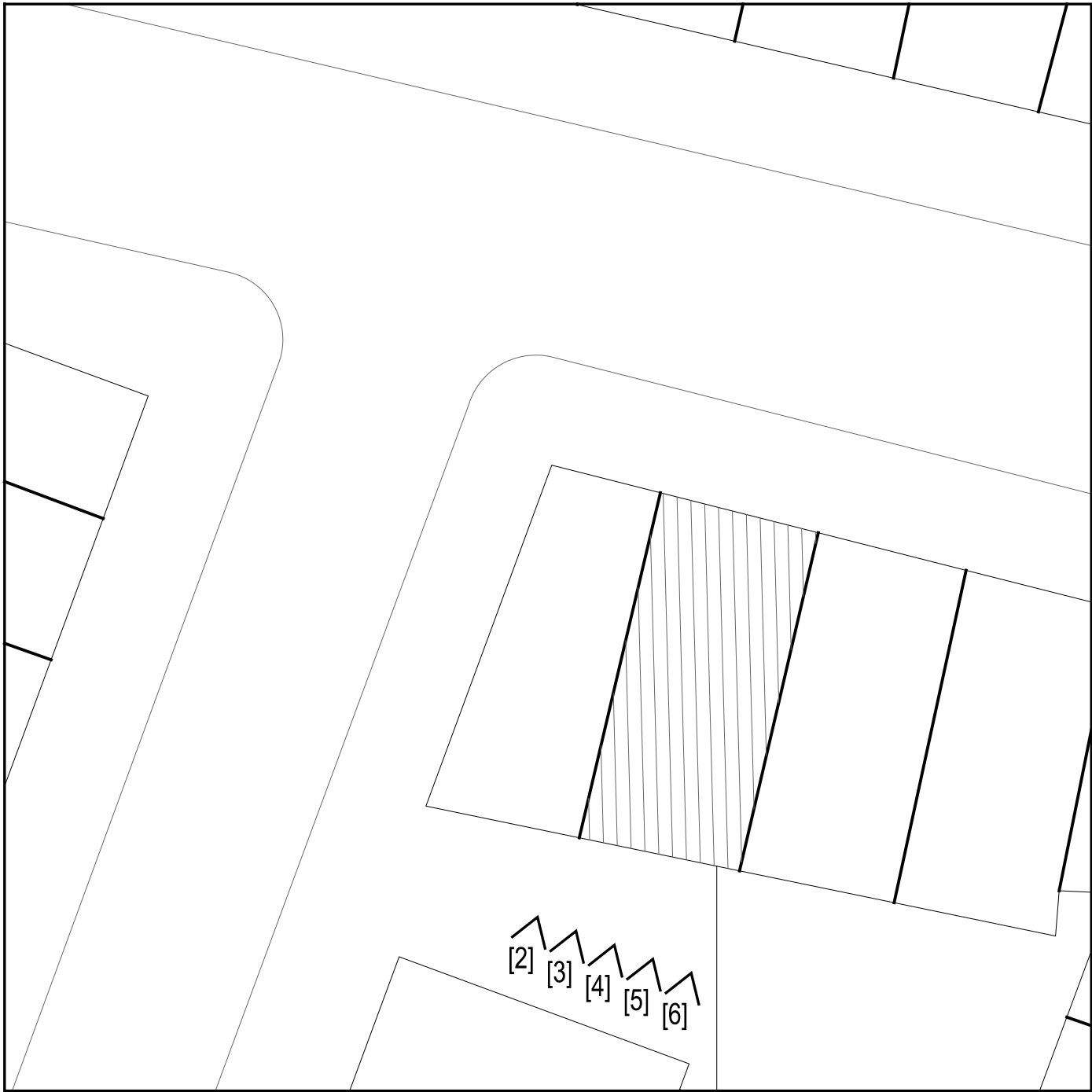


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G-005.00

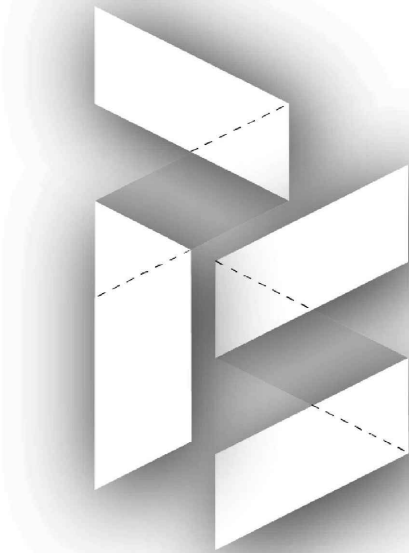
02 EXIST. VIEW OF FRONT FACADE LOOKING SOUTH FROM JORALEMON ST.

03 EXIST. VIEW OF FRONT FACADE LOOKING SOUTH FROM JORALEMON ST.

04 EXIST. VIEW OF FRONT FACADE LOOKING SOUTH FROM JORALEMON ST.



56 JORALEMON STREET
BROOKLYN, NY 11201



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: JBROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

01 PHOTO KEY PLAN

05 EXIST. VIEW OF BACK FACADE LOOKING NORTH FROM BACK YARD

06 EXIST. VIEW OF BACK FACADE LOOKING NORTH FROM BACK YARD



PERMIT #: B01166507-11

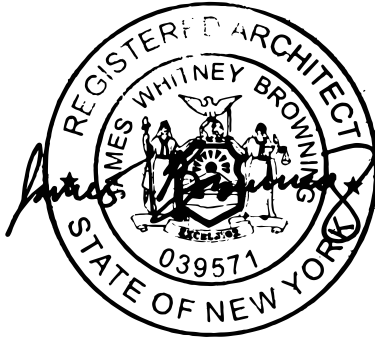
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Project:
SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title
EXISTING PHOTOS

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02-24019.00	JB	04-15-25	NTS

Seal	Floor(s)

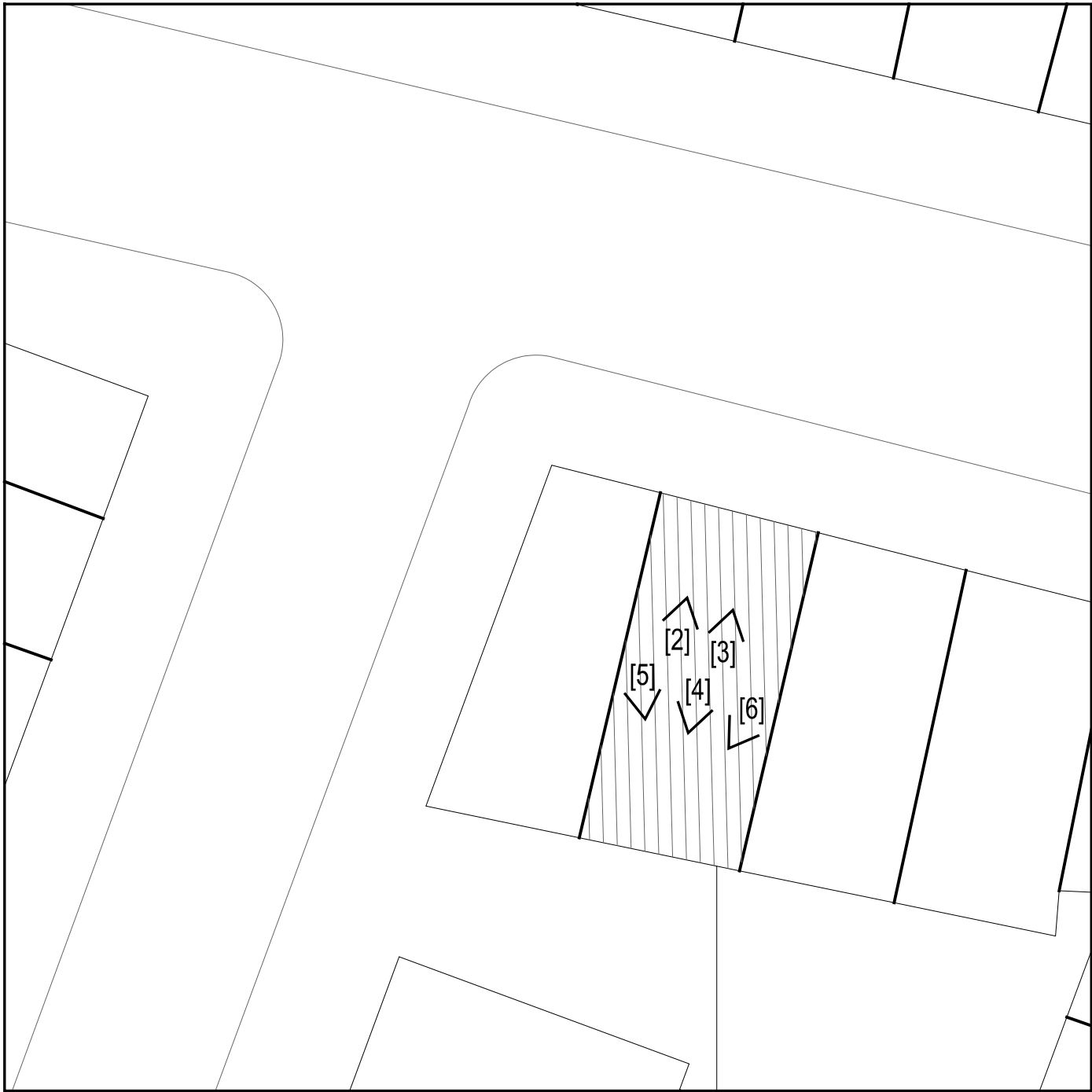


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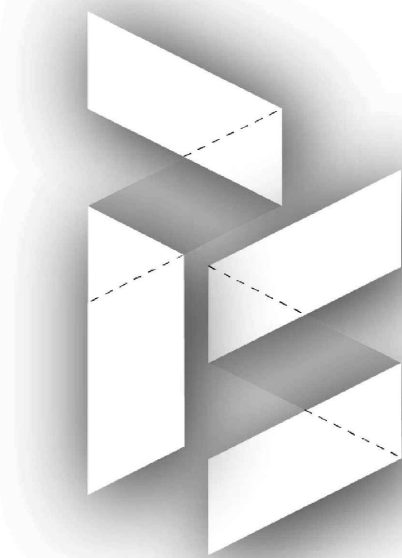
02 EXIST. VIEW OF BACK FACADE LOOKING NORTH FROM BACK YARD

03 EXIST. VIEW OF BACK FACADE LOOKING NORTH FROM BACK YARD

04 EXIST. VIEW OF BACK FACADE LOOKING NORTH FROM BACK YARD



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56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
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EMAIL: AANIYAA29@GMAIL.COM

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1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

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134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
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01 PHOTO KEY PLAN

05 EXIST. VIEW OF ROOF LOOKING SOUTH FROM ROOF

06 EXIST. VIEW OF ROOF LOOKING SOUTH FROM ROOF



PERMIT #: B01166507-11

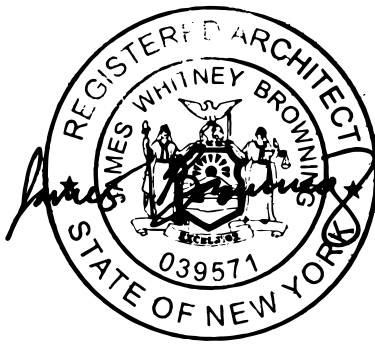
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SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title
EXISTING PHOTOS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	04-15-25	NTS

Seal	Floor(s)

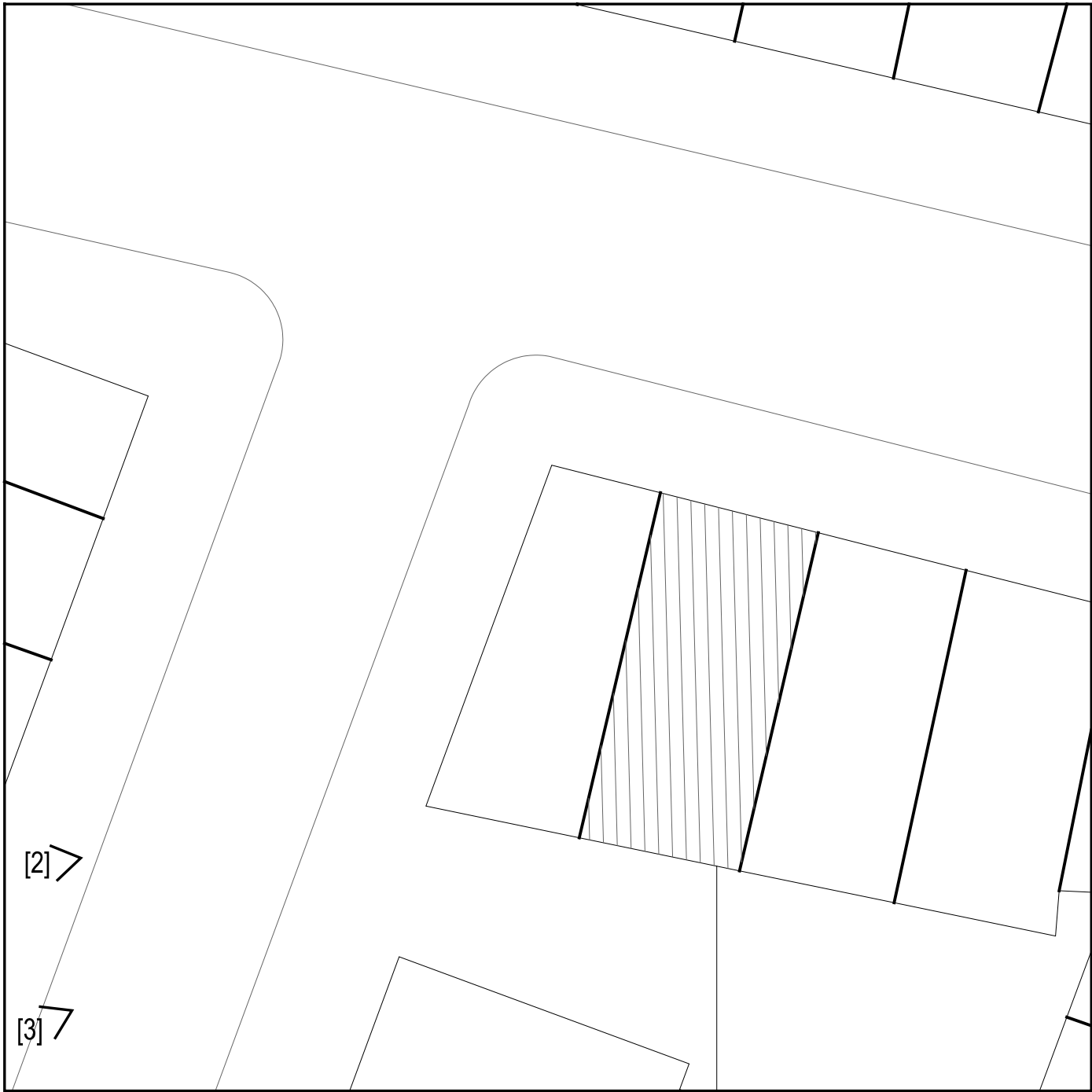


Drawing No.
0-3
G-007.00

02 EXIST. VIEW OF ROOF LOOKING NORTH FROM ROOF

03 EXIST. VIEW OF ROOF LOOKING NORTH FROM ROOF

04 EXIST. VIEW OF ROOF LOOKING SOUTH FROM ROOF



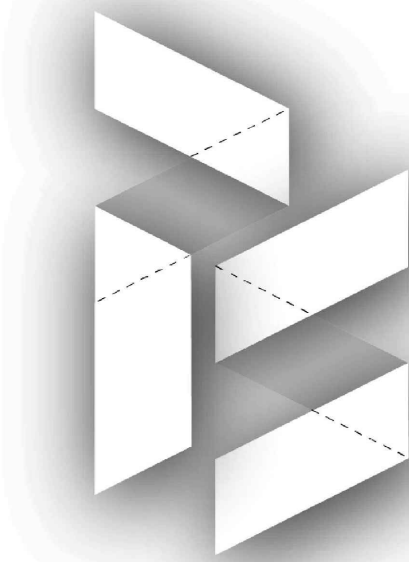
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1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
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TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

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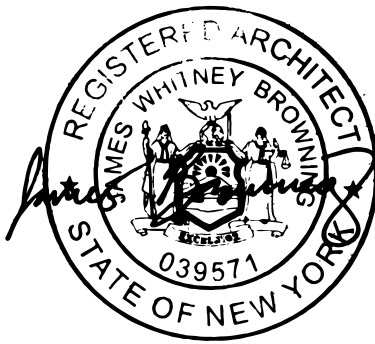
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56 JORALEMON
BROOKLYN, NY 11201

Drawing Title
EXISTING PHOTOS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	04-15-25	NTS

Seal Floor(s)



Drawing No.
0-3
G-008.00

01 PHOTO KEY PLAN

02 EXIST. VIEW OF BACK FACADE LOOKING EAST FROM WILLOW PL.

03 EXIST. VIEW OF BACK FACADE LOOKING NORTHEAST FROM WILLOW PL.



01 FRONT FACADE EXISTING WINDOWS & BRICKMOLDS FROM JORALEMON ST.

02 FRONT FACADE EXISTING WINDOWS & BRICKMOLDS FROM JORALEMON ST.

05 FRONT BRICKMOLDS FROM JORALEMON ST. W/ REMOVED PANNING



03 FRONT FACADE EXISTING WINDOWS & BRICKMOLDS FROM JORALEMON ST.

04 EXIST. VIEW OF FRONT FACADE LOOKING SOUTH FROM JORALEMON ST.

NOT USED



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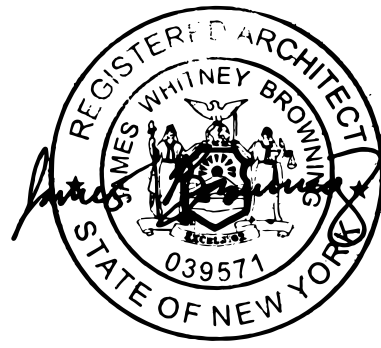
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BROOKLYN, NY 11201

Drawing Title
EXISTING PHOTOS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	04-15-25	NTS
Seal	Floor(s)		




Drawing No. **0-3**
G-009.00


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Design Tool | Andersen Windows

ANDERSEN
WINDOWS & DOORS

400 SERIES CASEMENT WINDOW





Interior

Exterior

Summary

Product ID#	C14
Unit Width	24 1/8"
Unit Height	48"
Interior Color	White
Glass	PassiveSun® Glass
Profile Style	Traditional
Hardware	Traditional Folding, White
Grille Pattern	None
Exterior Color	Black
Exterior Trim Profile	None


<https://www.andersenwindows.com/ideas-and-inspiration/design-tool?width=24.125&hgtln=48&frameColor=Interior%3B color%3DWhite&glass=Passi...> 1/1

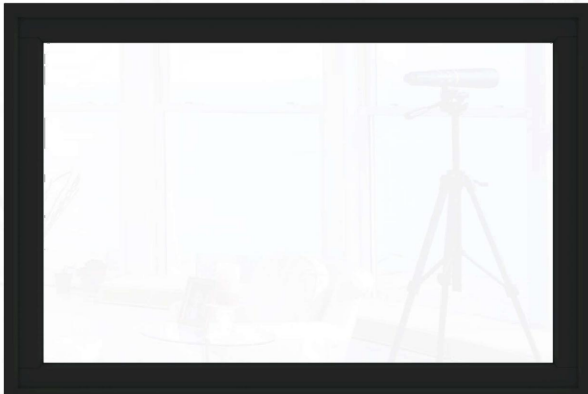
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ANDERSEN
WINDOWS & DOORS

400 SERIES PICTURE WINDOW





Interior

Exterior

Summary

Product ID#	P4530
Unit Width	52 13/16"
Unit Height	35 15/16"
Interior Color	White
Glass	Low-E4® Glass
Profile Style	Traditional
Grille Pattern	None
Exterior Color	Black
Exterior Trim Profile	None


<https://www.andersenwindows.com/ideas-and-inspiration/design-tool?width=52.8125&hgtln=35.9375&frameColor=Interior%3B color%3DWhite&glass...> 1/1


5/19/25, 3:54 PM

Design Tool | Andersen Windows

ANDERSEN
WINDOWS & DOORS

PANEL STYLE 102 STRAIGHTLINE GLASS PANEL





Interior

Exterior

Summary

Configuration	Single Door
Interior Color	White
Glass	Low-E4® Glass
Hardware	Albany, White
Grille Pattern	None
Exterior	Black

<https://www.andersenwindows.com/ideas-and-inspiration/design-tool?configuration=Single Door&frameColor=Interior%3B color%3DWhite&glass=Lo...> 1/1

01	EXTERIOR CASEMENT WINDOW: ANDERSEN 400 SERIES WOODWRIGHT	SCALE NTS
02	EXTERIOR PICTURE WINDOW: ANDERSEN 400 SERIES WOODWRIGHT	SCALE NTS
03	REAR EXTERIOR DOOR: ANDERSEN STRAIGHTLINE 102 GLASS PANEL	SCALE NTS

400 SERIES WOODWRIGHT® FULL-FRAME WINDOWS

Horizontal (stack) Joining Detail

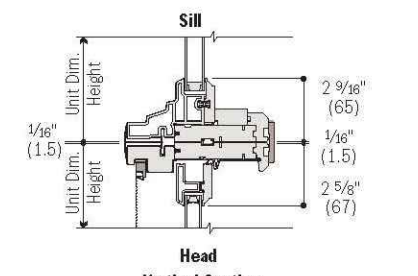
Scale 1 1/2" (38) = 1'-0" (305) = 1:8

Overall Window Dimension Height

Sum of individual window heights plus 1/2" (1.5) per join.

Overall Rough Opening Height

Overall window dimension height.*



Vertical Section
Woodwright® Transom (WTR) / over Woodwright Double-Hung

Vertical (ribbon) Joining Detail

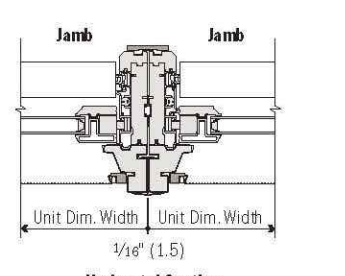
Scale 1 1/2" (38) = 1'-0" (305) = 1:8

Overall Window Dimension Width

Sum of individual window widths plus 1/2" (1.5) per join.

Overall Rough Opening Width

Overall window dimension width plus 1/2" (1.5).



Horizontal Section
Woodwright Double-Hung to Woodwright Double-Hung

* Light-colored anodized parts included with windows. Dark-colored anodized parts are additional. Refer to Andersen's website for complete window assembly options.
* Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panings, brackets, fasteners or other items.
* Details are for illustrative only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
* Structural performance of any combination is only as high as the lowest structural performance of any individual product or join in the combination.
* Dimensions in parentheses are in millimeters.
* For stacks where bottom unit in combination is a double-hung or picture window with a sloped sill, add 1/2" (13) to the overall window dimension height.

2025-26 400 Series Product Guide

Page 1 of 1

NOT USED

04	ANDERSEN 400 SERIES WOODWRIGHT JOINING DETAILS	SCALE NTS
	NOT USED	SCALE NTS



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ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER

AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT

JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM

E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

PERMIT #: B01166507-11

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FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION	04/15/2025

Project

SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

EXTERIOR DOOR &
WINDOW SPECIFICATIONS


Project No.	Drawn By	Date	Scale
02-24019.00	JB	04-15-25	NTS

Seal

Floor(s)

0-3

G-010.00



REGISTERED ARCHITECT
JAMES WHITNEY BROWN
No. 039511
STATE OF NEW YORK

Drawing No.

0-3

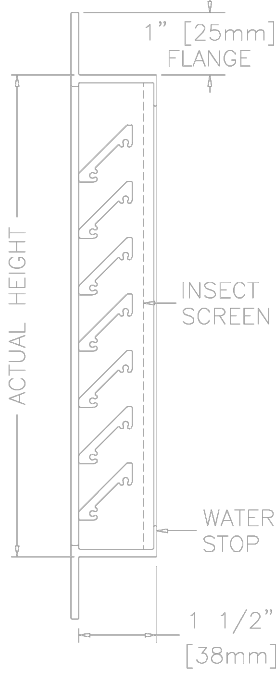
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BVF
Brick Vent
Extruded Aluminum

Standard Construction

Frame	Heavy gauge extruded 6063-T5 aluminum, 1.5 in. (38 mm) x 0.125 in. (3 mm) nominal wall thickness
Blades	Heavy gauge extruded 6063-T5 aluminum, 0.125 in. (3 mm) nominal wall thickness, positioned 45°
Louver Depth	1.5 in. (38 mm)
Construction	Mechanically fastened
Finish	204-R1 Clear Anodized
Available Size	8 1/8 in. W x 2 3/8 in. H (206 mm W x 60 mm H) 8 1/8 in. W x 4 3/4 in. H (206 mm W x 121 mm H) 8 1/8 in. W x 7 3/4 in. H (206 mm W x 197 mm H) 12 in. W x 2 3/8 in. H (305 mm W x 60 mm H) 12 in. W x 4 3/4 in. H (305 mm W x 121 mm H) 12 in. W x 7 3/4 in. H (305 mm W x 197 mm H) 12 in. W x 11 3/4 in. H (305 mm W x 298 mm H) 15 5/8 in. W x 7 3/4 in. H (397 mm W x 197 mm H) 15 5/8 in. W x 15 3/4 in. H (397 mm W x 400 mm H) 16 1/2 in. W x 2 3/8 in. H (419 mm W x 60 mm H) 16 1/2 in. W x 4 3/4 in. H (419 mm W x 121 mm H) 16 1/2 in. W x 7 3/4 in. H (419 mm W x 197 mm H) 16 1/2 in. W x 15 3/4 in. H (419 mm W x 400 mm H) 24 in. W x 2 3/8 in. H (610 mm W x 60 mm H) 24 in. W x 4 3/4 in. H (610 mm W x 121 mm H) 24 in. W x 7 3/4 in. H (610 mm W x 197 mm H) 32 in. W x 7 3/4 in. H (813 mm W x 197 mm H) 48 in. W x 7 3/4 in. H (1219 mm W x 197 mm H)



Options and Accessories

- Single Blade Flat Damper
- Straight Duct
- (0.063 in. (2 mm) aluminum for up to 18 in. (457 mm) wall thickness)
- Variety of Architectural Finishes

Document Links

- [Louver Finishes & Colors](#)
- [Louver Product Selection Guide](#)
- [Louver Products Catalog](#)
- [Louver Warranty Statement](#)



April 2023

12/19/24, 10:37 AM

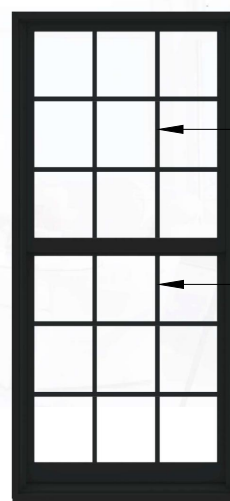
Design Tool | Andersen Windows



400 SERIES WOODWRIGHT® DOUBLE-HUNG WINDOW



Interior

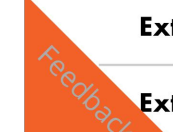


Exterior

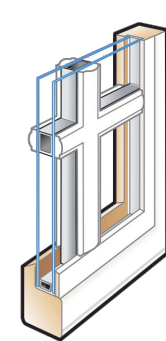
DOUBLE HUNG BLACK INSERT WINDOW

Summary

Product ID#	WDH21062
Unit Width	35 5/8"
Unit Height	76 7/8"
Interior Color	White
Glass	PassiveSun® Glass
Hardware	Easy-Tilt Release Lock, White
Optional Hardware	None
Grille Pattern	Colonial
Grille Width	3/4"
Exterior Color	Black
Exterior Trim Profile	None

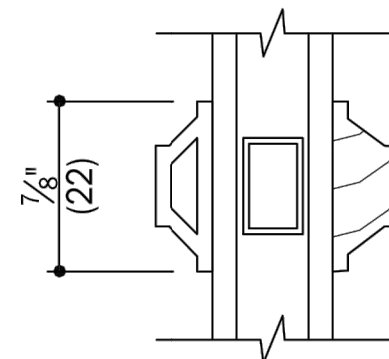


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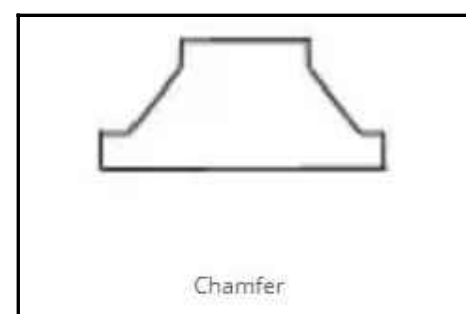
FULL DIVIDED LIGHT

For an authentic look, full divided light grilles are permanently applied to the interior and exterior of the window with a spacer bar between the glass.

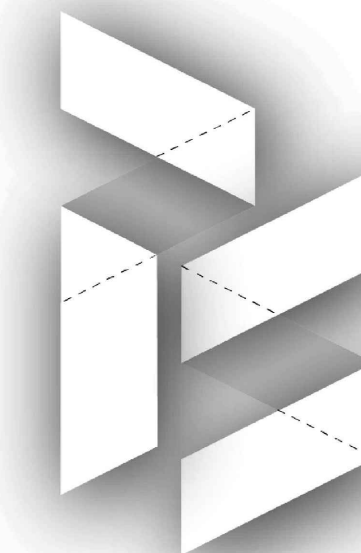


ALL DOUBLE HUNG WINDOW GRILLES TO BE FULL DIVIDED LIGHT WITH SPACER 7/8" WIDTH CHAMFERED DETAIL

7/8" Full Divided Light



Chamfer



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01 | BRICK WALL KITCHEN EXHAUST VENT: REFER TO MECHANICAL DRAWINGS

SCALE
NTS

02 | EXTERIOR DOUBLE HUNG WINDOW: ANDERSEN 400 SERIES WOODWRIGHT

SCALE
NTS

03 | EXTERIOR WINDOW SPECS: ANDERSEN 400 SERIES GRILLE DETAILS

SCALE
NTS

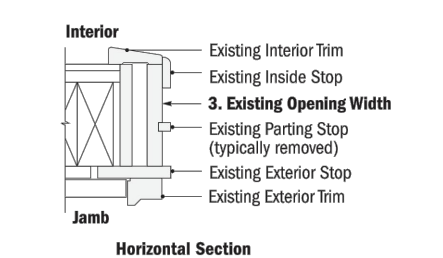
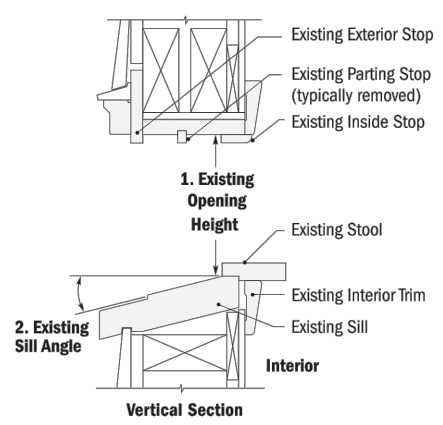
400 SERIES WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS



Existing Window Measurements

Required measurements:

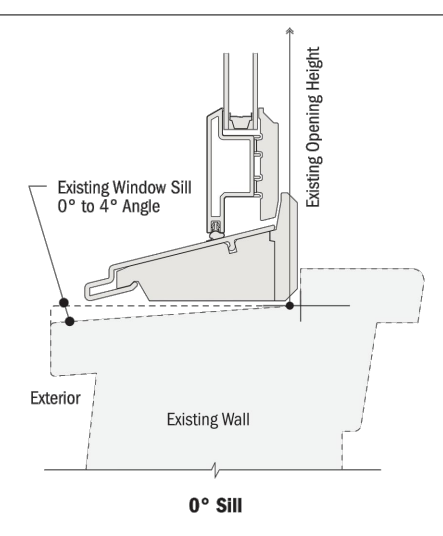
- Existing Opening Height
- Existing Sill Angle
- Existing Opening Width



Sill Angle Details

Scale 3" (76) = 1'-0" (305) – 1:4

Select a sill angle that most closely matches your existing sill angle. Windows with a smaller sill angle will have a larger maximum height. A "Sill Angle Finder App" is available.



* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at [andersenwindows.com](https://www.andersenwindows.com).
* Dimensions in parentheses are in millimeters.
* Refer to [andersenwindows.com/measure](https://www.andersenwindows.com/measure) for detailed instructions on how to properly measure for insert windows.

2021-22 400 Series Product Guide

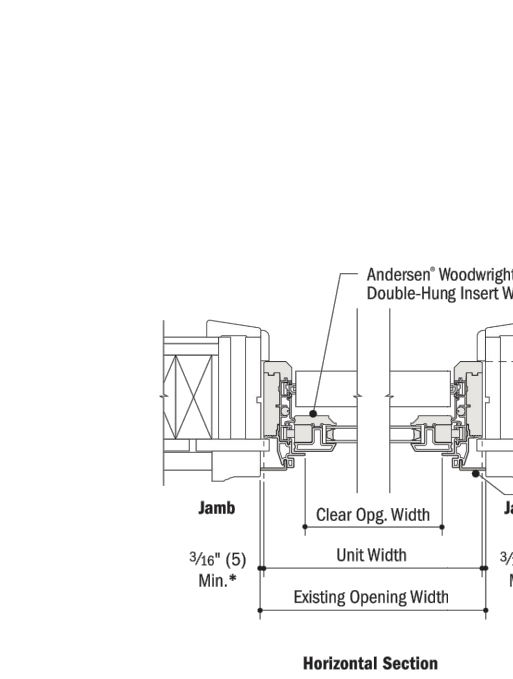
Page 1 of 3

400 SERIES WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS



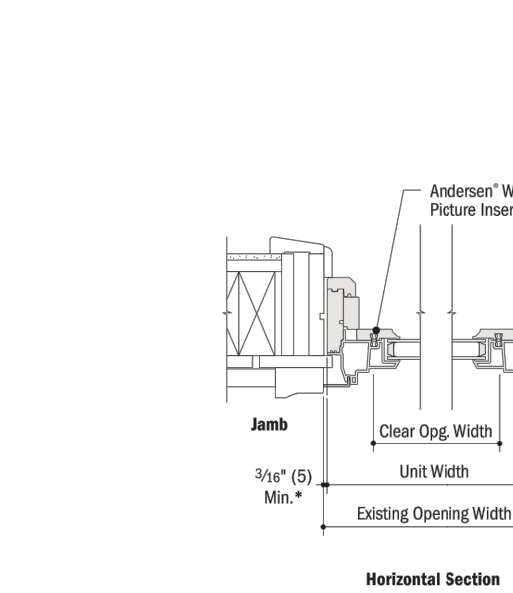
Woodwright® Double-Hung Insert Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Woodwright® Picture Insert Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at [andersenwindows.com](https://www.andersenwindows.com).
* Dimensions in parentheses are in millimeters.
* Refer to [andersenwindows.com/measure](https://www.andersenwindows.com/measure) for detailed instructions on how to properly measure for insert windows.

2021-22 400 Series Product Guide

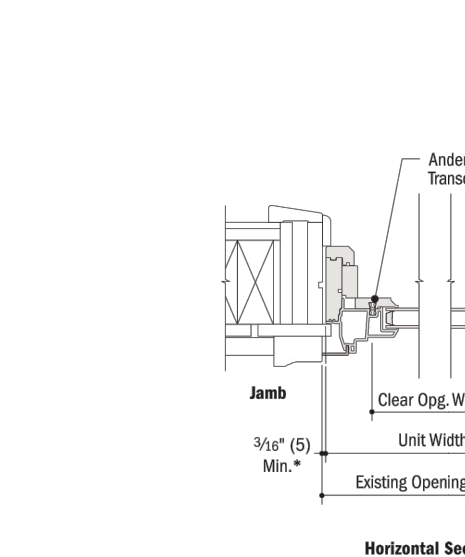
Page 2 of 3

400 SERIES WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS



Woodwright® Transom Insert Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
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* Dimensions in parentheses are in millimeters.
* Refer to [andersenwindows.com/measure](https://www.andersenwindows.com/measure) for detailed instructions on how to properly measure for insert windows.

2021-22 400 Series Product Guide

Page 3 of 3

PERMIT #: B01166507-11

Issue	Date
FOR LANDMARK PRESERVATION COMMISSION FILING	11/27/2024
FOR LANDMARK PRESERVATION COMMISSION FILING REV #1	01/17/2025
FOR LANDMARK PRESERVATION COMMISSION FILING REV #2	02/21/2025
FOR PERMIT FOR CONSTRUCTION	03/03/2025
ADDENDUM #1	03/21/2025
FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION	04/15/2025

Project

SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

EXTERIOR WINDOW SPECIFICATIONS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	04-15-25	NTS
Seal	Floor(s)		

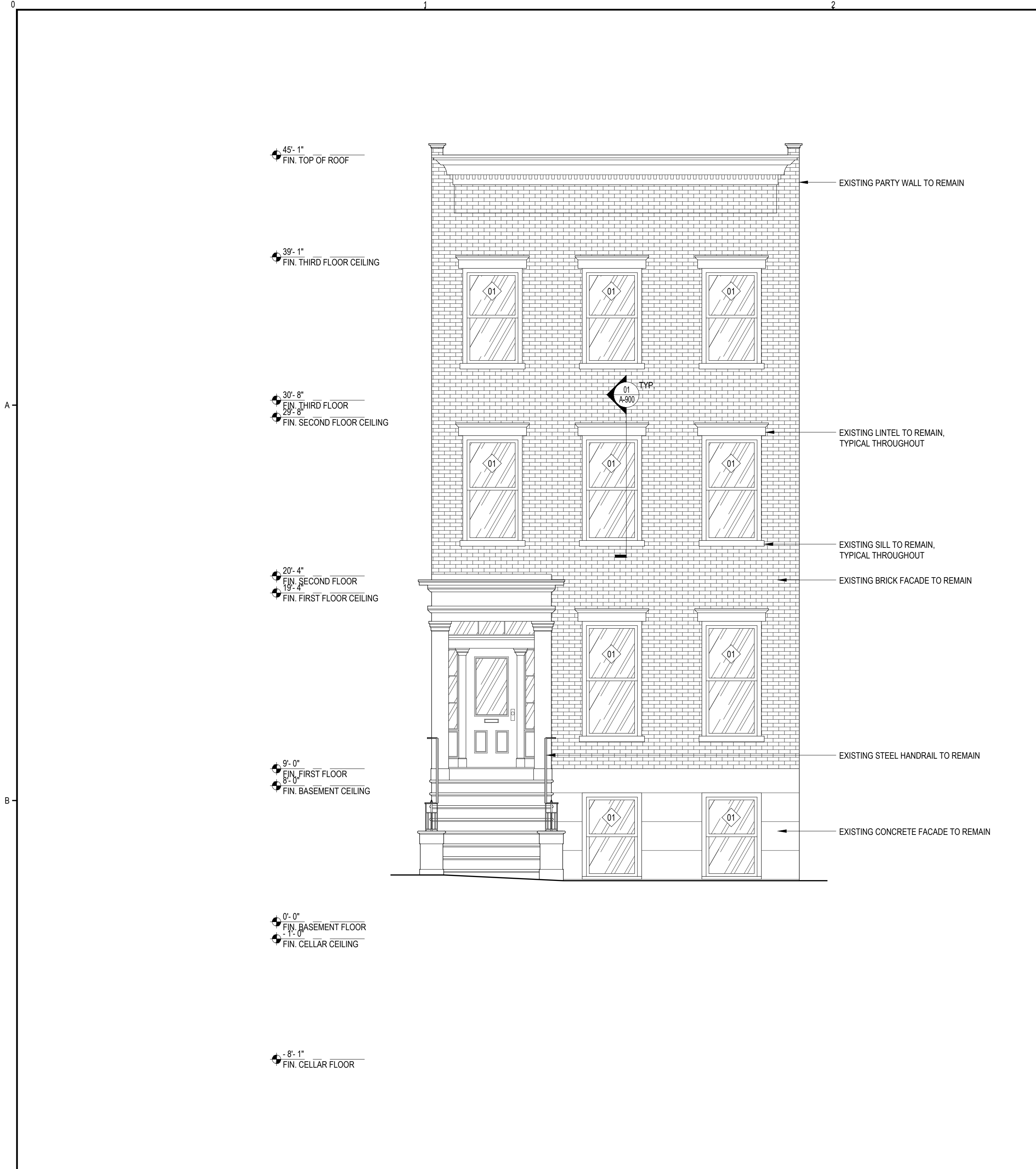


Drawing No.

G-011.00

04 | EXTERIOR WINDOW DETAILS: ANDERSEN 400 SERIES WOODWRIGHT INSERT BLACK WINDOWS

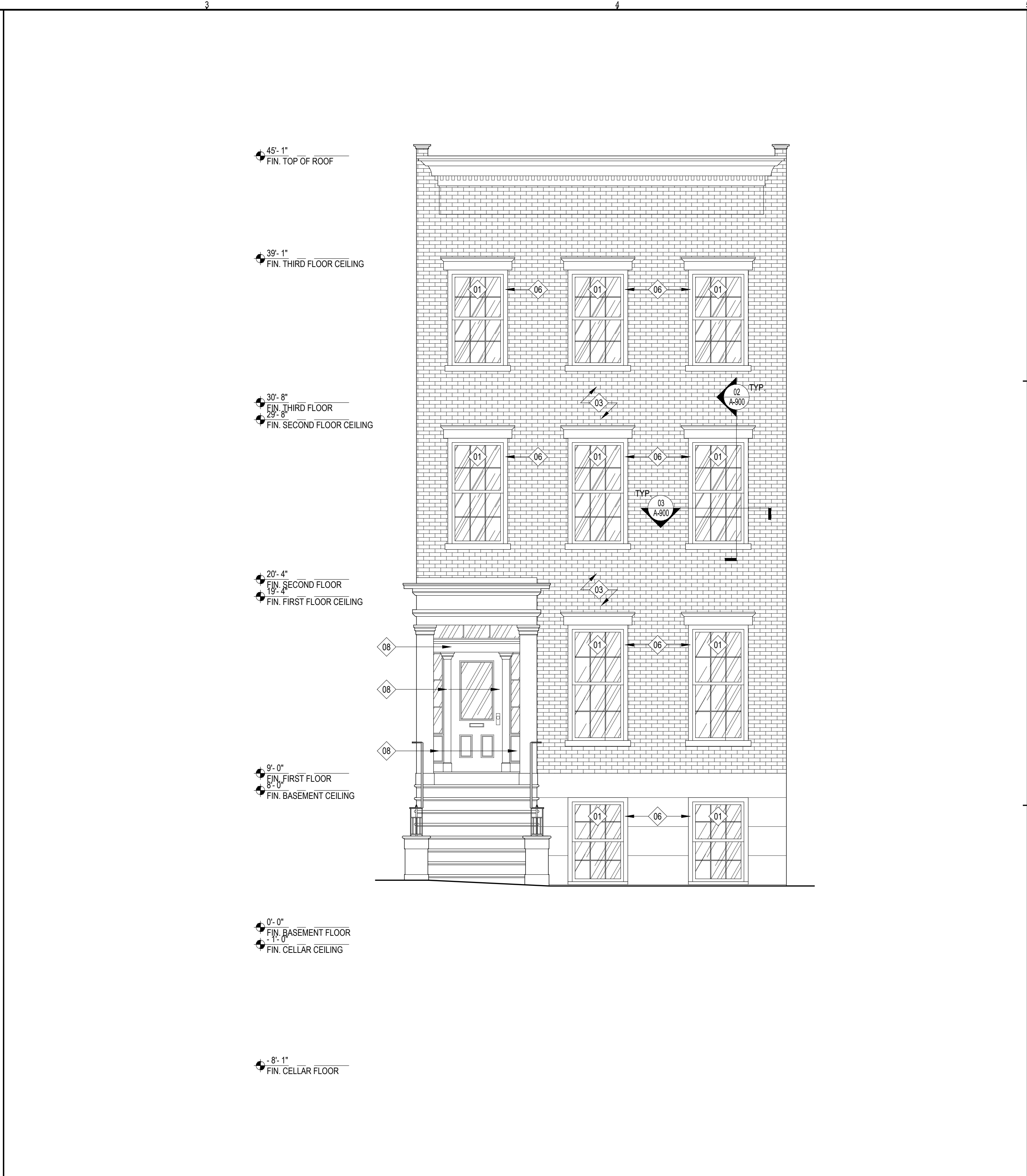
SCALE
NTS



01 EXISTING EXTERIOR FRONT NORTH ELEVATION

EXISTING AND DEMOLITION KEY NOTES

- 01 CAREFULLY REMOVE EXISTING WINDOW WHILE PRESERVING SURROUNDING CASING, MOLDING AND LINTEL. PREP OPENING TO RECEIVE NEW SCHEDULED WINDOW. REFER TO WINDOW SCHEDULE
- 02 CAREFULLY REMOVE ENTIRE FIRE ESCAPE AND HANDRAIL WHILE PRESERVING CONDITION OF EXISTING BRICK FACADE. PATCH AND REPAIR FACADE AT CONNECTION POINTS AS REQUIRED.



02 PROPOSED EXTERIOR FRONT NORTH ELEVATION

PROPOSED CONSTRUCTION KEY NOTES

- 01 NEW SCHEDULED WINDOW SET WITHIN EXISTING FRAMED OPENING. EXISTING SILL, LINTEL AND MOLDING TO REMAIN. REFER TO CONSTRUCTION PLAN AND WINDOW SCHEDULE FOR MORE INFO
- 02 NEW SCHEDULED WINDOW/ DOOR. REFER TO CONSTRUCTION PLAN, DOOR/ WINDOW SCHEDULE, AND EXTERIOR WALL SECTIONS FOR MORE INFORMATION
- 03 POWER WASH CLEAN EXTERIOR BRICK FACADE USING 450 PSI HOT WATER PRESSURE WITHOUT CHEMICALS. TYPICAL THROUGHOUT EXTERIOR FRONT AND REAR OF BUILDING
- 04 NEW VENTILATION DISTRIBUTION FROM KITCHEN EXHAUST FAN. REFER TO G SHEETS FOR SPECIFICATION AND MECHANICAL DRAWINGS FOR MORE INFORMATION
- 05 NEW STRUCTURAL STEEL SUPPORT FOR STOREFRONT SYSTEM OPENING, PAINTED TO MATCH EXTERIOR BRICK FACADE. REFER TO WALL SECTION & STRUCTURAL DETAILS FOR MORE INFORMATION
- 06 NEW WOOD BRICKMOLD ON TOP OF EXISTING WOOD FRAMING, TYPICAL FOR ALL WINDOWS THROUGHOUT FRONT AND REAR FACADE. REFER TO WALL AND PLAN SECTION DETAILS ON SHEET A-900 FOR MORE INFORMATION.
- 07 NEW HVAC UNITS WALL MOUNTED TO EXISTING PARAPET WALL WITH STEEL BRACKETS. REFER TO MECHANICAL DRAWINGS AND BRACKET SPECIFICATION FOR MORE INFORMATION.
- 08 CLEAN, SAND AND STAIN EXISTING FRONT DOOR, SIDELITES AND CLERESTORY WINDOW WOODWORK TO MATCH ORIGINAL COLORATION AND CHARACTER.
- 09 ALIGN FIRST FLOOR WINDOW HEADERS



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

PERMIT #: B01166507-I1

Issue	Date
FOR LANDMARK PRESERVATION COMMISSION FILING	11/27/2024
FOR LANDMARK PRESERVATION COMMISSION FILING REV #1	01/17/2025
FOR LANDMARK PRESERVATION COMMISSION FILING REV #2	02/21/2025
FOR PERMIT FOR CONSTRUCTION	03/03/2025
ADDENDUM #1	03/21/2025
FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION	04/15/2025
FOR LANDMARK PRESERVATION COMMISSION FILING PHASE 2	06/11/2025

Project: **SHERWANI RESIDENCE**
56 JORALEMON
BROOKLYN, NY 11201

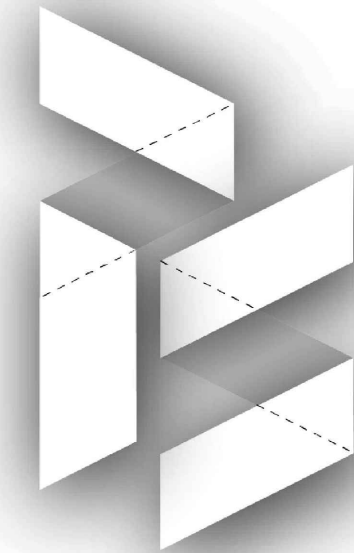
Drawing Title: **EXISTING & PROPOSED EXTERIOR ELEVATIONS**

Project No.	Drawn By	Date	Scale
02-24019.00	JB	06-11-25	1/2" = 1'-0"

Seal: _____ Floor(s): _____

Drawing No. **0-3**
A-200.00





PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
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Project:
SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

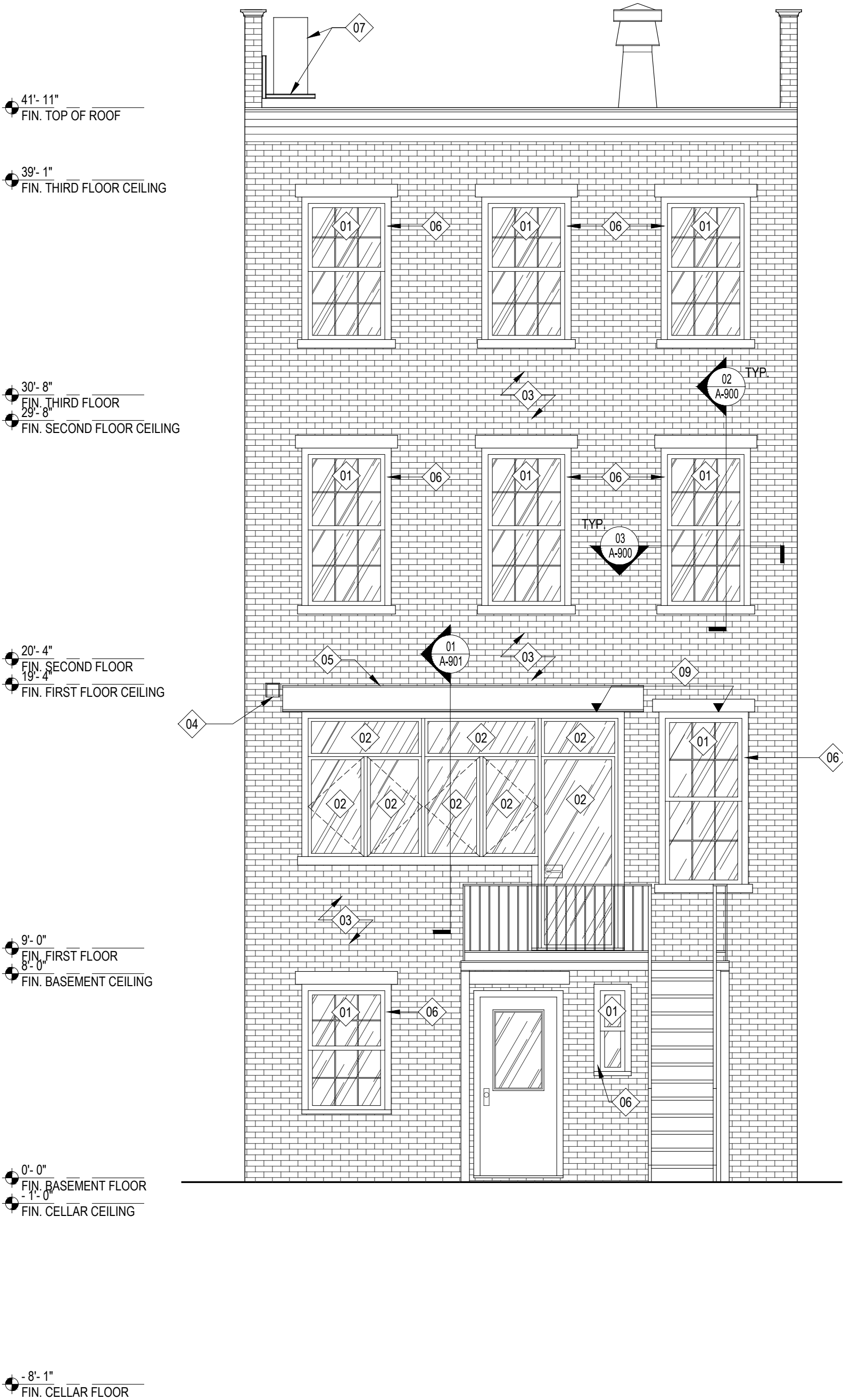
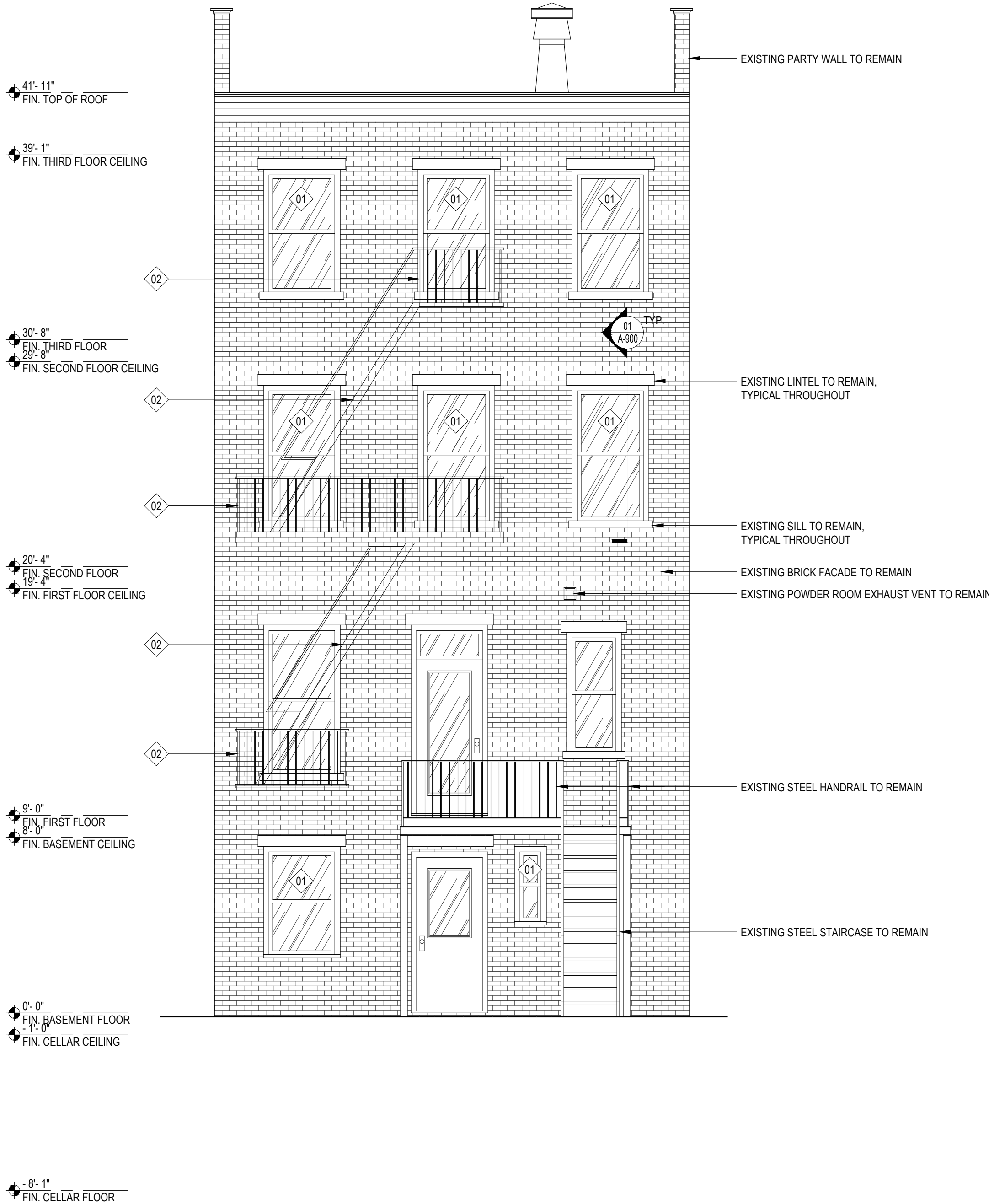
EXISTING & PROPOSED EXTERIOR ELEVATIONS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	06-11-25	1/2" = 1'-0"
Seal		Floor(s)	



Drawing No.

A-201.00



01 EXISTING EXTERIOR REAR SOUTH ELEVATION

02 PROPOSED EXTERIOR REAR SOUTH ELEVATION

EXISTING AND DEMOLITION KEY NOTES

- 01 CAREFULLY REMOVE EXISTING WINDOW WHILE PRESERVING SURROUNDING CASING, MOLDING AND LINTEL. PREP OPENING TO RECEIVE NEW SCHEDULED WINDOW. REFER TO WINDOW SCHEDULE
- 02 CAREFULLY REMOVE ENTIRE FIRE ESCAPE AND HANDRAIL WHILE PRESERVING CONDITION OF EXISTING BRICK FACADE. PATCH AND REPAIR FACADE AT CONNECTION POINTS AS REQUIRED.

PROPOSED CONSTRUCTION KEY NOTES

- 01 NEW SCHEDULED WINDOW SET WITHIN EXISTING FRAMED OPENING. EXISTING SILL, LINTEL AND MOLDING TO REMAIN. REFER TO CONSTRUCTION PLAN AND WINDOW SCHEDULE FOR MORE INFO
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- 08 CLEAN, SAND AND STAIN EXISTING FRONT DOOR, SIDELITES AND CLERESTORY WINDOW WOODWORK TO MATCH ORIGINAL COLORATION AND CHARACTER.
- 09 ALIGN FIRST FLOOR WINDOW HEADERS

0

1

2

01

NOT USED

SCALE
3" = 1'-0"

A

B

C

D

01

EXISTING EXTERIOR WALL SECTION AT DOUBLE HUNG WINDOW OPENING, TYPICAL

SCALE
3" = 1'-0"

EXISTING THREE-WYTHE EXTERIOR BRICK WALL

EXISTING CONCRETE CORNICE

EXISTING WALL FURRING & FINISH

EXISTING CONCRETE MASONRY LINTEL

EXISTING WOOD BRICKMOLD ALL SIDES OF WINDOW

EXISTING WINDOW FRAMING ALL SIDES OF WINDOW

EXISTING ALUMINUM PANNING ALL SIDES OF WINDOW

EXISTING DOUBLE HUNG WINDOW

EXISTING MILLWORK SILL & SURROUND

EXISTING BRICK WALL OPENING SURROUND BEYOND

EXISTING WINDOW PERIMETER BRICKMOLD CONCEALED WITH ALUMINUM PANNING

EXISTING CONCRETE MASONRY LINTEL

3

4

5

03

PROPOSED EXTERIOR PLAN SECTION AT NEW DOUBLE HUNG WINDOW REPLACEMENT IN EXISTING OPENING, TYPICAL

SCALE
3" = 1'-0"

NEW WOOD CASING ON ALL SIDES OF WINDOW

EXISTING WOOD BRICKMOLD TO REMAIN

NEW SCHEDULED DOUBLE HUNG WINDOW PLACED WITHIN EXISTING WINDOW OPENING

NEW 2" WOOD BRICKMOLD

NEW SCHEDULED DIVIDED LIGHT

03

PROPOSED EXTERIOR WALL SECTION AT NEW DOUBLE HUNG WINDOW REPLACEMENT IN EXISTING OPENING, TYPICAL

SCALE
3" = 1'-0"

EXISTING WOOD BRICKMOLD TO REMAIN

NEW 2" WOOD BRICKMOLD

NEW WOOD CASING ON ALL SIDES OF WINDOW

SHIM BLOCKING AS REQUIRED TO ACHIEVE ALIGNMENT WITHIN EXISTING WINDOW OPENING

NEW SCHEDULED DOUBLE HUNG WINDOW PLACED WITHIN EXISTING WINDOW OPENING

NEW SCHEDULED DIVIDED LIGHT

EXISTING BRICK WALL OPENING SURROUND BEYOND. PATCH AND REPAIR AS REQUIRED TO MATCH IN KIND

EXISTING CONTINUOUS FLASH ANGLE

WEEP HOLES @ 24" O.C.

PSEUDONYM STUDIO

ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER

AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT

JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM

E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

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FOR LANDMARK PRESERVATION COMMISSION FILING PHASE 2	06/11/2025

Project

SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

EXTERIOR WALL SECTION DETAILS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	06-11-25	VARIES

Seal

Floor(s)

0-3

A-900.00

0-3

Register of Architects
JAMES W. BROWNING
039511
STATE OF NEW YORK

Drawing No.

0
A
B
C
D

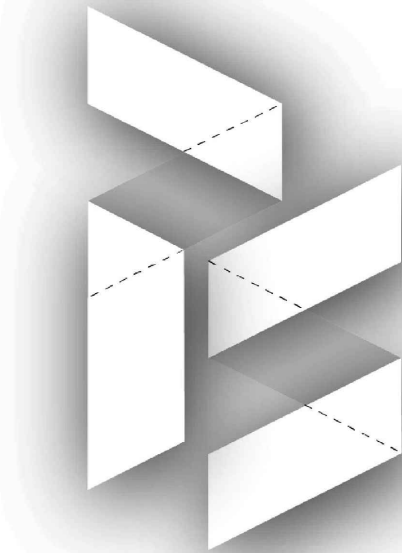
SHADED AREAS INDICATED EXISTING CONSTRUCTION TO REMAIN
EXISTING CEILING CONSTRUCTION TO REMAIN
5/8" GYPSUM BOARD ADHERED TO ALL WALLS & CEILING WITH PLASTER FINISH AS SCHEDULED
EXISTING THREE-WYTHE EXTERIOR BRICK WALL. PATCH AND REPAIR AS REQUIRED
NON-HARDENING ACOUSTICAL SEALANT
FASTEN TO FLOOR JOISTS ABOVE
METAL STUD WALL FURRING W/ INSULATION. DEPTH TO MATCH EXISTING
WEDGES 1' LONG @ 2' O.C. BOTH SIDES
WEEP HOLES @ 24" O.C.
DRIP EDGE
3/8" DIA. THREADED ROD A307 GALVANIZED STAGGERED @ 12" O.C.
(2) C12X20.7 GALVANIZED HEADER BOTH SIDES.
SUPPORTED BY (2) HSS 4"x4"x3/8" STEEL POSTS BOTH SIDES
INFILL MASONRY AND GROUT CAVITY TO ACHIEVE INTERIOR AND EXTERIOR WALL ALIGNMENT BETWEEN NEW AND EXISTING
3/8" THICK CONTINUOUS BASE PLATE.
REFER TO STRUCTURAL ENGINEERING DRAWINGS
NEW ALUMINUM PANNING ALL SIDES OF WINDOW.
COLOR TO MATCH NEW SPECIFIED WINDOW
SHIM BLOCKING AS REQUIRED TO ACHIEVE ALIGNMENT WITHIN EXISTING WINDOW OPENING
NEW SCHEDULED TRANSOM PICTURE WINDOW.
REFER TO WINDOW SCHEDULE FOR MORE INFORMATION
NEW SCHEDULED CASEMENT WINDOW.
REFER TO WINDOW SCHEDULE FOR MORE INFORMATION

3/8" MILLWORK SILL & SURROUND, ROUNDED EDGE
EXISTING BRICK WALL OPENING SURROUND BEYOND. PATCH AND REPAIR AS REQUIRED TO MATCH IN KIND
NEW WINDOW FRAME BEYOND
CMU LINTEL FILLED WITH GROUT & #5 REBAR
NEW CONCRETE MASONRY LINTEL.
DIMENSIONS AND PITCH TO MATCH EXISTING

CONTINUOUS FLASH ANGLE
WEEP HOLES @ 24" O.C.
MORTAR SPEC MIX TO MATCH EXISTING EXTERIOR

METAL STUD WALL FURRING W/ INSULATION. DEPTH TO MATCH EXISTING

SCHEDULED FLOORING. REFER TO FINISH PLAN
5/8" GYPSUM BOARD ADHERED TO ALL WALLS & CEILING WITH PLASTER FINISH AS SCHEDULED
EXISTING THREE-WYTHE EXTERIOR BRICK WALL. PATCH AND REPAIR AS REQUIRED
SHADED AREAS INDICATED EXISTING CONSTRUCTION TO REMAIN
EXISTING FLOOR CONSTRUCTION TO REMAIN



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
E4P CONSULTING ENGINEERS PLLC
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NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
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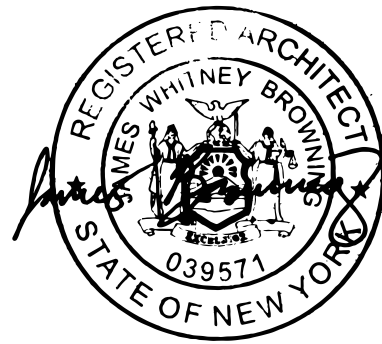
PERMIT #: B01166507-I1

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Project
SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title
EXTERIOR WALL SECTION DETAILS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	06-11-25	VARIES
Seal	Floor(s)	0-3	



Drawing No.
A-901.00

June 24, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-25-11594

56 Joralemon Street – Brooklyn Heights Historic District Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 160 398 4258

Passcode: 804515

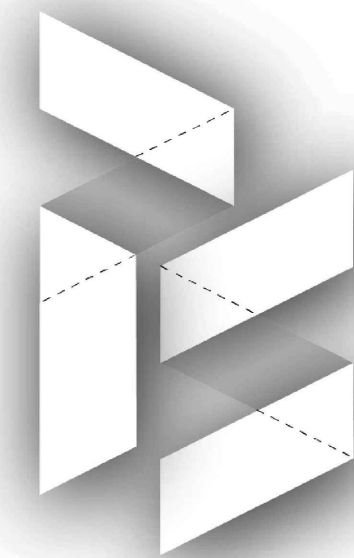
By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

APPENDIX



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
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BROOKLYN, NY 11201

Drawing Title

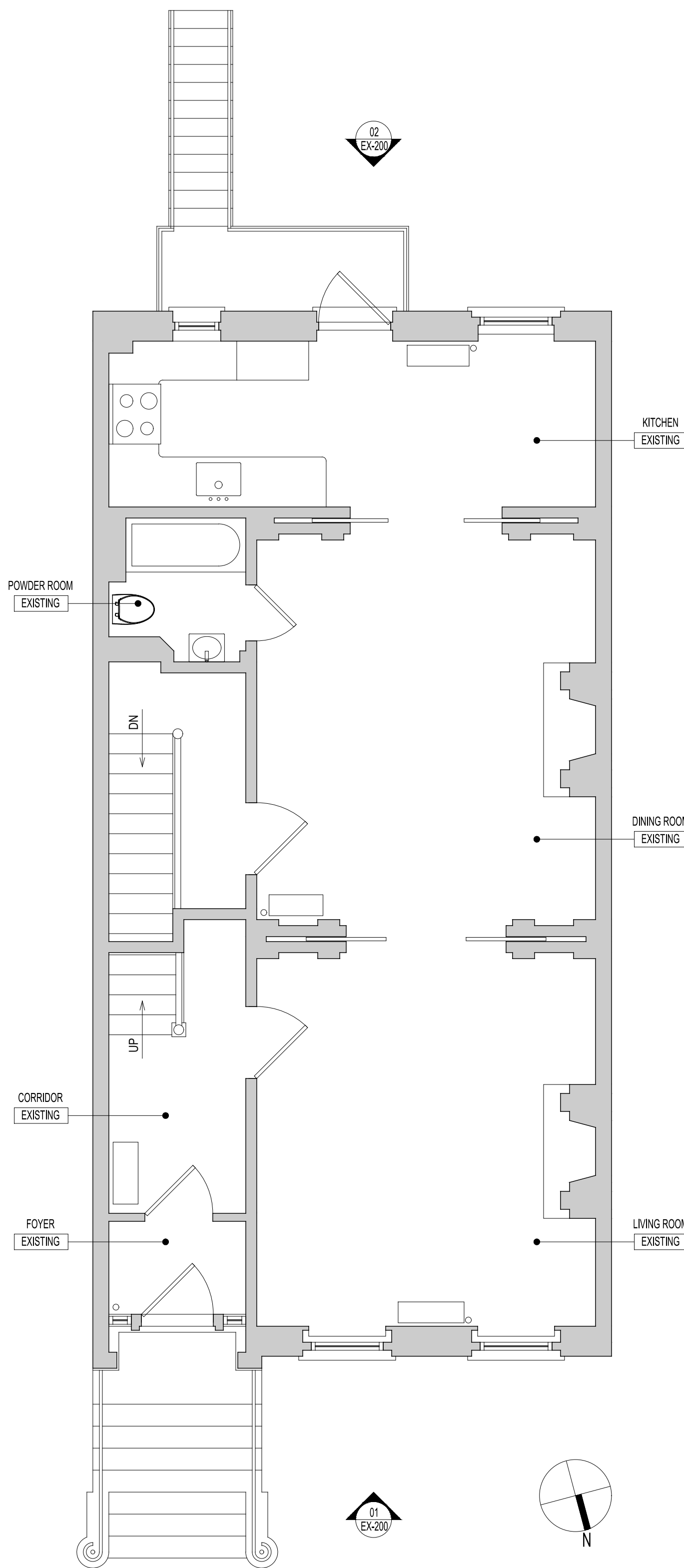
CELLAR, BASEMENT AND FIRST FLOOR
EXISTING PLANS

Project No.	Drawn By	Date	Scale
02-24019.00	J8	06-11-25	1/4" = 1'-0"
Seal		Floor(s)	

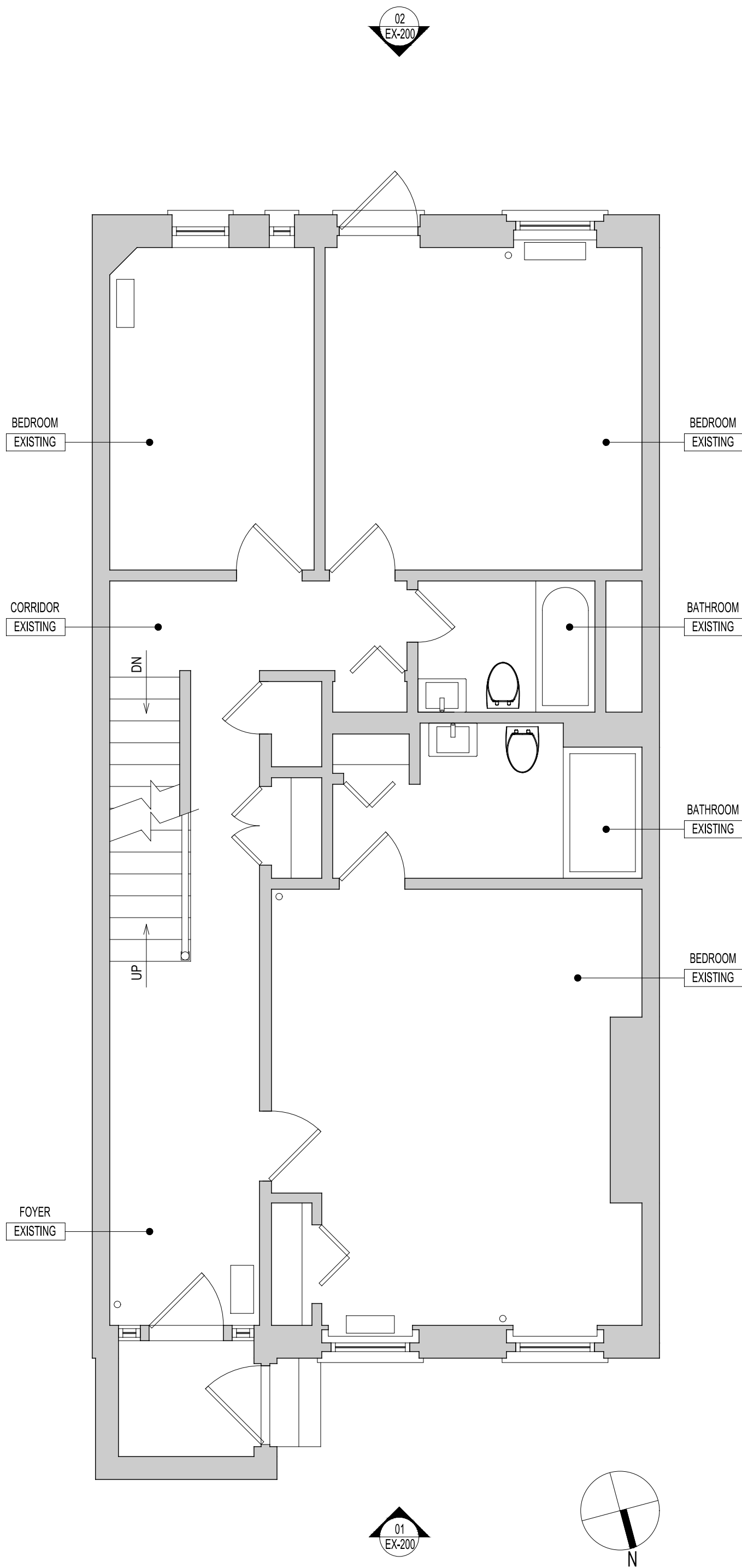


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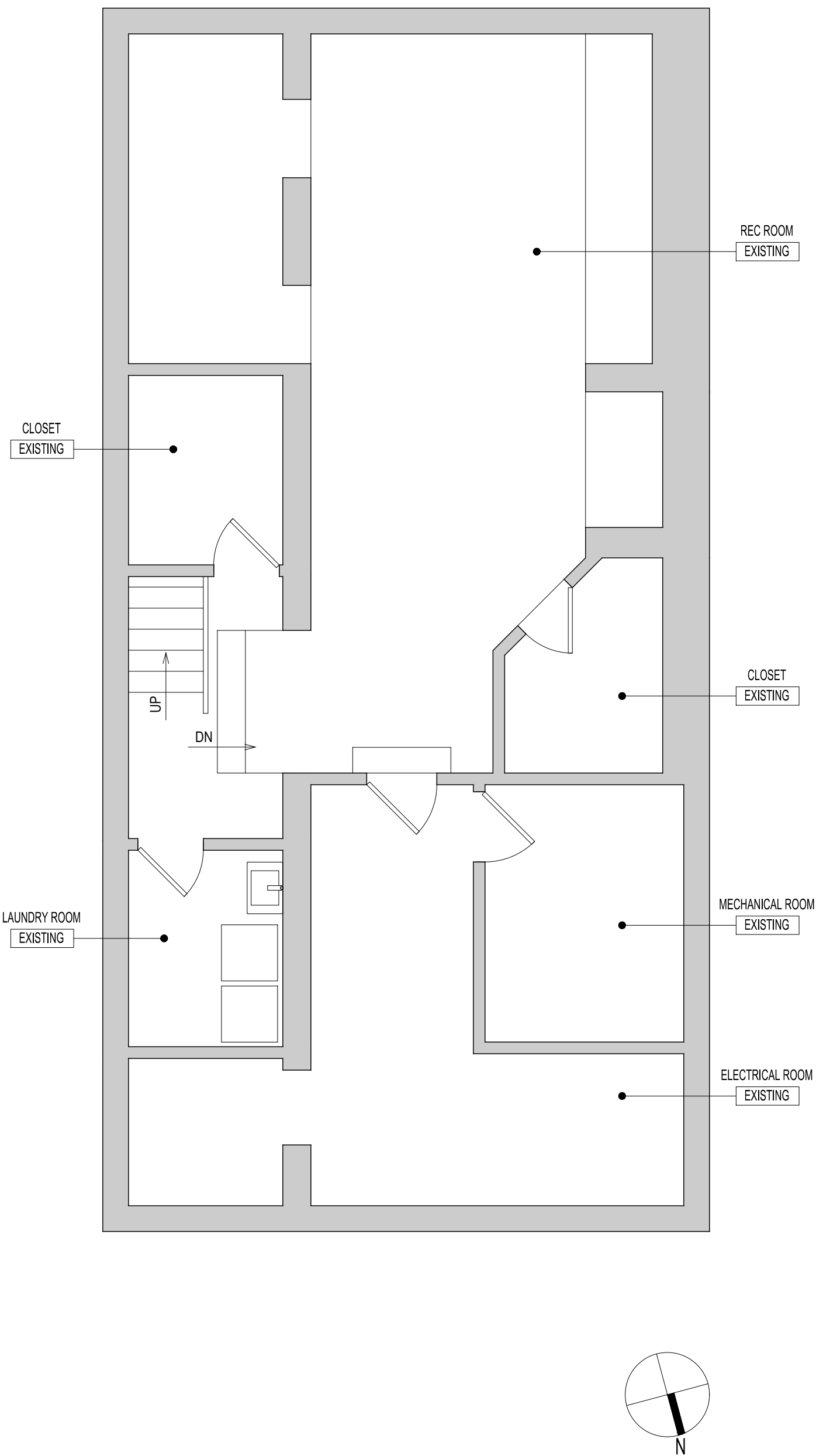
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03 EXISTING FIRST FLOOR PLAN



02 EXISTING BASEMENT FLOOR PLAN



01 EXISTING CELLAR FLOOR PLAN

SHEET NOTES

- G.C. TO COORDINATE ALL RESPECTIVE TRADES REQUIRED FOR THE DEMOLITION PHASE OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION PRIOR TO THE START OF THE DEMOLITION.
- DEMOLITIONS CASTING AND NOISE DISTURBANCES MUST BE COORDINATED WITH CLIENT AND PERFORMED DURING PERMITTED HOURS.
- ALL DEMOLITION DEBRIS REMOVAL SHALL BE COORDINATED WITH CLIENT AS REQUIRED.
- G.C. TO FIELD VERIFY "EXISTING TO REMAIN" CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY PROTECTION FOR ALL DOORS, CASEWORK, ALL APPLIED MATERIAL, FIREPROOFING, AND MISC. ITEMS TO REMAIN OR TO BE REUSED AND REINSTATE THEM TO ORIGINAL CONDITION IF DAMAGED.
- G.C. TO PATCH OR REPAIR ALL SCARRED CONDITIONS CAUSED BY DEMOLITION AS REQUIRED.
- G.C. SHALL ERECT AND MAINTAIN THE REQUIRED CONSTRUCTIONS BARRICADE SEALED FROM DUST MIGRATION. ALL SAFEGUARDS AND PRECAUTIONS TO BE UNDERTAKEN, INCLUDING POSTING WARNING SIGNS AND ENFORCING SAFETY REGULATIONS AND PROTECTION OF PROPERTY.
- G.C. SHALL SURVEY THE SITE AND MAKE ALL NECESSARY CHANGES REQUIRED BASED ON EXISTING CONDITIONS FOR PROPER DEMOLITION OF EXISTING WORK AS NOTED. G.C. SHALL ALLOW FOR ALL LABOR, MATERIALS AND THE LEGAL REMOVAL OF ALL DEBRIS IN BID PRICE. NO ALLOWANCES WILL BE MADE FOR FAILURE TO DO SO.
- DURING DEMOLITION G.C. SHALL REMAIN A FIRE EXTINGUISHER FOR EVERY 3,000 SQ. FT. OF SPACE AND ONE PER FLOOR WHERE THERE IS MORE THEN ONE FLOOR. FIRE EXTINGUISHER SHALL BE A 2SLB. TYPE APPROVED FOR A, B & C FIRES.
- CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB.
- UPON COMPLETION OF THE DEMOLITION WORK, G.C. IS TO LEAVE ALL AFFECTED AREAS IN CLEAN CONDITION. ALL EXISTING TO REMAIN ITEMS ARE TO BE RETURNED TO LIKE NEW CONDITION.

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- INDICATES CENTERLINE
- INDICATES CLOUDED AREA OF REVISION, BULLETIN OR ADDENDUM
- INDICATES REVISION NUMBER AND AREA OF REVISION, BULLETIN OR ADDENDUM
- 0'-0" GRADE
- EXISTING DOOR & HARDWARE TO REMAIN



01 | EXISTING SECOND FLOOR PLAN

SCALE
1/4" = 1'-0"

02 | EXISTING THIRD FLOOR PLAN

SCALE
1/4" = 1'-0"

03 | EXISTING ROOF PLAN

SCALE
1/4" = 1'-0"

LEGEND

EXISTING CONSTRUCTION TO REMAIN

INDICATES CENTERLINE

INDICATES CLOUDED AREA OF REVISION, BULLETIN OR ADDENDUM

INDICATES REVISION NUMBER AND AREA OF REVISION, BULLETIN OR ADDENDUM

0'-0" GRADE

EXISTING DOOR & HARDWARE TO REMAIN

SHEET NOTES

1. G.C. TO COORDINATE ALL RESPECTIVE TRADES REQUIRED FOR THE DEMOLITION PHASE OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION PRIOR TO THE START OF THE DEMOLITION.

2. DEMOLITIONS CASTING AND NOISE DISTURBANCES MUST BE COORDINATED WITH CLIENT AND PERFORMED DURING PERMITTED HOURS.

3. ALL DEMOLITION DEBRIS REMOVAL SHALL BE COORDINATED WITH CLIENT AS REQUIRED.

4. G.C. TO FIELD VERIFY "EXISTING TO REMAIN" CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.

5. G.C. SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY PROTECTION FOR ALL DOORS, CASEWORK, ALL APPLIED MATERIAL, FIREPROOFING, AND MISC. ITEMS TO REMAIN OR TO BE REUSED AND REINSTATE THEM TO ORIGINAL CONDITION IF DAMAGED.

6. G.C. TO PATCH OR REPAIR ALL SCARRED CONDITIONS CAUSED BY DEMOLITION AS REQUIRED.

7. G.C. SHALL ERECT AND MAINTAIN THE REQUIRED CONSTRUCTIONS BARRICADE SEALED FROM DUST MIGRATION. ALL SAFEGUARDS AND PRECAUTIONS TO BE UNDERTAKEN, INCLUDING POSTING WARNING SIGNS AND ENFORCING SAFETY REGULATIONS AND PROTECTION OF PROPERTY.

8. G.C. SHALL SURVEY THE SITE AND MAKE ALL NECESSARY CHANGES REQUIRED BASED ON EXISTING CONDITIONS FOR PROPER DEMOLITION OF EXISTING WORK AS NOTED. G.C. SHALL ALLOW FOR ALL LABOR, MATERIALS AND THE LEGAL REMOVAL OF ALL DEBRIS IN BID PRICE. NO ALLOWANCES WILL BE MADE FOR FAILURE TO DO SO.

9. DURING DEMOLITION G.C. SHALL REMAIN A FIRE EXTINGUISHER FOR EVERY 3,000 SQ. FT. OF SPACE AND ONE PER FLOOR WHERE THERE IS MORE THEN ONE FLOOR. FIRE EXTINGUISHER SHALL BE A 2SLB. TYPE APPROVED FOR A, B & C FIRES.

10. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB.

11. UPON COMPLETION OF THE DEMOLITION WORK, G.C. IS TO LEAVE ALL AFFECTED AREAS IN CLEAN CONDITION. ALL EXISTING TO REMAIN ITEMS ARE TO BE RETURNED TO LIKE NEW CONDITION.

PSEUDONYM STUDIO

ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER

AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT

JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 866.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM

E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

PERMIT #: B01166507-I1

Issue

Date

FOR LANDMARK PRESERVATION COMMISSION FILING

11/27/2024

FOR LANDMARK PRESERVATION COMMISSION FILING REV #1

01/17/2025

FOR LANDMARK PRESERVATION COMMISSION FILING REV #2

02/21/2025

FOR PERMIT FOR CONSTRUCTION

03/03/2025

ADDENDUM #1

03/21/2025

FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION

04/15/2025

FOR LANDMARK PRESERVATION COMMISSION FILING PHASE 2

06/11/2025

Project

SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

SECOND FLOOR, THIRD FLOOR AND ROOF
EXISTING PLANS

Project No.

Drawn By

Date

Scale

02-24019.00

J8

06-11-25

1/4" = 1'-0"

Seal

Floor(s)

0-3

EX-101.00

REGISTERED ARCHITECT

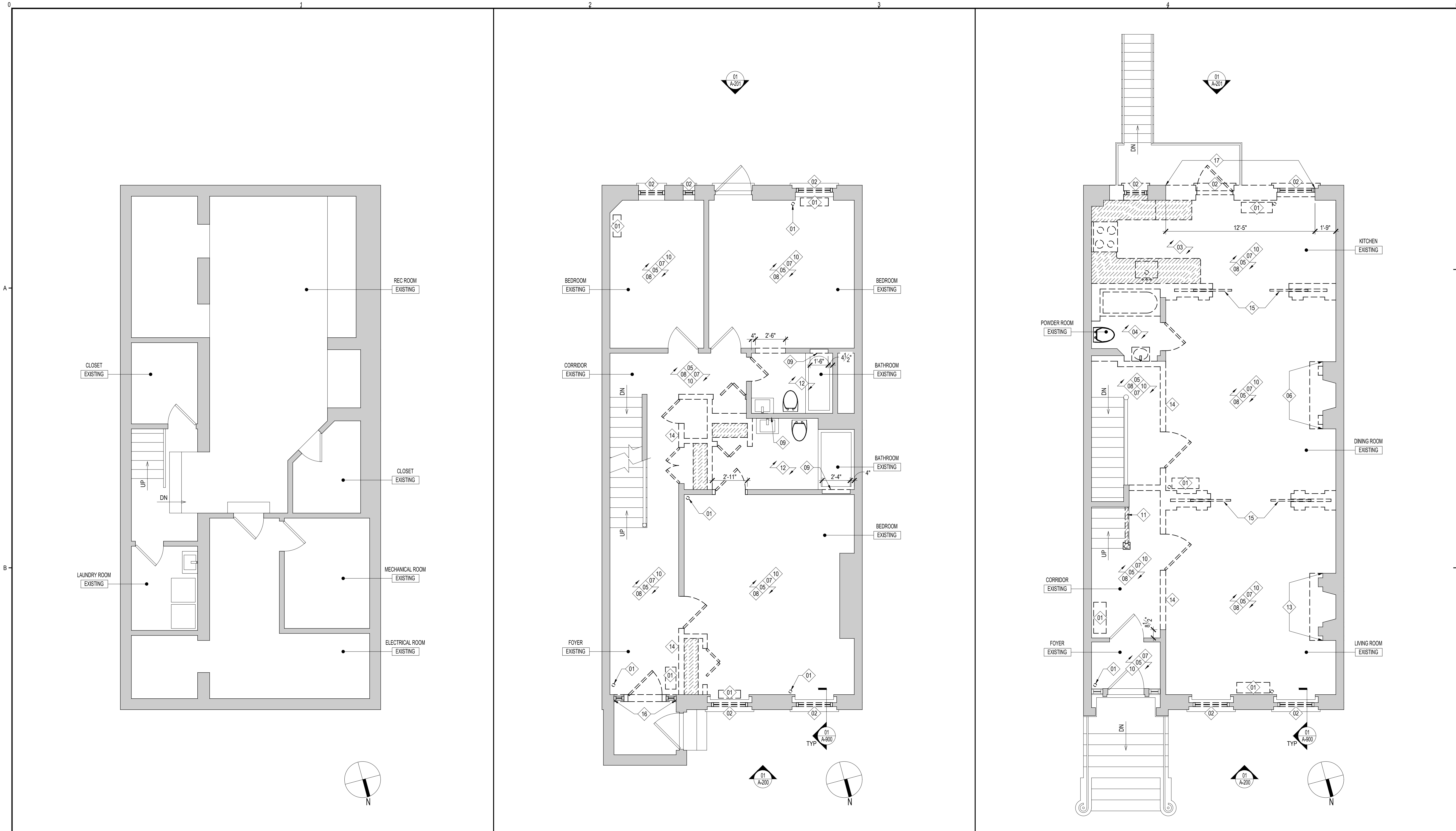
JAMES WHITNEY BROWN

039511

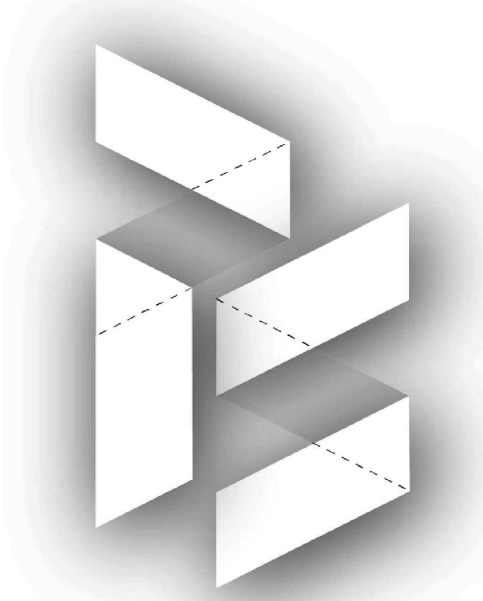
STATE OF NEW YORK

Drawing No.

0-3



01 CELLAR FLOOR DEMOLITION PLAN		02 BASEMENT FLOOR DEMOLITION PLAN		03 FIRST FLOOR DEMOLITION PLAN	
SCALE 1/4" = 1'-0"		SCALE 1/4" = 1'-0"		SCALE 1/4" = 1'-0"	
DEMOLITION LEGEND		DEMOLITION KEY NOTES		DEMOLITION KEY NOTES CONTINUED	
<div><div></div>EXISTING CONSTRUCTION TO REMAIN</div> <div><div></div>EXISTING PARTITION TO BE REMOVED</div> <div><div></div>EXISTING DOOR & HARDWARE TO REMAIN</div> <div><div></div>EXISTING DOOR TO BE REMOVED</div> <div><div></div>EXISTING MILLWORK TO BE REMOVED</div> <div><div></div>INDICATES ELEVATION</div> <div><div></div>INDICATES CLOUDED AREA OF REVISION, BULLETIN OR ADDENDUM</div> <div><div></div>INDICATES REVISION NUMBER AND AREA OF REVISION, BULLETIN OR ADDENDUM</div>		<div>01 DEMOLISH ALL EXISTING RADIATORS AND ASSOCIATED DELIVERY AND RISER PLUMBING. TYPICAL THROUGHOUT</div> <div>02 CAREFULLY REMOVE AND DEMOLISH EXISTING DOOR/ WINDOW. PRESERVE AND PROTECT FRAMED OPENING AND SILL FOR INSTALLATION OF NEW SCHEDULED DOOR/ WINDOW.</div> <div>03 FULL DEMOLITION OF KITCHEN INCLUDING FLOORING, CABINETRY, COUNTER, BACKSPLASH, APPLIANCES AND LIGHT FIXTURES. PRESERVE EXISTING SHEETROCK AND SUBFLOOR WHERE POSSIBLE. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION</div> <div>04 FULL DEMOLITION OF BATHROOM INCLUDING TOILET, PLUMBING FIXTURES, VANITY, LIGHT FIXTURES AND FINISHES THROUGHOUT ROOM. PRESERVE EXISTING SHEETROCK AND SUBFLOOR WHERE POSSIBLE. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION</div> <div>05 CAREFULLY REMOVE AND DEMOLISH EXISTING FLOORING. PRESERVE AND PROTECT SUBFLOORING FOR USE IN NEW LAYOUT</div> <div>06 DEMOLISH FIREPLACE, MANTEL, STONE CLADDING AND EXISTING HEARTH. PREPARE AREA TO RECEIVE NEW SCHEDULED FINISH. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION.</div> <div>07 DEMOLISH EXISTING BASEBOARD, WALL MOLDING, DECORATIVE TRIM AND CROWN MOLDING. REFER TO FINISH PLAN AND ELEVATIONS FOR MORE INFORMATION.</div> <div>08 DEMOLISH EXISTING LIGHT FIXTURES AND ASSOCIATED WIRING AND SWITCHING. VERIFY CONDITION OF CEILING CONSTRUCTION ABOVE WITH ARCHITECT AFTER DEMOLITION. PRESERVE AS MUCH CEILING CONSTRUCTION AS POSSIBLE. TYPICAL THROUGHOUT</div> <div>09 PARTIAL DEMOLITION OF WALL TO ACCOMMODATE INSTALLATION OF SHOWER NICHE/ MEDICINE CABINET. GC TO COORDINATE OPENING SIZE WITH ELEVATIONS AND DETAILS.</div> <div>10 DEMOLISH ALL EXISTING POWER OUTLETS, ASSOCIATED WIRING, CONDUITS AND ELECTRICAL BACKBOXES, TYPICAL THROUGHOUT ENTIRE SCOPE OF WORK</div> <div>11 DEMOLISH EXISTING STAIR HANDRAILING AND BANNISTER. PREP SURFACE TO RECEIVE NEW MILLWORK CONSTRUCTION. REFER TO DETAILS FOR MORE INFORMATION</div> <div>12 PARTIAL DEMOLITION OF BATHROOM. DEMOLISH FINISHES AND LIGHT FIXTURES. GC TO PRESERVE SHOWER/ TUB, TOILET AND SINK TO BE REUSED IN EXISTING LOCATION. TEMPORARILY REMOVE TO ACCOMMODATE INSTALLATION OF NEW SCHEDULED FINISHES.</div>		<div>13 CAREFULLY REMOVE AND DEMOLISH STONE CLADDING AND MANTEL. RETAIN METAL FRONT GRILLE FOR REUSE IN FUTURE FIREPLACE FINISHING. REFER TO CONSTRUCTION PLAN</div> <div>14 GC TO PROVIDE TEMPORARY SHORING AS REQUIRED OF CENTRAL LOADING BEARING PARTITION TO ACCOMMODATE LAYOUT OF NEW PARTITIONS. REFER TO CONSTRUCTION PLAN</div> <div>15 CAREFULLY REMOVE, PRESERVE AND PROTECT EXISTING DOUBLE POCKET DOORS AND HARDWARE FOR INSTALLATION IN FUTURE FOURTH FLOOR LAYOUT. REFER TO CONSTRUCTION PLAN.</div> <div>16 DEMOLISH EXISTING DOOR AND SIDELITES. PREP OPENING TO RECEIVE NEW SCHEDULED FINISH. REFER TO ELEVATIONS AND CONSTRUCTION PLAN.</div> <div>17 EXTERIOR WALL DEMOLITION, TEMPORARY SHORING AND STEEL MOMENT FRAME INSTALLATION TO ACCOMMODATE 12'-5"W X 9'-0"H DOOR AND WINDOW OPENING, SUPPORTING STRUCTURAL LOADS IN THE VERTICAL AND LATERAL DIRECTIONS. TO BE COORDINATED WITH STEEL SUBCONTRACTOR.</div>	
		ADD / DEDUCT ALTERNATES		SHEET NOTES	
				<div>1. REFER TO G-001 AND G-002 FOR GENERAL DEMOLITION AND CONSTRUCTION NOTES.</div> <div>2. EXISTING WALLS TO REMAIN TO BE PROTECTED AS REQUIRED. PATCH AND PREP WALLS FOR NEW FINISH.</div> <div>3. GC TO NOTIFY ARCHITECT OF ANY CONFLICTS WITH DESIGN CAUSED DURING DEMOLITION.</div> <div>4. ALL LEAD PAINT TO BE SAFELY REMOVED THROUGHOUT SCOPE OF WORK</div>	



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
TELE: 860.866.8718
EMAIL: J.BROWNING@PSEUDONYM-STUDIO.COM

MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

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Issue	Date
FOR LANDMARK PRESERVATION COMMISSION FILING	11/27/2024
FOR LANDMARK PRESERVATION COMMISSION FILING REV #1	01/17/2025
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ADDENDUM #1	03/21/2025
FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION	04/15/2025
FOR LANDMARK PRESERVATION COMMISSION FILING PHASE 2	06/11/2025

Project
SHERWANI RESIDENCE
56 JORALEMON STREET
BROOKLYN, NY 11201

Drawing Title
CELLAR, BASEMENT AND FIRST FLOOR DEMOLITION PLANS

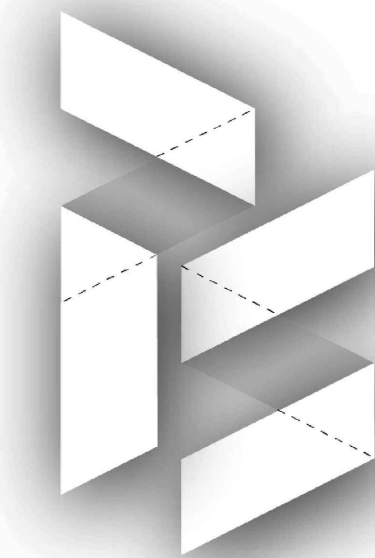
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02-24019.00	JB	06-11-25	1/4" = 1'-0"

Seal

0-3

DM-100.00

REGISTERED ARCHITECT
JAMES WHITNEY BROWNING
039511
STATE OF NEW YORK



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

ARCHITECT
JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
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TELE: 866.866.8718
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MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM
E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001
CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

PERMIT #: B01166507-11

Issue	Date
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Project:
SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

**SECOND FLOOR, THIRD FLOOR AND ROOF
DEMOLITION PLANS**

Project No. Drawn By Date Scale

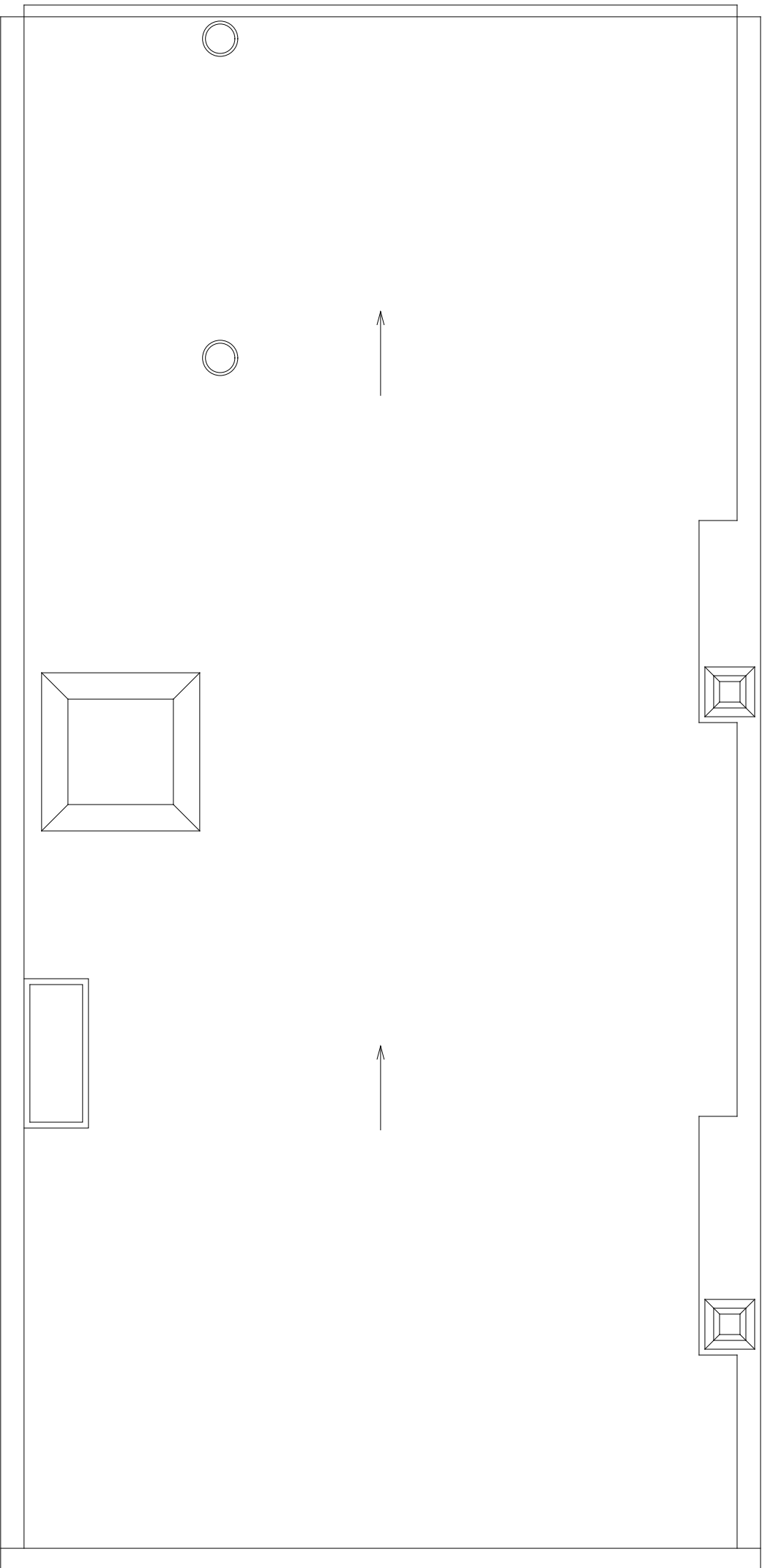
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Seal Floor(s)

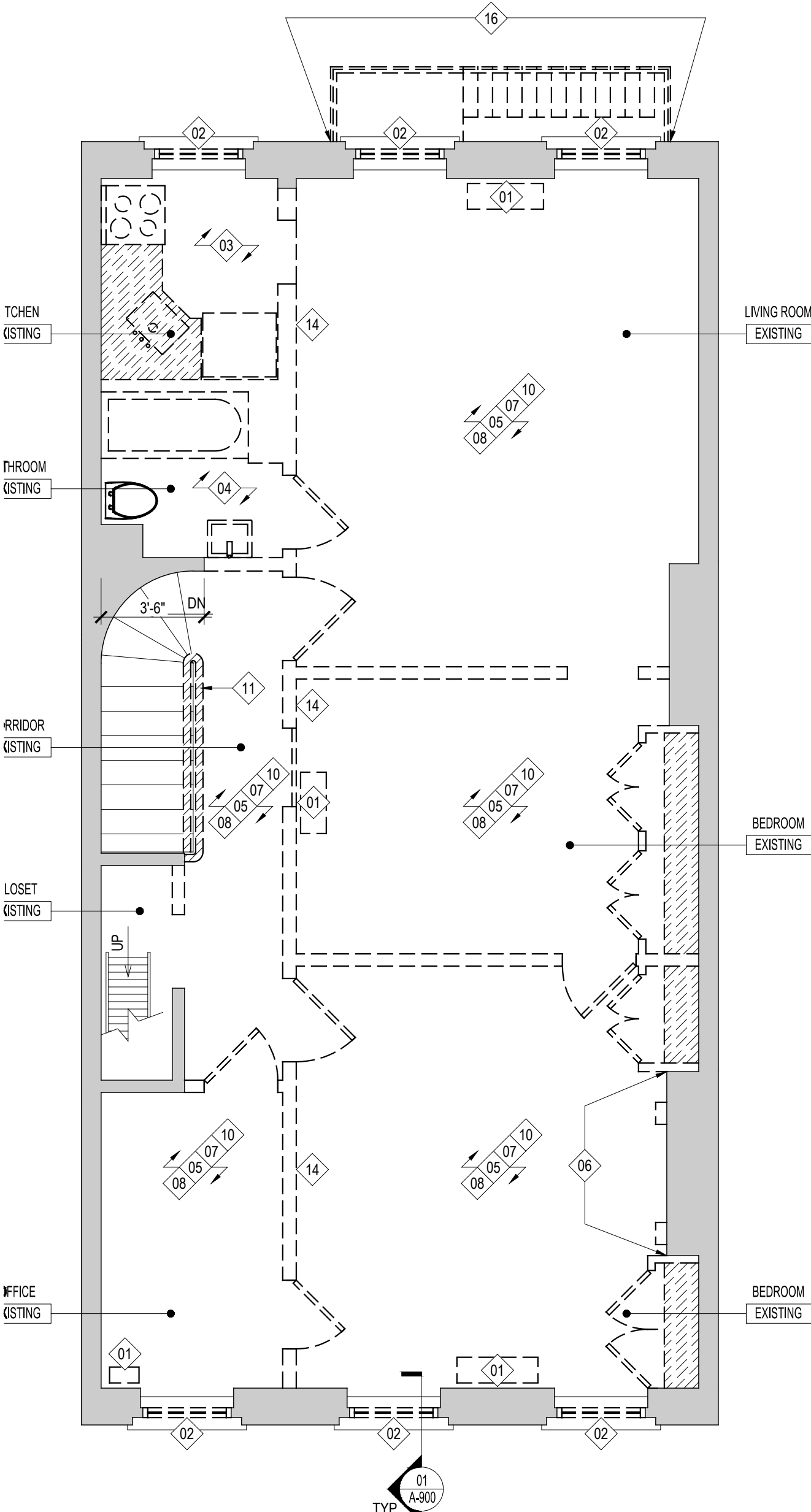


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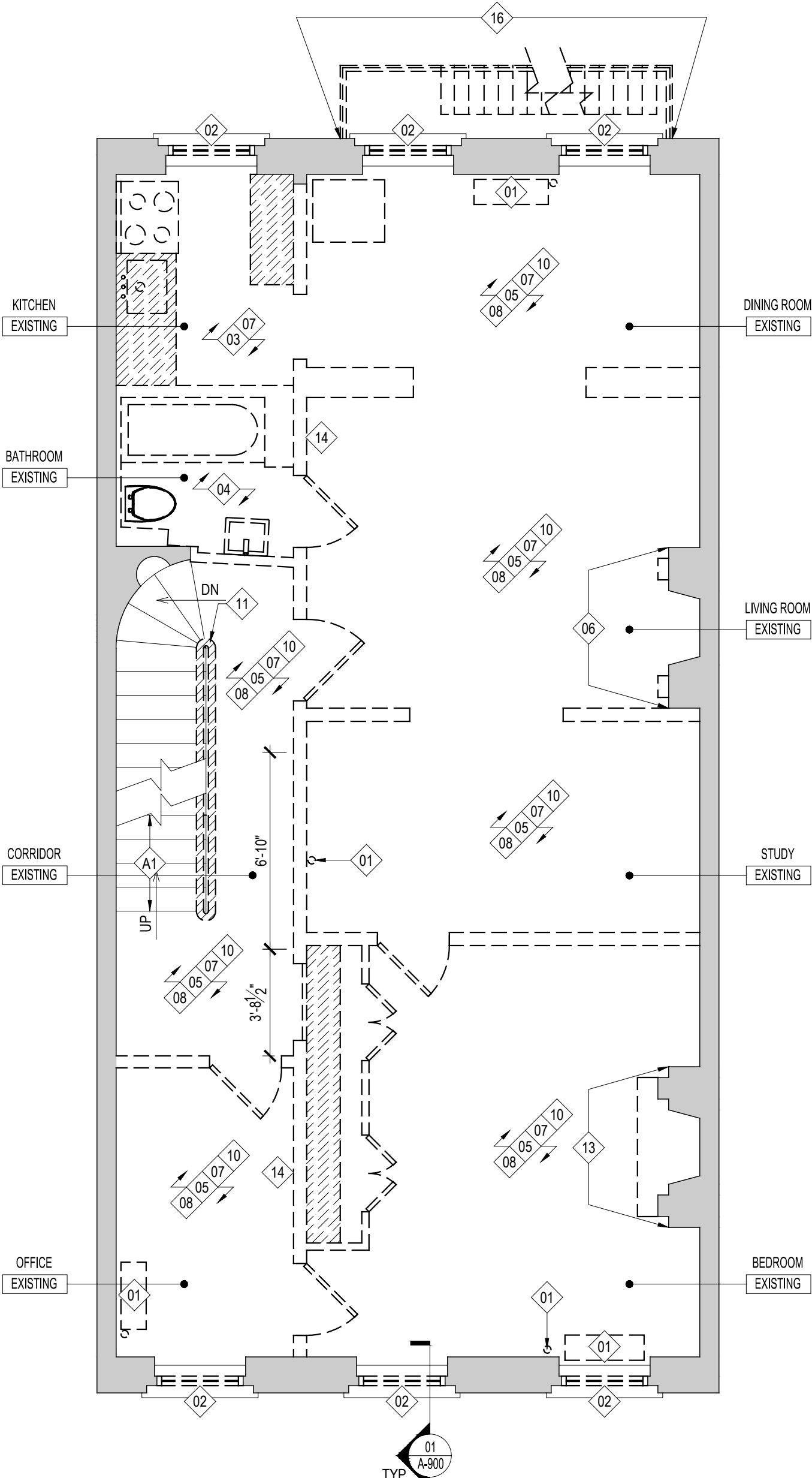
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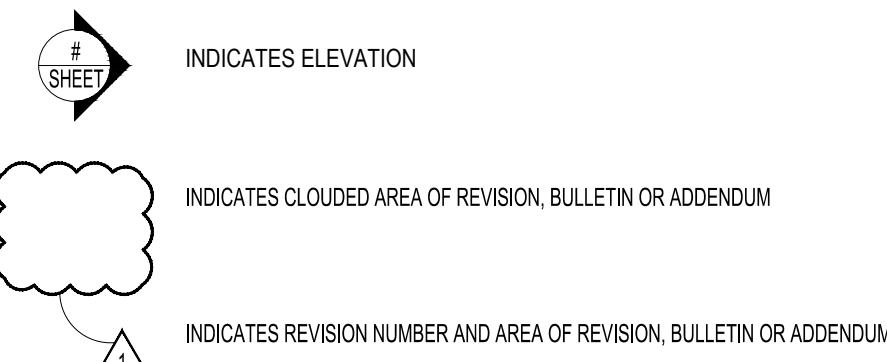
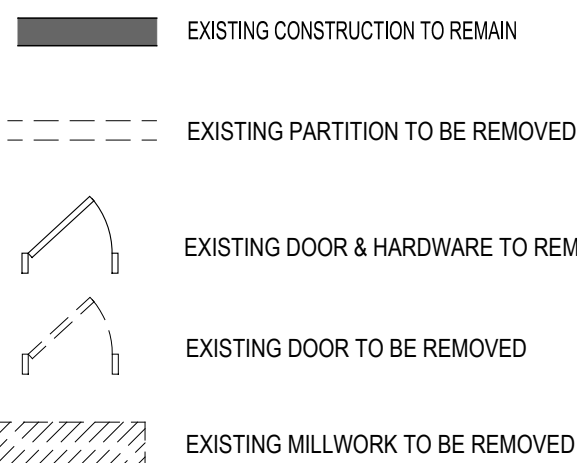
03 ROOF DEMOLITION PLAN



02 THIRD FLOOR DEMOLITION PLAN



01 SECOND FLOOR DEMOLITION PLAN



DEMOLITION KEY NOTES

- 01 DEMOLISH ALL EXISTING RADIATORS AND ASSOCIATED DELIVERY AND RISER PLUMBING. TYPICAL THROUGHOUT
- 02 CAREFULLY REMOVE AND DEMOLISH EXISTING DOOR/ WINDOW. PRESERVE AND PROTECT FRAMED OPENING AND SILL FOR INSTALLATION OF NEW SCHEDULED DOOR/ WINDOW.
- 03 FULL DEMOLITION OF KITCHEN INCLUDING FLOORING, CABINETRY, COUNTER, BACKSPLASH, APPLIANCES AND LIGHT FIXTURES. PRESERVE EXISTING SHEETROCK AND SUBFLOOR WHERE POSSIBLE. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION
- 04 FULL DEMOLITION OF BATHROOM INCLUDING TOILET, PLUMBING FIXTURES, VANITY, LIGHT FIXTURES AND FINISHES THROUGHOUT ROOM. PRESERVE EXISTING SHEETROCK AND SUBFLOOR WHERE POSSIBLE. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION
- 05 CAREFULLY REMOVE AND DEMOLISH EXISTING FLOORING. PRESERVE AND PROTECT SUBFLOORING FOR USE IN NEW LAYOUT
- 06 DEMOLISH FIREPLACE, MANTEL, STONE CLADDING AND EXISTING HEARTH. PREPARE AREA TO RECEIVE NEW SCHEDULED FINISH. REFER TO CONSTRUCTION PLAN FOR MORE INFORMATION.
- 07 DEMOLISH EXISTING BASEBOARD, WALL MOLDING, DECORATIVE TRIM AND CROWN MOLDING. REFER TO FINISH PLAN AND ELEVATIONS FOR MORE INFORMATION.
- 08 DEMOLISH EXISTING LIGHT FIXTURES AND ASSOCIATED WIRING AND SWITCHING. VERIFY CONDITION OF CEILING CONSTRUCTION ABOVE WITH ARCHITECT AFTER DEMOLITION. PRESERVE AS MUCH CEILING CONSTRUCTION AS POSSIBLE. TYPICAL THROUGHOUT
- 09 PARTIAL DEMOLITION OF WALL TO ACCOMMODATE INSTALLATION OF SHOWER NICHE/ MEDICINE CABINET. GC TO COORDINATE OPENING SIZE WITH ELEVATIONS AND DETAILS.
- 10 DEMOLISH ALL EXISTING POWER OUTLETS, ASSOCIATED WIRING, CONDUITS AND ELECTRICAL BACKBOXES, TYPICAL THROUGHOUT ENTIRE SCOPE OF WORK
- 11 DEMOLISH EXISTING STAIR HANDRAILING AND BANNISTER. PREP SURFACE TO RECEIVE NEW MILLWORK CONSTRUCTION. REFER TO DETAILS FOR MORE INFORMATION
- 12 PARTIAL DEMOLITION OF BATHROOM. DEMOLISH FINISHES AND LIGHT FIXTURES. GC TO PRESERVE SHOWER/ TUB, TOILET AND SINK TO BE REUSED IN EXISTING LOCATION. TEMPORARILY REMOVE TO ACCOMMODATE INSTALLATION OF NEW SCHEDULED FINISHES.

DEMOLITION KEY NOTES CONTINUED

- 13 CAREFULLY REMOVE AND DEMOLISH STONE CLADDING AND MANTEL. RETAIN METAL FRONT GRILLE FOR REUSE IN FUTURE FIREPLACE FINISHING. REFER TO CONSTRUCTION PLAN
- 14 GC TO PROVIDE TEMPORARY SHORING AS REQUIRED OF CENTRAL LOADING BEARING PARTITION TO ACCOMMODATE LAYOUT OF NEW PARTITIONS. REFER TO CONSTRUCTION PLAN
- 15 CUT BACK GAS SERVICE PLUMBING TO THESE STOVE LOCATIONS AND CAP AS REQUIRED. REFER TO POWER PLAN FOR FUTURE GAS LOCATIONS.
- 16 DEMOLISH EXISTING EXTERIOR FIRE ESCAPES BETWEEN PARLOR, THIRD AND FOURTH FLOORS. PATCH AND REPAIR EXISTING BRICKWORK AS REQUIRED. REFER TO EXTERIOR ELEVATIONS.

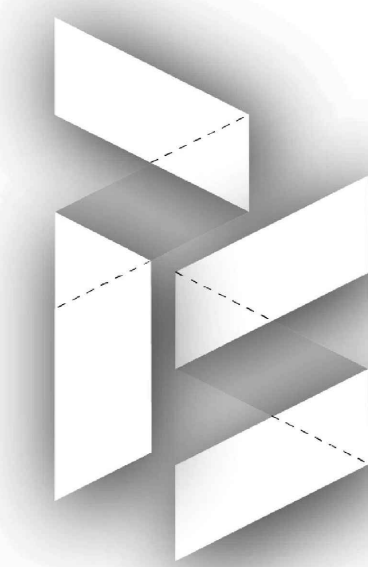
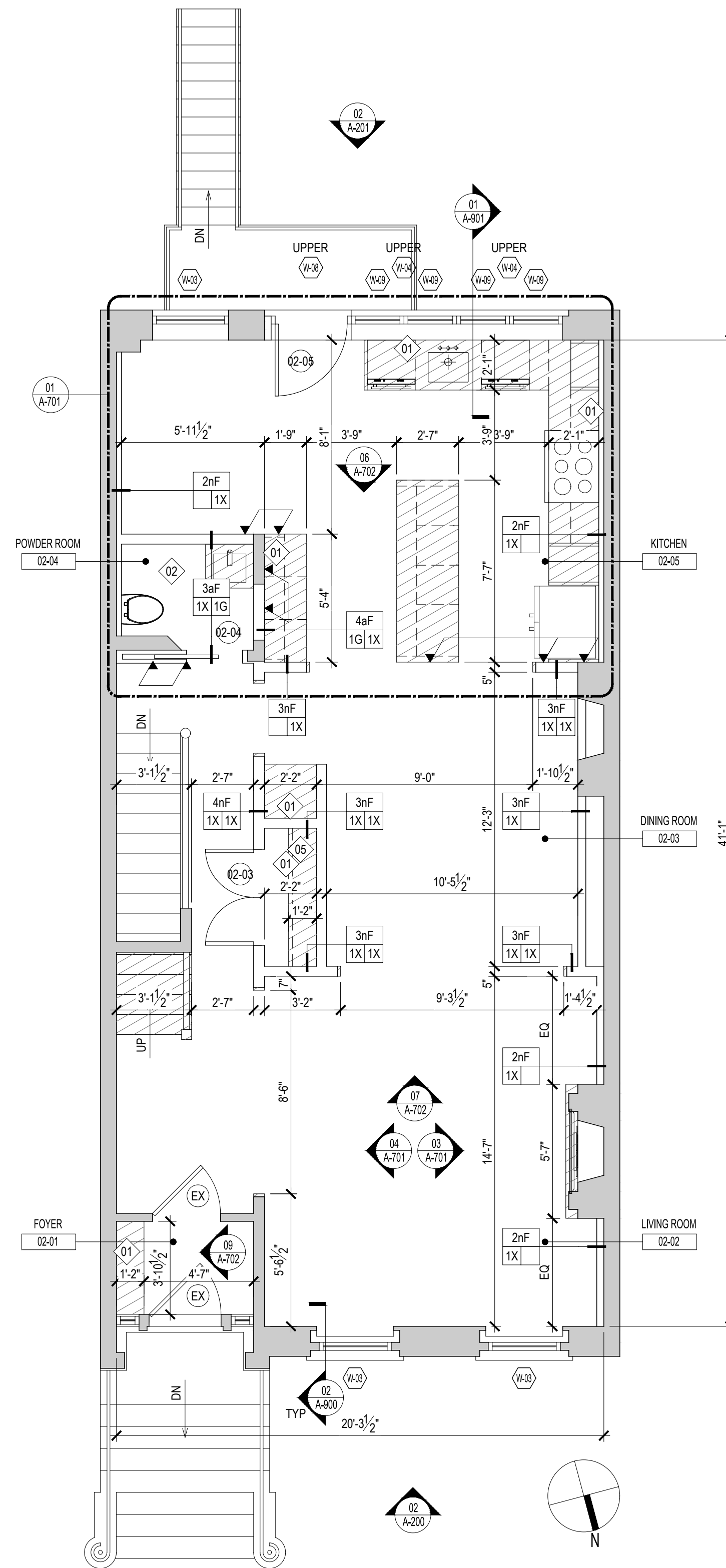
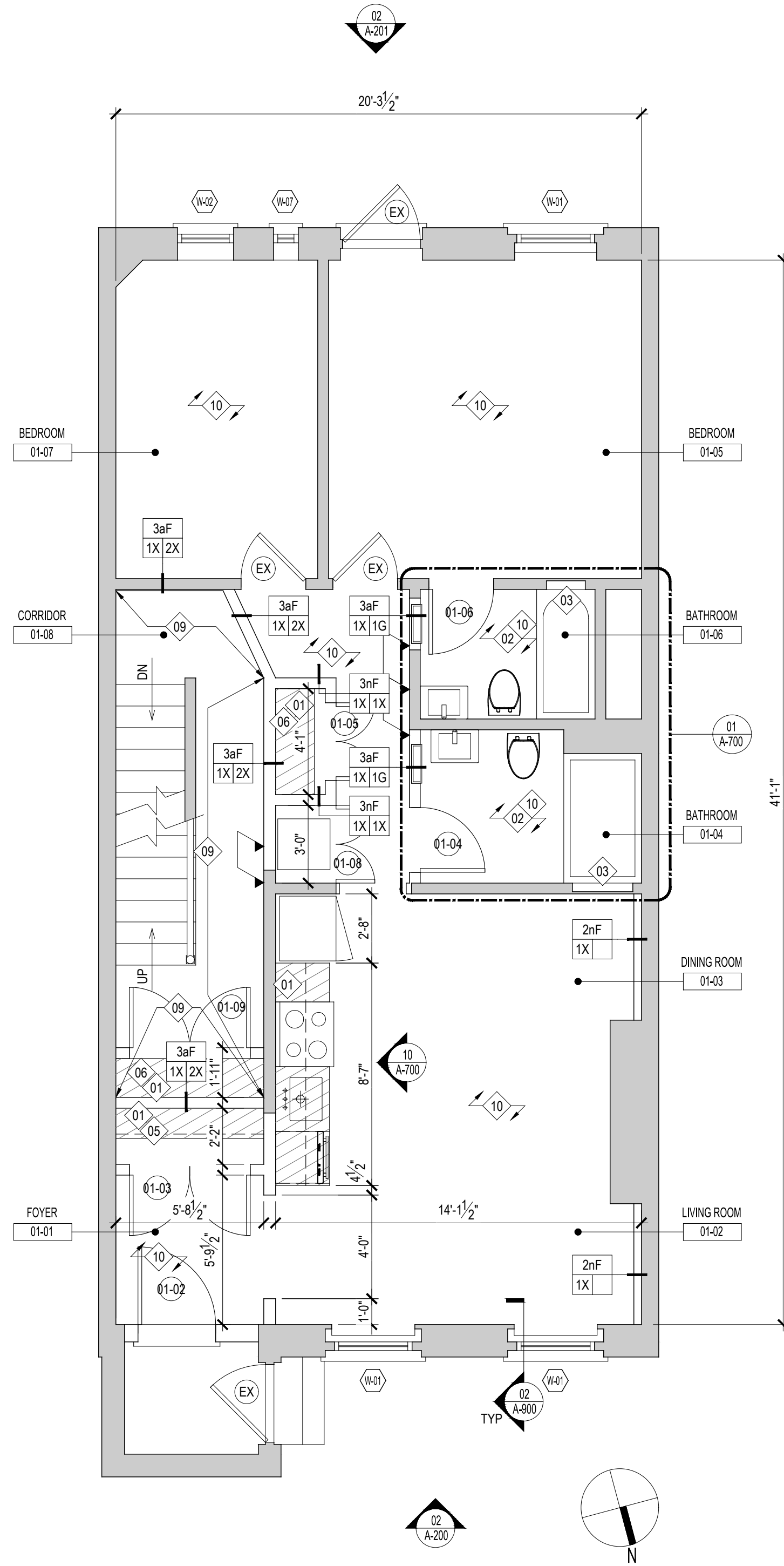
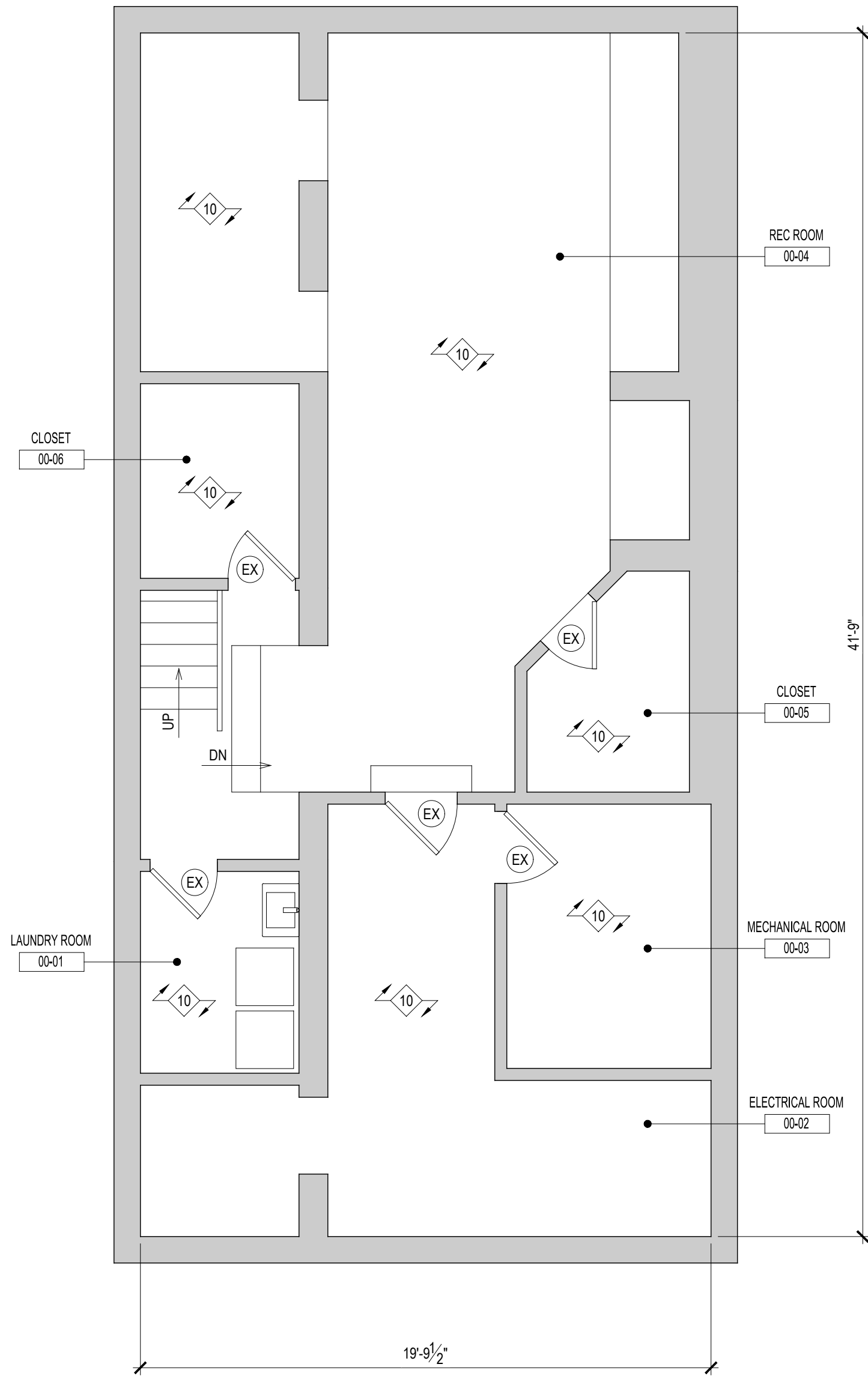
ADD / DEDUCT ALTERNATES

SHEET NOTES

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- 4. ALL LEAD PAINT TO BE SAFELY REMOVED THROUGHOUT SCOPE OF WORK

STUD SIZE		INSULATION TYPE		HEIGHT	
LAMINATED	--	a	ACOUSTIC	F	FULL
1" HAT CHANNEL	0	n	NONE	F	F ABOVE GLO
1" STUD	1	t	THERMAL	XX	PARTIAL HEIGHT
2" STUD	2	R	ROXUL 3" THK		PARTITION, XX =
4" STUD	3				HEIGHT OF
6" STUD	4				PARTITION & OVP IN
8" STUD	5				INCHES
SEE PARTITION TYPE	A-Z	<div style="border: 1px solid black; padding: 10px; display: inline-block;"> <div style="border: 1px solid black; padding: 5px; display: inline-block;">2 a F</div> <div style="border: 1px solid black; padding: 5px; display: inline-block;">2 G G</div> </div>			
ON THIS PAGE					
QUANTITY OF SHEATHING LAYERS(W)				SHEATHING TYPE	
				B	BALL BEAM ROOF
				D	DIURCOQ
				G	GREENBOARD
				P	PLYWOOD
				T	TAMPER RESISTANT
				X	TYPE X

SYMBOL HERE HAS BEEN ENLARGED FOR CLARIFICATION ON THIS PAGE



CLIENT / OWNER
AANIYA & YUSUF SHERWANI
56 JORALEMON STREET
BROOKLYN, NY 11201
CONTACT: AANIYA SHERWANI
TELE: 347.320.1737
EMAIL: AANIYAA29@GMAIL.COM

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JIM BROWNING, AIA LEED GA
1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
CONTACT: JIM BROWNING
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MECHANICAL, SPRINKLER, PLUMBING & FIRE ALARM

E4P CONSULTING ENGINEERS PLLC
134 WEST 29TH STREET, SUITE 1003
NEW YORK, NY 10001

CONTACT: RAMEZ AFFIFY
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ADDENDUM #1	03/21/2024
FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION	04/15/2024
FOR LANDMARK PRESERVATION COMMISSION FILING PHASE 2	06/11/2024

Project
SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

CELLAR, BASEMENT AND FIRST FLOOR
CONSTRUCTION PLANS

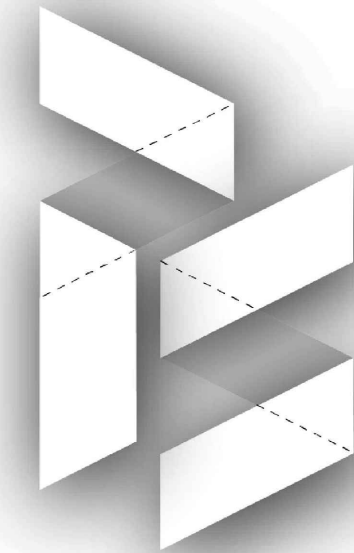
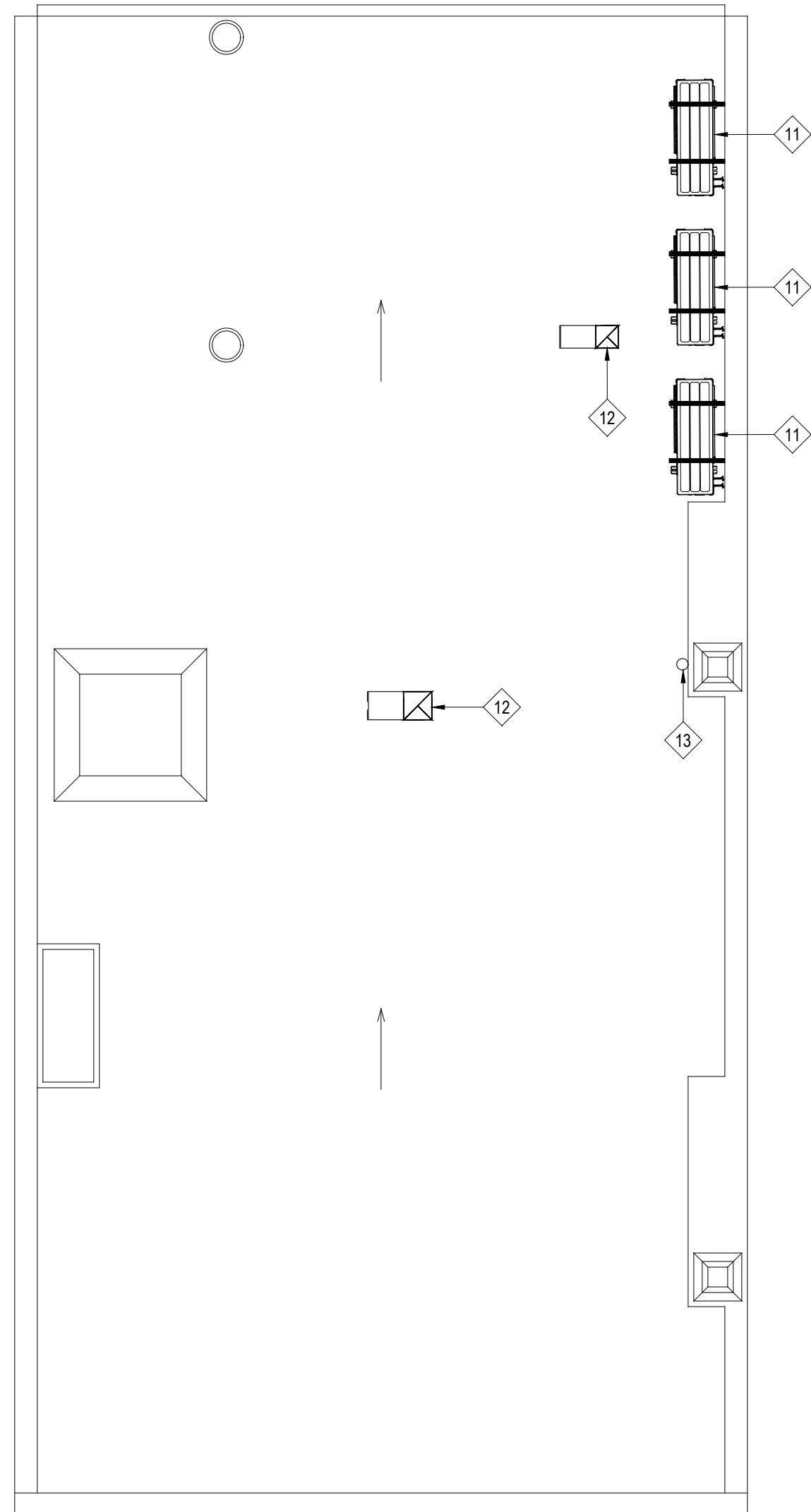
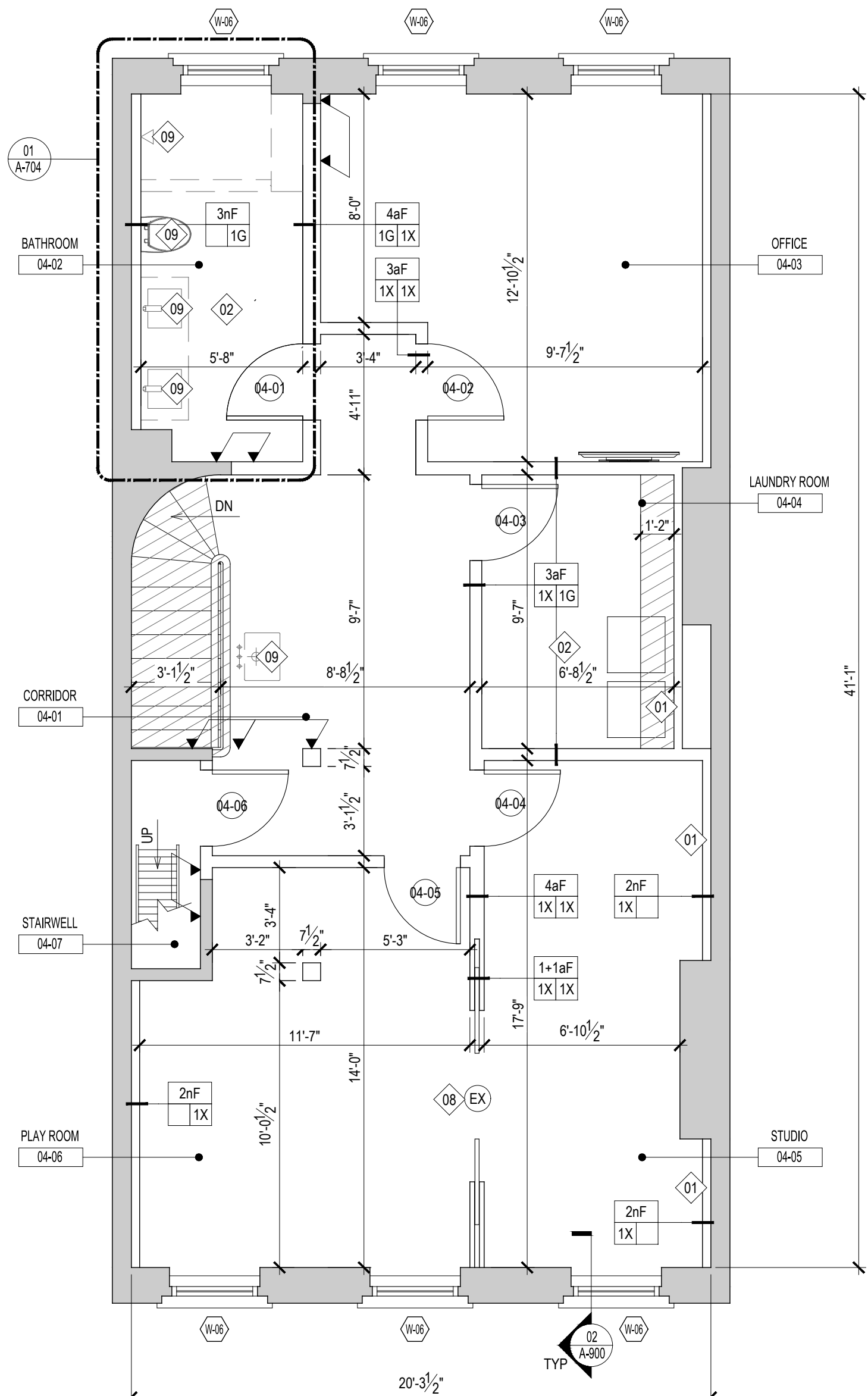
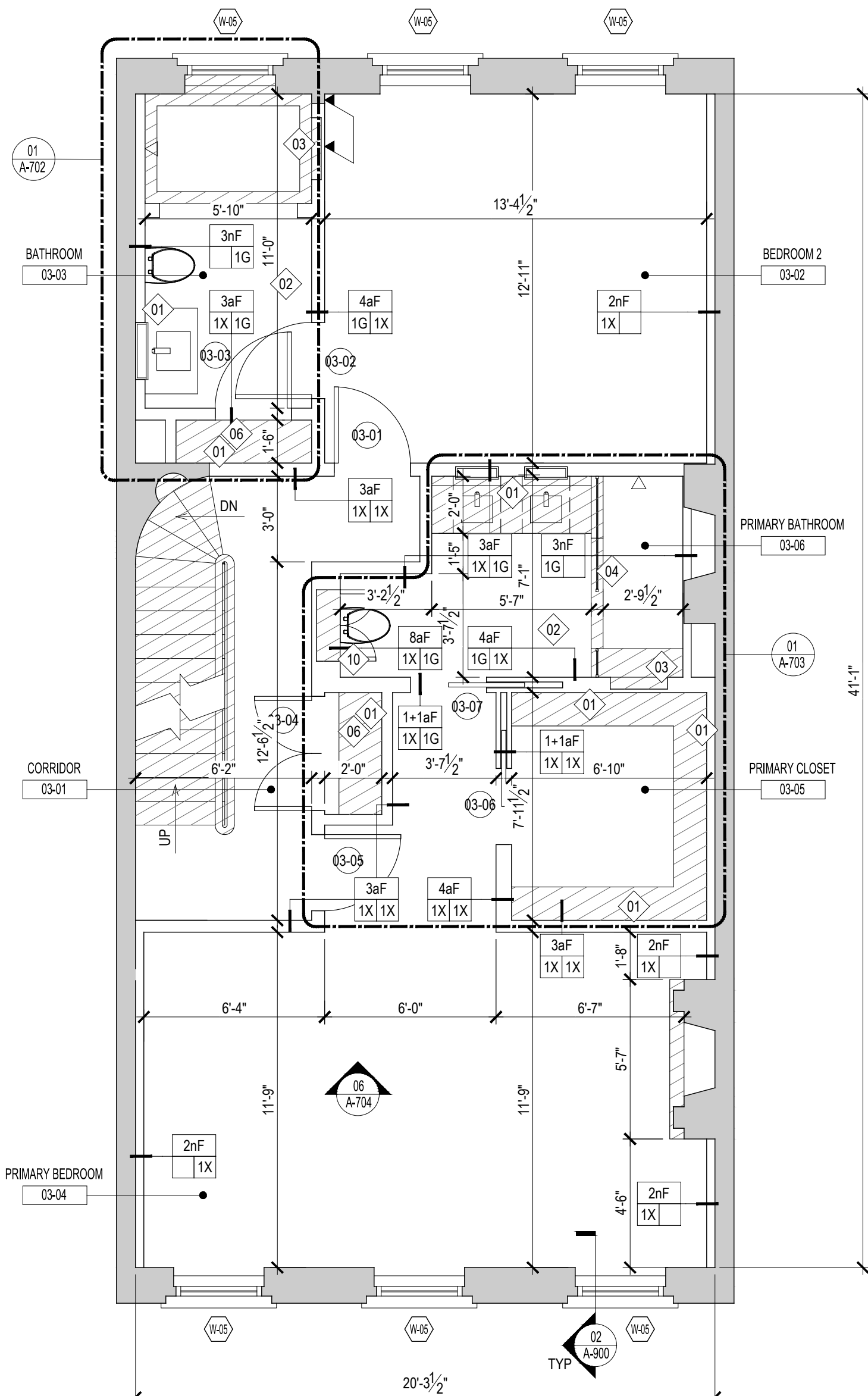
Project No.	Drawn By	Date	Scale
02-24019.00	JB	06-11-25	1/4" = 1'-0"
Seal	Floor(s)		

Drawing No.

A-110.00



STUD SIZE LAMINATED -- 1" CHANNEL 0 1 1/2" STUD 1 2" STUD 2 2 1/2" STUD 3 3" STUD 4 4" STUD 5 6" STUD 6 8" STUD 8 SEE PARTITION TYPE A-Z ON THIS PAGE	INSULATION TYPE a ACOUSTIC n NONE t THERMAL R ROXUL 3" THK	HEIGHT F FULL 6" ABOVE GLO B BASKET HEIGHT XX PARTITION, XX = HEIGHT OF PARTITION & GYP IN INCHES
QUANTITY OF SHEATHING LAYERS(S)		SHEATHING TYPE B SHEETROOF D DUROCK G GREENBOARD P PLYWOOD T TAMPER RESISTANT X TYPE X



PSEUDONYM STUDIO
ARCHITECTURE / PLANNING / DESIGN

CLIENT / OWNER
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ARCHITECT
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1608 RAINBOW DRIVE
SILVER SPRING, MD 20905
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CONTACT: RAMEZ AFFIFY
TELE: 212.213.6287
EMAIL: RA@E4PMEP.COM

PERMIT #: B01166507-I1

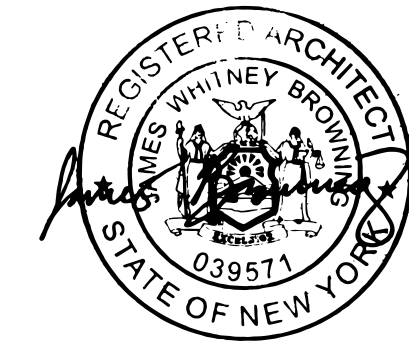
Issue	Date
FOR LANDMARK PRESERVATION COMMISSION FILING	11/27/2024
FOR LANDMARK PRESERVATION COMMISSION FILING REV #1	01/17/2025
FOR LANDMARK PRESERVATION COMMISSION FILING REV #2	02/21/2025
FOR PERMIT FOR CONSTRUCTION	03/03/2025
ADDENDUM #1	03/21/2025
FOR HISTORIC DISTRICT COMMUNITY BOARD PRESENTATION	04/15/2025
FOR LANDMARK PRESERVATION COMMISSION FILING PHASE 2	06/11/2025

Project
SHERWANI RESIDENCE
56 JORALEMON
BROOKLYN, NY 11201

Drawing Title

SECOND FLOOR, THIRD FLOOR AND ROOF
CONSTRUCTION PLANS

Project No.	Drawn By	Date	Scale
02-24019.00	JB	06-11-25	1/4" = 1'-0"
Seal	Floor(s)		



Drawing No.

A-111.00

June 24, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-25-11594

56 Joralemon Street – Brooklyn Heights Historic District Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 160 398 4258

Passcode: 804515

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.