



19 NOLAN PARK
GOVERNORS ISLAND
LANDMARKS PRESERVATION COMMISSION

APRIL 2025

THE TRUST FOR GOVERNORS ISLAND

JAKLITSCH/GARDNER ARCHITECTS PC

PRESENTATION OUTLINE

1.0_ HISTORICAL CONTEXT

1.1	SITE CONTEXT	03
1.2	HISTORIC CONTEXT	04
1.3	19 NOLAN PARK LOCATION	05

2.0_ PROGRAM OVERVIEW & PROPOSED USE

2.1	NOLAN PARK ARTS CAMPUS.....	07
2.2	20 NOLAN PARK.....	08
2.3	19 NOLAN PARK	09
2.4	DESIGN STRATEGIES.....	10

3.0_ EXISTING CONDITIONS

3.1	19 NOLAN PARK TIMELINE	11
3.2	EXISTING CONDITIONS.....	16

4.0_ PROPOSED DESIGN

4.1	PROPOSED SITE PLAN	25
4.2	PROPOSED ELEVATIONS	26
4.3	PROPOSED RENDERINGS	37

5.0_ PROPOSED DETAILS

5.1	PROPOSED EXTERIOR WORK	29
5.2	EXTERIOR FINISHES	33
5.3	WINDOW REPLACEMENT	34

1.1 SITE CONTEXT

NOLAN PARK AERIAL VIEW



1.2 19 NOLAN HISTORIC VIEWS

NOLAN PARK, HISTORIC VIEW OF FRONT PORCHES



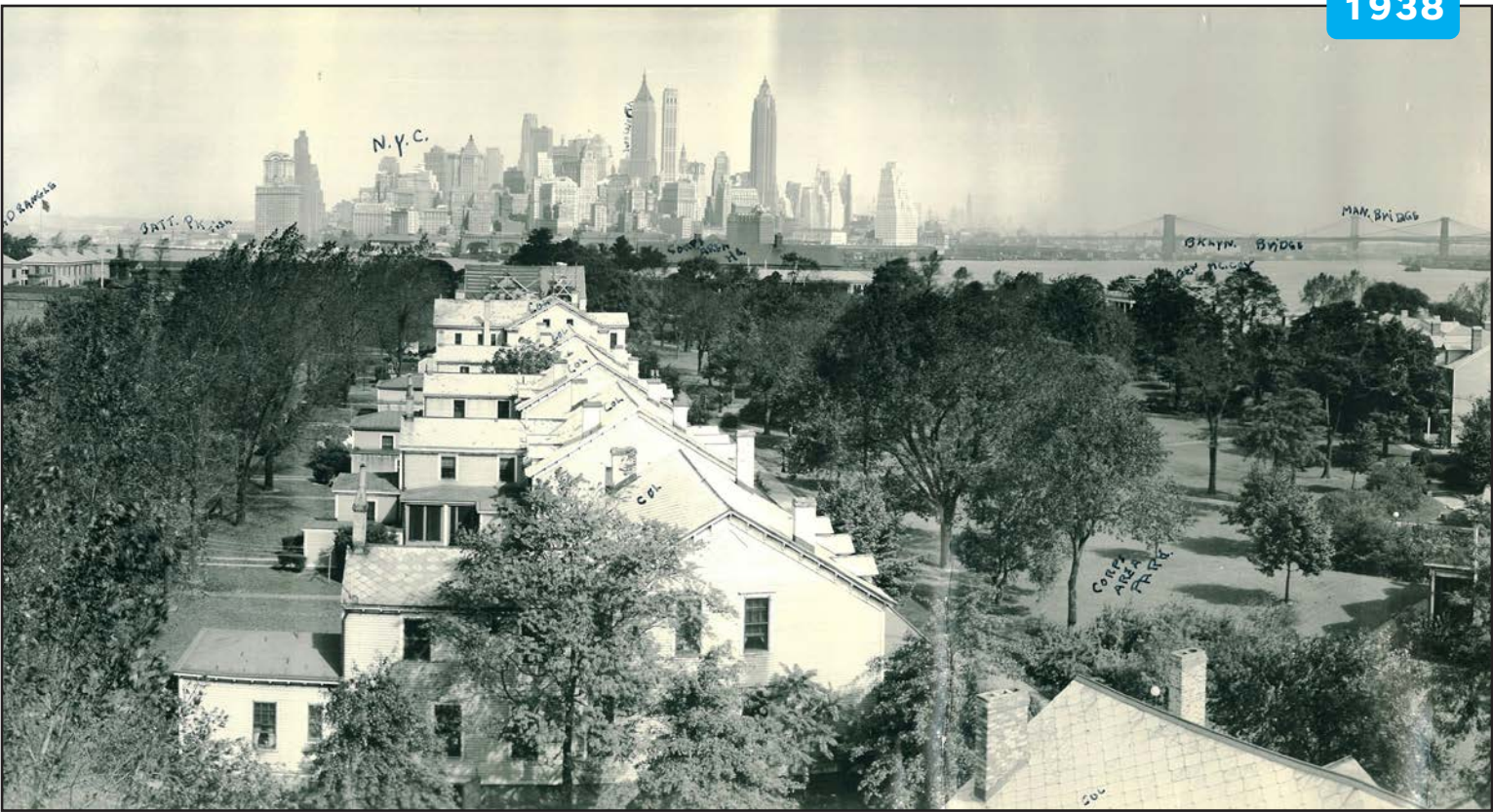
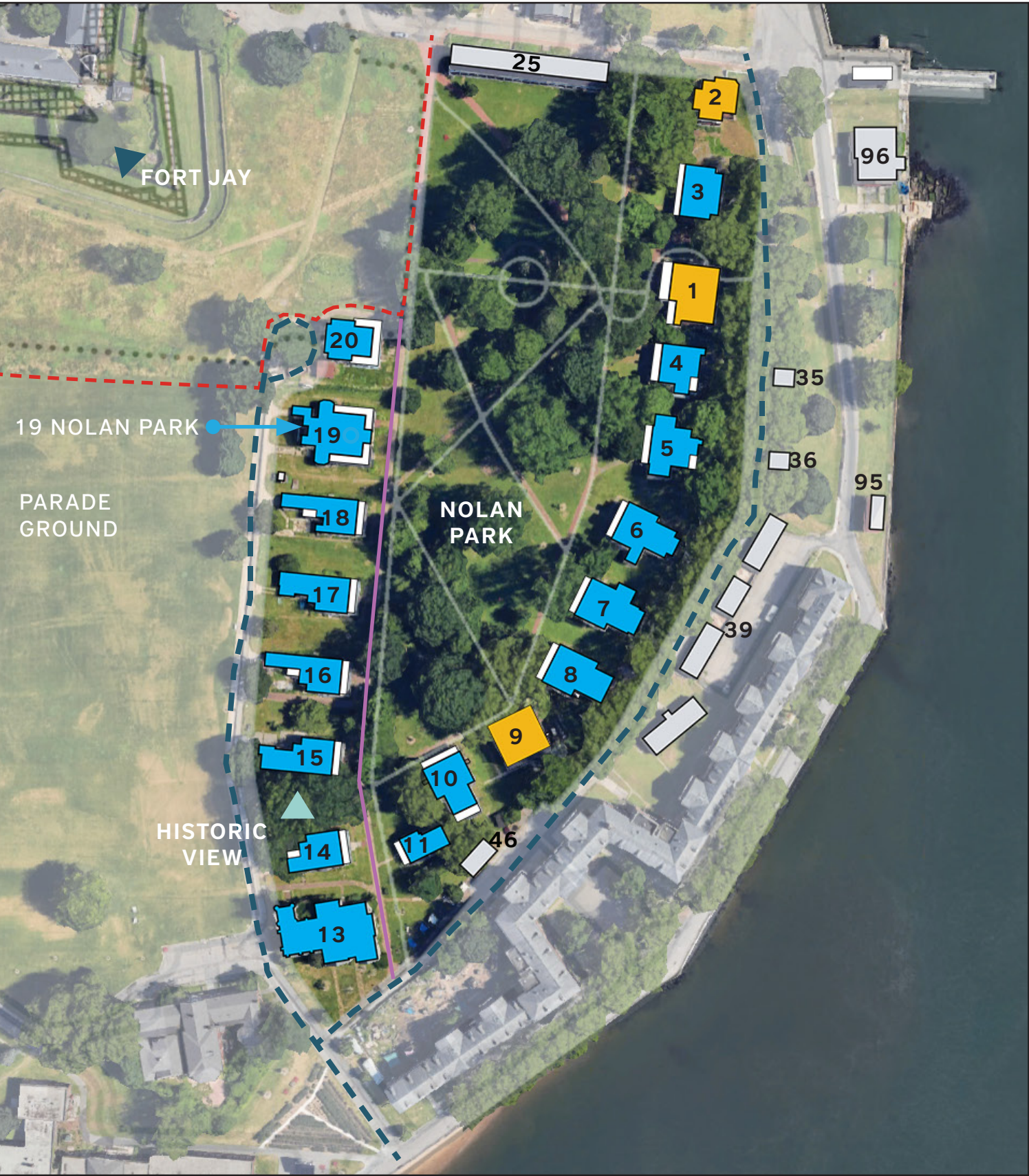
NOLAN PARK, HISTORIC VIEW OF REAR PORCHES



ENTRY PORCHES, LEFT, FACE ONTO THE INTERIOR OF NOLAN PARK WHILE EVANS ROAD, RIGHT, SERVED AS VEHICULAR ACCESS AND SERVICE ENTRIES FOR THE MILITARY OFFICERS HOUSING. AS A PUBLIC PARK, THE SERVICE REQUIREMENTS ARE OUTDATED AND THE BUILDING APPEAR CLOSED OFF TO PUBLIC ACCESS AND DISCONTINUED TO OTHER AREAS OF GOVERNORS ISLAND SUCH AS THE PARADE GROUNDS.

1.3 HISTORIC CONTEXT - LOCATION

NOLAN PARK AERIAL VIEW



1938 HISTORIC PHOTOGRAPH OF NOLAN PARK

VIEW FROM ABOVE BUILDING 13 TOWARDS NYC.
PORCHES FACE INWARD, TOWARDS NOLAN PARK EMPHASIZING PEDESTRIAN CIRCULATION
WITH GARAGES FACING PARADE GROUND FOR VEHICULAR CIRCULATION

- CONTRIBUTING TO THE HISTORIC DISTRICT
- INDIVIDUALLY LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES
- NON-CONTRIBUTING TO THE HISTORIC DISTRICT

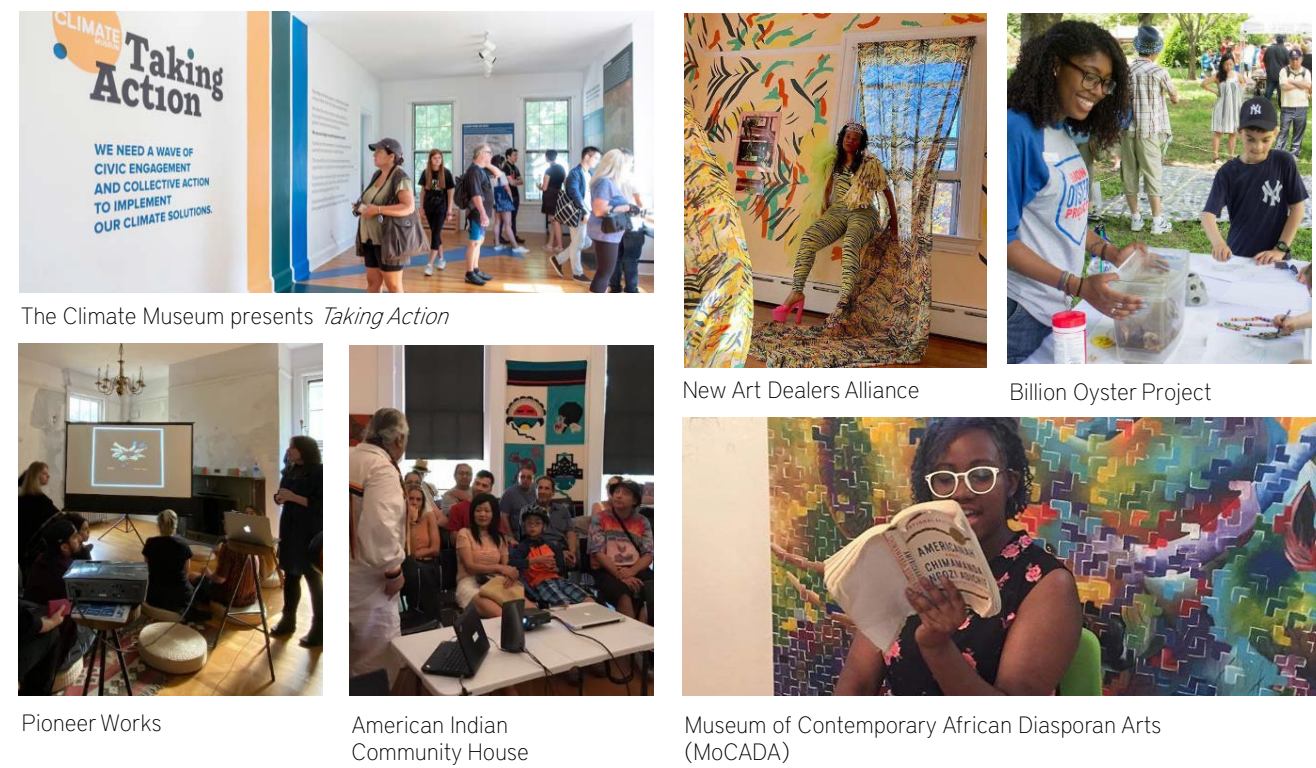
1.3 19 NOLAN PARK LOCATION

ZOOMED IN AERIAL VIEW



2.1 NOLAN PARK ARTS CAMPUS OVERVIEW

NOLAN PARK ARTS & CULTURAL PROGRAMMING



- Center of Island’s seasonal arts & cultural programming since 2006.
- Nearly 30 arts, sciences, education and environmental organizations present free public exhibitions, workshops and events each year.
- Trust issues annual open call as part of its “Organizations in Residence” program.
- The Trust hosted a pandemic response artist residency initiative that served over 100 artists.

NOLAN PARK ARTS & CULTURAL CAMPUS PLANNING



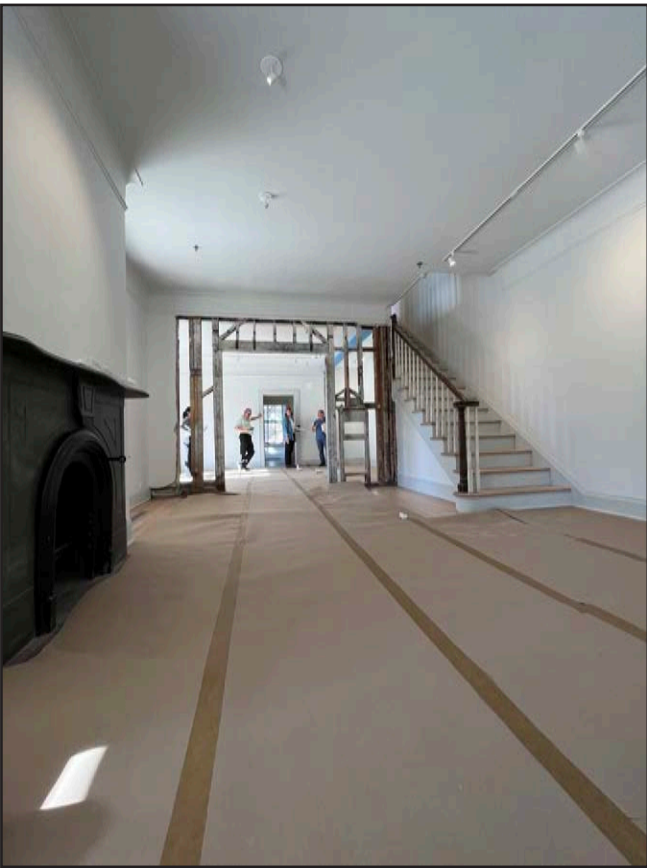
The Trust is working to establish a year- round, permanent arts and cultural campus in Nolan Park with the following goals:

- Renovate houses into year-round campus for cultural research, presentation and public engagement.
- Provide long-term exhibition, office and studio space for organizations.
- Foster collaboration and exchange amongst a diverse group of long-term tenants.
- Grow & diversify Island’s free and accessible offerings for audiences year-round.

2.2 20 NOLAN PARK SNAPSHOT



20 NOLAN PARK VIEW FROM EXTERIOR



LPC APPROVED WORK

1. REMOVAL OF GARAGE
2. RESTORED FRONT PORCH AND FRONT ENTRIES
3. NEW ACCESSIBLE RAMP
4. NEW CELLAR EGRESS ACCESS
5. RESTORATION AND REHABILITATION OF HISTORICAL DETAILS
6. RESTORATION OF EXISTING WINDOW



VIEW TOWARDS NEW ADA ACCESSIBLE RAMP

NEW TENANTS



1. BILLION OYSTER PROJECT



2. NYU GALLATIN SCHOOL

2.3 19 NOLAN PARK SNAPSHOT



VIEW TOWARDS EXISTING INTERIOR STAIR



VIEW FROM NORTH SIDE PORCH TO NOLAN PARK

CURRENT CONDITIONS

1. CURRENTLY OFF LIMITS TO THE PUBLIC
2. NOT USED FOR PUBLIC PROGRAMMING



VIEW TOWARDS EXISTING SITTING ROOM

FUTURE PLANS

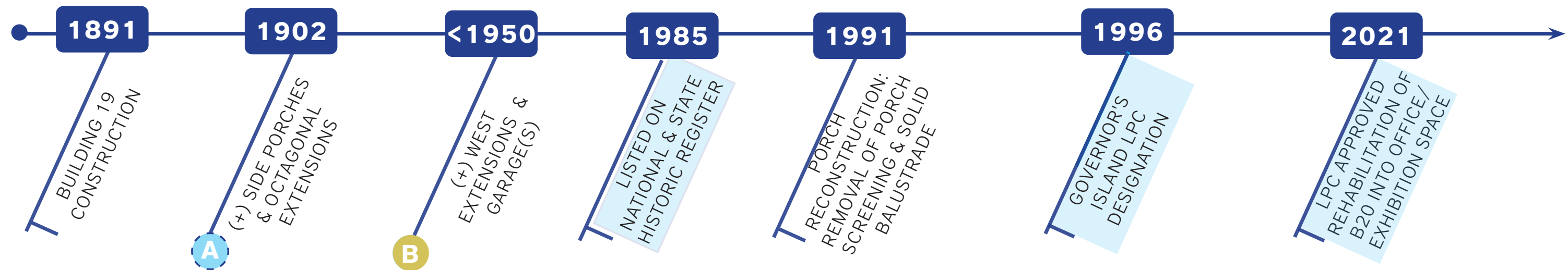
1. TWO UNITS FOR YEAR ROUND TENANTS
2. IMPROVED ACCESSIBILITY AND PUBLIC ACCESS

2.4 DESIGN STRATEGIES

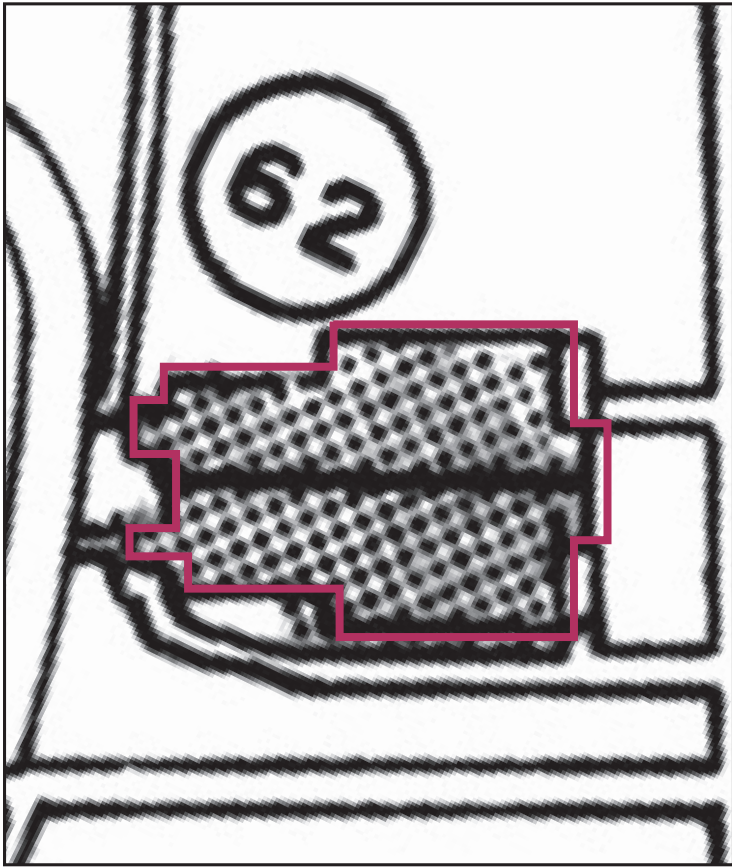
- REHABILITATE A RESIDENTIAL STRUCTURE INTO COMMERCIAL OFFICES WITH PUBLIC ACCESS AND EXHIBITION SPACE
- BETTER INTEGRATE BUILDING WITH LANDSCAPE AND SURROUNDING CONTEXT
- PROVIDE EQUITABLE ACCESS
- CREATE A SENSE OF OPENNESS TO THE PUBLIC
- UPGRADE BUILDING SYSTEMS TO MEET CONTEMPORARY BUILDING CODES



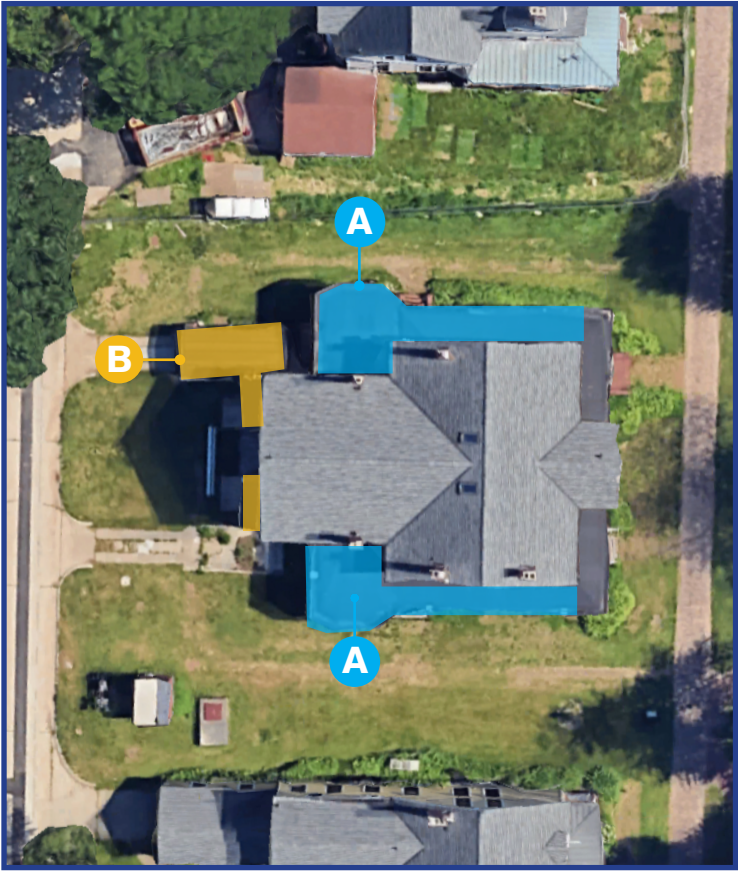
BUILDING HISTORY



SITE PLAN, 1908



CURRENT SITE PLAN, 2024



3.1 TIMELINE - HISTORIC CONDITIONS

B19 THROUGH TIME

FOOTPRINT, PORCHES, PORCH ENCLOSURE & DETAILS AND MATERIAL CLADDING HAVE CHANGED OVER THE YEARS



1934 - ORIGINAL WOOD SIDING VISIBLE



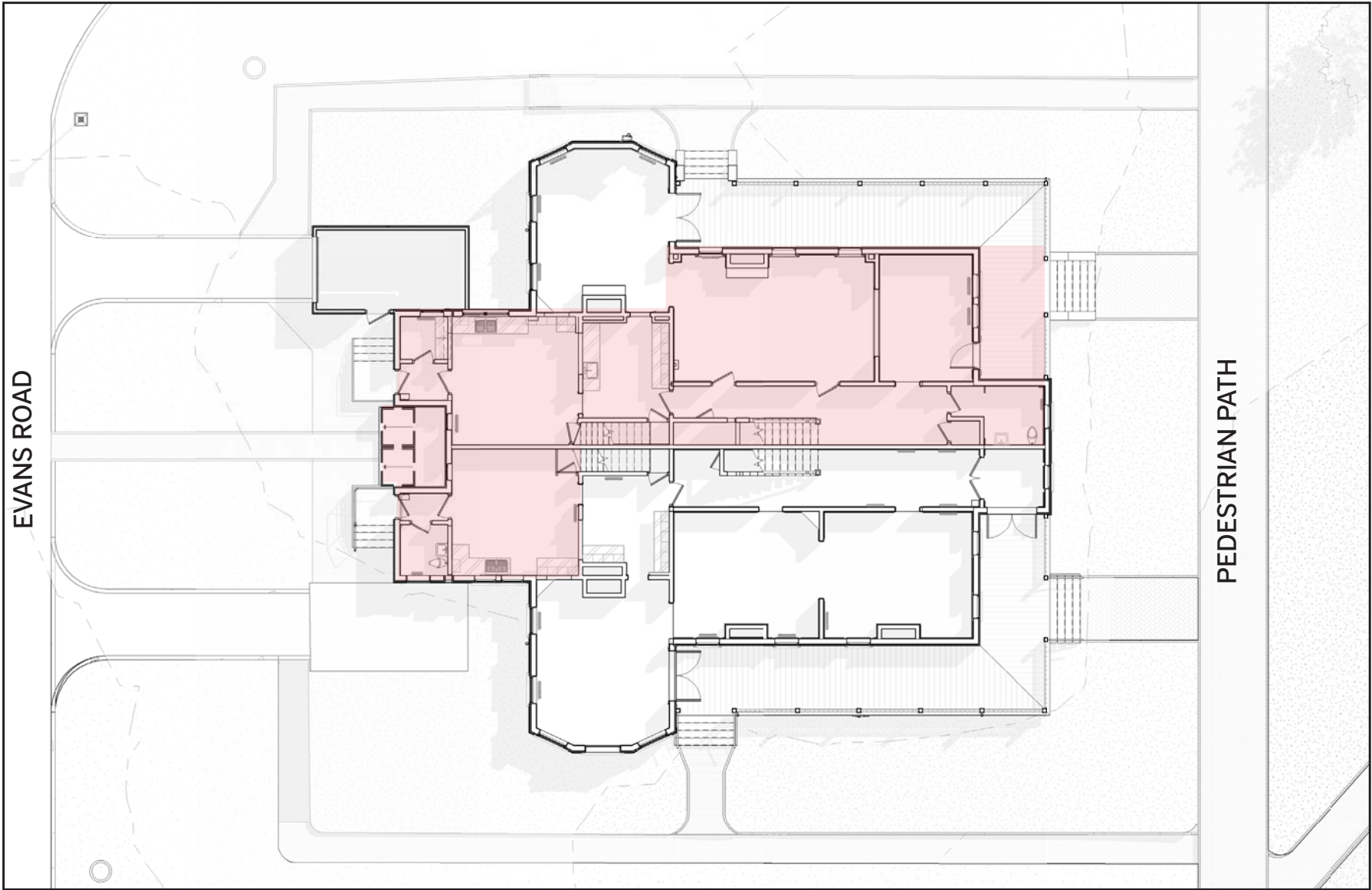
1956 - ADDITION OF ASBESTOS SHINGLES OVER WOOD SHINGLES



1982 - ASBESTOS SIDING VISIBLE



2024 - ASBESTOS SIDING REMOVED, ORIGINAL WOOD SIDING VISIBLE



EXISTING PLAN

VISIBLE PORTION OF HISTORIC PLAN



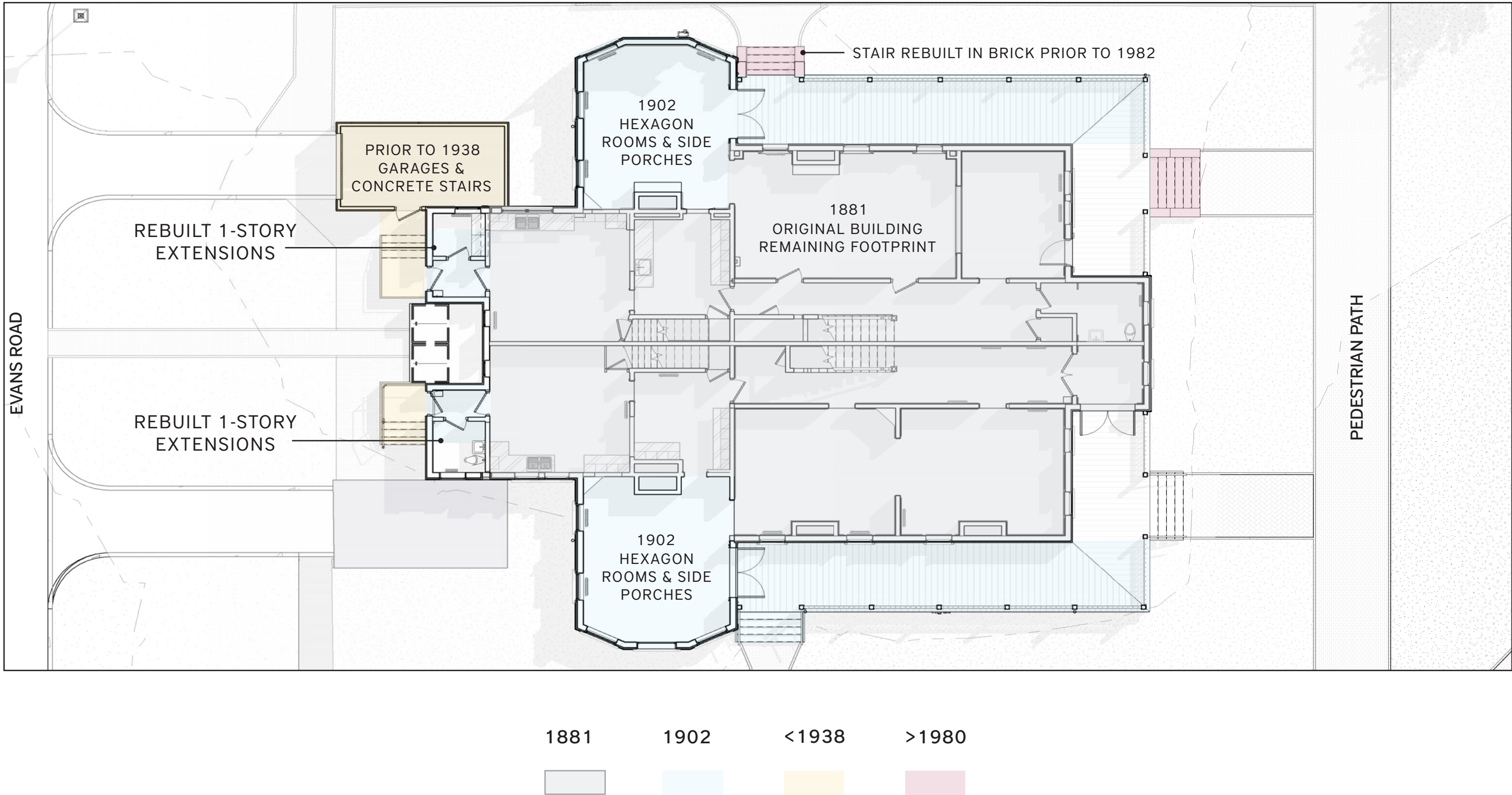
HISTORIC PLAN - 1902

SOURCE: 'HABS NO. NY-5715-17'

3.1 TIMELINE - HISTORIC CONDITIONS

CURRENT FLOOR PLAN: 2024

CHANGES OVER TIME



3.1 TIMELINE - HISTORIC CONDITIONS

PORCH COLONNADE

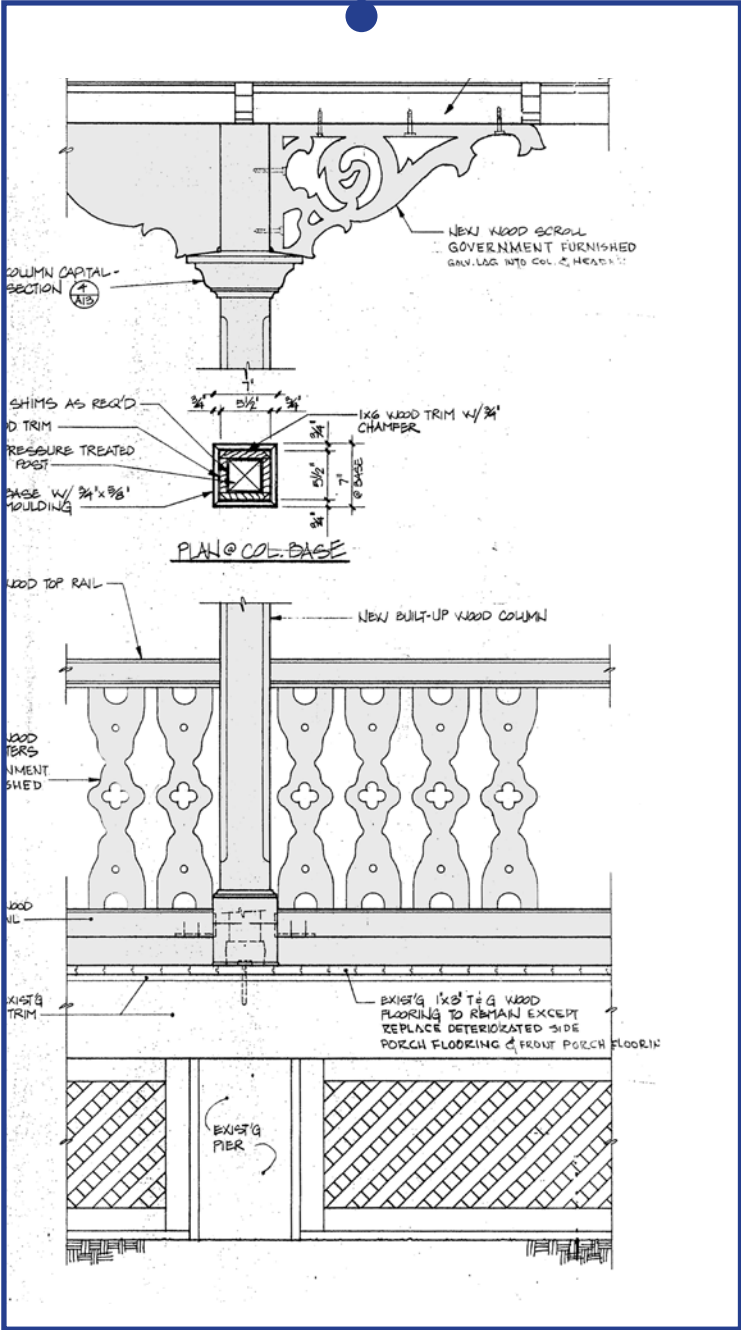
CHANGES OVER TIME



KEY ELEVATION



03.20.1934 PHOTO



06.04.1991 RENOVATION DRAWING



2024 EXISTING CONDITIONS

3.2 EXISTING CONDITIONS - EAST



3.2 EXISTING CONDITIONS ANALYSIS

EAST ELEVATION

- 1. PAINTED WOOD LATTICEWORK BETWEEN BRICK PIERS
- 2. PAINTED CMU FOUNDATION WALL BETWEEN BRICK PIERS
- 3. PAINTED BRICK FOUNDATION WALL
- 4. PAINTED WOOD STAIR UP TO PORCH WITH WOOD HANDRAILS; WOOD HANDRAILS IN POOR CONDITION
- 5. BRICK STAIR UP TO PORCH; NO HANDRAILS OR GUARDRAILS
- 6. 1 OVER 1 DOUBLE-HUNG WOOD WINDOWS WITH ALUMINUM STORM WINDOW, TYPICAL
- 7. WOOD PICKETS AND SCROLLWORK; LIKELY FROM 1991 RENOVATION
- 8. COPPER GUTTERS AND LEADERS
- 9. ROLL ASPHALT ROOFING ABOVE PORCH ROOF; SOME VISIBLE CURLING OF SHINGLES
- 10. FLASHING AT CHIMNEY BASE
- 11. PAINTED WOOD CLAPBOARD; +/- 3-1/2" EXPOSED BEYOND OVERLAP
- 12. PAINTED WHITE CORNER BOARD, ± 6" WIDE TYPICAL
- 13. PAINTED WOOD TRIM BOARD, ± 8" WIDE TYPICAL WITH EXPOSED METAL FLASHING OVERLAP
- 14. DOUBLE BRACKETS ALONG ROOF LINE WITH RAISED APPLIED MOULDINGS AT EAST FACADE
- 15. ALTERNATING SINGLE AND DOUBLE BRACKETS BELOW PORCH ROOF; LIKELY ORIGINAL TO BUILDING
- 16. ASPHALT SHINGLE ROOFING AT MAIN ROOF; SOME VISIBLE CURLING OF SHINGLES



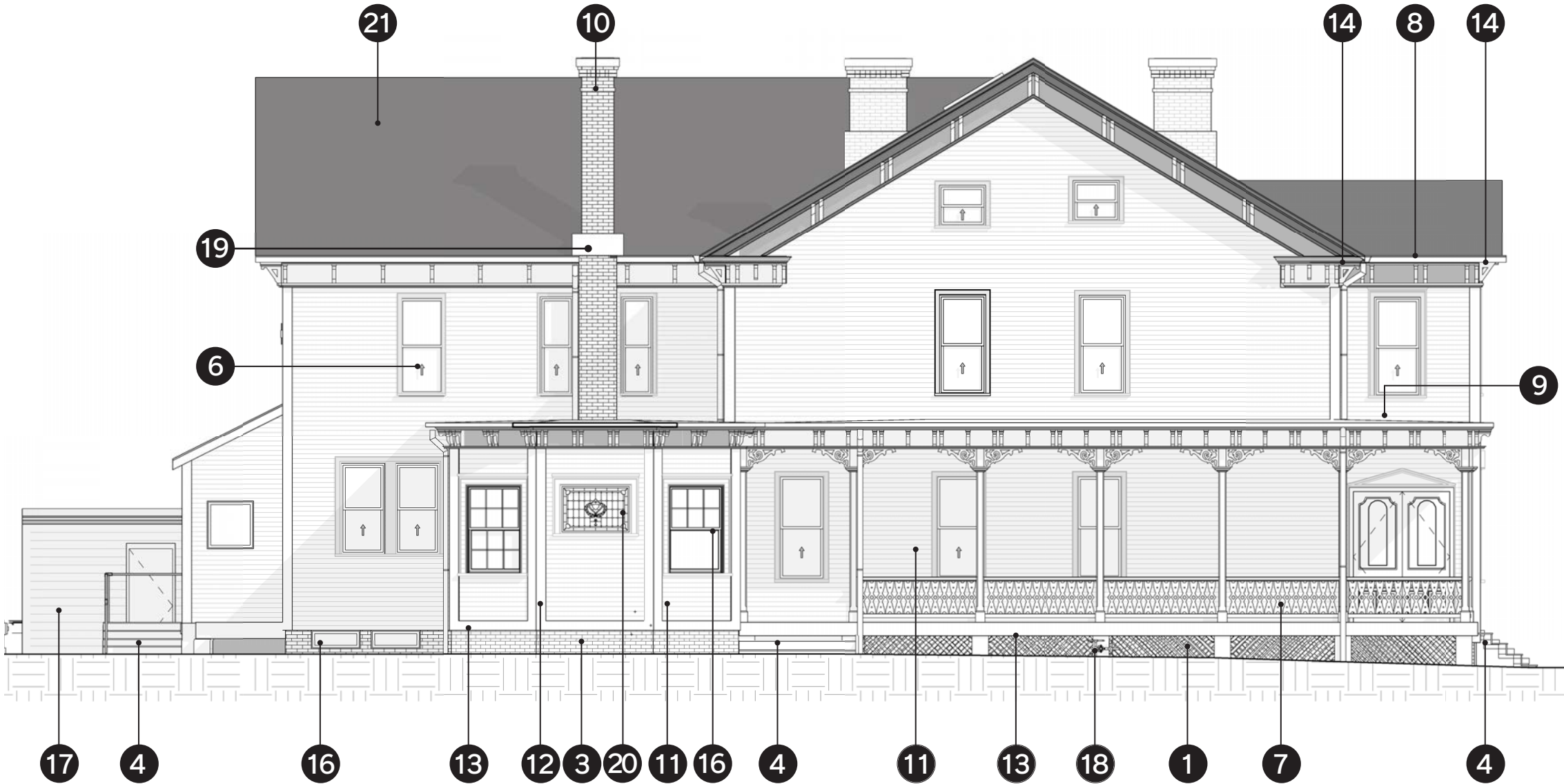
3.2 EXISTING CONDITIONS - SOUTH



3.2 EXISTING CONDITIONS ANALYSIS

SOUTH ELEVATION

- 1. PAINTED WOOD LATTICEWORK BETWEEN BRICK PIERS
- 2. PAINTED CMU FOUNDATION WALL BETWEEN BRICK PIERS
- 3. PAINTED BRICK FOUNDATION WALL
- 4. PAINTED WOOD STAIR UP TO PORCH WITH WOOD HANDRAILS; WOOD HANDRAILS IN POOR CONDITION
- 5. BRICK STAIR UP TO PORCH; NO HANDRAILS OR GUARDRAILS
- 6. 1 OVER 1 DOUBLE-HUNG WOOD WINDOWS WITH ALUMINUM STORM WINDOW, TYPICAL
- 7. WOOD PICKETS AND SCROLL-WORK; LIKELY FROM 1991 RENOVATION
- 8. COPPER GUTTERS AND LEADERS
- 9. ASPHALT ROOFS ABOVE PORCH ROOF; SOME VISIBLE CURLING OF SHINGLES
- 10. BRICK CHIMNEY; VISIBLE SIGNS OF BRICK SPALLING
- 11. PAINTED WOOD CLAPBOARD; 3-1/2" EXPOSED BEYOND OVERLAP
- 12. PAINTED WHITE CORNER BOARD, ± 6" WIDE TYPICAL
- 13. PAINTED WOOD TRIM BOARD, ± 8" WIDE TYPICAL WITH EXPOSED METAL FLASHING OVERLAP
- 14. DOUBLE BRACKETS ALONG ROOF LINE
- 15. ALTERNATING SINGLE AND DOUBLE BRACKETS BELOW PORCH ROOF; LIKELY ORIGINAL TO BUILDING
- 16. 6 OVER 1 DOUBLE-HUNG WOOD WINDOWS WITH ALUMINUM STORM WINDOW
- 17. 1-STORY GARAGE WITH WOOD ROLL-UP GARAGE DOORS
- 18. GAS METER
- 19. FLASHING @ BASE OF CHIMNEYFIXED STAINED GLASS WINDOW
- 20. FIXED STAINED GLASS WINDOW
- 21. ASPHALT SHINGLE ROOFING AT MAIN ROOF; SOME VISIBLE CURLING OF SHINGLES



3.2 EXISTING CONDITIONS - WEST



3.2 EXISTING CONDITIONS ANALYSIS

WEST ELEVATION

- 1. CMU STOOP WITH PRE-CAST PLANKS AT TOP LANDING
- 2. PAINTED BRICK FOUNDATION WALL
- 3. SLOPED STEEL CELLAR DOORS
- 4. 1-STORY GARAGE WITH WOOD ROLL-UP GARAGE DOORS
- 5. 6 OVER 1 DOUBLE-HUNG WOOD WINDOWS WITH ALUMINUM STORM WINDOW
- 6. 1 OVER 1 DOUBLE-HUNG WOOD WINDOWS WITH ALUMINUM STORM WINDOW, TYPICAL
- 7. SKYLIGHTS @ MAIN ROOF
- 8. COPPER GUTTERS AND LEADERS
- 9. ROLL ASPHALT ROOFING ABOVE PORCH ROOF; SOME VISIBLE CURLING OF SHINGLES
- 10. BRICK CHIMNEY; VISIBLE SIGNS OF BRICK SPALLING
- 11. PAINTED WOOD CLAPBOARD; +/-3-1/2" EXPOSED BEYOND OVERLAP
- 12. PAINTED WHITE CORNER BOARD, ± 6" WIDE TYPICAL
- 13. PAINTED WOOD TRIM BOARD, ± 8" WIDE TYPICAL WITH EXPOSED METAL FLASHING OVERLAP
- 14. DOUBLE BRACKETS ALONG ROOF LINE
- 15. STANDING SEAM METAL ROOF
- 16. FIXED CELLAR WINDOW
- 17. ASPHALT SHINGLE ROOFING AT MAIN ROOF; SOME VISIBLE CURLING OF SHINGLES



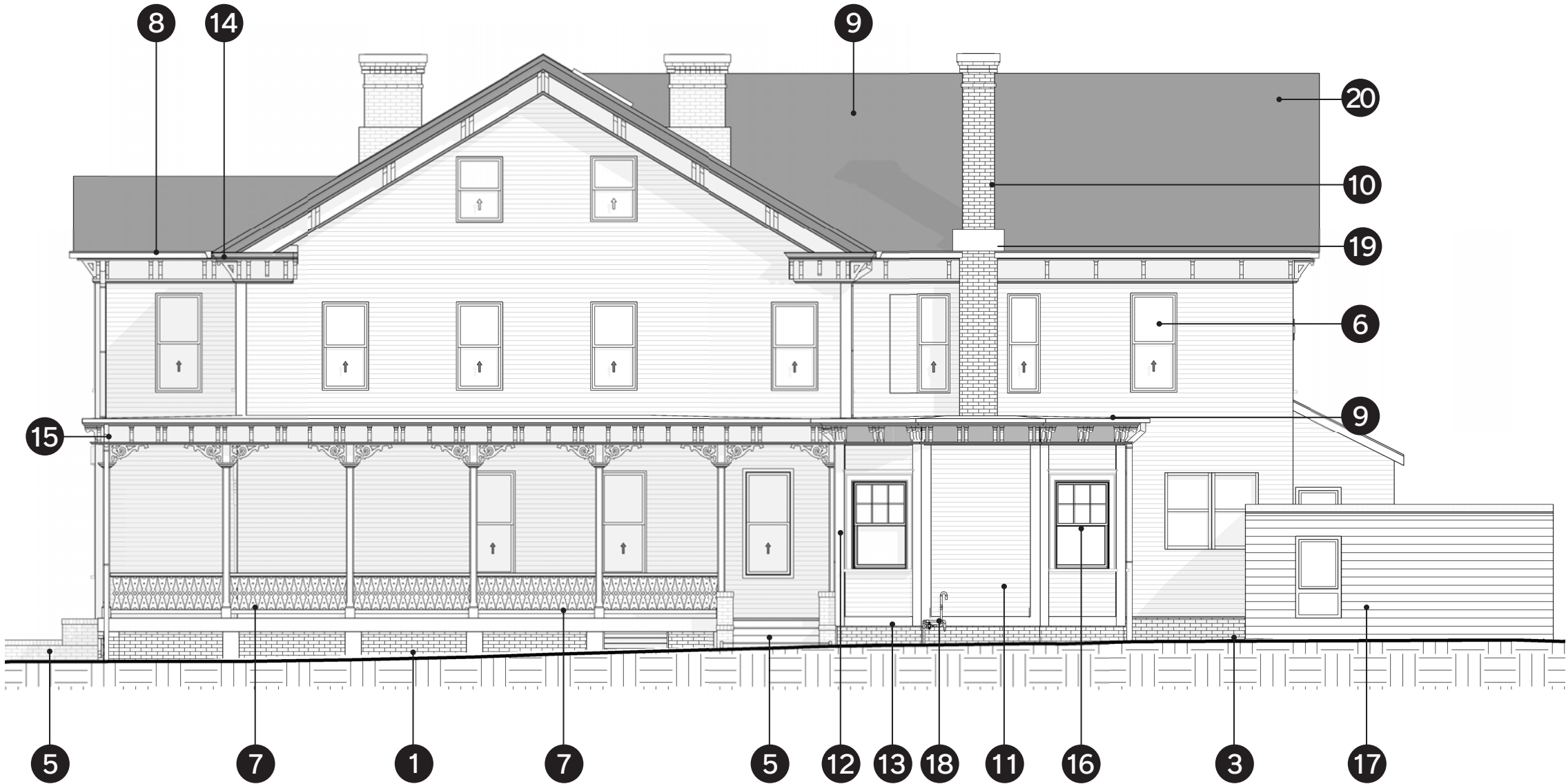
3.2 EXISTING CONDITIONS - NORTH



3.2 EXISTING CONDITIONS ANALYSIS

NORTH ELEVATION

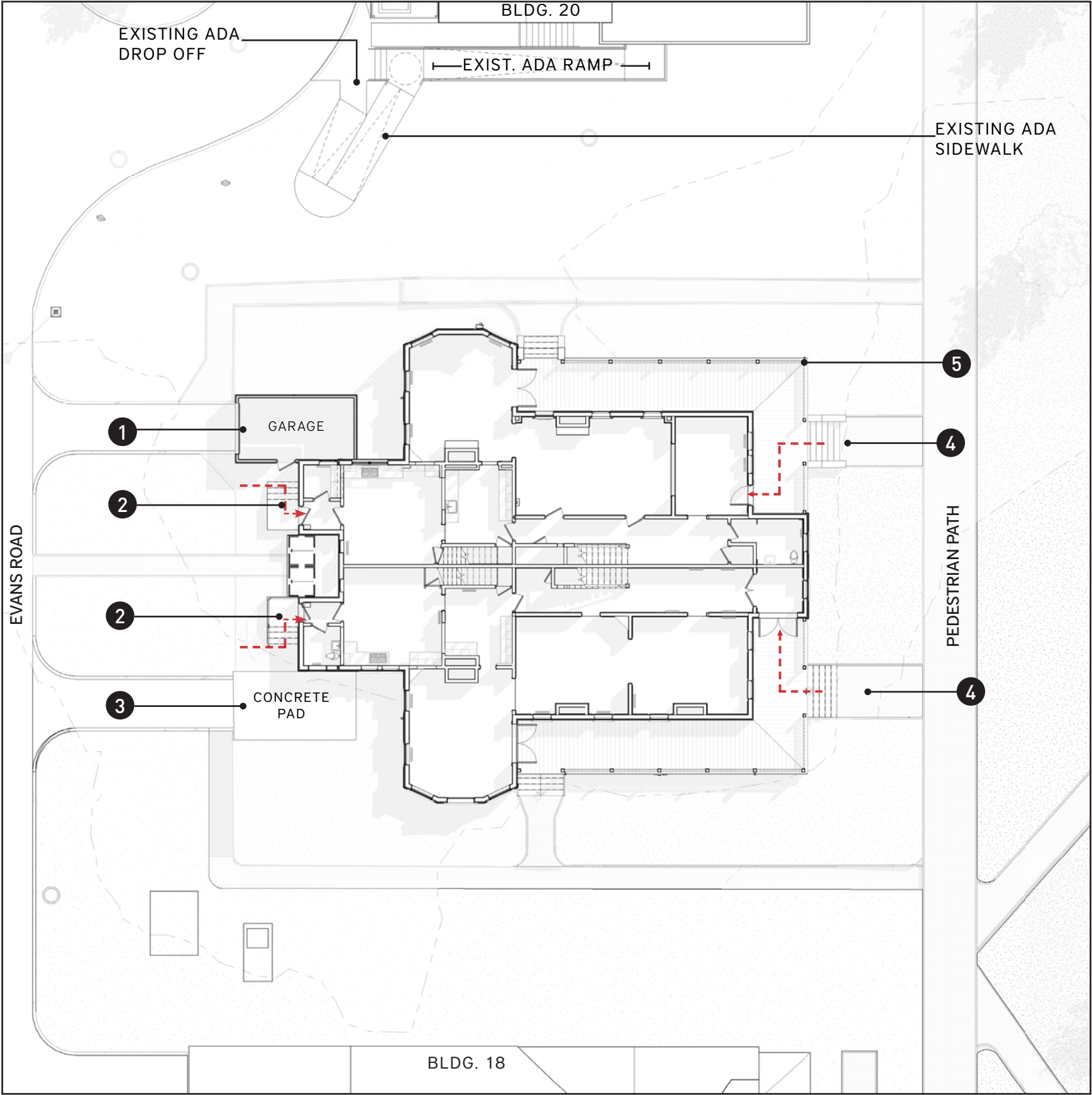
- 1. PAINTED WOOD LATTICEWORK BETWEEN BRICK PIERS
- 2. PAINTED CMU FOUNDATION WALL BETWEEN BRICK PIERS
- 3. PAINTED BRICK FOUNDATION WALL
- 4. PAINTED WOOD STAIR UP TO PORCH WITH WOOD HANDRAILS; WOOD HANDRAILS IN POOR CONDITION
- 5. BRICK STAIR UP TO PORCH; NO HANDRAILS OR GUARDRAILS
- 6. 1 OVER 1 DOUBLE-HUNG WOOD WINDOWS WITH ALUMINUM STORM WINDOW, TYPICAL
- 7. WOOD PICKETS AND SCROLL-WORK; LIKELY FROM 1991 RENOVATION
- 8. COPPER GUTTERS AND LEADERS
- 9. ROLL ASPHALT ROOFING ABOVE PORCH ROOF; SOME VISIBLE CURLING OF SHINGLES
- 10. BRICK CHIMNEY; VISIBLE SIGNS OF BRICK SPALLING
- 11. PAINTED WOOD CLAPBOARD; +/- 3-1/2" EXPOSED BEYOND OVERLAP
- 12. PAINTED WHITE CORNER BOARD, ± 6" WIDE TYPICAL
- 13. PAINTED WOOD TRIM BOARD, ± 8" WIDE TYPICAL WITH EXPOSED METAL FLASHING OVERLAP
- 14. DOUBLE BRACKETS ALONG ROOF LINE
- 15. ALTERNATING SINGLE AND DOUBLE BRACKETS BELOW PORCH ROOF; LIKELY ORIGINAL TO BUILDING
- 16. 6 OVER 1 DOUBLE-HUNG WOOD WINDOWS WITH ALUMINUM STORM WINDOW
- 17. 1-STORY GARAGE WITH WOOD ROLL-UP GARAGE DOORS
- 18. GAS METER
- 19. FLASHING @ BASE OF CHIMNEY FIXED STAINED GLASS WINDOW
- 20. ASPHALT SHINGLE ROOFING AT MAIN ROOF; SOME VISIBLE CURLING OF SHINGLES



3.2 EXISTING SITE PLAN

- RECONSTRUCT EXISTING ENTRIES AND PORCH AT EAST ENTRANCE FACING NOLAN PARK
- REPURPOSE GARAGE AND SERVICE ENTIRES WITH NEW PUBLIC ACCESSIBLE ENTRANCE AND PORCH FACING PARADE GROUNDS
- NEW PORCH AND CANOPY TO BE DISTINCT IN CHARACTER FROM HISTORIC FABRIC, BUT WITH SCALE AND MATERIALITY IN KEEPING WITH EXISTING BUILDING

- 1 EXISTING ADDITIONS TO BE DEMOLISHED
- 2 FORMER SERVICE ENTRY
- 3 GARAGE ADDITION REMOVED; EXISTING LANDING PAD TO BE REMOVED
- 4 EXISTING MAIN ENTRY
- 5 EXISTING FRONT PORCH IN POOR CONDITION (TO BE REBUILT)

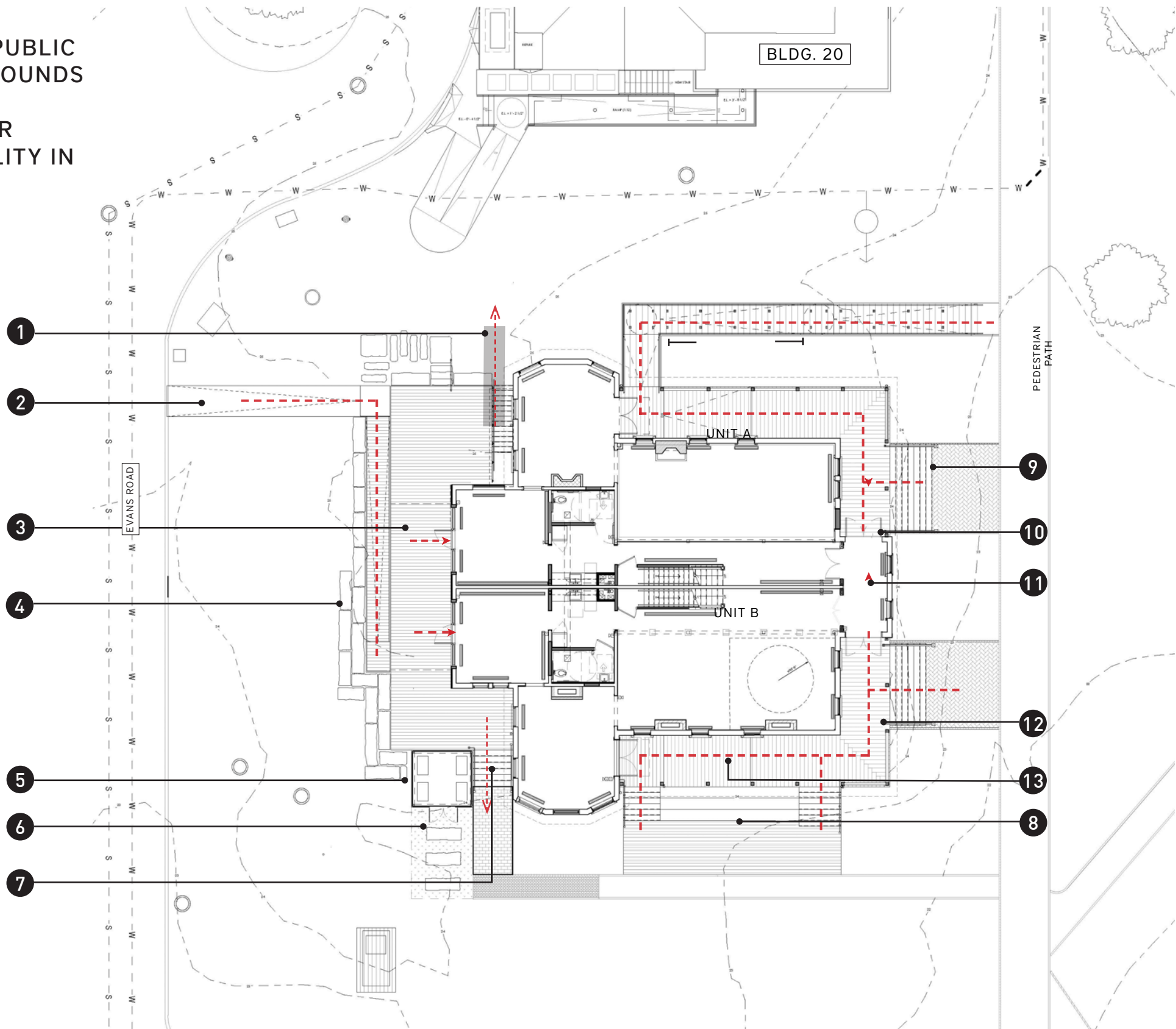


4.1 PROPOSED SITE PLAN

- RECONSTRUCT EXISTING ENTRIES AND PORCH AT EAST ENTRANCE FACING NOLAN PARK
- REPURPOSE GARAGE AND SERVICE ENTIERES WITH NEW PUBLIC ACCESSIBLE ENTRANCE AND PORCH FACING PARADE GROUNDS
- NEW PORCH AND CANOPY TO BE DISTINCT IN CHARACTER FROM HISTORIC FABRIC, BUT WITH SCALE AND MATERIALITY IN KEEPING WITH EXISTING BUILDING

PROPOSED SITE PLAN

- 1 NEW CELLAR TO EGRESS TO GRADE
- 2 NEW ADA RAMP
- 3 NEW WOOD DECK
- 4 NEW RE-PURPOSED STONE PAVERS FOR SEATING
- 5 NEW MECHANICAL ENCLOSURE
- 6 NEW RE-PURPOSED CONCRETE PAVERS
- 7 NEW WOOD STAIRS
- 8 NEW STAIRS & BLEACHER SEATING AT SIDE PORCHES
- 9 REHABILITATED WOOD STAIRS
- 10 RELOCATED ENTRY DOOR
- 11 NEW SHARED VESTIBULE
- 12 REHABILITATED WOOD PORCH
- 13 NEW STAIRS & BLEACHER SEATING
- 14 RE-PURPOSED STONE BLOCKS FOR SEATING



4.2 PROPOSED ELEVATIONS



PROPOSED - EAST FACADE



PROPOSED - SOUTH FACADE



PROPOSED - WEST FACADE



PROPOSED - NORTH FACADE

4.3 PROPOSED WEST ENTRY FACING THE PARADE GROUND

PROPOSED DESIGN PERSPECTIVE



4.3 PROPOSED EAST ENTRY FACING NOLAN PARK

PROPOSED DESIGN PERSPECTIVE



5.1 PROPOSED EXTERIOR WORK

I. FRONT PORCH

- 1. RECONSTRUCTION OF ORIGINAL FRONT PORCH AND ENTRY STAIRS
- 2. NEW COLUMNS AND BALUSTRADE AT PORCH TO MATCH DESIGN INTENT OF ORIGINAL PORCH CIRCA 1930S
- 3. EXISTING DOUBLE-DOORS TO REMAIN
- 4. EXISTING PEDIMENTS TO BE RESTORED AND REPAINTED

II. REAR PORCH

- 5. NEW REAR PORCH WITH STONE STEPS TO GRADE; REUSE STONE FROM NOLAN PARK SITE FOR STEPS
- 6. NEW PAINTED WOOD DOORS WITH GLASS PANEL AND GLASS LITES ON EITHER SIDE OF DOOR FOR MORE WELCOMING ENTRY
- 7. NEW STANDING SEAM METAL ROOF WITH TIE-BACKS TO FACADE
- 8. NEW ADA-COMPLIANT RAMP AND HANDRAILS; HANDRAILS WITH INCORPORATED LED STRIP-LIGHTING FOR ACCESSIBILITY

III. FACADE

- 9. REPAINT EXISTING CHIMNEYS
- 10. NEW VENT LOUVER AT EXISTING WINDOWS
- 11. RESTORATION OF ORIGINAL BRACKETS AND MOULDINGS
- 12. EXISTING CLAPBOARD TO BE RESTORED AND REPAINTED
- 13. NEW PORTION OF EXTERIOR WALL TO BE FINISHED WITH SALVAGED/MATCHING CLAPBOARD
- 14. REPAIR EXISTING COPPER GUTTER AND DOWNSPOUTS 'IN KIND'

IV. WINDOWS

- 15. NEW 6 OVER 6 DOUBLE-HUNG ALUMINUM-CLAD WOOD WINDOWS TO MATCH HISTORIC CONDITIONS; SURROUNDING MOULDINGS TO BE REPAIRED
- 16. RESTORATION OF EXISTING STAINED GLASS WINDOW; SURROUNDING MOULDINGS TO BE REPAIRED

PROPOSED - EAST FACADE



5.1 PROPOSED EXTERIOR WORK

I. FRONT PORCH

- 1. RECONSTRUCTION OF ORIGINAL FRONT PORCH AND ENTRY STAIRS
- 2. NEW COLUMNS AND BALUSTRADE AT PORCH TO MATCH DESIGN INTENT OF ORIGINAL PORCH CIRCA 1930S
- 3. EXISTING DOUBLE-DOORS TO REMAIN
- 4. EXISTING PEDIMENTS TO BE RESTORED AND REPAINTED

II. REAR PORCH

- 5. NEW REAR PORCH WITH STONE STEPS TO GRADE; REUSE STONE FROM NOLAN PARK SITE FOR STEPS
- 6. NEW PAINTED WOOD DOORS WITH GLASS PANEL AND GLASS LITES ON EITHER SIDE OF DOOR FOR MORE WELCOMING ENTRY
- 7. NEW STANDING SEAM METAL ROOF WITH TIE-BACKS TO FACADE
- 8. NEW ADA-COMPLIANT RAMP AND HANDRAILS; HANDRAILS WITH INCORPORATED LED STRIP-LIGHTING FOR ACCESSIBILITY

III. FACADE

- 9. REPAINT EXISTING CHIMNEYS
- 10. NEW VENT LOUVER AT EXISTING WINDOWS
- 11. RESTORATION OF ORIGINAL BRACKETS AND MOULDINGS
- 12. EXISTING CLAPBOARD TO BE RESTORED AND REPAINTED
- 13. NEW PORTION OF EXTERIOR WALL TO BE FINISHED WITH SALVAGED/MATCHING CLAPBOARD
- 14. REPAIR EXISTING COPPER GUTTER AND DOWNSPOUTS 'IN KIND'

IV. WINDOWS

- 15. NEW 6 OVER 6 DOUBLE-HUNG ALUMINUM-CLAD WOOD WINDOWS TO MATCH HISTORIC CONDITIONS; SURROUNDING MOULDINGS TO BE REPAIRED
- 16. RESTORATION OF EXISTING STAINED GLASS WINDOW; SURROUNDING MOULDINGS TO BE REPAIRED

PROPOSED - WEST FACADE



5.1 PROPOSED EXTERIOR WORK

I. FRONT PORCH

- 1. RECONSTRUCTION OF ORIGINAL FRONT PORCH AND ENTRY STAIRS
- 2. NEW COLUMNS AND BALUSTRADE AT PORCH TO MATCH DESIGN INTENT OF ORIGINAL PORCH CIRCA 1930S
- 3. EXISTING DOUBLE-DOORS TO REMAIN
- 4. EXISTING PEDIMENTS TO BE RESTORED AND REPAINTED

II. REAR PORCH

- 5. NEW REAR PORCH WITH STONE STEPS TO GRADE; REUSE STONE FROM NOLAN PARK SITE FOR STEPS
- 6. NEW PAINTED WOOD DOORS WITH GLASS PANEL AND GLASS LITES ON EITHER SIDE OF DOOR FOR MORE WELCOMING ENTRY
- 7. NEW STANDING SEAM METAL ROOF WITH TIE-BACKS TO FACADE
- 8. NEW ADA-COMPLIANT RAMP AND HANDRAILS; HANDRAILS WITH INCORPORATED LED STRIP-LIGHTING FOR ACCESSIBILITY

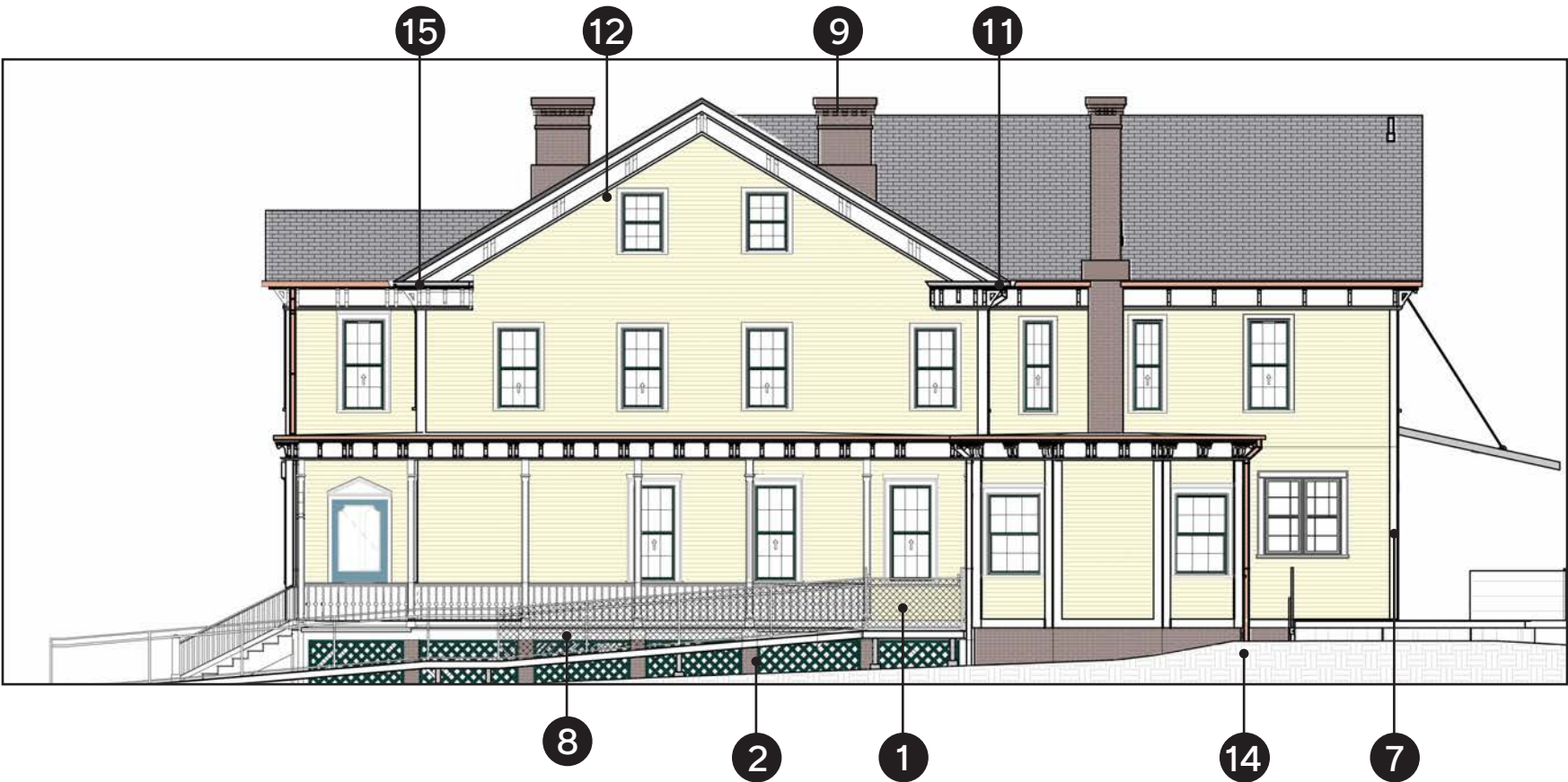
III. FACADE

- 9. REPAINT EXISTING CHIMNEYS
- 10. NEW VENT LOUVER AT EXISTING WINDOWS
- 11. RESTORATION OF ORIGINAL BRACKETS AND MOULDINGS
- 12. EXISTING CLAPBOARD TO BE RESTORED AND REPAINTED
- 13. NEW PORTION OF EXTERIOR WALL TO BE FINISHED WITH SALVAGED/MATCHING CLAPBOARD
- 14. REPAIR EXISTING COPPER GUTTER AND DOWNSPOUTS 'IN KIND'

IV. WINDOWS

- 15. NEW 6 OVER 6 DOUBLE-HUNG ALUMINUM-CLAD WOOD WINDOWS TO MATCH HISTORIC CONDITIONS; SURROUNDING MOULDINGS TO BE REPAIRED
- 16. RESTORATION OF EXISTING STAINED GLASS WINDOW; SURROUNDING MOULDINGS TO BE REPAIRED

PROPOSED - NORTH FACADE



5.1 PROPOSED EXTERIOR WORK

I. FRONT PORCH

- 1. RECONSTRUCTION OF ORIGINAL FRONT PORCH AND ENTRY STAIRS
- 2. NEW COLUMNS AND BALUSTRADE AT PORCH TO MATCH DESIGN INTENT OF ORIGINAL PORCH CIRCA 1930S
- 3. EXISTING DOUBLE-DOORS TO REMAIN
- 4. EXISTING PEDIMENTS TO BE RESTORED AND REPAINTED

II. REAR PORCH

- 5. NEW REAR PORCH WITH STONE STEPS TO GRADE; REUSE STONE FROM NOLAN PARK SITE FOR STEPS
- 6. NEW PAINTED WOOD DOORS WITH GLASS PANEL AND GLASS LITES ON EITHER SIDE OF DOOR FOR MORE WELCOMING ENTRY
- 7. NEW STANDING SEAM METAL ROOF WITH TIE-BACKS TO FACADE
- 8. NEW ADA-COMPLIANT RAMP AND HANDRAILS; HANDRAILS WITH INCORPORATED LED STRIP-LIGHTING FOR ACCESSIBILITY

III. FACADE

- 9. REPAINT EXISTING CHIMNEYS
- 10. NEW VENT LOUVER AT EXISTING WINDOWS
- 11. RESTORATION OF ORIGINAL BRACKETS AND MOULDINGS
- 12. EXISTING CLAPBOARD TO BE RESTORED AND REPAINTED
- 13. NEW PORTION OF EXTERIOR WALL TO BE FINISHED WITH SALVAGED/MATCHING CLAPBOARD
- 14. REPAIR EXISTING COPPER GUTTER AND DOWNSPOUTS 'IN KIND'

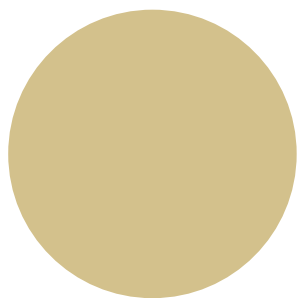
IV. WINDOWS

- 15. NEW 6 OVER 6 DOUBLE-HUNG ALUMINUM-CLAD WOOD WINDOWS TO MATCH HISTORIC CONDITIONS; SURROUNDING MOULDINGS TO BE REPAIRED
- 16. RESTORATION OF EXISTING STAINED GLASS WINDOW; SURROUNDING MOULDINGS TO BE REPAIRED

PROPOSED - SOUTH FACADE



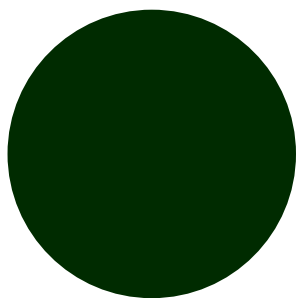
5.2 EXTERIOR FINISHES



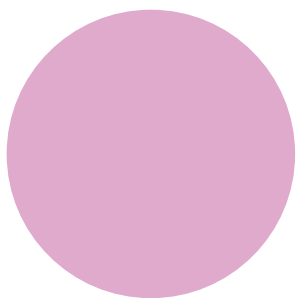
CLAPBOARD SIDING
Match Existing



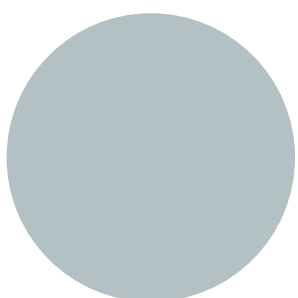
WOOD TRIMS, EAVES, COLUMNS,
RAILING, WINDOWS & DOOR CASINGS
Match Existing



SHUTTERS, SECONDARY
DOORS & WINDOW SASHES
B.M. 714 Hidden Falls



ENTRY DOOR TO WEST FACADE
REAR PORCH
COLOR B.M. 2022-30 BRIGHT YELLOW



PORCH DECK & CEILING,
STAIR TREADS
B.M. AC-22 Nantucket Fog



EXTERIOR RAMPS AND
RAMP WALL
MATERIAL CORTEN STEEL



5.3 APPROVED WINDOW MASTER PLAN FOR ALU-CLAD WINDOWS



20 NOLAN PARK, INSTALLED WINDOWS AS REFERENCE

THIS IS NOT A PERMIT
No work may proceed until the final filing drawings are reviewed and marked as approved by the Landmarks Preservation Commission staff.



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007
TEL: 212 669-7700 FAX: 212 669-7780



February 15, 2022

ISSUED TO:

Chris Tepper
The Trust for Governors Island
10 South Street
Slip 7
New York, NY 10004

Re: **STATUS UPDATE LETTER**
LPC-21-09698
SUL-21-09698
GOVERNORS ISLAND
Building 20
Governors Island Historic District
MANHATTAN
Block/Lot: 1 / 10

This letter is to inform you that at the Public Meeting of December 7, 2021, following the Public Hearing of the same date, the Landmarks Preservation Commission voted to approve a proposal to establish a master plan governing the future installation of windows at the subject premises, as put forward in your application completed on November 10, 2021. The approval will expire on December 7, 2027.

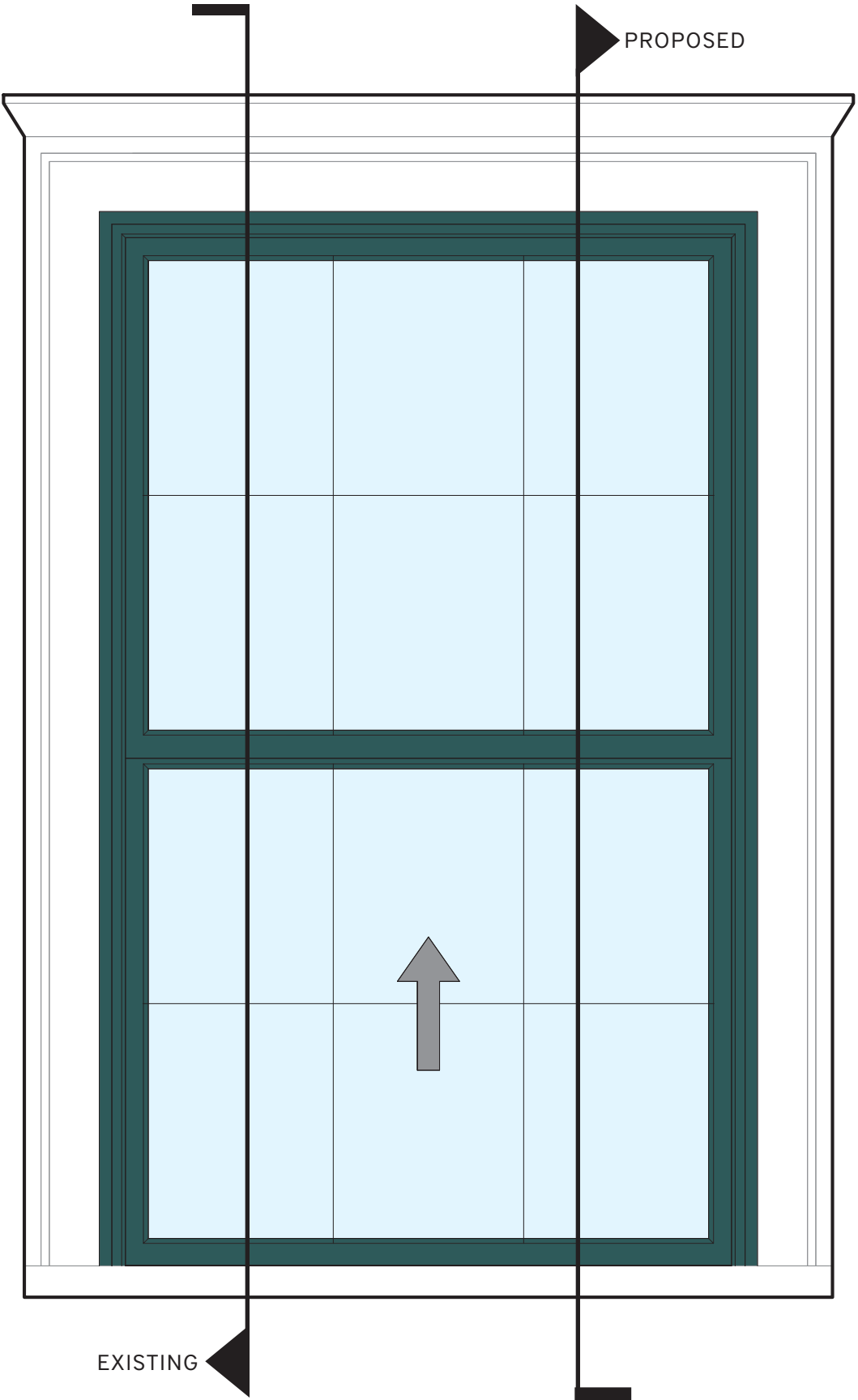
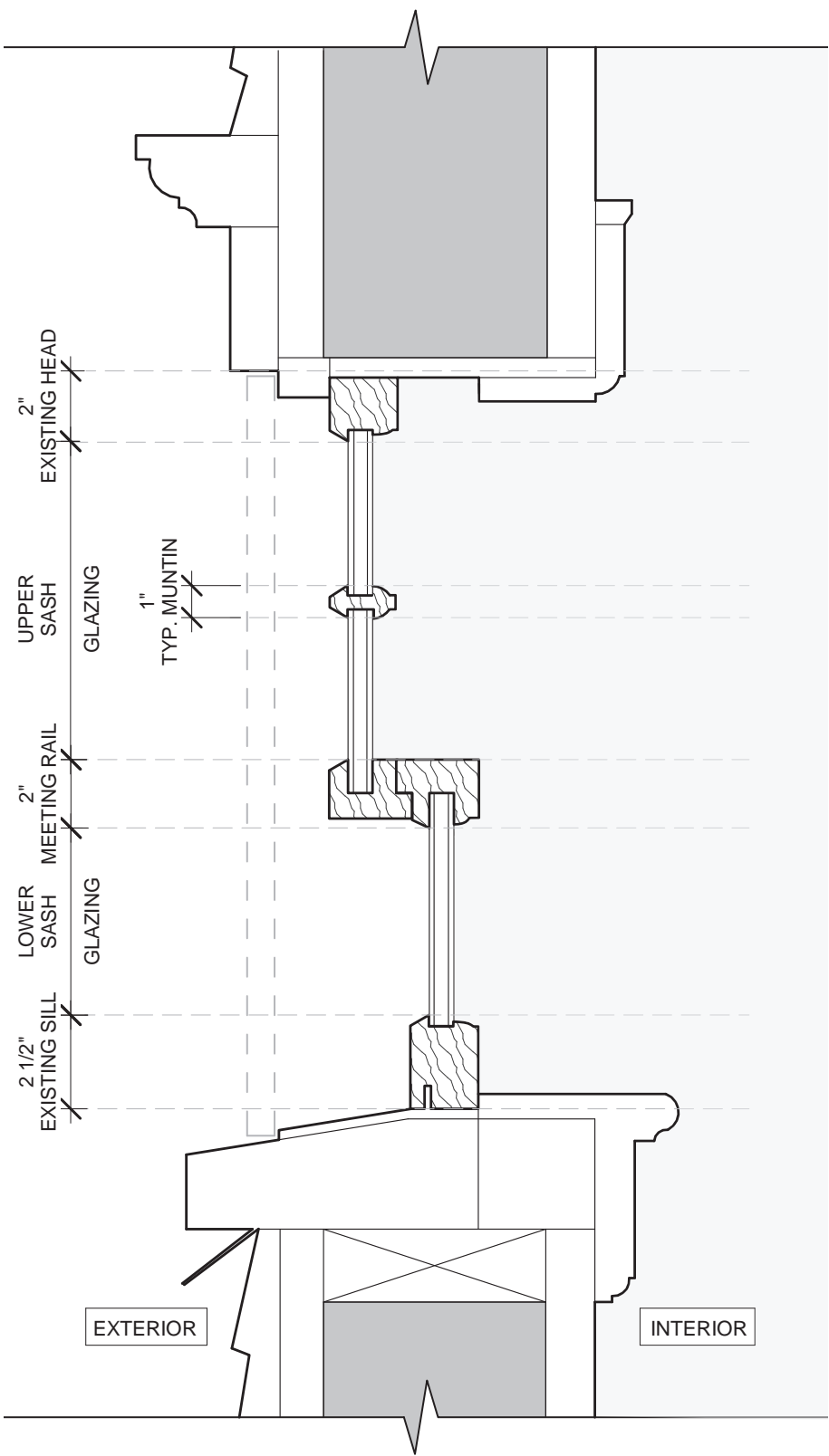
However, in voting to approve this proposal, the Commission stipulated that the master plan be revised to require aluminum-clad wood windows; and that the applicant provide mockups to ensure the profiles of these windows match the existing trim, in consultation with staff. No work may begin until a Commission Binding Report has been issued. Upon receipt, review and approval of the signed and sealed, final Department of Buildings filing drawings for the approved work, incorporating the required changes, a Commission Binding Report will be issued.

Please note that all drawings, including amendments which are to be filed at the Department of Buildings,

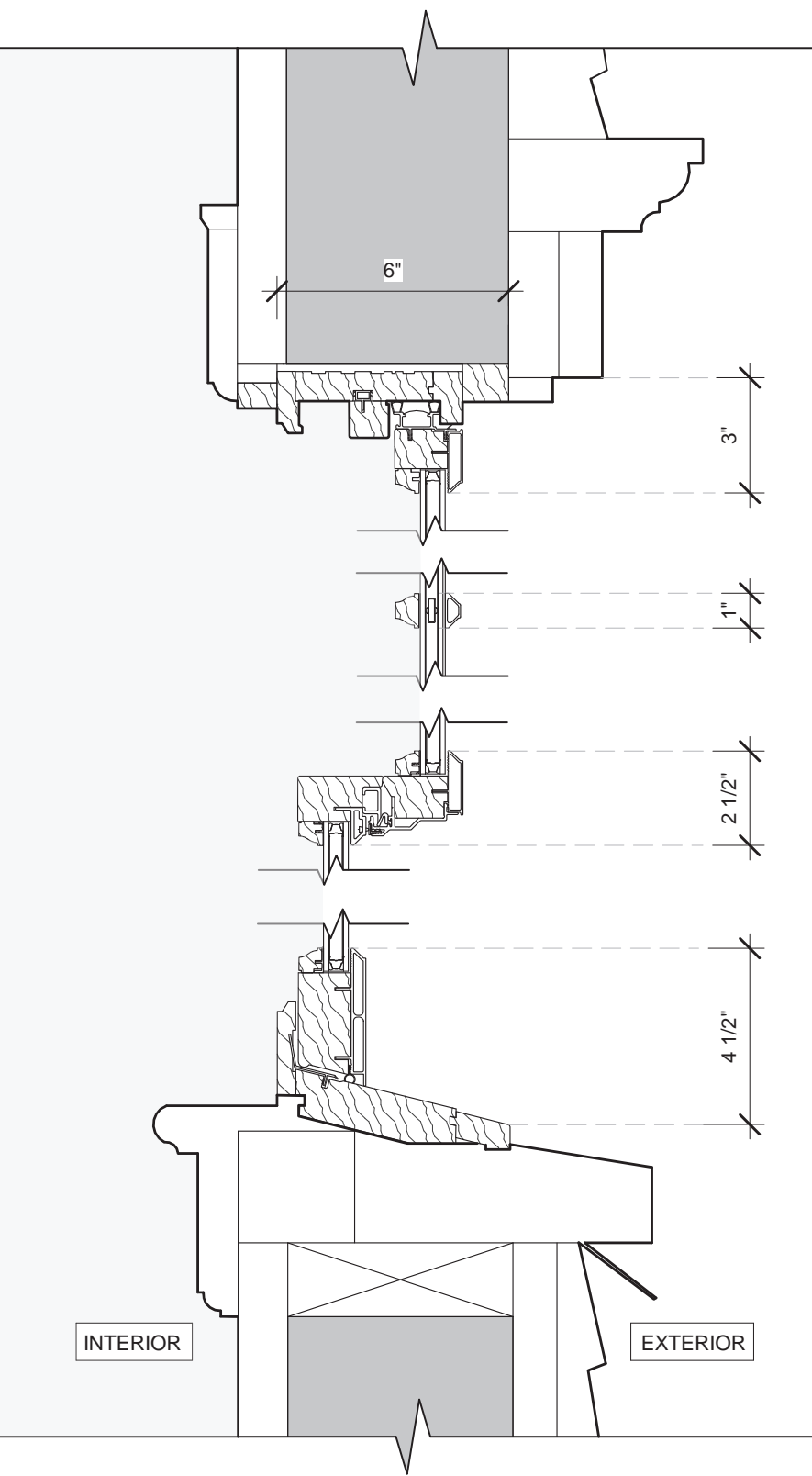
Page 1
Issued: 02/15/22
DOCKET #: LPC-21-09698

5.3 WINDOW REPLACEMENT

EXISTING WINDOW VERTICAL SECTION

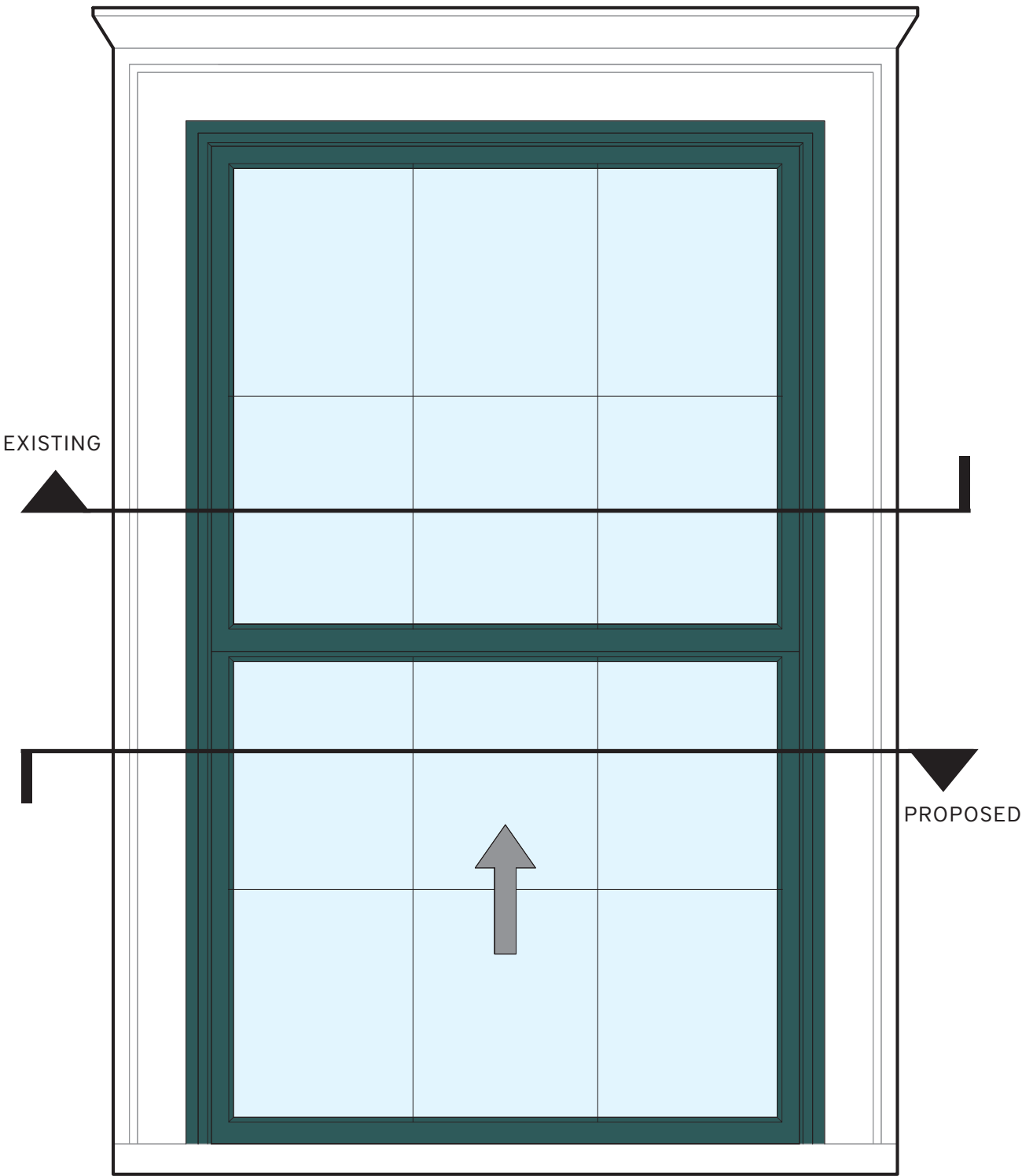


PROPOSED WINDOW VERTICAL SECTION

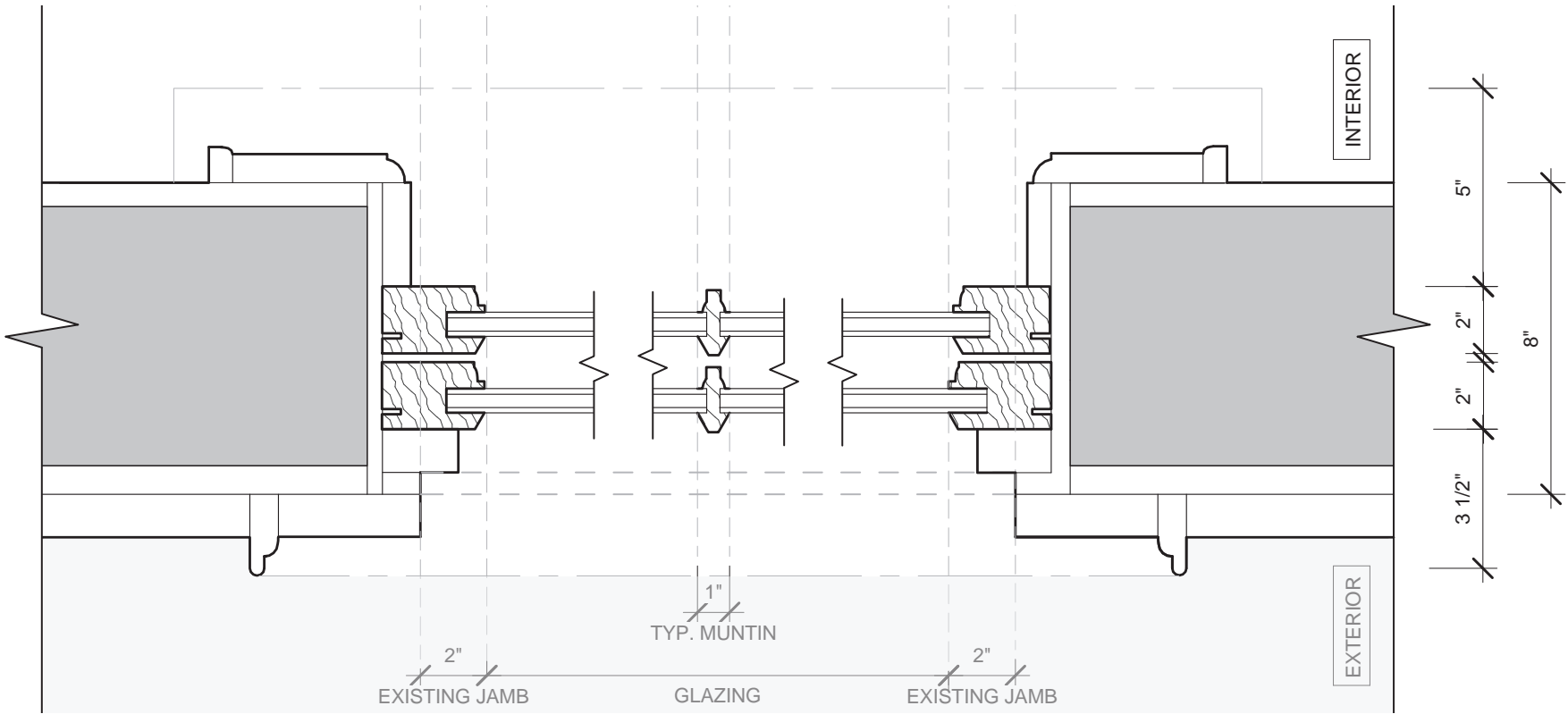


5.3 WINDOW REPLACEMENT

EXISTING WINDOW ELEVATION



EXISTING WINDOW - HORIZONTAL SECTION



PROPOSED WINDOW - HORIZONTAL SECTION

