

May 6, 2025  
Public Hearing

The current proposal is:

Preservation Department – Item 8, LPC-25-02912

## 913 Broadway – Ladies' Mile Historic District Borough of Manhattan

To testify virtually, please join Zoom

**Webinar ID:** 160 059 3679

**Passcode:** 131371

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

**Note:** If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.



EXISTING VIEWS



1 ELEVATION VIEW FROM BROADWAY  
SCALE: NTS



2 ELEVATION VIEW FROM BROADWAY  
SCALE: NTS



KEY MAP  
SCALE: NTS



# HISTORICAL VIEWS



1 ELEVATION VIEW FROM BROADWAY  
SCALE: NTS



2 ELEVATION VIEW FROM BROADWAY  
SCALE: NTS



3 KEY MAP  
SCALE: NTS



VISIBILITY FROM STREET - VIEW 1



1 PHOTOCOLLAGE SHOWING ADDITION  
FROM SE CORNER OF BROADWAY & W20TH ST



2 PHOTOCOLLAGE SHOWING ADDITION  
FROM SE CORNER OF BROADWAY & W20TH ST



MAP  
SCALE: NTS



VISIBILITY FROM STREET - VIEW 2



1 PHOTOGRAPH SHOWING MOCKUP  
FROM SE CORNER OF BROADWAY & W20TH ST



2 PHOTOCOLLAGES SHOWING ADDITION  
FROM SE CORNER OF BROADWAY & W20TH ST



MAP  
SCALE: NTS



VISIBILITY FROM STREET - VIEW 3



1 PHOTOGRAPH SHOWING MOCKUP  
FROM NW CORNER OF BROADWAY & W20TH ST



2 PHOTOCOLLAGES SHOWING ADDITION  
FROM NW CORNER OF BROADWAY & W20TH ST



MAP  
SCALE: NTS



VISIBILITY FROM STREET - VIEW 3



1 PHOTOGRAPH SHOWING MOCKUP FROM ROOF



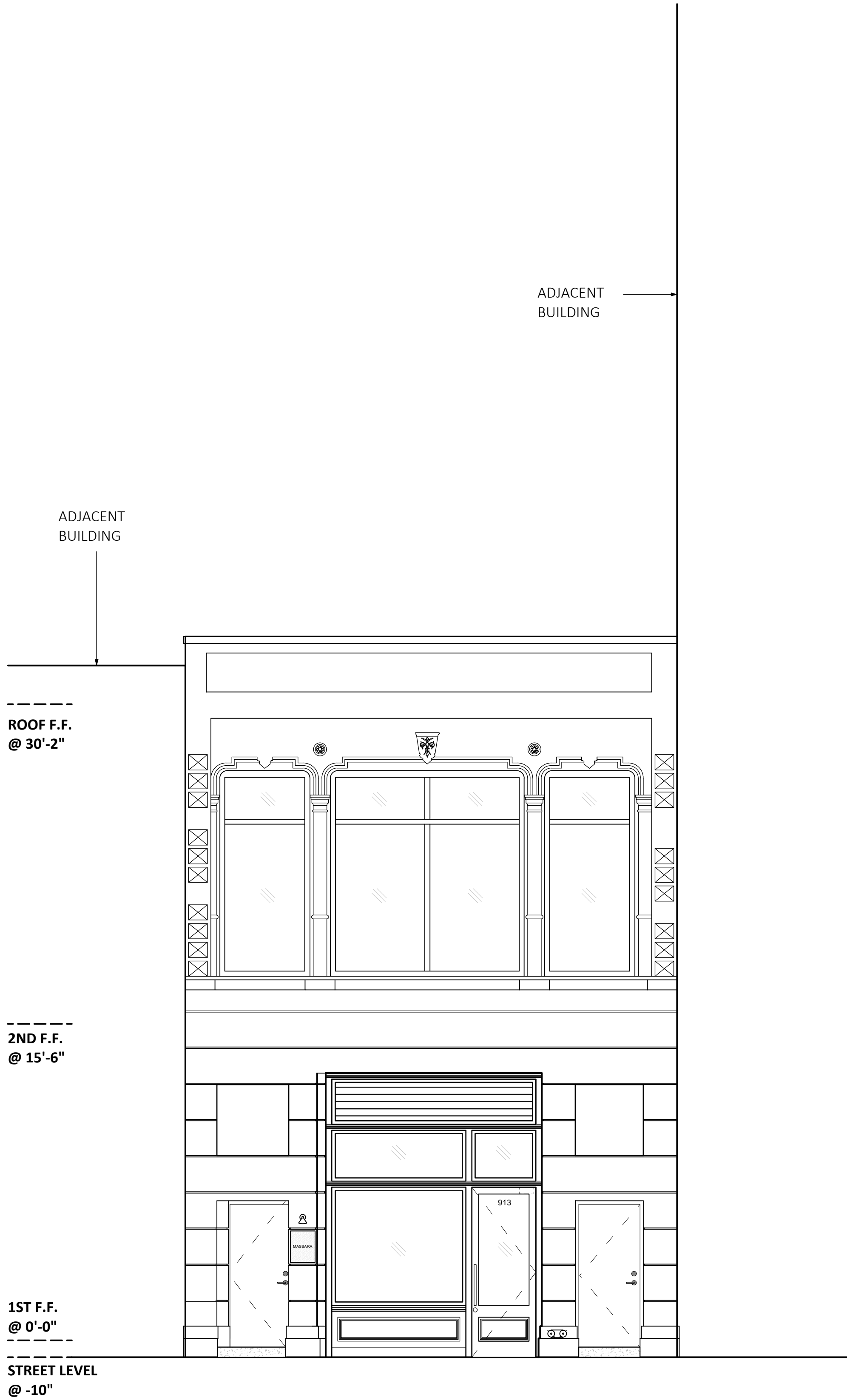
2 3D RENDERING FROM SE CORNER OF BROADWAY & W20TH ST



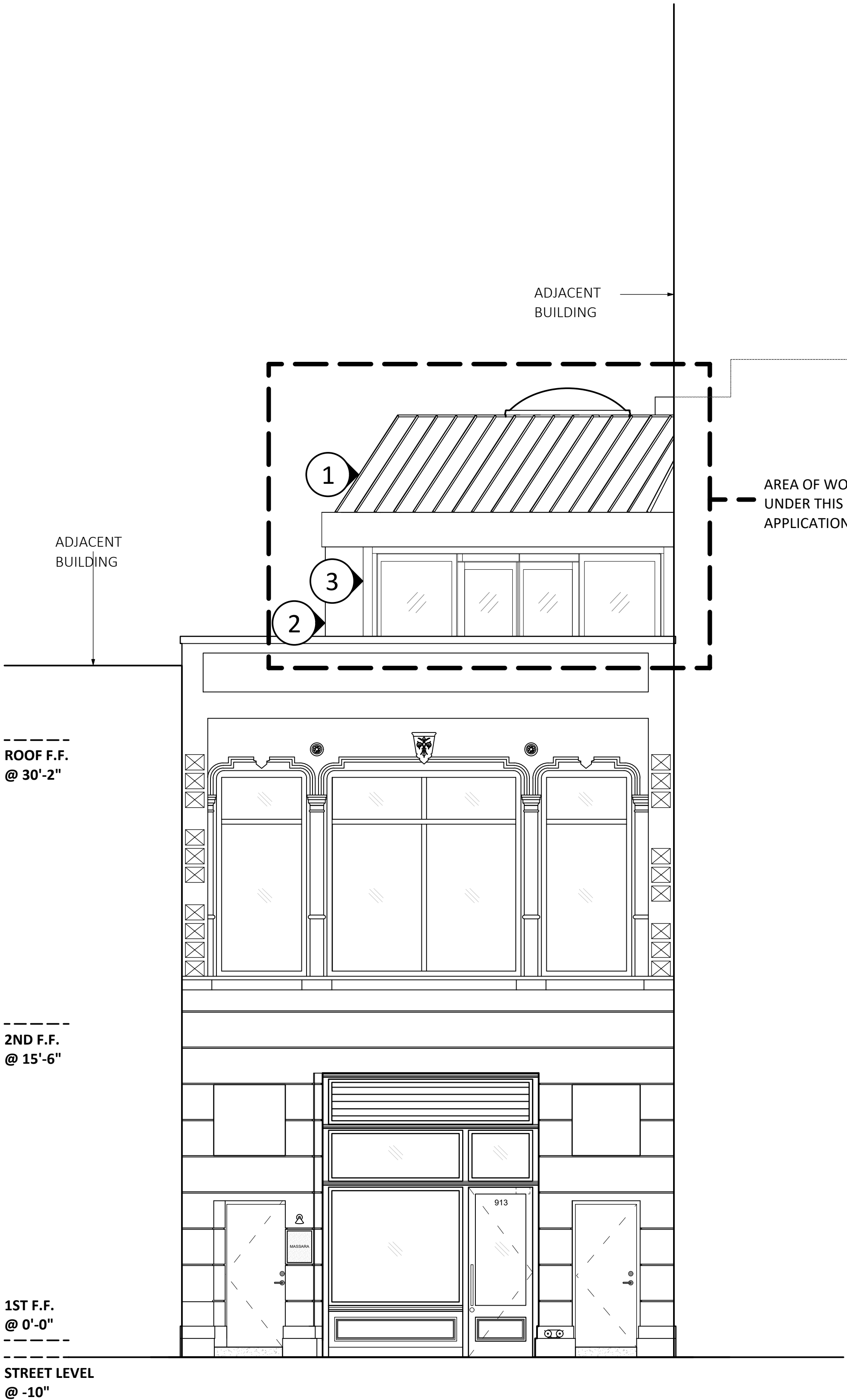
MAP SCALE: NTS



BUILDING ELEVATIONS



1 BUILDING ELEVATION - EXISTING  
SCALE: 1/4"=1'-0"



2 BUILDING ELEVATION - PROPOSED  
SCALE: 1/4"=1'-0"



1 NEW METAL STANDING SEAM ROOFING  
+ MATCHING GUTTER & TRIM  
KAYNAR MEDIUM BRONZE SRI-36



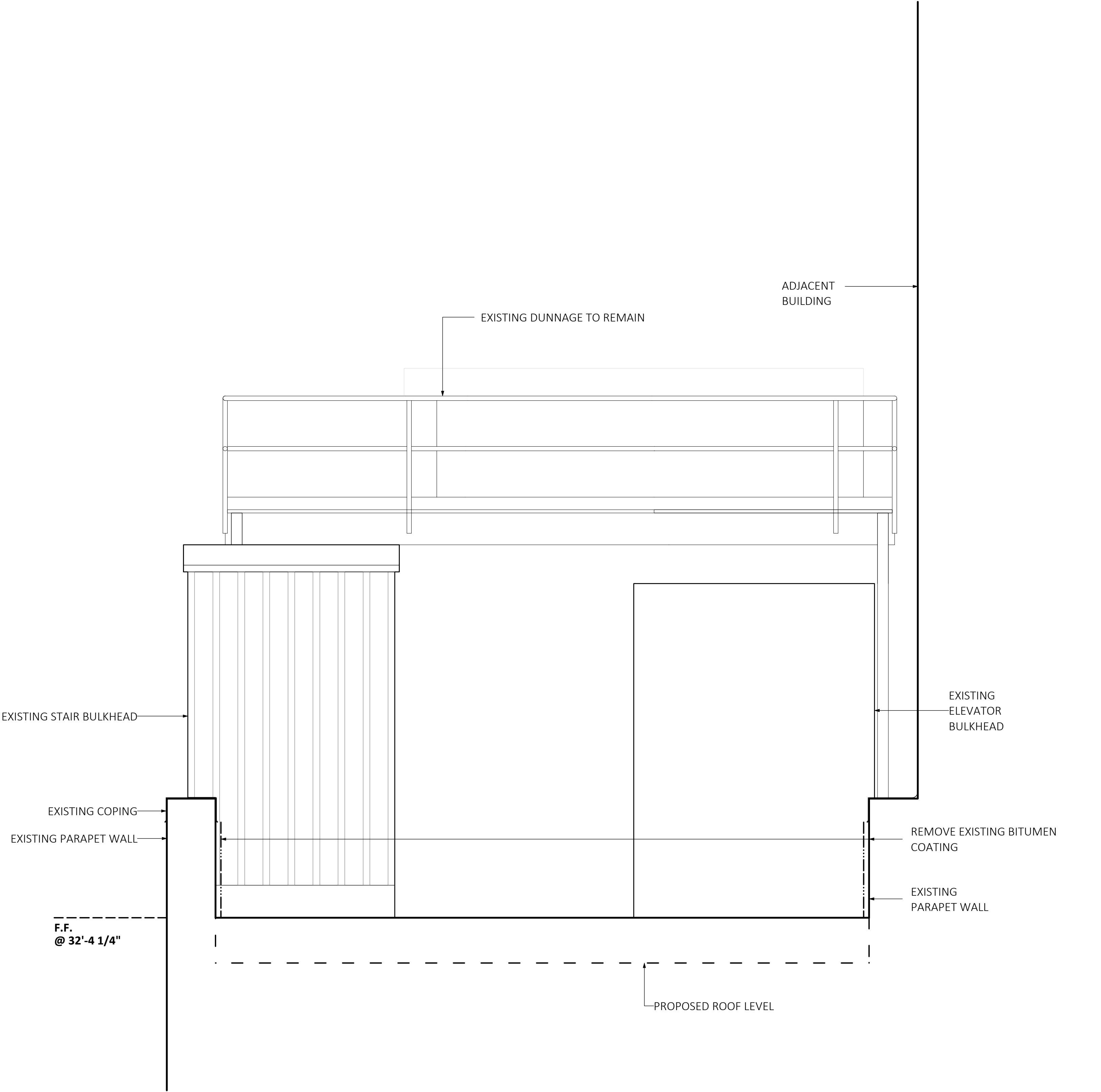
2 NEW WALL STUCCO  
BENJAMIN MOORE NATURAL CREAM OC-14



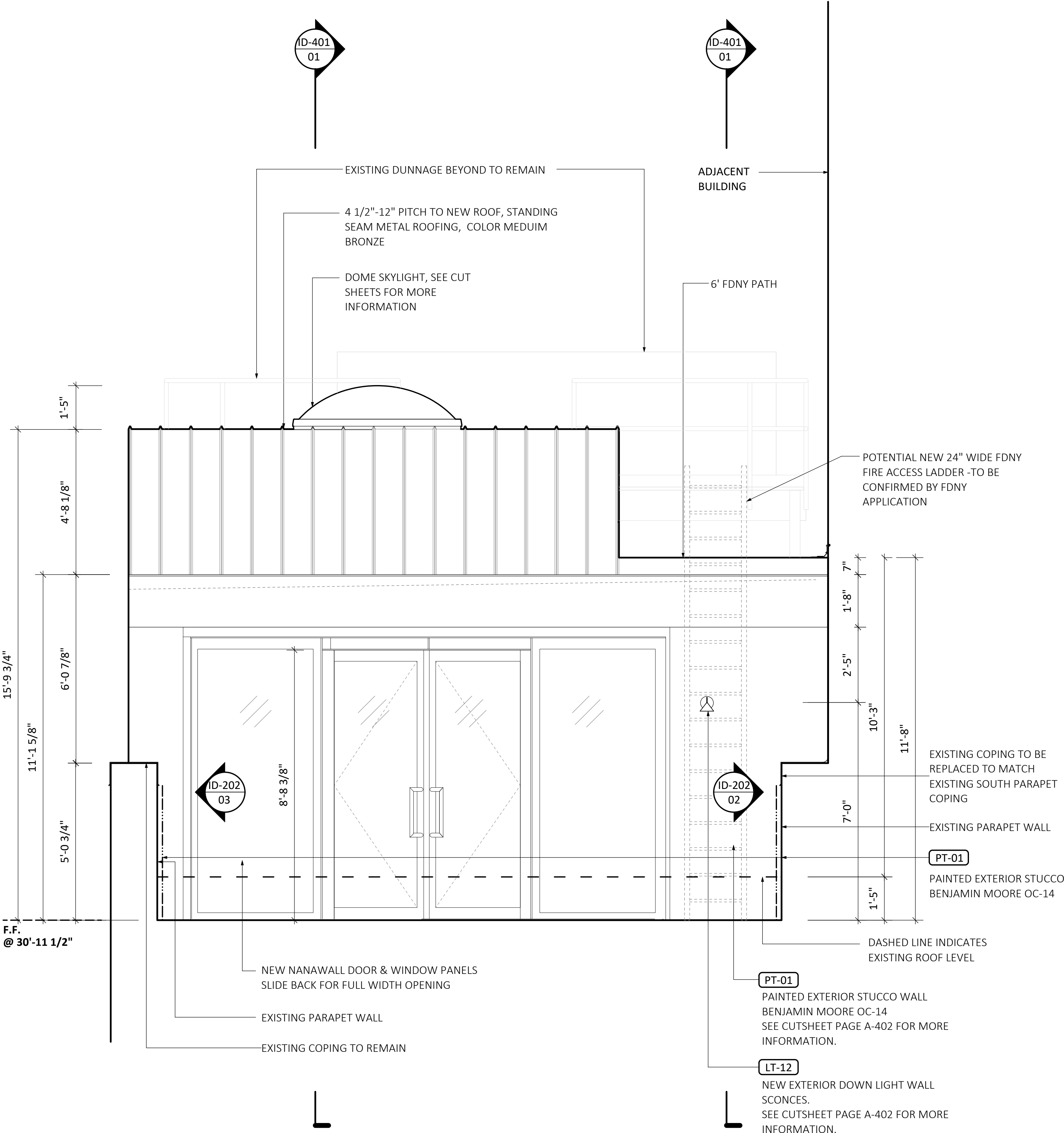
3 NEW NANAWALL DOORS & WINDOWS (MODEL-HSW60)  
CUSTOM POWDER COAT -RAL 101



ROOF TOP ELEVATIONS



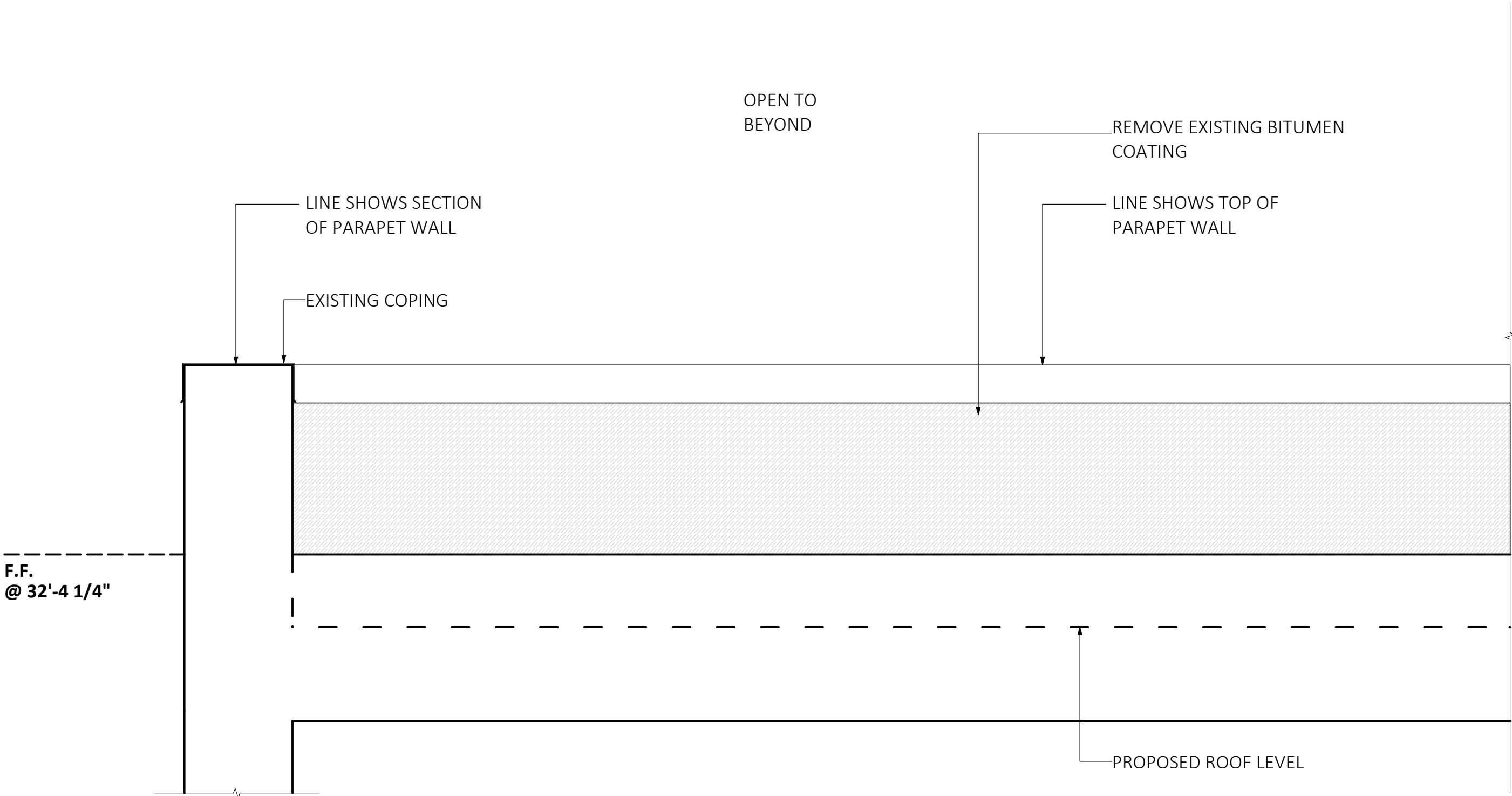
1 THIRD FLOOR - EXISTING WEST ELEVATION  
SCALE: 1/2"=1'-0"



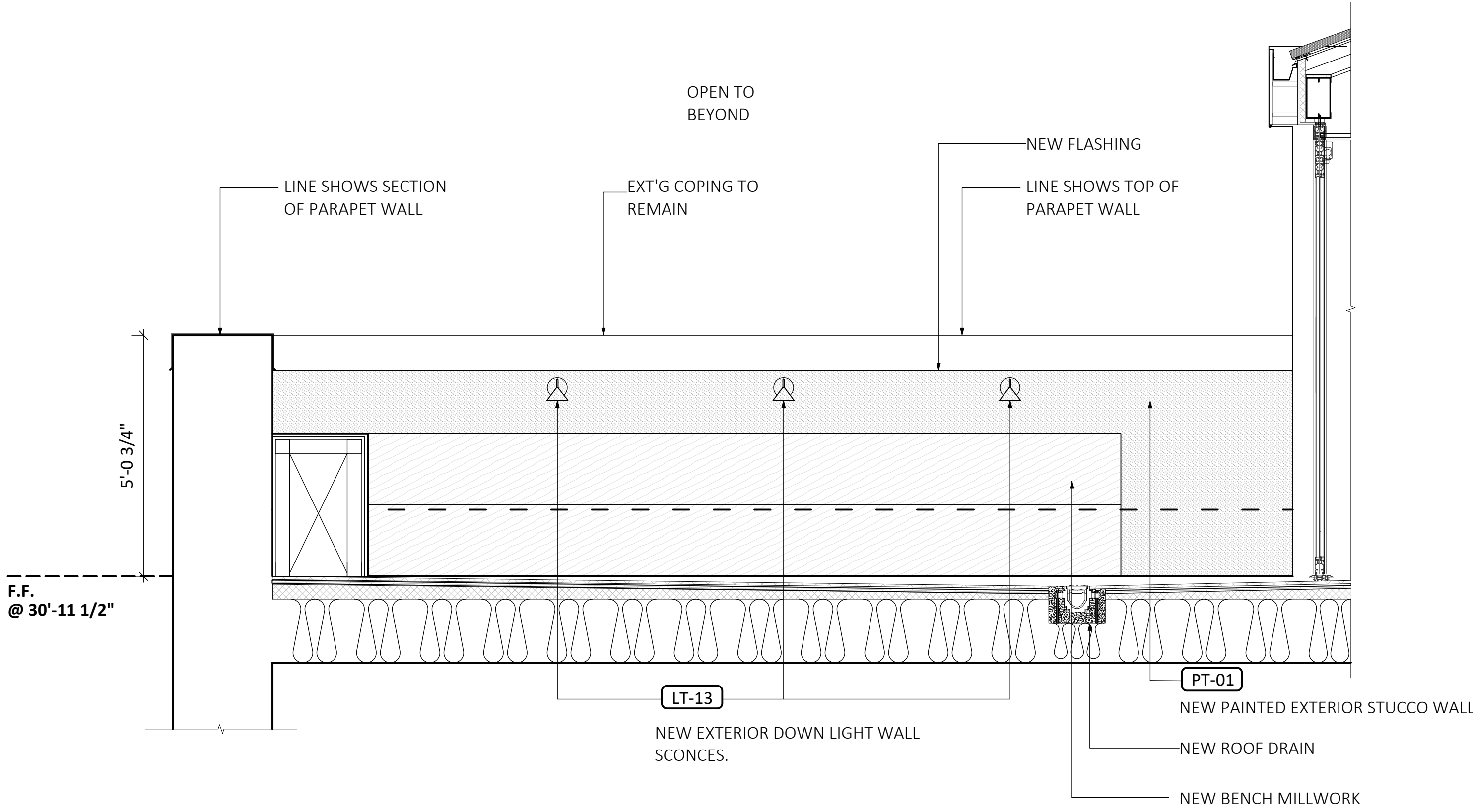
2 THIRD FLOOR - PROPOSED WEST ELEVATION  
SCALE: 1/2"=1'-0"



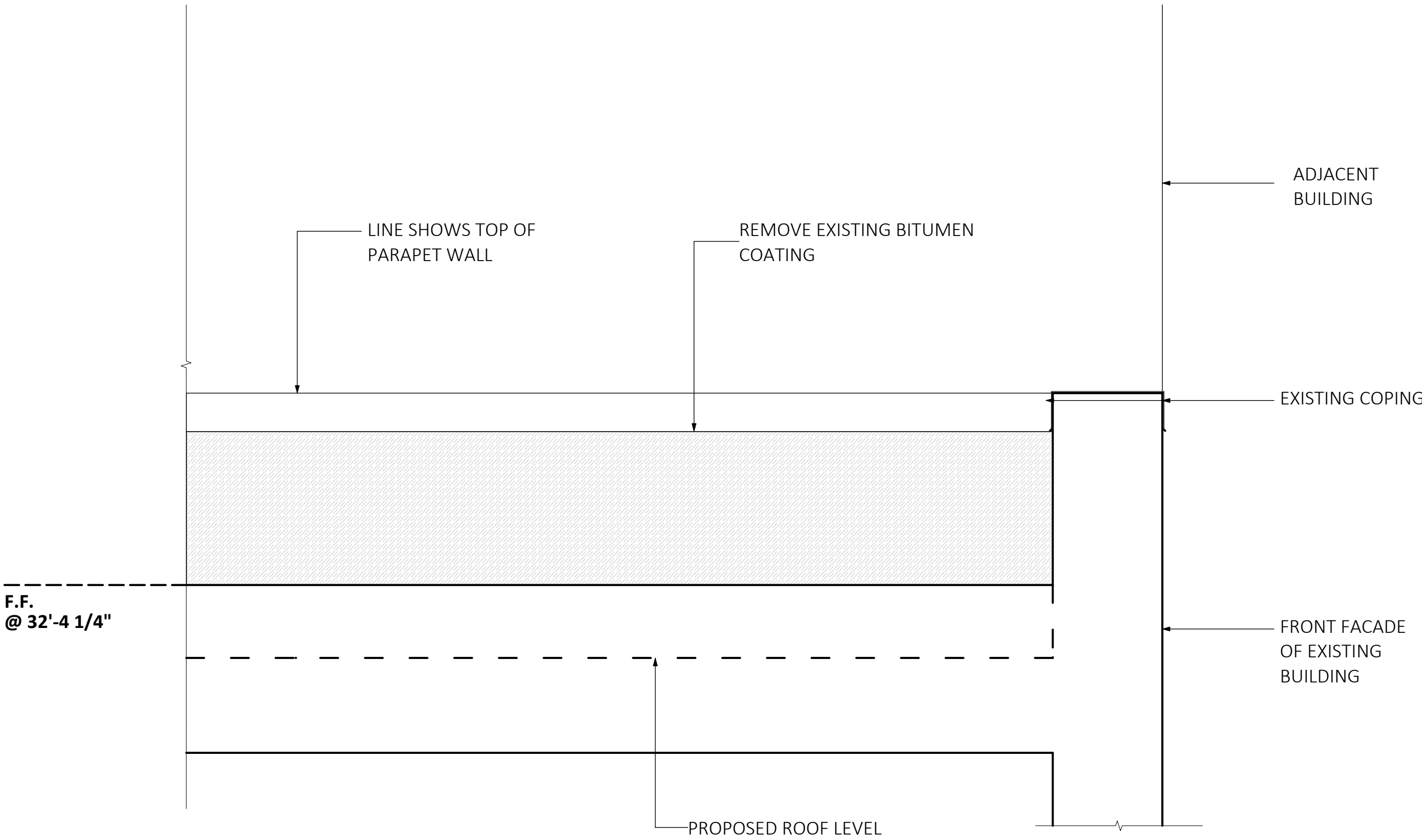
# ROOF TOP ELEVATIONS



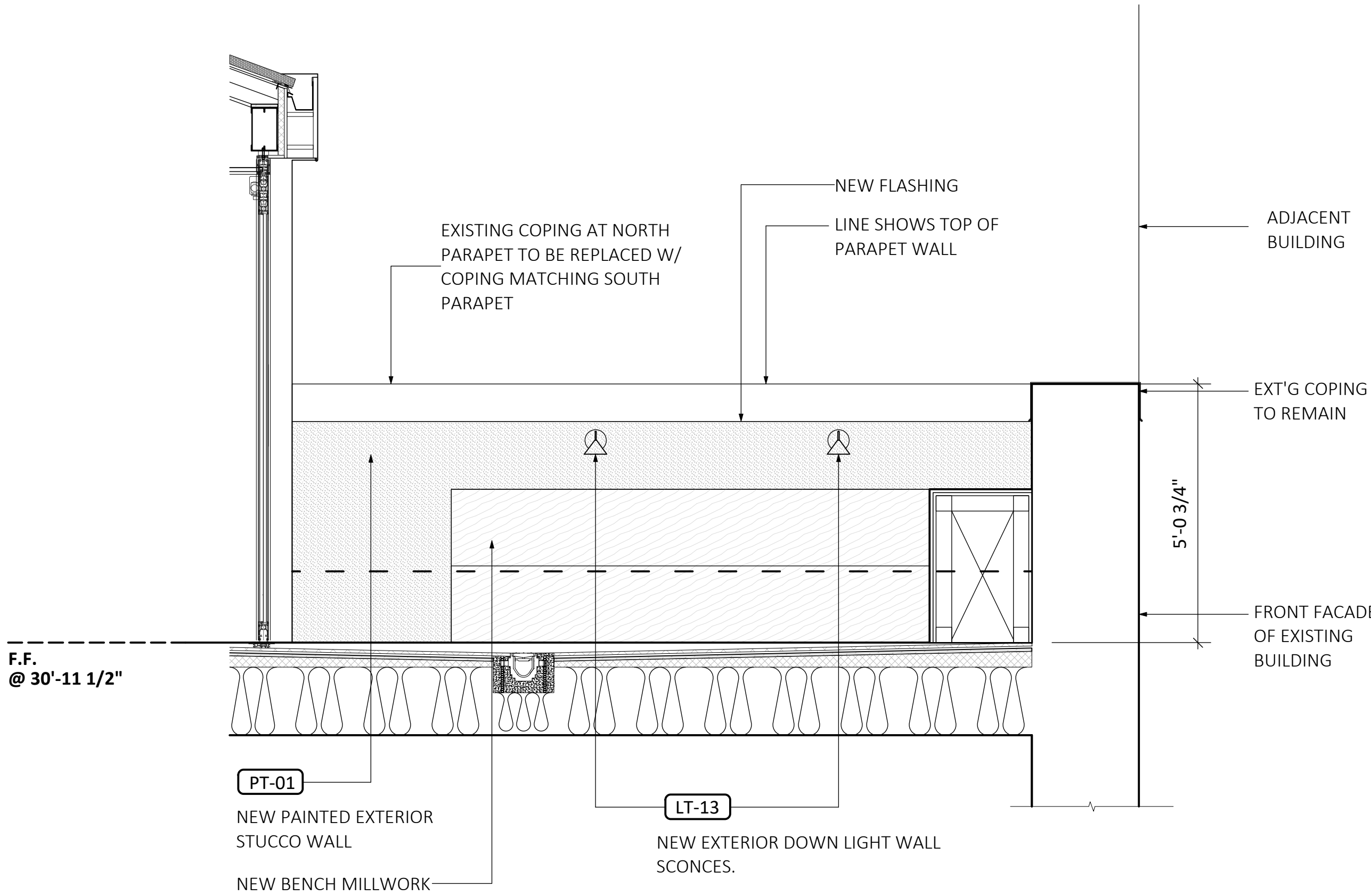
1 THIRD FLOOR - EXISTING SOUTH ELEVATION  
SCALE: 1/2"=1'-0"



2 THIRD FLOOR - PROPOSED SOUTH ELEVATION  
SCALE: 1/2"=1'-0"



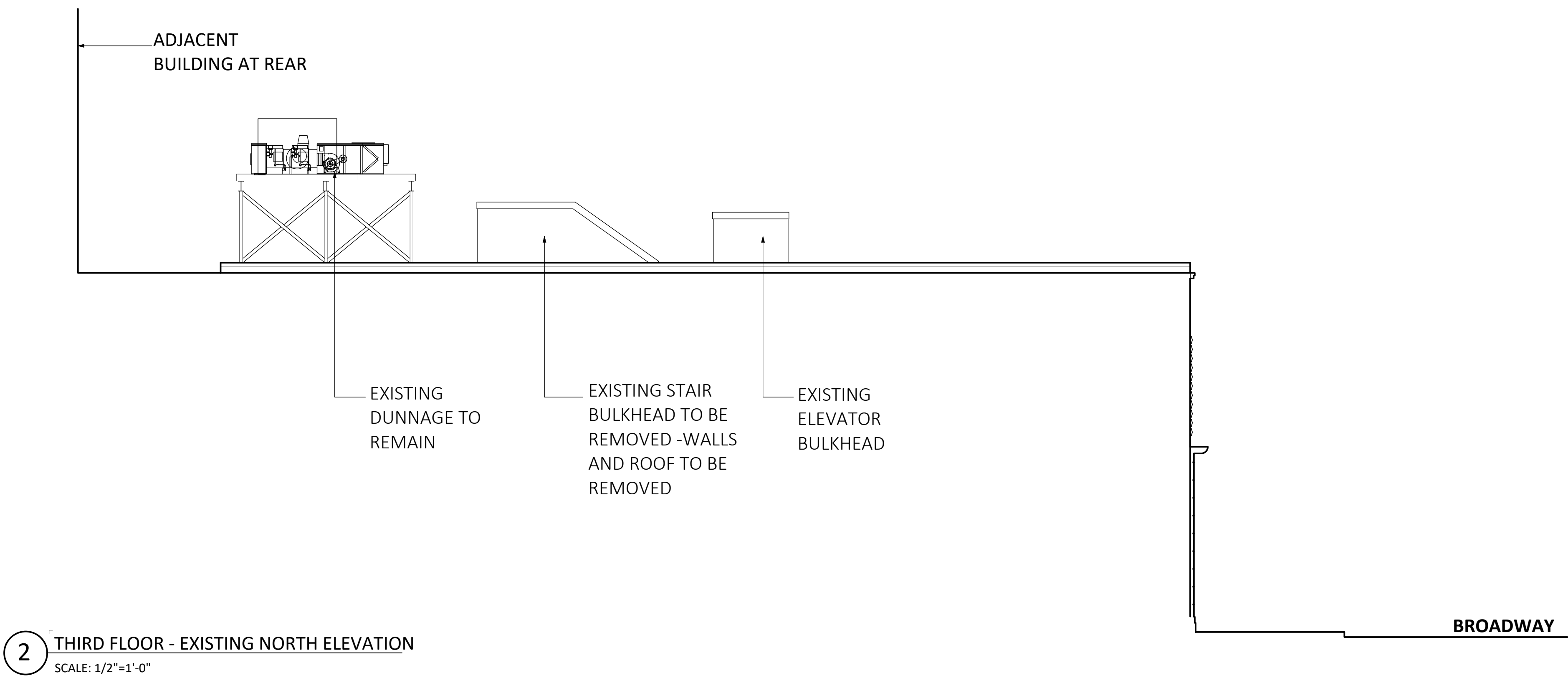
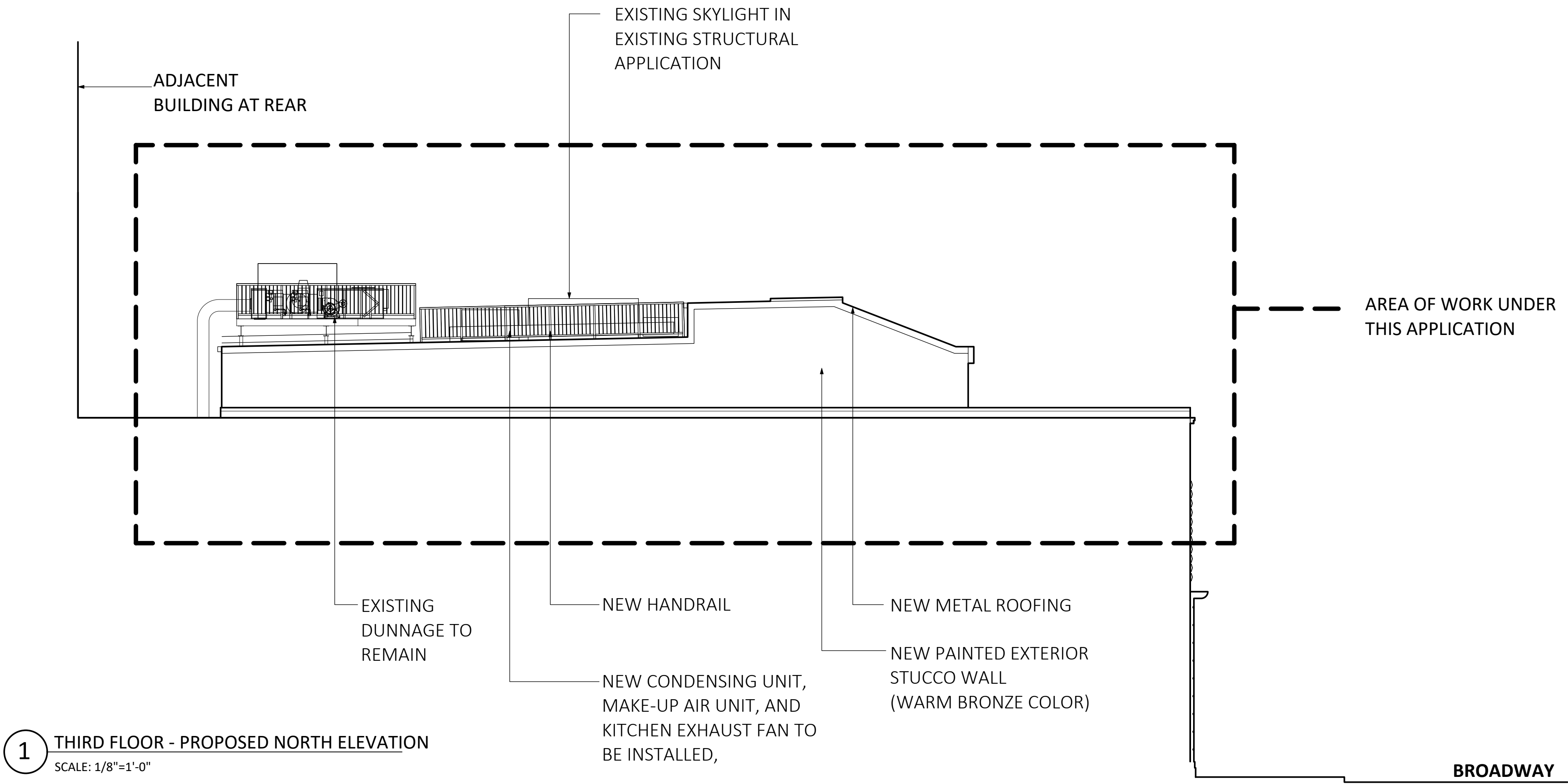
3 THIRD FLOOR - EXISTING NORTH ELEVATION  
SCALE: 1/2"=1'-0"



4 THIRD FLOOR - PROPOSED NORTH ELEVATION  
SCALE: 1/2"=1'-0"

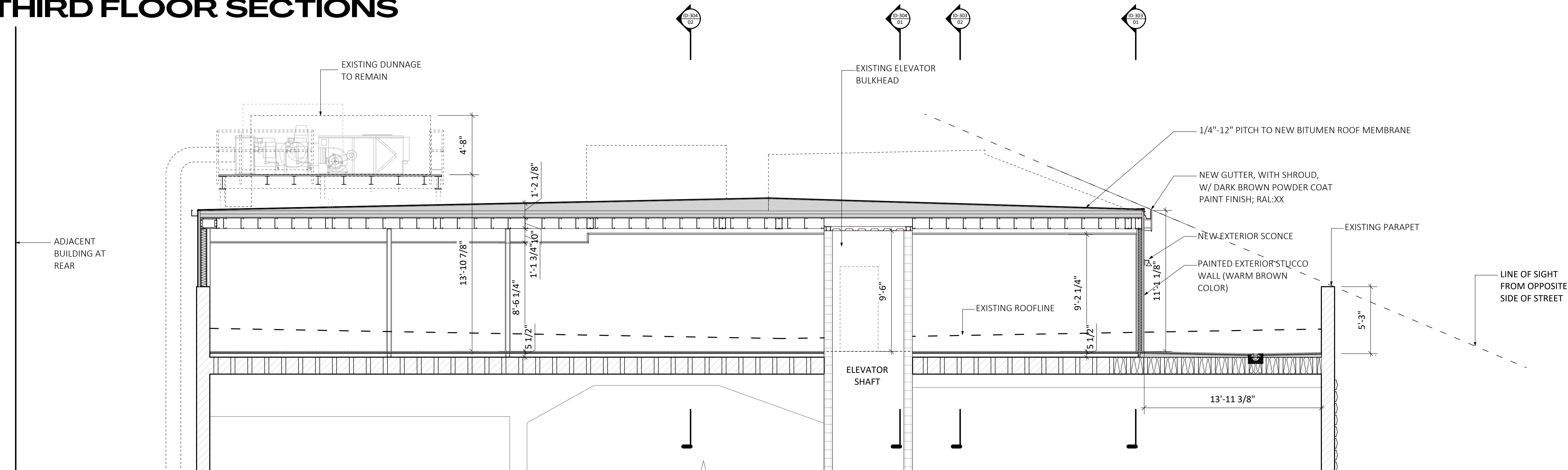


SIDE ELEVATION

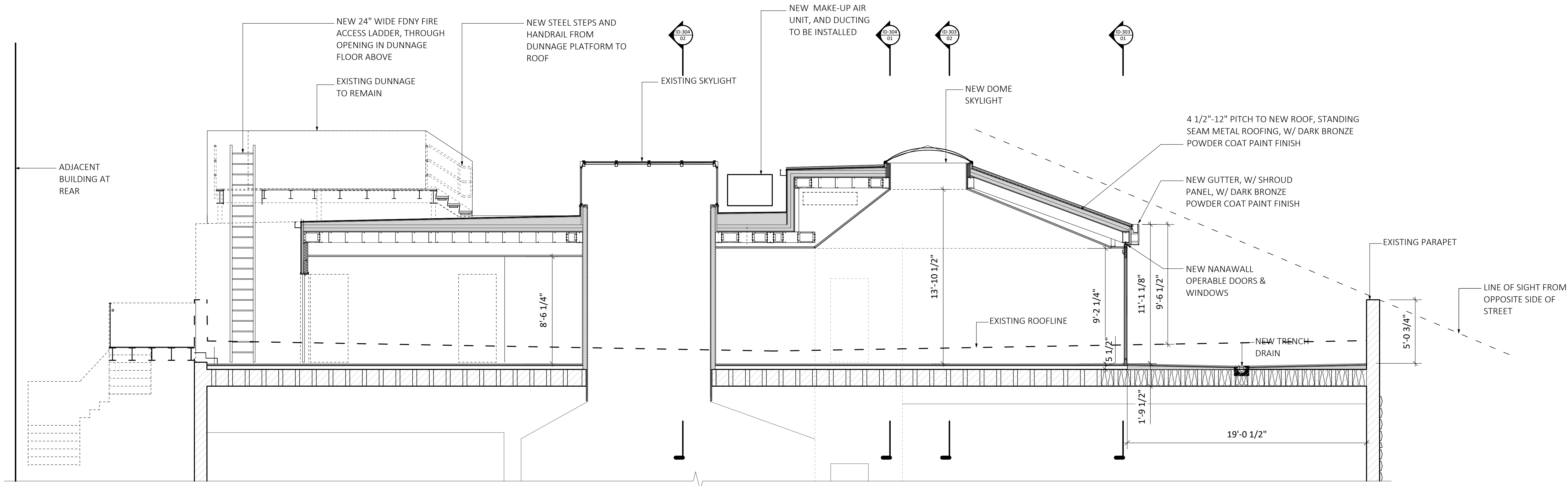




THIRD FLOOR SECTIONS

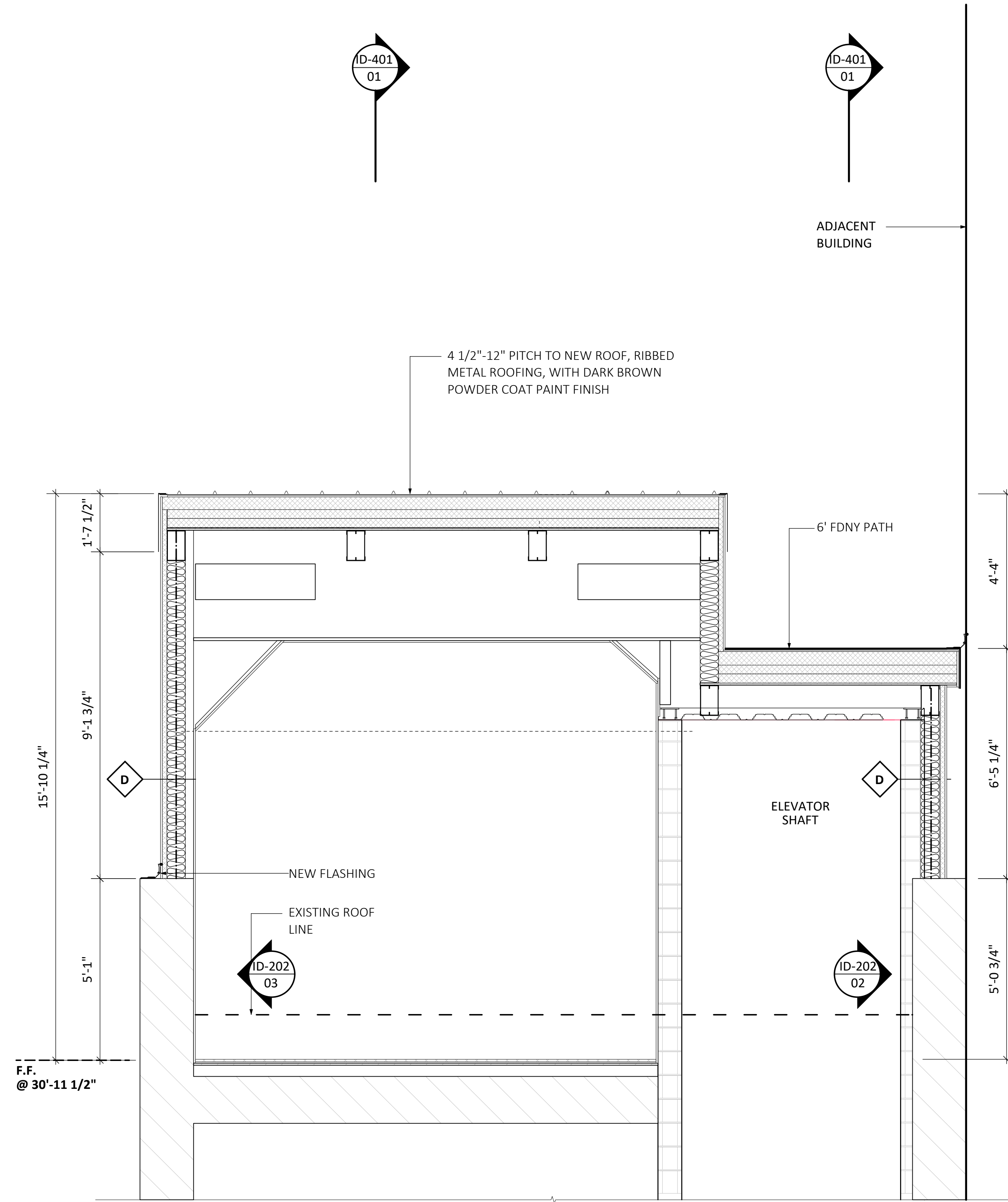


1 THIRD FLOOR - SECTION 1  
SCALE: 1/4"=1'-0"



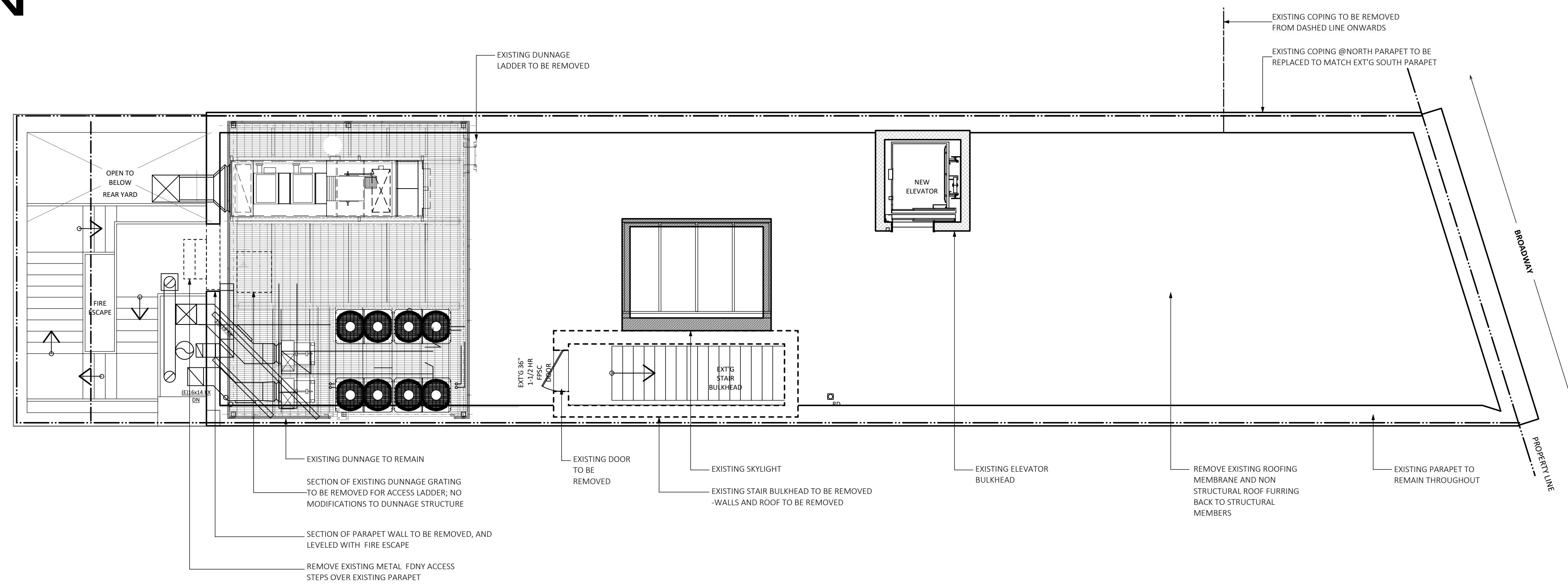
2 THIRD FLOOR - SECTION 2  
SCALE: 1/4"=1'-0"



[illegible]



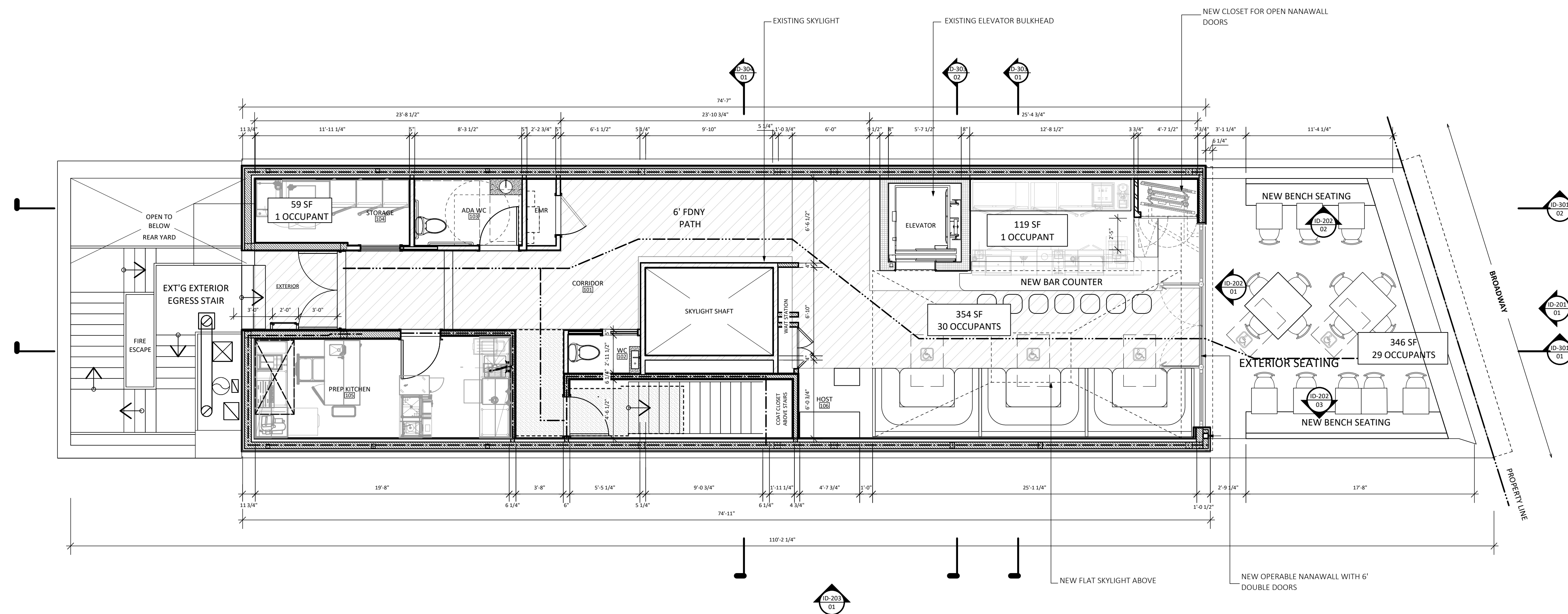
## THIRD FLOOR PLAN



1

### EXISTING THIRD FLOOR PLAN

SCALE:  $3/16" = 1'-0"$



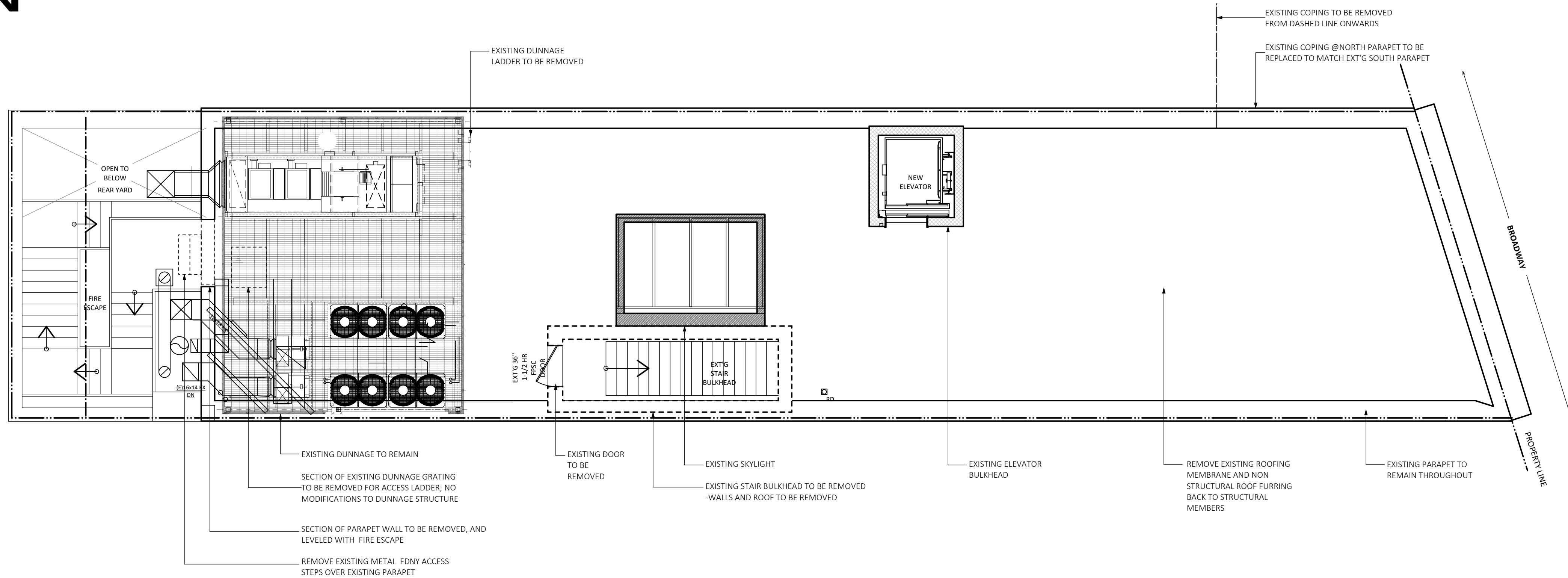
## 2

### PROPOSED THIRD FLOOR PLAN

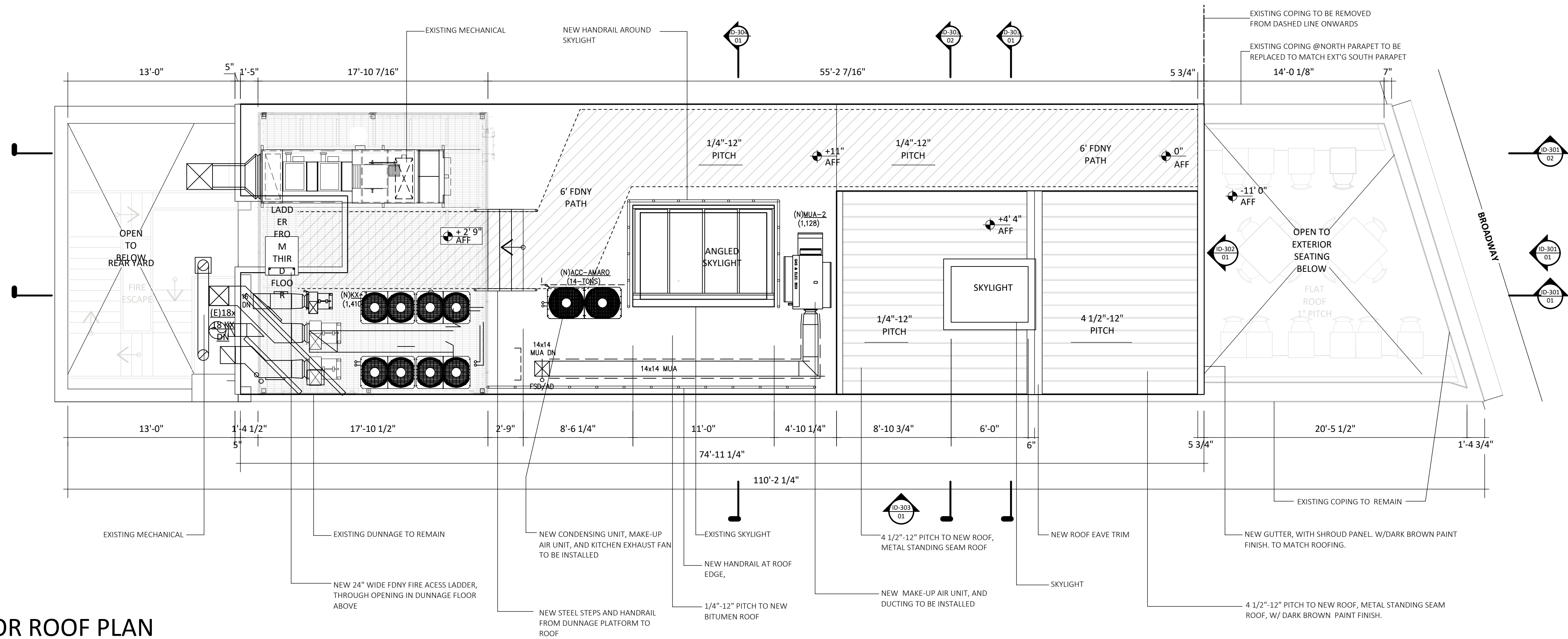
SCALE:  $3/16" = 1'-0"$



THIRD FLOOR PLAN



1 EXISTING THIRD FLOOR PLAN  
SCALE: 3/16" = 1'-0"



2 PROPOSED THIRD FLOOR ROOF PLAN  
SCALE: 3/16" = 1'-0"



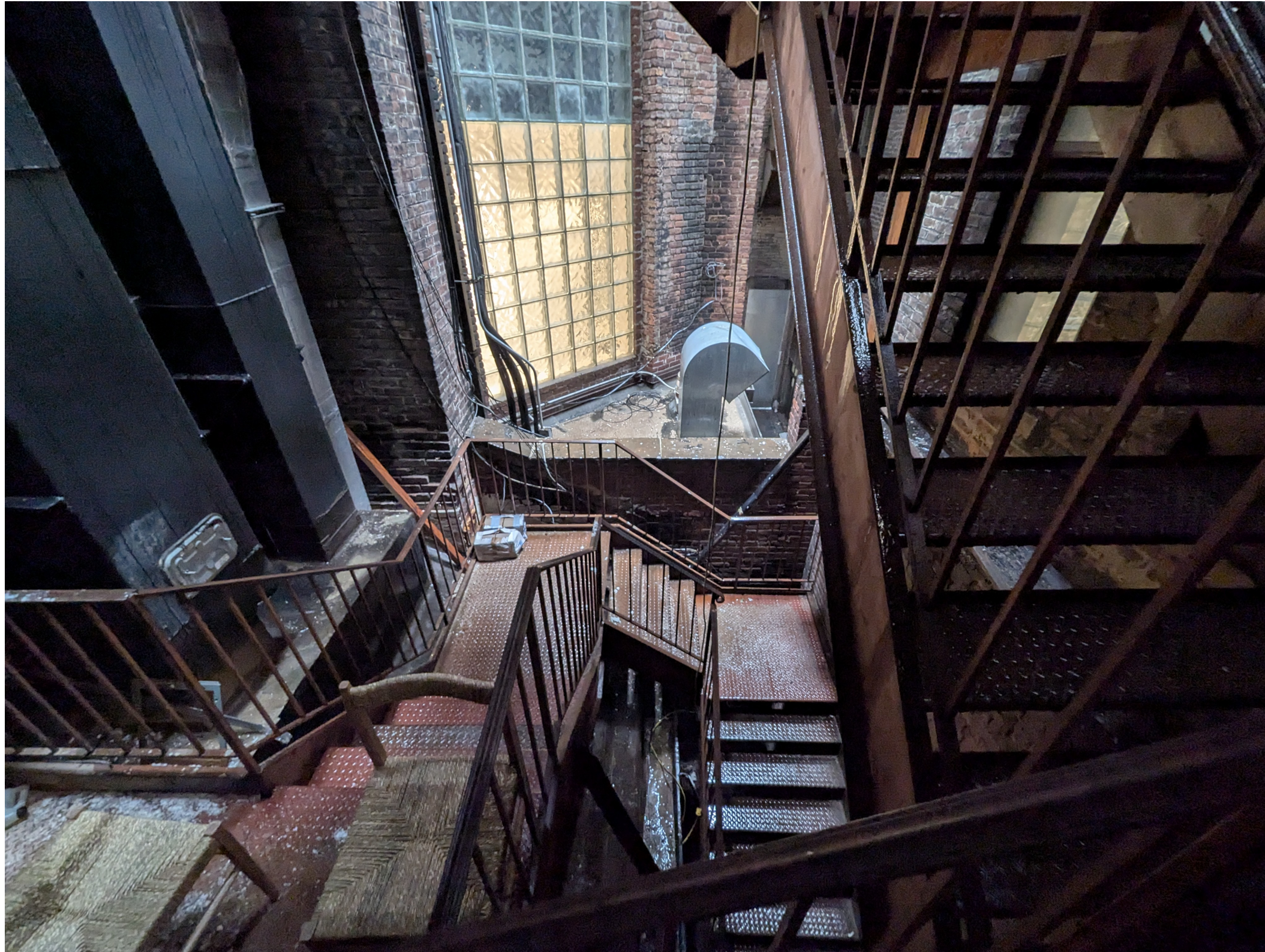
# EXISTING ROOFTOP VIEWS



1 EXISTING REAR FACADE  
SCALE: NTS



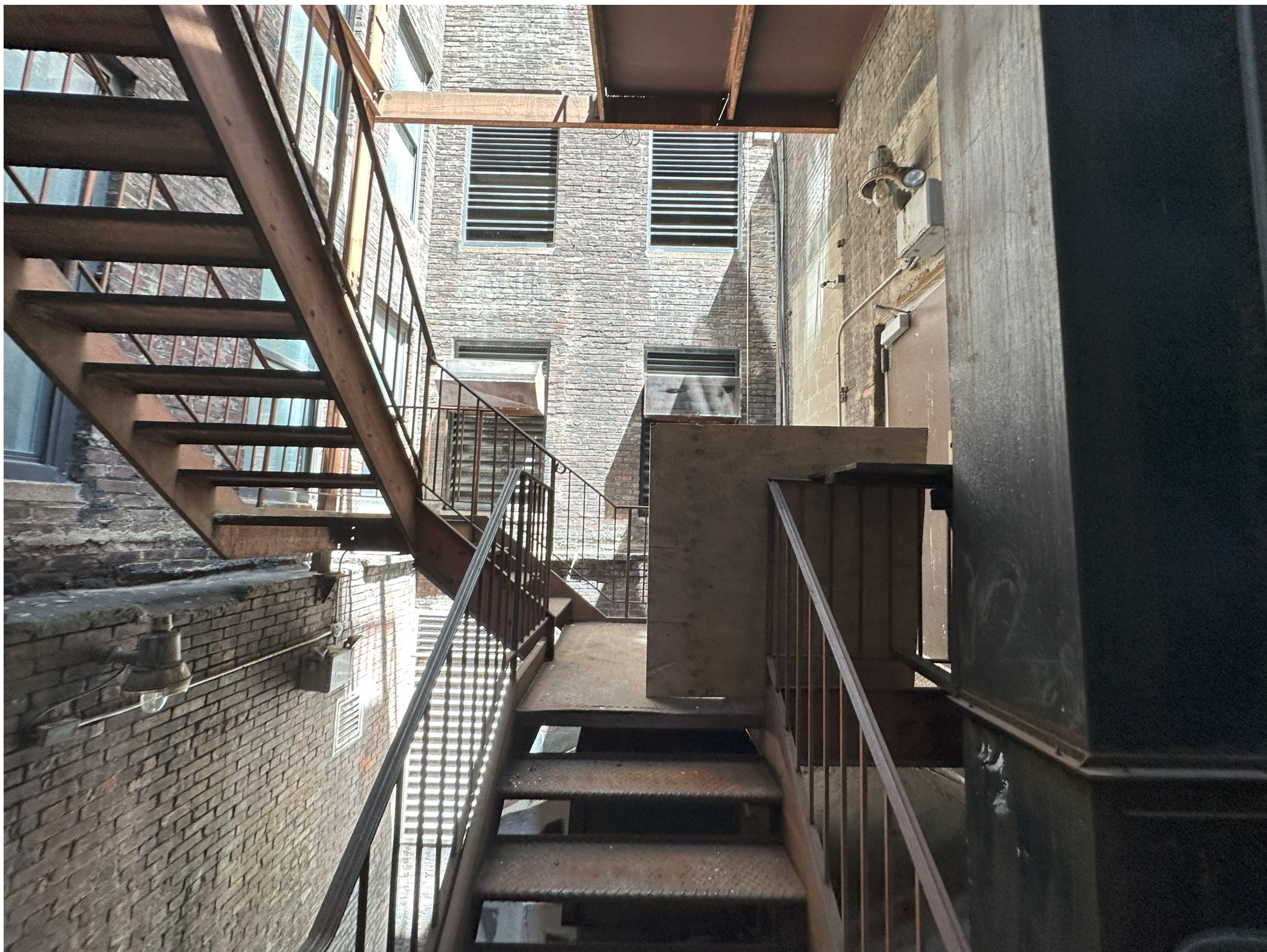
2 EXISTING REAR FACADE  
SCALE: NTS



3 EXISTING REAR FACADE  
SCALE: NTS



4 EXISTING REAR FACADE  
SCALE: NTS



5 EXISTING REAR FACADE  
SCALE: NTS



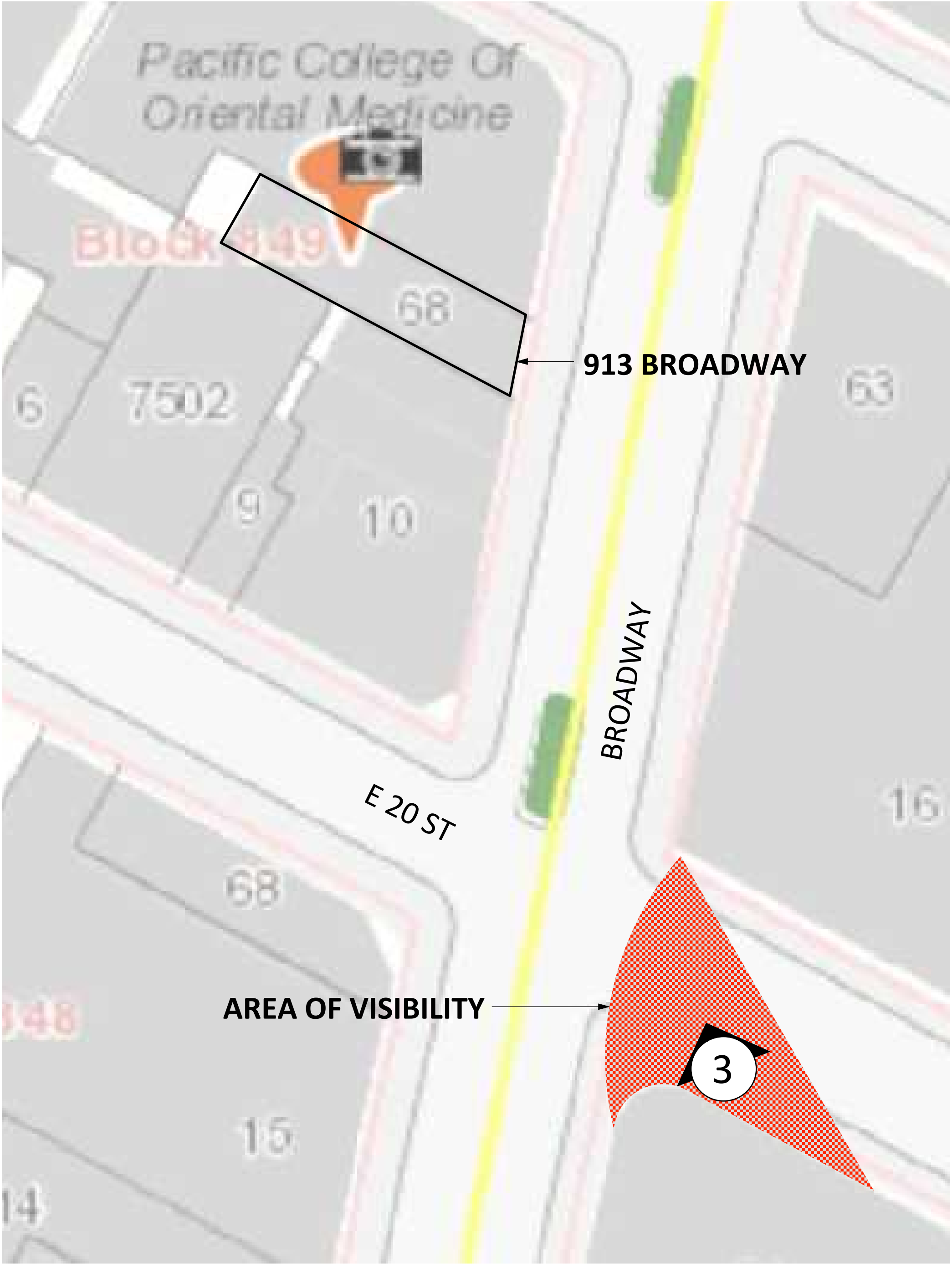
VISIBILITY FROM STREET - VIEW 1



1 PHOTOGRAPH SHOWING MOCKUP  
FROM SE CORNER OF BROADWAY & W20TH ST



2 PHOTOCOLLAGES SHOWING ADDITION  
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MAP  
SCALE: NTS



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## APPENDIX



LADIES' MILE HISTORIC DISTRICT | ROOFTOP PRECEDENTS  
655 5TH AVE / 101-120 W 20TH ST





LADIES' MILE HISTORIC DISTRICT | ROOFTOP PRECEDENTS  
150 5TH AVE



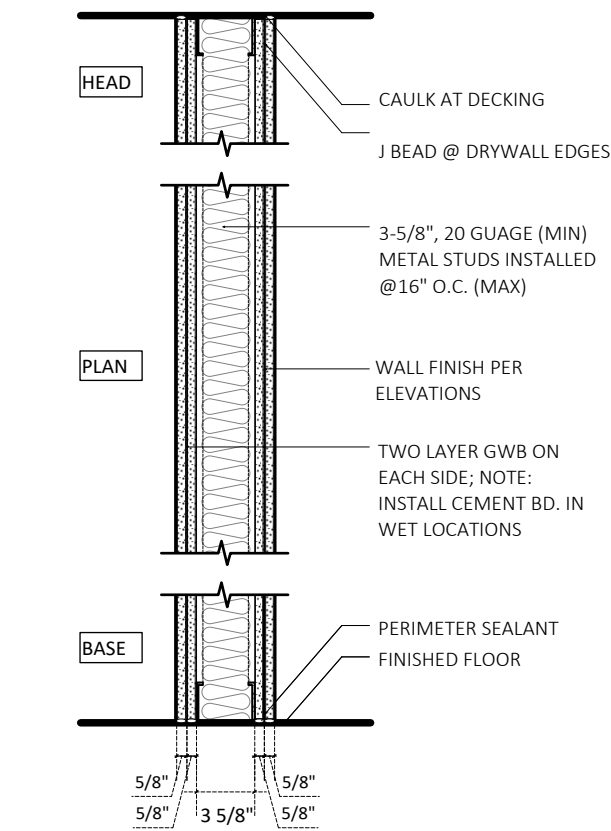


LADIES' MILE HISTORIC DISTRICT | ROOFTOP PRECEDENTS  
2 W 19TH ST / 140 5TH AVE

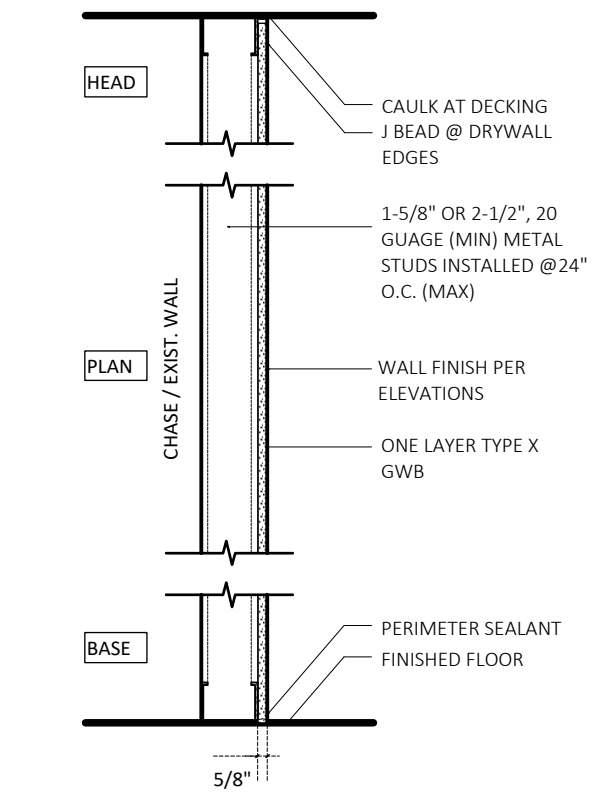




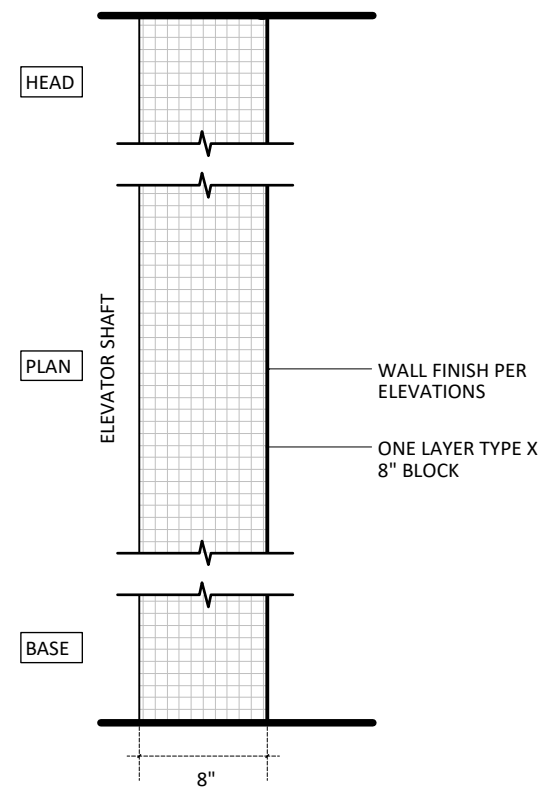
PARTITION DETAILS



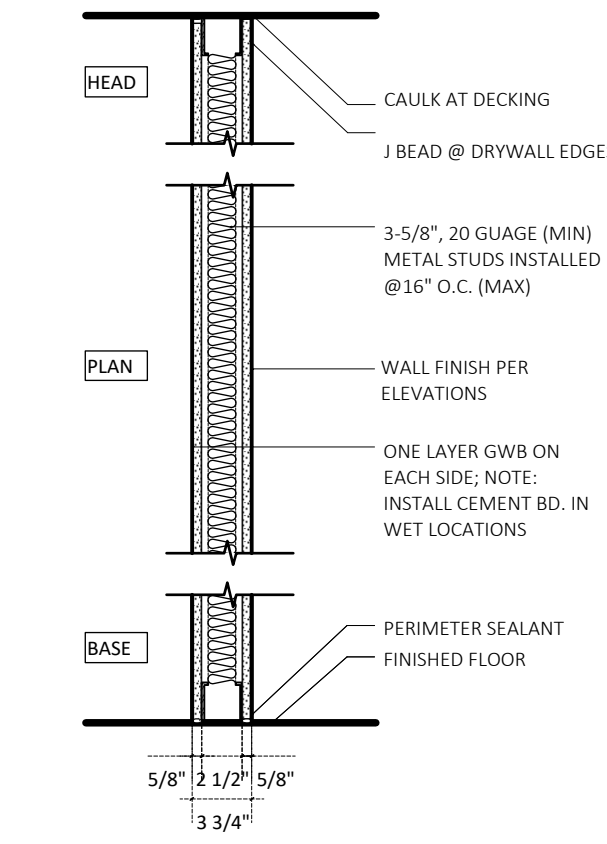
**WALL TYPE 'A'**  
2 HOUR RATED  
FULL HEIGHT, SOUND  
INSULATED STUD  
PARTITION  
NON-LOADBEARING  
UL-U419



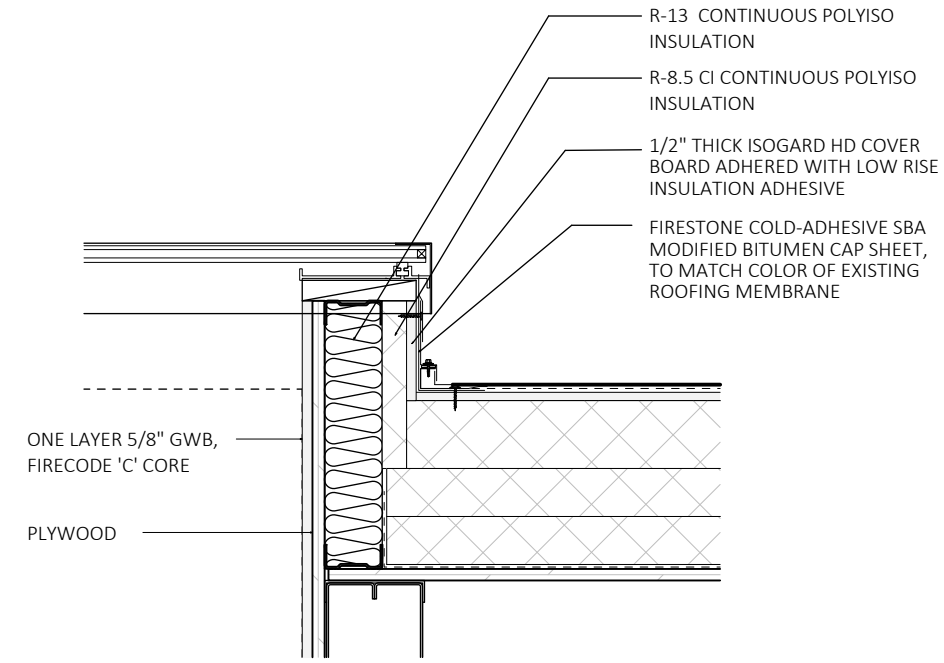
**WALL TYPE 'C'**  
ONE SIDE PARTITION  
NON-LOADBEARING



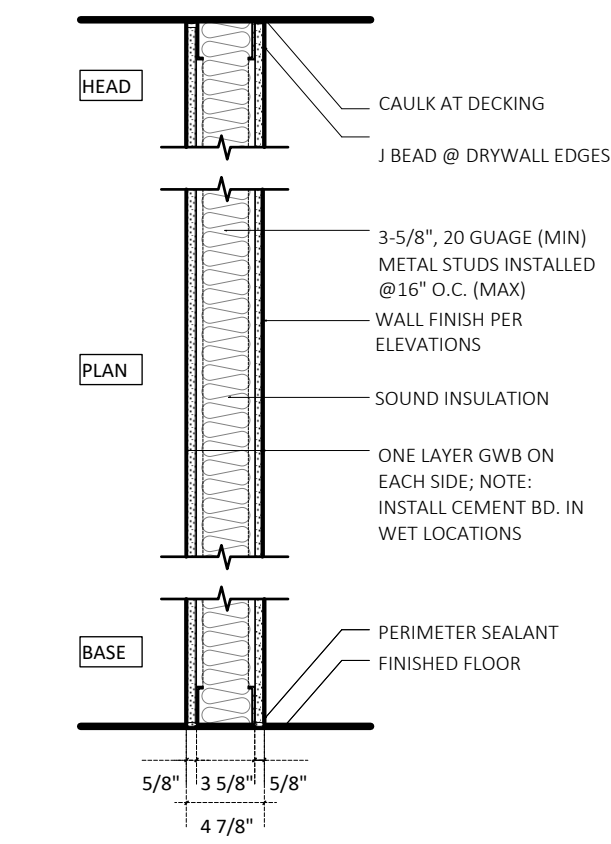
**WALL TYPE 'E'**  
BLOCK PARTITION  
LOADBEARING



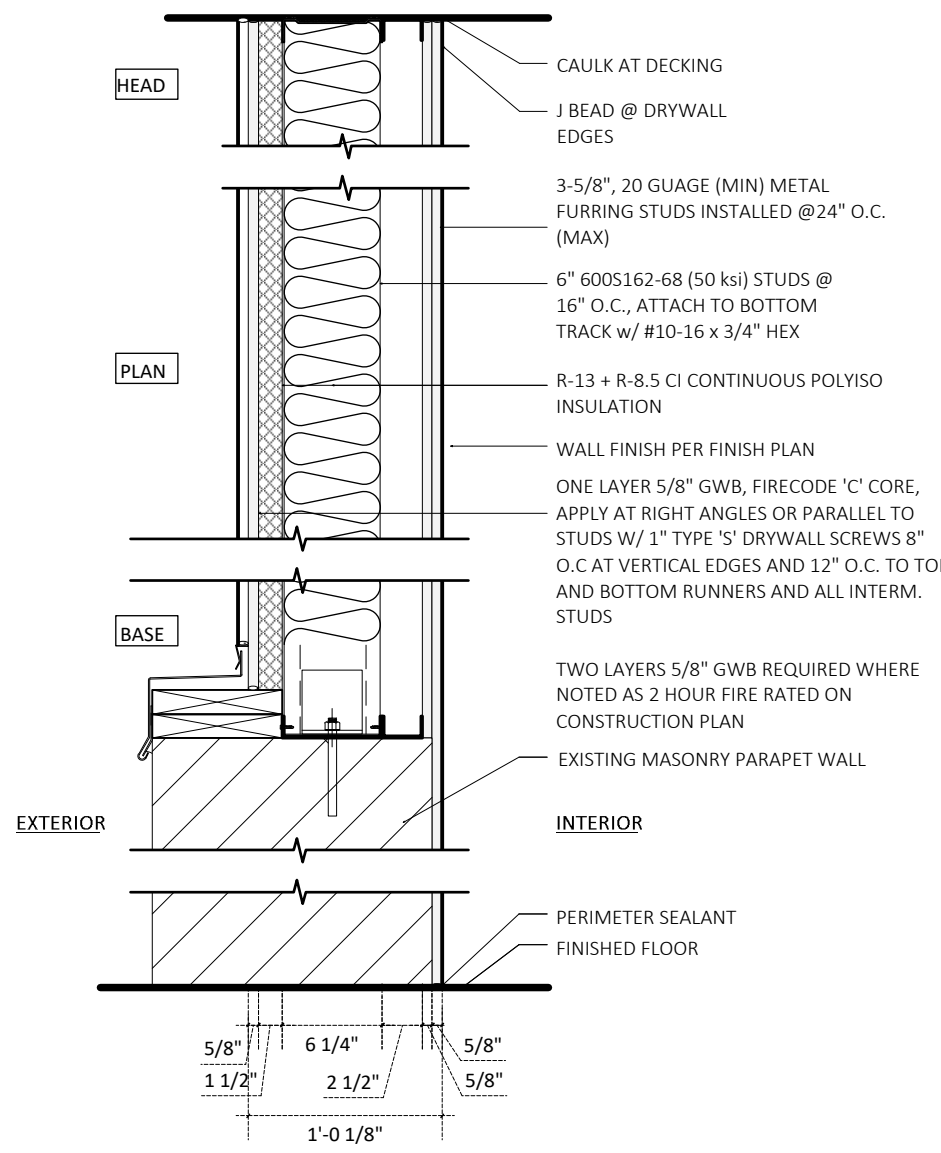
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FULL HEIGHT, SOUND  
INSULATED STUD  
PARTITION  
NON-LOADBEARING



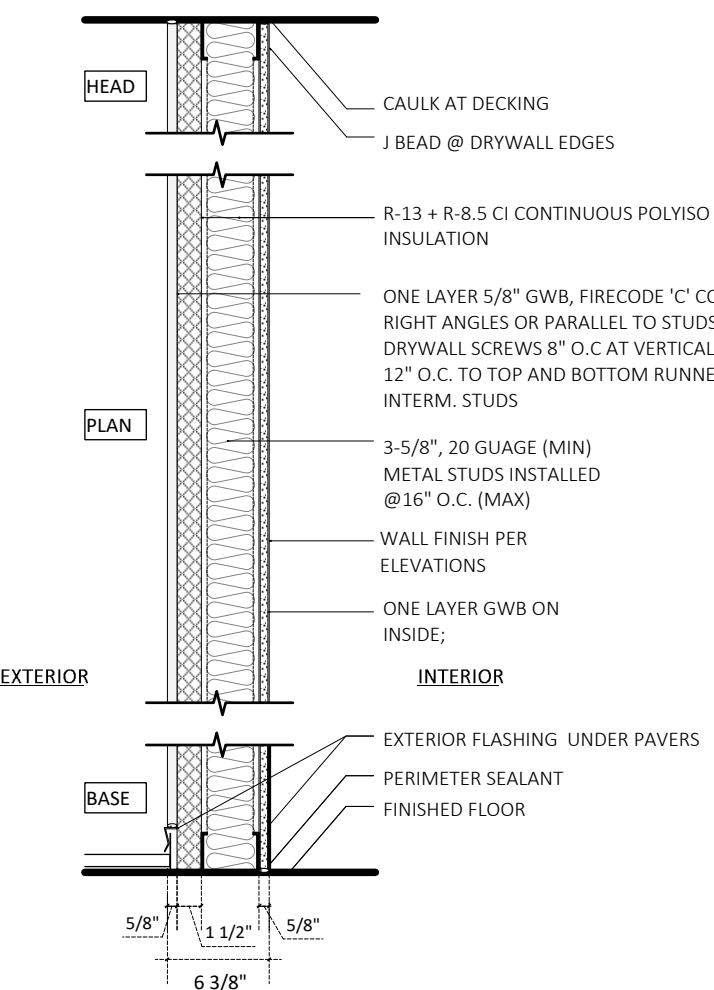
**WALL TYPE 'J'**  
SKYLIGHT CURB  
NON LOAD BEARING



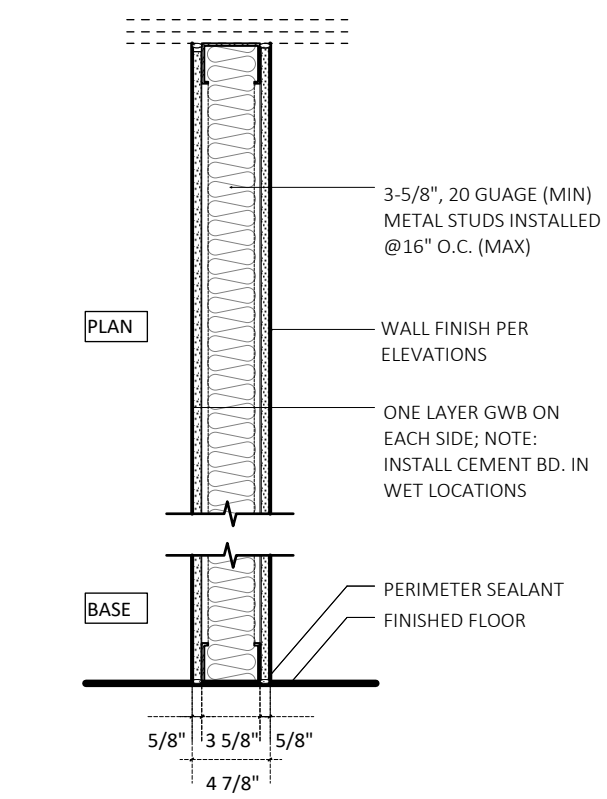
**WALL TYPE 'B'**  
FULL HEIGHT, SOUND  
INSULATED STUD  
PARTITION  
NON-LOADBEARING  
UL-U432



**WALL TYPE 'D'**  
EXTERIOR INSULATED  
FULL HEIGHT  
PARTITION  
LOADBEARING



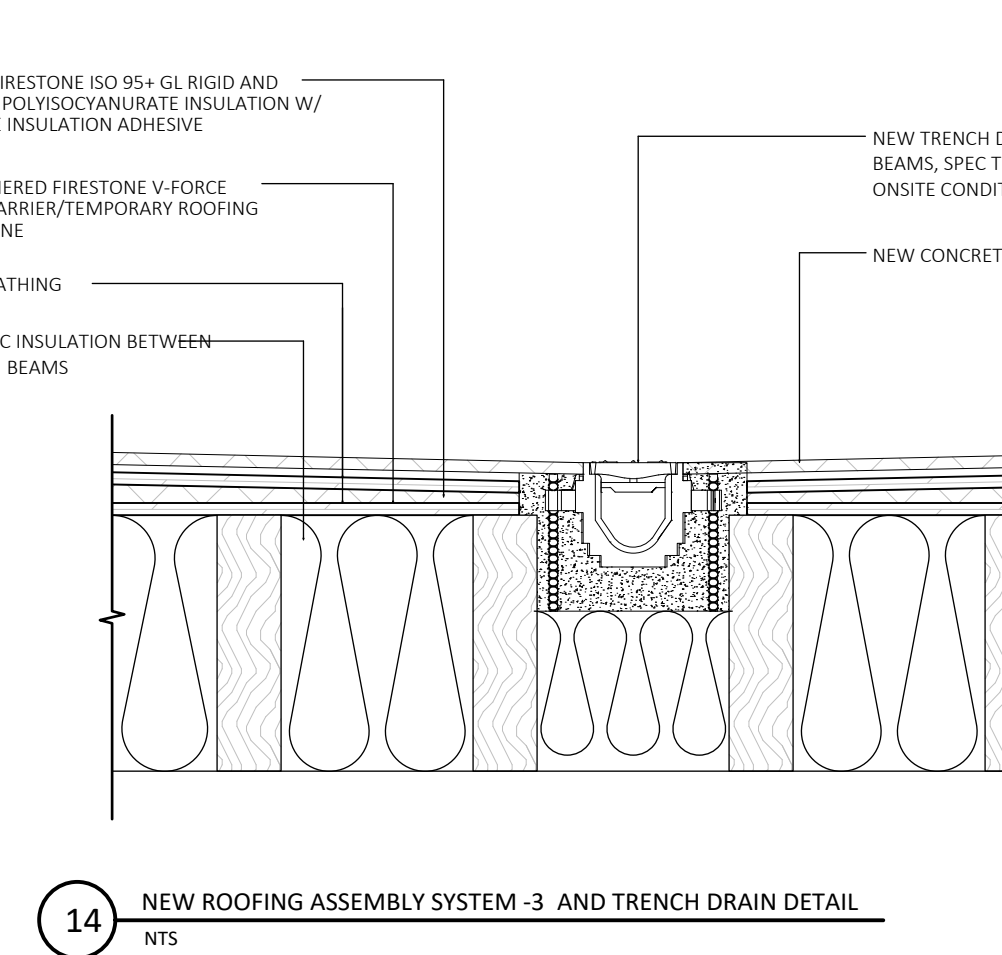
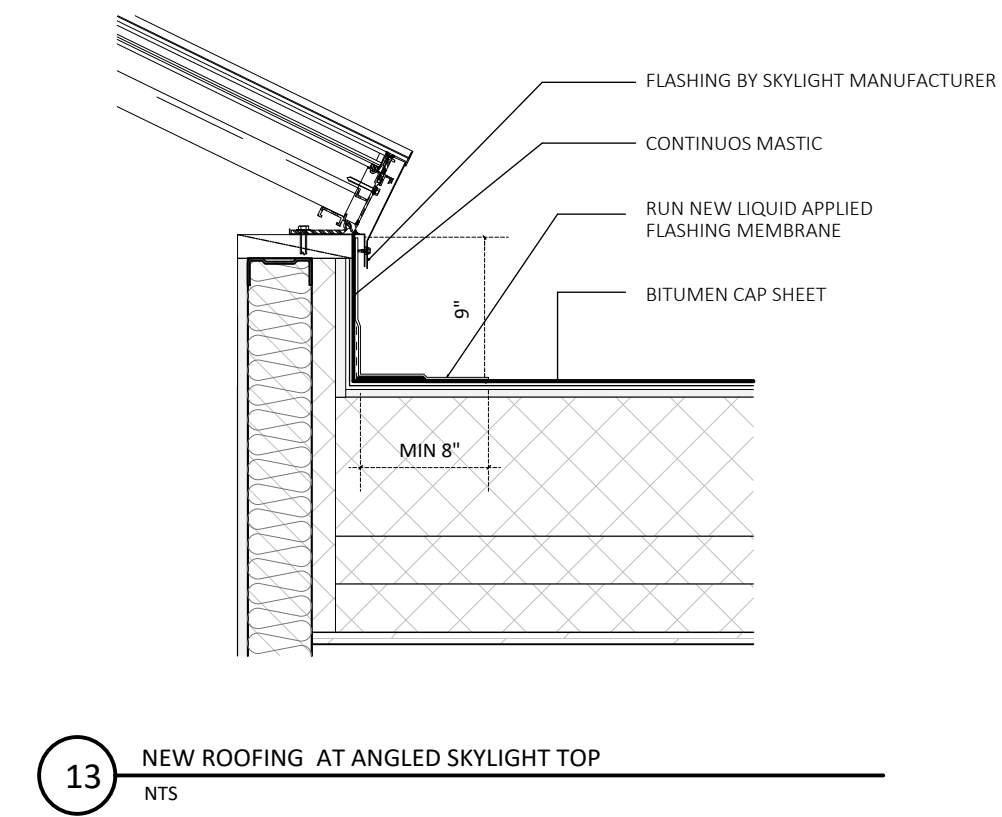
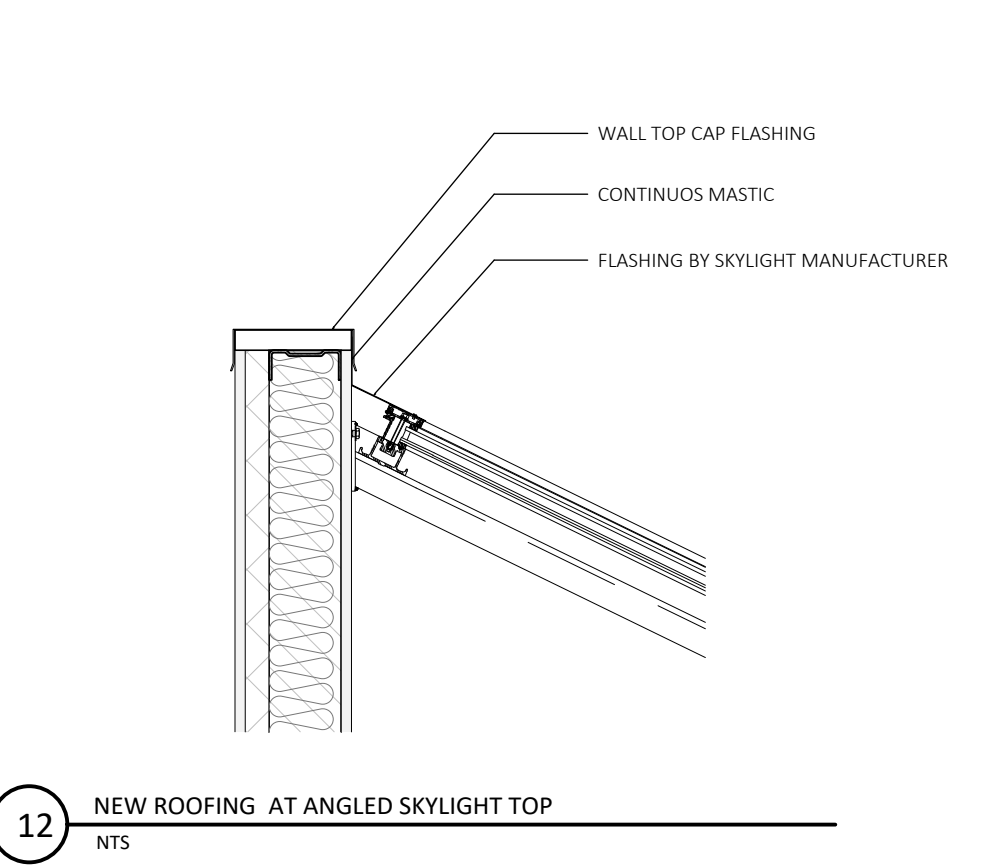
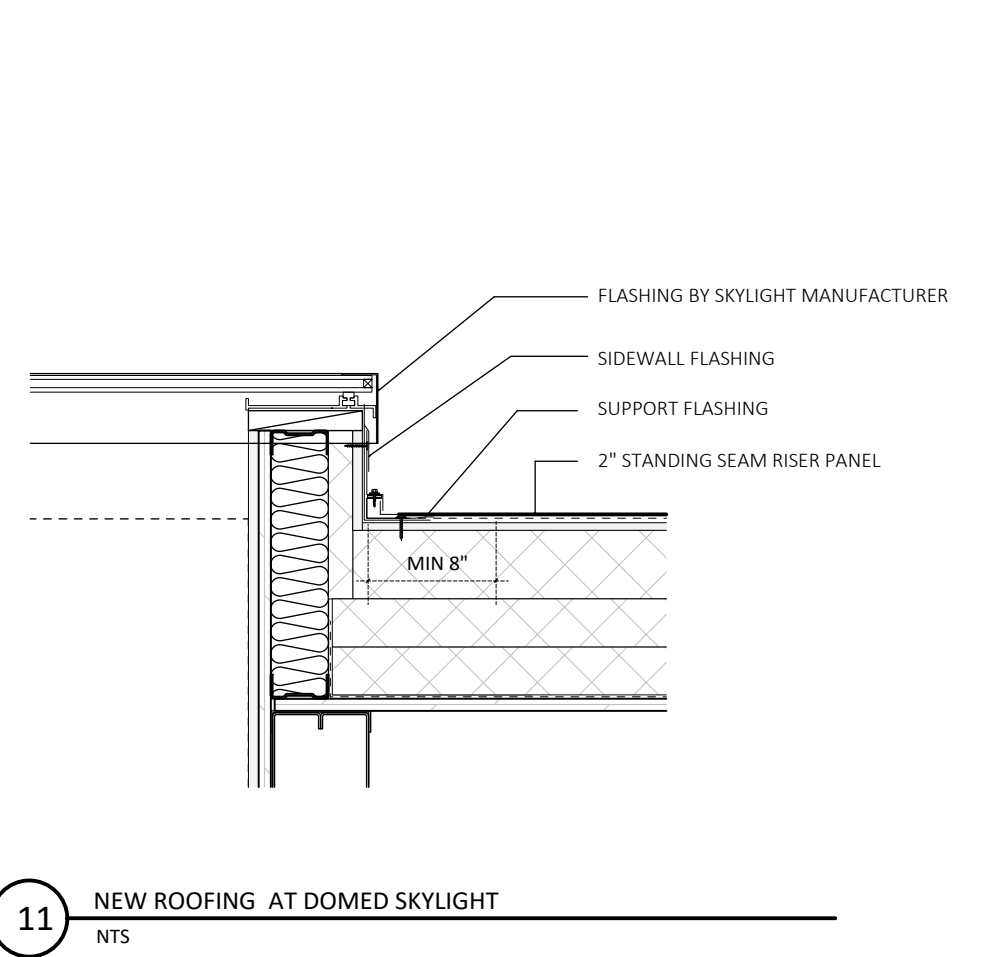
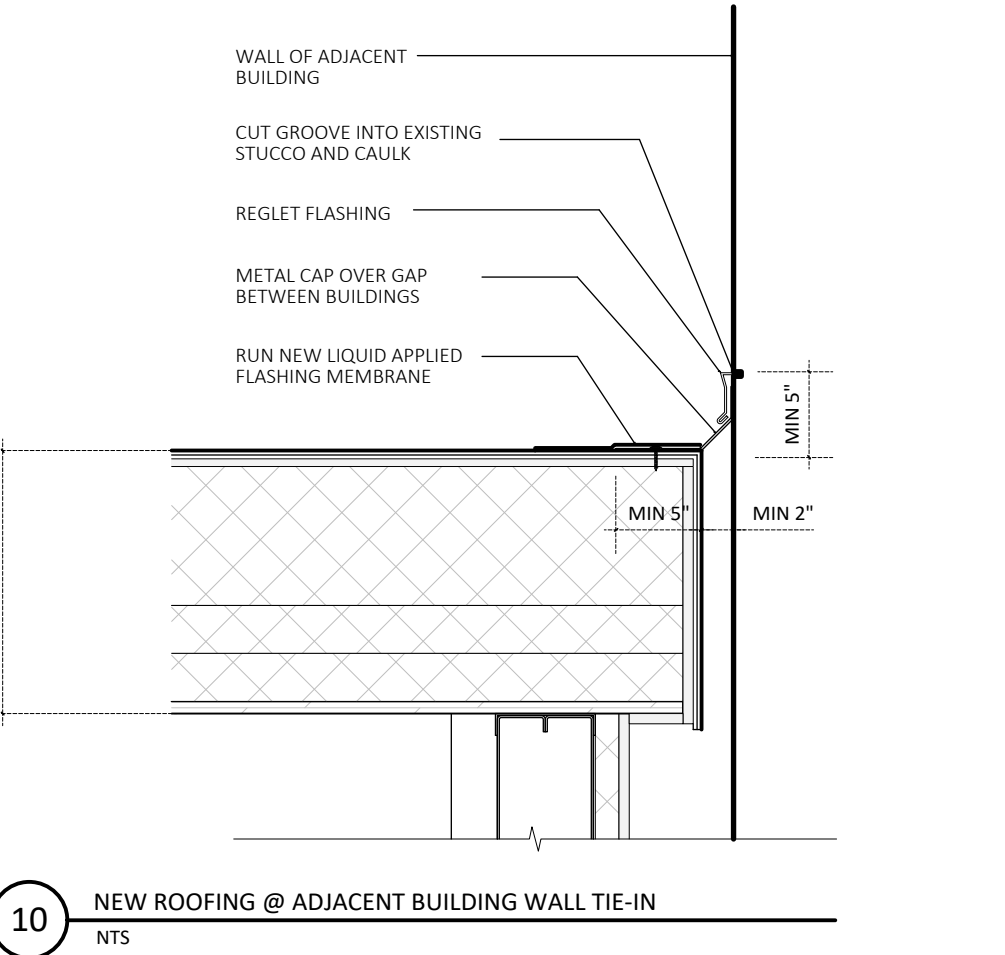
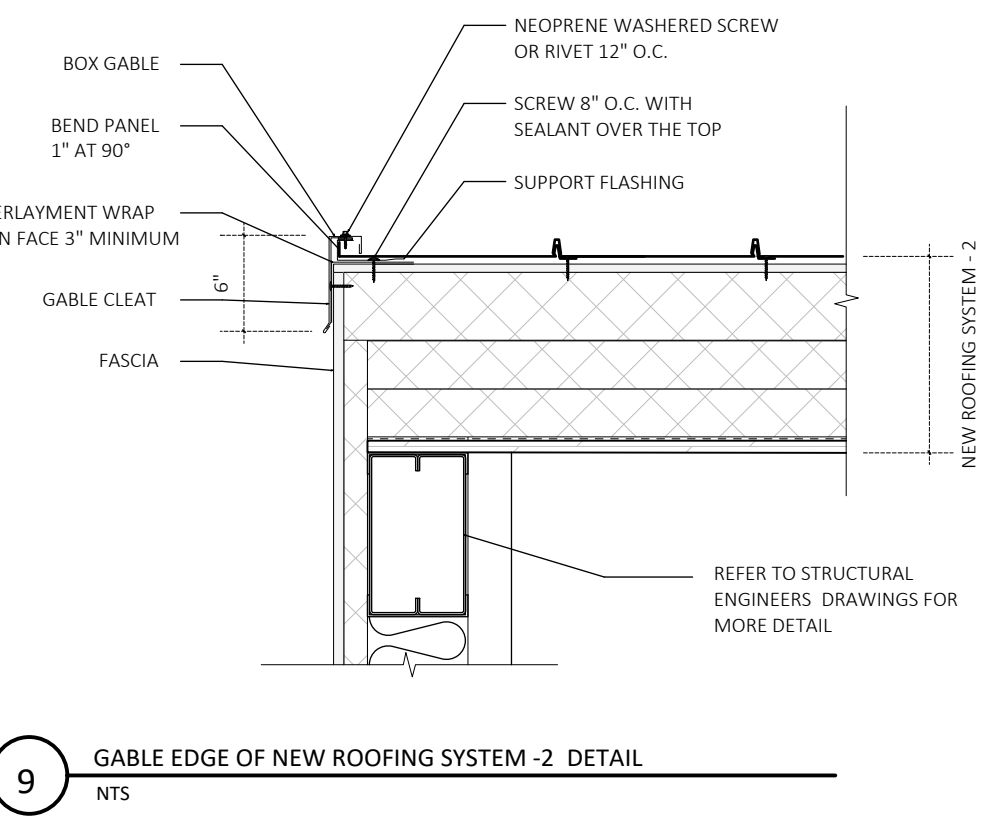
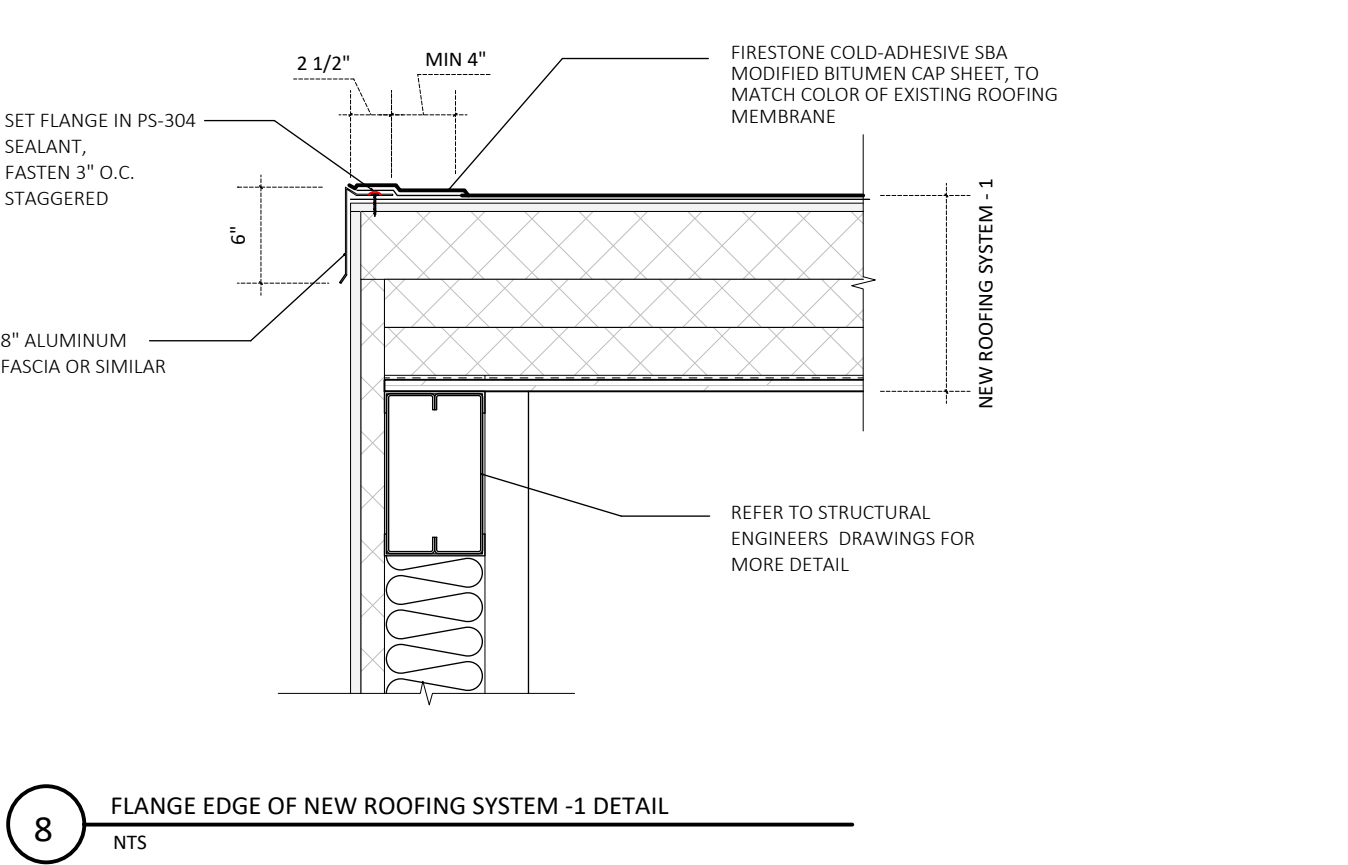
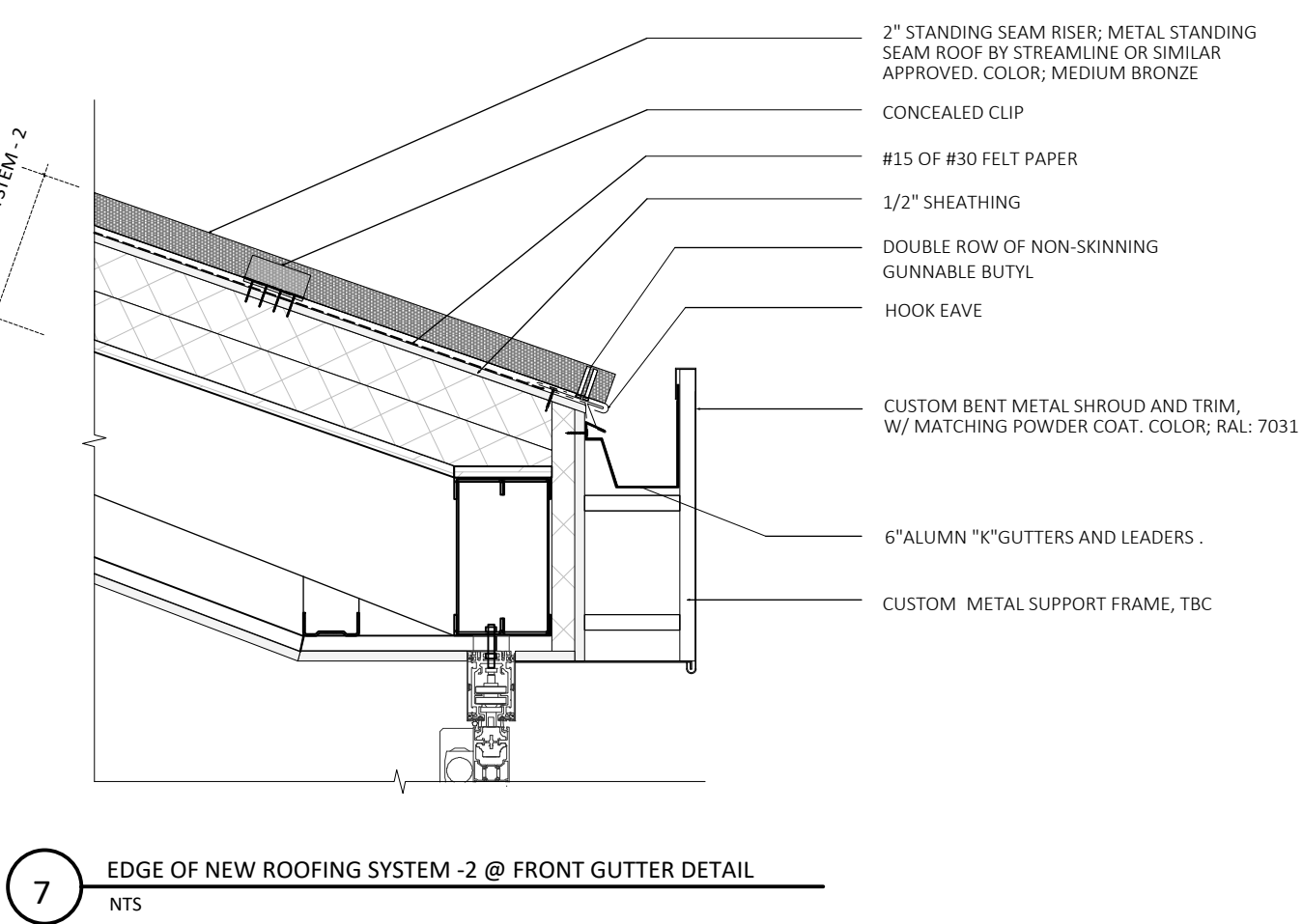
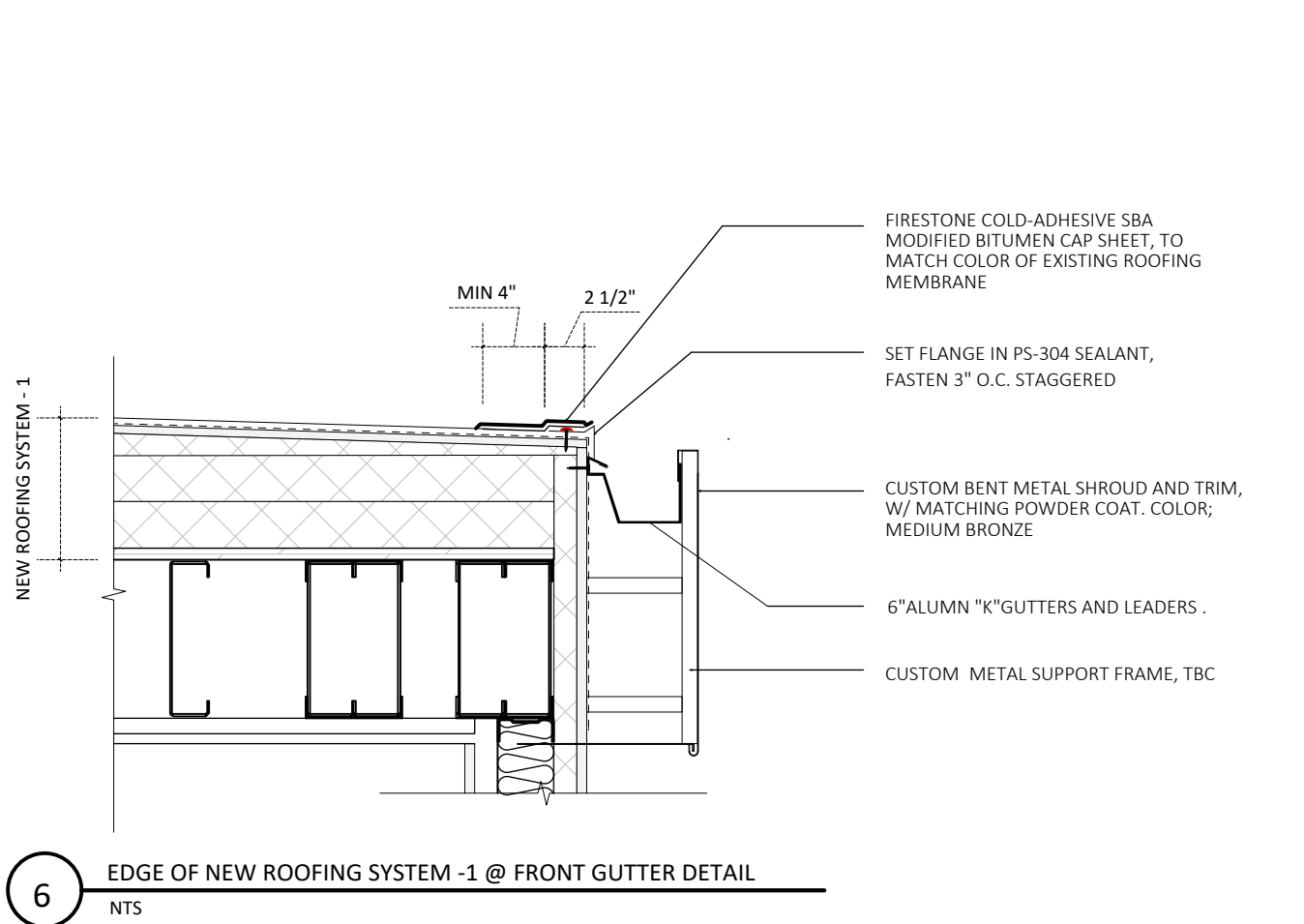
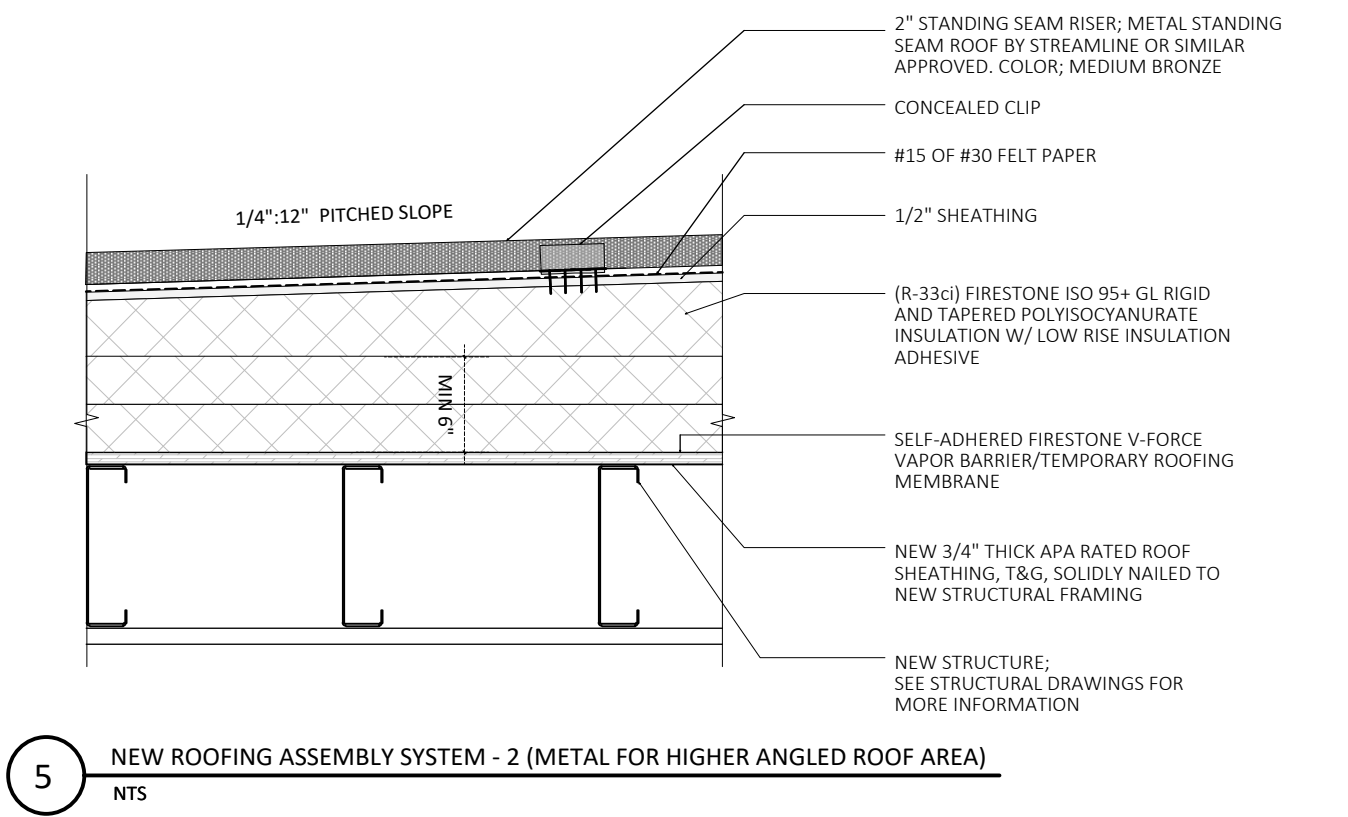
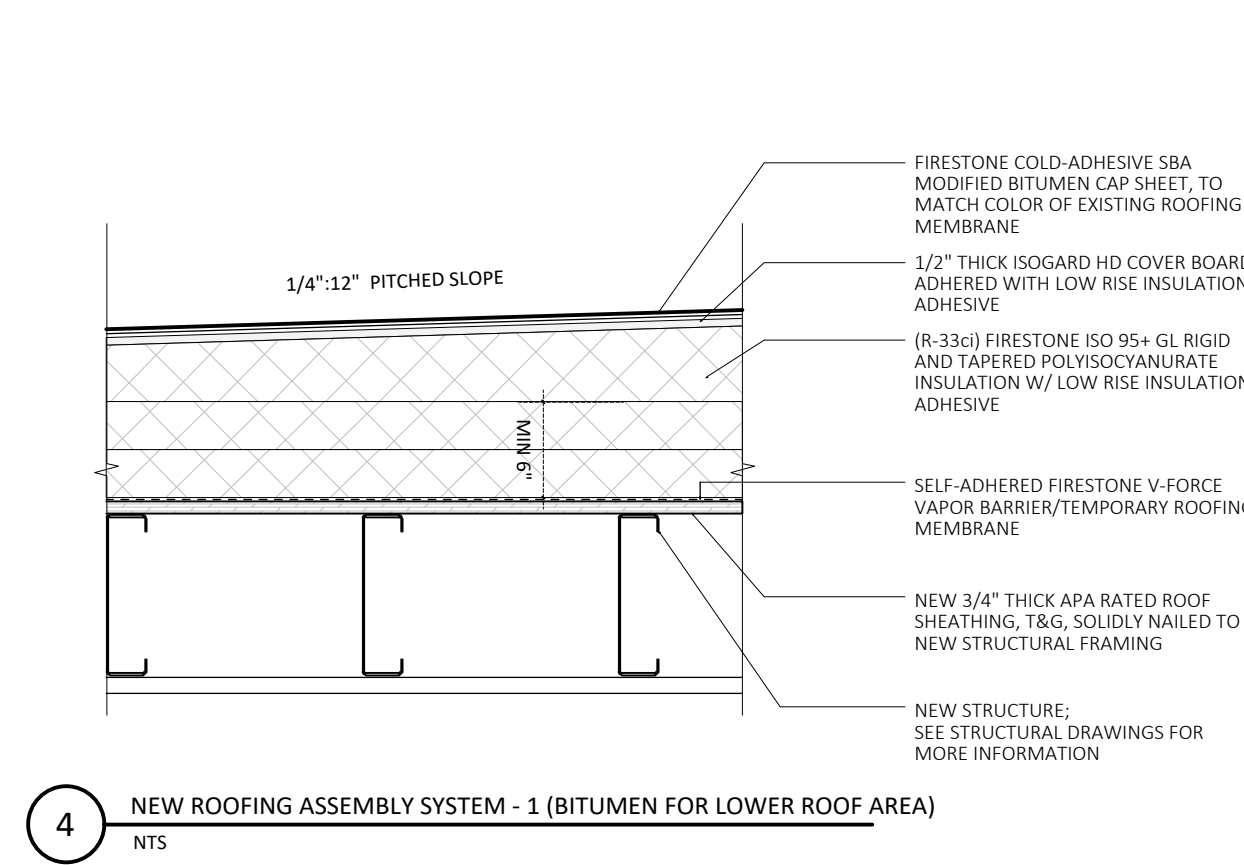
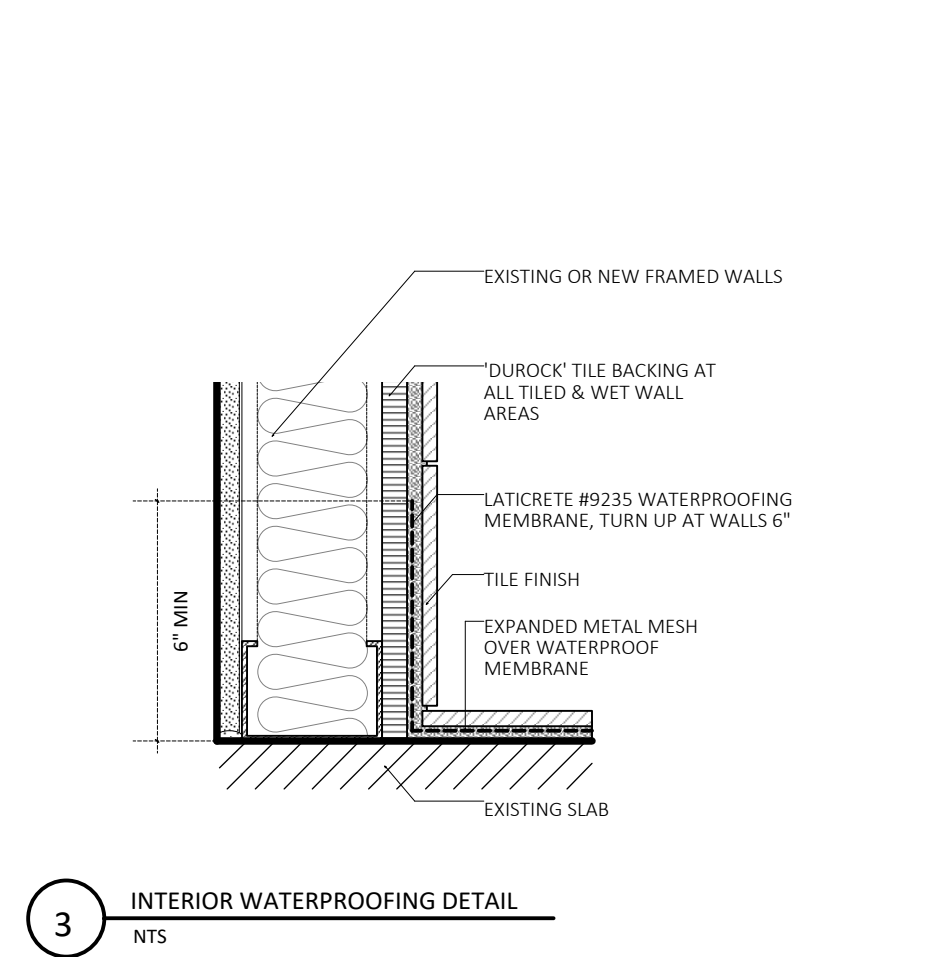
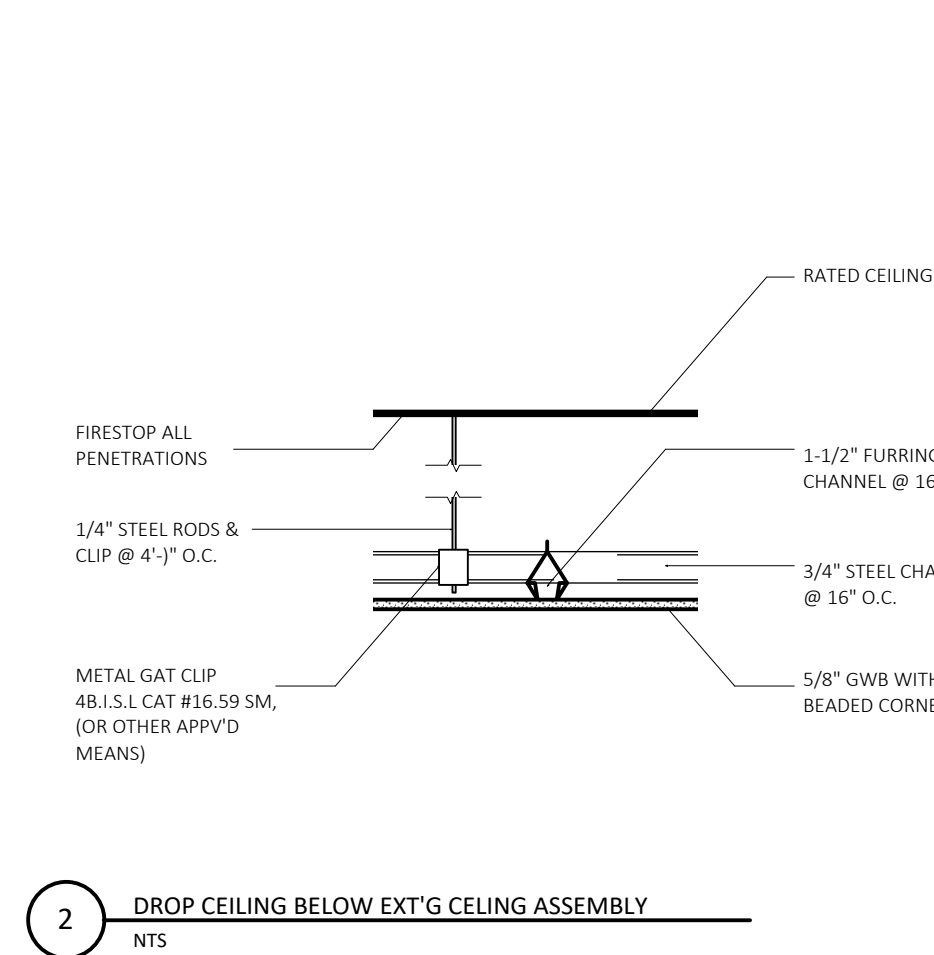
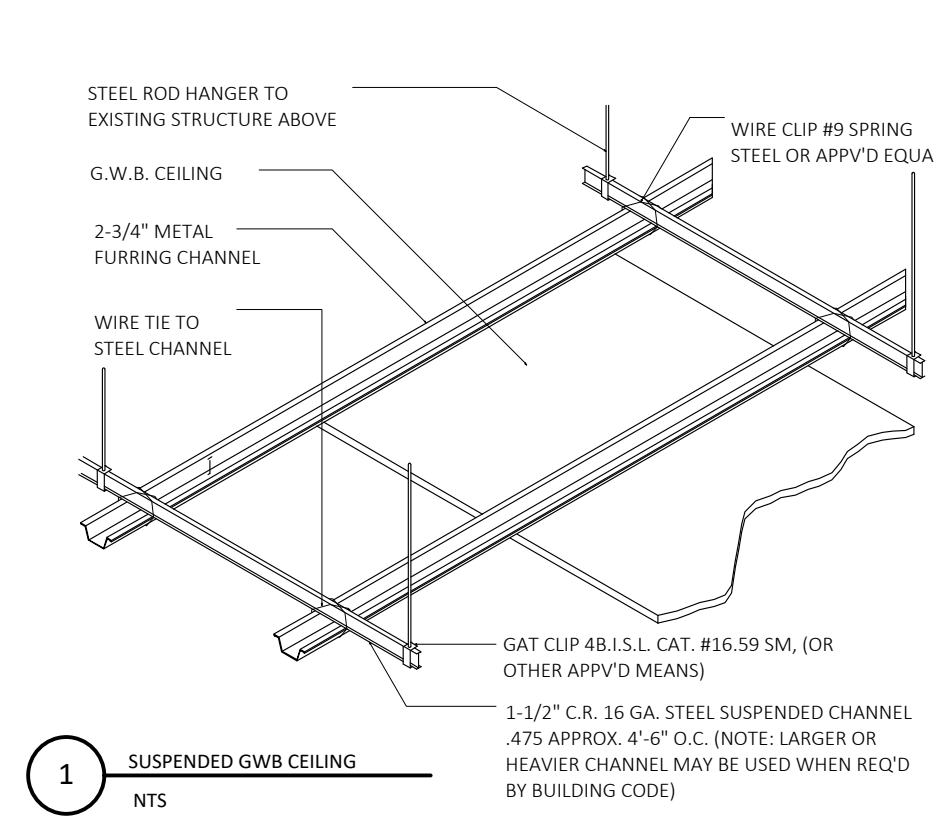
**WALL TYPE 'F'**  
EXTERIOR INSULATED  
FULL HEIGHT  
PARTITION  
LOADBEARING



**WALL TYPE 'H'**  
PARTIAL HEIGHT, STUD  
PARTITION  
NON-LOADBEARING

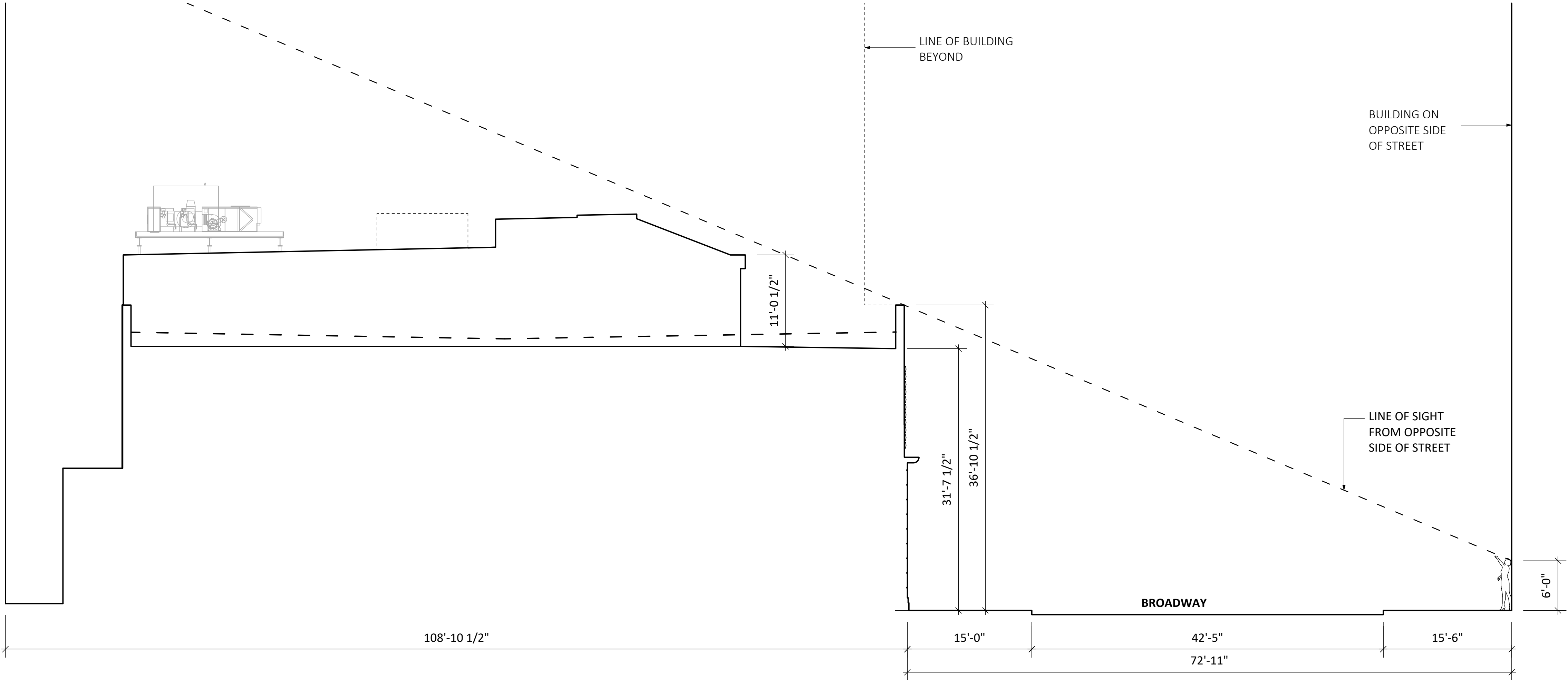


CEILING AND FLOOR DETAILS





LINE OF SIGHT SECTION



1 LINE OF SIGHT SECTION



2 KEY MAP  
SCALE: NTS







CUTSHEETS

Firestone iso 95+™ gl insulation

BECAUSE IT'S HIGHLY ENERGY EFFICIENT WITH THE HIGHEST R-VALUE RATING SPER INCH, THE USE OF ISO 95+ g/L INSULATION IN A FIRESTONE ROOFING SYSTEM PROVIDES A COST EFFECTIVE SOLUTION FOR TODAY'S ROOF DESIGN CHALLENGES AND IS REFERRED FOR ANY AND EVERY ROOFING SYSTEM.



THE HIGHEST THERMAL RATINGS. THE HIGHEST VERSATILITY.

This versatile insulation is especially suited for FM approved and UL classified direct-to-deck applications/assemblies without an additional thermal barrier in most installations.

ISO 95+ GL polyiso insulation boards have a glass reinforced facer on both sides of the foam core and can be attached with hot asphalt or low rise foam adhesive to various substrates, or mechanically fastened with Firestone fasteners and plates.

Physical Properties		
Property	Test Method	Typical Value
density	ASTM D 1622	2 pcf
compressive strength*	ASTM D 1621	20 psi
dimensional stability	ASTM D 2126	2% Max
Moisture Vapor Transmission	ASTM E 96	<1.0 perm
Water Absorption	ASTM C 209	<1.0% volume
service temperature	—	100°F to +250°F

\*For requirements greater than 20 psi, contact Firestone Estimating Services Department at 800-428-4442.

Firestone isoga RD™ HD Cover Board

Added protection for any roof.

a High-density cover board, isogaRD HD cover board combines Impact Resistance, Mold Resistance, energy savings and ease of installation in a single, durable product. AND BECAUSE IT'S LIGHTWEIGHT AND EASY TO cut and install, isogaRD HD cover board can offer savings from reduced transportation costs, labor and material during application. PLUS, IT PROVIDES THE HIGHEST THERMAL PERFORMANCE OF ANY 1/2" INSULATION COVER BOARD PRODUCT ON THE MARKET.



a Winner in Wind Uplift Performance

Excellent wind uplift performance means Firestone ISOgARD HD cover board requires fewer fasteners than other comparable products. In terms of energy efficiency, easy handling and other important advantages, Firestone ISOgARD HD cover board is the clear winner.

Reduce Costs by Achieving Desired R-value with isogaRD HD

Suppose a design specification for a new warehouse calls for an R-value of 20 with a cover board. The following example demonstrates why ISOgARD HD cover board is a better value:

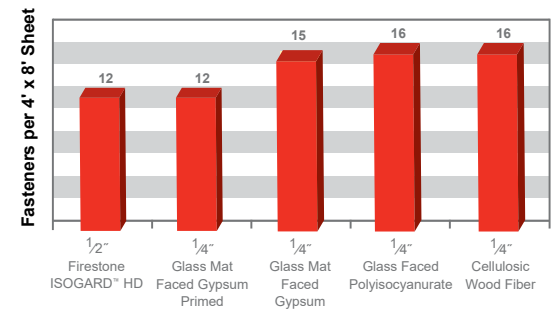
System 1		System 2
2 layers of 1.40" ISO = 16.0 R-value	vs	2 layers of 1.60" ISO = 18.2 R-value
1/2" ISOgARD HD Board = 2.5 R-value	vs	1/2" gypsum = .28
Total R-value = 18.5	vs	Total R-value = 18.48

Utilizing the Firestone ISOgARD HD Cover Board helps reduce the thickness of the initial layers of insulation and thereby reduces the costs of the project.



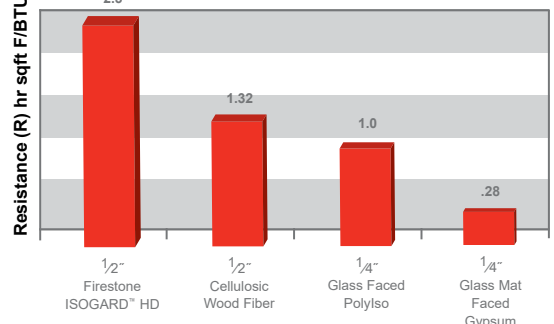


Fastener Density for 1-90 Rating Fully Adhered Systems



Material	Fasteners per 4' x 8' Sheet
Firestone ISOgARD HD	12
Glass Mat Faced Gypsum	12
Glass Mat Faced Gypsum	15
Glass Faced Polyisocyanurate	15
Cellulosic Wood Fiber	15

R-Value per Thickness



Material	R-Value per Thickness (R in sq ft/in)
1/2" Firestone ISOgARD HD	2.5
1/2" Cellulosic Wood Fiber	1.32
1/4" Glass Faced Polyiso	1.9
1/4" Glass Mat Faced Gypsum	.28

Product availability

Board sizes of 4' x 4' and 4' x 8'. Weight of 12 lbs. per 4' x 8' sheets. Wind uplift performance I-90 (at 12 fasteners per 4' x 8' board).

Firestone iso 95+™ gl tapered insulation

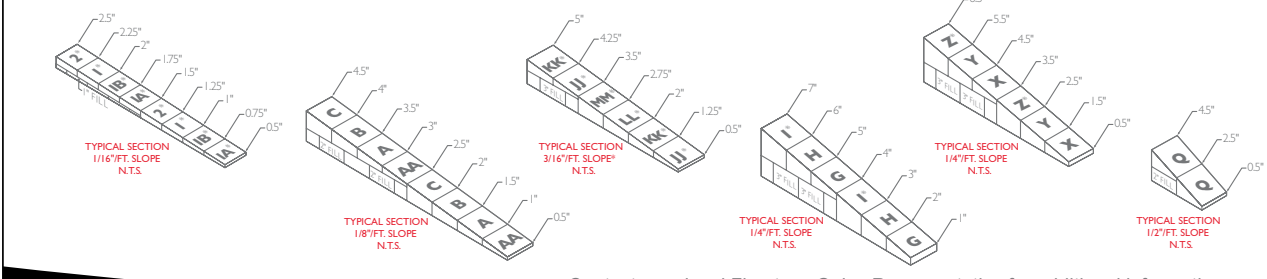
WHEN A SUBSTRATE SLOPE WILL NOT PERMIT EFFICIENT DRAINAGE, FIRESTONE TAPERED ISO 95+ g/L POLYISO INSULATION PROVIDES AN EFFECTIVE AND ECONOMICAL SOLUTION. PROPERLY INSTALLED, TAPERED ISO 95+ g/L INSULATION CAN EXTEND THE LIFE OF THE ROOF ASSEMBLY BY ELIMINATING PROBLEMS ASSOCIATED WITH PONDED WATER.




tapered insulation Expert End Product Support

Firestone is committed to providing accurate and timely tapered take-offs that encompass all critical elements affecting proper drainage. The Firestone Tapered Network, a free service, uses the latest technology to offer architects, consultants, general contractors, distributors and roofing contractors a complete and accurate tapered insulation system for any project.

Working closely with the customer, the Firestone Tapered Network team will generate a proprietary CAD drawing that clearly identifies the proper placement of tapered insulation on the roof, including the location of crickets, drains and other elements critical to proper drainage.



Contact your local Firestone Sales Representative for additional information.





Code Compliance

Firestone polyiso insulations bear a variety of code body compliances noted below:

- Factory Mutual (FM) approved for Class 1 insulated steel deck construction. (Tested to FM 4450 standard)
- Foamed plastic for built-up roof covering classified by Underwriters Laboratories, Inc. (UL), as to an external fire exposure only (per UL-790)
- Foamed plastic classified by UL as roof deck construction material with resistance to internal fire exposure for use in Construction Nos. 120 and 123 (tested to UL 1256)
- UL Design numbers: P225, P230, P232, P259, P302, P508, P510, P514, P519, P701, P710, P713, P717, P718, P719, P720, P722, P723, P727, P728, P729, P730, P732, P741, P801, P814, P815, P818, P819, P824, P828
- Federal Specifications: HH-I-1972/g en. and HH-I-1972/2
- ASTM C-1289
- Based on current UL and FM test data, Firestone ISO 95+ g/L insulation complies with the IBC when installed in accordance with UL and/or FM requirements.
- Firestone ISO 95+ g/L insulation also meets Metro-Dade 03-0123.03 and Canadian standards Cg SB-15.26-M86.
- National Research Council of Canada (NRC) Evaluation Listing CCMC 13274-L.







Thermal Properties

nominal thickness in	nominal thickness mm	1" R*	Weight lbs/sq ft
1.5	12.7	6.3	1.60
2.0	50.8	8.3	1.69
2.5	63.5	12.0	1.77
3.0	76.2	16.0	1.85
3.5	88.9	18.0	1.93
4.0	101.6	21.1	2.02

\*Long-term thermal resistance (LTR) values have been determined in accordance with CANULC S770.

1

PROPOSED FIRESTONE 95 + TAPERED INSULATION

SCALE: NTS

PROJECT NAME: BAR AMARO

ADDRESS: 913 BROADWAY, NY, 10010

ARCHITECT: SARAH CARPENTER,R.A.

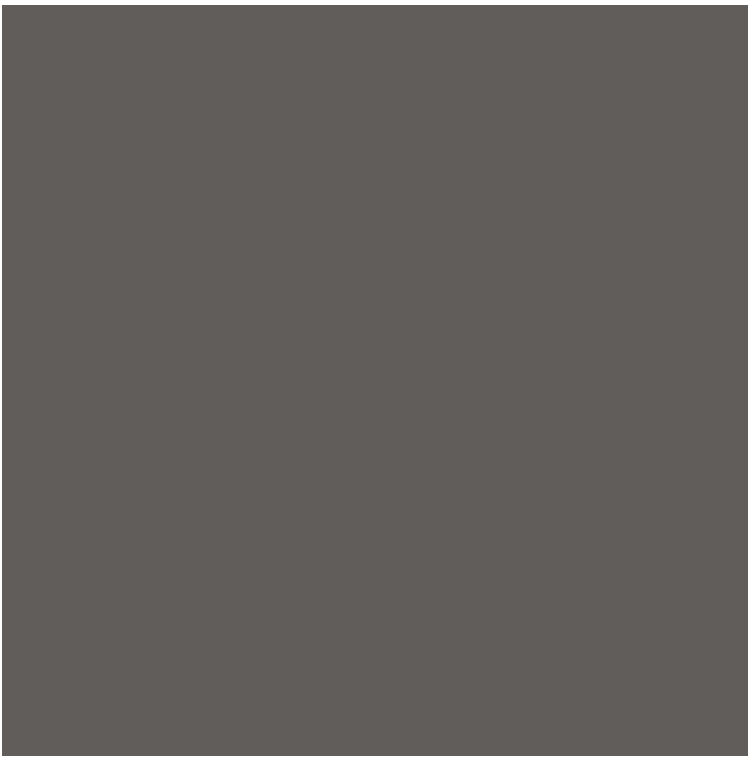
PAGE: 24 / 25



PROPOSED ELEVATION



1 PROPOSED ELEVATION - 3D RENDER  
SCALE: NTS



1 NEW METAL STANDING SEAM ROOFING  
+ MATCHING GUTTER & TRIM  
KAYNAR MEDIUM BRONZE SRI-36



2 NEW WALL STUCCO  
BENJAMIN MOORE NATURAL CREAM OC-14



3 NEW NANAWALL DOORS & WINDOWS (MODEL-HSW60)  
CUSTOM POWDER COAT -RAL 101



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**Note:** If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.