

April 8, 2025  
Public Hearing

The current proposal is:

**Preservation Department – Item 7, LPC-25-07080**

**400 West End Avenue – Riverside - West End Historic District  
Extension I  
Borough of Manhattan**

To testify virtually, please join Zoom

**Webinar ID:** 160 352 2973

**Passcode:** 266570

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

**Note:** If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.

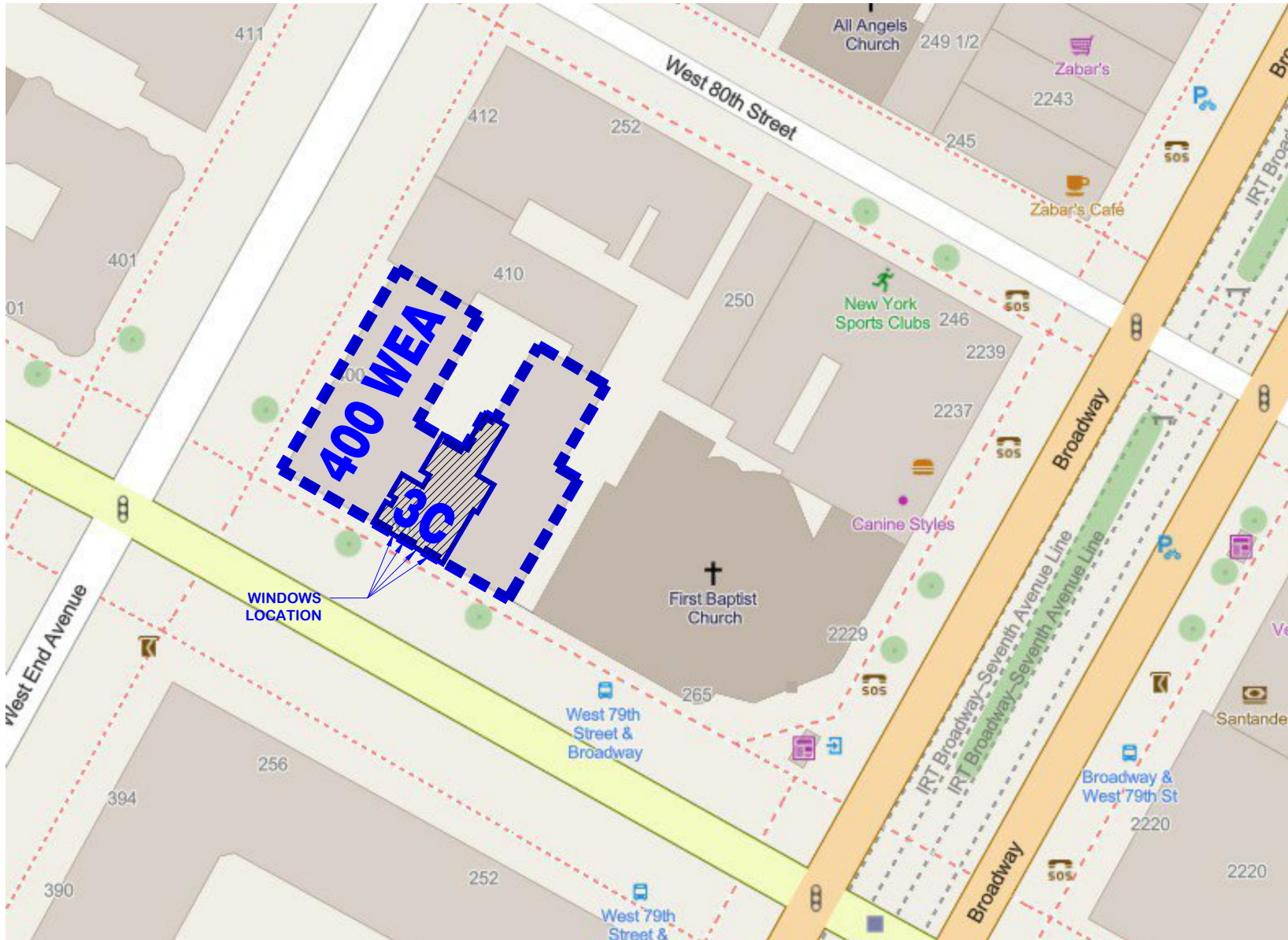
# PROPOSED IMPROVEMENTS

IN THE MATTER OF REPLACING EXISTING WINDOWS AT 400 West End Avenue, 3C, NEW YORK, NY 10024

N

LOCATION PLAN

N.T.S.

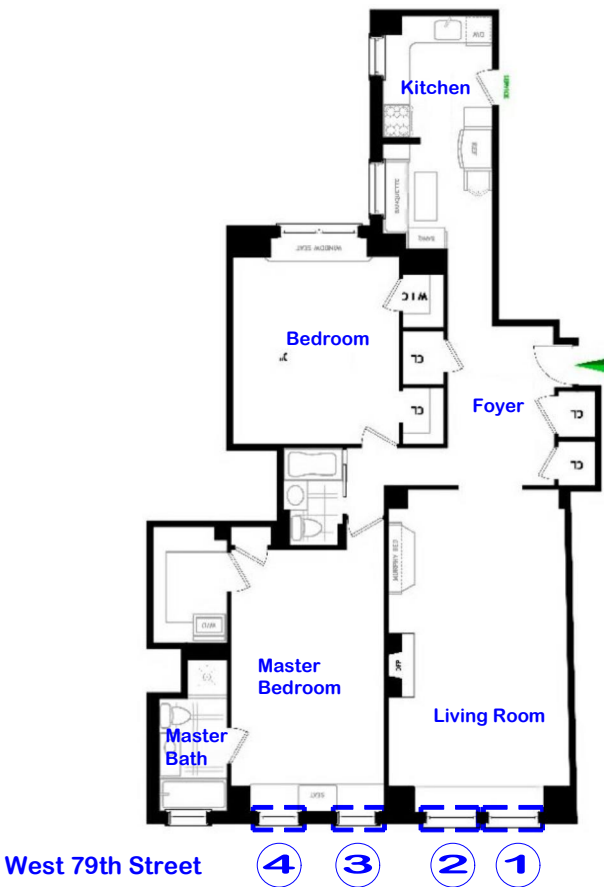


N

WINDOWS KEY PLAN

N.T.S.

400 West End Avenue, Apt. 3C



## INDEX OF DRAWINGS

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Project Name and Address:  
**Sobel, Michael** Residence  
400 West End Avenue, 3C

Drw. Title:  
**Location Plan + Window Key Plan  
& Index of Drawings**

Drw. j. millan	Rev. 1 2/12/2025	Rev. 4 ----
Date: 12/13/2024	Rev. 2 ----	Rev. 5 ----
Scale: NOT TO SCALE	Rev. 3 ----	Rev. 6 ----

Sheet:  
**T-1**



THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION  
1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007  
TEL: 212 669-7700 FAX: 212 669-7780



# PERMIT

## CERTIFICATE OF APPROPRIATENESS

<b>ISSUE DATE:</b> 04/05/23	<b>EXPIRATION DATE:</b> 3/14/2029	<b>DOCKET #:</b> LPC-23-02011	<b>COFA</b> COFA-23-02011
<b>ADDRESS:</b> 400 WEST END AVENUE Apt/Floor: 17CD		<b>BOROUGH:</b> MANHATTAN	<b>BLOCK/LOT:</b> 1227 / 1
Riverside-West End Historic District Extension I			

Display This Permit While Work Is In Progress

ISSUED TO:

**Peter Mettham**  
**Gumley Haft**  
**1501 Broadway**  
**Suite 1001**  
**New York, NY 10037**

**NOT ORIGINAL**  
**COMPUTER-GENERATED COPY**

Pursuant to Section 25-307 of the Administrative Code of the City of New York, the Landmarks Preservation Commission, at the Public Meeting of March 14, 2023, following the Public Hearing of the same date, voted to grant a Certificate of Appropriateness for the proposed work at the subject premises, as put forth in your application completed on February 16, 2023.

The proposal, as approved, consists of replacing dark brown-finished metal windows and doors with dark brown-finished metal windows and doors at the seventeenth floor (apartment 17CD), including replacing five (5) one-over-one, double-hung windows, in-kind, at the south (West 79th Street) façade; replacing one (1) one-over-one, double-hung window, in-kind, at the setback south façade; replacing a door assembly, featuring a pair of single-light paneled doors, flanked by two (2) single-light casement windows, with a door assembly, featuring a two-light sliding door and a single-light fixed window, at the setback south facade; replacing one (1) pair of single-light paneled doors, with one (1) single-light door at the setback south façade; replacing six (6) one-over-one, double-hung windows, in-kind, at the east (side) façade; replacing two (2) pairs of single-light casement windows, with two (2) pairs of one-over-one, double-hung windows, at the east façade; replacing one (1) one-over-one, double-hung window, in-kind, at a north-facing façade; and replacing one (1) pair of single-light casement windows with one (1) pair of one-over-one, double-hung

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Issued: 04/05/23

DOCKET #: LPC-23-02011

windows at a north-facing courtyard façade, as shown in a digital presentation, titled “Landmarks Preservation Public Hearing Presentation: Riverside-West End Historic District Extension I, Community Board #7, Window Replacement Project at: 400 West End Avenue, Apartment 17CD, New York, NY 10024, Tax Block: 1227; Tax Lot: 1,” dated January 20, 2023, and prepared by Rebecca Levin, of RL Architectural Services, Inc., including 23 slides, consisting of photographs and drawings, all presented as components of the application at the Public Hearing and Public Meeting.

In reviewing this proposal, the Commission noted that the Riverside – West End Historic District Extension I Designation Report describes 400 West End Avenue as an Art Deco style apartment building, designed by Margon & Holder, and built in 1930-31; and that the building’s style, scale, materials, and details, are among the features that contribute to the special architectural and historic character of the historic district. The Commission also noted that at the time of designation, most of the multi-light casement windows were replaced with one-over-one double-hung windows, and single-pane tilt-and-turn windows. The Commission further noted that Certificate of Appropriateness 19-35840 (LPC 19-35840) was issued on May 17, 2019; and Certificate of Appropriateness 23-04335 (LPC 23-04335) was issued on January 27, 2023, for the replacement of windows.

With regard to this proposal, the Commission found that the vast majority of the historic multi-light casement windows at the street facades of this building were replaced prior to the designation of the historic district, and therefore the work will not further diminish a cohesive historic fenestration; that the existing one-over-one, double-hung windows and single-light doors to be removed are not historic, therefore, the work will not eliminate significant historic fabric; that the proposed dark brown finished metal clad-wood, one-over-one, double-hung windows will be consistent with windows historically found at other buildings of this type and age in this historic district; that the proposed one-over-one, double-hung windows will maintain a unified fenestration pattern at the building’s facades; that only the top portions of the proposed single-light metal doors at the terrace will be visible from public thoroughfares, helping them to harmonize with the existing and proposed one-over-one, double-hung windows; and that the work will not detract from the special architectural and historic character of building or the Riverside-West End Historic District Extension I. Based on these findings, the Commission determined the work to be appropriate to the building and the historic district and voted to approve the application.

The Commission received final shop drawings, which were submitted prior to the Public Hearing, labeled 000.00 through 000.02, 001.00, 101.00 through 108.00, 201.00 through 205.00, and 301.00 through 305.00, dated February 22, 2022, and prepared by Window & Door Pro.

Accordingly, the Commission staff reviewed these drawings and noted that they include additional work, consisting of replacing three (3) dark brown-finished metal, one-over-one, double-hung windows at the seventeenth floor of south-facing courtyard façades, with two (2) dark brown-finished metal, one-over-one, double-hung windows, and one (1) dark brown-finished metal, through-window louver.

With regards to this additional work, the Commission finds that the work is in accordance with the provisions set forth in Title 63 of the Rules of the City of New York, Section 2-14 for Window and Doors, including Section 2-14(h)(1) for new windows and doors at secondary nonvisible or minimally visible facades; and Section 2-21 for Installation of Heating, Ventilation, Air Conditioning and other Mechanical Equipment, including Section 2-21(c)(2)(ii) for HVAC equipment within window openings on secondary facades. Additionally, the Commission found that the design approved by the Commission has been maintained. Based on these and the above findings, the drawings have been marked approved and Certificate of Appropriateness 23-02011 is being issued.

The approved documents, and Department of Buildings filing drawings where applicable, are marked

approved by the Commission, with the date of the approval indicated.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the application or disclosed during the review process.

The approved documents, and Department of Buildings filing drawings where applicable, are marked as approved by the Commission, with the date of the approval indicated. The work is limited to what is contained in the approved documents and referenced in the approval. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fine. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to Michelle Craren.

Sarah Carroll  
Chair

**PLEASE NOTE: APPROVED DOCUMENTS, DEPARTMENT OF BUILDINGS FILING DRAWINGS WHERE APPLICABLE, AND A COPY OF THIS PERMIT HAVE BEEN PROVIDED TO:**

Christopher Amplo, President, Window and Door Pro

cc: Emma Waterloo, Deputy Director; Christopher Amplo, President, Window and Door Pro





THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION  
1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007  
TEL: 212 669-7700 FAX: 212 669-7780



# PERMIT

## CERTIFICATE OF APPROPRIATENESS

<b>ISSUE DATE:</b> 01/27/23	<b>EXPIRATION DATE:</b> 1/10/2029	<b>DOCKET #:</b> LPC-23-04335	<b>COFA</b> COFA-23-04335
<b>ADDRESS:</b> 400 WEST END AVENUE Apt/Floor: 7A		<b>BOROUGH:</b> MANHATTAN	<b>BLOCK/LOT:</b> 1227 / 1
Riverside-West End Historic District Extension I			

Display This Permit While Work Is In Progress

ISSUED TO:

**Peter Mettham**  
**The 400 Owners Corporation**  
**1501 Broadway Suite 1001**  
**New York, NY 10036**

**NOT ORIGINAL**  
**COMPUTER-GENERATED COPY**

Pursuant to Section 25-307 of the Administrative Code of the City of New York, the Landmarks Preservation Commission, at the Public Meeting of January 10, 2023, following the Public Hearing of the same date, voted to grant a Certificate of Appropriateness for the proposed work at the subject premises, as put forth in your application completed on December 15, 2022.

The proposal, as approved, consists of replacing eleven (11) dark brown-finished metal, one-over-one, double-hung windows at the seventh floor (apartment 7A), with eleven (11) dark brown-finished metal-clad wood, one-over-one, double-hung windows, including replacing six (6) windows at the west (West End Avenue) façade, and replacing five (5) windows at the south (West 79th Street) façade, as shown in a digital presentation, titled "Apartment Renovation, 400 West End Ave, New York, NY, 10024," dated January 10, 2023, and prepared by Mabbott Seidel Architecture, including 13 slides, consisting of photographs and drawings, all presented as components of the application at the Public Hearing and Public Meeting.

In reviewing this proposal, the Commission noted that the Riverside – West End Historic District Extension I Designation Report describes 400 West End Avenue as an Art Deco style apartment building, designed by Margon & Holder, and built in 1930-31; and that the building's style, scale, materials, and details, are among

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Issued: 01/27/23

DOCKET #: LPC-23-04335

the features that contribute to the special architectural and historic character of the historic district. The Commission also noted that at the time of designation, most of the multi-light casement windows were replaced with one-over-one double-hung windows, and single-pane tilt-and-turn windows. The Commission further noted that Certificate of Appropriateness 19-35840 (LPC 19-35840) was issued on May 17, 2019, for the replacement of windows.

With regard to this proposal, the Commission found that the vast majority of the historic multi-light casement windows at the street facades of this building were replaced prior to the designation of the historic district, and therefore the work will not further diminish a cohesive historic fenestration; that the existing one-over-one, double-hung windows to be removed are not historic, therefore, the work will not eliminate significant historic fabric; that the proposed dark brown-finished metal-clad wood, one-over-one, double-hung windows will be consistent with windows historically found at other buildings of this type and age found in this historic district; that the proposed one-over-one, double-hung windows will maintain a unified fenestration pattern at the building's facades; and that the work will not detract from the special architectural and historic character of building or the Riverside-West End Historic District Extension I. Based on these findings, the Commission determined the work to be appropriate to the building and the historic district and voted to approve the application.

The Commission authorized the issuance of a Certificate of Appropriateness upon receipt, review and approval of signed and sealed Department of Building filing drawings showing the approved design.

Subsequently, on January 24, 2023, the Commission received final filing drawings, labeled T-001.00, LPC-01.00, LPC-02.00, EN-001.00, A-001.00, A-010.00, A-015.00, A-020.00, A-100.00, A-120.00, A-200.00, A-400.00 through A-407.00, A-500.00 through A-502.00, A-520.00, A-600.00, E-100.00, E-101.00, M-100.00, M-101.00, P-001.00, P-100.00, and P-101.00, dated (issued) November 11, 2022, and prepared by David Blair Mabbott, RA.

Accordingly, the Commission staff reviewed these materials and noted that they include additional work, consisting of replacing two (2) dark brown-finished metal, one-over-one, double-hung windows at the seventh floor of a north-facing courtyard façade, with one (1) dark brown-finished metal-clad wood, one-over-one, double-hung window, and one (1) dark brown-finished metal, through-window louver; and interior alterations at the seventh floor.

With regards to this additional work, the Commission finds that the work is in accordance with the provisions set forth in Title 63 of the Rules of the City of New York, Section 2-14 for Window and Doors, including Section 2-14(h)(1) for new windows and doors at secondary nonvisible or minimally visible facades; and Section 2-21 for Installation of Heating, Ventilation, Air Conditioning and other Mechanical Equipment, including Section 2-21(c)(2)(ii) for HVAC equipment within window openings on secondary facades. Additionally, the Commission found that the design approved by the Commission has been maintained. Based on these and the above findings, the drawings have been marked approved and Certificate of Appropriateness 23-04335 is being issued.

The approved documents, and Department of Buildings filing drawings where applicable, are marked approved by the Commission, with the date of the approval indicated.

This permit is issued on the basis of the building and site conditions described in the application and disclosed during the review process. By accepting this permit, the applicant agrees to notify the Commission if the actual building or site conditions vary or if original or historic building fabric is discovered. The Commission reserves the right to amend or revoke this permit, upon written notice to the applicant, in the event that the actual building or site conditions are materially different from those described in the

application or disclosed during the review process.

The approved documents, and Department of Buildings filing drawings where applicable, are marked as approved by the Commission, with the date of the approval indicated. The work is limited to what is contained in the approved documents and referenced in the approval. Other work or amendments to this filing must be reviewed and approved separately. The applicant is hereby put on notice that performing or maintaining any work not explicitly authorized by this permit may make the applicant liable for criminal and/or civil penalties, including imprisonment and fine. This letter constitutes the permit; a copy must be prominently displayed at the site while work is in progress. Please direct inquiries to Michelle Craren.

Sarah Carroll  
Chair

**PLEASE NOTE: APPROVED DOCUMENTS, DEPARTMENT OF BUILDINGS FILING DRAWINGS  
WHERE APPLICABLE, AND A COPY OF THIS PERMIT HAVE BEEN PROVIDED TO:**

David Mabbott, Mabbott Seidel Architecture, PLLC

**cc:** Emma Waterloo, Deputy Director; David Mabbott, Mabbott Seidel Architecture, PLLC



LEGEND & ABBREVIATIONS

INSTALLATION

SYMBOL	DESCRIPTION
WIF	WITHIN THE EXISTING FRAME
MO	MASONRY OPENING
WS	WINDOW SIZE
SSO	STEEL SASH OPENING
WSO	WOOD SASH OPENING
CMU	CONCRETE MASONRY UNIT
DLO	DAYLIGHT OPENING

WINDOW TYPES

SYMBOL	DESCRIPTION
PDH	TEMPEST ALUMINUM PREMIUM DOUBLE HUNG WINDOW
PSH	TEMPEST ALUMINUM PREMIUM SINGLE HUNG WINDOW
PTBR	TEMPEST ALUMINUM PREMIUM TALL BOTTOM RAIL DH WINDOW
PTBREGHDH	TEMPEST ALUMINUM PREMIUM TALL BOTTOM RAIL EQUAL GLASS DH WINDOW
QDH	TEMPEST ALUMINUM QUALITY DOUBLE HUNG WINDOW
CP	TEMPEST ALUMINUM INSWING CASEMENT-PIVOT WINDOW
HP	TEMPEST ALUMINUM HORIZONTAL PIVOT WINDOW
FC	TEMPEST HISTORIC FIBERGLASS CASEMENT WINDOW
FAD	TEMPEST FIBERGLASS ARCHITECTURAL DOOR
FTT	TEMPEST FIBERGLASS TILT & TURN WINDOW
CUDH-G2	MARVIN ALUMINUM CLAD WOOD ULTIMATE DOUBLE HUNG WINDOW-G2
WUDH	MARVIN WOOD ULTIMATE DOUBLE HUNG WINDOW
WUDH-M	MARVIN WOOD ULTIMATE DOUBLE HUNG MAGNUM WINDOW
WMTT	MARVIN WOOD MAGNUM TILT-TURN WINDOWS
CMTT	MARVIN CLAD MAGNUM TILT-TURN WINDOWS
CUC	MARVIN CLAD ULTIMATE CASEMENT WINDOWS
WUC	MARVIN WOOD ULTIMATE CASEMENT WINDOWS
CUFC	MARVIN CLAD ULTIMATE FRENCH CASEMENT
WUFC	MARVIN WOOD ULTIMATE FRENCH CASEMENT
ARC 5000	ARCADIA 5000 SERIES SLIDING DOOR
ARC T500	ARCADIA T500 SERIES SLIDING WINDOWS
ARC 8250	ARCADIA 8250 SERIES HINGED TERRACE DOOR
ARC T-325	ARCADIA T-325 SERIES OUTSWING CASEMENT
ARC T-200	ARCADIA T-200 SERIES OUTSWING CASEMENT
ARC 5820/5920	ARCADIA MULTI-PANEL SLIDING PATIO DOOR SYSTEM
OPT-680TT	OPTIMUM 680 TILT-AND-TURN WINDOWS
OPT-680C	OPTIMUM 680 ALUMINUM CASEMENT SERIES
OPT FR4700	OPTIMUM FR4700, 3/4 HOUR FIRE-RATED STEEL CASEMENT
OPT FR7650	OPTIMUM FR7650 3/4 HOUR FIRE-RATED STEEL DOUBLE HUNG
OPT-HR4700	OPTIMUM HR4700 STEEL CASEMENT
OPT-HR4500	OPTIMUM HOT ROLLED STEEL WINDOWS AND DOORS
OPT-RTS430	OPTIMUM THERMALLY BROKEN STEEL WINDOWS AND DOORS

GLASS

SYMBOL	DESCRIPTION
IG	INSULATING GLASS
CT	CLEAR TEMPERED
CA	CLEAR ANNEALED
ACIDT	ACID ETCHED TEMPERED
ACIDA	ACID ETCHED ANNEALED
SANDB	SANDBLASTED GLASS
OBS	OBSCURE (PRIVACY) GLASS
LAMWA	LAMINATED WHITE ANNEALED
LAMCA	LAMINATED CLEAR ANNEALED
LOW-E	LOW EMISSIVITY COATING
CG7036	GUARDIAN LOW-E CLIMAGUARD 70/36
PLKEA	PILKINGTON ENERGY ADVANTAGE, LOW-E
SLRBN60	SOLARBAN 60, LOW-E
ARG.	ARGON GAS BETWEEN THE GLASS
#2	GLASS SURFACE WITH LOW EMISSIVITY COATING
18, 316, 14, 532	GLASS THICKNESS RESPECTIVELY 1/8", 3/16", 1/4", 5/32"

MISCELLANEOUS

SYMBOL	DESCRIPTION
NIC	NOT INCLUDED IN CONTRACT
FLR	FLOOR
VIF	VERIFY IN FIELD
AFF	ABOVE FINISHED FLOOR
AEF	ABOVE EXISTING FLOOR
ALUM	ALUMINUM MATERIAL
N/A	NOT APPLICABLE OR REQUIRED
PT	PRESSURE TREATED WOOD
FR	FIRE RESISTANT WOOD
SDL	SIMULATED DIVIDED LITE
PANEL	ALUMINUM FACED INSULATING PANEL
TTN	TOP TRANSOM
BTN	BOTTOM TRANSOM
SBO	SUPPLIED BY OTHERS
TBD	TO BE DETERMINED
TBC	TO BE CONFIRMED
NTS	NOT TO SCALE

SYMBOL	DESCRIPTION
	DRAWING REVISION NUMBER
	CURRENT REVISION CLOUD
	SECTION # OR DETAIL CUT
	SHEET NUMBER
	WATERPROOFING MEMBRANE
	WINDOW / DOOR NUMBER OR ID MARK
	WINDOW / DOOR ORIENTATION
	CENTER TO CENTER MEASUREMENTS
	WOOD BLOCK SPACER
	SASH OPENING ORIENTATION
	NON OPERABLE SASH
	OPERABLE SASH
	BACKER ROD
	CAULK SEALANT
	UNDEFINED EXISTING MATERIAL
	COMPOSITE SHIM (1/8" TO 1/4")
	MINERAL WOOL INSULATION MATERIAL
	CENTER LINE (MIRROR AXIS)
	GREYFLEX EXPANDING TAPE
	CASEMENT WINDOW SWING DIRECTION, DASHED ARROW POINTS HINGE LOCATION



Window Schedule														
Window #	Location	Window Type	WS Width	WS Height	Ext. Finish	Int. Finish	Hardware Finish	Glazing:		Glass Thickness		Grids		Screens
								Exterior	Interior	Top	Bottom	Type	Layout	
3-1	Living Room	PDH	47.5	63.5	Bronze	White	White Bronze	316 Low-E #2	14LAMCA + Argon	1-1/4	1-1/4	NONE	N/A	YES-1/2
3-2	Living Room	PDH	47.5	63.5	Bronze	White	White Bronze	316 Low-E #2	14LAMCA + Argon	1-1/4	1-1/4	NONE	N/A	YES-1/2
3-3	Bedroom	PDH	37	63.5	Bronze	White	White Bronze	316 Low-E #2	14LAMCA + Argon	1-1/4	1-1/4	NONE	N/A	YES-1/2
3-4	Bedroom	PDH	37	63.5	Bronze	White	White Bronze	316 Low-E #2	14LAMCA + Argon	1-1/4	1-1/4	NONE	N/A	YES-1/2

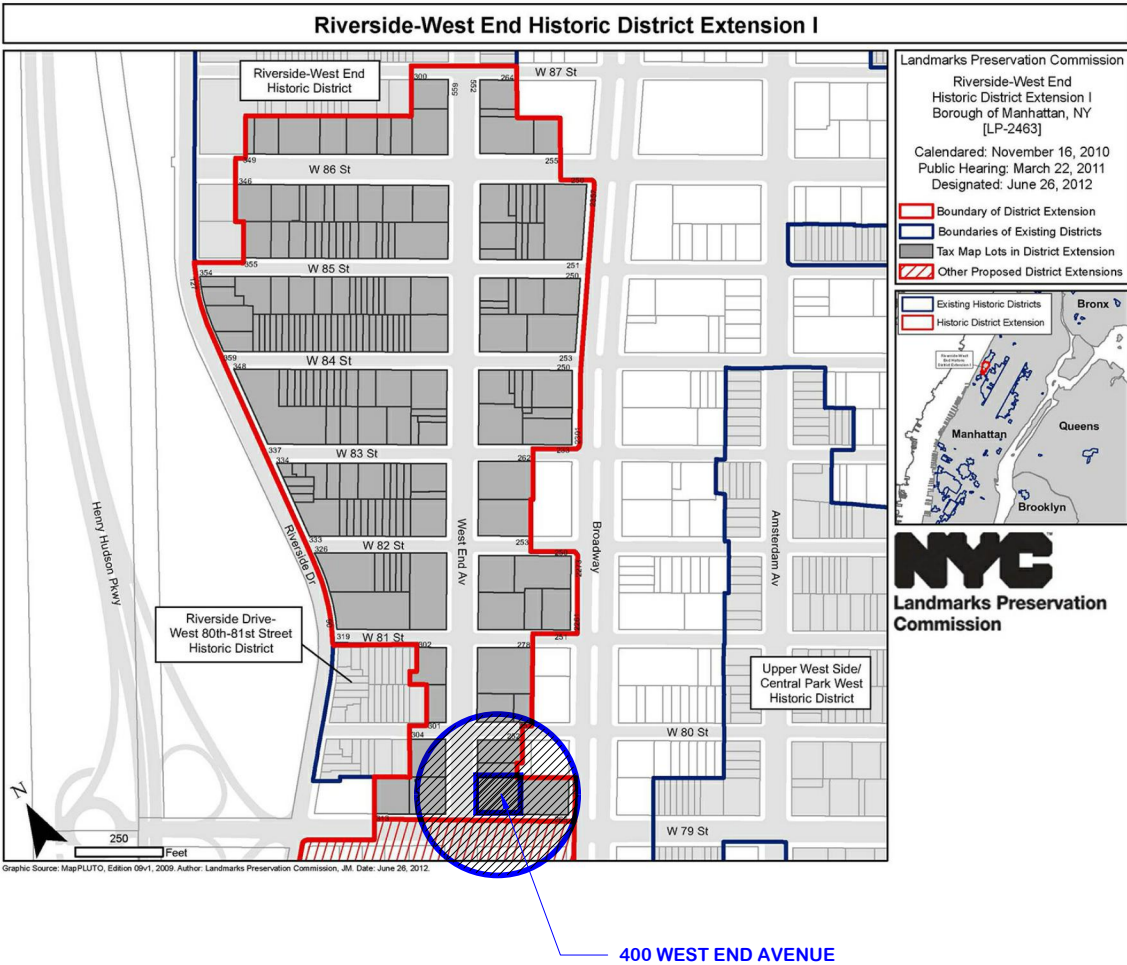
Glass Diminution		
Historic Window Glass Area (sf)	Proposed Window Glass Area (sf)	Diminution %
15.56	16.16	-3.87%
15.56	16.16	-3.87%
11.47	12.02	-4.77%
11.47	12.02	-4.77%



400 West End Avenue - South Facade at West 79th Street



400 West End Avenue - 1940's Tax Photo



400 - West End Avenue - 3C - Drawings -.dwg



Project Name and Address:  
**Sobel, Michael** Residence  
400 West End Avenue, 3C

Drw. Title:  
**Window Schedule & Glass Diminution & Tax Photo**

Drw. j. millan	Rev. 1 2/12/2025	Rev. 4 ----
Date: 12/13/2024	Rev. 2 ----	Rev. 5 ----
Scale: NOT TO SCALE	Rev. 3 ----	Rev. 6 ----

Sheet:  
**WS-1**





400 West End Avenue -  
South Facade at West 79th Street



400 West End Avenue -  
West Facade at West End Avenue



**PANORAMA**  
PANORAMA WINDOWS, LTD.  
767 East 132nd Street  
Bronx, New York 10454

Project Name and Address:

**Sobel, Michael,** Residence  
**400 West End Avenue**  
Apartment,3C

Drw. Title:

**Building Sout & West Facade**

Drw.	j. millan	Rev. 1	2/12/2025	Rev. 4	----
Date:	12/13/2024	Rev. 2	----	Rev. 5	----
Scale:	1:40	Rev. 3	----	Rev. 6	----

Sheet:  
**PIC-1**

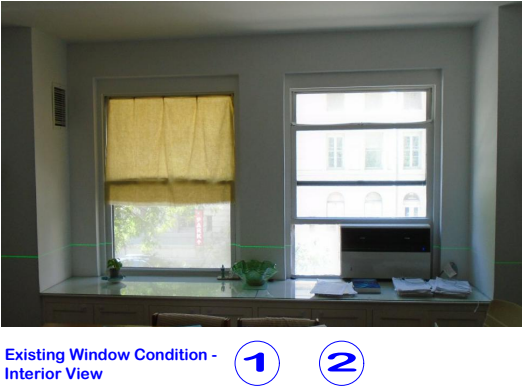
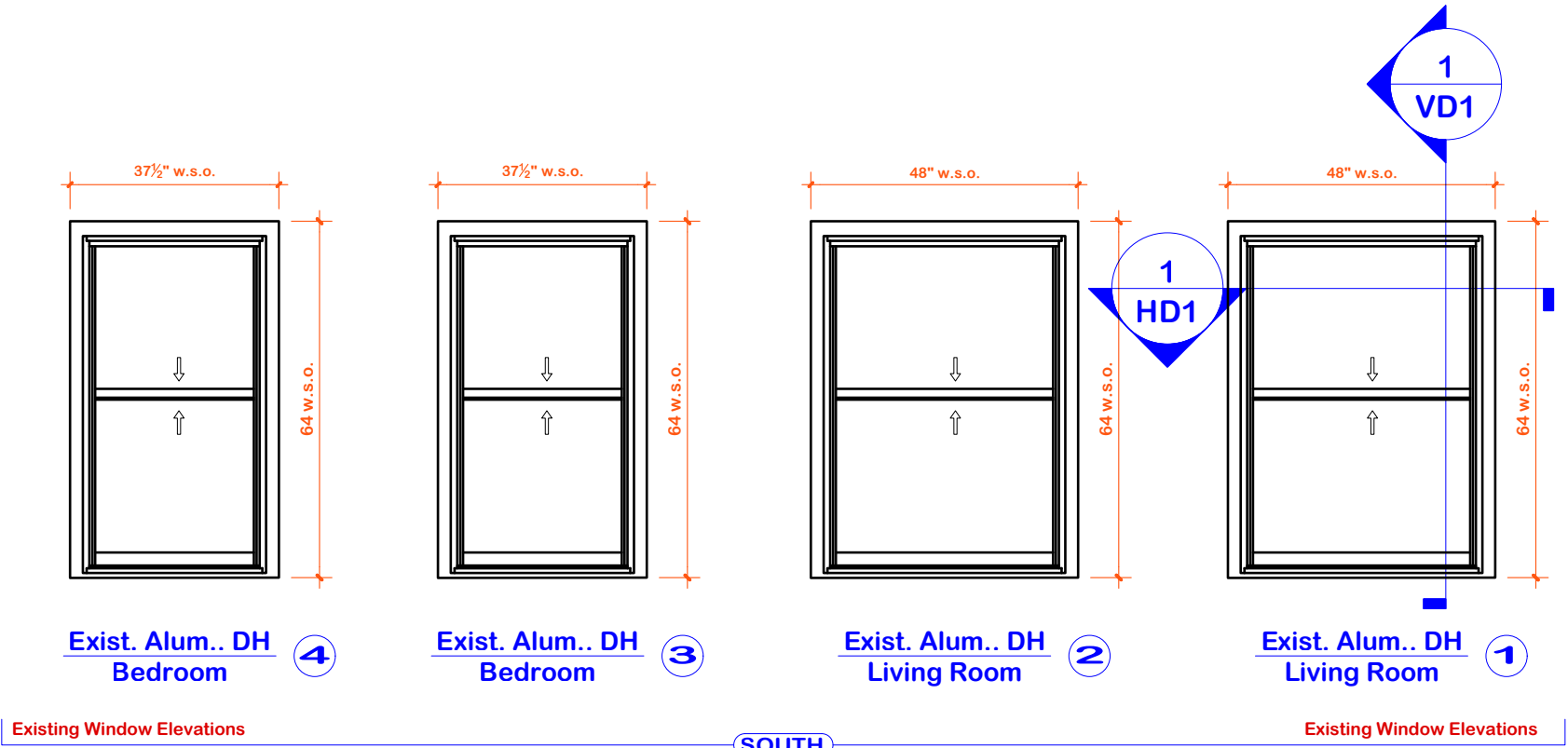


ALL ELEVATIONS VIEWED FROM THE EXTERIOR

Client Approval

Date:

Sign:



Existing Window Condition - Interior View

1

2



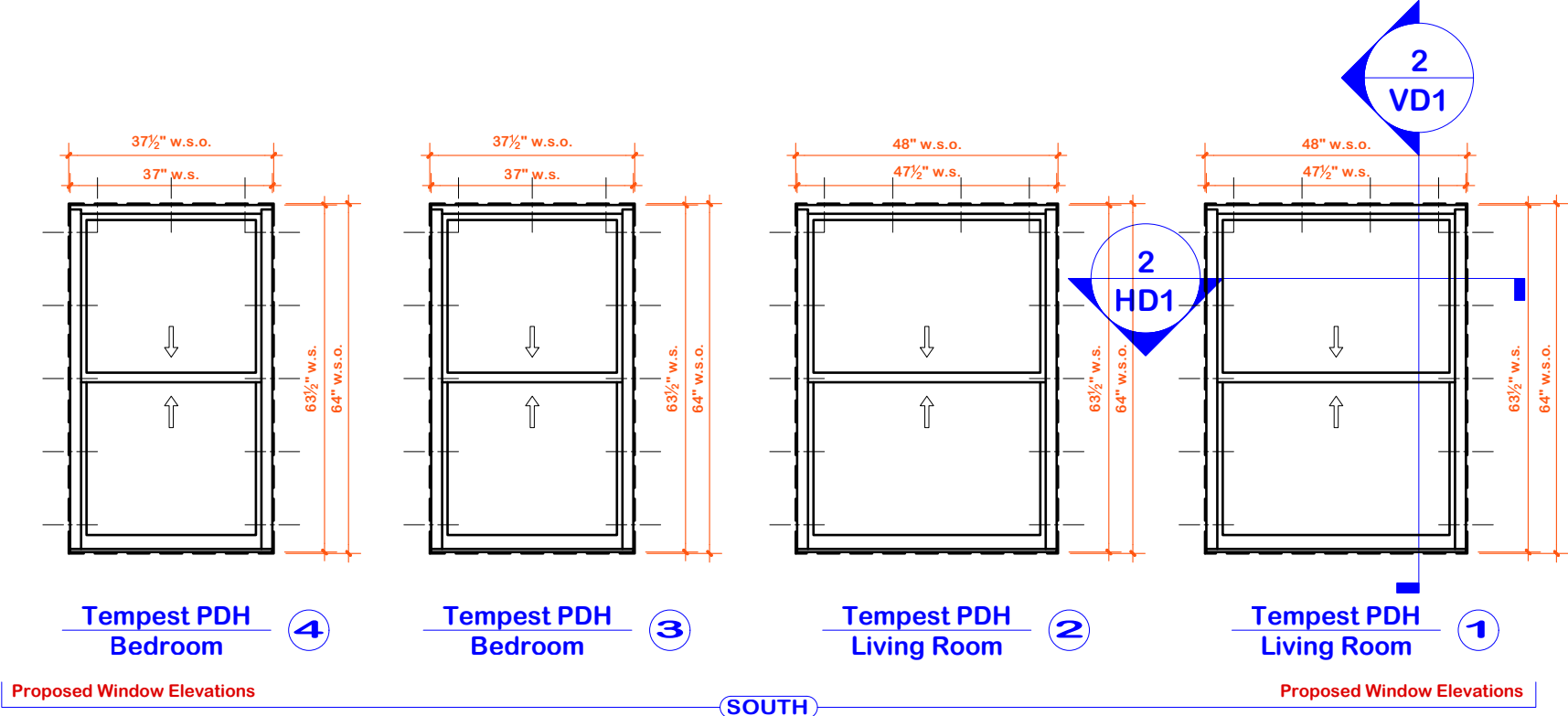
Existing Window Condition - Interior View

3



Existing Window Condition - Interior View

4



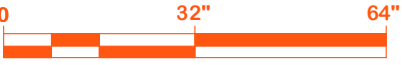
Existing Window Condition - Exterior View

4

3

2

1



EL1

Existing & Proposed Window Elevations

Scale: 3/8" = 1'-0"

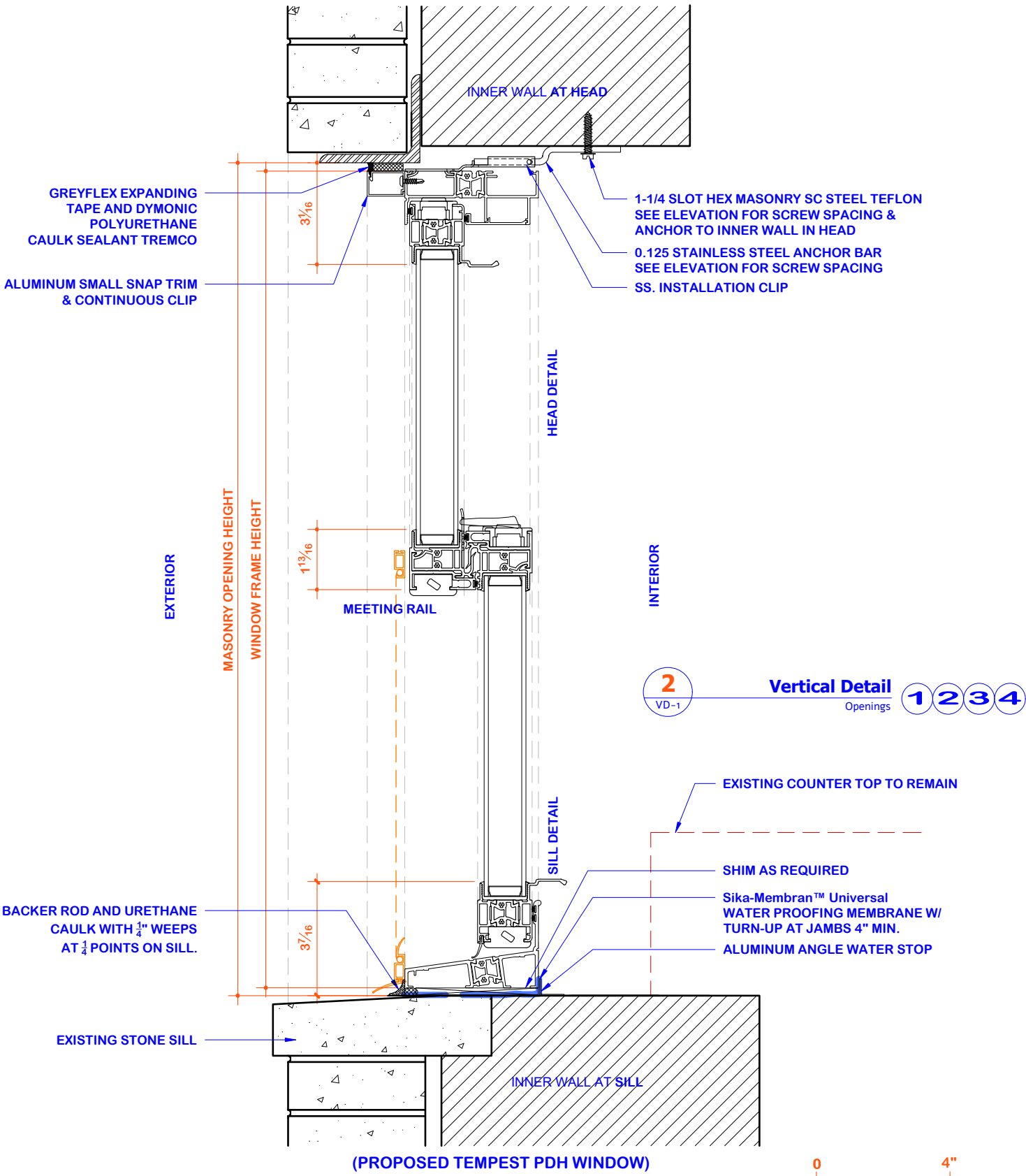
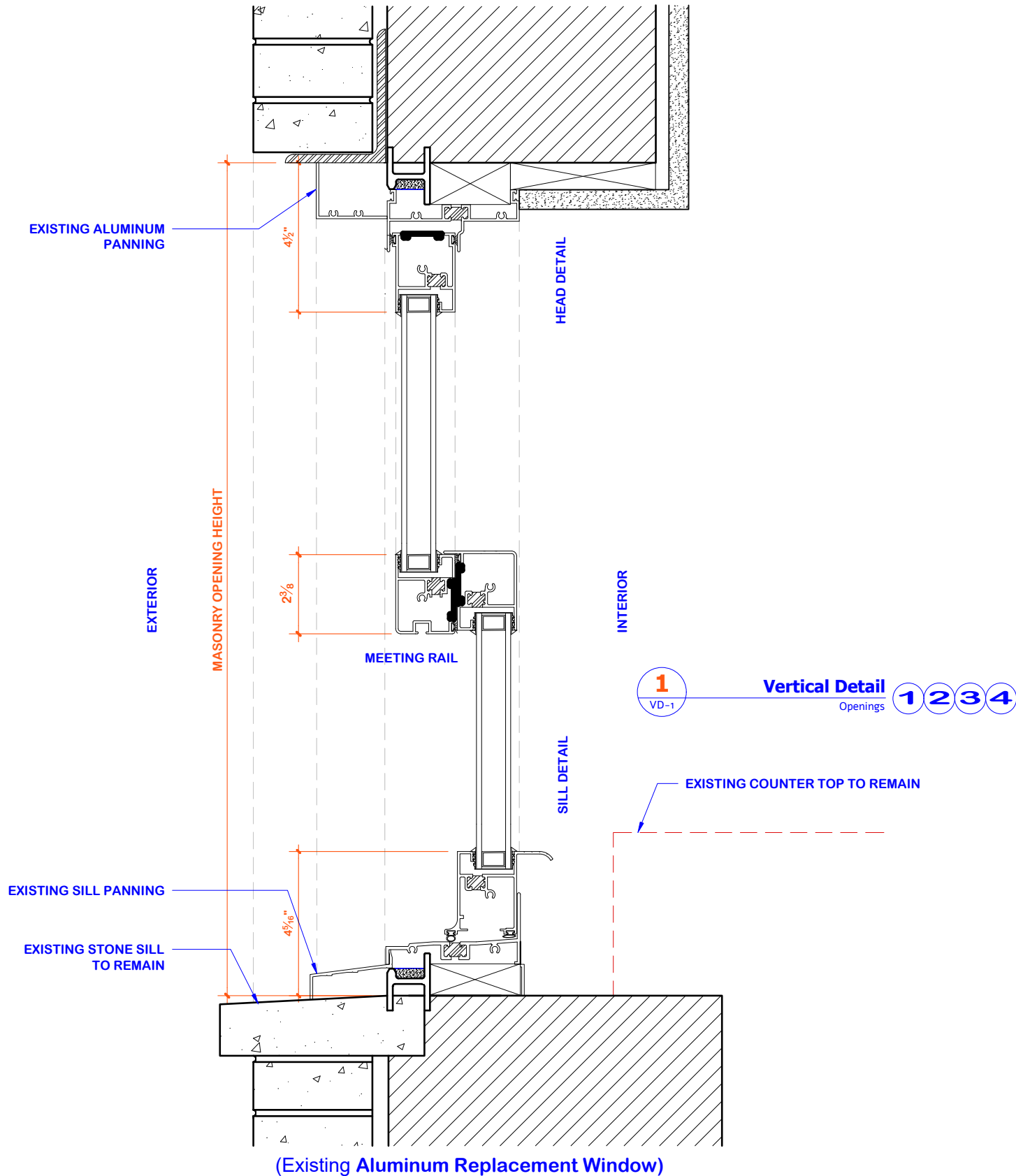
Proposed Fasten Within Existing Masonry Opening

PANORAMA  
PANORAMA WINDOWS, LTD.  
767 East 132nd Street  
Bronx, New York 10454

Project Name and Address:  
**Sobel, Michael, Residence**  
**400 West End Avenue**  
Apartment,3C

Drw. Title:  
**Existing & Proposed Window Elevations**

Drw. j. millan	Rev. 1 2/12/2025	Rev. 4	Sheet: <b>EL-1</b>
Date: 12/13/2024	Rev. 2	Rev. 5	
Scale: 3/8" = 1'-0"	Rev. 3	Rev. 6	



VD1

Existing & Proposed Window Section Details

Scale: 3" = 1'-0"

Proposed Fasten Within Existing Masonry Opening



**PANORAMA**  
PANORAMA WINDOWS, LTD.  
767 East 132nd Street  
Bronx, New York 10454

Project Name and Address:

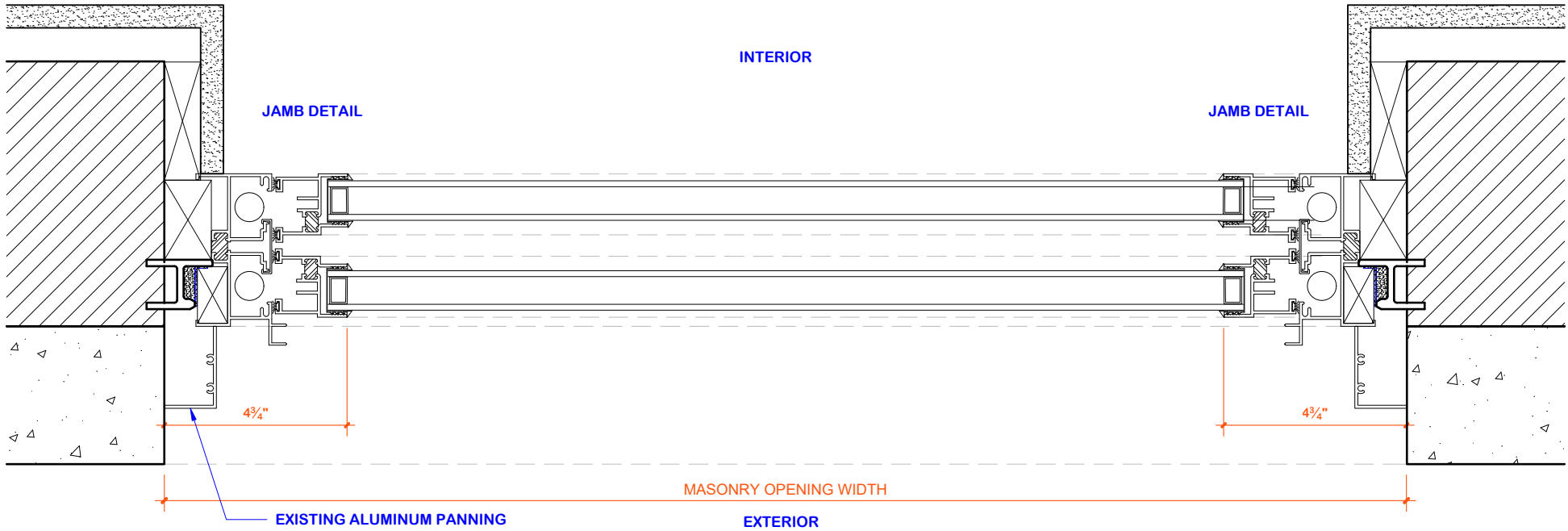
**Sobel, Michael, Residence**  
**400 West End Avenue**  
**Apartment,3C**

Drw. Title:

**Existing & Proposed Window Section Details**

Drw.	j. millan	Rev. 1	2/12/2025	Rev. 4	----
Date:	12/13/2024	Rev. 2	----	Rev. 5	----
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**VD-1**



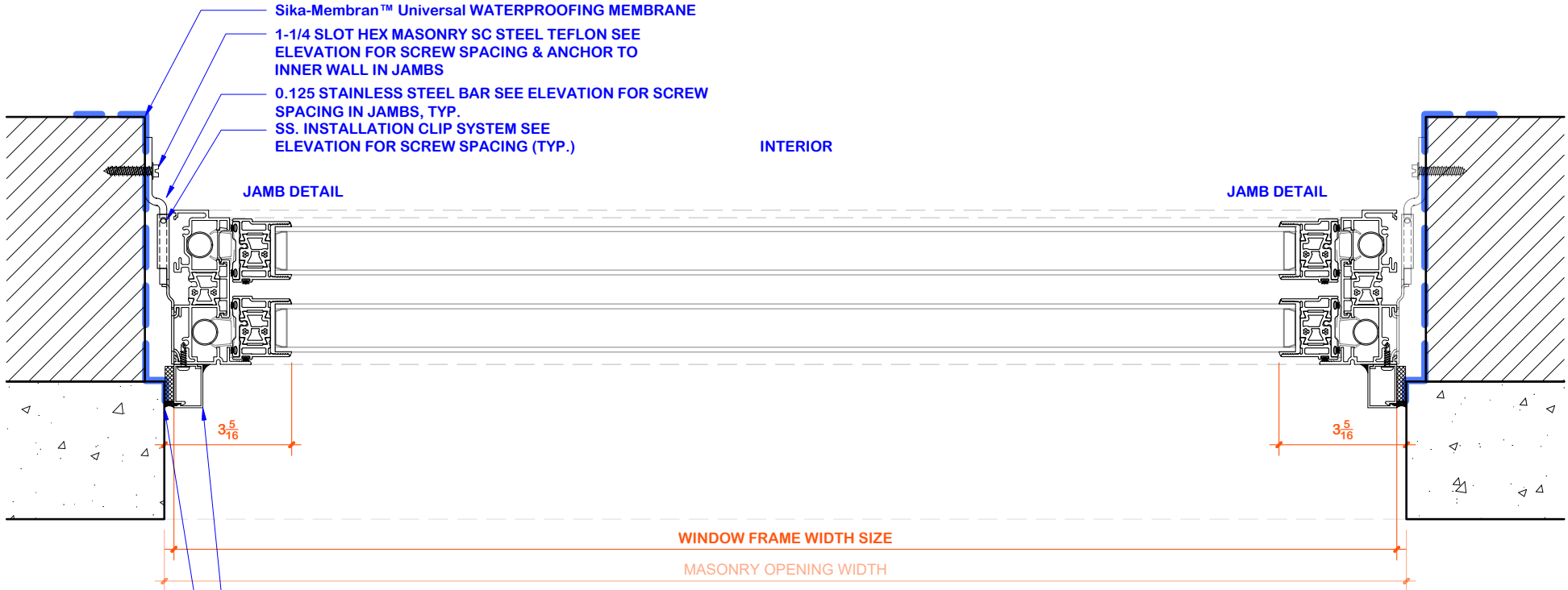
(Existing Aluminum Replacement Window)

1  
HD-1

Horizontal Detail

Openings

1234



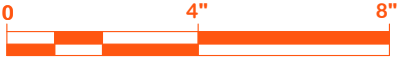
(PROPOSED TEMPEST PDH WINDOW)

2  
HD-1

Horizontal Detail

Openings

1234



HD1

Existing & Proposed Window Section Details

Scale: 3" = 1'-0"

Proposed Fasten Within Existing Masonry Opening



**PANORAMA**  
PANORAMA WINDOWS, LTD.  
767 East 132nd Street  
Bronx, New York 10454

Project Name and Address:  
**Sobel, Michael, Residence**  
**400 West End Avenue**  
**Apartment,3C**

Drw. Title:  
**Existing & Proposed Window Section Details**

Drw. j. millan	Rev. 1 2/12/2025	Rev. 4 ----	Sheet: <b>HD-1</b>
Date: 12/13/2024	Rev. 2 ----	Rev. 5 ----	
Scale: 1:4	Rev. 3 ----	Rev. 6 ----	

Sheet 7 of 07



April 8, 2025  
Public Hearing

The current proposal is:

**Preservation Department – Item 7, LPC-25-07080**

**400 West End Avenue – Riverside - West End Historic District  
Extension I  
Borough of Manhattan**

To testify virtually, please join Zoom

**Webinar ID:** 160 352 2973

**Passcode:** 266570

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

**Note:** If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.