

April 1, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 6, LPC-25-06392

156 East 71st Street – Upper East Side Historic District
Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 160 977 4343

Passcode: 525077

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

156 EAST 71 ST, NEW YORK, NY

LANDMARKS SUBMISSION LPC-25-06392

156 E 71 ST

New York, NY 10021

Architect

Daniel Kaplan, RA
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Tel: 917.447.7855

Owner

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Code Consultant

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LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-1

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

TITLE SHEET

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE 03/26/2025		
	JOB NO.: 0147		
	SCALE: 12" = 1'-0"		
	DRAWING NO.:		



L-001.00

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LANDMARKS SHEET LIST

Sheet Number	Sheet Name
L-001.00	TITLE SHEET
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L-003.00	BLOCK PLAN PHOTOS
L-004.00	BLOCK PLAN PHOTOS
L-005.00	1940 TAX PHOTO AND 2024 SITE VISIT PHOTO
L-101.00	DEMOLITION & PROPOSED PLAN - CELLAR
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L-103.00	DEMOLITION & PROPOSED PLAN - FIRST FLOOR
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L-201.00	DEMOLITION & PROPOSED ELEVATIONS - FRONT FACADE
L-202.00	PROPOSED FRONT ELEVATION AND NEIGHBORING BUILDINGS
L-203.00	EXISTING FRONT FACADE CLOSE UP PHOTOS
L-204.00	FRONT YARD AND AREAWAY
L-205.00	PROPOSED FRONT FACADE
L-206.00	FRONT YARD AND AREAWAY
L-207.00	FRONT YARD AND AREAWAY
L-208.00	DEMOLITION & PROPOSED ELEVATIONS - REAR FACADE
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L-210.00	EXISTING REAR FACADE CLOSE-UP PHOTOS
L-211.00	PROPOSED REAR FACADE
L-213.00	EXISTING FRONT FACADE TYPICAL WINDOW CLOSE-UP PHOTOS
L-214.00	EXISTING FRONT FACADE ENTRY DOOR CLOSE-UP PHOTOS
L-301.00	DEMOLITION BUILDING SECTION
L-302.00	PROPOSED BUILDING SECTION
L-303.00	SIGHT LINE ANALYSIS ROOF PH
L-304.00	ROOF VISIBILITY DIAGRAM
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L-501.00	PROPOSED EXTENSION DETAILS
L-502.00	TYPICAL WINDOW DETAILS
L-601.00	WINDOW- AND DOOR SCHEDULES AND TYPICAL DETAILS
L-602.00	APPENDIX

ABBREVIATIONS

A	- ADJACENT	H	HGT.	- HEIGHT	P	PART.	- PARTITION
ADJ.	- ABOVE FINISHED FLOOR	HR.	- HOUR		PUPLAS.	- PLASTER	
A.F.F.		I	INSUL.	- INSULATION	P.L.	- PROPERTY LINE	
APP'D & @	- APPROVED	L	LAV.	- LAVATORY	R	- RADIUS	
B	- AND	LGT.	- LIGHT		r.	- RADIATOR	
B.C.	- BY CONTRACTOR	M	MANF.	- MANUFACTURER	RC.P.	- REFLECTED CEILING PLAN	
BLDG.	- BUILDING	MAT.	- MATERIAL		RE.MV.	- REMOVE	
B.O.	- BY OWNER	MAX.	- MAXIMUM		REQ'D.	- REQUIRED	
C	- CENTER LINE	MECH.	- MECHANICAL		RM.	- ROOM	
CL.	- CLOSET	MIN.	- MINIMUM		S	- SECTION	
CLG.	- CEILING	MTL.	- METAL		SECT.	- SHELVING	
CONT.	- CONTINUOUS	N	- NOT IN CONTRACT		SHT.	- SHEET	
CONC.	- CONCRETE	N.I.C.	- NOT IN CONTRACT		SIM.	- SIMILAR	
CU/FT	- CUBIC FEET	NO.	- NUMBER		SPEC.	- SPECIFICATION	
D	- DEPARTMENT	NOM.	- NOMINAL		SQ. FT./S.F.	- SQUARE FEET	
DET.	- DETAIL	N.T.S.	- NOT TO SCALE		S.S./ST. STEEL	- STAINLESS STEEL	
DIM.	- DIMENSION	O	- ON CENTER		STD.	- STANDARD	
DN.	- DOWN	O.C.	- OPENING		STL.	- STEEL	
DR.	- DOOR	OP'G.			STOR.	- STORAGE	
DWG.	- DRAWING	P	- PARTITION		STRUCT.	- STRUCTURAL	
E	- ELEVATION	P.L.	- PLASTER		SQ./YD	- SQUARE YARD	
EL./ELEV.	- ELECTRIC	P.L.	- PROPERTY LINE		T	- TO BE DETERMINED	
ELEC.	- ENCLOSURE	M	- MANUFACTURER		TBD	- TELEPHONE	
ENCL.	- ENTRANCE	MANF.	- MATERIAL		TEL.	- THICK/THICKNESS	
EQ.	- EQUIPMENT	MAT.	- MAXIMUM		THK.	- TOP OF	
EQUIP.	- EXISTING	MAX.	- MECHANICAL		T.O.	- TOTAL	
EXIST.		MECH.	- MINIMUM		TOT.	- TYPICAL	
F	- FINISH	MIN.	- METAL		U	- UNLESS OTHERWISE NOTED	
FIN.	- FLOOR	MTL.			U.O.N.		
FL./FLR.	- FIREPROOFING	N	- NOT IN CONTRACT		V	- VERIFY IN FIELD	
F.P.	- GAUGE	N.I.C.	- NUMBER		V.I.F.		
G	- GALVANIZED	NO.	- NOMINAL		W	- WAINSCOT	
GA.	- GENERAL CONTRACTOR	NOM.	- NOT TO SCALE		WAINS.	- WALK IN CLOSET	
GALV.	- GLASS	N.T.S.	- ON CENTER		W.I.C.		
G.C.	- GAS VALVE	O	- OPENING				
GLS.	- GYP.BD./GWD.	OP'G.					
G.V.							
GYP.BD./GWD.							

DRAWING CONVENTIONS

DETAIL NUMBER	2	GRID LINE INDICATOR	A	WINDOW NUMBER	3
WHERE DWG. ORIGINATED	A101				
SECTION NUMBER	1	ELEVATION INDICATOR	1	ROOM NAME	OFFICE
WHERE DWG. ORIGINATED	A301				
SHEET NUMBER	1	PARTITION TYPE	A1	DOOR INDICATOR	21
ELEVATION	4				



FRONT FACADE

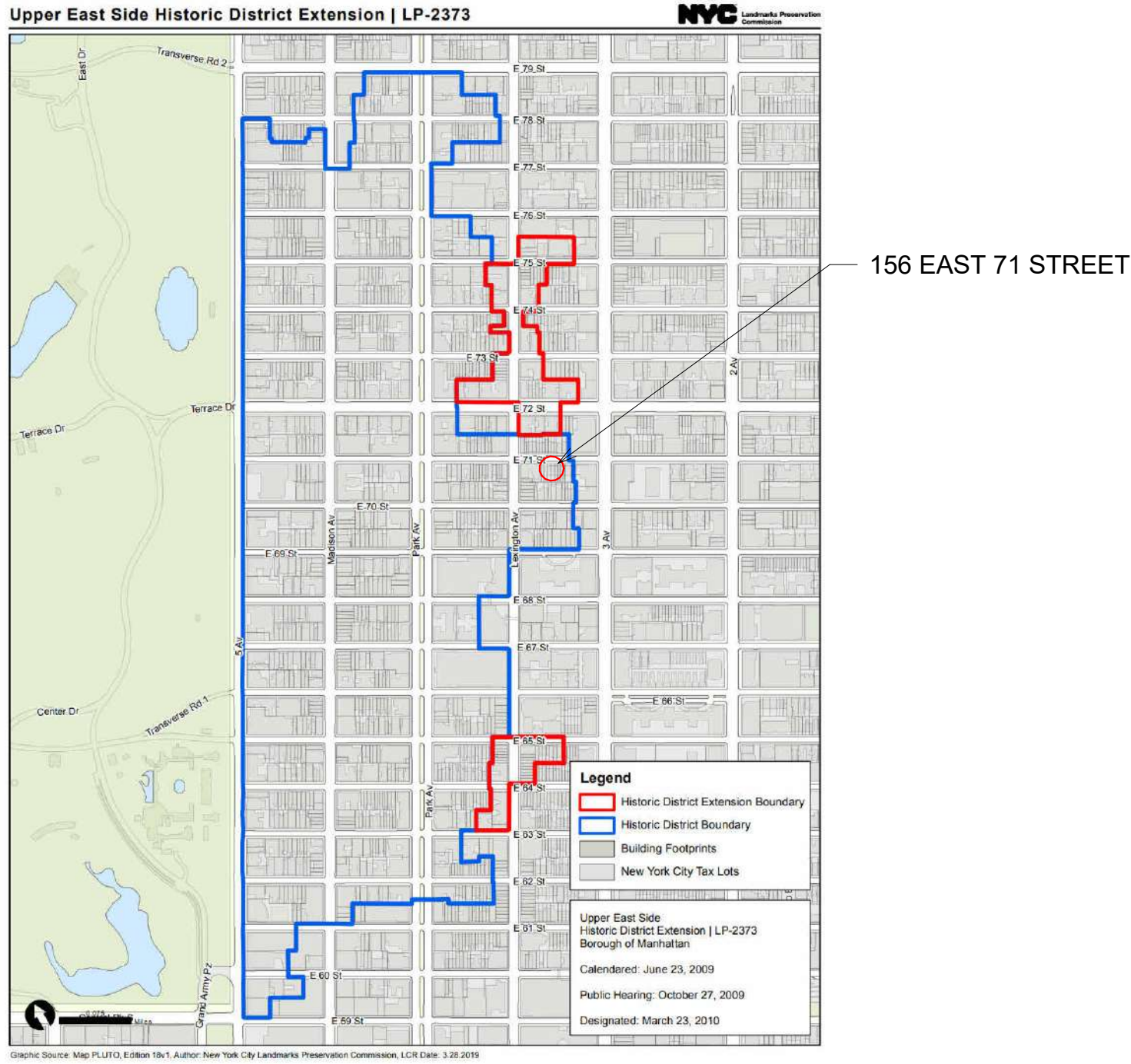


REAR FACADE

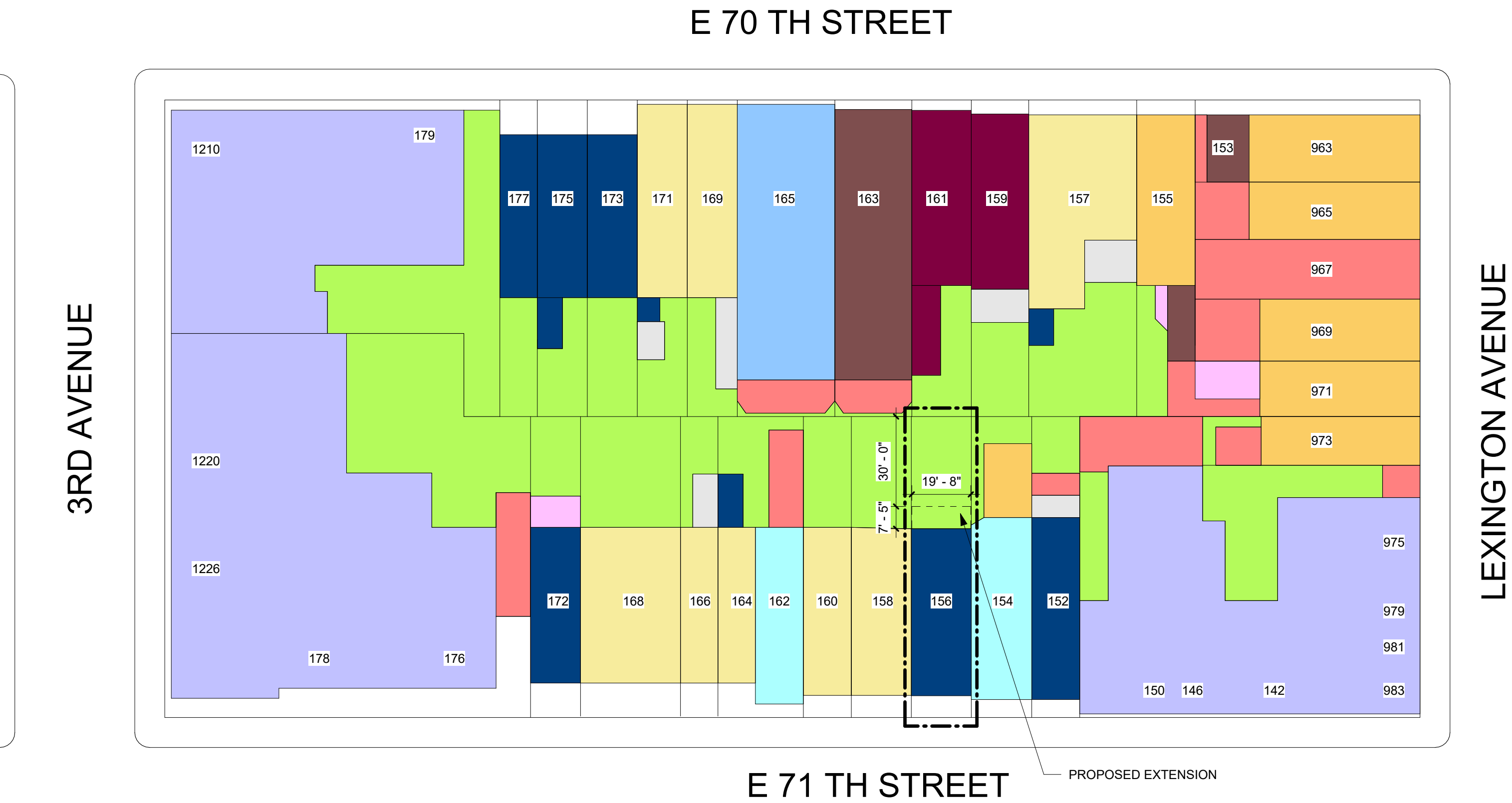
REAR YARDS BETWEEN E 70 ST & E 71 ST, 3RD AV & LEXINGTON AV



LANDMARKS MAP



PLOT PLAN: ENTIRE BLOCK BETWEEN LEXINGTON AV AND 3RD AV (FROM NYC ZOLA, GOOGLE MAPS AND PHOTOS)



PLAN LEGEND:

- | | | | |
|--------------------|---------------------|---------|---------|
| 5 STORY + BASEMENT | 2 STORY + BASEMENT | 3 STORY | 4 STORY |
| 4 STORY + BASEMENT | HIGHRISE APT BULDG. | 2 STORY | 5 STORY |
| 3 STORY + BASEMENT | GREEN SPACE | 1 STORY | 6 STORY |

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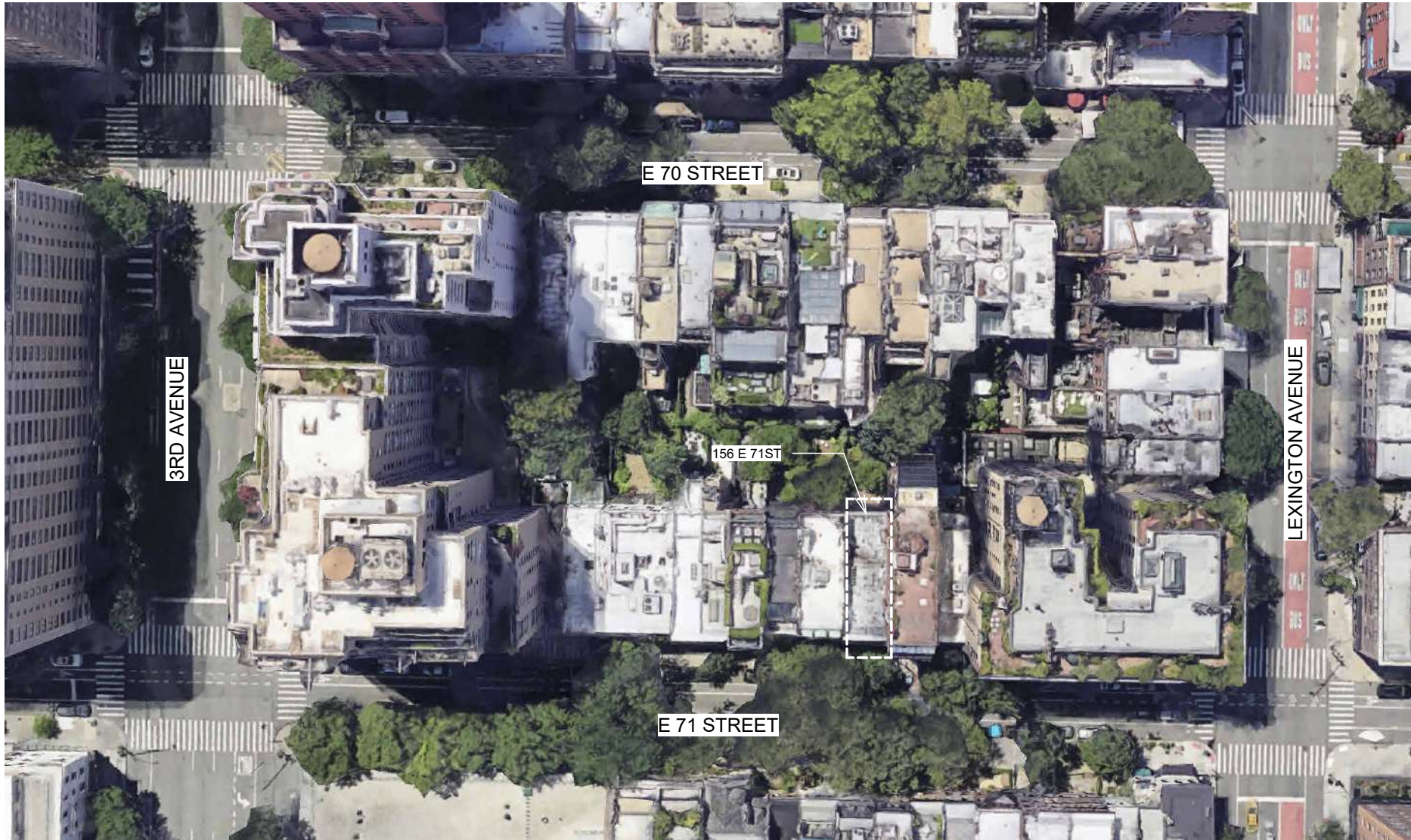
PROJECT

156 EAST 71 STREET

TITLE

BLOCK PLAN, LEGEND,
LANDMARKS MAP AND
AERIAL VIEW

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE		DATE	03/26/2025
		JOB NO.:	0147
		SCALE:	As indicated
		DRAWING NO.:	L-002.00



BLOCK PHOTO - TOP VIEW



BLOCK PHOTO - REAR YARDS BETWEEN LEXINGTON AV & 3RD AV & E 70 ST & E 71 ST



BLOCK PHOTO - REAR YARDS BETWEEN LEXINGTON AV & 3RD AV & E 70 ST & E 71 ST

← EAST 70 ST →



BLOCK PHOTO - VIEW FROM 156 EAST 71 ST LOOKING WEST

← EAST 70 ST →



BLOCK PHOTO - VIEW FROM 156 EAST 71 ST LOOKING NORTH

← LEXINGTON AVENUE →



BLOCK PHOTO - VIEW FROM 156 EAST 71 ST LOOKING EAST

← 71 ST STREET →

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BLOCK PLAN PHOTOS

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ZONING MAP	16C	LOT	49
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BLOCK PLAN PHOTOS

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	SCALE:	DRAWING NO.:	



L-004.00



156 EAST 71 ST : TAX PHOTO



156 EAST 71 ST : SITE VISIT PHOTO

156 E 71 ST

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156 EAST 71 STREET

TITLE

1940 TAX PHOTO AND 2024
SITE VISIT PHOTO

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:	DRAWING NO.:	



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156 EAST 71 STREET

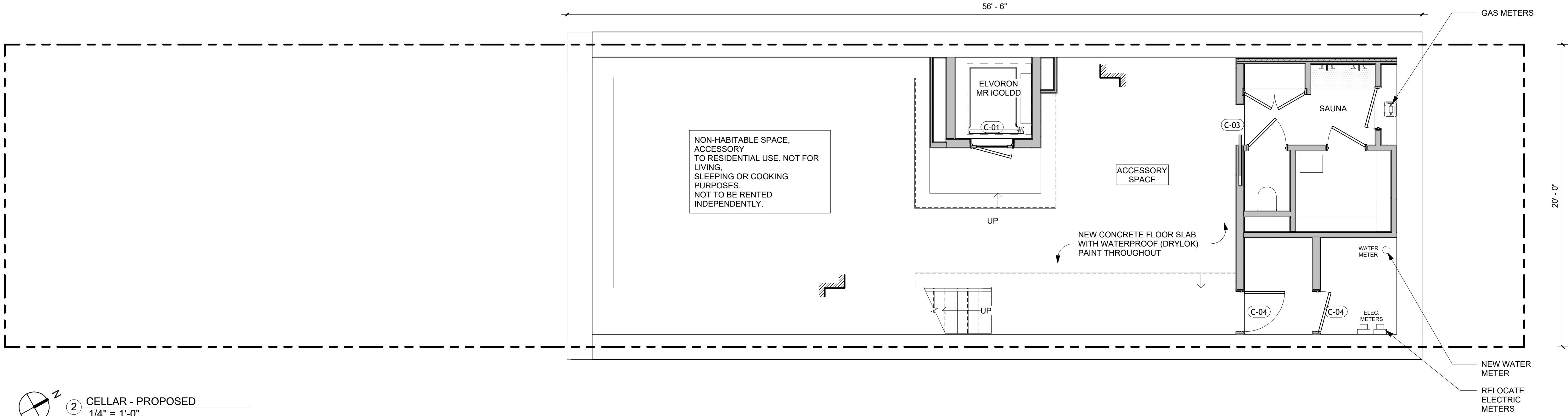
TITLE
DEMOLITION & PROPOSED
PLAN - CELLAR

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:		1/4" = 1'-0"
	DRAWING NO.:		

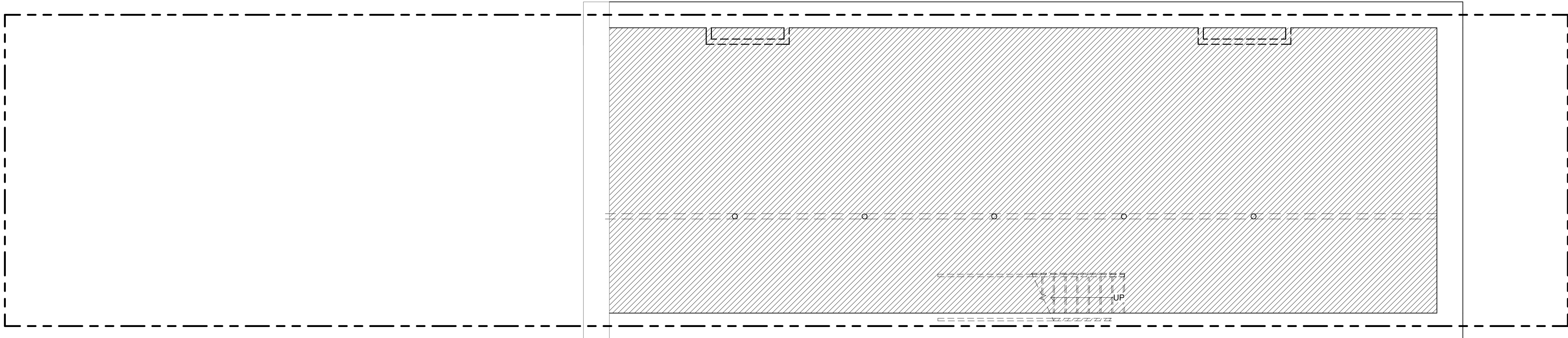


L-101.00

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2 CELLAR - PROPOSED
1/4" = 1'-0"



1 CELLAR - DEMO
1/4" = 1'-0"

DEMOLITION LEGEND:

- EXISTING TO REMAIN
- REMOVALS

NOTES:

- REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENT ETC., AS INDICATED.
- REMOVE ALL RADIATORS
- ALL FRONT & REAR WINDOWS ARE TO BE REPLACED
- ALL FRONT & REAR INTERIOR FURRING WALL TO BE REMOVED, INSULATED AND REFINISHED
- ALL EXISTING FLOOR JOIST FRAMING WILL REMAIN, UNLESS MINOR REPLACEMENT IS REQUIRED DURING CONSTRUCTION.SEE STRUCTURAL DWGS.

PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- MA BATHROOM EXHAUST FAN

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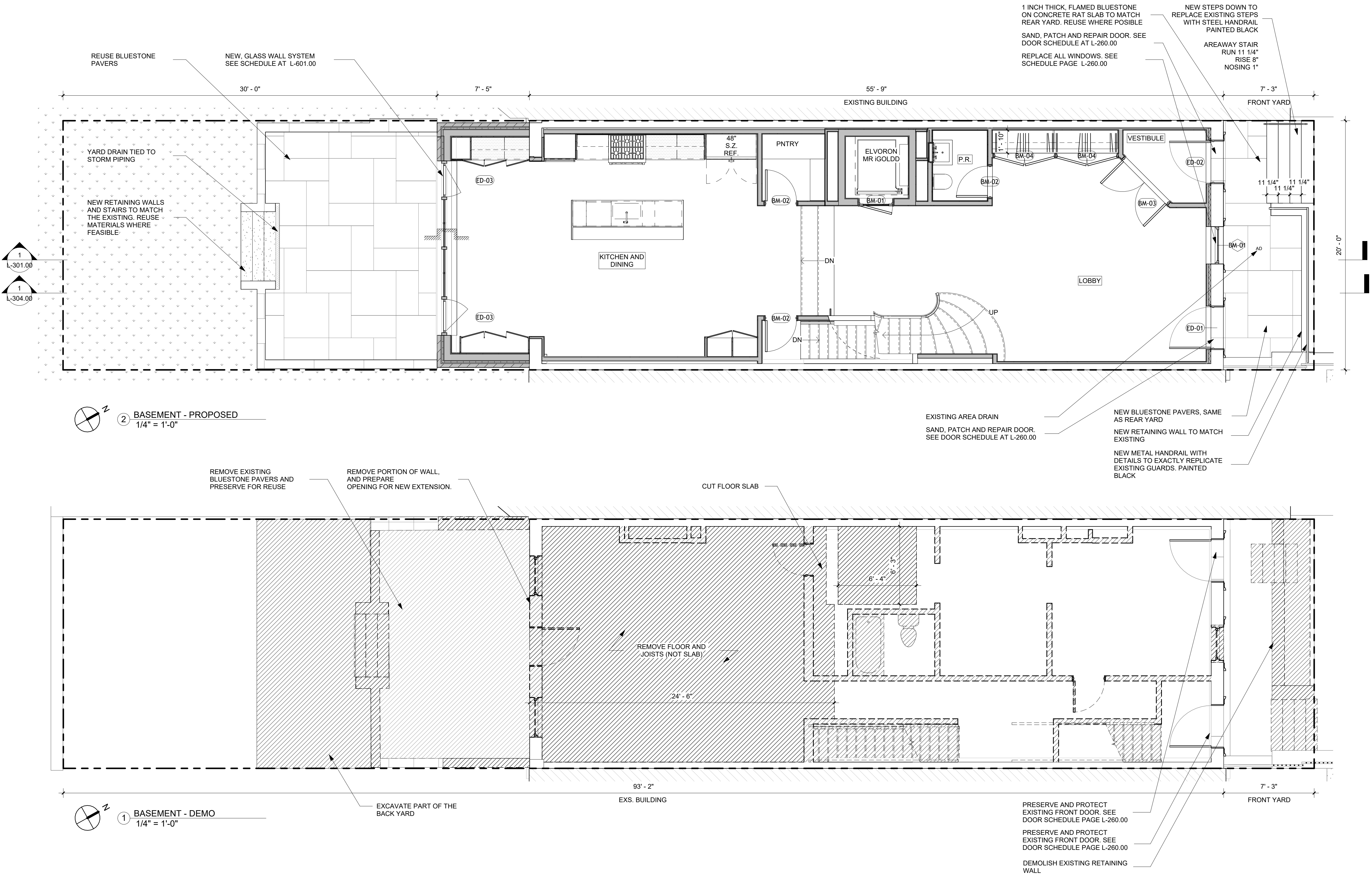
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DEMOLITION & PROPOSED
PLAN - BASEMENT

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	



L-102.00



DEMOLITION LEGEND:

- EXISTING TO REMAIN
- REMOVALS

NOTES:

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PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- MA BATHROOM EXHAUST FAN

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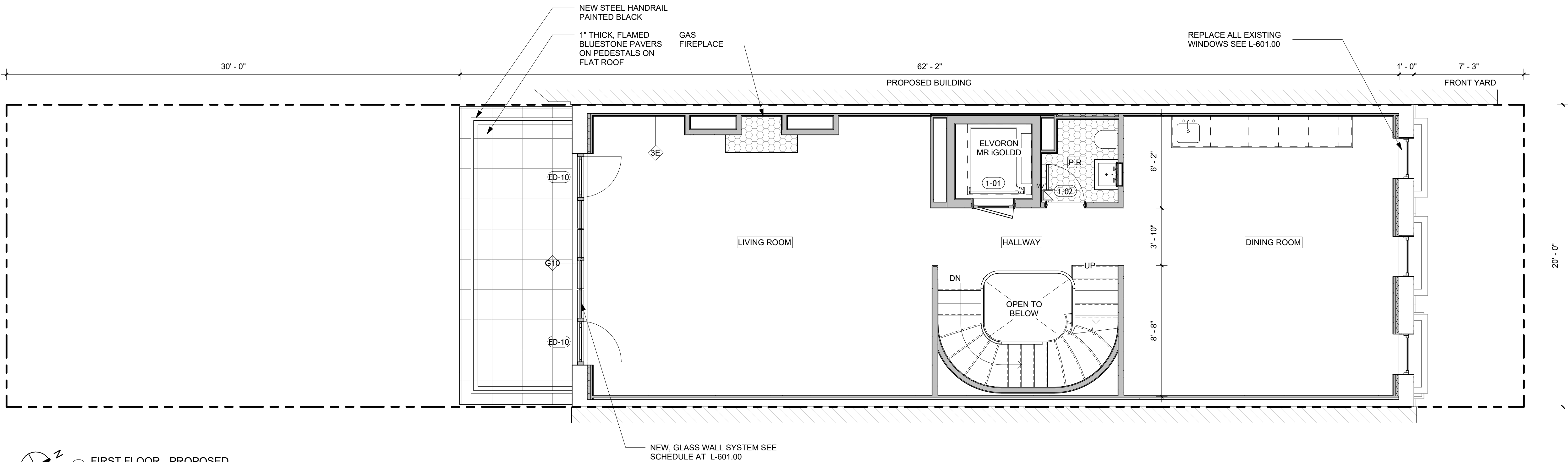
DEMOLITION & PROPOSED
PLAN - FIRST FLOOR

ZONING DISTRICT	R6B	BLOCK	333
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	SCALE:		1/4" = 1'-0"
	DRAWING NO.:		

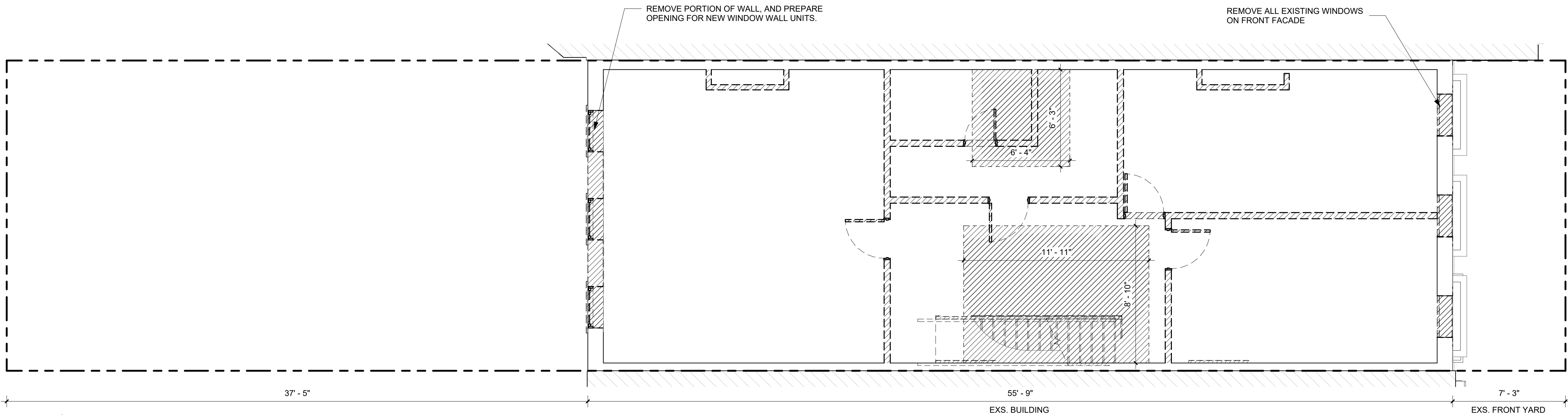


L-103.00

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2 FIRST FLOOR - PROPOSED
1/4" = 1'-0"



1 FIRST FLOOR - DEMO
1/4" = 1'-0"

DEMOLITION LEGEND:

	EXISTING TO REMAIN
	REMOVALS

NOTES:

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PROPOSED PLAN LEGEND:

	NEW WALL		MILLWORK		NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED		STONE COUNTER		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR		NEW TILE FLOOR		MA BATHROOM EXHAUST FAN

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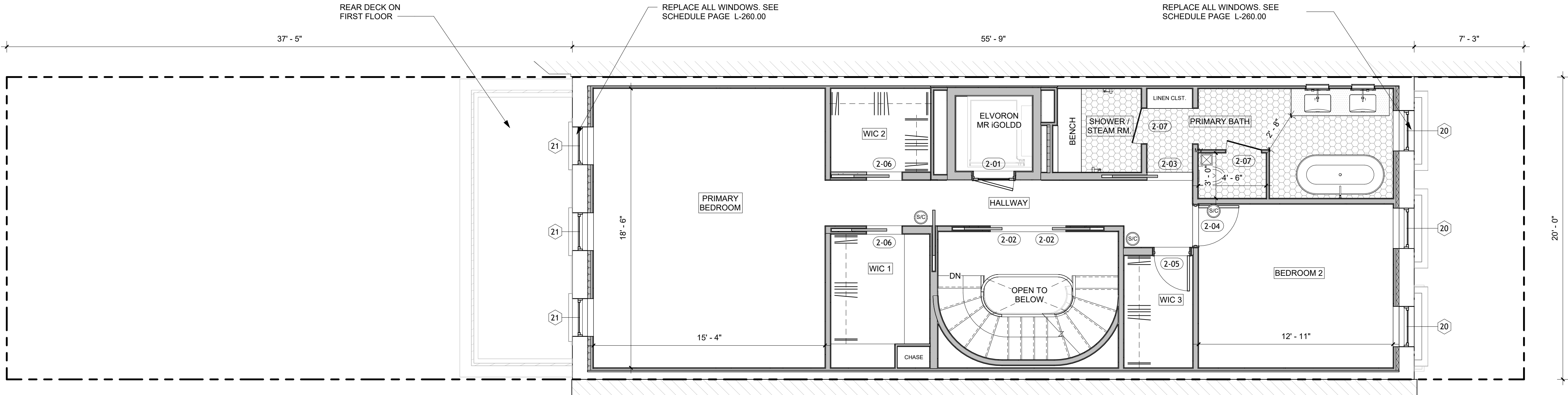
DEMOLITION & PROPOSED
PLAN - SECOND FLOOR

ZONING DISTRICT	R6B	BLOCK	333
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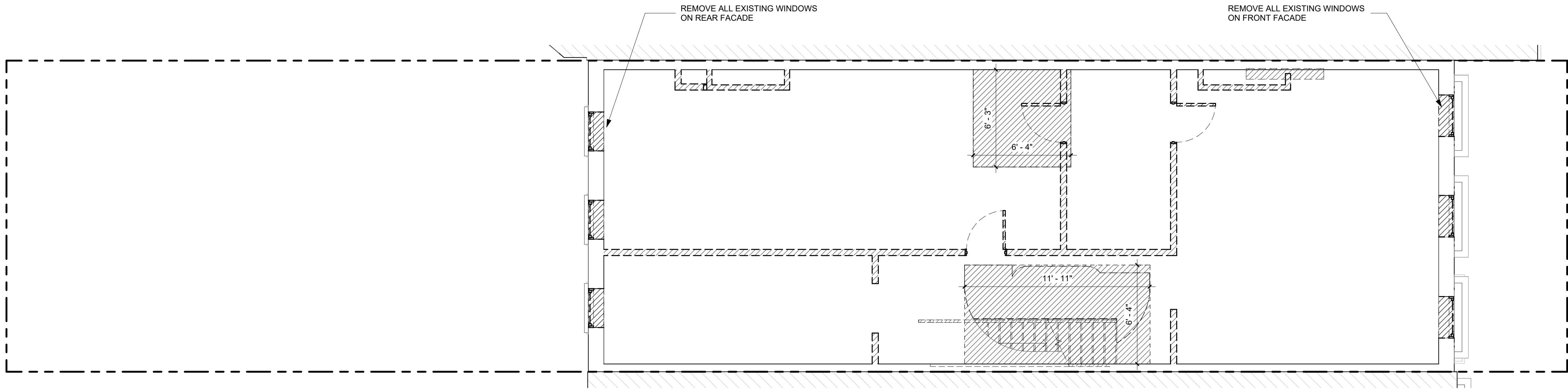


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2 SECOND FLOOR - PROPOSED
1/4" = 1'-0"



1 SECOND FLOOR - DEMO
1/4" = 1'-0"

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LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

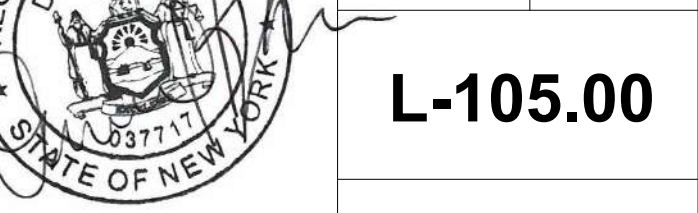
PROJECT

156 EAST 71 STREET

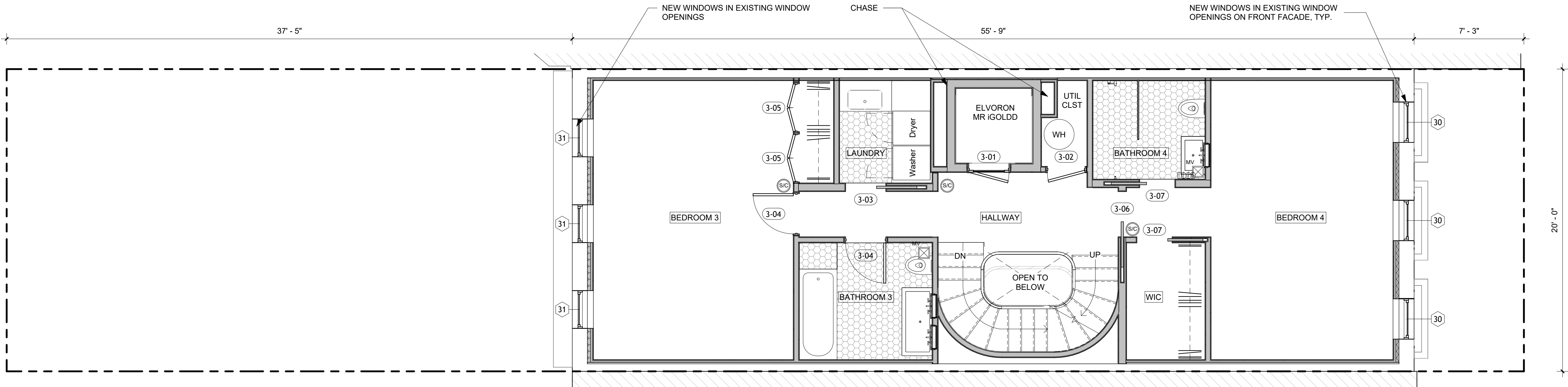
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DEMOLITION & PROPOSED
PLAN - THIRD FLOOR

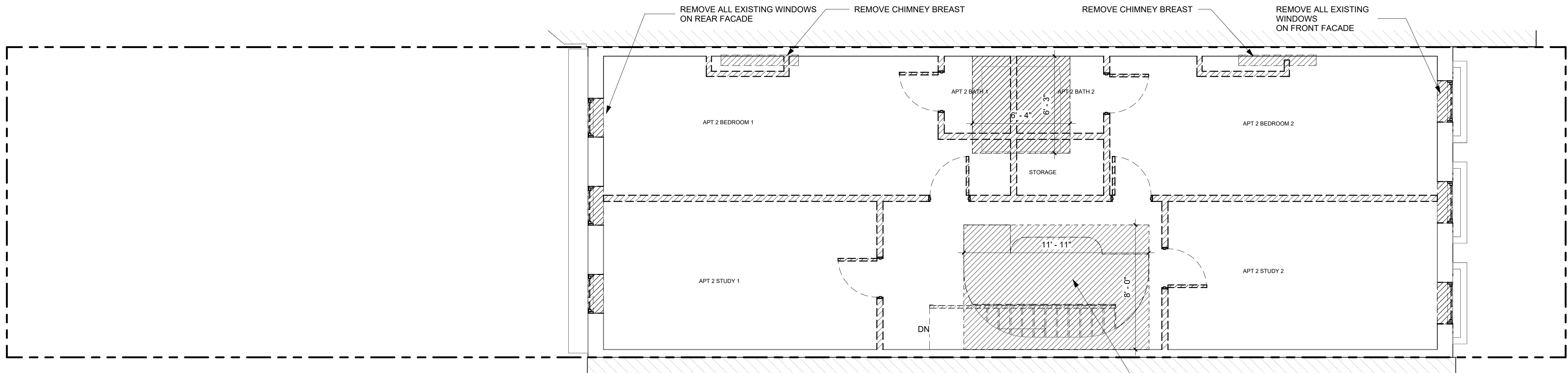
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ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	



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2 THIRD FLOOR - PROPOSED
1/4" = 1'-0"



1 THIRD FLOOR - DEMO
1/4" = 1'-0"

DEMOLITION LEGEND:

- EXISTING TO REMAIN
- REMOVALS

NOTES:

- REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENT ETC., AS INDICATED.
- REMOVE ALL RADIATORS
- ALL FRONT & REAR WINDOWS ARE TO BE REPLACED
- ALL FRONT & REAR INTERIOR FURRING WALL TO BE REMOVED, INSULATED AND REFINISHED
- ALL EXISTING FLOOR JOIST FRAMING WILL REMAIN, UNLESS MINOR REPLACEMENT IS REQUIRED DURING CONSTRUCTION.SEE STRUCTURAL DWGS.

PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- MA BATHROOM EXHAUST FAN

156 E 71 ST

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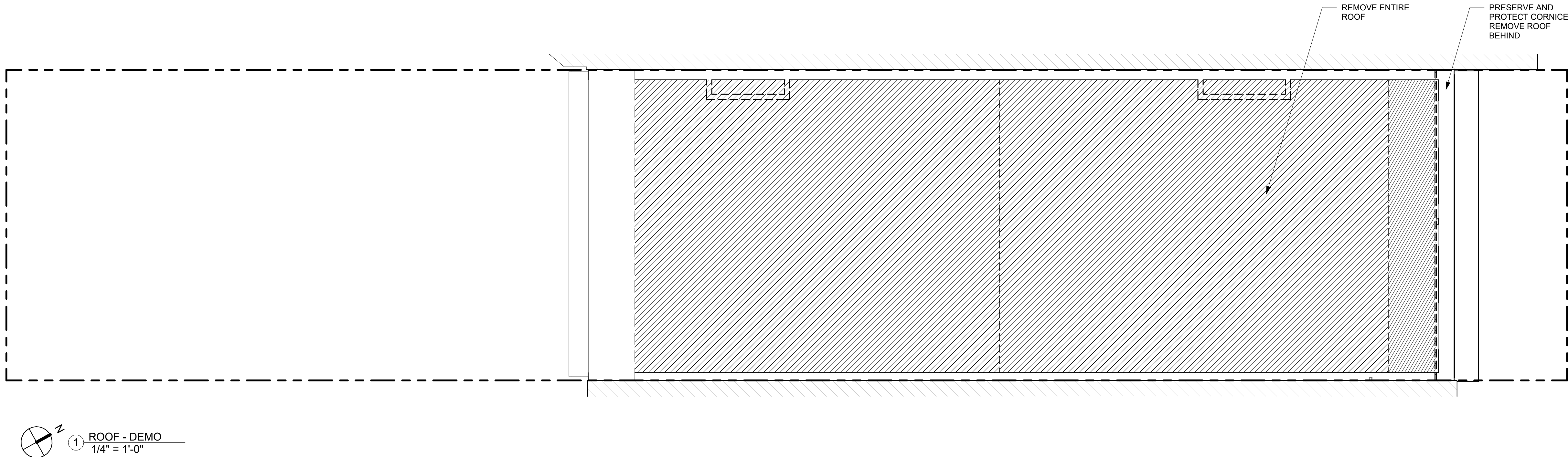
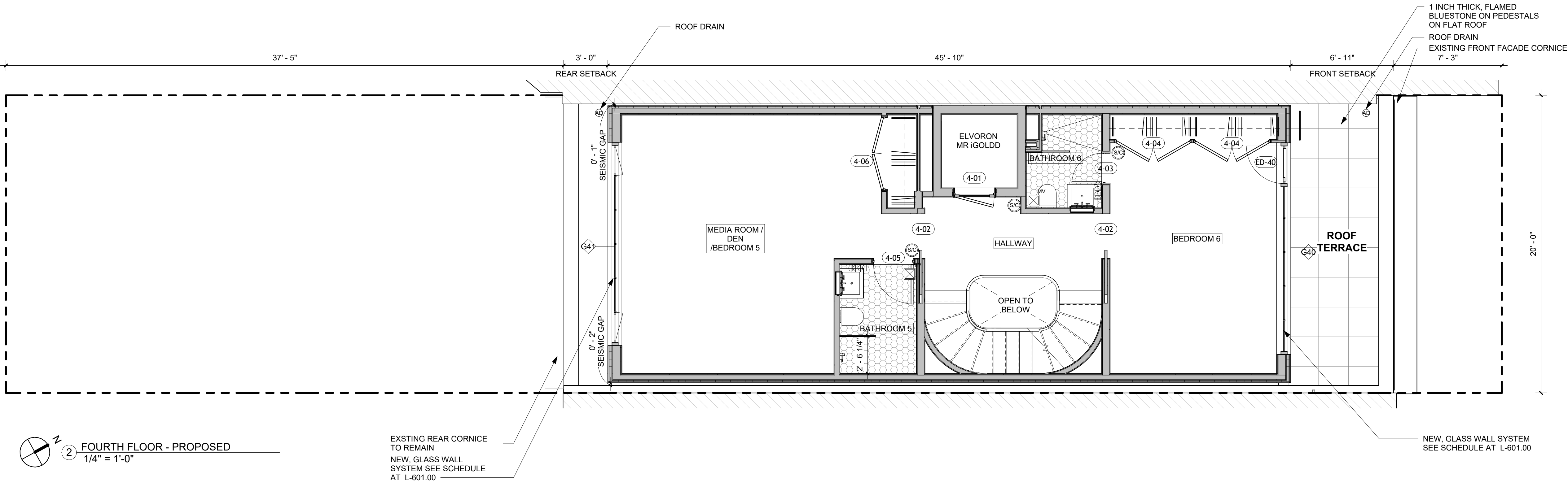
PROPOSED PLAN - FOURTH FLOOR

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	



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PROPOSED PLAN LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW WOOD FLOOR
- MILLWORK
- STONE COUNTER
- NEW TILE FLOOR
- NEW CONCRETE FLOOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
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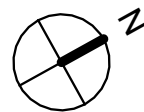
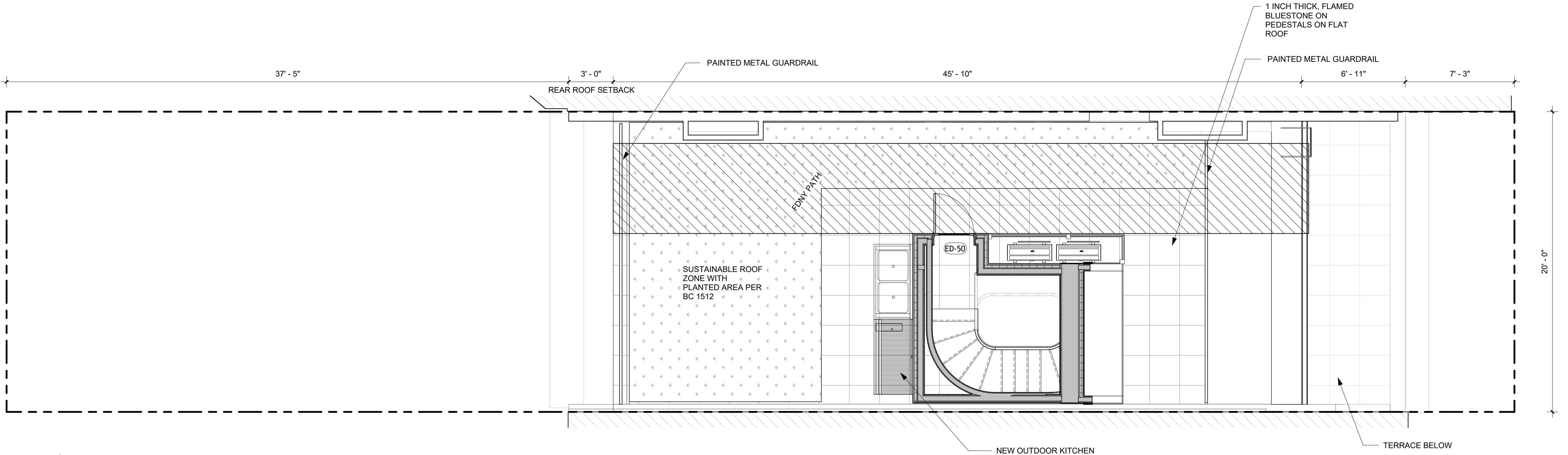
PROPOSED BULK HEAD
AND ROOF PLAN

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:		1/4" = 1'-0"
	DRAWING NO.:		

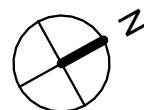
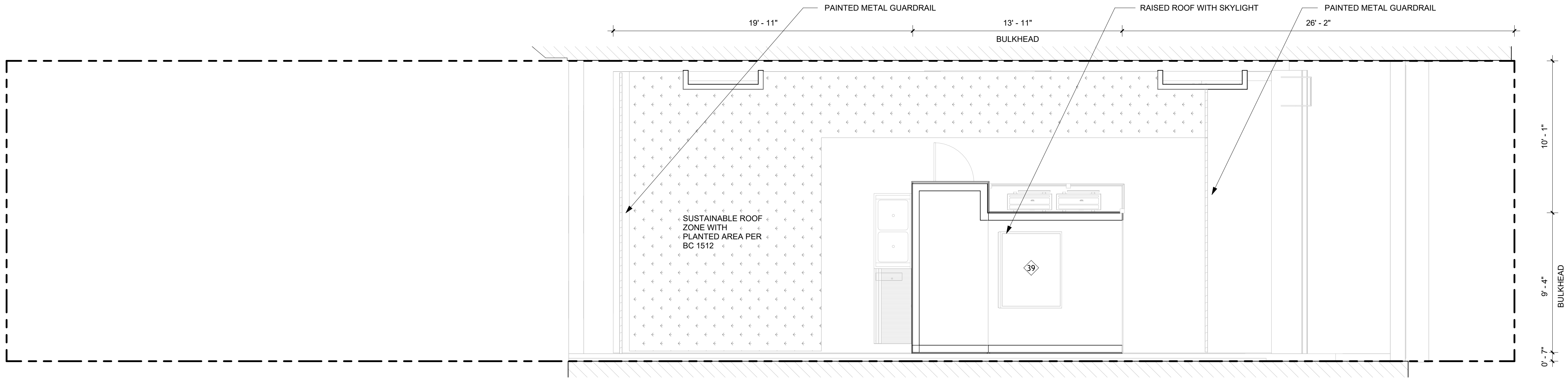


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2 ROOF - PROPOSED
1/4" = 1'-0"



1 TOP OF BULKHEAD - PROPOSED
1/4" = 1'-0"

DEMOLITION LEGEND:

	EXISTING TO REMAIN
	REMOVALS

NOTES:

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PROPOSED PLAN LEGEND:

	NEW WALL		MILLWORK		NEW CONCRETE FLOOR
	CONDITION ABOVE AS NOTED		STONE COUNTER		COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	NEW WOOD FLOOR		NEW TILE FLOOR		MA BATHROOM EXHAUST FAN

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156 EAST 71 STREET

TITLE

DEMOLITION & PROPOSED
ELEVATIONS - FRONT
FACADE

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:		1/4" = 1'-0"
	DRAWING NO.:		



L-201.00

NEIGHBORING BUILDING
158 EAST 71 ST

156 EAST 71 ST

NEIGHBORING BUILDING
154 EAST 71 ST

TOP OF CORNICE
45' - 8 15/32"

EXISTING LINTELS & SILLS SHALL
REMAIN, TYP.

EXISTING BROWNSTONE FACADE
SHALL REMAIN

THIRD FLOOR
30' - 3 5/8"

REMOVE & REPLACE ALL
WINDOWS IN EXISTING OPENINGS
ON FRONT FACADE, TYP. EXISTING
BRICK MOLD CASINGS TO REMAIN

SECOND FLOOR
19' - 7 9/16"

FIRST FLOOR
7' - 1 25/32"

EXISTING WINDOW GUARDS
SHALL REMAIN, TYP.

BASE PLANE
ELEVATION
0' - 0"

① LPC - FRONT FACADE - DEMO
1/4" = 1'-0"

NEW SKYLIGHT ON
BULKHEAD ROOF

PROPOSED BULKHEAD

NEIGHBORING BUILDING
158 EAST 71 ST

NEW HVAC
CONDENSING UNITS
MOUNTED ON
BULKHEAD WALL,
SCREENED

42" TALL GUARDRAIL,
PTD BLACK

SLOPING PART OF
ROOF

NEW BLACK GUTTER
ON PAINTED BLACK
FASCIA BOARD



MATCH FRONT
FACADE
BROWNSTONE
STUCCO

NEW GLASS WINDOW
SYSTEM PAINTED
BLACK

EXISTING CORNICE

REPLACED WINDOWS
IN ALL EXIST. WINDOW
OPENINGS ON FRONT
FACADE, TYP. PAINTED
BLACK



EXISTING BROWNSTONE
STUCCO



NEW EXTERIOR LIGHT

NEW EXTERIOR LIGHT
IN EXISTING LOCATION

PROPOSED LIGHT MODEL:
CIRC LED WALL SCONCE
FROM LUMENS
FINISH: BLACK

EXIST. WINDOW GUARDS
SCRAPE AND PAINT
BLACK

156 EAST 71 ST

NEIGHBORING BUILDING
154 EAST 71 ST

TOP OF
BULKHEAD
60' - 4 17/32"

NEW CIRC LED WALL
SCONCE FROM
LUMENS. FINISH: BLACK

PROPOSED
FOURTH FLOOR
41' - 7 5/32"

PAINTED BLACK

THIRD FLOOR
30' - 3 5/8"

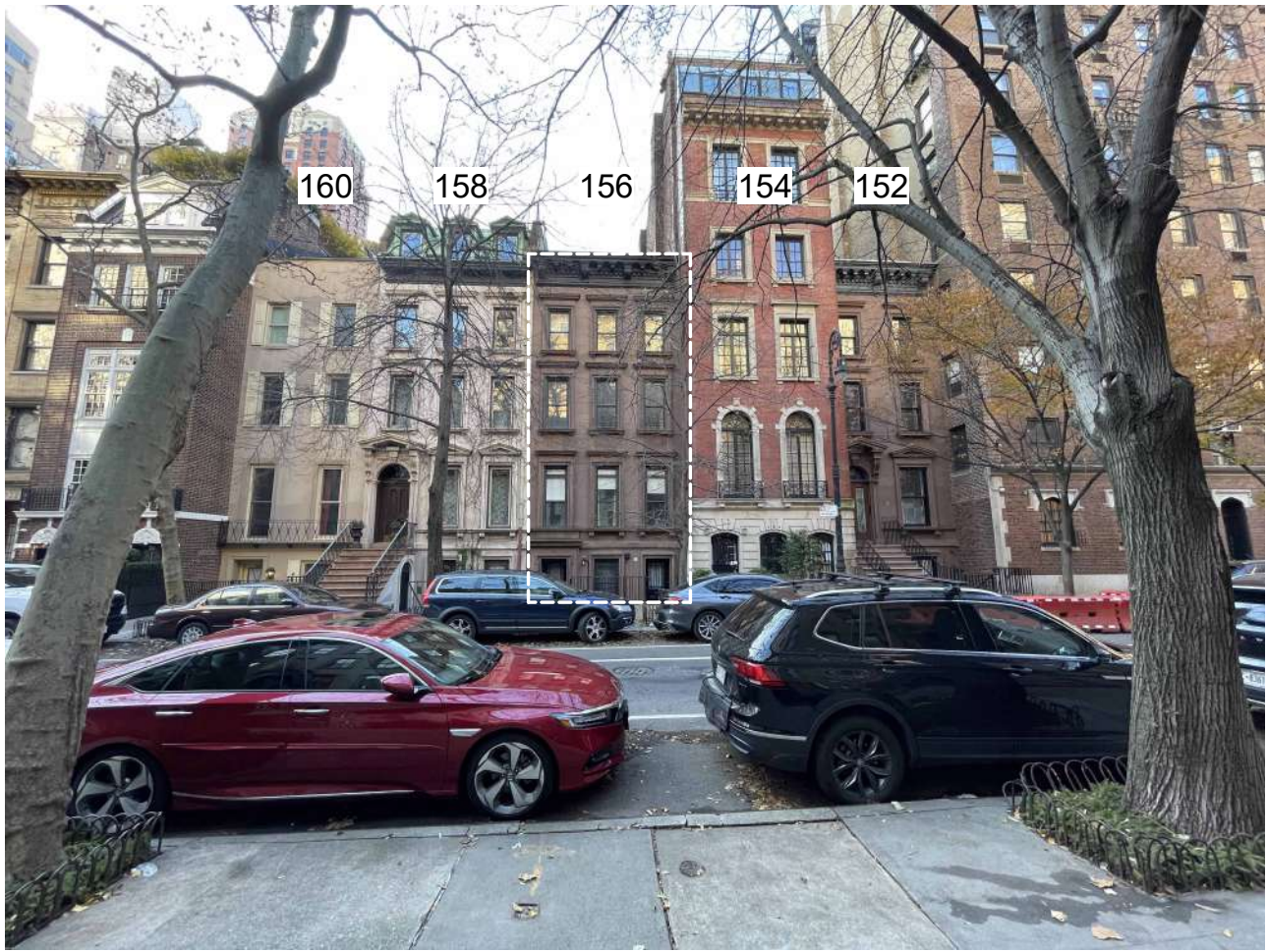
SECOND FLOOR
19' - 7 9/16"

FIRST FLOOR
7' - 1 25/32"

BASE PLANE
ELEVATION
0' - 0"

BASEMENT
-2' - 8 7/32"

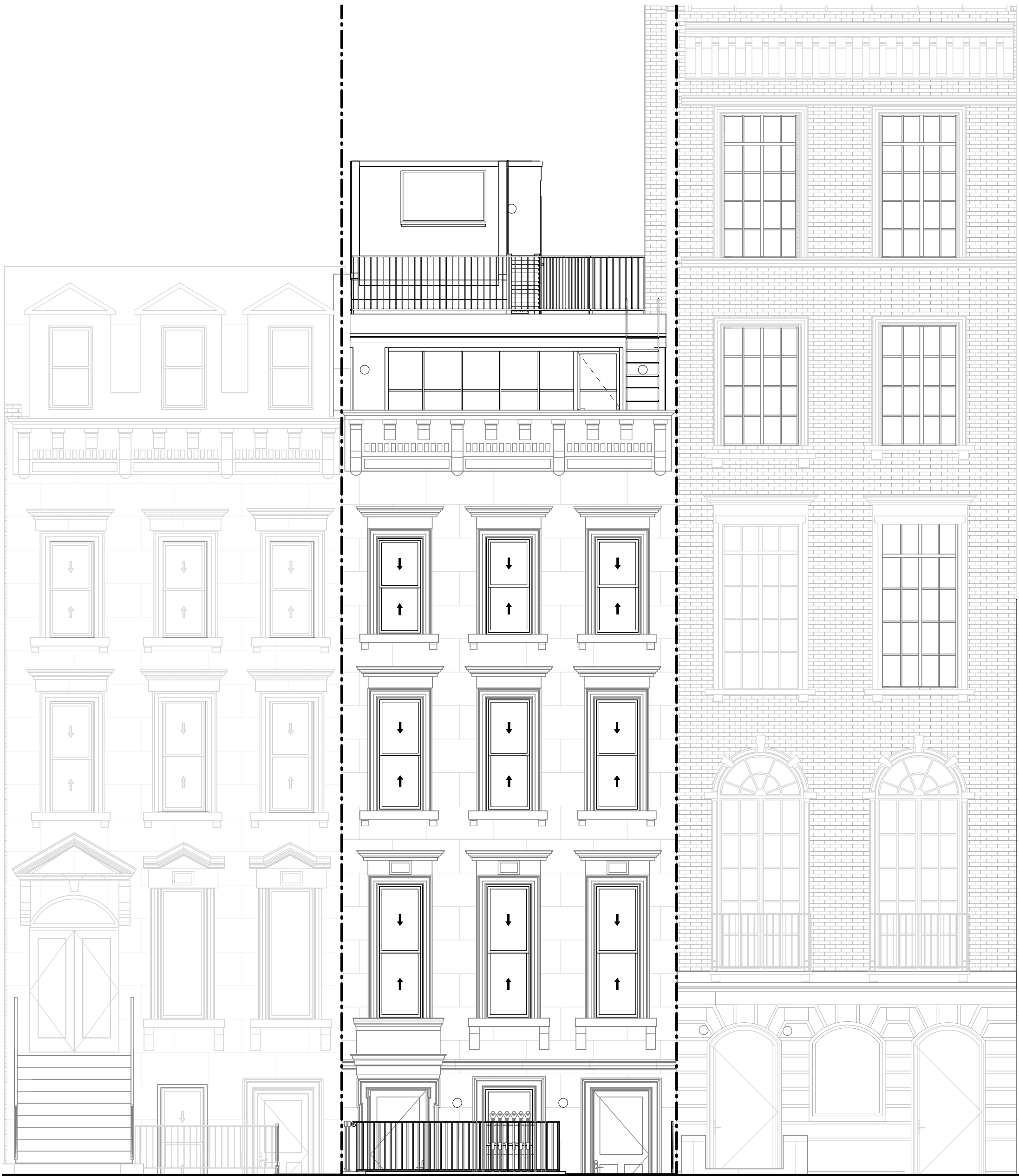
② LPC - FRONT FACADE
1/4" = 1'-0"



NEIGHBORING BUILDING
158 EAST 71 ST

156 EAST 71 ST

NEIGHBORING BUILDING
154 EAST 71 ST



156 E 71 ST

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03/26/2025

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DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

PROPOSED FRONT
ELEVATION AND
NEIGHBORING BUILDINGS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
		SCALE:	3/16" =
		DRAWING NO.:	1'-0"



L-202.00



FRONT FACADE

DOORS TO REMAIN.
SCRAPE AND REPAINT.
REPLACE EXISTING
GLASS WITH INSULATED
GLASS



EXIST. BASEMENT FL. WINDOW W/ STONE MOLDINGS & GRILLES

ORIGINAL GRILLES TO REMAIN.
SCRAPE & PAINT BLACK

ALL STONE
MOLDINGS
SHALL REMAIN



PARLOR FLOOR WINDOW W/ STONE MOLDING

ALL STONE
MOLDINGS
SHALL REMAIN



SECOND FLOOR WINDOW W/ STONE MOLDING

ALL STONE MOLDINGS
SHALL REMAIN



EXIST. 3RD FL. WINDOWS W/ STONE MOLDINGS & CORNICE

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156 EAST 71 STREET

TITLE

EXSISTING FRONT FACADE
CLOSE UP PHOTOS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:	DRAWING NO.:	
			L-203.00



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156 EAST 71 STREET

TITLE

FRONT YARD AND
AREAWAY

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	03/26/2025
	SCALE:		0147
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L-204.00

REMOVE
REPLACE EXTERIOR
LIGHT AND RE-WIRE
THROUGH INSIDE
WALL



EXISTING FRONT YARD - APARTMENT 2 ENTRANCE, BASEMENT WINDOW & APARTMENT 1 ENTRANCE

REMOVE CABLE



EXISTING BASEMENT WINDOW & FRONT ENTRANCE



EXISTING APT 1 ENTRANCE



EXISTING FRONT FACADE



PROPOSED FRONT FACADE



PROPOSED FRONT FACADE ROOF ADDITION



ROOF GUARDRAIL - NOT VISIBLE FROM THE PUBLIC THROUGHWAY

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PROPOSED FRONT FACADE

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L-205.00

EXISTING PHOTOGRAPHS SHOWING RETAINING WALL, RAILING AND AREAWAY IN CONTEXT

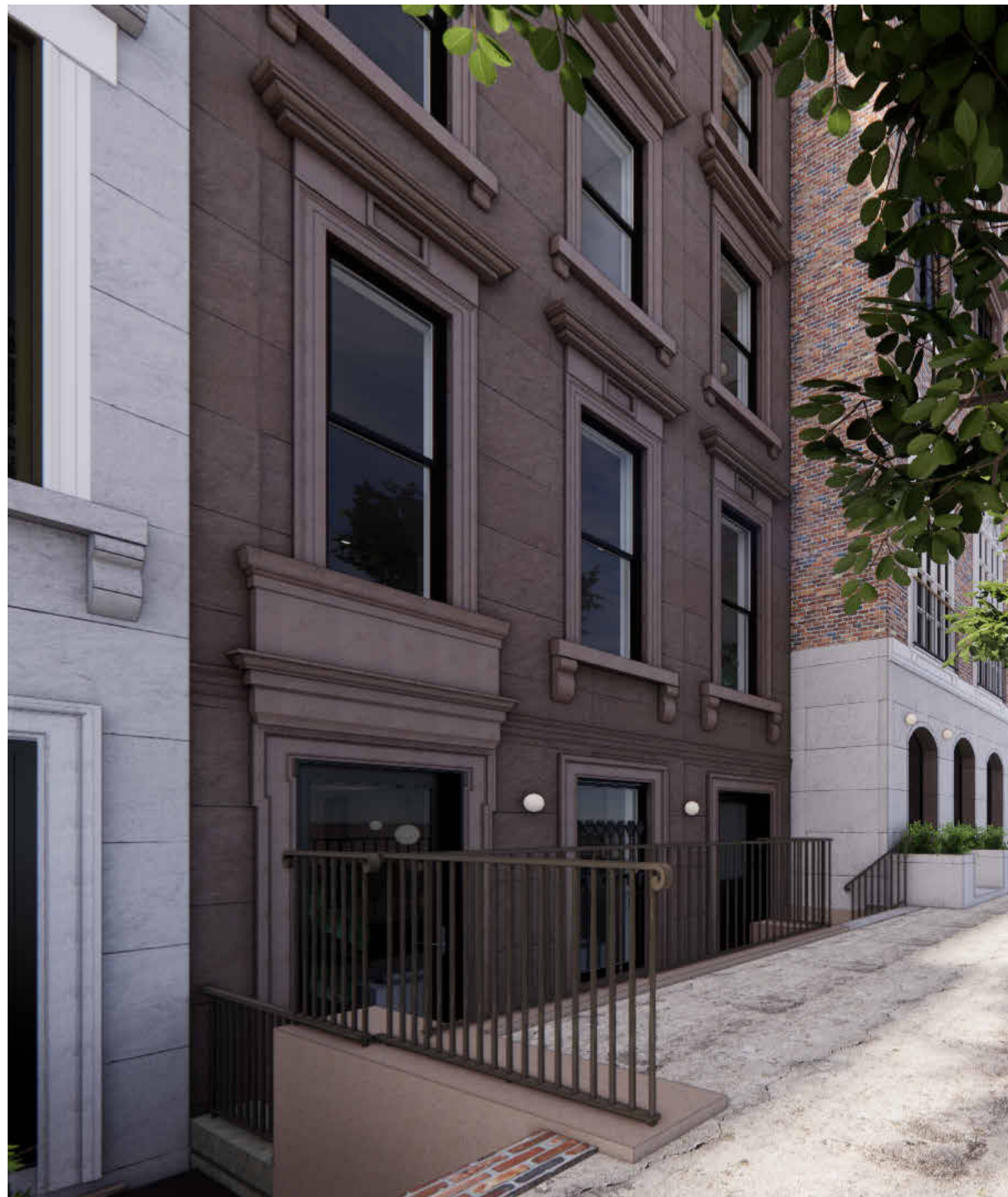


PROPOSED RETAINING WALL AND STAIR TO EXTEND TO DASHED LINE



PROPOSED RETAINING WALL AND STAIR TO EXTEND TO DASHED LINE

RENDERED VIEWS OF PROPOSED RETAINING WALL AND NEW RAILING. DETAILS TO REPLICATE EXISTING



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TITLE
FRONT YARD AND AREAWAY

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L-206.00

FRONT AREAWAY AND RAILINGS



PROPOSED FRONT YARD - GUARDRAILS TO BE REUSED AND/OR REPLICATED TO MATCH EXISTING

NEW GUARDRAIL TO EXACTLY REPLICATE EXISTING DETAILING. PAINTED BLACK



REUSE AND MATCH PAVERS FROM THE REAR YARD PATIO.



PHOTOGRAPHS OF EXISTING GUARDRAIL. REPLICATE DETAILING FOR NEW HANDRAIL IN PROPOSED CONFIGURATION.



FLAMED BLUESTONE TREADS TO MATCH PAVERS
RETAINING WALL AND RISERS PARGED TO MATCH EXISTING.

PROPOSED FRONT STAIR - NEW METAL HANDRAIL WITH DETAILS TO REPLICATE EXISTING GUARDS. PAINTED BLACK.

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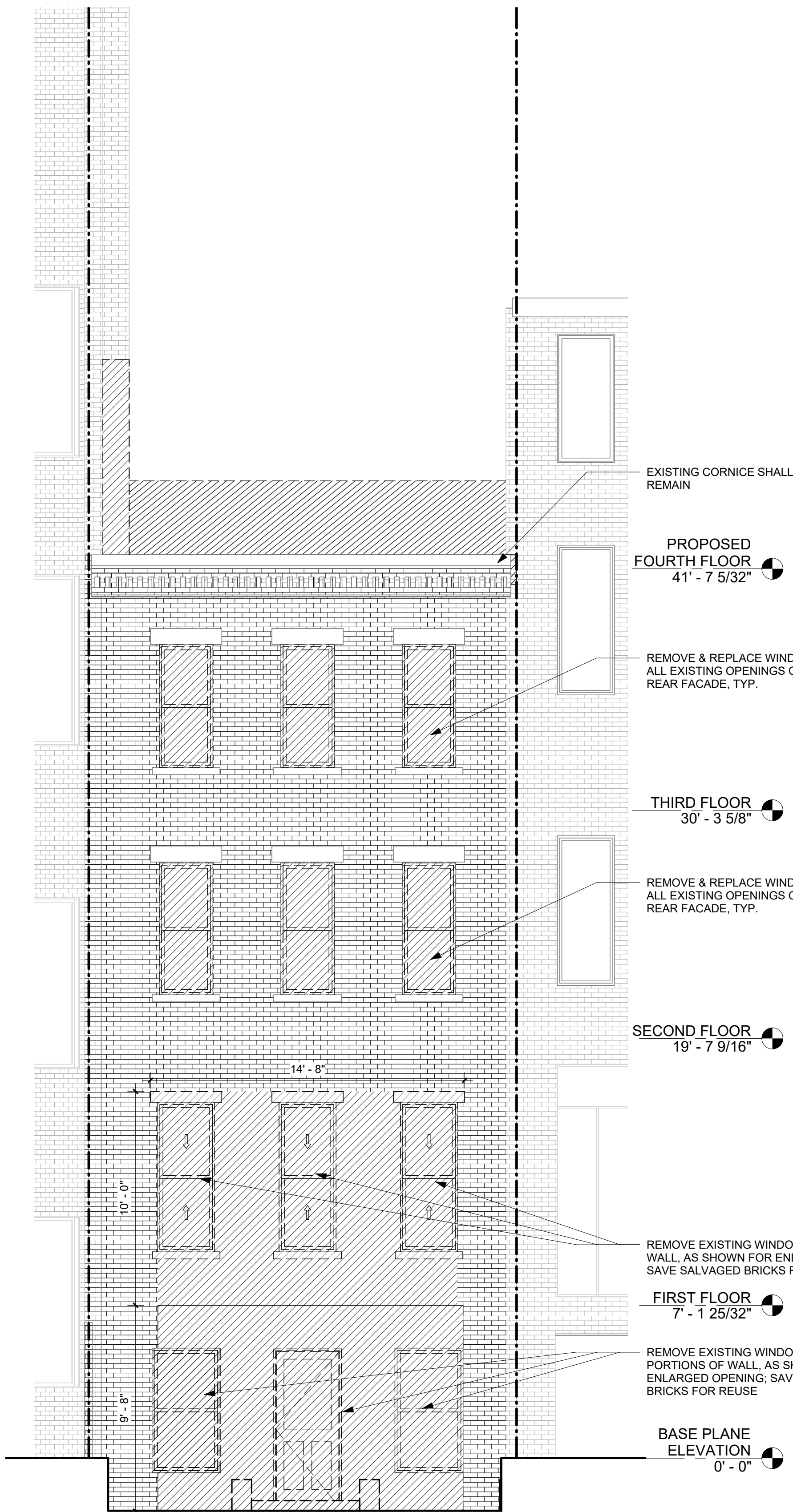
DEMOLITION & PROPOSED
ELEVATIONS - REAR
FACADE

ZONING DISTRICT	R6B	BLOCK	333
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	SCALE:	1/4" = 1'-0"	DRAWING NO.:

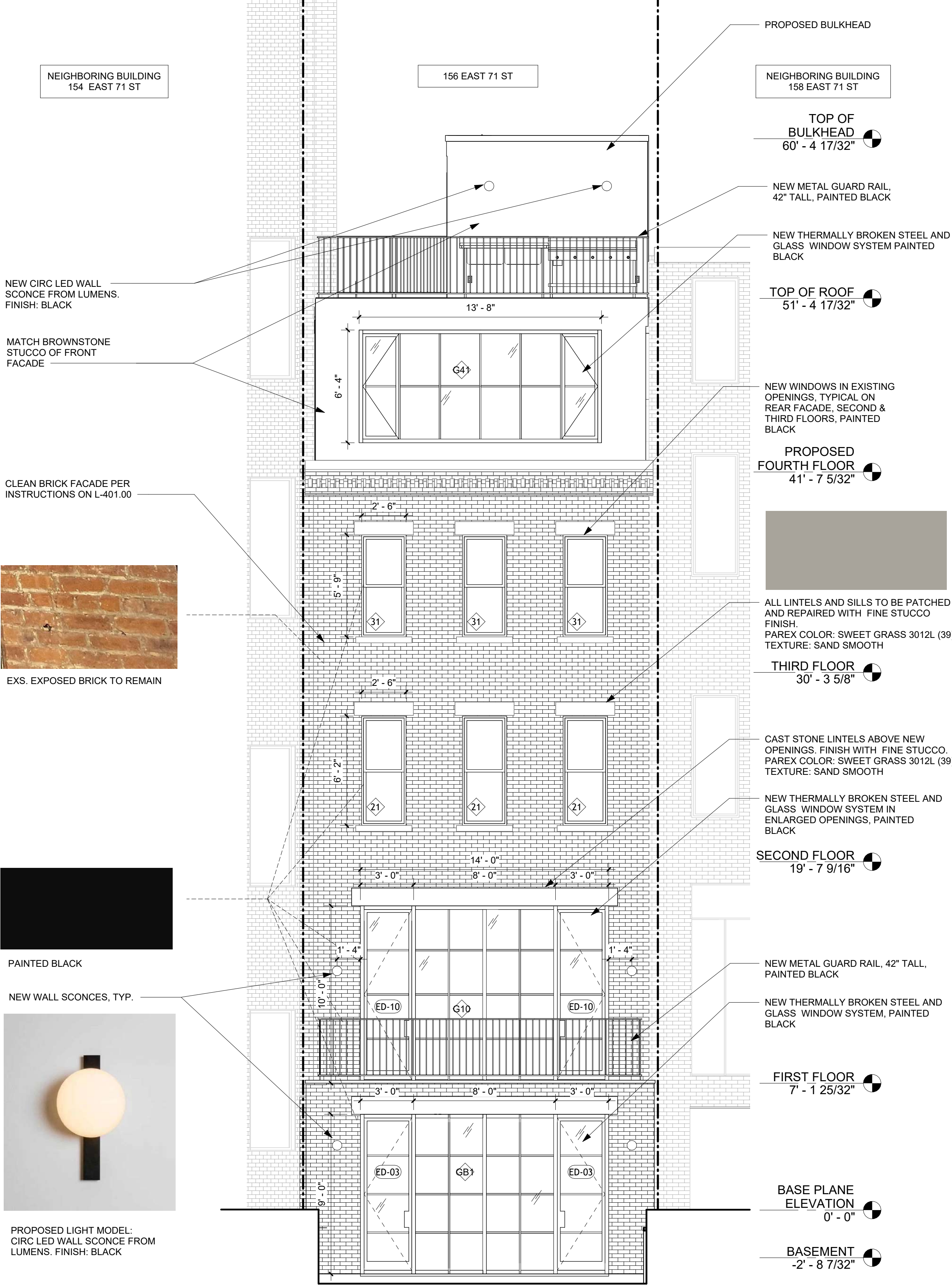


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1 LPC - REAR FACADE - DEMO
1/4" = 1'-0"



2 LPC - REAR FACADE
1/4" = 1'-0"



NEIGHBORING BUILDING
158 EAST 71 ST

156 EAST 71 ST

NEIGHBORING BUILDING
154 EAST 71 ST



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PROPOSED REAR
ELEVATION AND
NEIGHBORING BUILDINGS

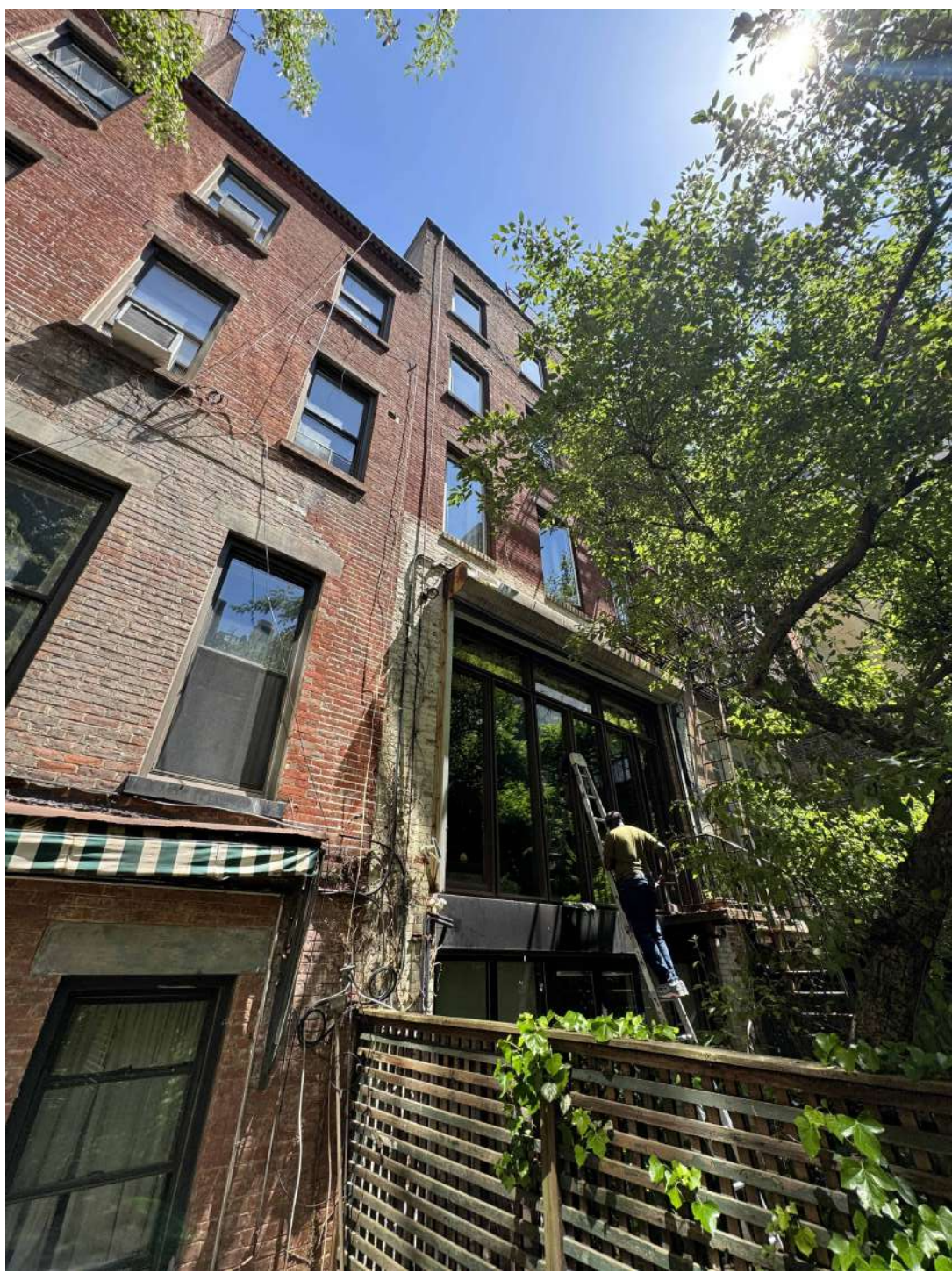
ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE		DATE	03/26/2025
		JOB NO.:	0147
		SCALE:	3/16" = 1'-0"
		DRAWING NO.:	



L-209.00



EXISTING FENCE



VIEW ON NEIGHBORING PROPERTY



EXISTING RETAINING WALL



EXISTING RETAINING WALL



EXISTING REAR FACADE

156 E 71 ST

New York, NY 10021

Architect

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Brooklyn, NY 11215
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Owner

Steel Property Group

Code Consultant

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Tel. (718) 332-2266

LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

EXISTING REAR FACADE
CLOSE-UP PHOTOS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:	DRAWING NO.:	



L-210.00



PROPOSED REAR FACADE

ALL LINTELS AND AND SILLS TO BE
PATCHED AND REPAIRED WITH FINE
STUCCO FINISH.
PAREX COLOR: SWEET GRASS 3012L (39)
TEXTURE: SAND SMOOTH

CAST STONE LINTELS ABOVE NEW
OPENINGS. FINISH WITH FINE STUCCO.
PAREX COLOR: SWEET GRASS 3012L (39)
TEXTURE: SAND SMOOTH



PROPOSED GUARDRAIL REAR EXTENSION



PROPOSED REAR EXTENSION

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03/26/2025

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DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

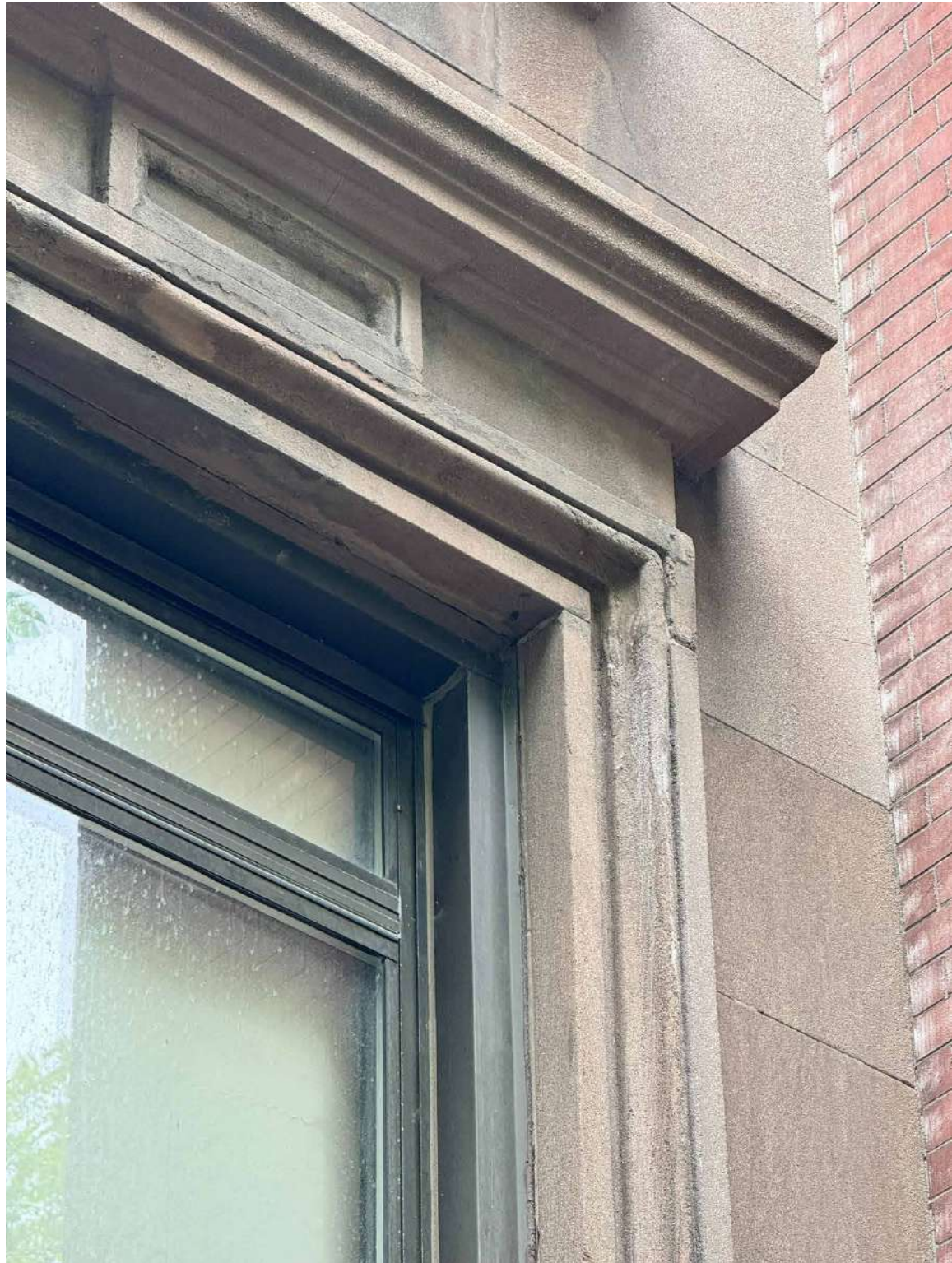
PROPOSED REAR FACADE

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:	DRAWING NO.:	



L-211.00

FIRST FLOOR DOUBLE HUNG WINDOW CLOSE UP PHOTOS



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BASEMENT DOUBLE HUNG WINDOW & EXISTING UNIT ENTRANCES

REMOVE EXISTING
WRITING ON DOOR.



REPLACE EXISTING EXTERIOR
LIGHTING



REMOVE ELECTRICAL BOX



EXISTING HIDDEN WOOD BRICKMOLD UNDER
THE ALUMINUM CASING TO BE SAVED FOR
REUSE UNLESS ROTTEN OR DAMAGED.



KEEP EX'G WINDOW GUARD @ BASEMENT
WINDOW

LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-1

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

EXISTING FRONT FACADE
TYPICAL WINDOW
CLOSE-UP PHOTOS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE		DATE	03/26/2025
		JOB NO.:	0147
		SCALE:	
		DRAWING NO.:	



L-213.00



THE EXISTING SECONDARY ENTRANCE DOOR WILL REMAIN AND BE REPAIRED BUT WILL FUNCTION AS A WINDOW RATHER THAN AS A DOOR.



EX ENTRY DOOR TO REMAIN AND BE USED AS THE PRIMARY ENTRANCE



EXISTING LIGHT TO BE REPLACED AND CONDUIT TO BE REROUTED IN THE WALL



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LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-1

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

EXSISTING FRONT FACADE
ENTRY DOOR CLOSE-UP
PHOTOS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:	DRAWING NO.:	



L-214.00

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LANDMARKS SUBMISSION

03/26/2025

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DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

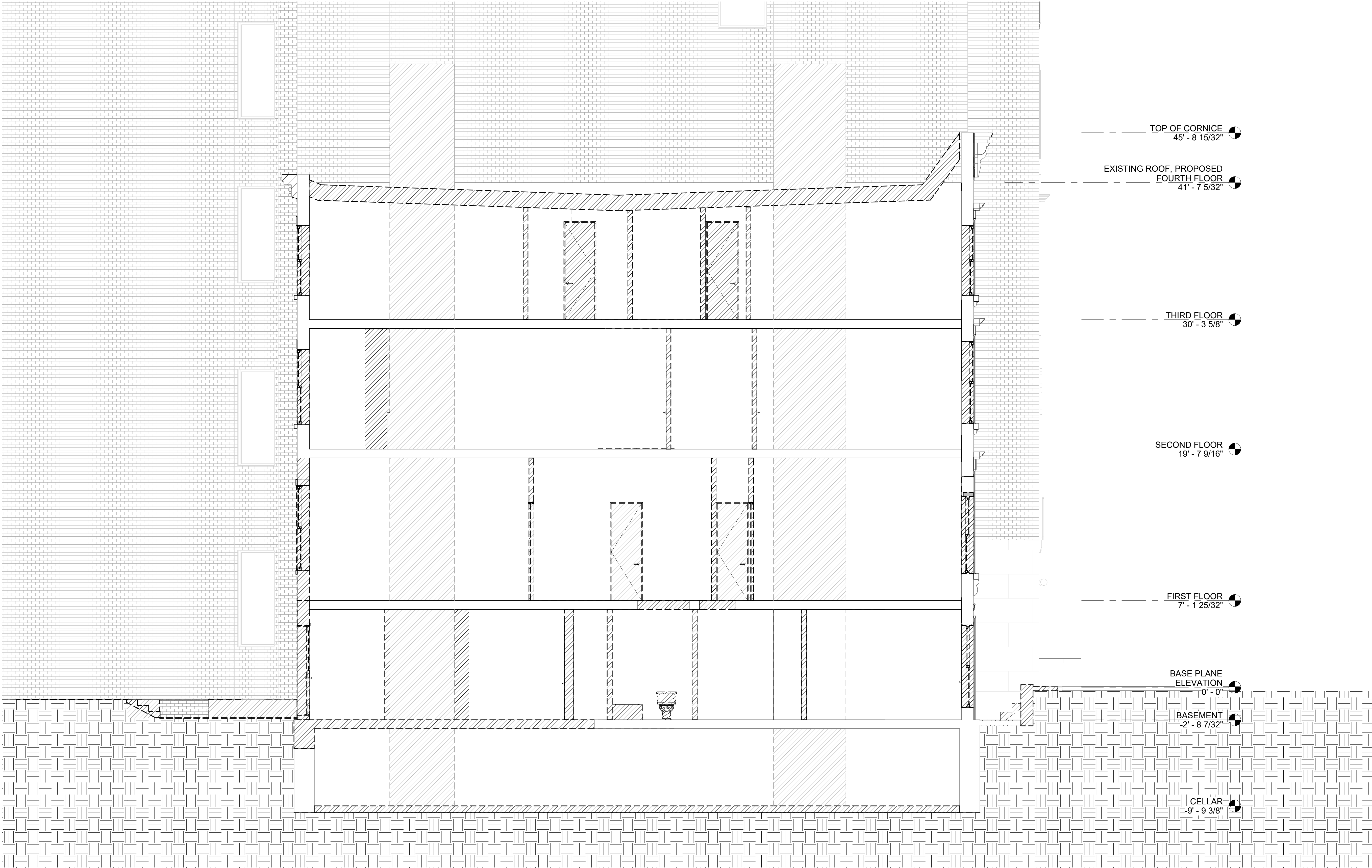
DEMOLITION BUILDING
SECTION

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:		1/4" = 1'-0"
	DRAWING NO.:		



L-301.00

© BOWERBIRD ARCHITECTS - DO NOT SCALE FROM DRAWINGS



1 LPC - DEMOLITION BUILDING SECTION
1/4" = 1'-0"

DEMOLITION LEGEND:

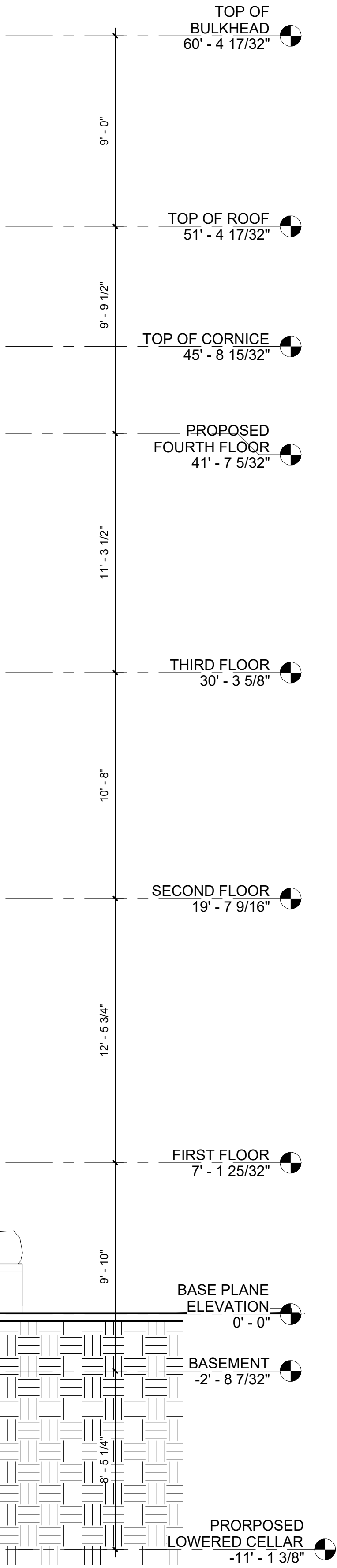
- EXISTING TO REMAIN
- REMOVALS

NOTES:

- REMOVE EXISTING PARTITIONS, DOORS, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENT ETC., AS INDICATED.
- REMOVE ALL RADIATORS
- ALL FRONT & REAR WINDOWS ARE TO BE REPLACED
- ALL FRONT & REAR INTERIOR FURRING WALL TO BE REMOVED, INSULATED AND REFINISHED
- ALL EXISTING FLOOR JOIST FRAMING WILL REMAIN, UNLESS MINOR REPLACEMENT IS REQUIRED DURING CONSTRUCTION.SEE STRUCTURAL DWGS.



1 LONGITUDINAL SECTION - PROPOSED
1/4" = 1'-0"



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03/26/2025

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DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

PROPOSED BUILDING
SECTION

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	03/26/2025	JOB NO.: 0147
	SCALE:	1/4" = 1'-0"	DRAWING NO.:



L-302.00



1



2



3



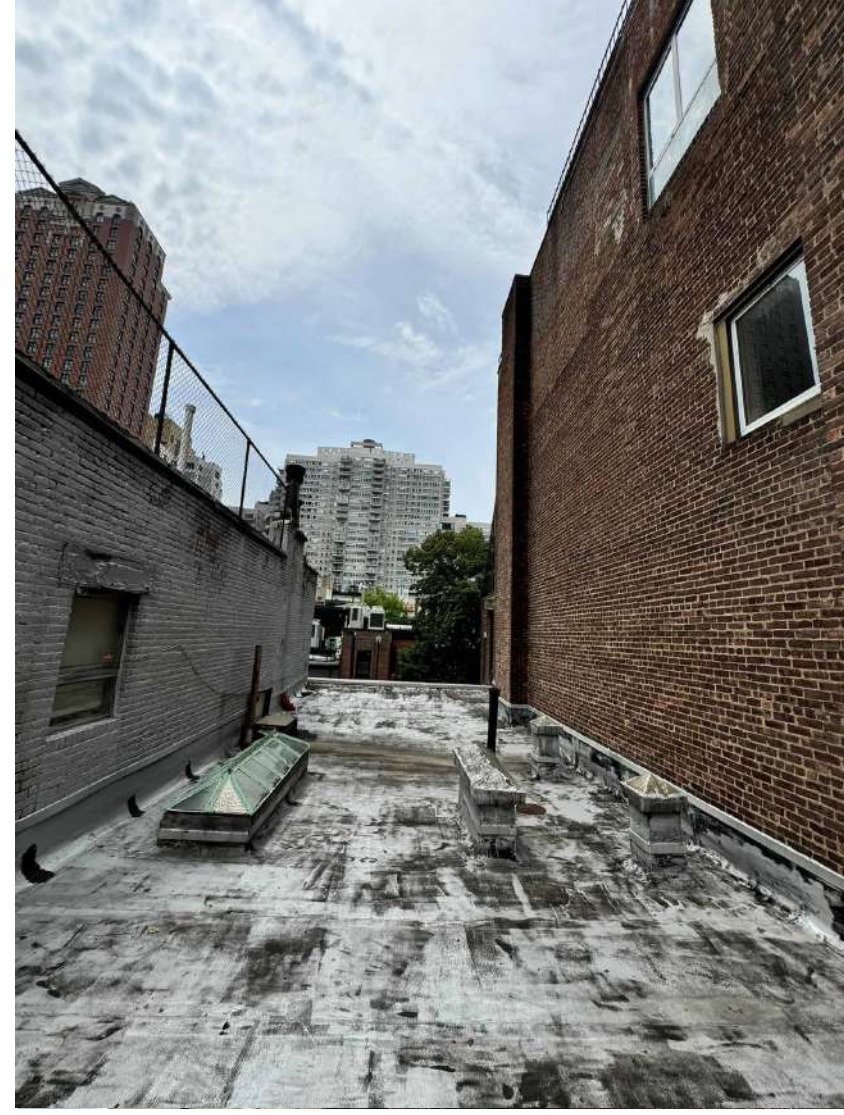
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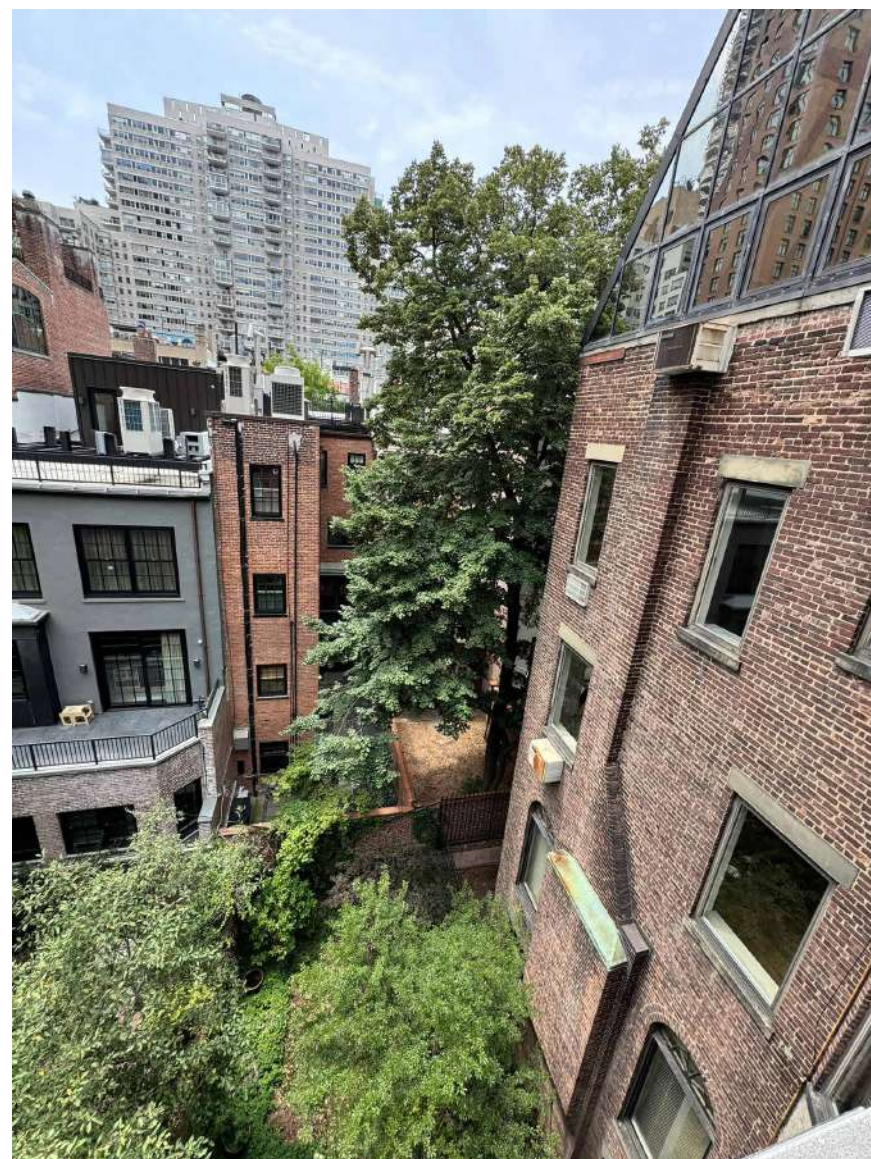
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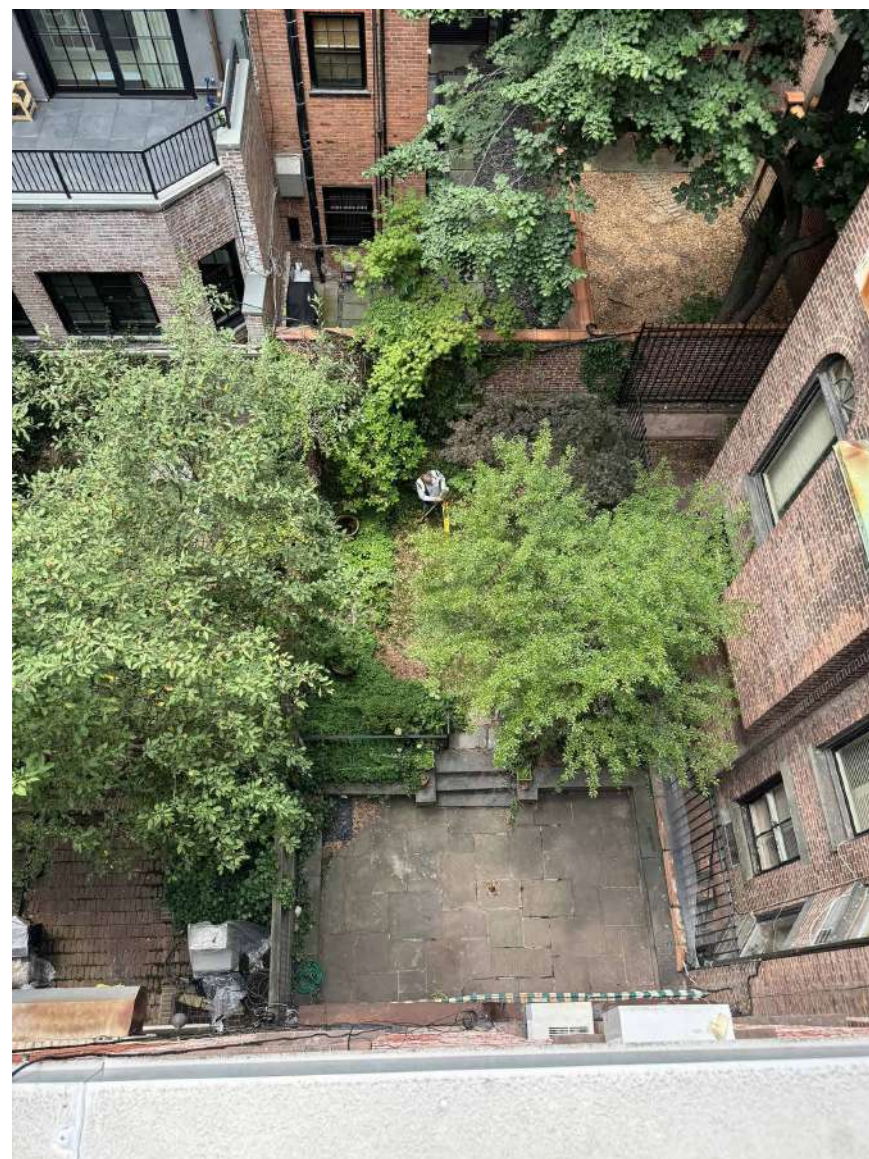
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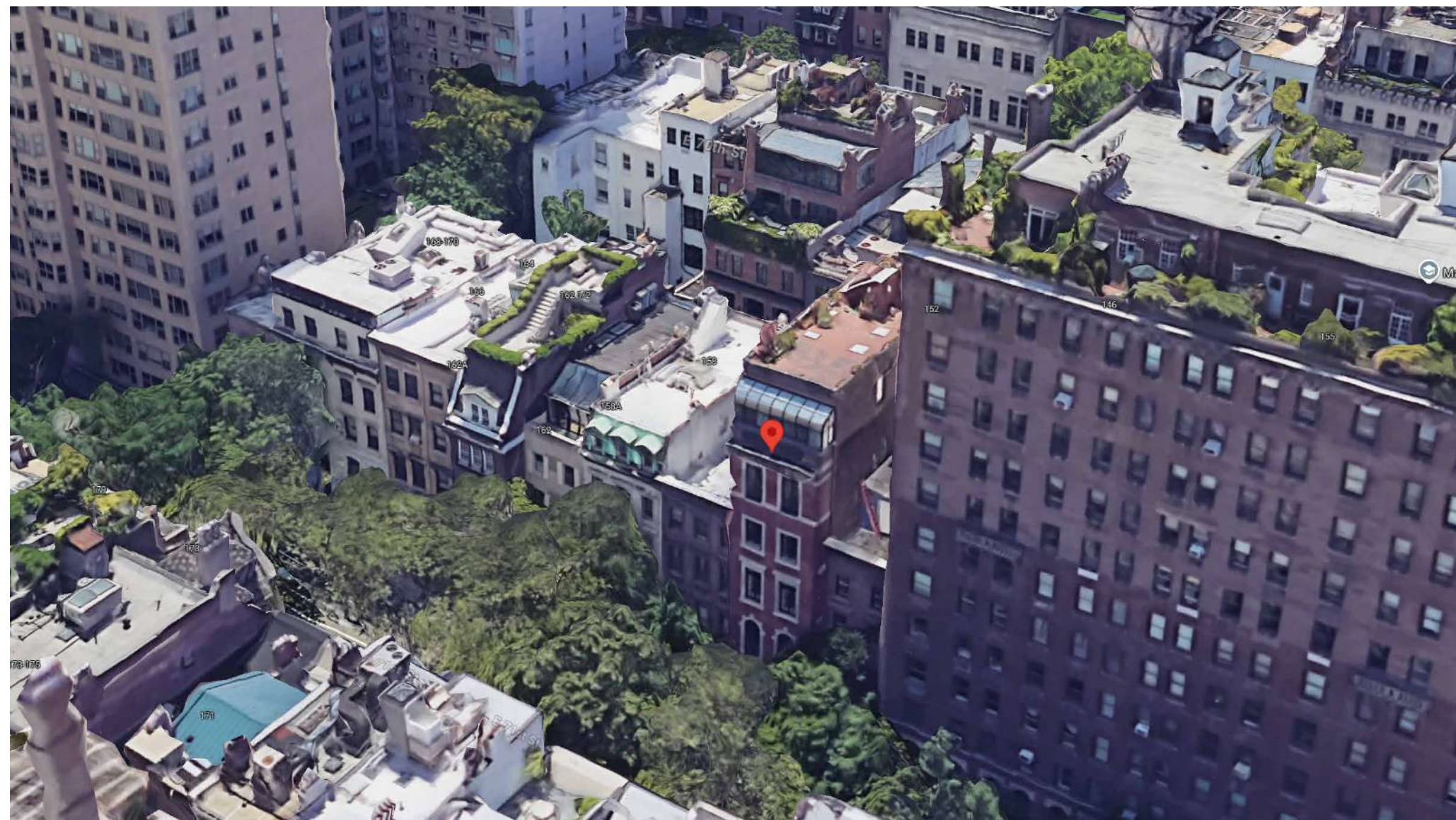
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8



7



ARIEL VIEW

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03/26/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

SIGHT LINE ANALYSIS
ROOF PH

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
		SCALE:	3/8" = 1'-0"
		DRAWING NO.:	



L-303.00

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LANDMARKS SUBMISSION

03/26/2025

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DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

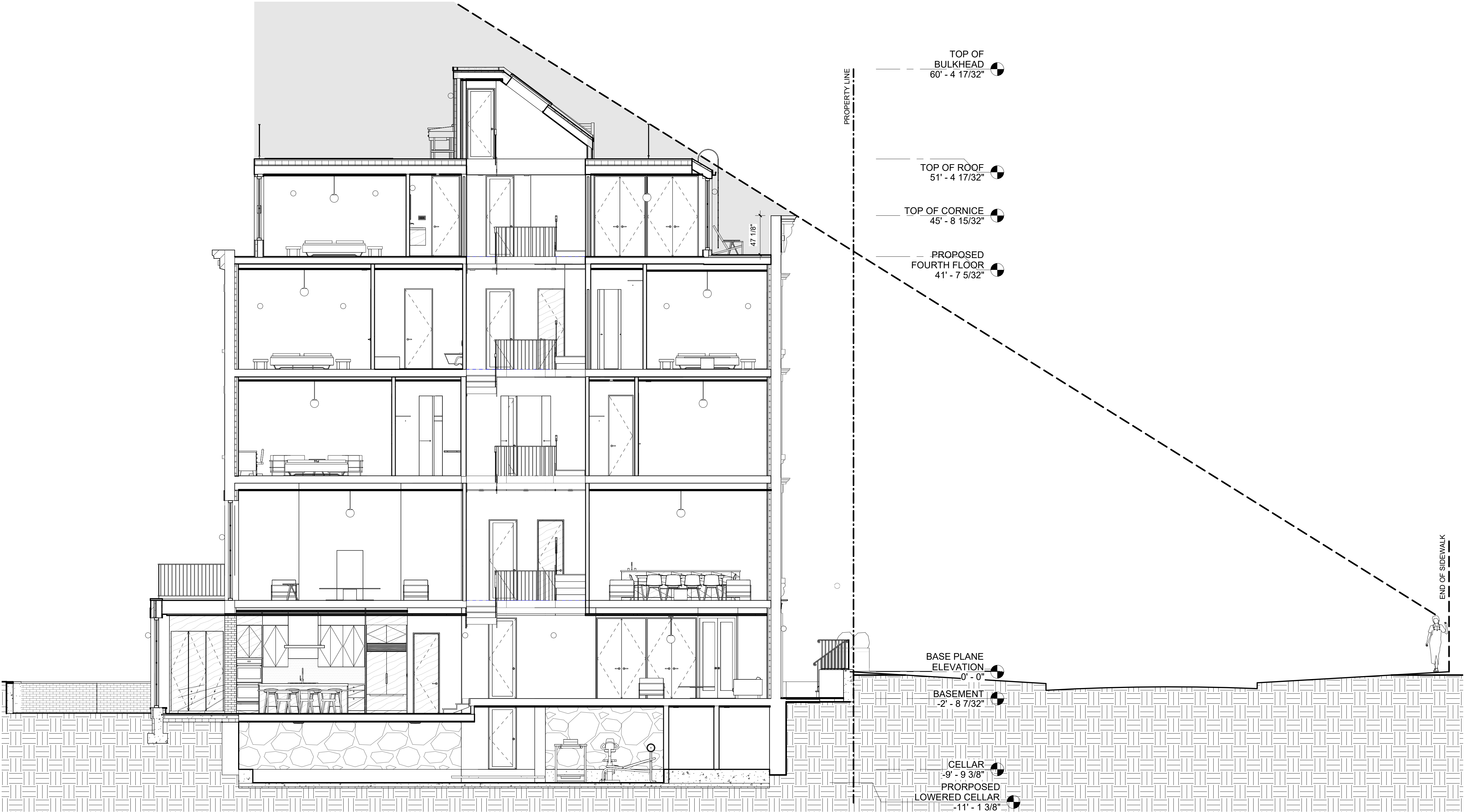
TITLE

ROOF VISIBILITY DIAGRAM

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE		DATE	03/26/2025
		JOB NO.:	0147
		SCALE:	3/16" = 1'-0"
		DRAWING NO.:	



L-304.00



1 ROOF VISIBILITY DIAGRAM
3/16" = 1'-0"

VISIBILITY ANALYSIS - SURROUNDINGS

PHOTOGRAPHS OF MOCK-UP ON THE ROOF. STUD WALLS SHOW MASSING OF THE PROPOSED EXTENSION. THE VERTICAL STUD SIGNALS THE FRONT CORNER OF THE PROPOSED BULKHEAD (INDICATED IN ORANGE BELOW).



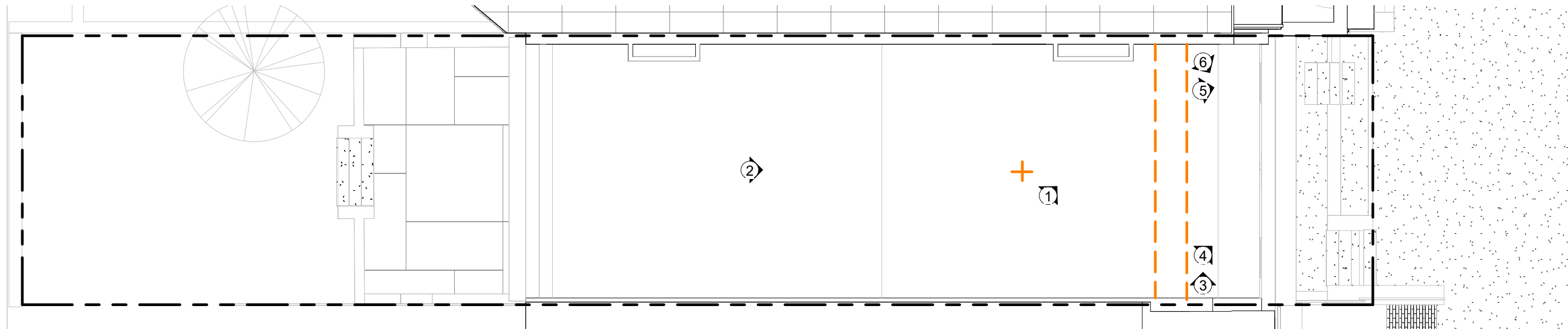
1



2



3



LPC - KEY PLAN FOR VIEWS, EXISTING ROOF
① 1/8" = 1'-0"

--- INDICATES ELEMENT OF MOCK-UP

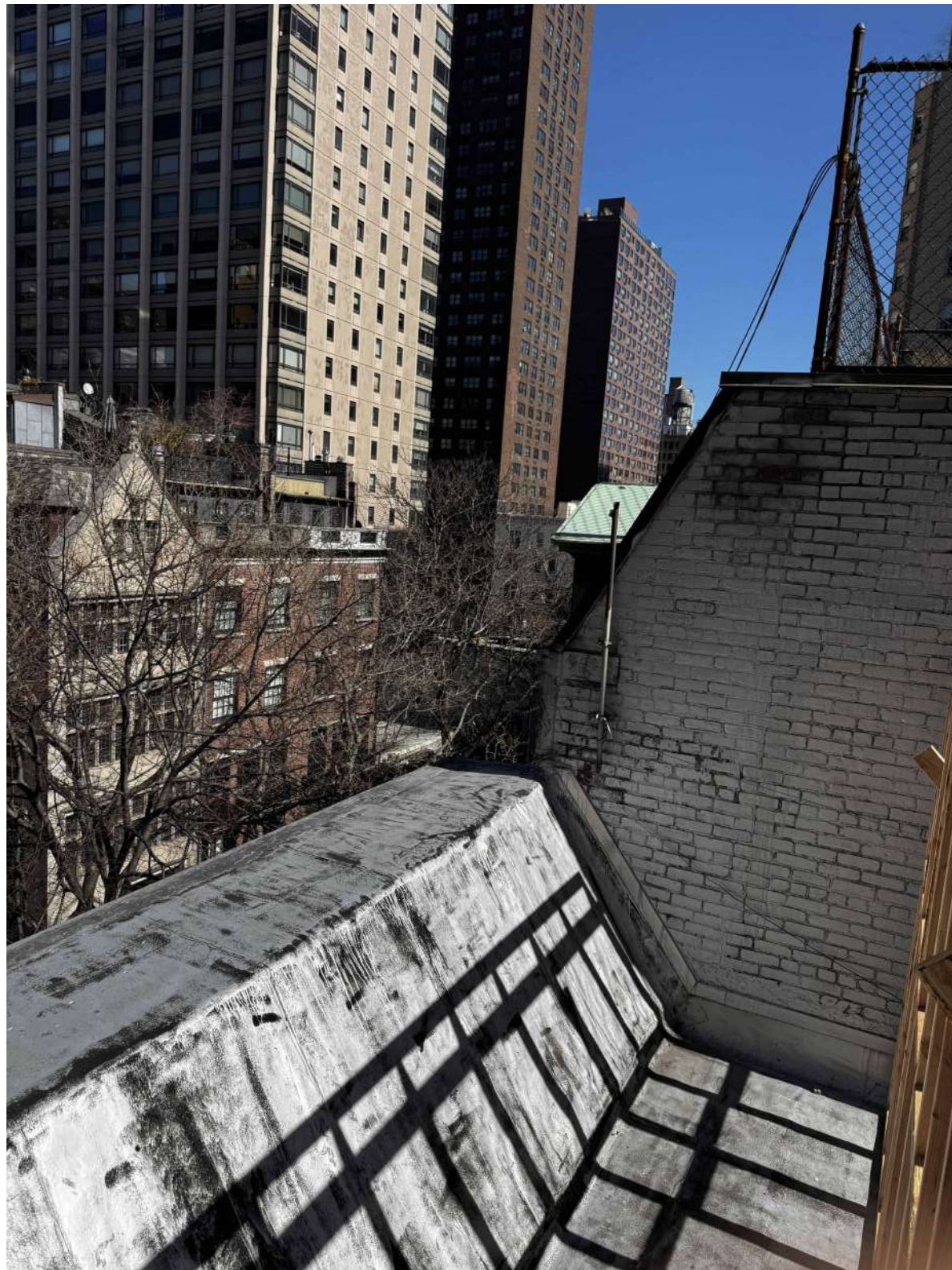
PHOTOGRAPHS FROM TOP OF MOCK-UP, STANDING ON LADDER. THE SIDEWALKS ARE NOT IN VIEW.



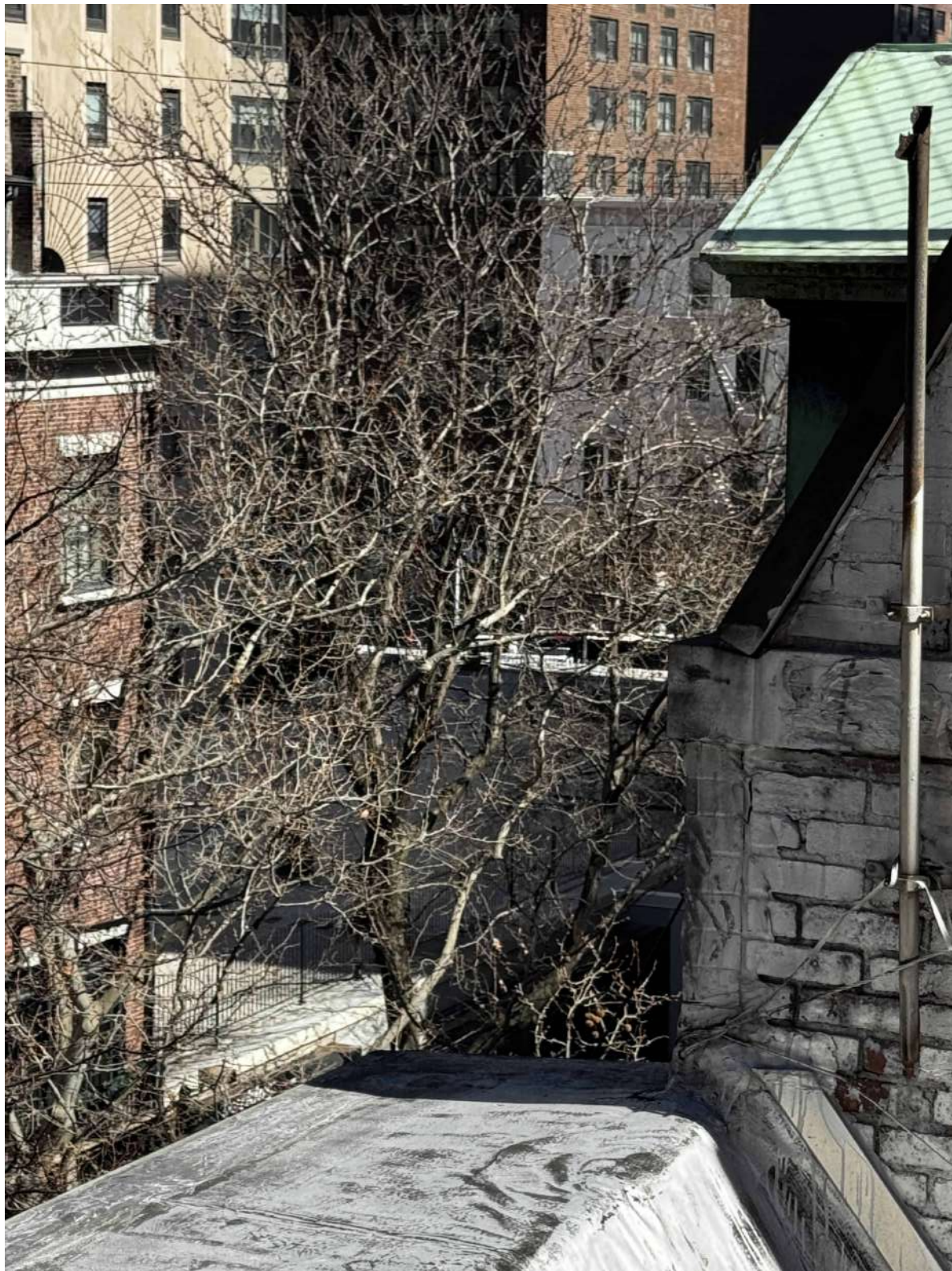
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5



6



6, ZOOMED IN

156 E 71 ST

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DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

ROOF VISIBILITY ANALYSIS
- SORROUNDINGS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:		1/8" = 1'-0"
	DRAWING NO.:		



L-305.00

VISIBILITY ANALYSIS - SURROUNDINGS



VIEW FROM LEXINGTON AVENUE - NO ROOFTOP EXTENSION VISIBILITY



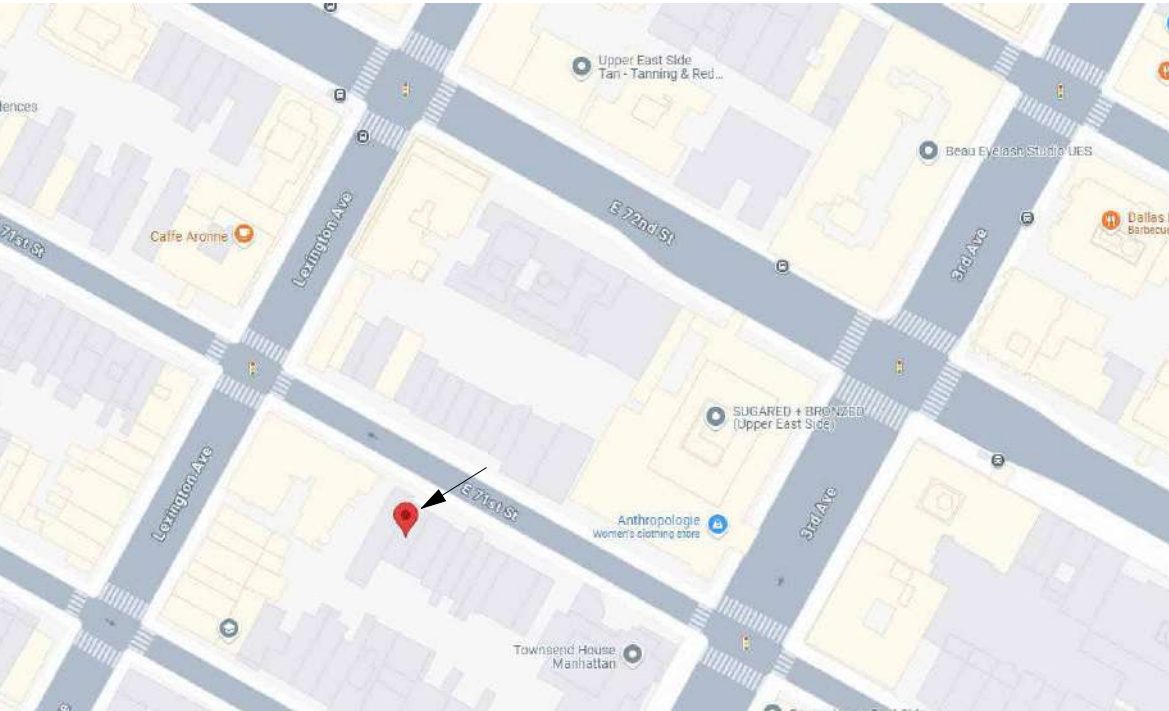
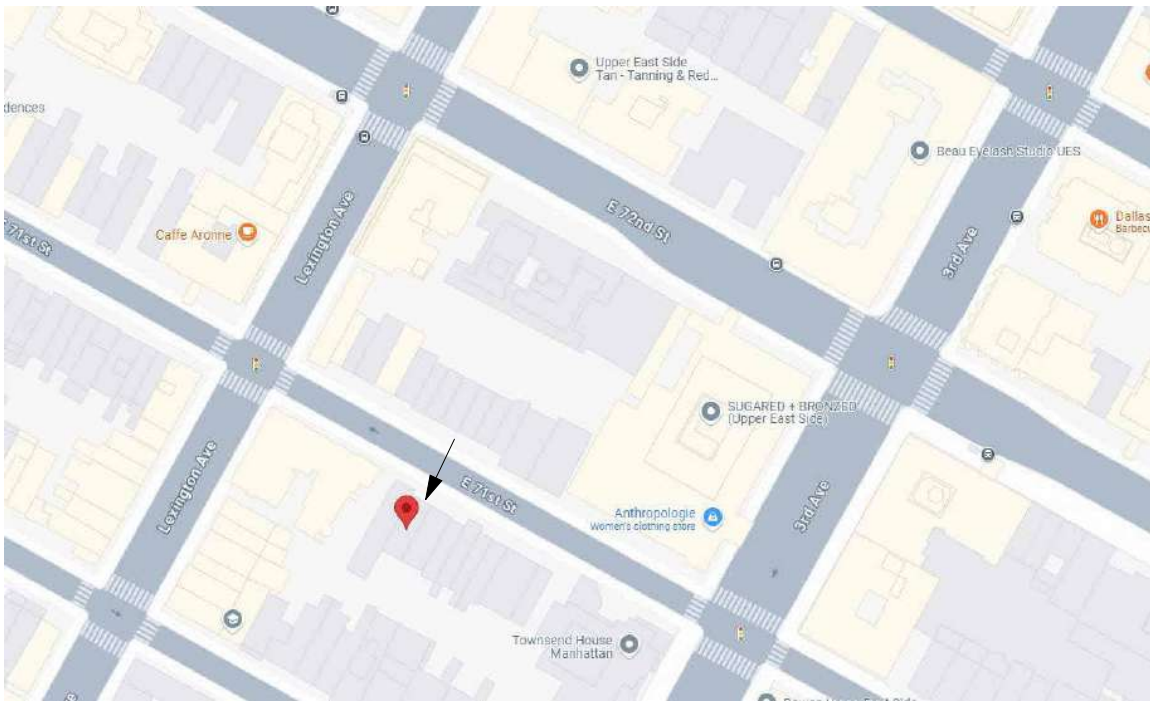
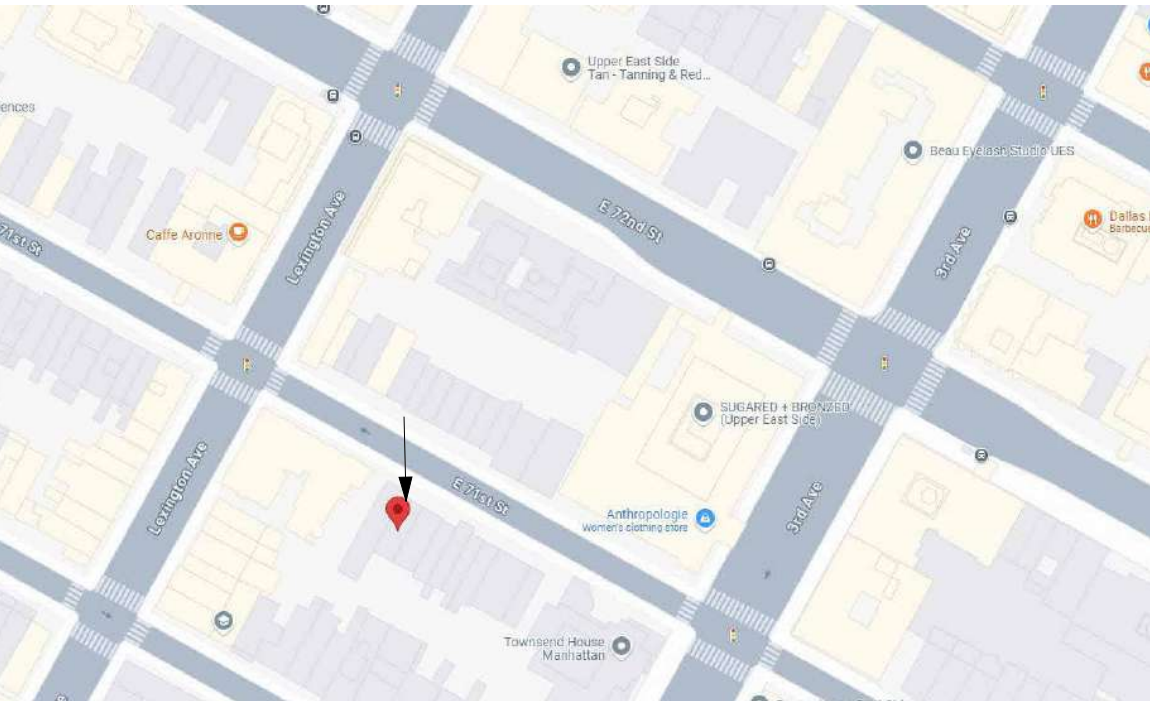
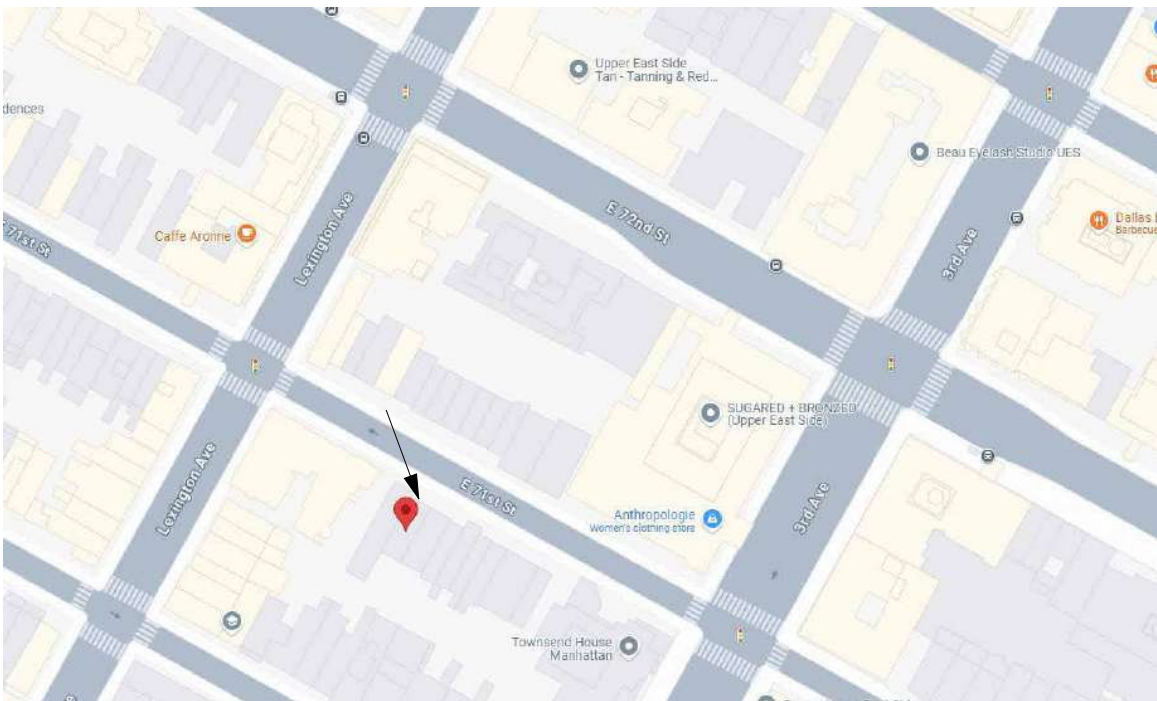
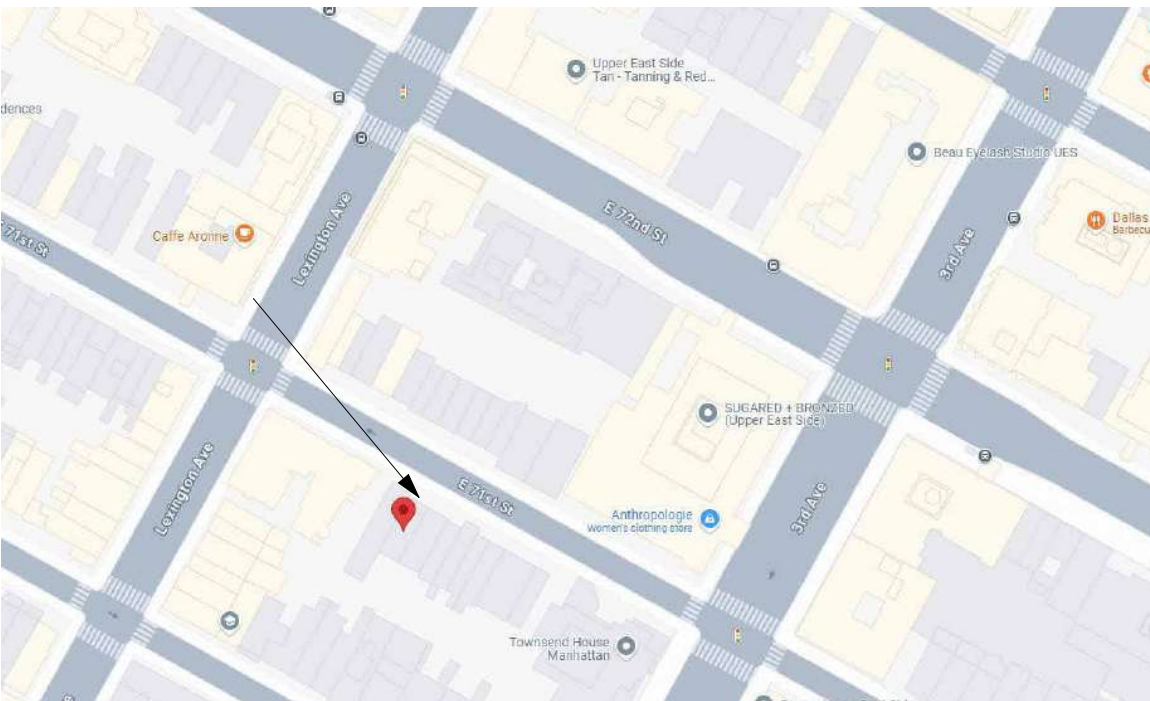
VIEW FROM SOUTHEAST FROM THE OPPOSITE SIDEWALK - NO ROOFTOP EXTENSION VISIBILITY



PHOTOGRAPH TAKEN MARCH 19TH 2025, WITH MOCK-UP IN PLACE.



VIEW ACROSS FROM THE OPPOSITE SIDEWALK - NO ROOFTOP EXTENSION VISIBILITY



PHOTOGRAPH TAKEN MARCH 19TH 2025, WITH MOCK-UP IN PLACE.

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PROJECT

156 EAST 71 STREET

TITLE

ROOF VISIBILITY ANALYSIS
- CONTINUED

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE		DATE	03/26/2025
		JOB NO.:	0147
		SCALE:	
		DRAWING NO.:	

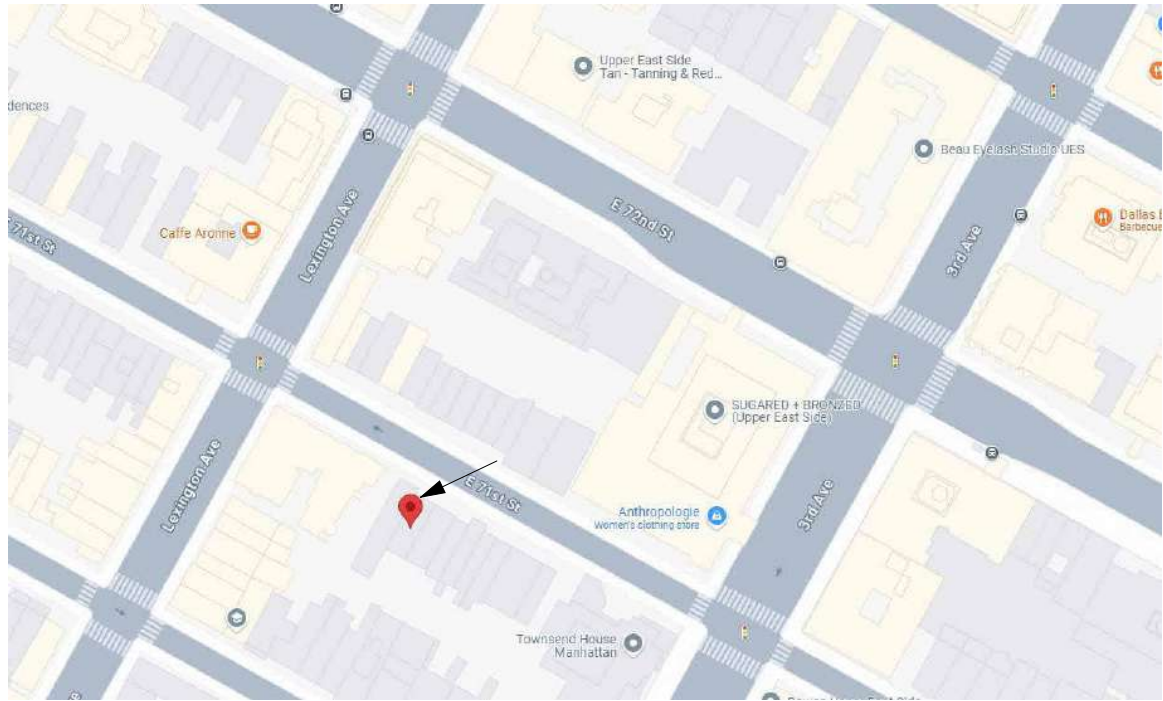


L-306.00

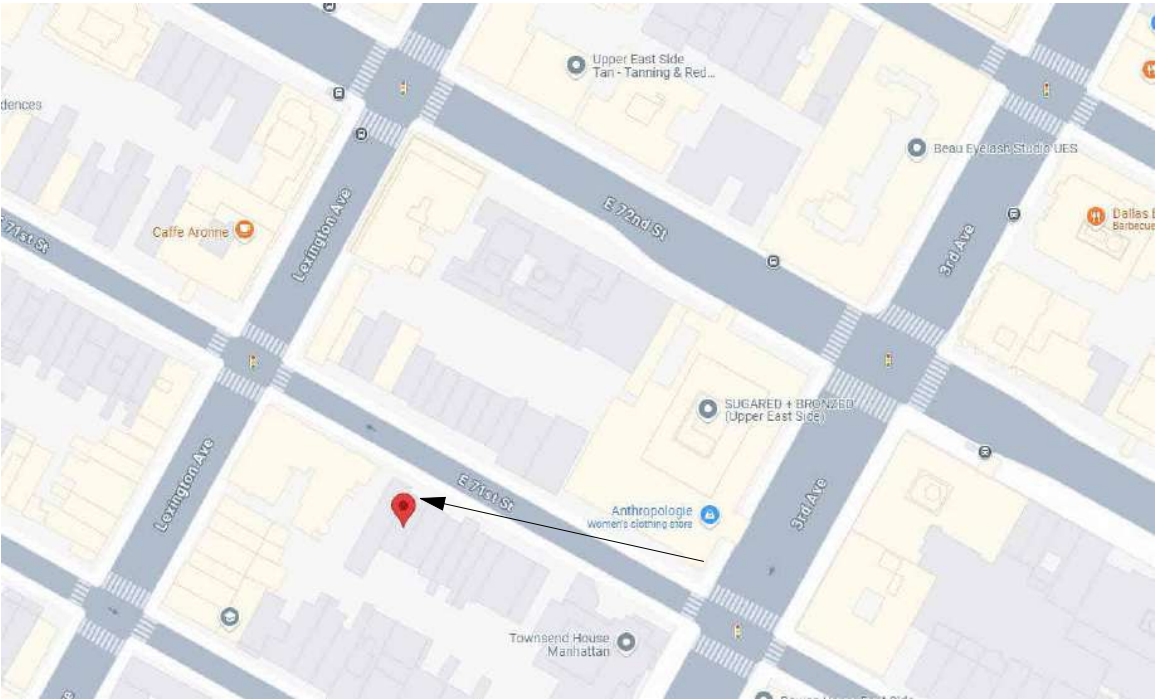
VISIBILITY ANALYSIS - SURROUNDINGS



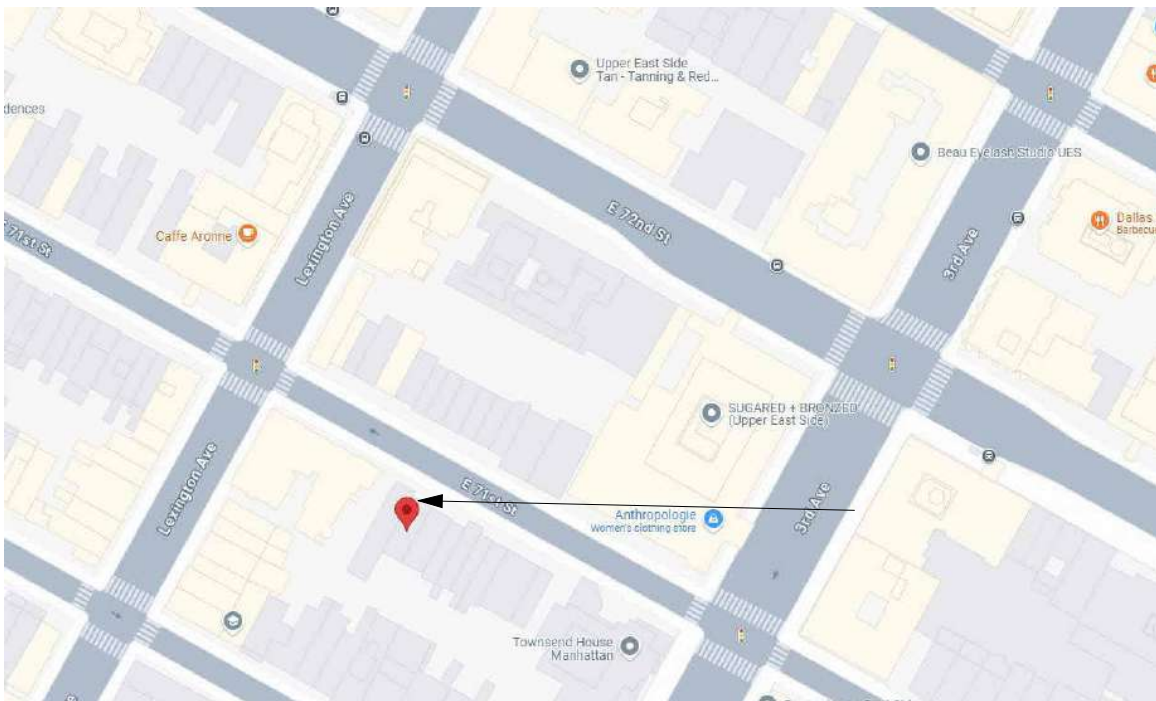
VIEW FROM NORTHEAST - NO ROOFTOP EXTENSION VISIBILITY



PHOTOGRAPH TAKEN WITH MOCK-UP IN PLACE



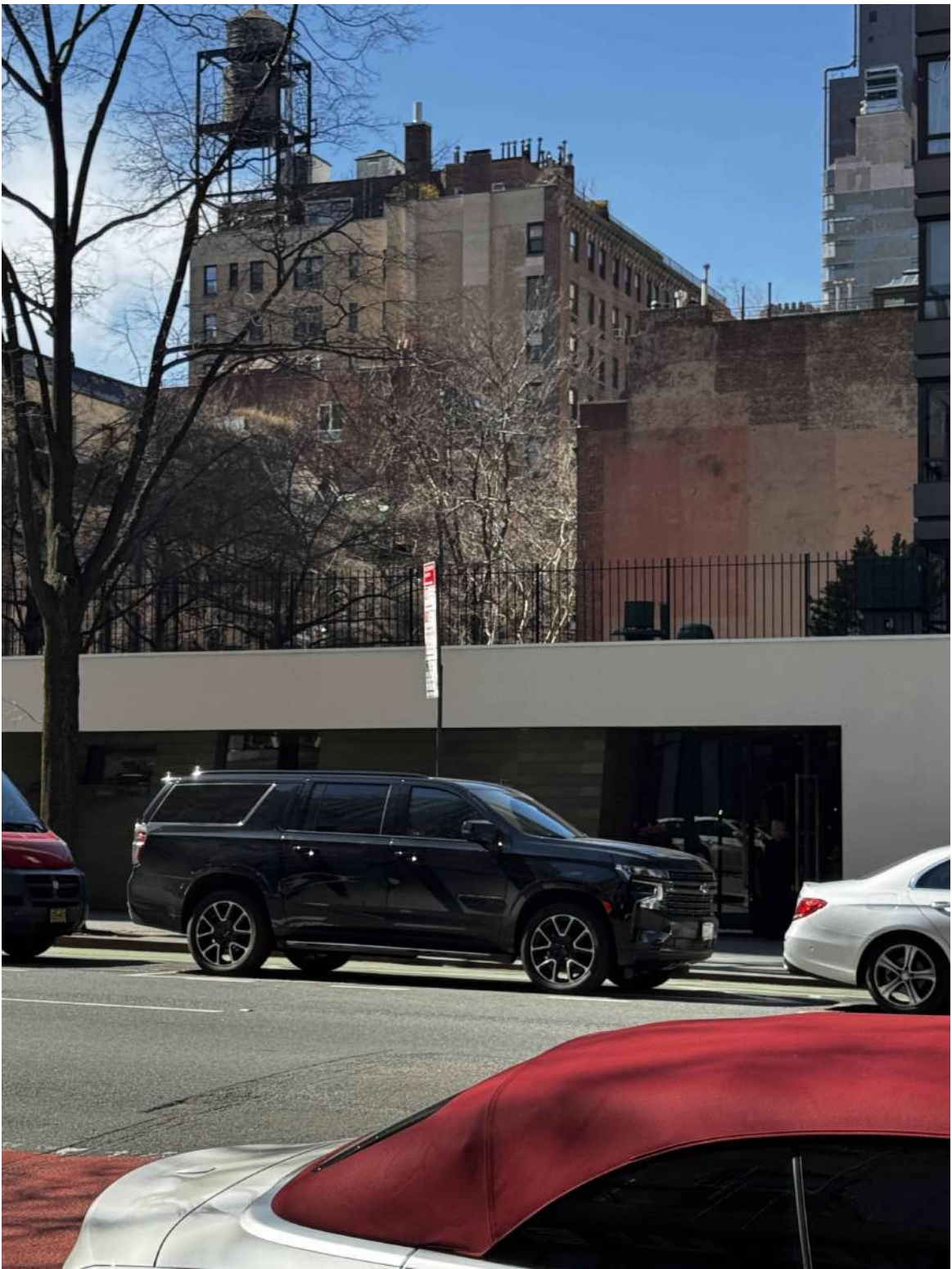
VIEW FROM NORTHEAST - NO ROOFTOP EXTENSION VISIBILITY



VIEW FROM ACROSS 3RD AVENUE FROM THE OPPOSITE SIDEWALK - ROOFTOP EXTENSION MIGHT BE VISIBLE BUT COULDN'T BE ASSESSED WITH NAKED EYE



HIGHLY ZOOMED IN PHOTO WITH OUTLINE OF POTENTIALLY VISIBLE ROOF EXTENSION OBSCURED BY TREE BRANCHES



PHOTOGRAPH TAKEN FROM THE FAR SIDE OF 3RD AVENUE WITH MOCK-UP IN PLACE

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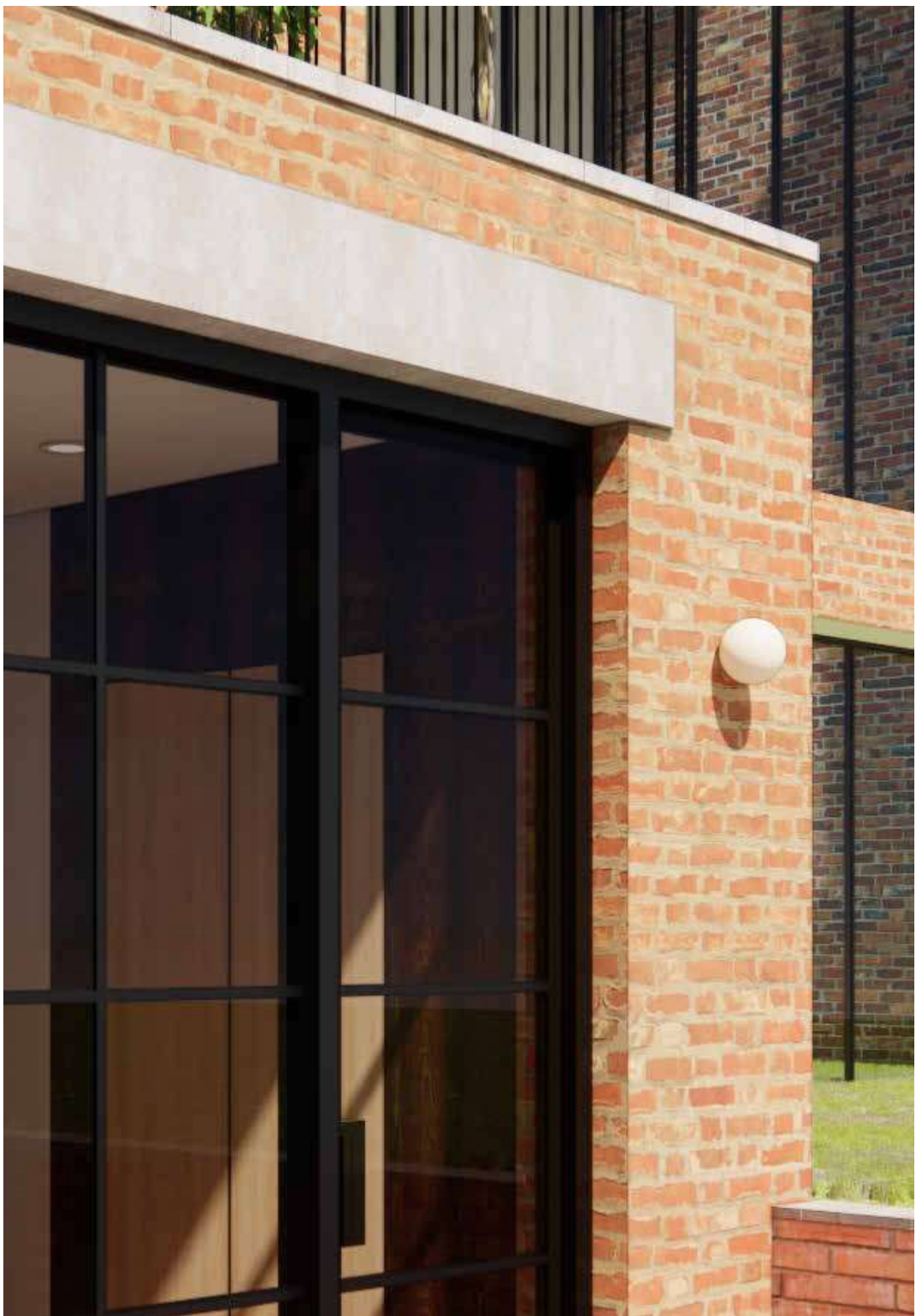
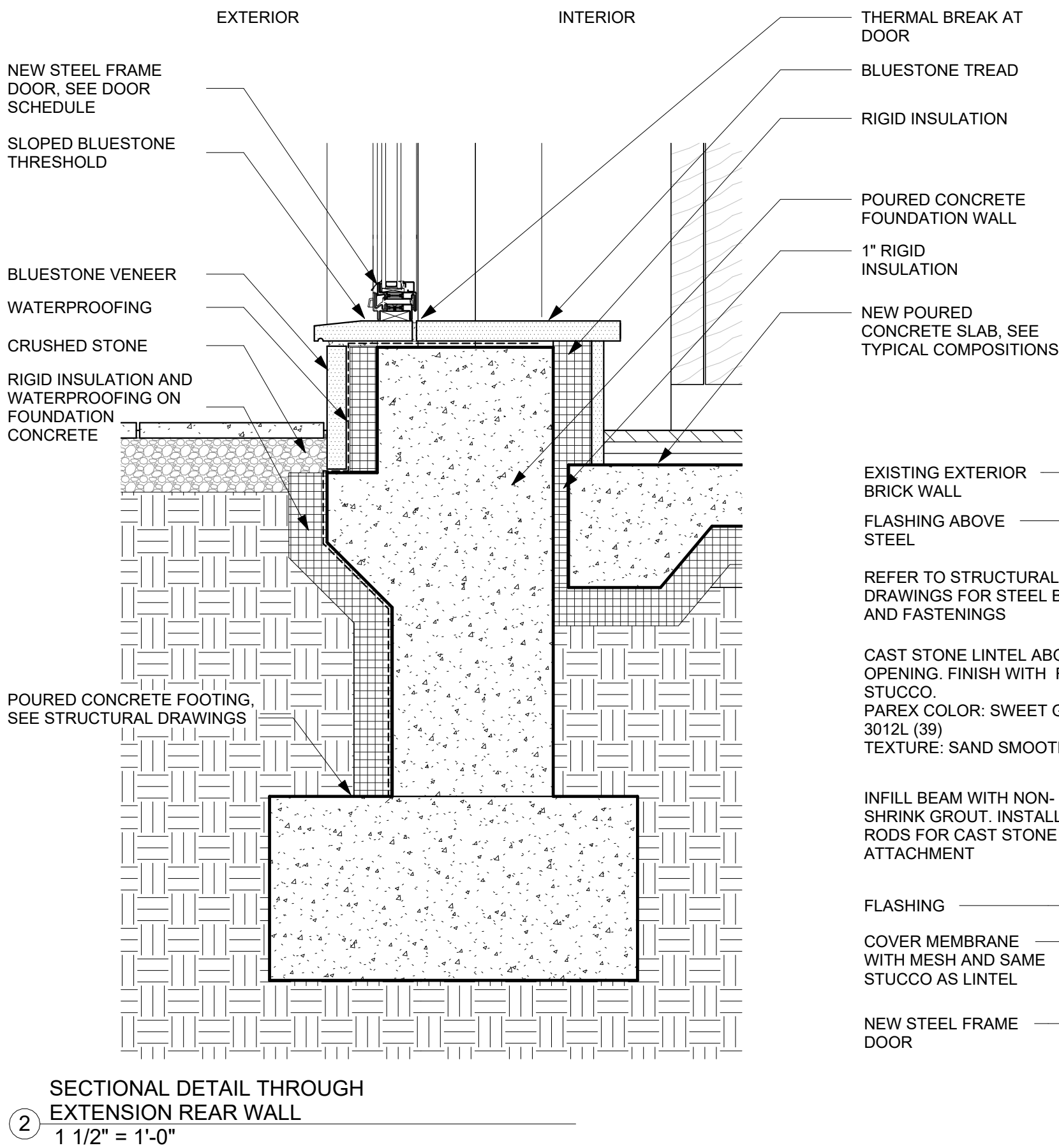
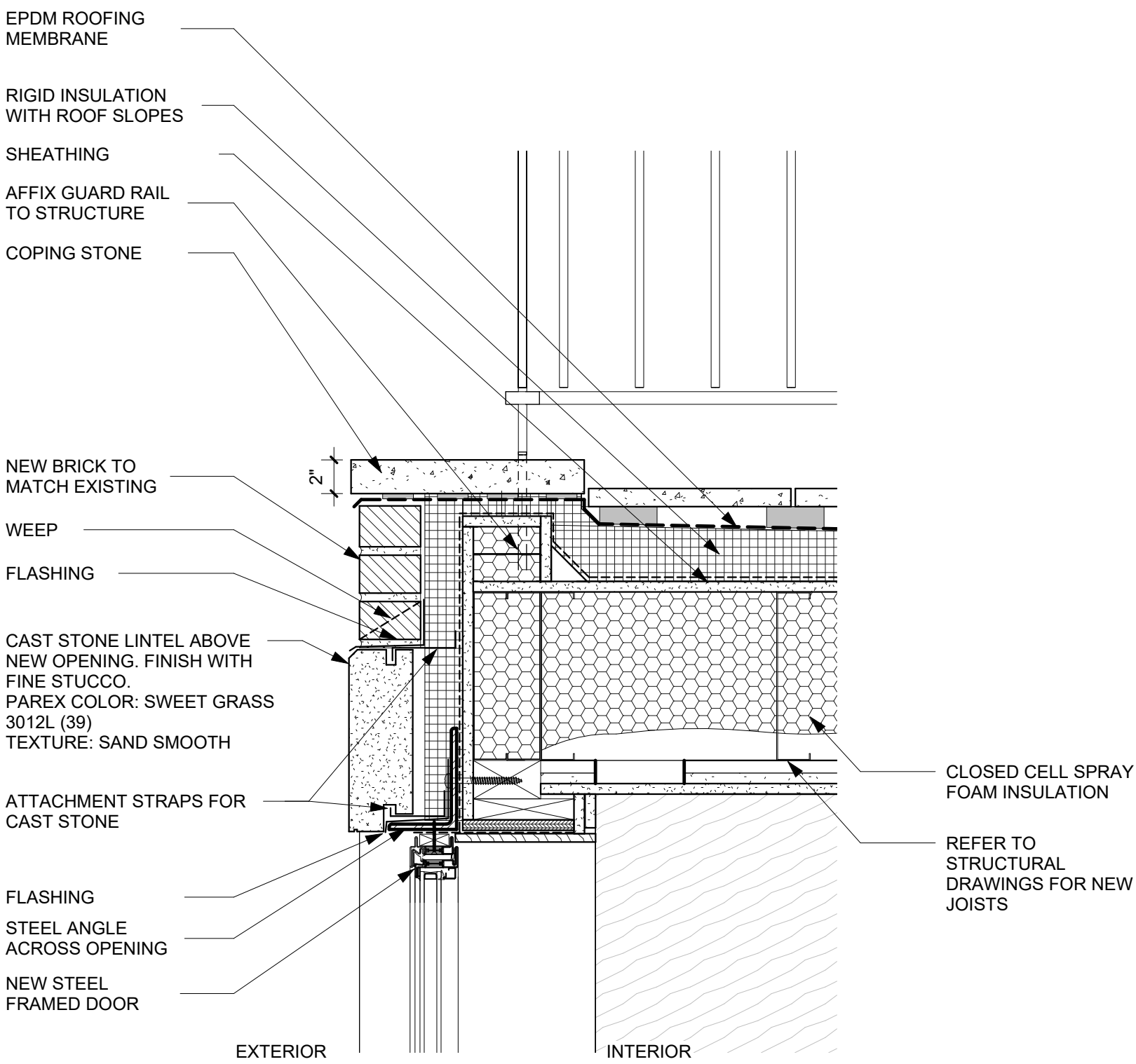
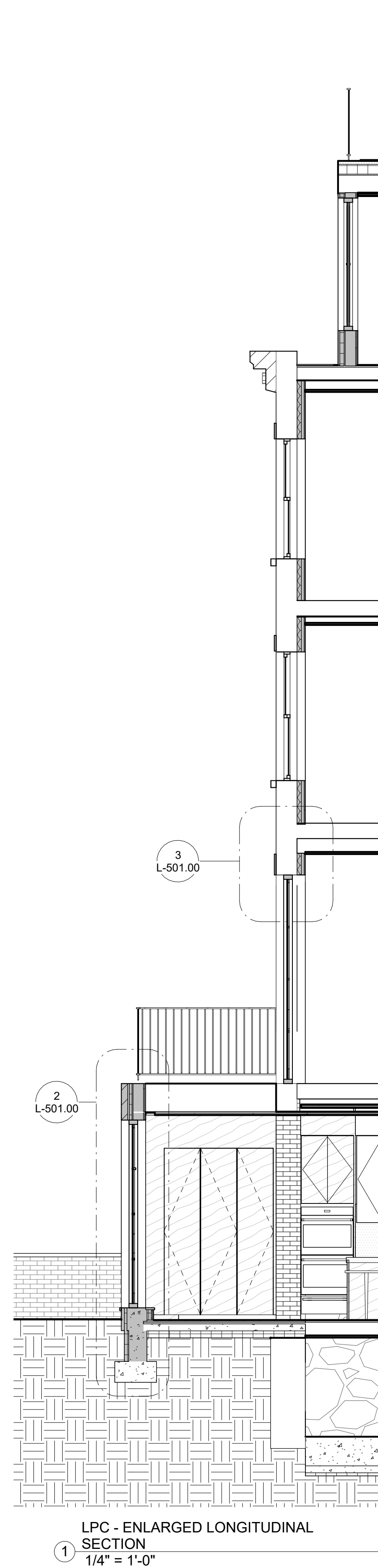
ROOF VISIBILITY ANALYSIS
- CONTINUED

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE	JOB NO.:	0147
	SCALE:	DRAWING NO.:	

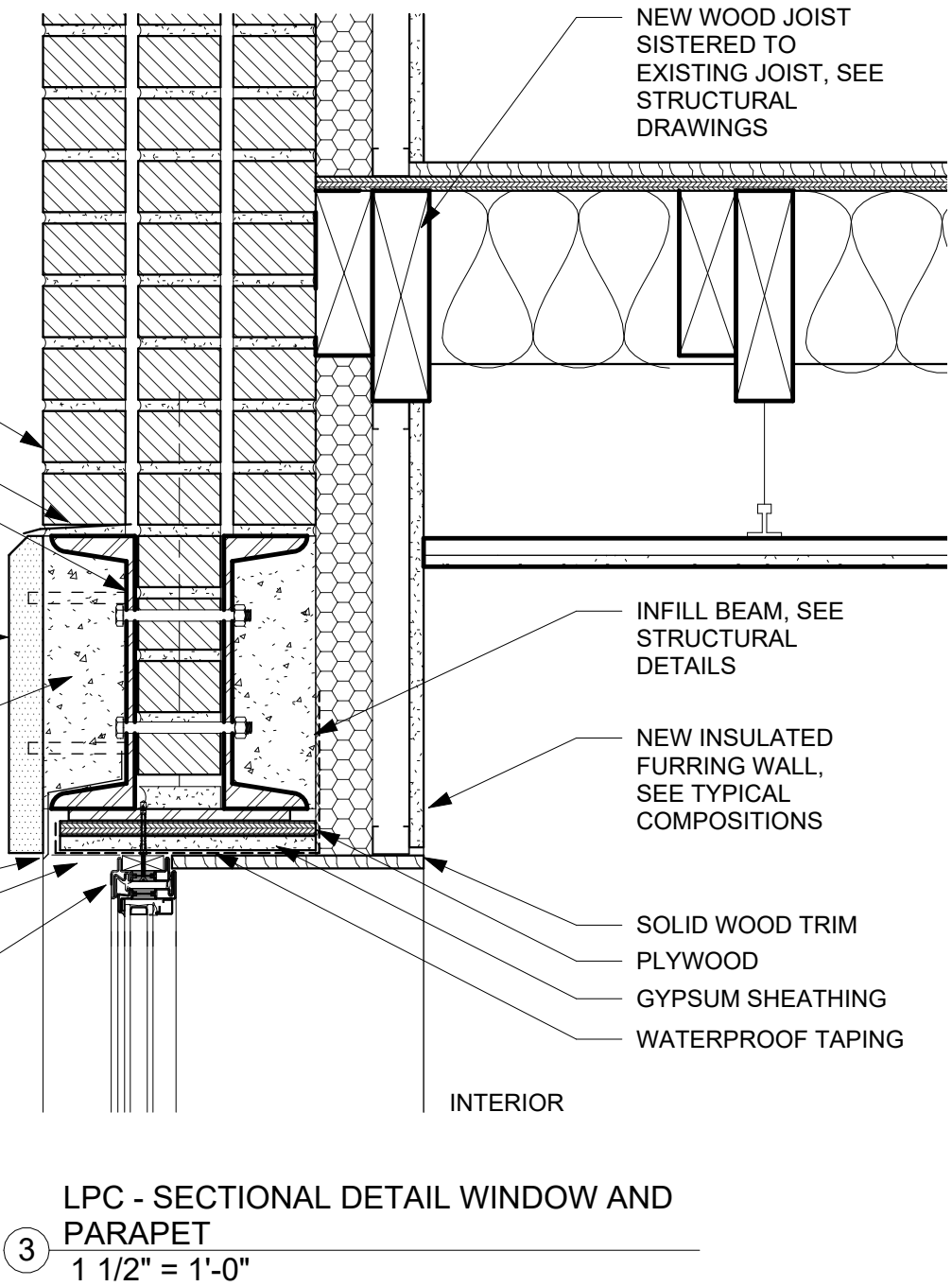


L-307.00

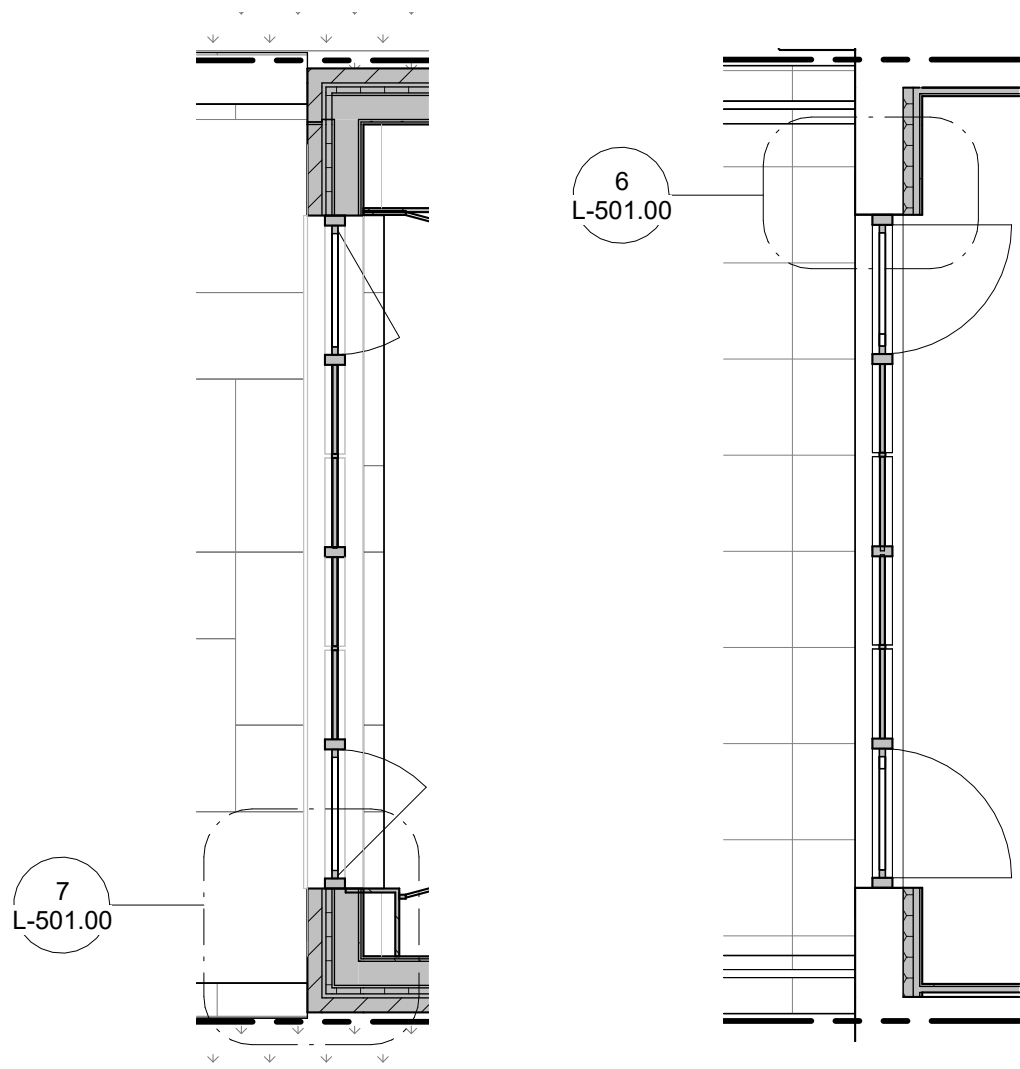
SECTION DETAILS - PROPOSED REAR EXTENSION, BASEMENT AND FIRST FLOOR



DETAIL VIEW OF REAR EXTENSION

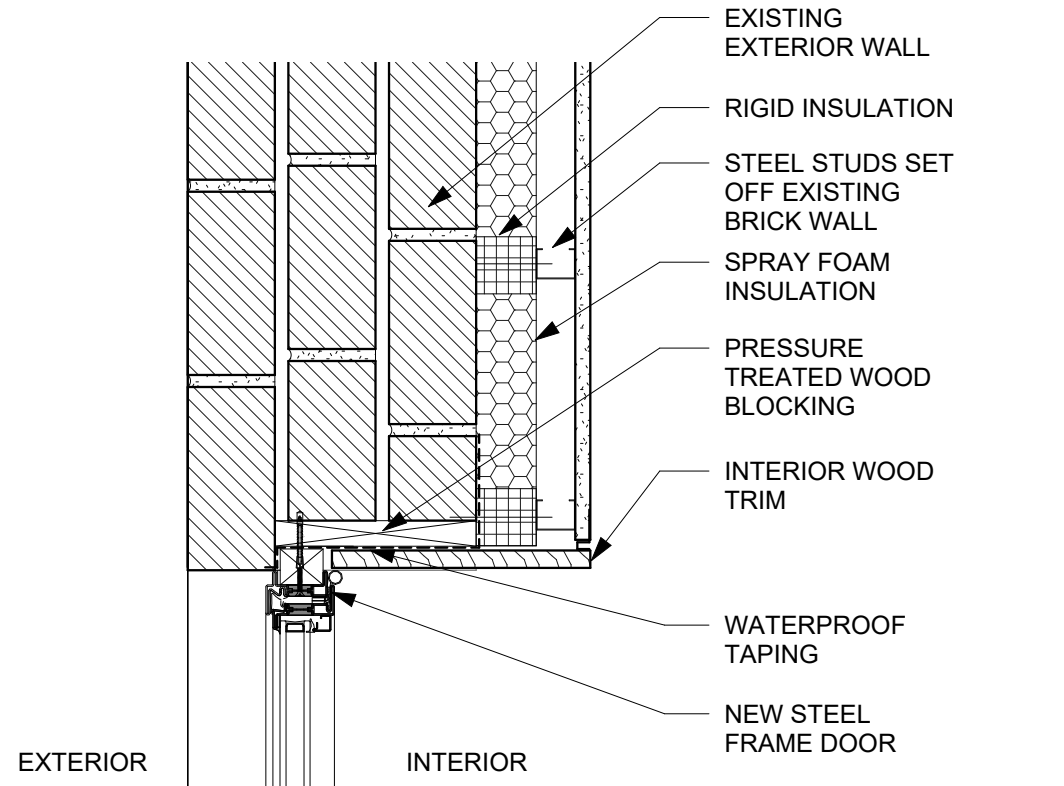


PLAN DETAILS - REAR EXTENSION

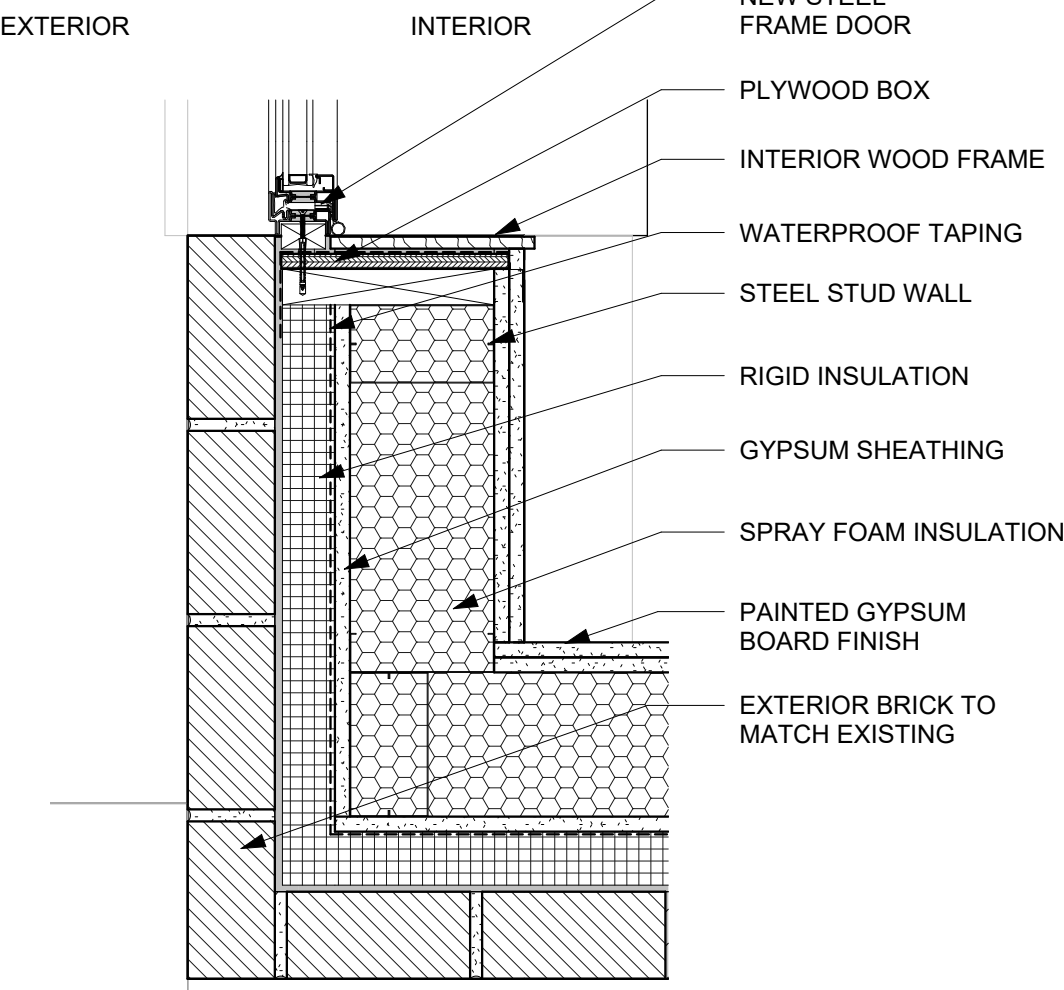


PLAN DETAIL - BASEMENT REAR EXTENSION WALL 1/4" = 1'-0"

PLAN DETAIL - FIRST FLOOR REAR FACADE 1/4" = 1'-0"



PLAN DETAIL THROUGH WINDOW WALL - FIRST FLOOR 1 1/2" = 1'-0"



PLAN DETAIL THROUGH WINDOW WALL - BASEMENT 1 1/2" = 1'-0"

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DATE	REVISION

PROJECT

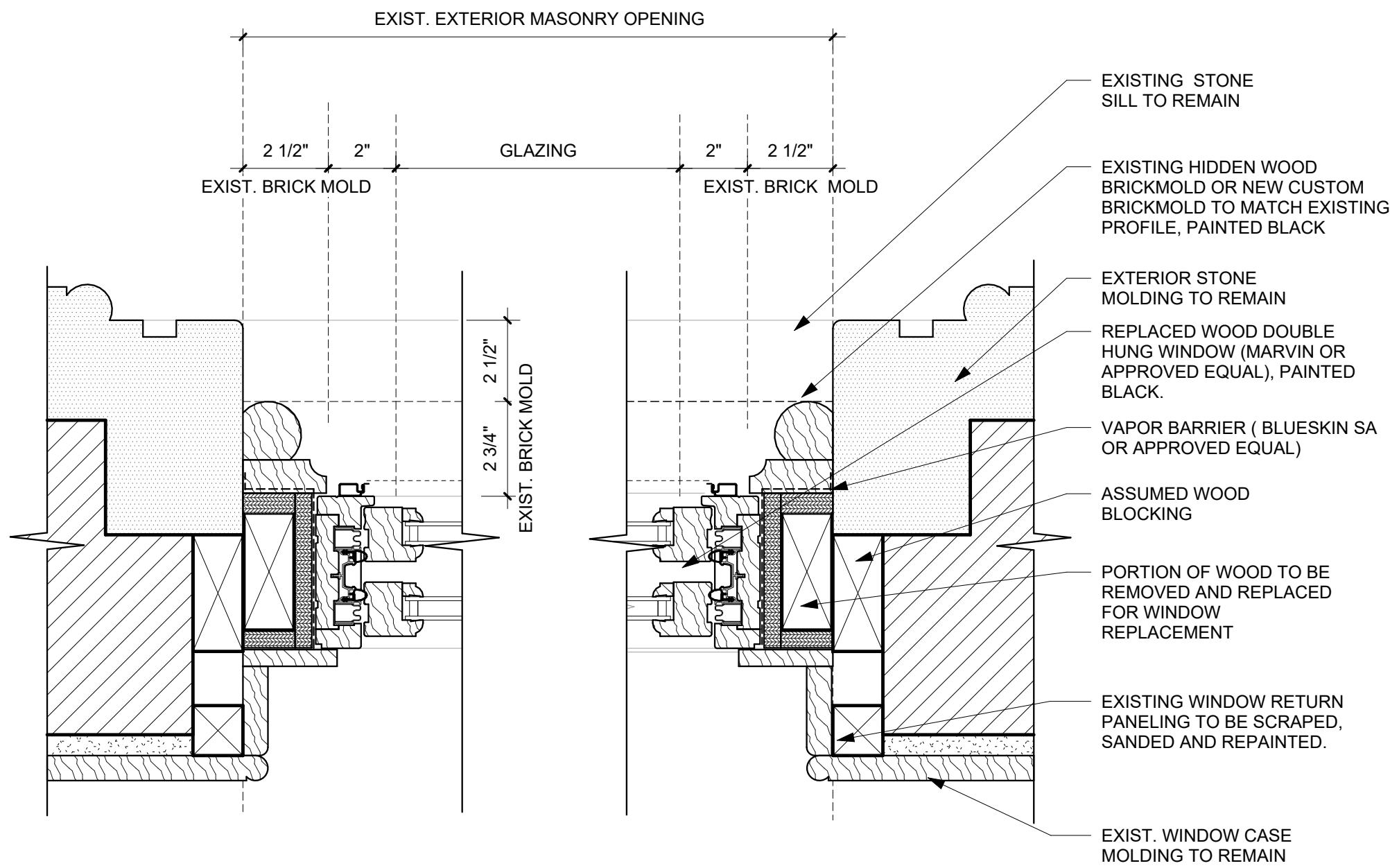
156 EAST 71 STREET

TITLE

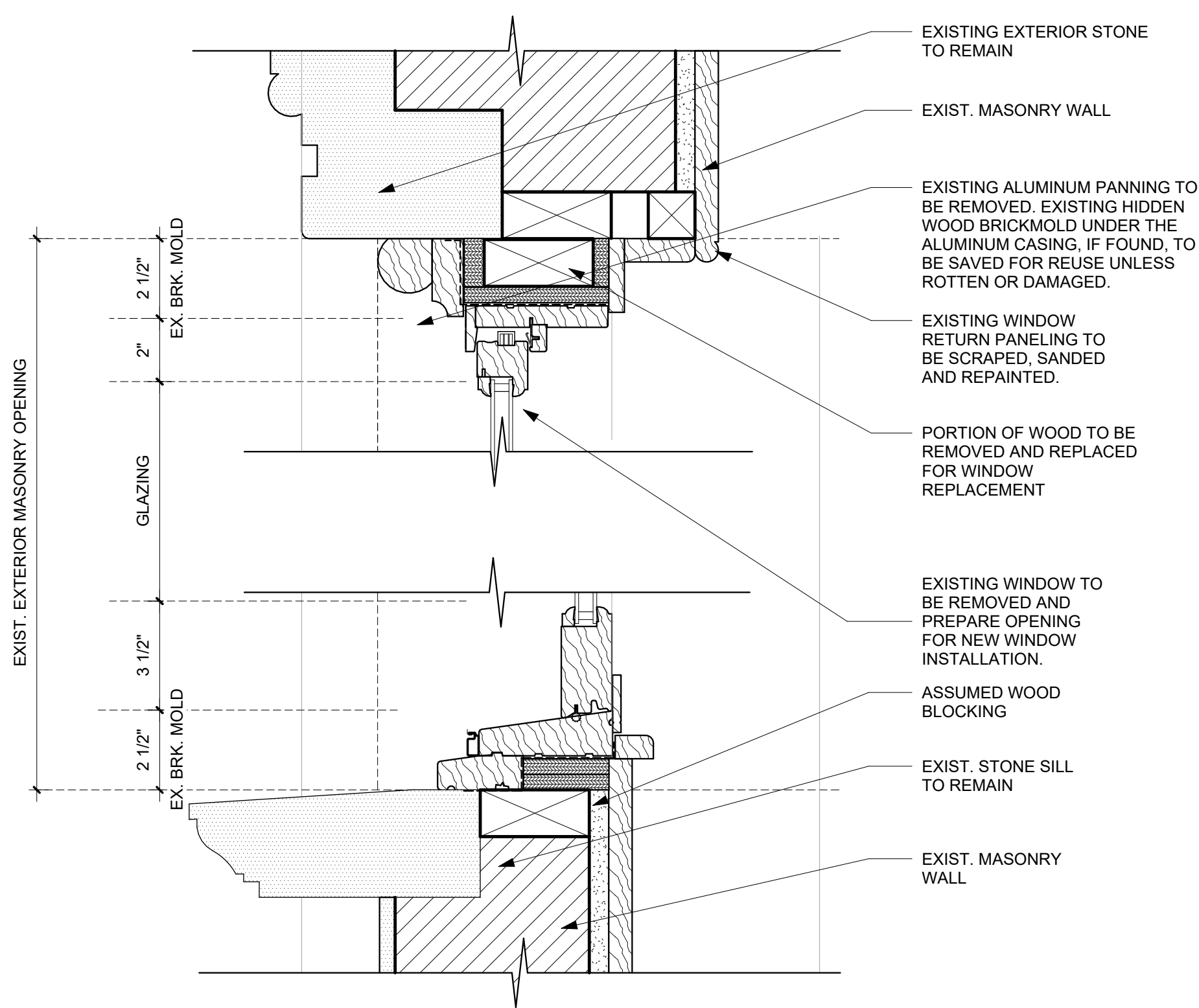
PROPOSED EXTENSION
DETAILS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE 03/26/2025		
	JOB NO.: 0147		
	SCALE: As indicated		
	DRAWING NO.: L-501.00		

PROPOSED DOUBLE HUNG WINDOW DETAILS

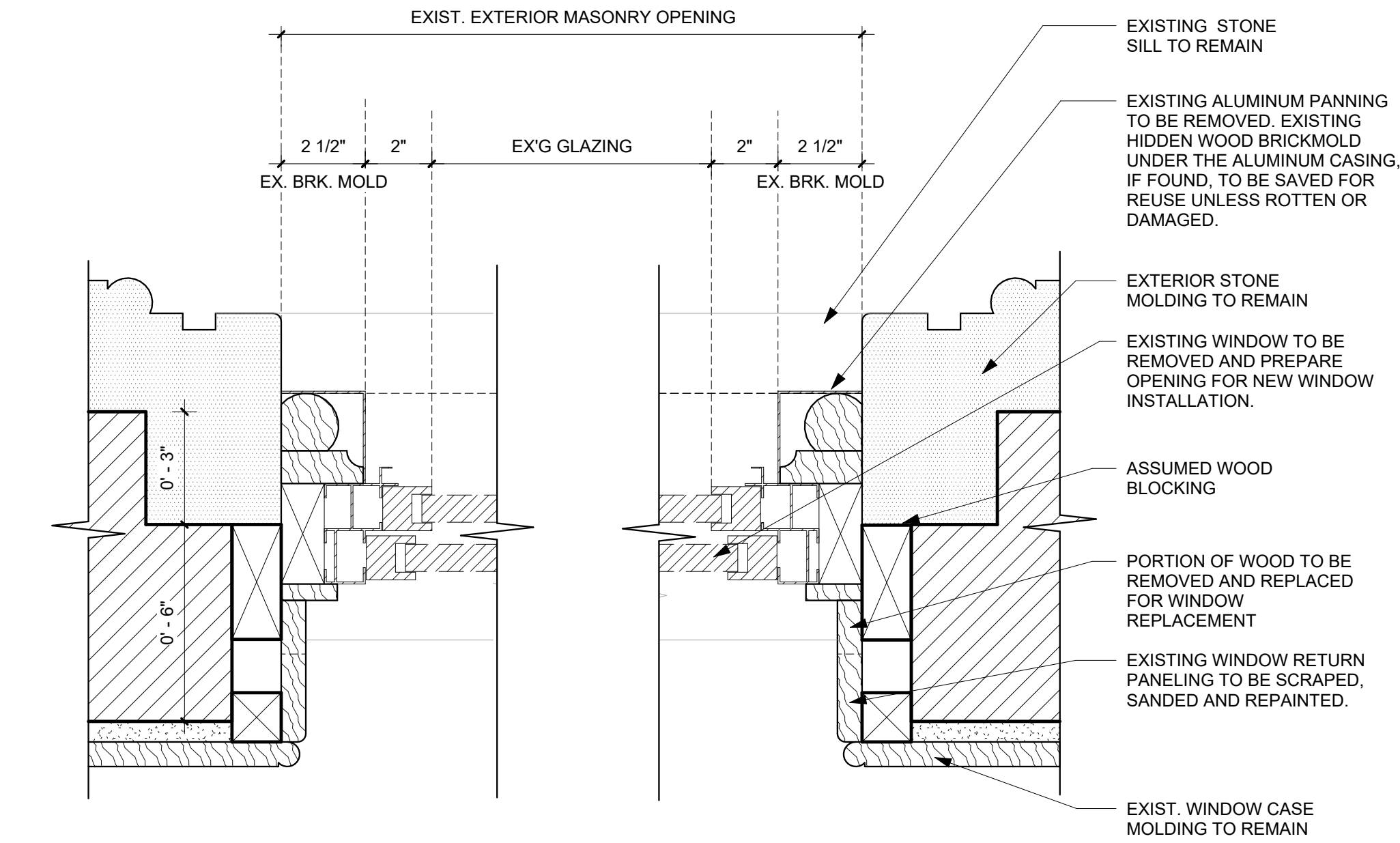


③ TYPICAL DOUBLE HUNG WINDOW
PROPOSED PLAN-167
3" = 1'-0"

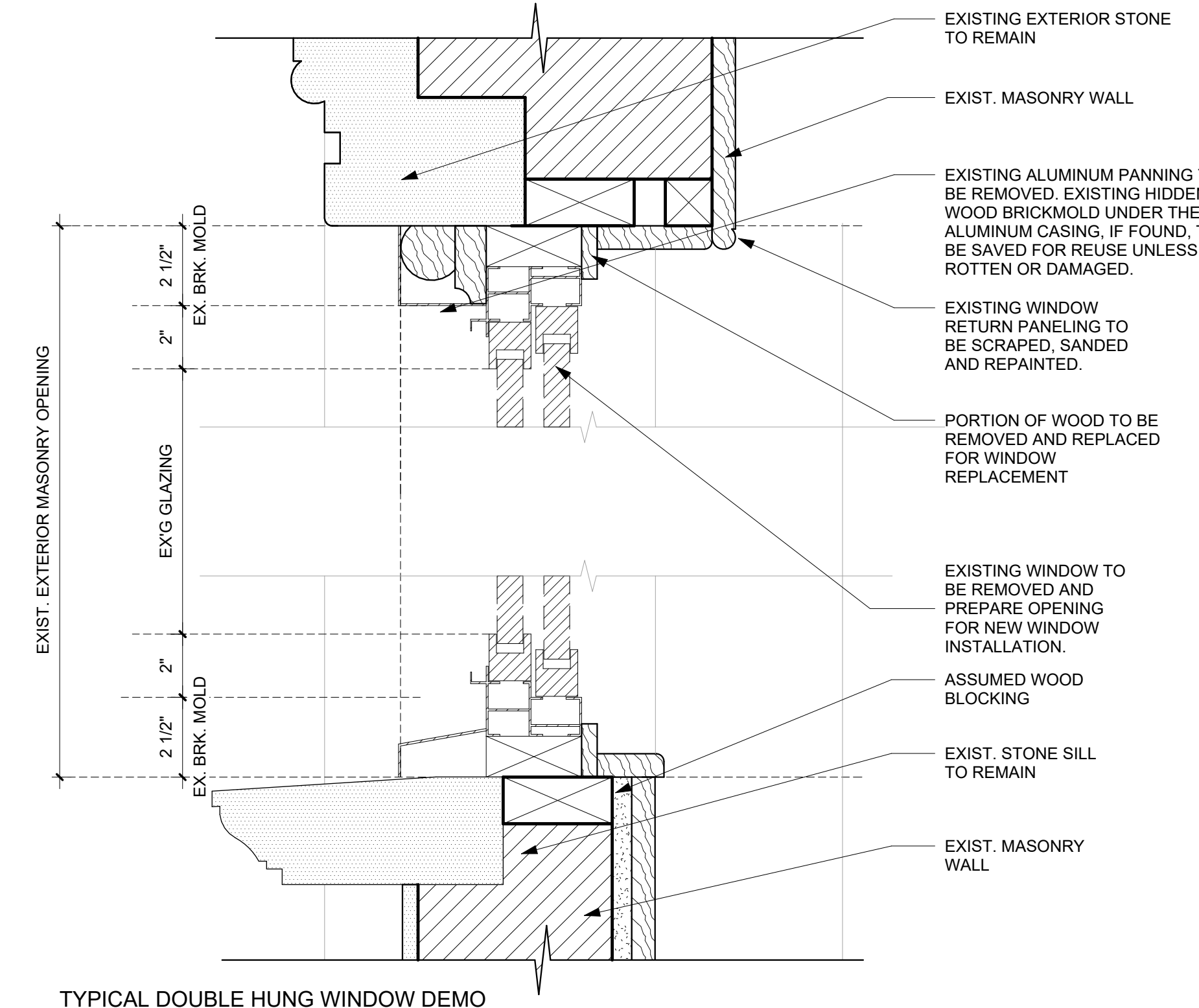


④ TYPICAL DOUBLE HUNG WINDOW
PROPOSED SECTION-167
3" = 1'-0"

EXISTING / DEMO DOUBLE HUNG WINDOW DETAIL



① TYPICAL DOUBLE HUNG WINDOW DEMO
PLAN-167
3" = 1'-0"



② TYPICAL DOUBLE HUNG WINDOW DEMO
SECTION-167
3" = 1'-0"

EXAMPLE BRICK MOLD



PICTURES TAKEN AT 152 EAST 71ST STREET WITH SIMILAR NEW BRICKMOLD AS PROPOSED

156 E 71 ST

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LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-1

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

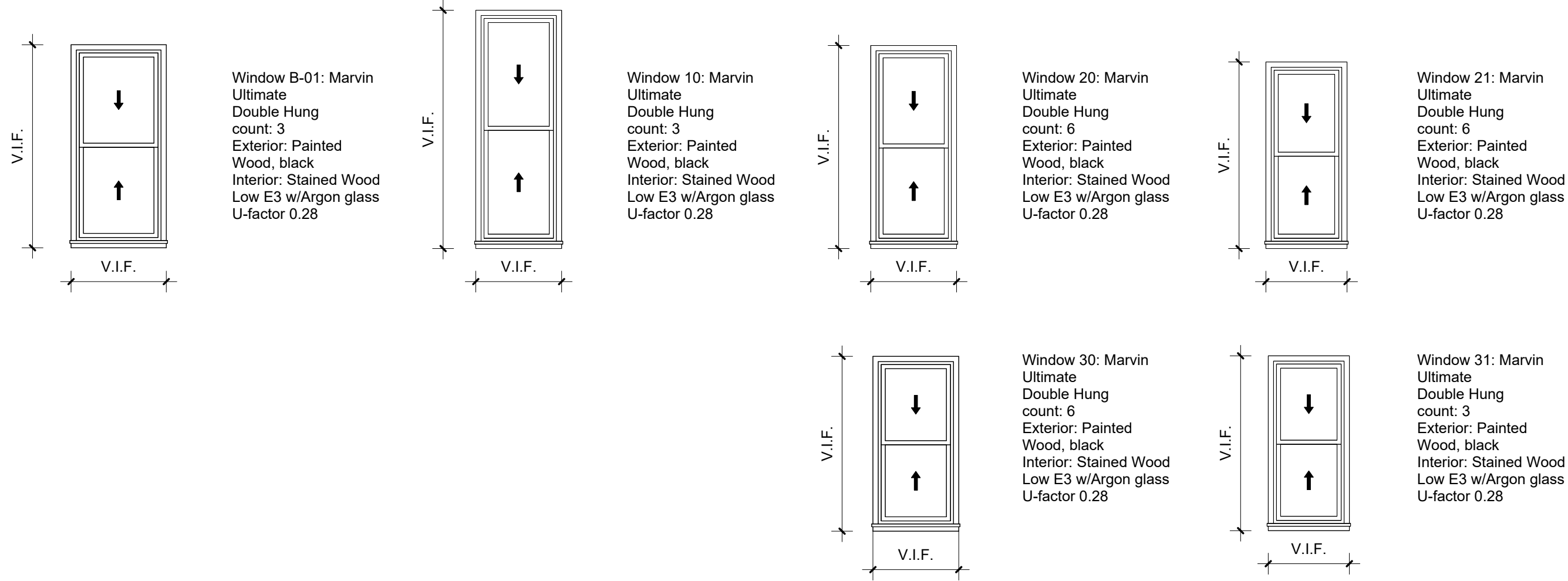
TYPICAL WINDOW DETAILS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE		DATE	03/26/2025
		JOB NO.:	0147
		SCALE:	3" = 1'-0"
		DRAWING NO.:	

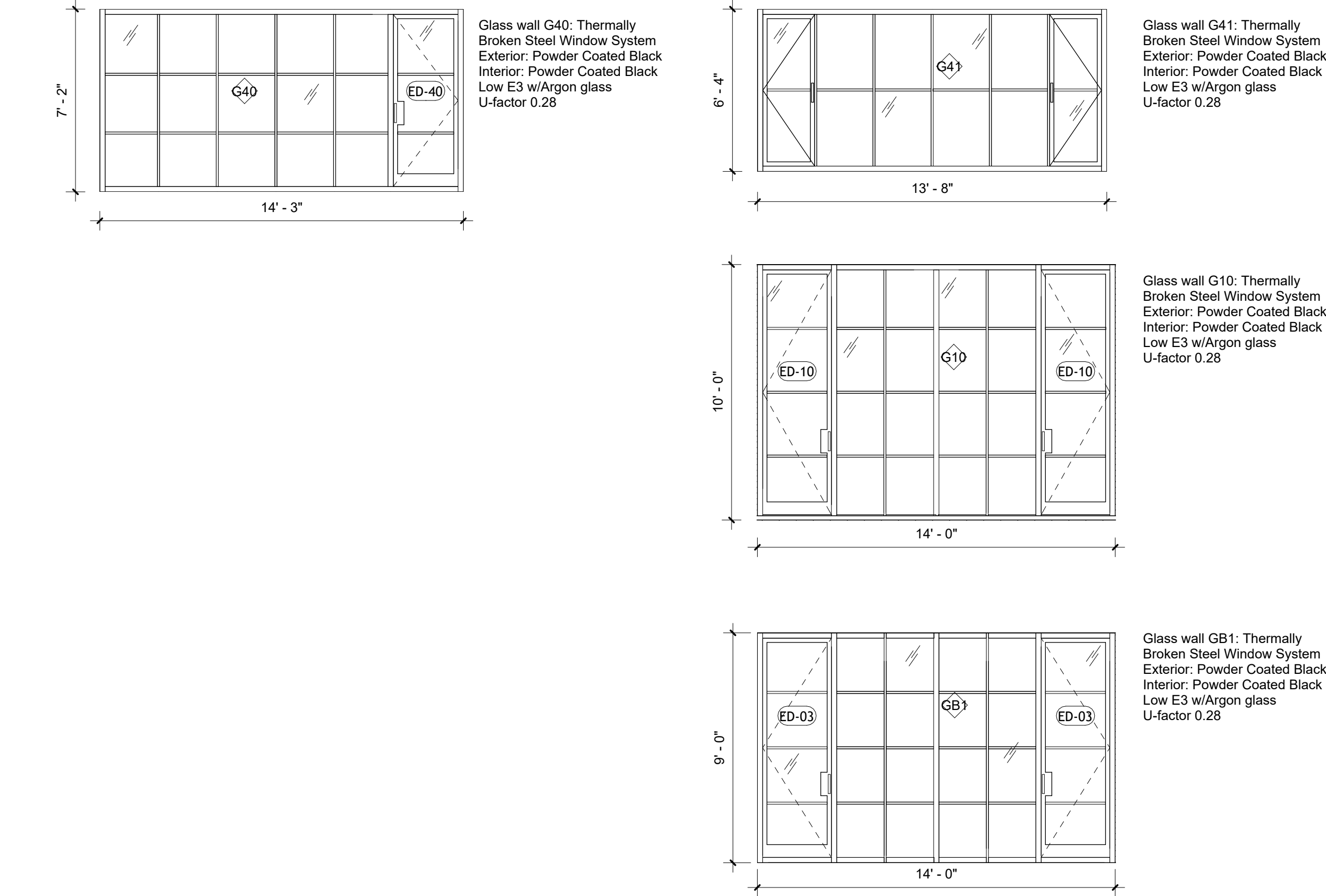


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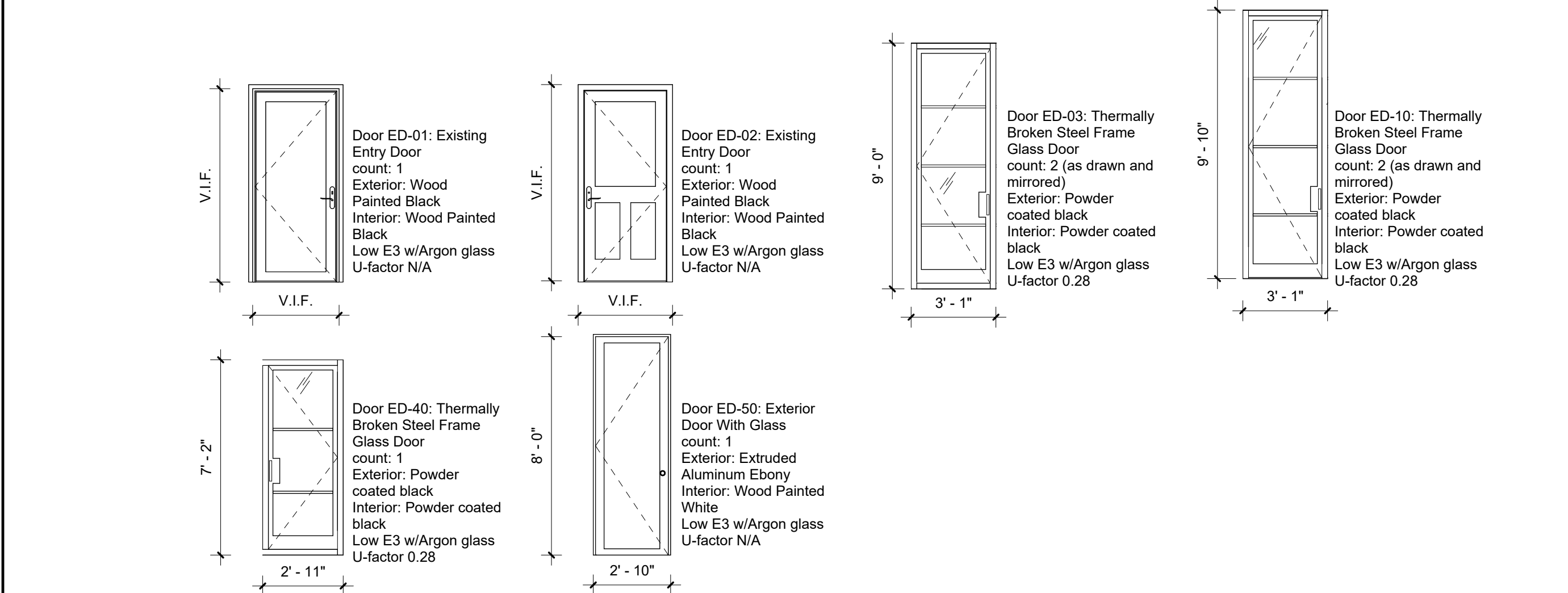
WINDOW SCHEDULE								
Mark	TYPE	Count	Width	Height	Glass	Finish	U-Factor	SHGC
10	DOUBLUE HUNG	3	2' - 8"	8' - 0"	Insulated - Low E3- Argon	PAINTED WOOD WINDOWS, MARVIN	0.28	0.19
20	DOUBLUE HUNG	3	2' - 8"	6' - 9"	Insulated - Low E3- Argon	PAINTED WOOD WINDOWS, MARVIN	0.28	0.19
21	DOUBLUE HUNG	3	2' - 6"	6' - 2"	Insulated - Low E3- Argon	PAINTED WOOD WINDOWS, MARVIN	0.28	0.19
30	DOUBLUE HUNG	3	2' - 8"	5' - 9"	Insulated - Low E3- Argon	PAINTED WOOD WINDOWS, MARVIN	0.28	0.19
31	DOUBLUE HUNG	3	2' - 6"	5' - 9"	Insulated - Low E3- Argon	PAINTED WOOD WINDOWS, MARVIN	0.28	0.19



WINDOW WALL SCHEDULE									
Type Mark	Description	Length	Height	Area	Glass Type	Finish Material	U-Factor CW	SHGC CW	
G10	THERMALLY BROKEN STEEL WINDOW SYSTEM	14' - 0"	10' - 0"	140 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	
G41	THERMALLY BROKEN STEEL WINDOW SYSTEM	13' - 8"	6' - 4 1/4"	87 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	
G40	THERMALLY BROKEN STEEL WINDOW SYSTEM	14' - 4 1/16"	7' - 1 27/32"	102 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	
GB1	THERMALLY BROKEN STEEL WINDOW SYSTEM	14' - 0"	9' - 0"	126 SF	Insulated - Low E3- Argon	POWDER COATED	0.28	0.19	

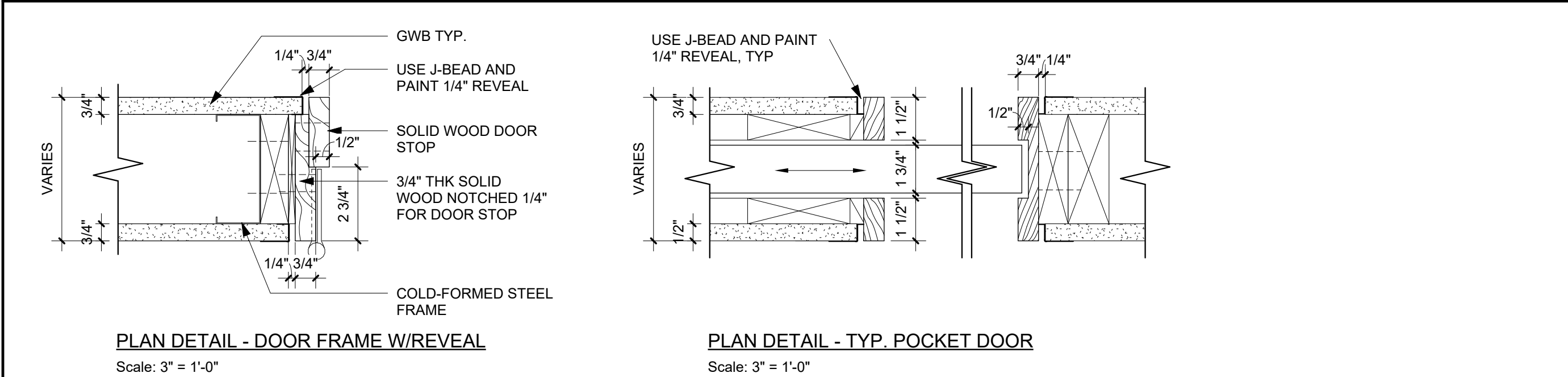


EXTERIOR DOOR SCHEDULE											
Door Number	Count	Description	Width	Height	Material	Finish	Fire Rating	U-Factor			
ED-01	1	Exiting Entry Door	3' - 4"	7' - 8"	Painted Wood with Window	Painted	N/A	N/A			
ED-02	1	Exiting Entry Door	3' - 4"	7' - 8"	Painted Wood with Window	Painted	N/A	N/A			
ED-03	2	Steel Frame Glass Door	<varies>	8' - 7"	Thermally broken steel, powder coated black	Powder Coated	N/A	0.28			
ED-10	2	Steel Frame Glass Door	2' - 8 1/4"	9' - 7"	Thermally broken steel, powder coated black	Powder Coated	N/A	0.28			
ED-40	1	Steel Frame Glass Door	2' - 6 3/8"	6' - 8 27/32"	Thermally broken steel, powder coated black	Powder Coated	N/A	0.28			
ED-50	1		4' - 0"	8' - 0"	Wood door with glazing, aluminum clad, ebony						



INTERIOR DOOR SCHEDULE									
Door Number	Count	Description	Width	Height	Thickness	Finish	Fire Rating		
C-01	1	Glazed Elevator Door	2' - 8"	6' - 2"	0' - 1 3/4"	PAINTED	N/A		
C-03	1	Pocket Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
C-04	2	Interior Door	2' - 8"	6' - 3"	0' - 1 3/4"	PAINTED	N/A		
BM-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
BM-02	3	Interior Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
BM-03	1	Interior Door	5' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
BM-04	2	Closet Door	4' - 10"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
1-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
1-02	1	Interior Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
2-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
2-02	2	Pocket Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
2-03	2	Pocket Door	3' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
2-04	1	Interior Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
2-05	1	Interior Door	2' - 4"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
2-06	2	Pocket Door	2' - 4"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
2-07	2	Full Glass Door	2' - 4"	8' - 0"	0' - 0 1/2"	GLASS	N/A		
3-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
3-02	1	Interior Door	2' - 6"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
3-03	1	Pocket Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
3-04	2	Interior Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
3-05	2	Closet Door	3' - 2"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
3-06	1	Pocket Door	3' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
3-07	2	Pocket Door	2' - 4"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
4-01	1	Glazed Elevator Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
4-02	2	Pocket Door	3' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
4-03	1	Interior Door	2' - 0"	8' - 0"	0' - 1 3/8"	PAINTED	N/A		
4-04	2	Closet Door	5' - 0"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
4-05	1	Interior Door	2' - 8"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		
4-06	1	Closet Door	4' - 10"	8' - 0"	0' - 1 3/4"	PAINTED	N/A		

INTERIOR DOOR DETAILS



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LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

WINDOW- AND DOOR
SCHEDULES AND TYPICAL
DETAILS

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE		DATE	03/26/2025
		JOB NO.:	0147
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L-601.00

CHEMICALLY REMOVING PAINT FROM BRICK MASONRY

PART 1---GENERAL

1.01 SUMMARY

- This procedure includes guidance on chemically removing paint from and repainting brick masonry.
- NOTE:** Sandblasting is not recommended by the secretary of the interior's standards for rehabilitation and shall not be used. High-pressure water blasting is also not recommended without adequate testing or experience as it may erode soft brick and drive moisture into the wall.
- B. Brick, properly fired, is a durable surface which does not need a sacrificial coating such as paint, to protect it. Painting often creates long term maintenance problems. However, brick that has been painted, is usually NOT properly fired and needs the protection provided by the application of paint. Furthermore, brick which has been damaged by abrasive cleaning may require painting in order to seal the masonry from excessive water penetration which, if not protected, can lead to further deterioration of the masonry.**
- C. Safety Precautions:**
- CAUTION:** chemicals often used to remove paint are highly caustic to flesh and toxic.
- Both acids and alkalis are used in the cleaning process. The wrong type of acid can burn and/or dissolve both the brick and the mortar. Adjacent and imbedded materials, i.e. glass or iron cramps, can also be damaged.
 - Failure to properly neutralize the chemicals, or inadequate rinsing can cause salts, stains and other residues to remain on the surface of the brick, residues which may be impossible to remove.
- D. Historic Structure Precautions:**
- Masonry buildings were sometimes painted from the start. A study of all of the paint layers should be conducted to determine what were the original colors and if any special treatments were used.
 - For buildings in which all paint is to be removed, retain small representative areas of paint to provide a paint history of the building for future research.
 - An archives of the paint history of the building is to be maintained. This is to include any paint samples taken during research or samples of the new paint colors and the manufacturer's technical information.
- E. See 01100-07-S for general project guidelines to be reviewed along with this procedure. These guidelines cover the following sections:**
- Safety Precautions
 - Historic Structures Precautions
 - Submittals
 - Quality Assurance
 - Delivery, Storage and Handling
 - Project/Site Conditions
 - Sequencing and Scheduling
 - General Protection (Surface and Surrounding)
- These guidelines should be reviewed prior to performing this procedure and should be followed, when applicable, along with recommendations from the Regional Historic Preservation Office (RHPO).
- F. For general information on the characteristics, uses and problems associated with paint, see 09900-04-S. See also 09900-07-S for other guidelines pertaining to paint removal and application.**

1.02 SUBMITTALS

1. Under the supervision of the RHPO, test panels, using the appropriate cleaning methods, shall be done to determine the best method to remove paint. The "best method" shall be defined as that which successfully removes the paint with no, or minimal, damage to the masonry substrate.
2. Testing shall be done in unobtrusive locations on each building exposure. The methods used, their application, etc. shall be in accordance with manufacturer's instructions and shall duplicate those procedures proposed for the overall paint stripping process. The RHPO shall select and conduct a thorough evaluation of each method after paint removal is complete to determine the best method for the overall stripping.
3. The testing shall include an evaluation of the materials and techniques proposed for the protection of surrounding areas from the chemicals used to strip the paint. Especially important is an evaluation of the method to be used to collect the cleaning effluent.
4. A representative of the cleaning materials manufacturer(s) (or proprietary cleaning systems) shall be present during the preparation and application of the test areas.

1.03 PROJECT SITE CONDITIONS

- A. Environmental Requirements:
1. To prevent water in the masonry from freezing, no paint stripping shall be done if temperatures are expected to fall below 40-48 degrees (F) during the stripping process, or within 24 hours of completing the stripping. If allowed by the chemical manufacturer, heated rinse water may be used if lower temperatures are expected.
 2. No cleaning shall be conducted during periods of strong winds when the chemicals may be spread to adjacent unprotected surfaces.
 3. Unless otherwise recommended by the paint manufacturer, the ambient temperature shall be between 50-58 degrees (F.) and 95-98 degrees (F.) Do not apply paints when the temperature is expected to fall below 50-58 degrees (F) during the first 24 hours after application.
 4. Do not apply any of the coats of paint in the direct sun. It shall be applied only when the surface to be painted is in the shade and the sun is shining on the opposite elevation. The west elevation should be painted in the morning when the sun is shining on the east elevation; the north elevation should be painted around noon when the sun is shining on the south elevation; the east elevation should be painted in the afternoon when the sun is shining on the west elevation; and the south elevation should be painted late in the afternoon when it is in full shade.
 5. Do not apply paint to damp surfaces, in misty or rainy weather, in the snow or where there is visible ice or frost on the surfaces.

PART 2---PRODUCTS

2.01 MANUFACTURERS

- A. Proprietary Chemicals: (one of the following, or approved equal)
1. ProSoCo, Inc. [a nongovernment website], Lawrence, KS 66117, 800-255-4255
 2. Diedrich Technologies Inc. [a nongovernment website], Schenectady, NY 12303, 800-283-3888
 3. Hydrochemical Techniques, Inc. P.O. Box 2078, Hartford, CT, 06145, 800-278-7681, info@hydroclean.com
 4. Dumond Chemicals, Inc. [a nongovernment website] West Chester, PA (corporate office), 800-245-1191 or 609-655-7700, info@dumondglobal.com

2.02 MATERIALS

- A. Off-the-Shelf Chemical Paint Removers:
1. Semi-paste, water rinsing, non-benzol removers such as Strypeeze Semi-paste, or approved equal.
 - a. Characteristic orange color.
 - b. Will work on both latex and oil-based paints, lacquers and varnishes.
 - c. Cling well to round or vertical surfaces. Form an anti-evaporative film as they dry.
 2. Non-flammable, heavy bodied, methylene-chloride based removers such as Superstrip Nonflammable, Zip Strip, or approved equal.
 - a. Good for interior use because they are non-flammable.
 - b. Will soften oil-based paints, lacquers, varnish and synthetic baked finishes.
 - c. Because they are so heavy bodied they will cling to vertical and irregular surfaces.
- Corncornstarch or fumed silica to further thicken chemicals so they will adhere to vertical surfaces.
- OR-
- One of the following proprietary paint strippers, or approved equal:
- a. Sure Klean Heavy Duty Paint Stripper (ProSoCo, Inc.)
 - b. Sure Klean 659 Stripper (ProSoCo, Inc.)
 - c. Blok-Guard & Graffiti Control II (ProSoCo, Inc.)
 - d. Enviwestrip Paint Remover (Diedrich Technologies)
 - e. 505 Special Coatings Stripper (Diedrich Technologies)
 - f. 606, 606X Caustic Multi-layer Paint Remover (Diedrich Technologies)
 - g. Heavy Duty Paint Remover (Hydroclean)
 - h. Peel Away 1.2 (Diamond Chemicals, Inc.)
- B. Clean, potable water to remove chemical residue.
- C. Phenolphthalein; Used to test pH of a surface after stripping with chemicals or any alkaline product. Available at some drug stores or chemical supply houses.
- D. Clean, clear white vinegar or other appropriate neutralizer such as Sure Klean Restoration Cleaner (ProSoCo, Inc.), 101 Masonry Restorer/Cleaner (Diedrich Technologies), or approved equal.
- E. Paint from the same manufacturer and appropriately suited for the conditions.
- CAUTION: DO NOT USE A VAPOR-IMPERMEABLE PAINT ON SURFACES THAT MIGHT HOLD DAMP FROM GROUND OR THROUGH WALLS SUCH AS BADLY-PIETED BRICK CAUSED BY SANDBLASTING.

3.03 EQUIPMENT

- | | |
|----|---|
| A. | Paint scrapers |
| B. | Putty knives |
| C. | Stiff bristle brushes to remove loose, flake paint |
| D. | Natural fiber cleaning brush |
| E. | Synthetic fiber brush |
| F. | Rollers, and/or spray equipment as appropriate and a recommended by paint stripper manufacturers for the application of their various products. Not all types of brushes, etc. are appropriate for all chemicals. |
| G. | Plastic sheathing and duct tape may be necessary to cover the stripper during dwell time as it evaporates quickly. |
| H. | Scrapers and/or pressure rinsing equipment to remove sludge. |
| I. | Nylon bristle brushes Garden hose |

PART 3---EXECUTION

3.01 EXAMINATION

- A. DETERMINE THE REASON FOR PAINT REMOVAL AND WHY THE BUILDING WAS ORIGINALLY PAINTED.
- B. Before work is begun on removing the existing paint film or otherwise preparing the surface, all flashing, gutters and downspouts shall be inspected and repaired or replaced as required.

3.02 PREPARATION

- A. Surface Preparation: Repoint any open mortar joints to prevent water and chemicals from entering the wall structure

3.03 ERECTION, INSTALLATION, APPLICATION

- Paint Removal:**
1. Manually scrape all loose paint and efflorescence using paint scrapers, putty knives or stiff bristle brushes. If the mortar and bricks are quite crumbly, use a softer brush.
 2. Apply an off-the shelf methylene chloride-based paint remover (for small surface areas):
 - a. Thicken stripper with cornstarch as necessary.
 - b. Apply stripper to the surface by brush.
 - c. Cover with plastic wrap or keep misted to prevent chemical from drying out before it has had time to soften paint film.
 - d. When paint film is softened, rinse surface completely using a garden hose or pressure washing equipment. Use the lowest pressure which will remove paint and paint remover - usually about 300 to 500 psi, but no higher than 800 psi and only on approval of RHPO. **HIGH PRESSURE WATER BLASTING IS NOT RECOMMENDED.** Supplement rinsing as necessary with a wood or plastic scraper. Repeat if required to remove all paint.
-OR-
 3. Apply a proprietary chemical paint remover (for large surface areas):
 - a. Apply chemical paint remover with a brush, roller or appropriate spray equipment as directed by manufacturer. Pressure application of paint stripping materials shall not be done as it tends to drive the chemicals too far into the brick and mortar making it impossible to remove all residue. Final dilution ratio to be determined by test patches done prior to removal process.
 - b. Allow the stripper to stay on the brick as directed by the manufacturer and as determined by test patches.
 - c. Rinse completely with clean, fresh water using pressure washing equipment to remove all paint and residue. Maintain water pressures as recommended by chemical manufacturer and RHPO.
 - d. Apply a second coat of paint stripper if necessary to remove remaining paint, again following manufacturer's instructions.
 - e. Rinse completely again and apply afterwash as recommended by chemical manufacturer.
 4. After paint has been removed, but before brick dries, apply neutralizer such as white vinegar, or a proprietary chemical neutralizer. A neutral Ph (7 pH) should be achieved before repainting.
 5. Allow neutralizer to stand on wall about three minutes before rinsing. **DO NOT LET IT DRY!**
 6. Thoroughly rinse the surface with clean, clear water.
 7. Test the pH with litmus paper or phenolphthalein:
 - a. Dissolve a 2" piece of phenolphthalein in denatured alcohol.
 - b. Brush the solution onto the surface. If it turns a shade from pink to magenta there is still chemical residue.
 8. Continue to neutralize the surface and test until there is no color change in the phenolphthalein solution or the litmus paper registers neutral.

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LANDMARKS SUBMISSION

03/26/2025

DOB APPLICATION NO.: B01026912-11

DOB EXAMINER - SEAL & SIGNATURE


DATE	REVISION

PROJECT

156 EAST 71 STREET

TITLE

APPENDIX

ZONING DISTRICT	R6B	BLOCK	333
ZONING MAP	16C	LOT	49
SEAL & SIGNATURE	DATE 03/26/2025		
	JOB NO.: 0147		
	SCALE:		
	DRAWING NO.:		
<div style="font-size: 2em; font-weight: bold;">L-602.00</div>			

April 1, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 6, LPC-25-06392

156 East 71st Street – Upper East Side Historic District
Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 160 977 4343

Passcode: 525077

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.