

March 11, 2025
Public Hearing

The current proposal is:

Preservation Department – Item 4, LPC-25-03434

333 West 22nd Street – Chelsea Historic District Extension Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 160 315 0703

Passcode: 831604

By Phone: 646-828-7666 (NY)

833-435-1820 (Toll-free)

833-568-8864 (Toll-free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

333 West 22nd Street

Chelsea Historic District Extension | LP-1088

Designated: February 3, 1981

333 West 22nd Street is an altered mansion house built in 1836. Application is to alter the entrance.

OWNER: Ralph Westerhoff, 333 West 22nd Street Owners Corporation, c/o Brickwork Management Inc.

ARCHITECT/APPLICANT:
William Moorhead, AIA, Principal, Buck Moorhead Architect

- SCOPE OF WORK** (Note: NO structural work proposed under this application, scope of work includes replacment of non-historical entrance door surround and entrance door.
- 0.1 ENTRANCE DOOR SURROUND REMOVAL: Remove existing, non-original entrance door surround.
 - 0.2 DOOR REMOVAL: Remove existing, non-original entrance door.
 - 0.3 ENTRANCE DOOR SURROUND REPLACEMENT: Replace entrance door surround with Cast Stone surround to match color, texture and historical architectural appearance of neighboring buildings.
 - 0.4 ENTRANCE DOOR REPLACEMENT: Provide replacement in-swing entrance door with double-glazing. Prepare, paint door.

SPECIFICATIONS

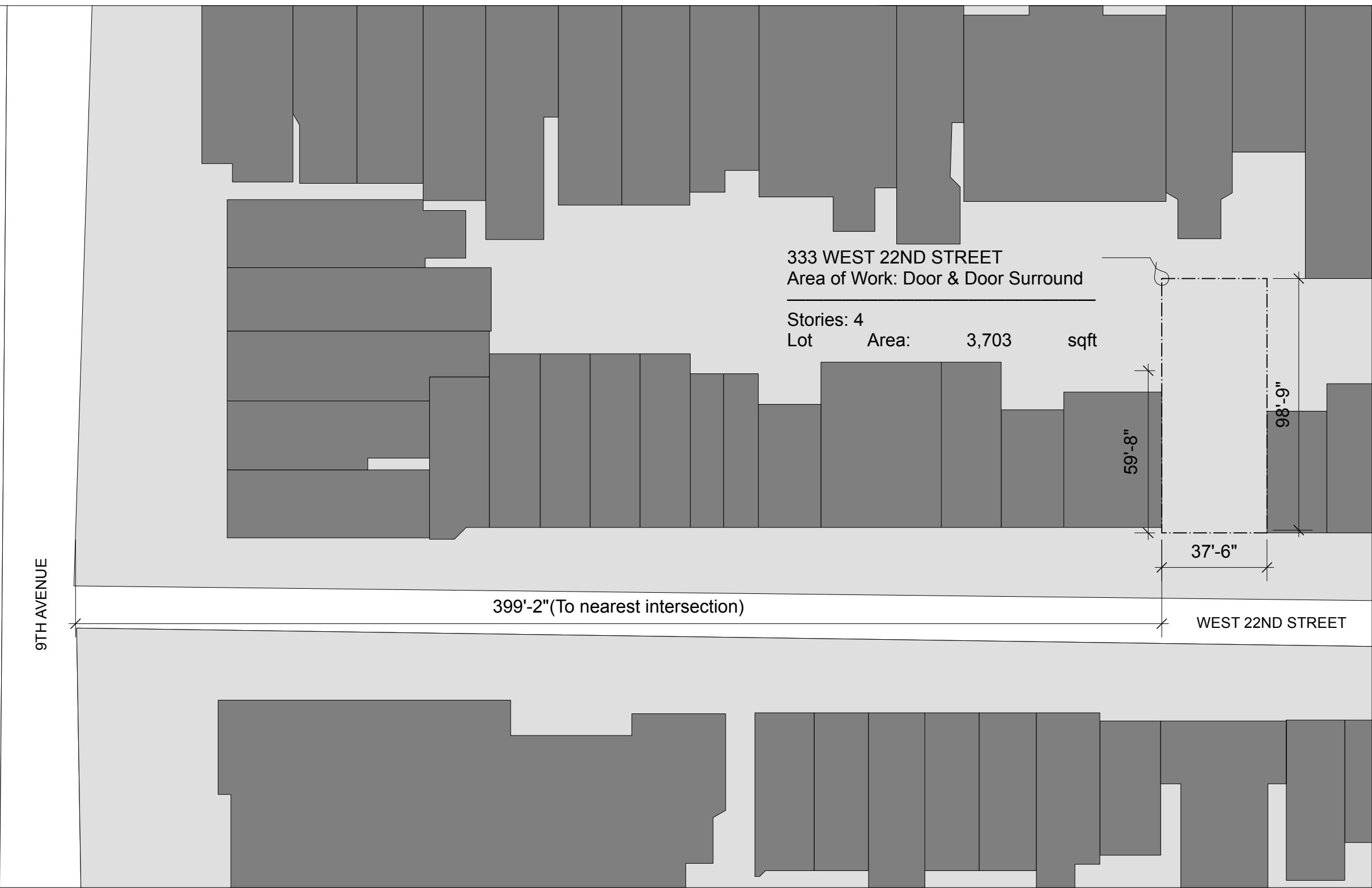
- 1.0 GENERAL CONDITIONS**
- 1.1 DEFINITIONS:**
- "The WORK" shall mean all work necessary to be performed under this contract and shall include all labor, material, and equipment necessary to do all work described in the architectural drawings and specifications. Work not indicated but inferable as necessary to do a complete job shall be understood to be included in the scope and be part of the contract documents.
 - "The CONTRACT DOCUMENTS" shall be all the drawings and specifications noted on drawing C-100.
 - "The CONTRACTOR" shall mean the company and its duly authorized representatives hired by the OWNER to execute the Work.
 - "The OWNER" shall mean **333 West 22nd Street Owners Corporation** and their duly authorized representatives.
 - "The ARCHITECT" shall mean Buck Moorhead and his duly authorized representatives.
- All work shall conform to the requirements of the New York City Building Code, Fire Dept. Rules and Regulations, utility company requirements and the best trade practices.
- 1.2 The CONTRACTOR shall maintain General Liability and property damage Insurance minimally in the amount of three million dollars (\$3,000,000).
 - 1.3 (Confirm required insurance with Owners Corporation). Certificates of Insurance demonstrating same shall be provided to the OWNER prior to commencement of work. The safety of all
 - 1.4 The CONTRACTOR'S employees shall be the responsibility of the CONTRACTOR. The CONTRACTOR shall maintain Workers Compensation and disability insurance at all times during course of the project.
 - 1.5 The Contractor shall obtain all requisite building permits from local governmental agencies. The CONTRACTOR shall schedule and conduct all required inspections, and shall submit proof of said inspections to the Owner.
 - 1.6 Minor details not usually shown or specified, but required for proper construction of any part of the work shall be included as if they were indicated in the drawings.
 - 1.7 The CONTRACTOR shall be responsible for the protection of all conditions and materials within the proposed construction area. The contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The CONTRACTOR shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
 - 1.8 The CONTRACTOR shall lay out his own work, and shall provide all dimensions required for other trades: plumbing, electrical, etc.
 - 1.9 The CONTRACTOR shall do all cutting, patching and repairing as required to perform all of the work indicated on the drawings, and all other work that may be required to complete the job.
 - 1.10 The CONTRACTOR shall complete all work in strict compliance of applicable rules and regulations of state, and federal agencies.
 - 1.11 All work shall be guaranteed and under warranty for a period of one year from the date of final completion.
 - 1.12 The AIA 201 General Conditions of the Contract for Construction shall be included as part of the construction contract.
 - 1.13 The CONTRACTOR shall verify all conditions and dimensions in the field and be responsible for accurate coordination. Any discrepancies shall be reported to the ARCHITECT in writing before proceeding.
 - 1.14 The CONTRACTOR is to comply with all manufacturers' recommendations for installation of materials specified. In those instances where choice in finish and / or color is available, and the finish and /or color is not specified herein, the CONTRACTOR shall request the decision regarding said finish and / or color from the ARCHITECT.
 - 1.15 The CONTRACTOR shall submit shop drawings and specification cut sheets to the ARCHITECT for approval for materials, products, and methods of construction specified herein.
- 2.0 ALTERATION AGREEMENT**
- 2.1 Comply with all requirements of building alteration agreement & building rules attached.
- 3.0 SITE WORK**
- 3.1 Provide site protection as required.
 - 3.2 Site protect lobby, hallway, and entrance door - EACH DAY.
- 4.0 DEMOLITION**
- 4.1 Public areas are to be thoroughly cleaned at the end of each work day.
- 5.0 CONCRETE** N/A
- 6.0 MASONRY** Cast Stone and concrete masonry back-up.
- 7.0 METALS**
- 7.1 Flashing: Copper.
- 8.0 WOOD** Mahogany wood door and wood trim: painted.
- 9.0 THERMAL AND MOISTURE PROTECTION** N/A
- 10.0 DOORS AND WINDOWS**
- 10.1 Replace entrance door.

INSPECTIONS

- 1. Progress Inspection
- 2. Final Inspection

SMOKE/CARBON MONOXIDE NOTES

- 1.0 Smoke/carbon monoxide detectors or devices shall be installed in ordinance with the Housing Maintenance Code, Multiple Dwelling Law, the New York City Building Code, the New York City Electrical Code, and NFPA 72.
- 1.1 Smoke detectors and carbon monoxide detectors may be combined providing the devices comply with the provisions of Title 28 of the Administrative Code of the City of New York and any applicable rules promulgated thereunder.
- 1.2 Each smoke/carbon monoxide detector shall be installed in accordance with Reference Standard UL2034 NS UL2075 of the New York City Building Code.
- 1.3 Each smoke/carbon monoxide detector shall be installed outside of each sleeping room and in the immediate vicinity or within 15'-0" of the entrance to the sleeping room; inside each sleeping room; and on each story within a dwelling unit, including below stories and penthouses per 907.2.11.1 and 908.7.1-908.7.4.
- 1.4 Each smoke/carbon monoxide detector shall be a type that allows for ready testing of device.
- 1.5 Duplex units shall have a device located on each level if only one means of egress is provided from each level.
- 1.6 Ceiling mounted devices shall be a minimum distance of 4" from any wall.
- 1.7 Wall mounted devices shall be a minimum distance of 4" to a maximum of 12" from ceiling.
- 1.8 Each dwelling shall be equipped with an approved type of smoke/carbon monoxide detector device receiving primary power from a dedicated branch circuit of the unswitched portion of a branch circuit also used for power and lighting, and shall be equipped with a battery backup. Smoke alarms shall emit a signal when batteries are low. Wiring shall be permanent and without a disconnection switch other than as required for over-current protection. 907.2.11.1-907.2.11.3
- 1.9 Existing buildings that are not equipped with hardwired connections shall be supplied with battery operated devices.
- 1.10 Such smoke/carbon monoxide detectors must be either the ionization chamber type or the photoelectric detector type as per New York City Building Code Section 907 and 908.
- 1.11 A certificate of satisfactory installation for smoke/carbon monoxide detectors must be filed with the division of code enforcement H.P.D. 10 days after installation.
- 1.12 Written information of testing and maintenance of the devices shall be provided to the dwelling unit owner.
- 1.13 In multiple dwellings (R-2), smoke alarms shall be able to support visible alarm, per ANSI A117.1.



1 PLOT PLAN

DRAWING LIST

- T-001.00 COVER SHEET
- HD-001.00 HISTORICAL DISTRICT MAP & DESIGNATION
- A-100.00 EXTERIOR ELEVATIONS: EXISTING & PROPOSED SCOPE OF WORK
- A-101.00 EXISTING IMAGES & TAX PHOTOS
- A-102.00 ENTRANCE DOOR SURROUND COMPARISON: PLANS, ELEVATIONS & SECTIONS
- A-103.00 ENTRANCE DOOR SURROUND: PLAN, ELEVATION & SECTION DETAILS
- A-104.00 MATERIALS BOARD

NYC ZONING MAP 8d



ABBREVIATIONS

- | | | | |
|--------|-----------------|--------|------------------------|
| @ | AT | GA | GAUGE |
| CL | CENTERLINE | G.C | GENERAL CONTRACTOR |
| CL | AIR CONDITIONER | HORIZ. | HORIZONTAL |
| ARCH. | ARCHITECTURAL | HGT. | HEIGHT |
| B.O. | BOTTOM OF | MECH. | MECHANICAL |
| BLKG | BLOCKING | N.T.S. | NOT TO SCALE |
| BLDG | BUILDING | O.C. | ON CENTER |
| BM | BEAM | OPP | OPPOSITE |
| CLG | CEILING | REL | RELOCATED |
| CONS. | CONSTRUCTION | REQ. | REQUIRED |
| CONTR. | CONTRACTOR | SCHED. | SCHEDULE |
| DEPT. | DEPARTMENT | SECT. | SECTION |
| DET. | DETAIL | SIM. | SIMILAR |
| DIM. | DIMENSION | SPEC. | SPECIFICATION |
| EXIST. | EXISTING | SQ. | SQUARE |
| ELEC. | ELECTRICAL | STD. | STANDARD |
| EQ. | EQUAL | TYP | TYPICAL |
| EXT. | EXTERIOR | U.O.N. | UNLESS OTHERWISE NOTED |
| FF. | FINISH FLOOR | WD. | WOOD |
| FL. | FLOOR | W/O | WITHOUT |
| FIN. | FINISH | | |

BUILDING INFORMATION

ADDRESS:
333 WEST 22ND STREET
NEW YORK, NY 10011

BLOCK: 746

LOT: 18

CONSTRUCTION
CLASS: II

ZONING: R7B

OCCUPANCY: R2

ZONING MAP: 8d

EXISTING C.O.
096961

USE REGULATION
NO CHANGE IN USE,
OCCUPANCY, EGRESS,
OR ZONING

BULK REGULATION
NO CHANGE IN BULK

EXG TO REMAIN:
NYC Building Code
compliant fire stair,
min. 3'-0" wide, with
direct connection
from street to roof

Exit at Lobby
to W 22nd St.

WEST 22ND STREET

2 KEY PLAN N.T.S.

FEMA STATEMENT

- PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

TABULAR ENERGY ANALYSIS

OCCUPANCY: R-2
CLIMATE ZONE: 4A
SCOPE OF WORK: FACADE REPAIR, ENTRY SURROUND
REPLACEMENT AND ENTRANCE LOBBY RENOVATION.

To the best of my knowledge, belief, and professional judgment, these plans and specifications are exempt from the 2020 Energy Conservation Code. The scope of work is located in a historic building listed on the National Register of Historic Places.

SYMBOLS / LEGEND

- ELEVATION / SECTION NUMBER
DRAWING NUMBER
- DETAIL PLAN NUMBER
DRAWING NUMBER
- EXISTING TO BE REMOVED
- DEMOLITION NOTE
- KEY NOTE
- PARTITION TYPE
- DOOR IDENTIFICATION
- WINDOW IDENTIFICATION
- REVISION NUMBER

M01117866-11

Design Firm

Buck Moorhead Architect

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Seal

Client

**333 West 22nd Street
Owner's Corporation**

333 West 22nd Street
New York, NY 10011

Project Title

**333 WEST 22ND STREET
ROOF**

NEW YORK, NY 10011

Revisions

Issue	Date	Description
LPC	02/24/25	
Issue	2/24	
Scale	VARIES BY DRAWING	

Date

9/29/24

Project ID

2208-333W22_ENTRNY

CAD File #

2208-333W22_ENTRNY_D01.rvt

Drawing By

D.C.

Checked By

WWW

Sheet Title

COVER SHEET

Drawing No.

T-001.00

Page 1 of 7

"NOS. 323-333. THESE SIX LOTS WERE PURCHASED FROM CLEMENT C. MOORE BY NICHOLAS LUDLAM AND HIS WIFE SARAH IN 1835. MOORE REQUIRED THE LUDLAMs TO BUILD A HOUSE ON THE PROPERTY THAT WAS 37 1/2 FEET WIDE, ON OR BEFORE MAY 1, 1836. THEY MET THIS REQUIREMENT BY BUILDING THE HOUSE WHICH IS NOW NO. 333 WEST 22ND STREET."

"NO. 333 IS THE FIRST BUILDING CONSTRUCTED BY NICHOLAS LUDLAM IN 1836, ... HOWEVER, **IT HAS BEEN SO COMPLETELY ALTERED THAT NOTHING REMAINS OF THE ORIGINAL FACADE**, BUT ITS HEIGHT OF FOUR STORIES PLUS BASEMENT CONTINUES THE LOW- RISE SCALE OF THE BLOCK. THIS UNUSUALLY WIDE FOUR-BAY HOUSE WAS CONSIDERED A "MANSION" IN ITS TIME."

USN Details

06101.002916: Building - Listed

333 WEST 22ND ST, MANHATTAN NY

Close

Overview

Inventory Data

NR Status (6)

MCDs (1)

Children (0)

Determinations (0)

Photos (0)

Atts. (0)

Agmts. (0)

Projects (0)

Surveys (0)

Submitted (0)

Type: Building

Classification: Building

Parent USN: [Chelsea Historic District](#)
(Boundary Increase)
(06101.018864)

Is Contributing: ☐

Is Demolished: ☐

Is in a Certified District: ☐

Is a National Historic Landmark: ☐

Is State Board Approved: ☒

Is State Register Listed: ☒

No Photo Available

Eligibility: Listed

Notes:

County	MCD
New York	MANHATTAN (NYC Borough)

+

-

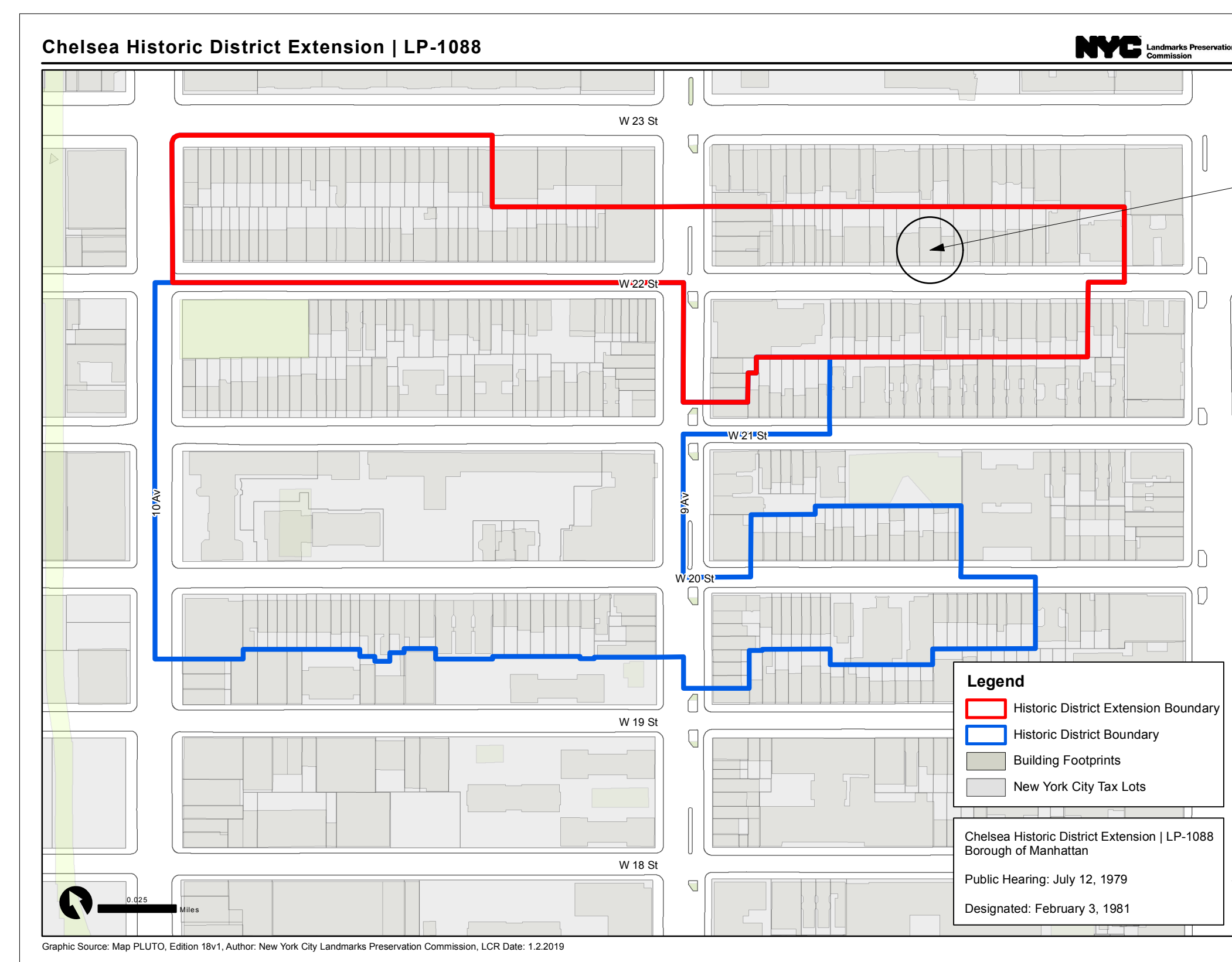
Search

Layers

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Full Screen

City of New York, State of New Jersey, Esri, HERE...



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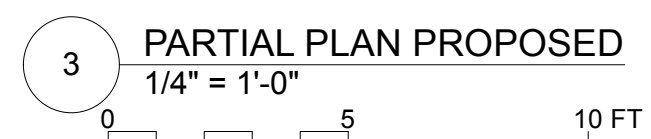
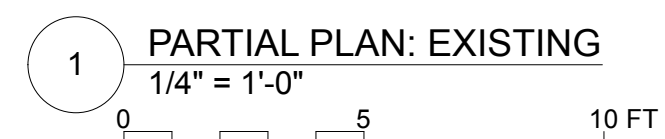
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LPC		02/24/25	
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AD File #	2204-01-29_333W22_ENTRY_D08.wss		
Drawing by	D.C.		
Checked by	JWWM		
Sheet Title			

HISTORIC DISTRICT MAP & DESIGNATION

Drawing No.

M01117866-I1

HD-001.00



MS1 RELOCATE EXISTING INTERCOM TO NEW LOCATION


333 West 22nd Street
Owner's Corporation

333 West 22nd Street
New York, NY 10011

Project Title

**333 WEST 22ND STREET
ROOF**

NEW YORK, NY 10011

Revisions			
LPC		03/04/25	
LPC		02/24/25	
Issue		Date	Description
Scale			
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Date	9/29/24		
Project ID	2009-333W/22_ENTRY		
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Drawn By	D.C.		
Checked By	WWM		
Sheet Title			

Sheet Title

**EXTERIOR
ELEVATIONS:
SCOPE OF WORK
EXISTING &
PROPOSED**

Drawing No.

M01117866-I1

A-100.00



SITE IMAGE: SHOWING ENTIRE STREET FACADE

TAX PHOTOS



1940s TAX PHOTO:



1980s TAX PHOTO:

NEIGHBORING BUILDINGS



331 WEST 22ND STREET



327 WEST 22ND STREET



328 330 & 332 WEST 22ND STREET

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ROOF**
NEW YORK, NY 10011

Revisions			
LPC	03/04/25		
LPC	02/24/25		
Issue	2/1	Date	Description
Scale	VARIES BY DRAWING		
Date	9/29/24		
Project ID	2208-333W22_ENTRY		
CAD File #	2204/06/26_333W22_ENTRY_D001.dwg		
Drawing By	D.C.		
Checked By	WMM		
Sheet Title			

EXISTING IMAGES &
TAX PHOTOS

Drawing No.

A-101.00

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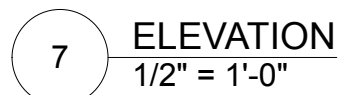
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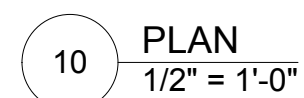
333 West 22nd Street
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EXISTING ENTRANCE DOOR SURROUND



9 ELEVATION
1/2" = 1'-0"



— NON-ORIGINAL WOOD DOOR
SURROUND WITH ELEMENTS
THAT HAVE BEEN ROTTEN
BEYOND REPAIR



A close-up photograph of a roof edge where the asphalt shingles have been torn away, revealing the underlying wooden decking. The damage is significant, with a large section missing and the remaining shingles hanging off. A green vine is growing along the edge of the roof.

333 WEST 22ND STREET: EXISTING CONDITION



SITE PHOTO: EXISTING, NON-ORIGINAL EXTERIOR DOOR SURROUND

Project Title

333 WEST 22ND STREET
ROOF
NEW YORK, NY 10011

Revisions			
LPC		03/04/25	
LPC		02/24/25	
Issue		Date	Description
Scale			

Date	9/29/24
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Project ID	2208-333W22_ENTRY
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Checked by	

Checked By www

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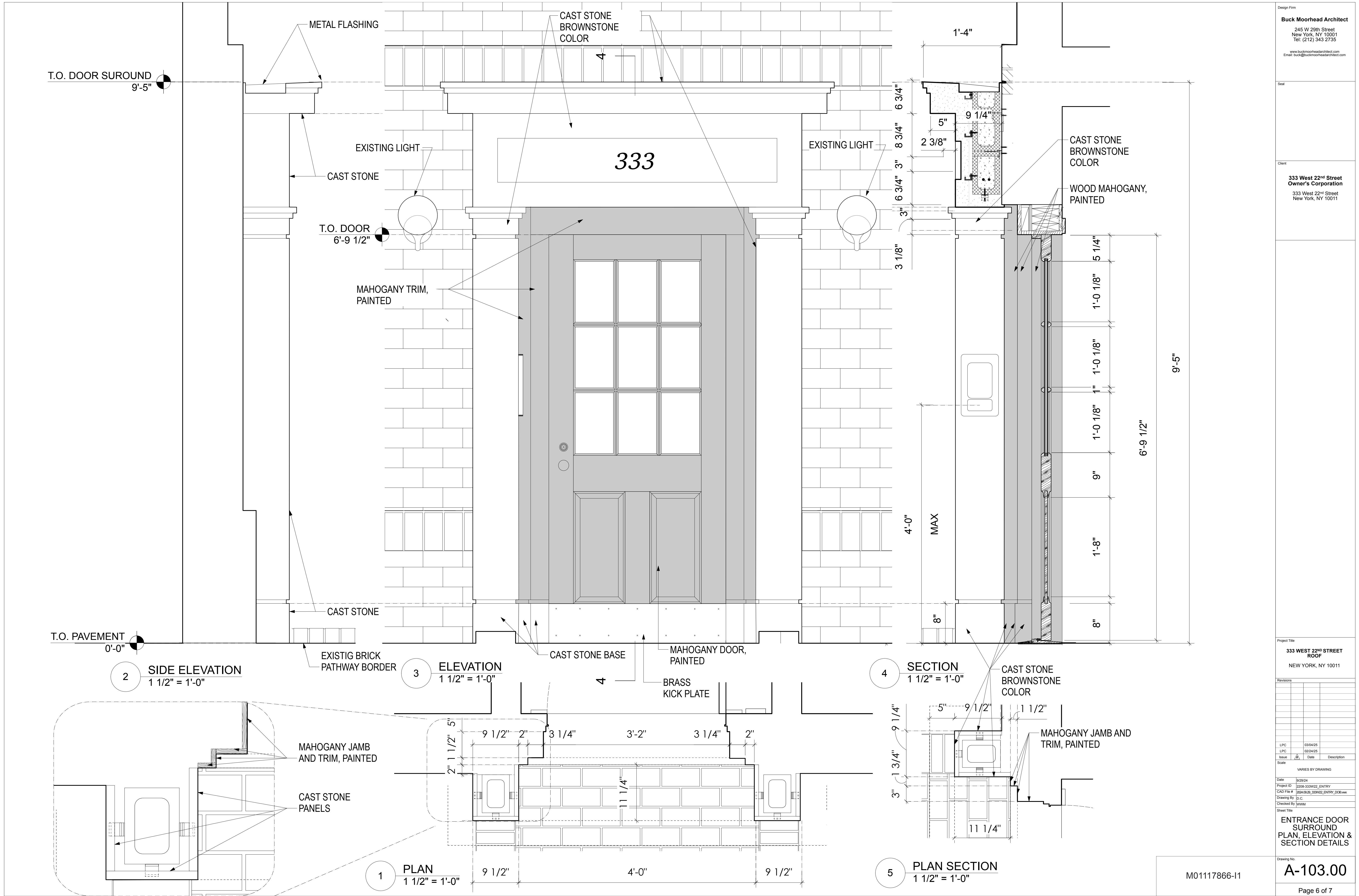
ENTRANCE DOOR
SURROUND
COMPARISON:
PLANS, ELEVATIONS
& SECTIONS

Drawing No.

A-102.00

Page 5 of 7

M01117866-I1



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Seal

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NEW YORK, NY 10011

Revisions	
No.	Description

LPC	Date
LPC	03/04/25
Issue	02/24/25
Scale	VARIES BY DRAWING

Date	Project ID	Sheet Title
9/29/24	2208-333W22_ENTRY	ENTRANCE DOOR SURROUND
02/24/25	2208-333W22_ENTRY	PLAN, ELEVATION & SECTION DETAILS

Drawing No. **A-103.00**

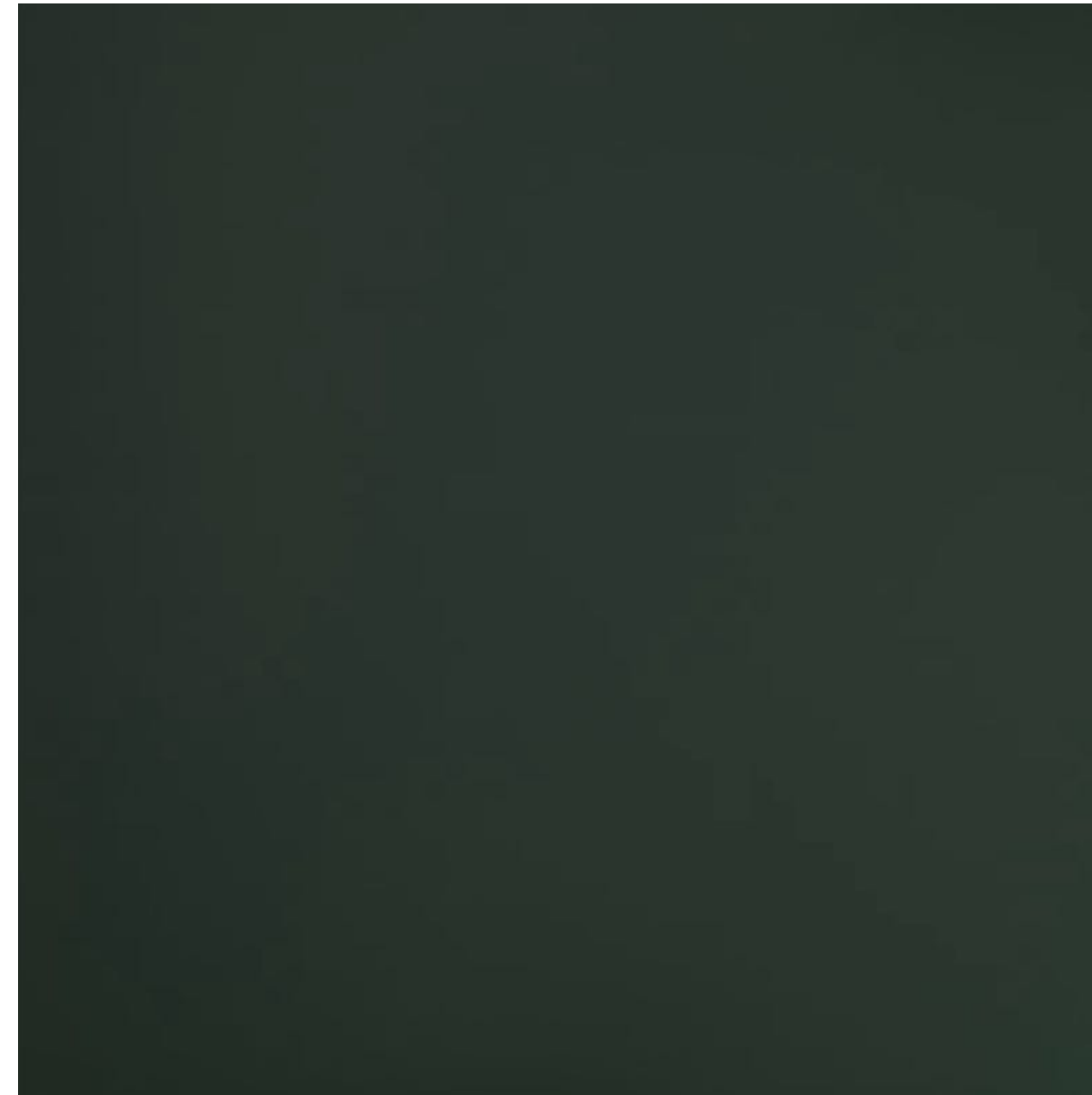
Page 6 of 7

MATERIALS LEGEND

1 CAST STONE



**2 DOOR AND TRIM PAINT COLOR:
BENJAMIN MOORE ESSEX GREEN HC-188**



3 BALDWIN DOOR HARDWARE: SATIN BRASS FINISH



DEADBOLT

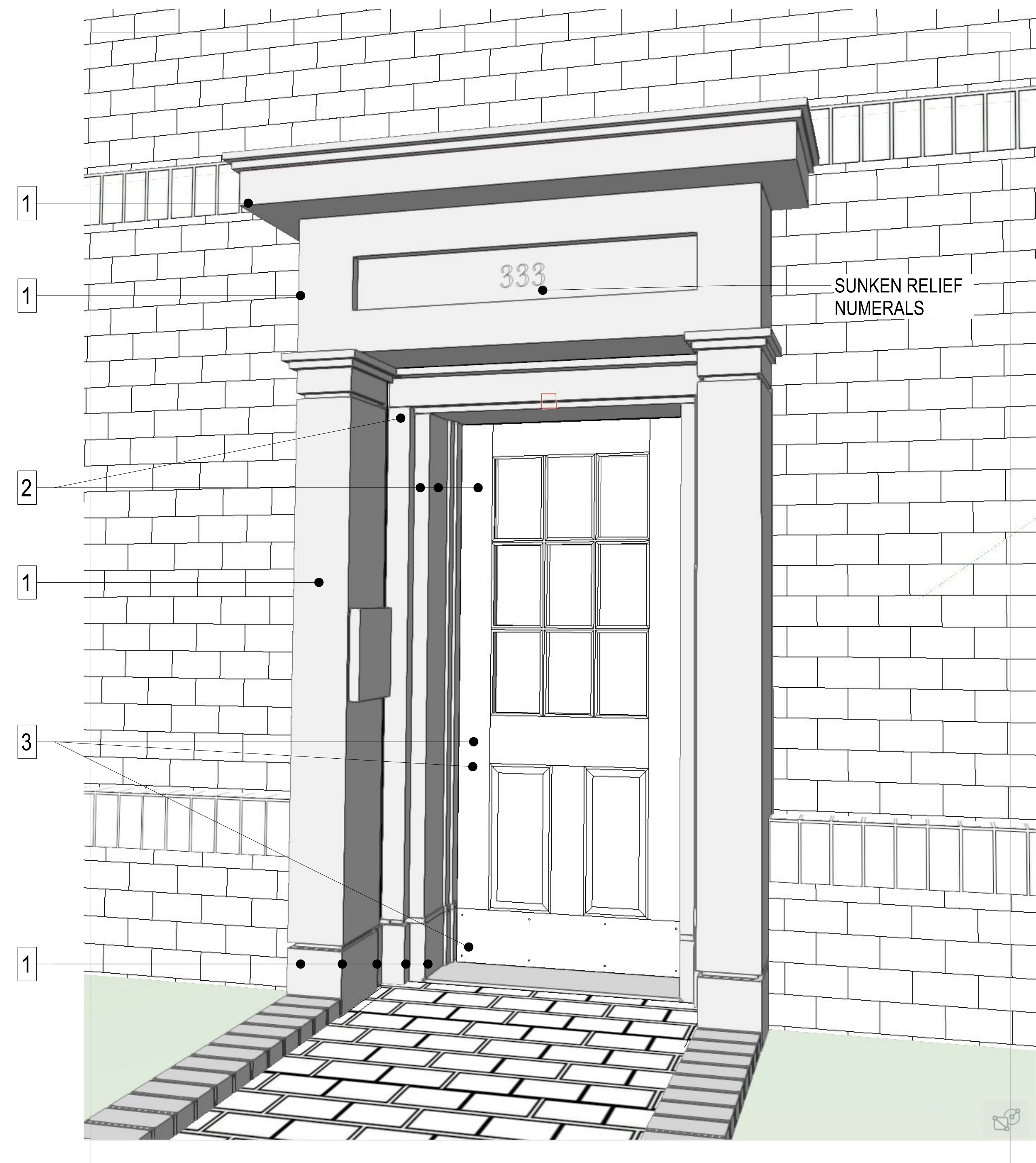


KEYED KNOB



8" KICKPLATE

DOOR SURROUND PERSPECTIVE



esign Firm

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001	002	003	004	005	006	007	008	009	010	011	012	013	014	015	016	017	018	019	020	021	022	023	024	025	026	027	028	029	030	031	032	033	034	035	036	037	038	039	040	041	042	043	044	045	046	047	048	049	050	051	052	053	054	055	056	057	058	059	060	061	062	063	064	065	066	067	068	069	070	071	072	073	074	075	076	077	078	079	080	081	082	083	084	085	086	087	088	089	090	091	092	093	094	095	096	097	098	099
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DIVISIONS			
LPC		03/04/25	
LPC		02/24/25	
Issue Scale	A 1/8"	Date	Description

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Project ID	Z208-333W22_ENTRY
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Drawing By	D.C.
Checked By	WWM
Sheet Title	

ENTRANCE DOOR SURROUND & ENTRANCE DOOR MATERIALS

Drawing No.

A-104.00

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March 11, 2025
Public Hearing

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Preservation Department – Item 4, LPC-25-03434

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Passcode: 831604

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