

The current proposal is:

Preservation Department – Item 7, LPC-23-00600

## **526 Hudson Street – Greenwich Village Historic District Borough of Manhattan**

To Testify Please Join Zoom

**Webinar ID:** 846 5008 0041

**Passcode:** 554001

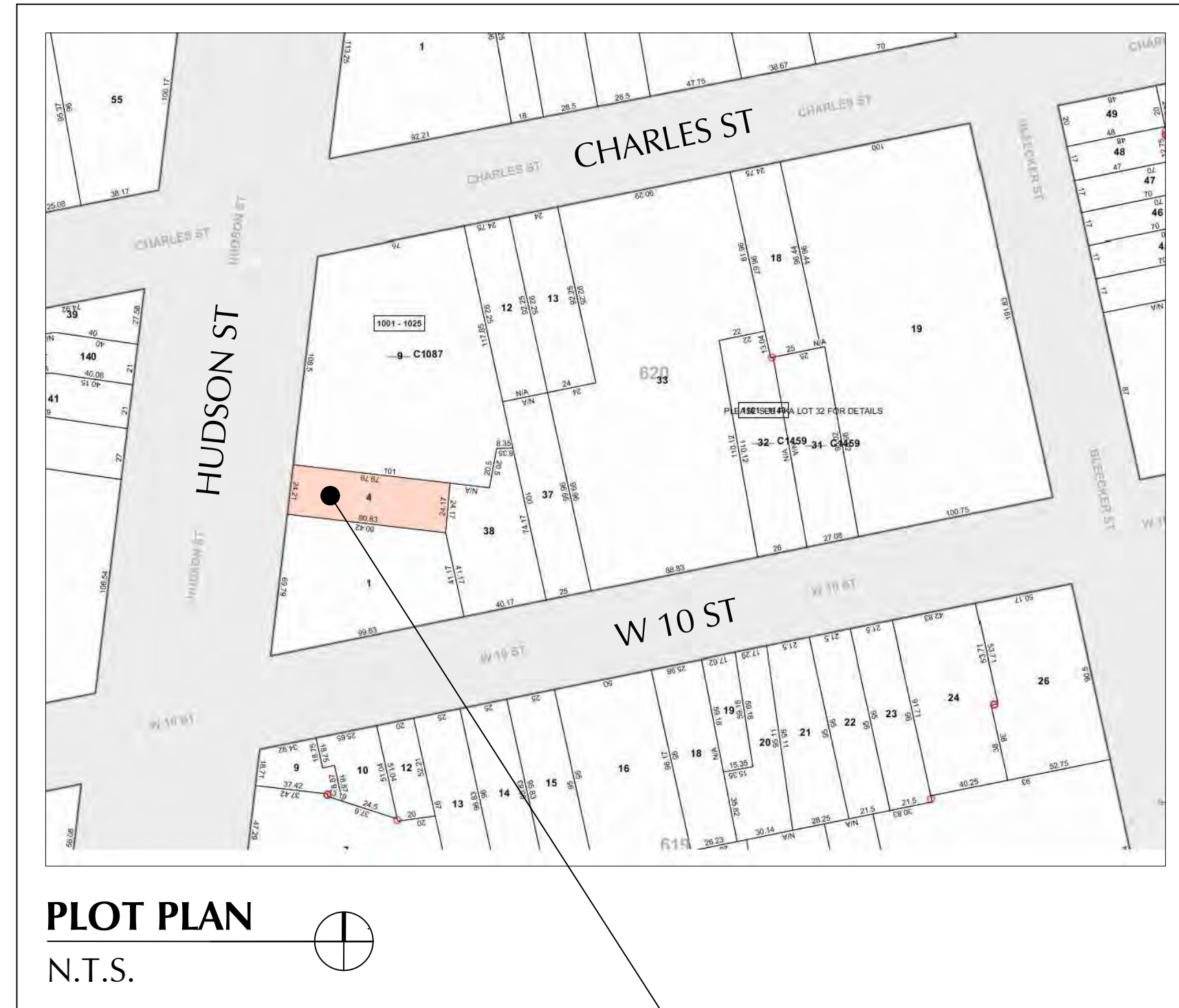
By Phone: 1 646-558-8656 US (New York)

877-853-5257 (Toll free) US

888 475 4499 (Toll free)

**Note:** If you want to testify on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.

# 526 Hudson Street New York, NY 10021



**AREA OF WORK**  
526 HUDSON ST.  
New York, NY 10014

**ZONING INFORMATION:**  
BLOCK: 620  
LOT: 4  
LOT AREA: 1,920 SF  
CONSTRUCTION CLASS: 3  
BUILDING OCC GROUP CLASS: J-2  
ZONING MAP: 12A  
BIN: 1011184  
ZONING DISTRICT: C1-6  
NO. OF STORIES: 5  
NO. OF DWELLING UNITS: 7  
CO NUMBER: 100817528



**1940 - HISTORICAL PHOTO**



**2022 - CURRENT CONDITION**

MICHAEL ZENREICH, PC  
ARCHITECT  
149 West 36th Street, 7 Fl.  
New York, N.Y. 10018  
Tel. (212) 242-7440

**526 HUDSON STREET  
NEW YORK, NY 10021**  
BUILDING RENOVATION

CLIENT:  
C/o Our Neighborhood Place  
526 Hudson Street  
New York, NY 10011

MEP ENGINEER:  
HH Design  
Consulting, LTD.  
1751 Second Avenue, 201  
New York, NY 10128

STRUCTURAL ENGINEER:  
Old Structures  
90 Broad St, 15th Floor  
New York, NY 10004

ELEVATOR COMPANY:  
Metropolitan Elevator  
330 West 38th Street, Suite 903  
New York, NY 10018

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022

Drawn By: RC / JW  
Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:



Location :

**526 Hudson Street  
New York, NY 10021**

Title:

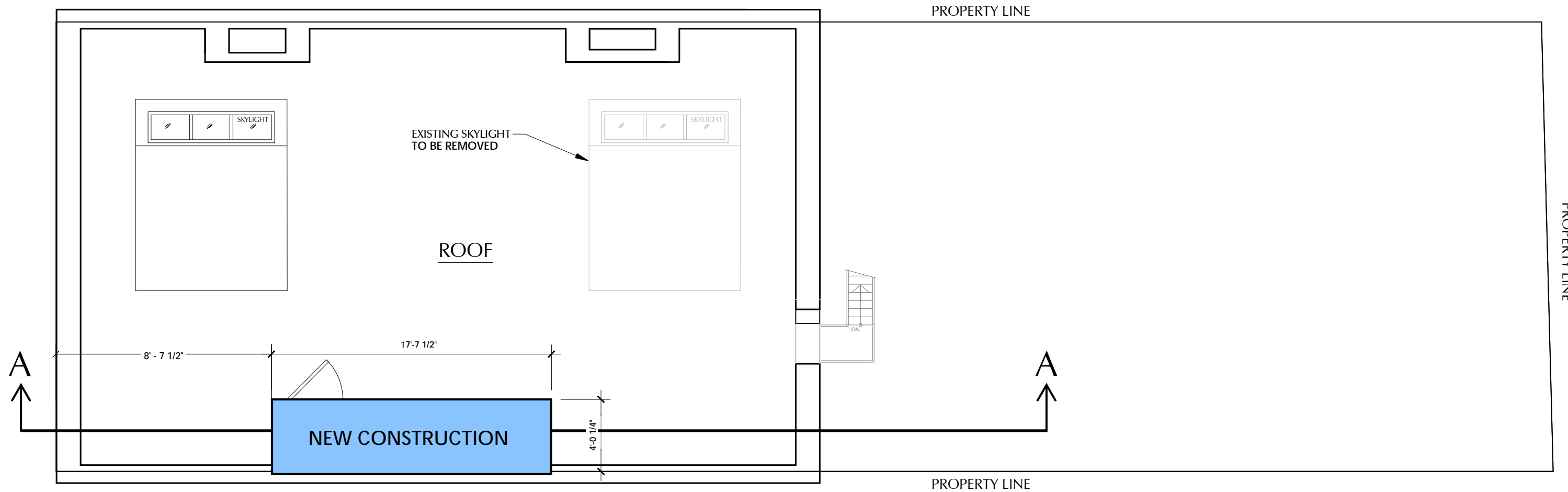
COVER

Date: 07.19.2022  
Scale: As Noted  
Project #: 2022 - 26  
Drawing No.:

**LPC-101.00**

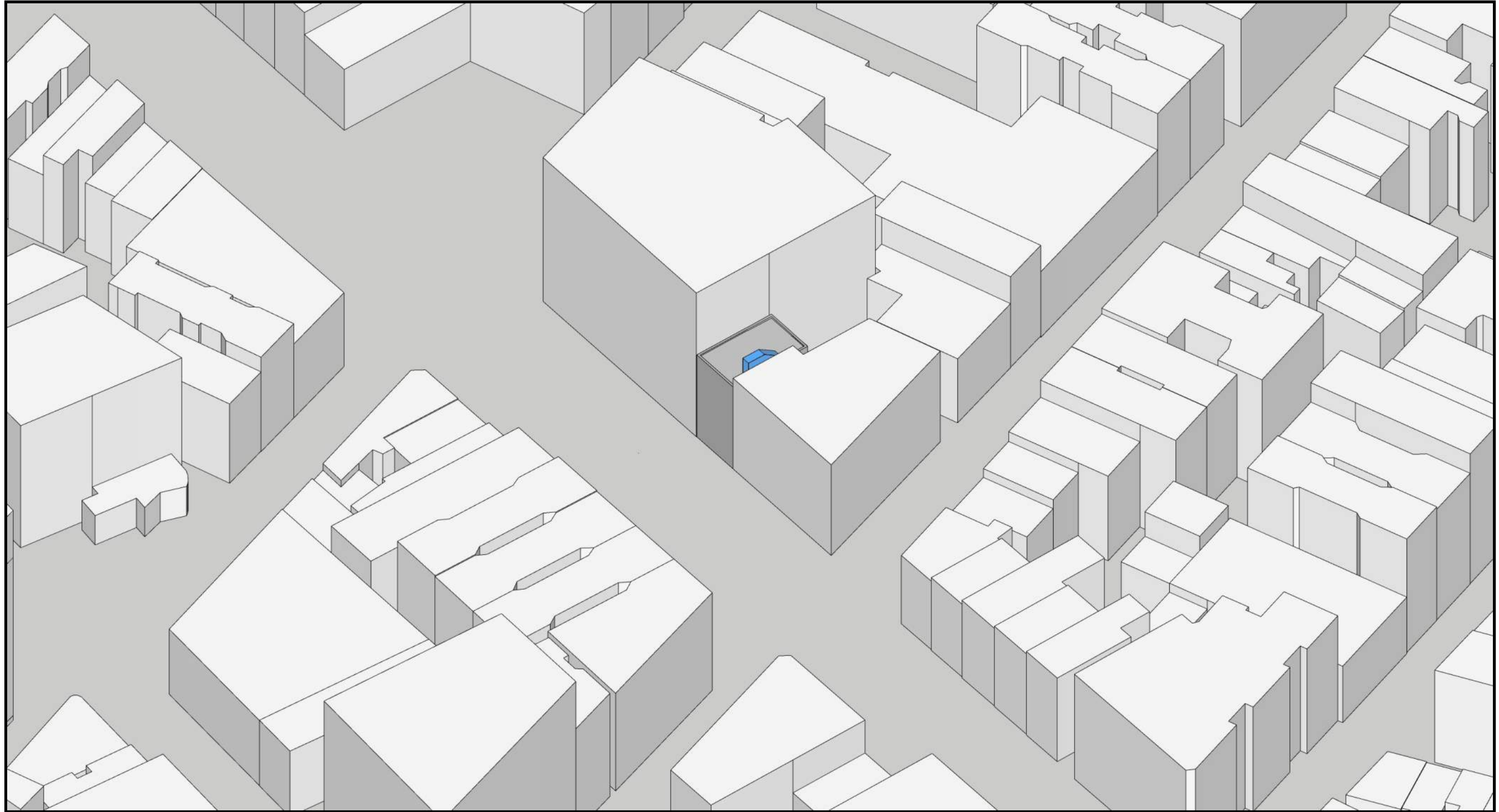
DOB Job#:

HUDSON STREET

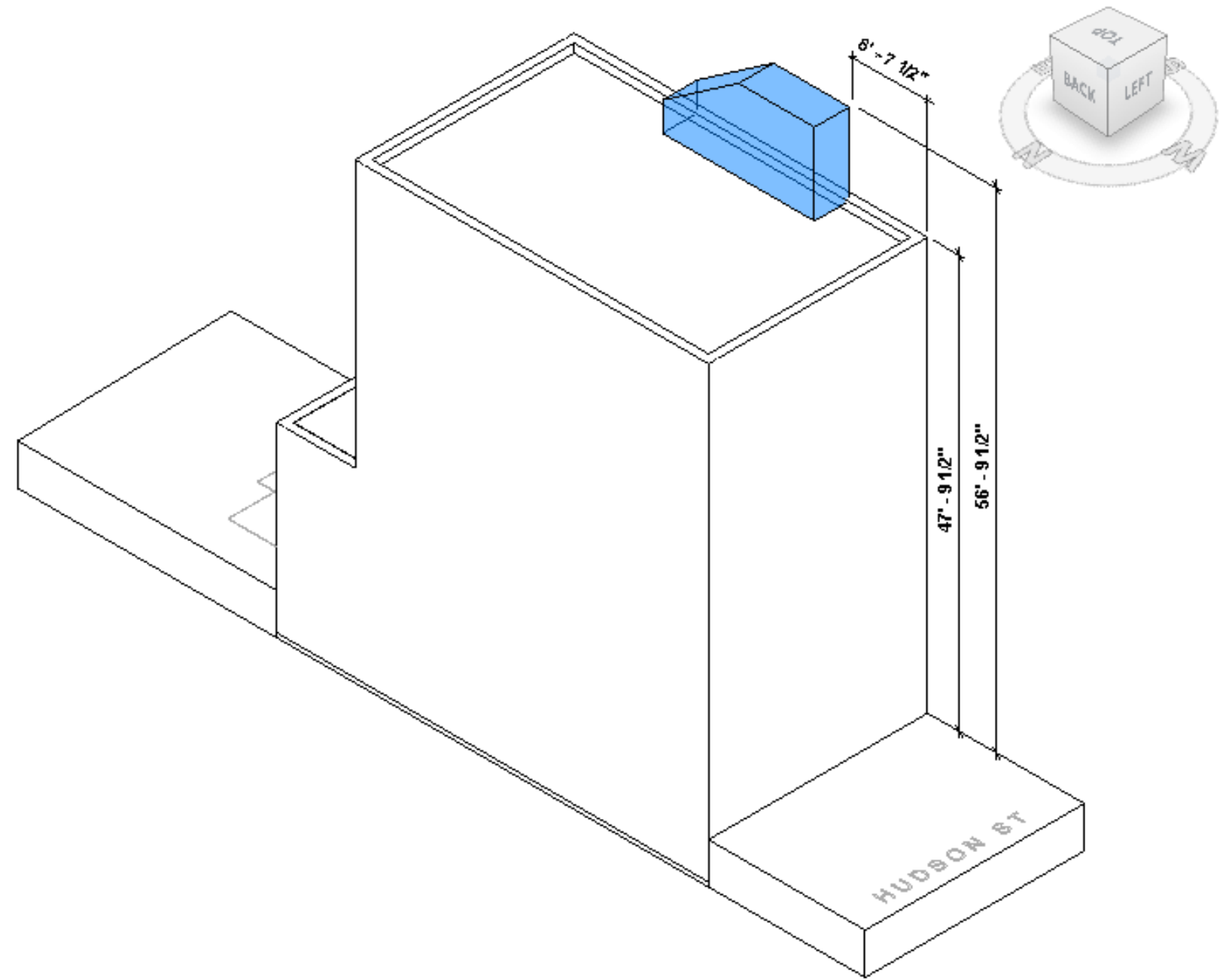
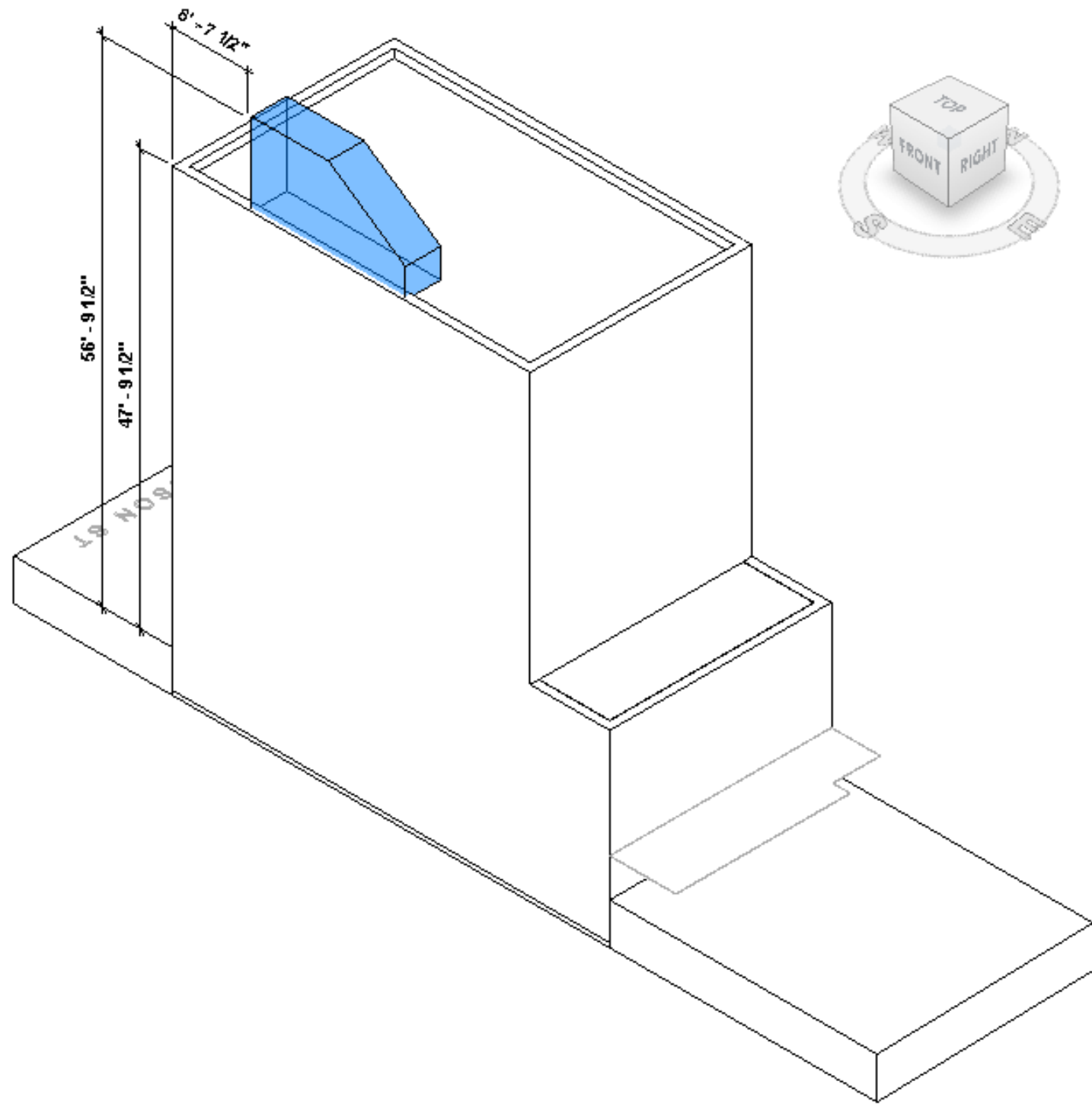


1 ROOF PLAN  
SCALE: 3/8"=1'-0"

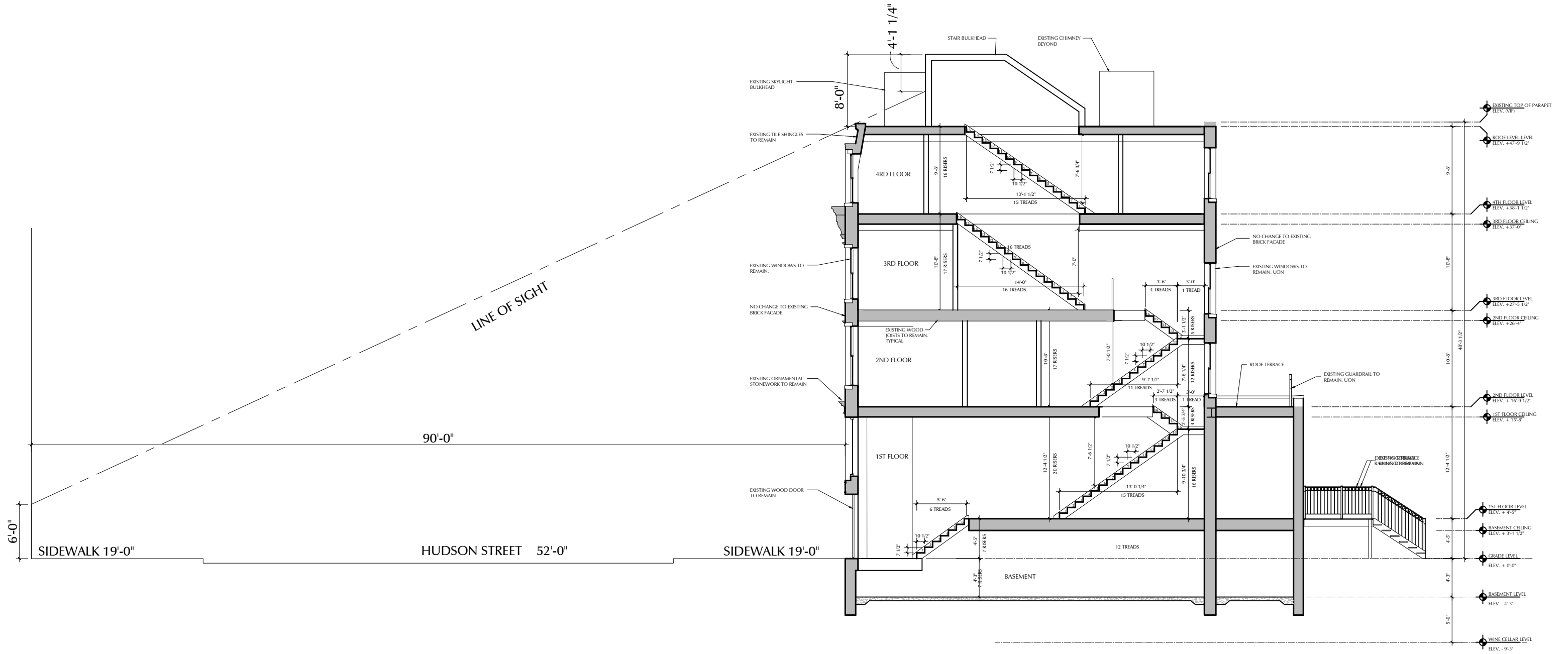
526 HUDSON - NEW CONSTRUCTION



526 HUDSON - CONTEXT AXONOMETRIC VIEW



526 HUDSON - NEW CONSTRUCTION AXONOMETRIC VIEW

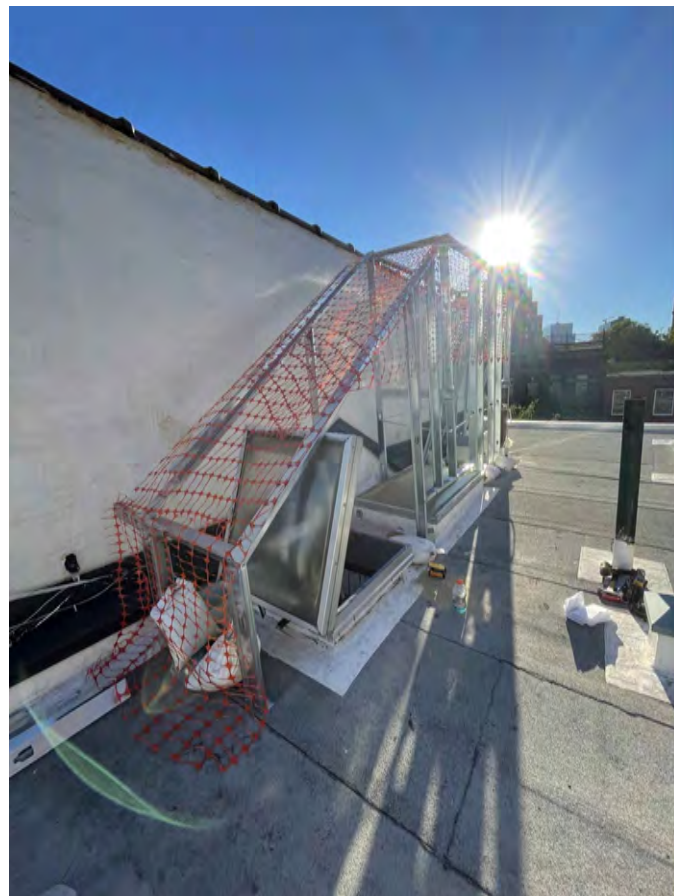
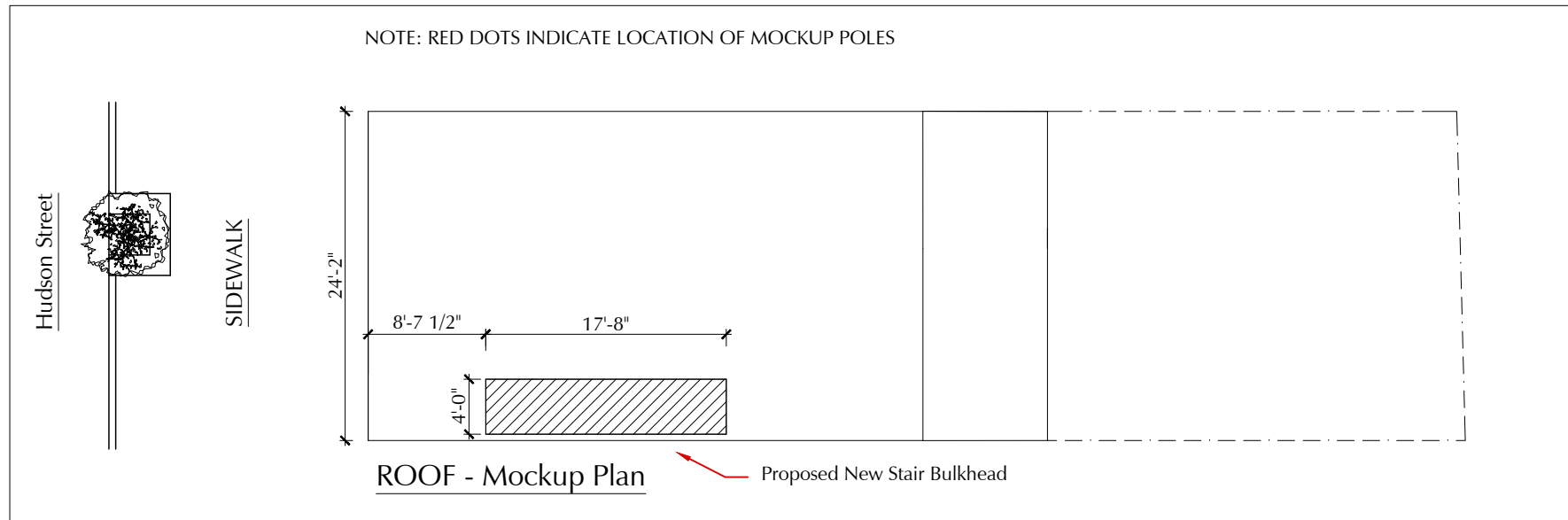


**1** PROPOSED SECTION B  
 SCALE: 3/32" = 1'-0"

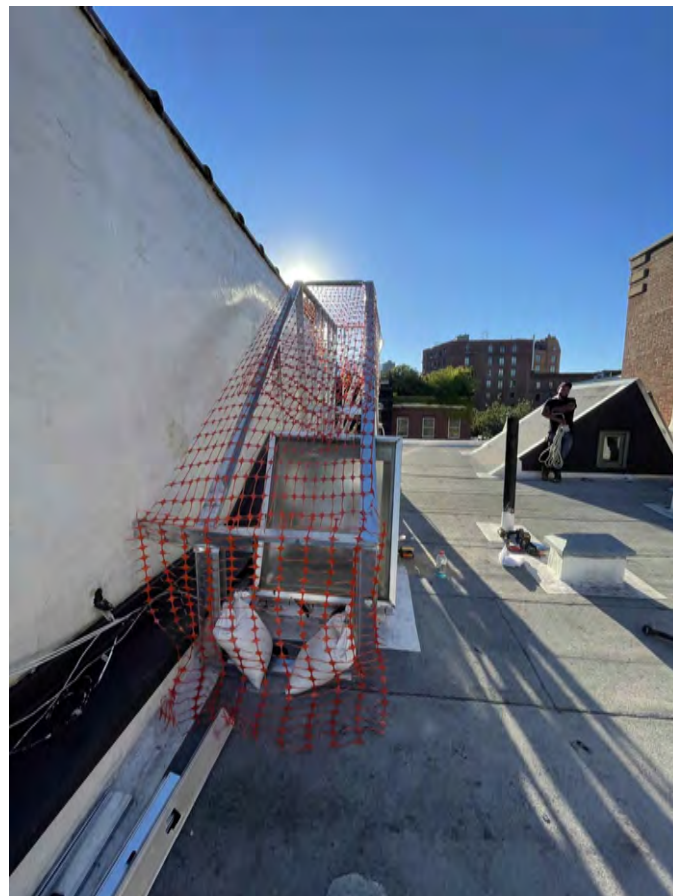
526 HUDSON STREET - NEW CONSTRUCTION SECTION

# 526 Hudson Street, New York, NY





Mockup @ Stair Bulkhead



Mockup @ Stair Bulkhead



Mockup @ Stair Bulkhead



Mockup @ Stair Bulkhead



Front of Stair Bulkhead  
Partially Visible



Photo - A

Front of Stair  
Bulkhead Visible



Photo - A (additional)

Front of Stair  
Bulkhead Visible



Photo - A (additional) - Rendered

Stair Bulkhead Visible



Photo - B

Stair Bulkhead Visible



Photo - C

Mockup Rendered  
Stair Bulkhead Visible



Photo - C

### Stair Bulkhead Mockup Photos



Photo - D

Stair Bulkhead Visible



Photo - D

Mockup Rendered Stair Bulkhead Visible



Photo - E

Stair Bulkhead Not Visible Through Tree



Photo - F

Stair Bulkhead Not Visible Through Tree

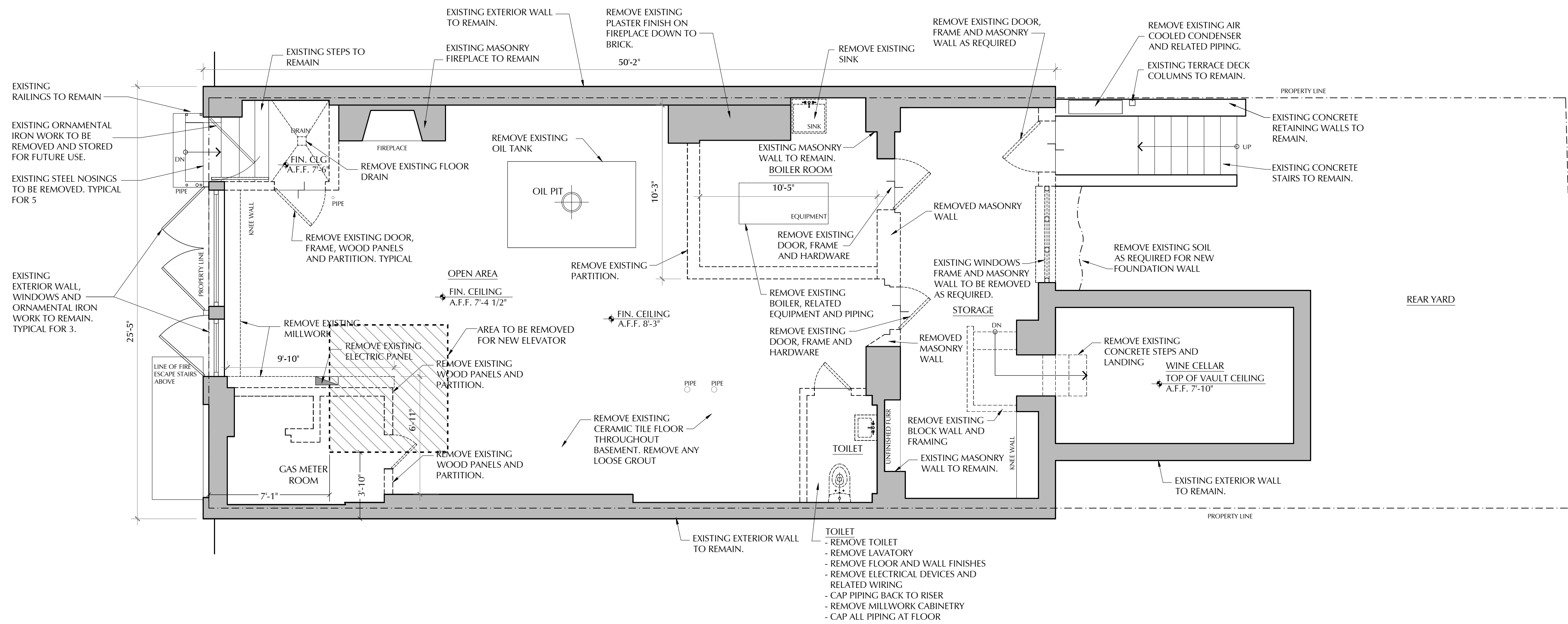


Photo - G

Stair Bulkhead Not Visible

### Stair Bulkhead Mockup Photos





**1 CELLAR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**1.0 DEMOLITION NOTES**  
**1.1 SCOPE**  
 A. WORK INCLUDED PERFORM DEMOLITION WORK AS SHOWN OR SPECIFIED AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.  
**1.2 REQUIREMENTS OF REGULATORY AGENCIES**  
 A. PERFORM DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE RULES REGULATIONS, CODES AND ORDINANCES OF LOCAL, STATE AND FEDERAL AUTHORITIES, AND IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLIC UTILITY CORPORATIONS HAVING JURISDICTION OVER THE WORK.  
 B. ANSI A 10.6. "SAFETY REQUIREMENTS FOR DEMOLITION" SHALL GOVERN EXCEPT AS OTHERWISE SPECIFIED HEREIN, WHERE THE REQUIREMENTS SPECIFIED HEREIN OR CONTAINED IN THE ANSI STANDARD DIFFER FROM THE REQUIREMENTS SHALL GOVERN THE WORK UNDER THIS CONTRACT.  
**1.3 JOB CONDITIONS**  
 A. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE STRUCTURES TO BE DEMOLISHED EXAMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK, AS FAR AS IT IS PRACTICAL.  
**1.4 PROTECTION**  
 A. PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURES DESIGNATED TO REMAIN, WHERE DEMOLITION, REMOVAL, AND NEW WORK IS BEING DONE MATERIALS HANDLED AS BEING MOVED.  
 B. PROVIDE WARNING SIGNS AND ALL OTHER ITEMS AS REQUIRED FOR THE PROPER PROTECTION OF WORKPERSONS ENGAGED IN DEMOLITION OPERATIONS. THE PUBLIC AND ADJACENT CONSTRUCTIONS.  
 C. PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REQUIREMENTS.  
 D. DO NOT CLOSE OR OBSTRUCT STREETS OR SIDEWALKS WITHOUT THE PROPER PERMITS, CONDUCT OPERATIONS WITH THE MINIMUM TRAFFIC INTERFERENCE.  
 E. MAKE SUCH EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL WORK. GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION.  
 F. DO NOT CLOSE OR OBSTRUCT WALKWAYS, PASSAGEWAYS, OR STAIRWAYS WITHOUT AUTHORIZATION OF THE OWNER. DO NOT STORE OR PLACE MATERIALS IN PASSAGEWAYS, STAIRS, OR OTHER MEANS OF EGRESS.  
 G. PROCEDURES SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.  
**1.5 DEMOLITION OPERATION**  
 A. EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISURBANCE TO THE PUBLIC AND NEIGHBORS, ETC.  
 B. IN GENERAL, DEMOLISH MASONRY IN SMALL SECTIONS. WHERE NECESSARY TO PREVENT THE COLLAPSE OF ANY CONSTRUCTION, INSTALL TEMPORARY SHORES, STRUTS, AND BRACING AS REQUIRED TO ENSURE CONTINUED STABILITY.  
 C. DEMOLITION AND REMOVAL WORK SHALL BE ON THE DRAWINGS AND AS REQUIRED TO MAKE WAY FOR NEW CONSTRUCTION. DO ALL SUCH WORK REQUIRED IN CONNECTION WITH THIS PROJECT WITH DUE CARE INCLUDING SHORING, BRACING, ETC. BE RESPONSIBLE FOR SUCH DAMAGE WHICH MAY BE CAUSED BY SUCH WORK OR PARTS OF THE EXISTING AND/OR ADJACENT STRUCTURE AND BUILDING SERVICES.  
 D. MATERIALS AND/OR ITEMS DESIGNATED ON DRAWINGS ARE TO REMAIN THE PROPERTY OF THE OWNER AND SHALL BE REMOVED WITH CARE AND STORED ON THE SITE DESIGNED BY THE OWNER; THIS IS INCLUSIVE OF ANY/ALL APPLIANCES WHICH SHALL BE SALVAGED AND READIED FOR TRANSPORT.  
 E. MATERIALS AND/OR ITEMS DEMOLISHED AND NOT DESIGNATED TO BECOME THE PROPERTY OF THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE OWNER PROPERTY.  
 F. TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT OR COLLAPSE OF ANY DESIGNATED CONSTRUCTION OR EQUIPMENT DESIGNATED TO REMAIN, AND BE LIABLE FOR SUCH MOVEMENT OR COLLAPSE.  
**1.6 NOISE CONTROL**  
 A. WORKPERSONS VOICE COMMUNICATION SHALL BE KEPT UNDER CONTROL AT ALL TIMES.  
 B. NOISE MITIGATION PLAN AND ANY RELATED SITE SAFETY COMPLIANCE NOTICES ARE TO BE POSTED AND MAINTAINED AS CURRENT.  
**1.7 CLEANING UP**  
 A. UPON COMPLETION OF ALL WORK UNDER THIS SECTION. REMOVE ALL TOOLS, MATERIALS, PLANT APPARATUS AND RUBBISH OF ANY SORT. THE PREMISES SHALL BE LEFT BROOM CLEAN.  
**2.0 PATCHING & CUTTING**  
 A. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING, AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND IT FITS TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS AS SHOWN UPON OR REASONABLY IMPLIED BY THE DRAWINGS AND NOTES.  
 B. THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUTOUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK.  
 C. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES INCLUDING CORNER BEADS, STOPS, ETC. FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES WHEREVER DOOR BUCKS HAVE BEEN MOVED AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST CLASS FINISHED INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED OR IF BEYOND REPAIRING. THEN THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF THE ARCHITECT.  
 D. ALL OTHER DAMAGED SURFACED FINISHED FLOOR CEILING, ETC. SHALL BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.  
 E. ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWING SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT ARE AS IN MATERIALS, FIRE RATING, FINISH AND COLOR UNLESS OTHERWISE NOTED.  
**3.0 ASBESTOS NOTES**  
 ASBESTOS PRESENT IN THE BUILDING IS TO BE SELECTIVELY DEMOLISHED. A REPORT ON THE PRESENCE OF ASBESTOS IS ON FILE FOR REVIEW AND USE. EXAMINE THE REPORT TO BECOME AWARE OF LOCATIONS WHERE ASBESTOS IS PRESENT.  
 A. ASBESTOS ABATEMENT IS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.  
 B. DO NOT DISTURB ASBESTOS OR ANY MATERIAL SUSPECTED OF CONTAINING ASBESTOS EXCEPT UNDER THE PROCEDURES SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.

**REFERENCE SYMBOLS**

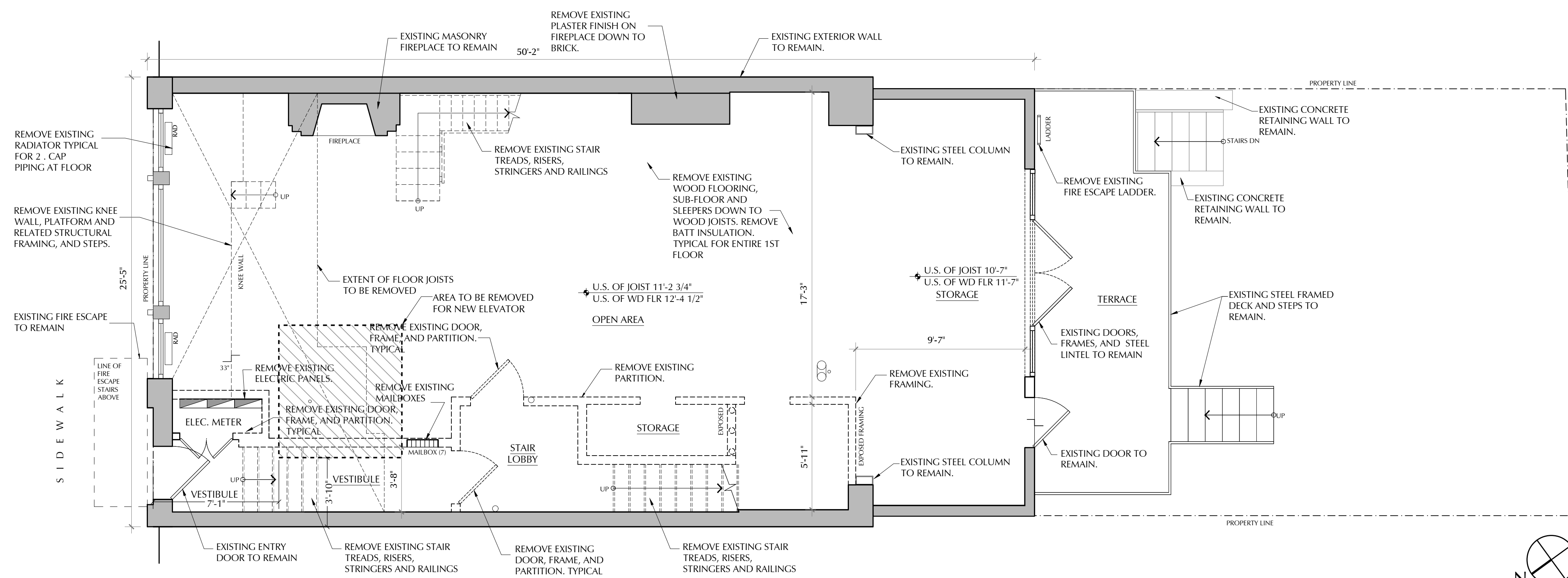
ROOM #	ROOM #		
XX'	CEILING HEIGHT	-FINISH SYMBOL	
XXX	FLOOR FINISH	WALL FINISH	
	CEILING FINISH		

**DRAWING LEGEND**

	-EXIST. WALL TO REMAIN
	-EXIST. WALL TO BE REMOVED
	-NEW WALL TYPE
	-HARD WIRE SMOKE/CARBON MONOXIDE DETECTOR
	-EXIT SIGN
	-FIRE PROOF SELF-CLOSING
	-NOT IN CONTRACT

**1.0 CONSTRUCTION PLAN**  
SCALE:

5'-0"



**2 1ST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

MICHAEL ZENREICH, PC  
ARCHITECT  
149 West 36th Street, 7 Fl.  
New York, N.Y. 10018  
Tel. (212) 242-7440

**526 HUDSON STREET  
NEW YORK, NY 10021**  
BUILDING RENOVATION

CLIENT:  
C/o Our Neighborhood Place  
526 Hudson Street  
New York, NY 1001

MEP ENGINEER:  
HH Design  
Consulting, LTD.  
1751 Second Avenue, 201  
New York, NY 10128

STRUCTURAL ENGINEER:  
Old Structures  
90 Broad St, 15th Floor  
New York, NY 10004

ELEVATOR COMPANY:  
Metropolitan Elevator  
330 West 38th Street, Suite 903  
New York, NY 10018

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022

Drawn By: RC / JW  
Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.



Location:  
**526 Hudson Street  
New York, NY 10021**

Title:  
**BASEMENT & 1ST FL  
DEMOLITION PLANS**

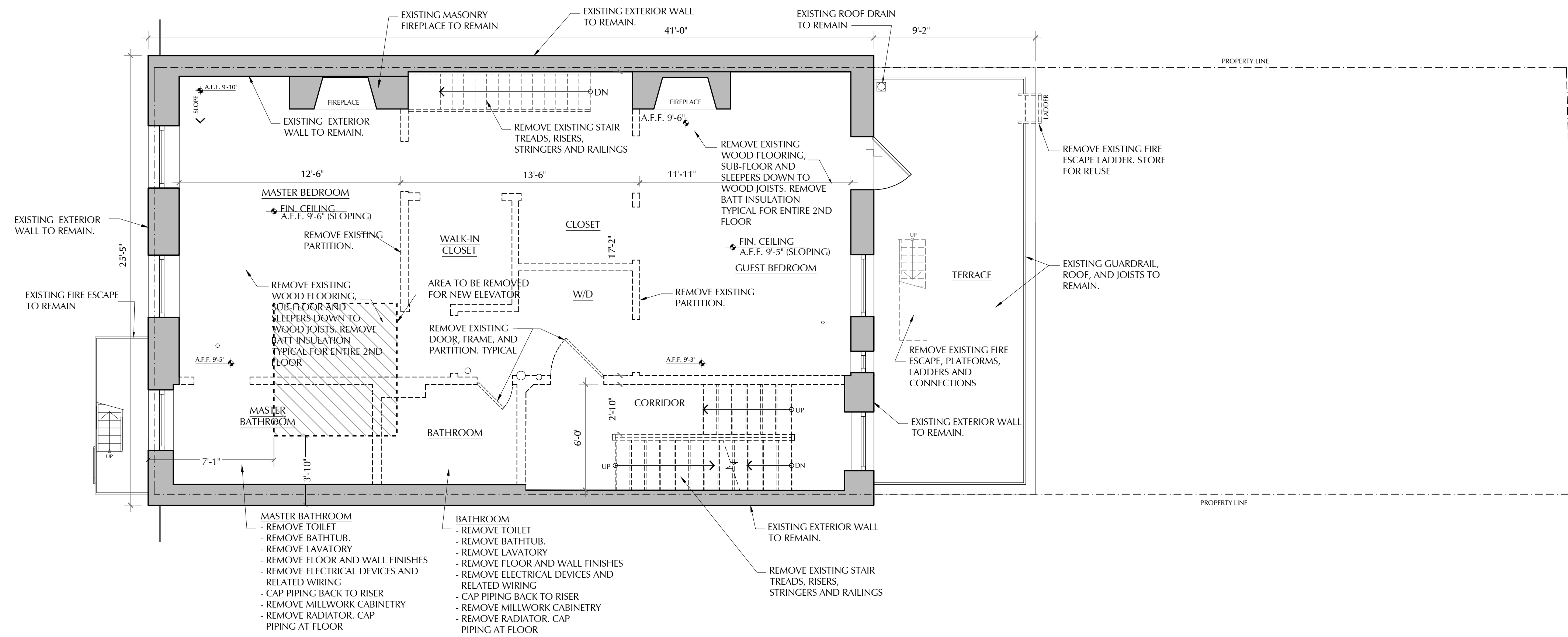
Date: 04.24.2022  
Scale: As Noted  
Project #: 2022 - 26  
Drawing No.:

**DM-101.00**

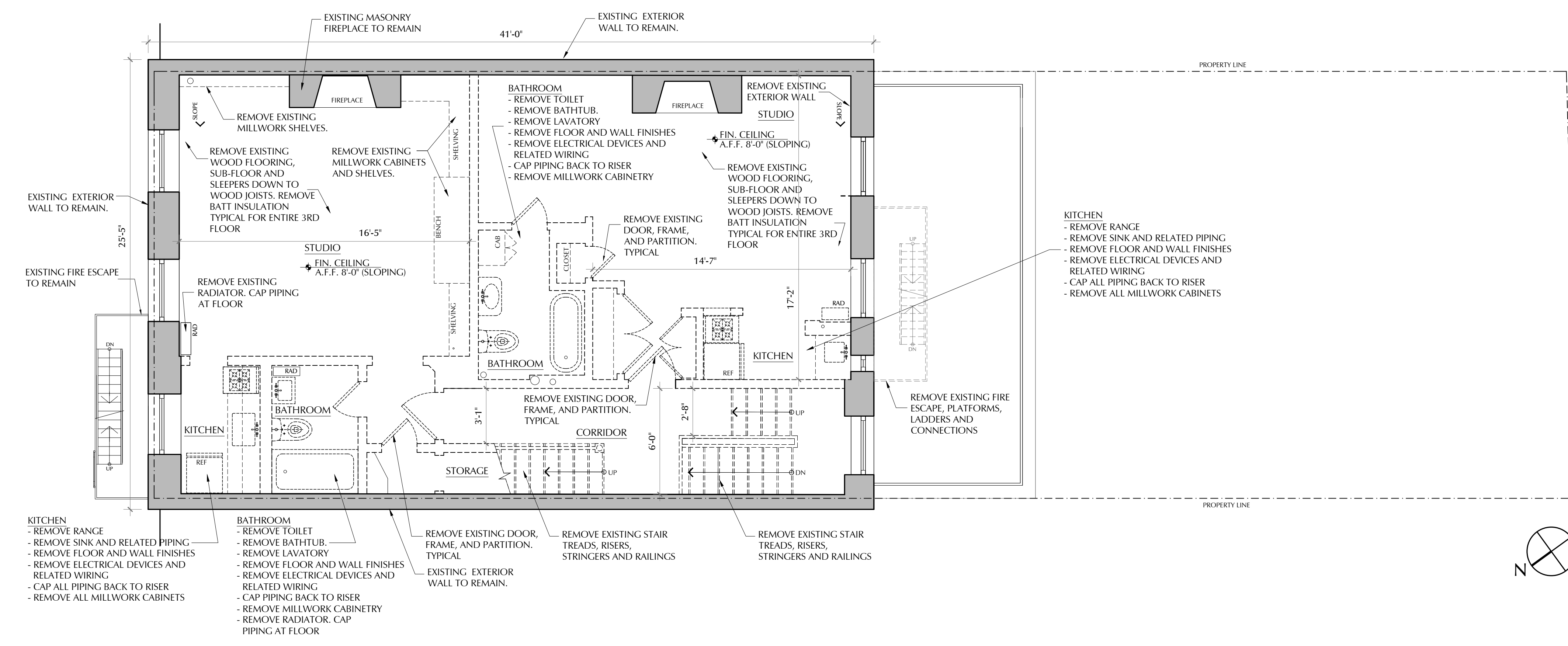
DOB Job#:  
M00776650-11

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 2ND FLOOR DEMOLITION PLAN  
 SCALE: 1/4"=1'-0"



2 3RD FLOOR DEMOLITION PLAN  
 SCALE: 1/4"=1'-0"

REFERENCE SYMBOLS

ROOM #	ROOM #	
XXX	CEILING HEIGHT	-FINISH SYMBOL
XXX	FLOOR FINISH	
	WALL FINISH	
	CEILING FINISH	

1 CONSTRUCTION PLAN -DRAWING TITLE  
 SCALE:

⊕ -PLAN NORTH

— — — -PROPERTY LINE

5'-0" -DIMENSION LINE

DRAWING LEGEND

EX	-EXIST. WALL TO REMAIN
---	-EXIST. WALL TO BE REMOVED
◆	-NEW WALL TYPE
SC	-HARD WIRE SMOKE/CARBON MONOXIDE DETECTOR
⊗	-EXIT SIGN
FPSC	-FIRE PROOF SELF CLOSING
▨	-NOT IN CONTRACT

Drawn By: RC / JW  
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.



Location :  
 526 Hudson Street  
 New York, NY 10021

Title:  
 2ND & 3RD FLOOR  
 DEMOLITION PLANS

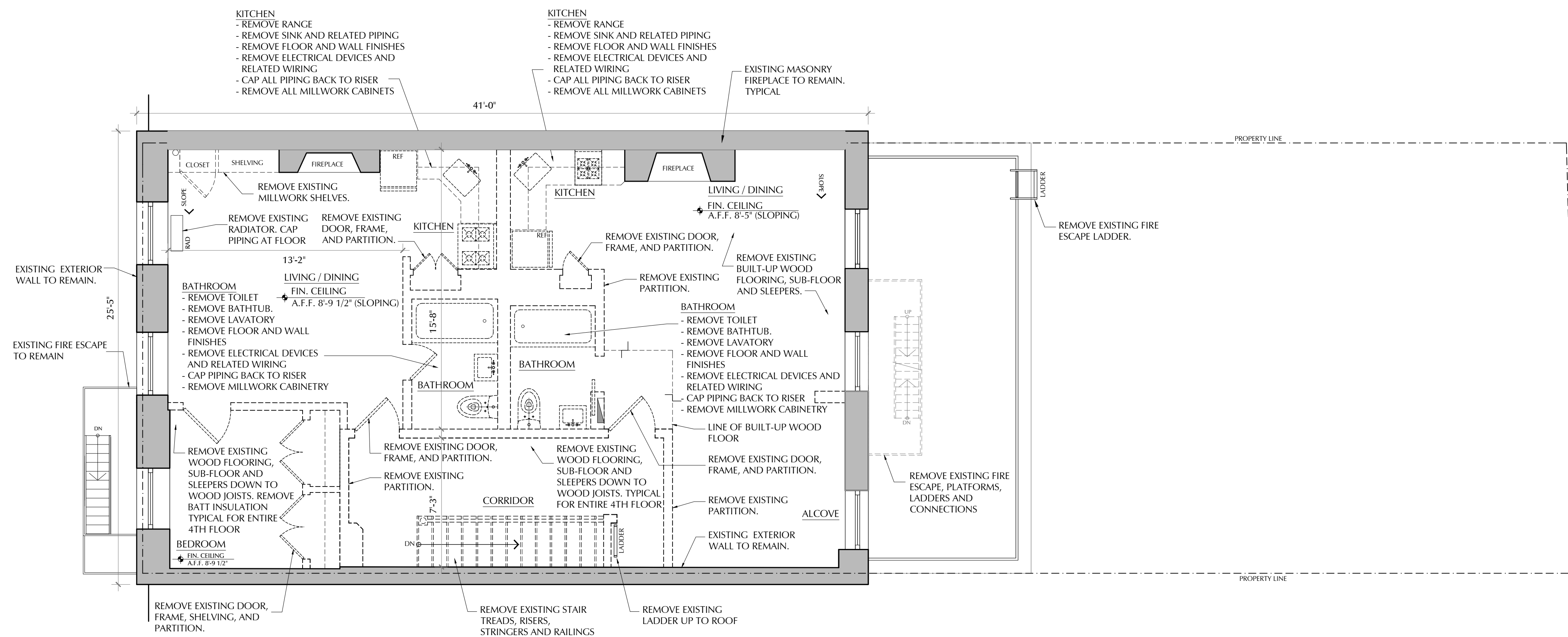
Date: 04.24.2022  
 Scale: As Noted  
 Project #: 2022 - 26  
 Drawing No.:

DM-102.00

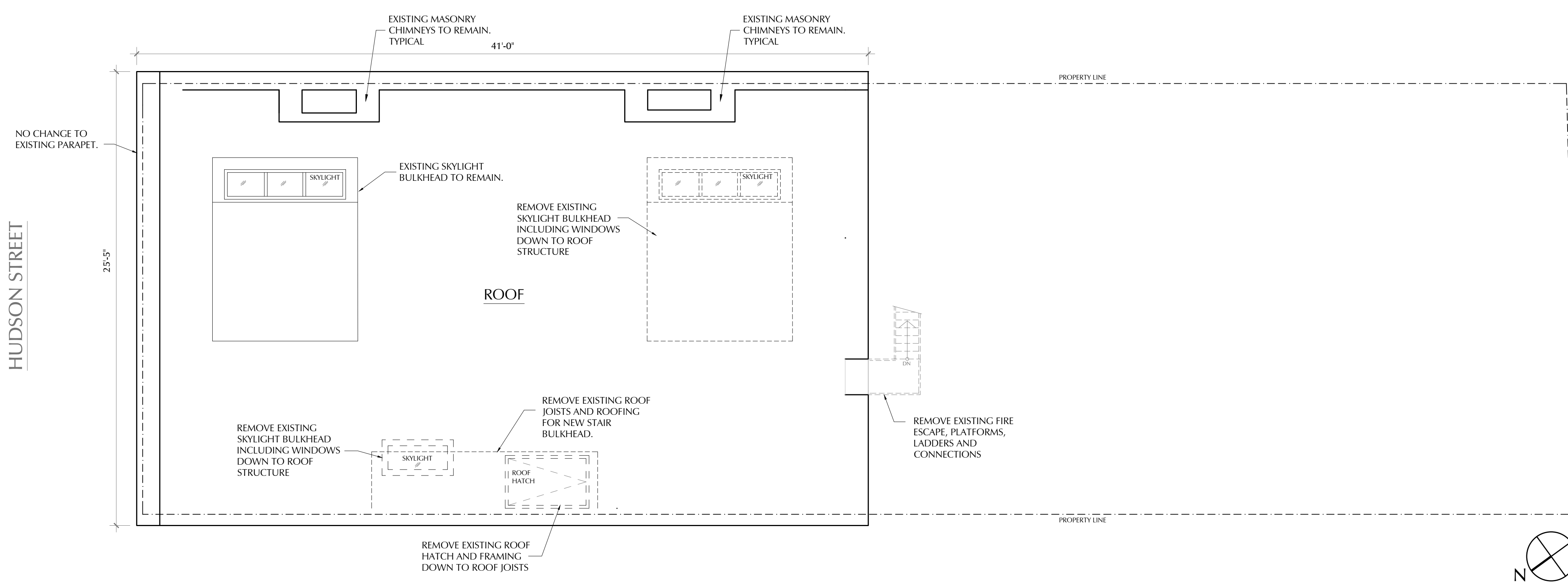
DOB Job#:  
 M00776650-11

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 4TH FLOOR DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0"



2 ROOF DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0"

REFERENCE SYMBOLS

ROOM NAME	ROOM #	CEILING HEIGHT	FLOOR FINISH	WALL FINISH	CEILING FINISH
XXX	XXX	XXX'	XXX	XXX	XXX

1 CONSTRUCTION PLAN  
 SCALE: 1/4" = 1'-0"

⊕ - PLAN NORTH  
 - - - - - PROPERTY LINE  
 --- DIMENSION LINE

DRAWING LEGEND

EX	-EXIST. WALL TO REMAIN
---	-EXIST. WALL TO BE REMOVED
◆	-NEW WALL TYPE
⊙	-HARD WIRE SMOKE/CARBON MONOXIDE DETECTOR
⊗	-EXIT SIGN
FPSC	-FIRE PROOF SELF CLOSING
▨	-NOT IN CONTRACT

Drawn By: RC / JW  
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:



Location :  
 526 Hudson Street  
 New York, NY 10021

Title:  
 4TH FLOOR & ROOF  
 DEMOLITION PLANS

Date: 04.24.2022  
 Scale: As Noted  
 Project #: 2022 - 26  
 Drawing No.:

DM-103.00

DOB Job#:  
 M00776650-11

CLIENT:  
 C/o Our Neighborhood Place  
 526 Hudson Street  
 New York, NY 10011

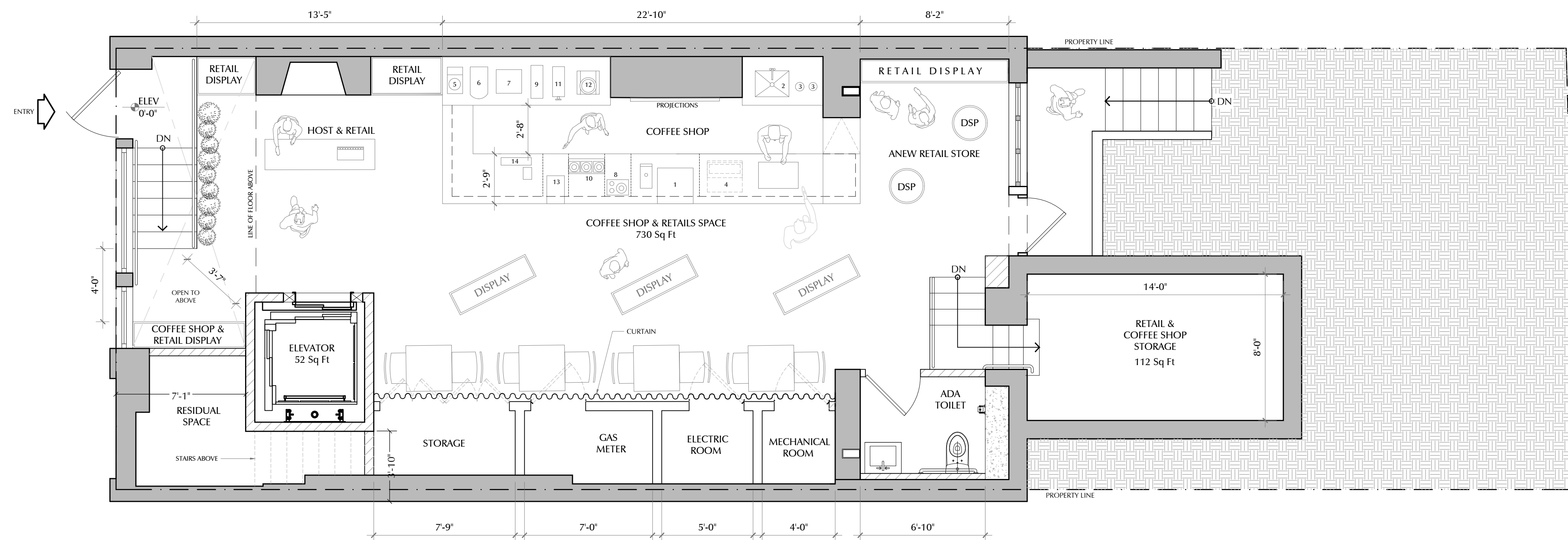
MEP ENGINEER:  
 HH Design  
 Consulting, LTD.  
 1751 Second Avenue, 201  
 New York, NY 10128

STRUCTURAL ENGINEER:  
 Old Structures  
 90 Broad St, 15th Floor  
 New York, NY 10004

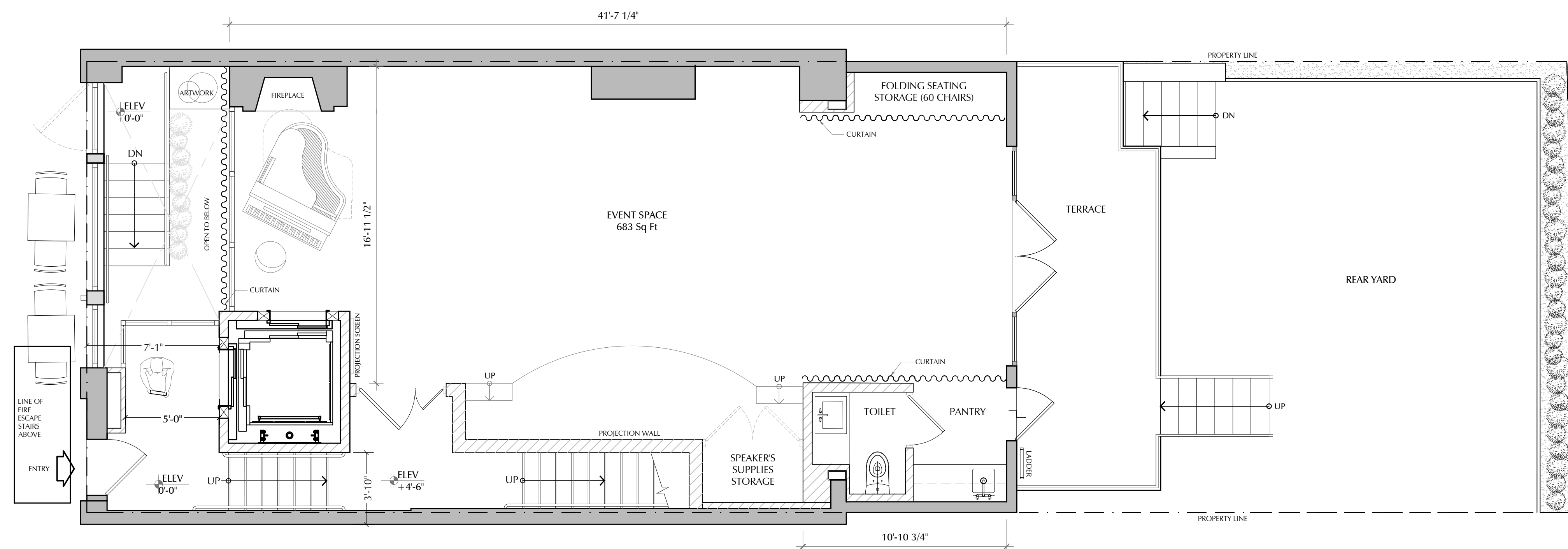
ELEVATOR COMPANY:  
 Metropolitan Elevator  
 330 West 38th Street, Suite 903  
 New York, NY 10018

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



**1 CELLAR FLOOR CONSTRUCTION PLAN**  
 SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR CONSTRUCTION PLAN**  
 SCALE: 1/4" = 1'-0"

- EXIST'G PARTITION TO REMAIN
- NEW FRAMED PARTITION
- NEW FRAMED 2 HOUR RATED PARTITION
- NEW CMU WALL

Drawn By: RC / JW  
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:



Location:  
**526 Hudson Street  
 New York, NY 10021**

Title:

**BASEMENT & FIRST FL  
 CONSTRUCTION PLANS**

Date: 04.24.2022  
 Scale: As Noted  
 Project #: 2022 - 26  
 Drawing No.:

**A-101.00**

DOB Job#:  
 M00776650-11

MICHAEL ZENREICH, PC  
 ARCHITECT  
 149 West 36th Street, 7 Fl.  
 New York, N.Y. 10018  
 Tel. (212) 242-7440

**526 HUDSON STREET  
 NEW YORK, NY 10021**  
 BUILDING RENOVATION

CLIENT:  
 C/o Our Neighborhood Place  
 526 Hudson Street  
 New York, NY 1001

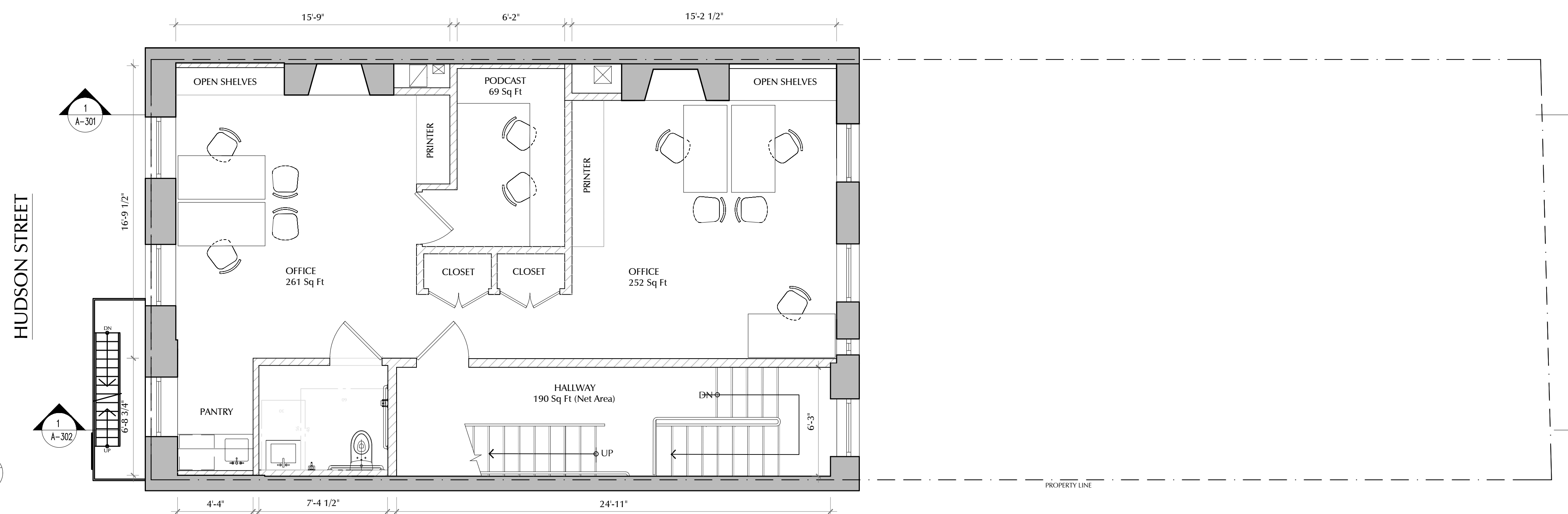
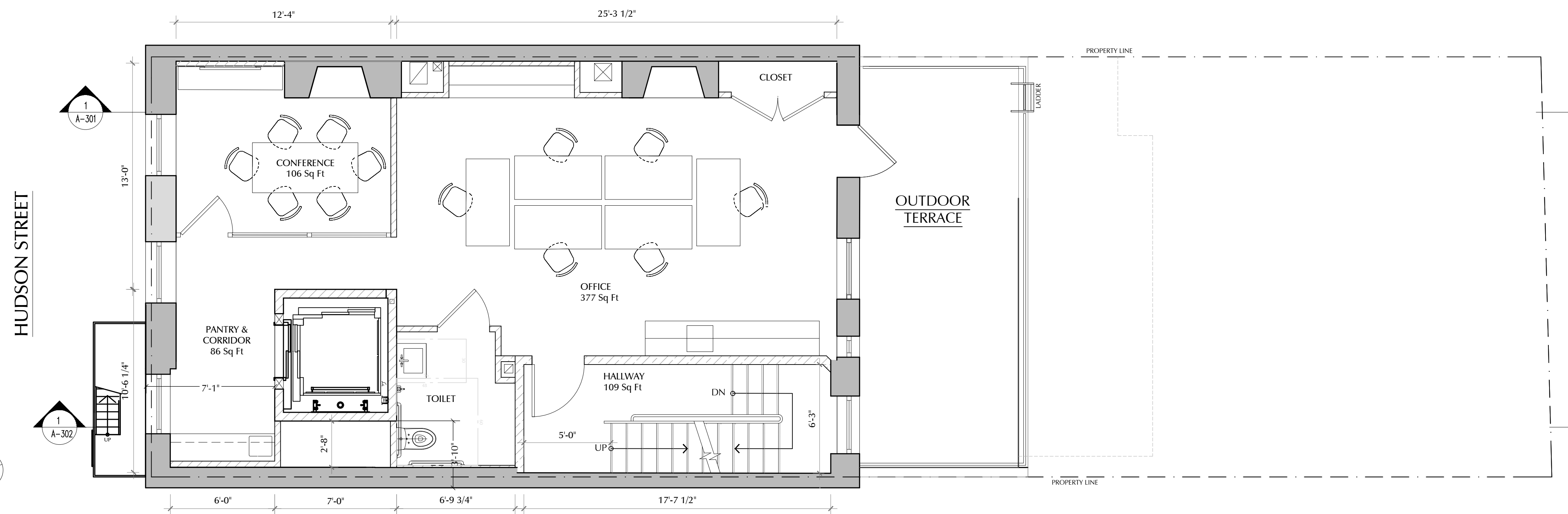
MEP ENGINEER:  
 HH Design  
 Consulting, LTD.  
 1751 Second Avenue, 201  
 New York, NY 10128

STRUCTURAL ENGINEER:  
 Old Structures  
 90 Broad St, 15th Floor  
 New York, NY 10004

ELEVATOR COMPANY:  
 Metropolitan Elevator  
 330 West 38th Street, Suite 903  
 New York, NY 10018

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



- EXIST'G PARTITION TO REMAIN
- NEW FRAMED PARTITION
- NEW FRAMED 2 HOUR RATED PARTITION
- NEW CMU WALL

Drawn By: RC / JW  
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:



Location :  
**526 Hudson Street  
 New York, NY 10021**

Title:  
**SECOND & THIRD FL  
 CONSTRUCTION PLANS**

Date: **04.24.2022**  
 Scale: **As Noted**  
 Project #: **2022 - 26**  
 Drawing No.:

**A-102.00**

DOB Job#:  
 M00776650-11



MICHAEL ZENREICH, PC  
 ARCHITECT  
 149 West 36th Street, 7 Fl.  
 New York, N.Y. 10018  
 Tel. (212) 242-7440

**526 HUDSON STREET  
 NEW YORK, NY 10021**  
 BUILDING RENOVATION

CLIENT:  
 C/o Our Neighborhood Place  
 526 Hudson Street  
 New York, NY 1001

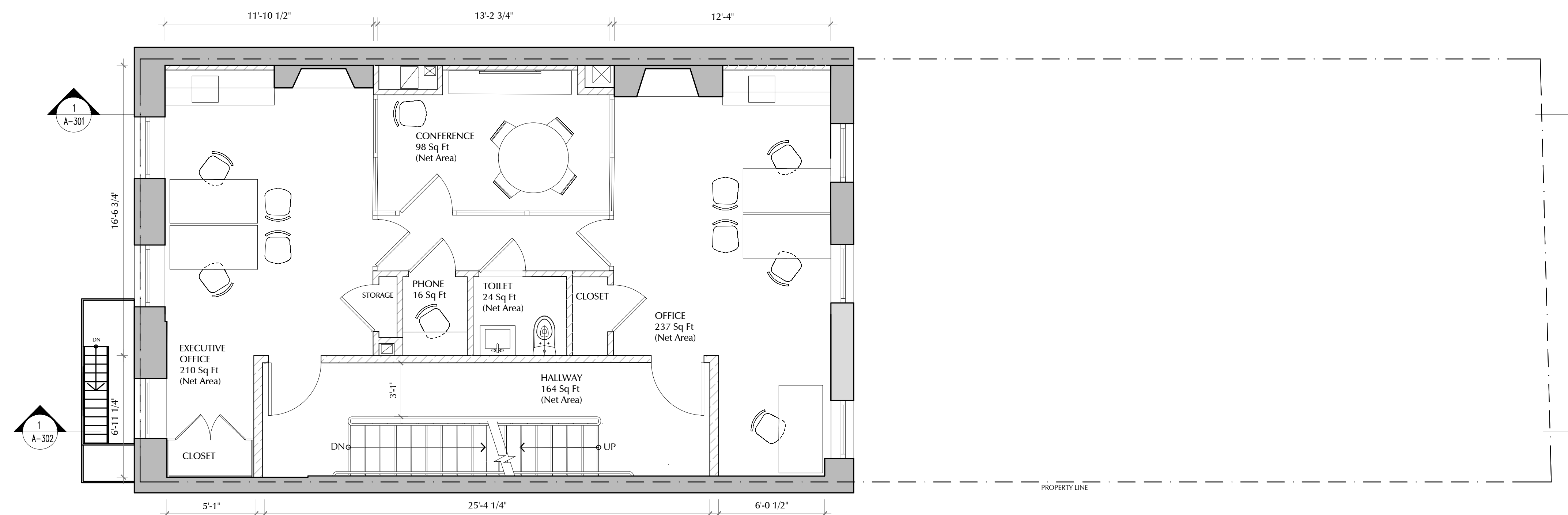
MEP ENGINEER:  
 HH Design  
 Consulting, LTD.  
 1751 Second Avenue, 201  
 New York, NY 10128

STRUCTURAL ENGINEER:  
 Old Structures  
 90 Broad St, 15th Floor  
 New York, NY 10004

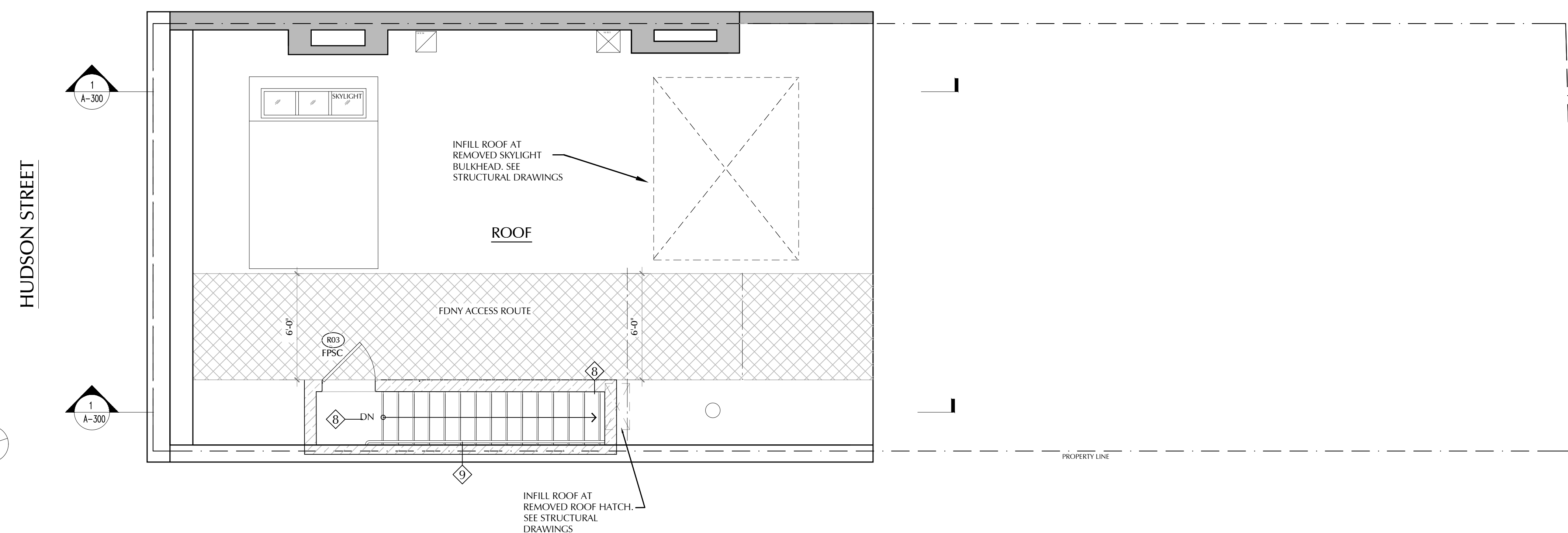
ELEVATOR COMPANY:  
 Metropolitan Elevator  
 330 West 38th Street, Suite 903  
 New York, NY 10018

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



**1 FOURTH FLOOR CONSTRUCTION PLAN**  
 SCALE: 1/4"=1'-0"



**2 ROOF FLOOR CONSTRUCTION PLAN**  
 SCALE: 1/4"=1'-0"

- EXIST'G PARTITION TO REMAIN
- NEW FRAMED PARTITION
- NEW FRAMED 2 HOUR RATED PARTITION
- NEW CMU WALL

Drawn By: RC / JW  
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:



Location :  
**526 Hudson Street  
 New York, NY 10021**

Title:  
**FOURTH FL & ROOF  
 CONSTRUCTION PLANS**

Date: **04.24.2022**  
 Scale: **As Noted**  
 Project #: **2022 - 26**  
 Drawing No.:

**A-103.00**

DOB Job#:  
**M00776650-11**

CLIENT:  
 C/o Our Neighborhood Place  
 526 Hudson Street  
 New York, NY 1001

MEP ENGINEER:  
 HH Design  
 Consulting, LTD.  
 1751 Second Avenue, 201  
 New York, NY 10128

STRUCTURAL ENGINEER:  
 Old Structures  
 90 Broad St, 15th Floor  
 New York, NY 10004

ELEVATOR COMPANY:  
 Metropolitan Elevator  
 330 West 38th Street, Suite 903  
 New York, NY 10018

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022

Drawn By: RC / JW  
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:

Location :

**526 Hudson Street  
 New York, NY 10021**

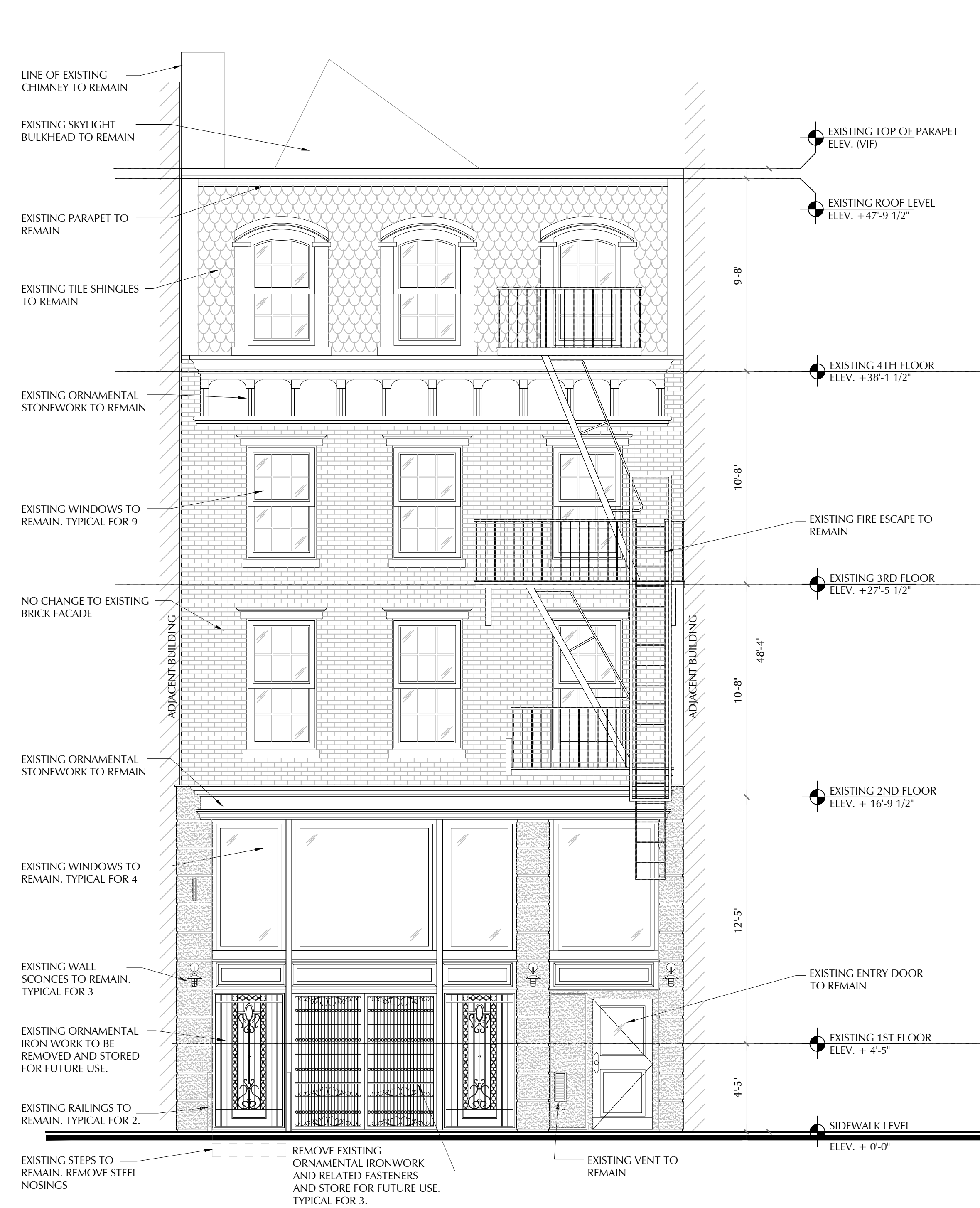
Title:

**FRONT ELEVATIONS**

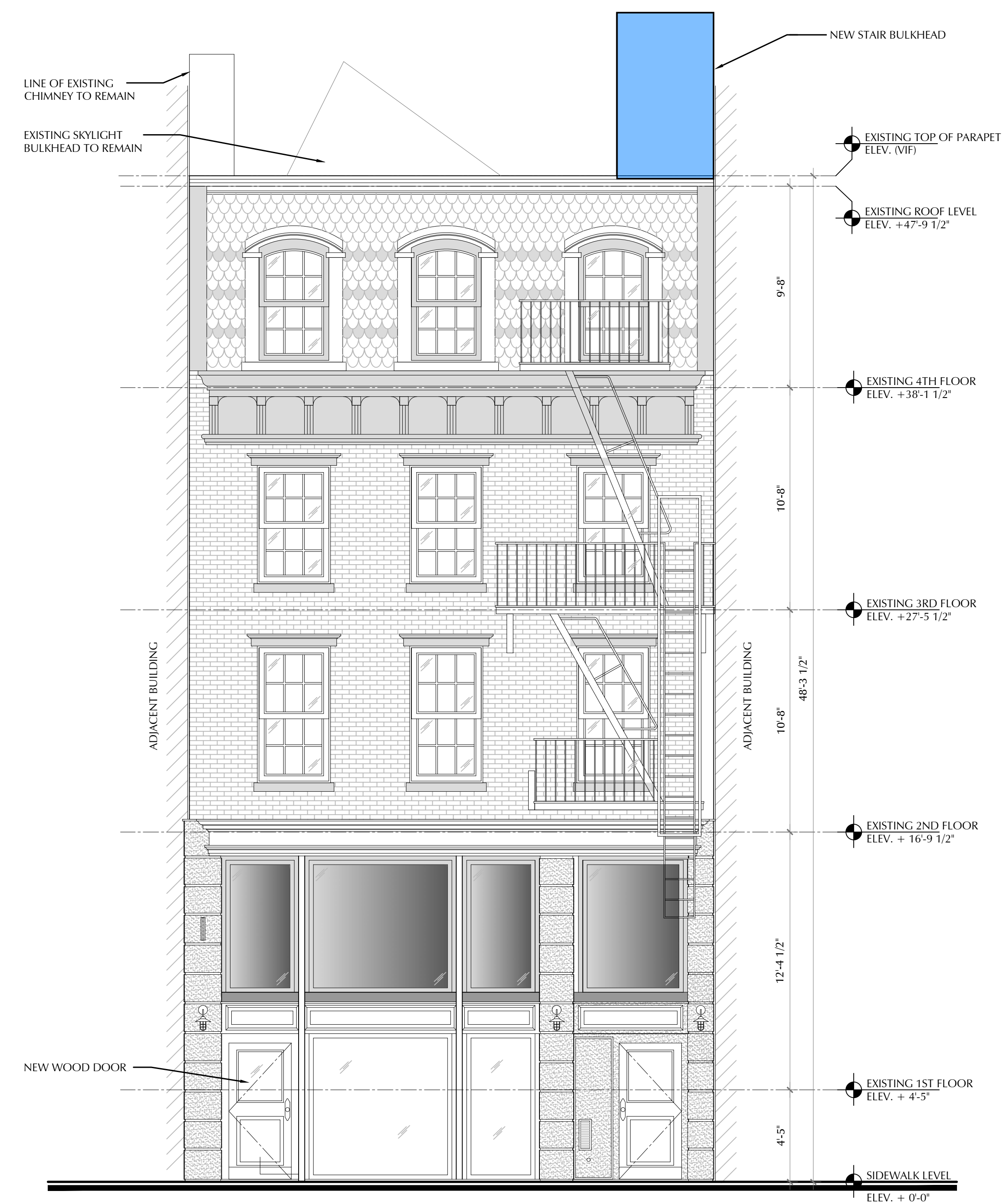
Date: 15.07.2022  
 Scale: As Noted  
 Project #: 2022 - 26  
 Drawing No.:

**A-301.00**

DOB Job#:



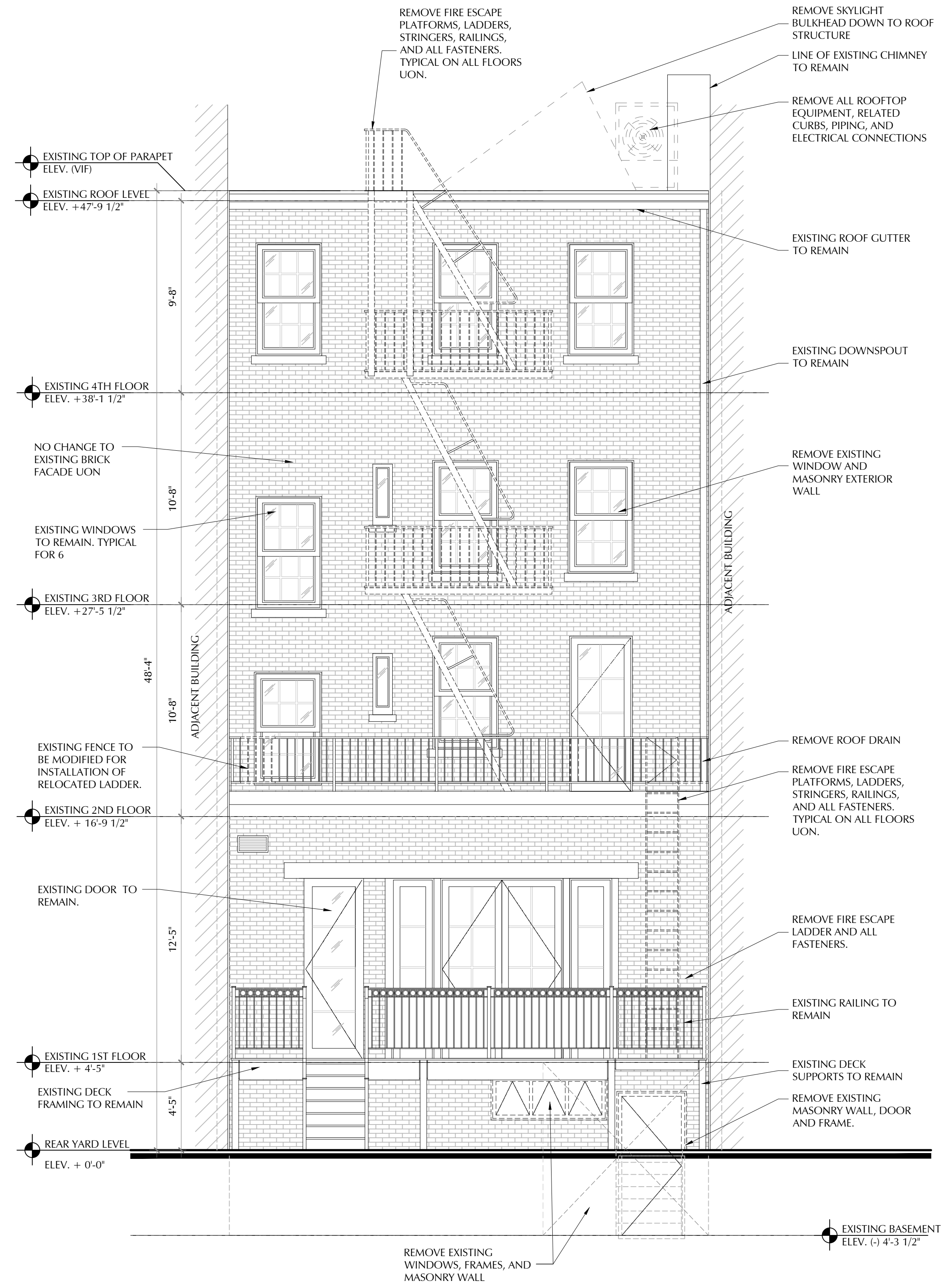
**1 FRONT FACADE - EXISTING & DEMO**  
 SCALE: 1/4"=1'-0"



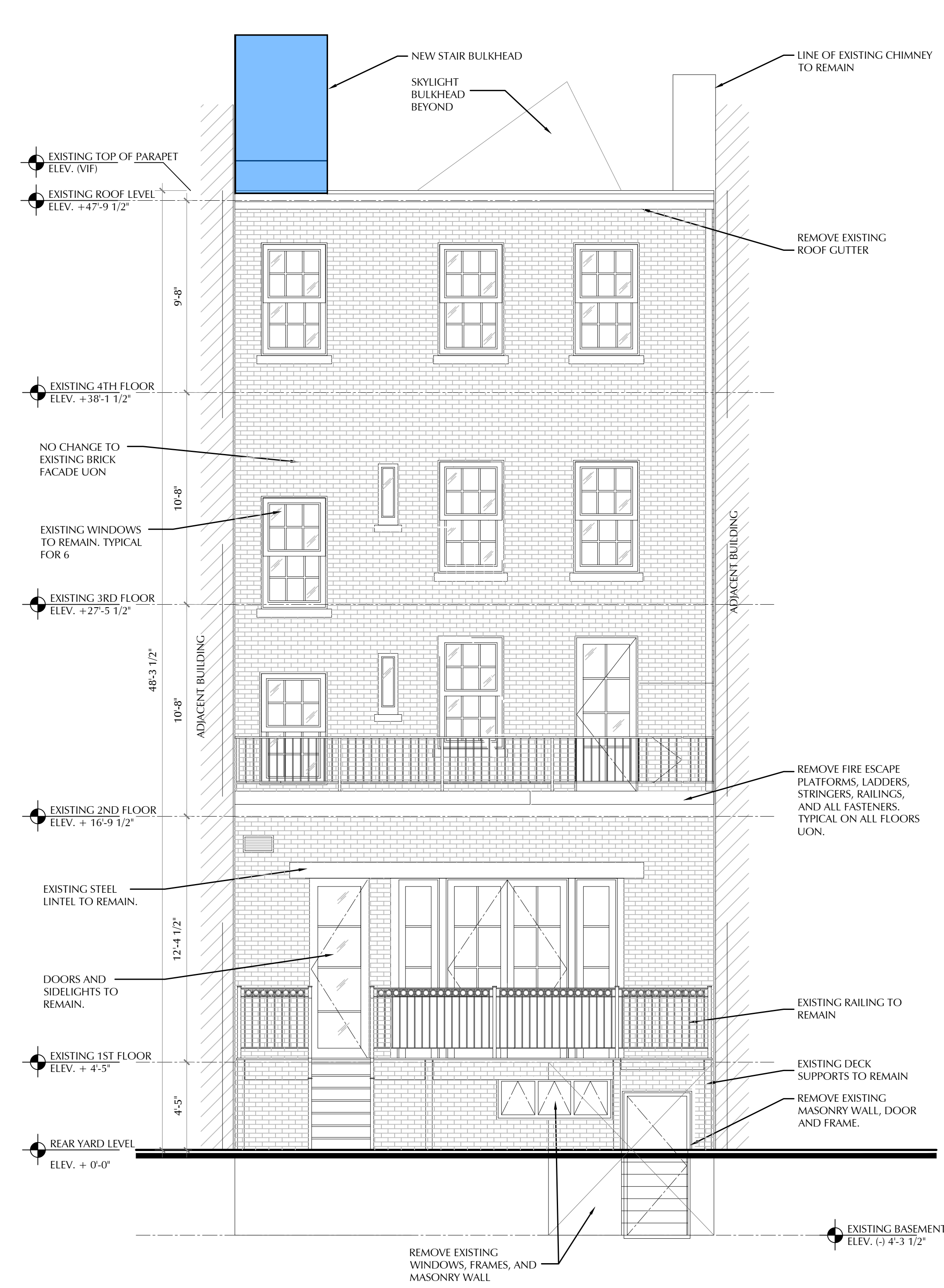
**2 FRONT FACADE - PROPOSED**  
 SCALE: 1/4"=1'-0"

ALL RIGHTS RESERVED. ALL DRAWING SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN HIS PROPERTY. THEY ARE NOT TO BE USED ON THIS OR ANY OTHER PROJECT UNLESS WRITTEN PERMISSION IS GIVEN BY MICHAEL ZENREICH, AIA.

Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022



**1 REAR FACADE - EXISTING & DEMO**  
 SCALE: 1/4"=1'-0"



**2 REAR FACADE - PROPOSED**  
 SCALE: 1/4"=1'-0"

Drawn By: RC / JW  
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:

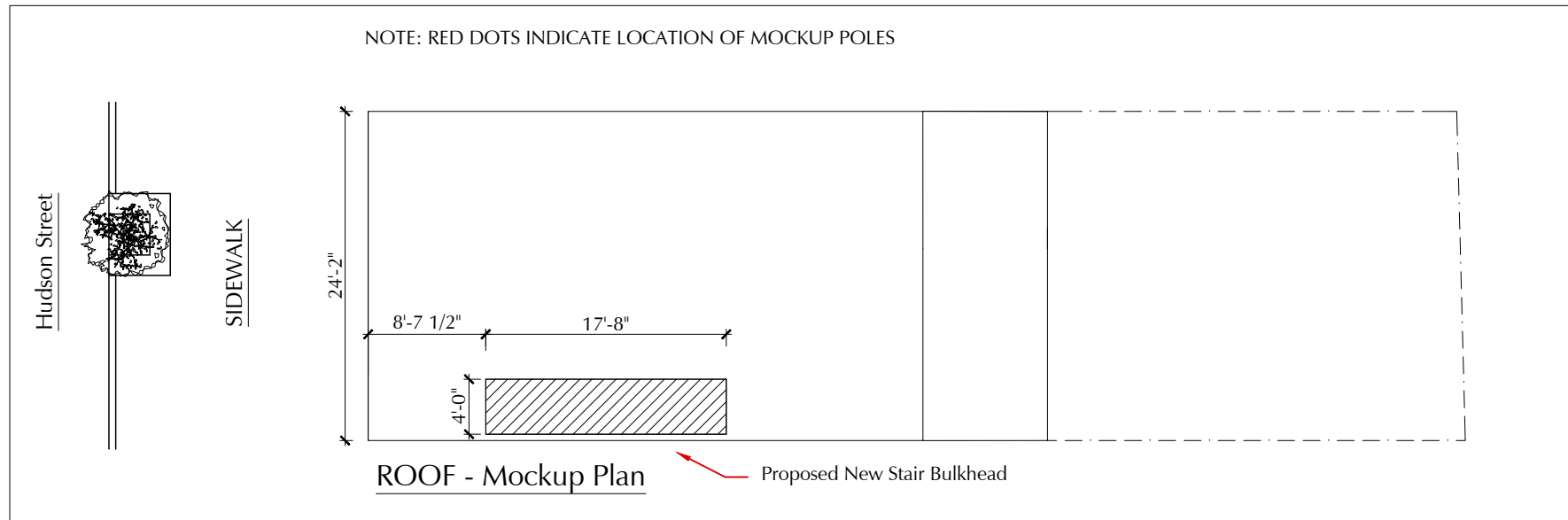
Location :  
**526 Hudson Street  
 New York, NY 10021**

Title:  
**REAR ELEVATIONS**

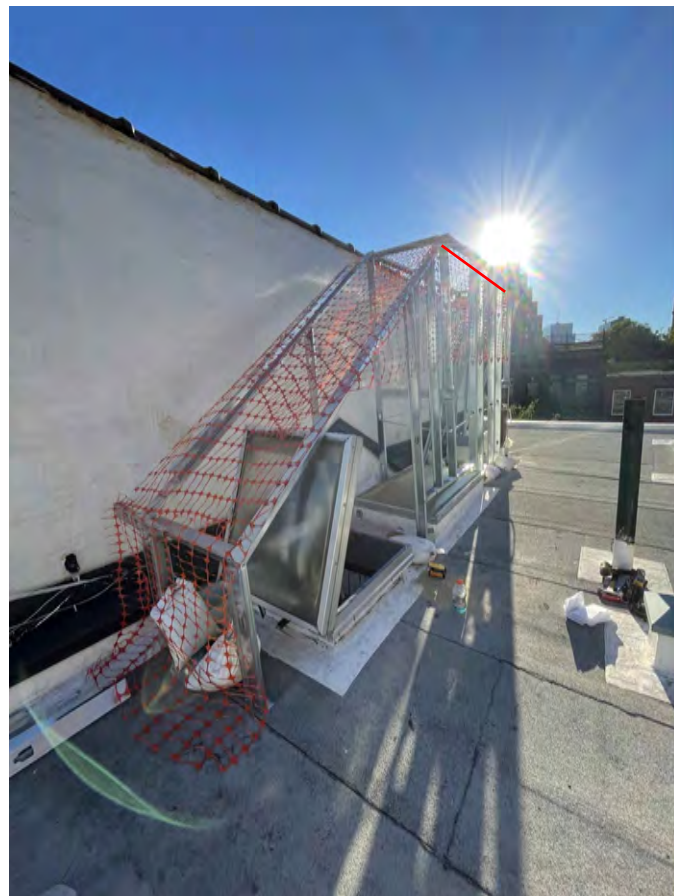
Date: 07.19.2022  
 Scale: As Noted  
 Project #: 2022 - 26  
 Drawing No.:

**A-302.00**

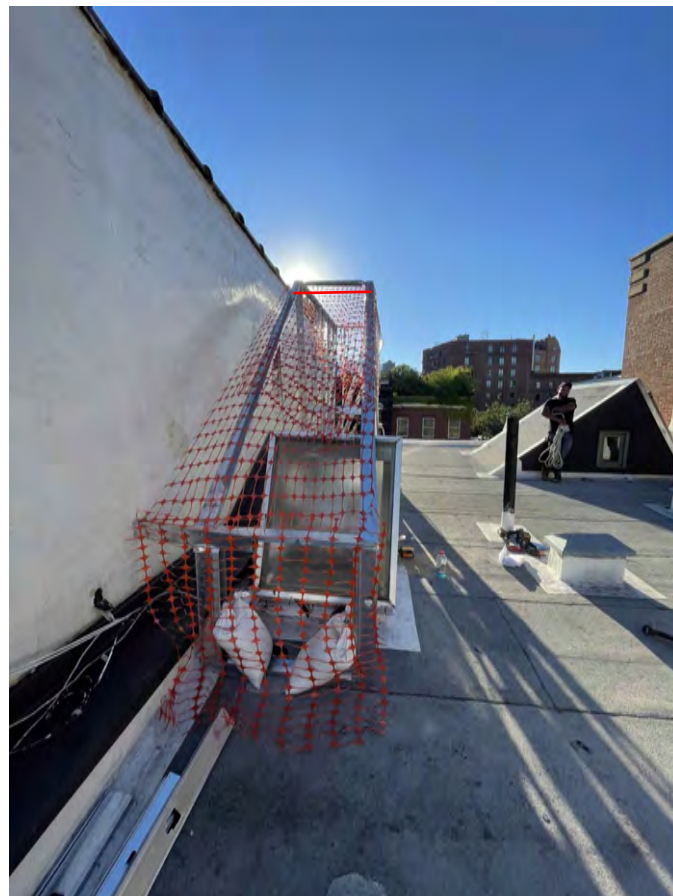
DOB Job#:



NOTE: MOCKUP ORIGINALLY CONSTRUCTED AT 8'-8" ABOVE FINISHED ROOF, REVISED DESIGN SHOWS MOCKUP AT 8'-0" ABOVE FINISHED ROOF INDICATED BY RED LINES ON MOCKUP



Mockup @ Stair Bulkhead



Mockup @ Stair Bulkhead



Mockup @ Stair Bulkhead



Mockup @ Stair Bulkhead

Front of Stair Bulkhead  
Partially Visible



Photo - A

Front of Stair  
Bulkhead Visible



Photo - A (additional)

Front of Stair  
Bulkhead Visible

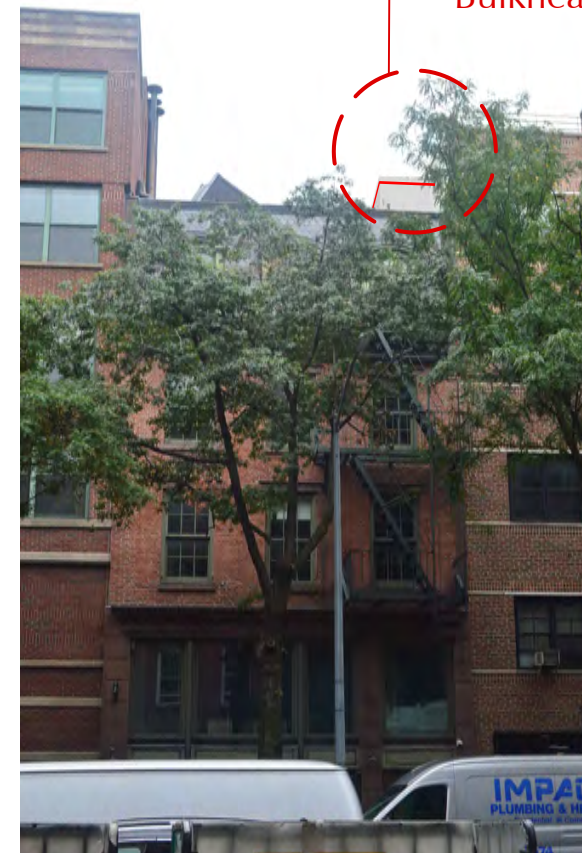


Photo - A (additional) - Rendered

NOTE: MOCKUP  
ORIGINALLY  
CONSTRUCTED  
AT 8'-8" ABOVE  
FINISHED ROOF,  
REVISED DESIGN  
SHOWS MOCKUP  
AT 8'-0" ABOVE  
FINISHED ROOF  
INDICATED BY  
RED LINES ON  
MOCKUP

Stair Bulkhead Visible



Photo - B

Stair Bulkhead Visible



Photo - C

Mockup Rendered  
Stair Bulkhead Visible



Photo - C

### Stair Bulkhead Mockup Photos



Photo - D

Stair Bulkhead  
Visible



Photo - D

Mockup Rendered  
Stair Bulkhead  
Visible

NOTE: MOCKUP  
ORIGINALLY  
CONSTRUCTED  
AT 8'-8" ABOVE  
FINISHED ROOF,  
REVISED DESIGN  
SHOWS MOCKUP  
AT 8'-0" ABOVE  
FINISHED ROOF  
INDICATED BY  
RED LINES ON  
MOCKUP



Photo - E

Stair Bulkhead Not  
Visible Through Tree



Photo - F

Stair Bulkhead Not  
Visible Through Tree



Photo - G

Stair Bulkhead Not  
Visible

### Stair Bulkhead Mockup Photos

The current proposal is:

Preservation Department – Item 7, LPC-23-00600

## **526 Hudson Street – Greenwich Village Historic District Borough of Manhattan**

To Testify Please Join Zoom

**Webinar ID:** 846 5008 0041

**Passcode:** 554001

By Phone: 1 646-558-8656 US (New York)

877-853-5257 (Toll free) US

888 475 4499 (Toll free)

**Note:** If you want to testify on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.