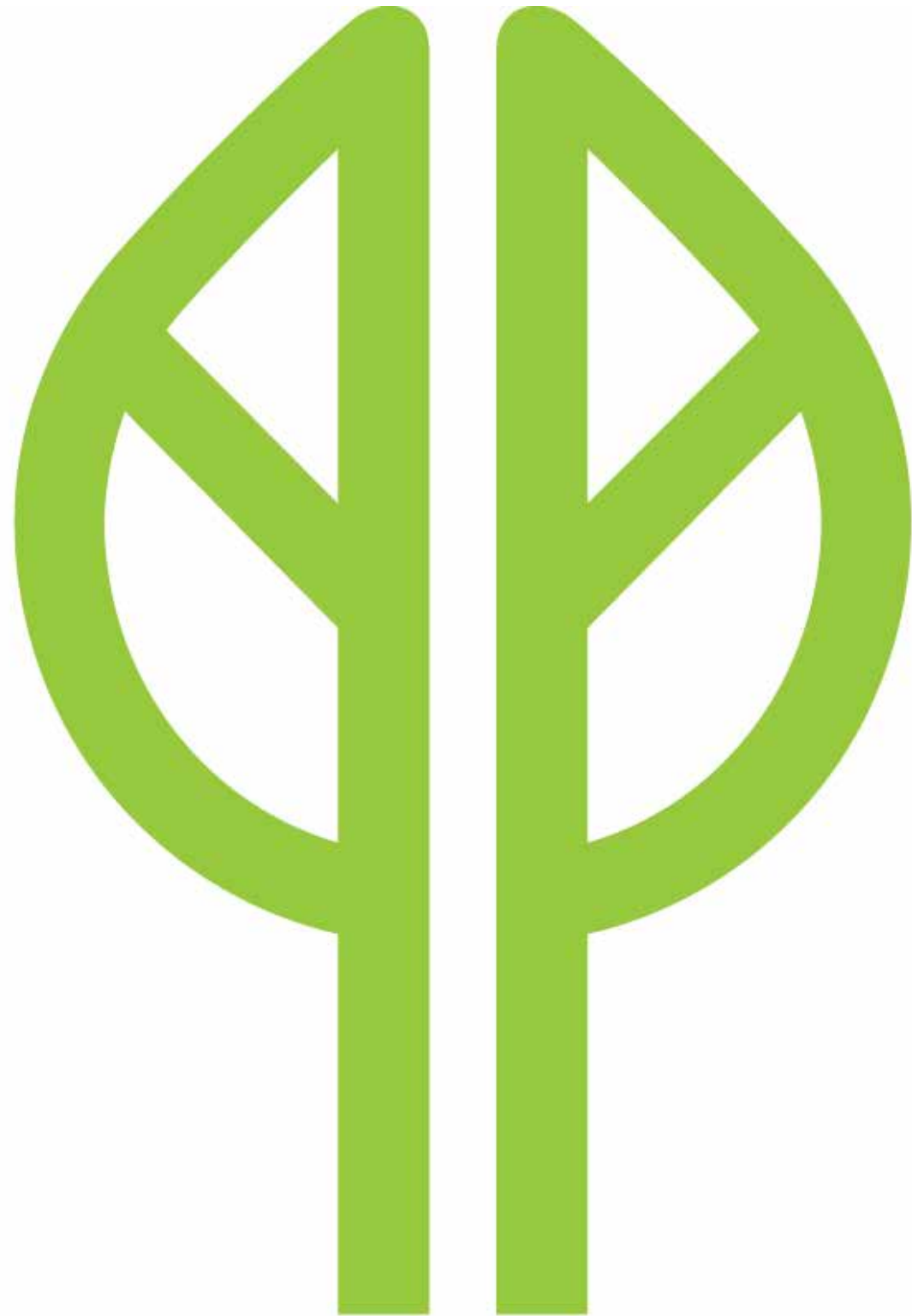


The current proposal is:

Preservation Department – Item 1, LPC-22-01205

**95 Prospect Park West, Prospect Park – Litchfield Villa –
Individual Landmark
Borough of Manhattan**

Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed



Litchfield Villa Grounds

Main Entrance Ramp

Located at 95 Prospect Park West
in the Borough of Brooklyn

November 23, 2021
Landmarks Preservation Commission Hearing
Design by Prospect Park Alliance

Project Size: 3,000 SF
Project Budget (Phase I) : \$1,594,000 Brooklyn City Council



By Rhododendrites - Own work, CC BY-SA 4.0, <https://commons.wikimedia.org/w/index.php?curid=107464754>



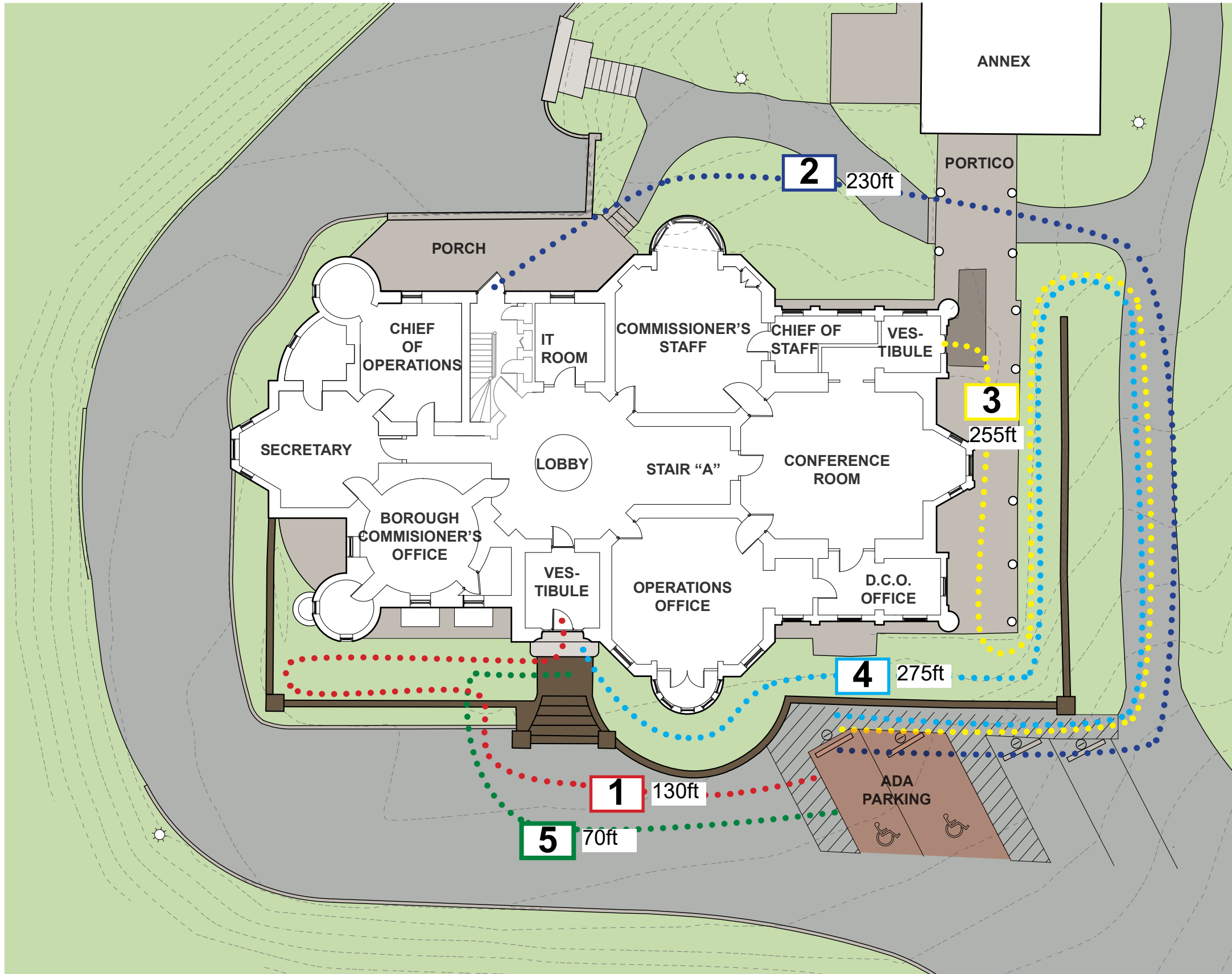
NYC Parks



Prospect
Park
Alliance

Litchfield Villa Accessibility

Prospect Park | Litchfield Villa



From 2010 ADA Standards for Accessible Design

- Accessible parking spaces must be located on the shortest accessible route of travel to an accessible facility entrance.
- An accessible route never has curbs or stairs, and it must be at least 3-feet wide. It also must have a firm, stable, slip-resistant surface.
- The running slope along the accessible route (the slope in the direction of travel) should not be greater than 1:20 (5%) for a walking surface, or greater than 1:12 (8.33%) for ramps that are part of the accessible path of travel.

Study 1 - Preferred Design

Study 2 - Rear Entrance

Interior clearances do not meet code because we cannot move stairwell. More info in appendix.

Study 3 - South Portico Entrance

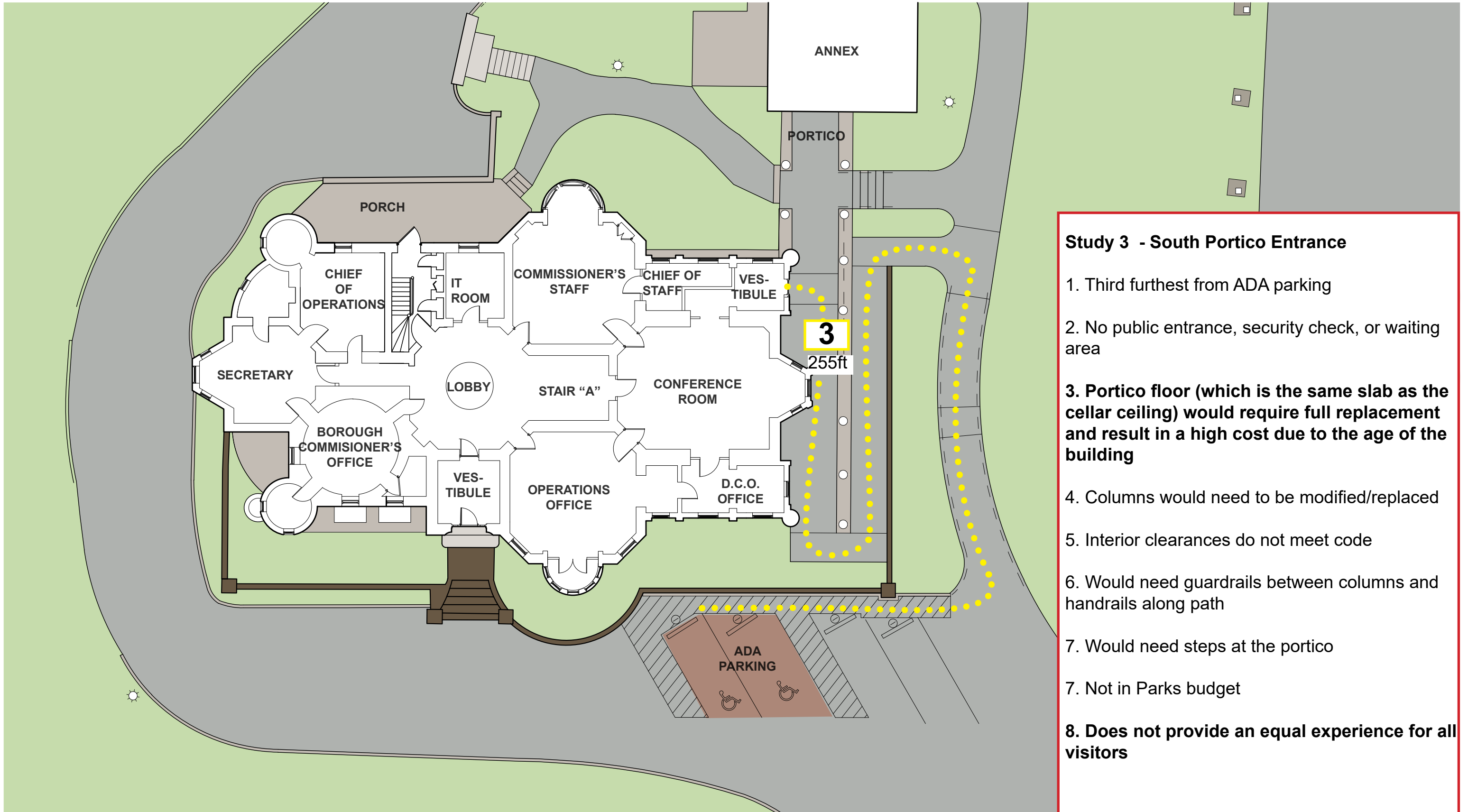
Major structural changes required. Not same experience for everyone. More info in appendix.

Study 4 - Southwest Terrace Path

Structural work required. More info in appendix.

Study 5 - Lift

Height will be visible from distance.



- Study 3 - South Portico Entrance**
1. Third furthest from ADA parking
 2. No public entrance, security check, or waiting area
 - 3. Portico floor (which is the same slab as the cellar ceiling) would require full replacement and result in a high cost due to the age of the building**
 4. Columns would need to be modified/replaced
 5. Interior clearances do not meet code
 6. Would need guardrails between columns and handrails along path
 7. Would need steps at the portico
 7. Not in Parks budget
 - 8. Does not provide an equal experience for all visitors**





Door to Vestibule 1



Door to Vestibule 2



Vestibule 2



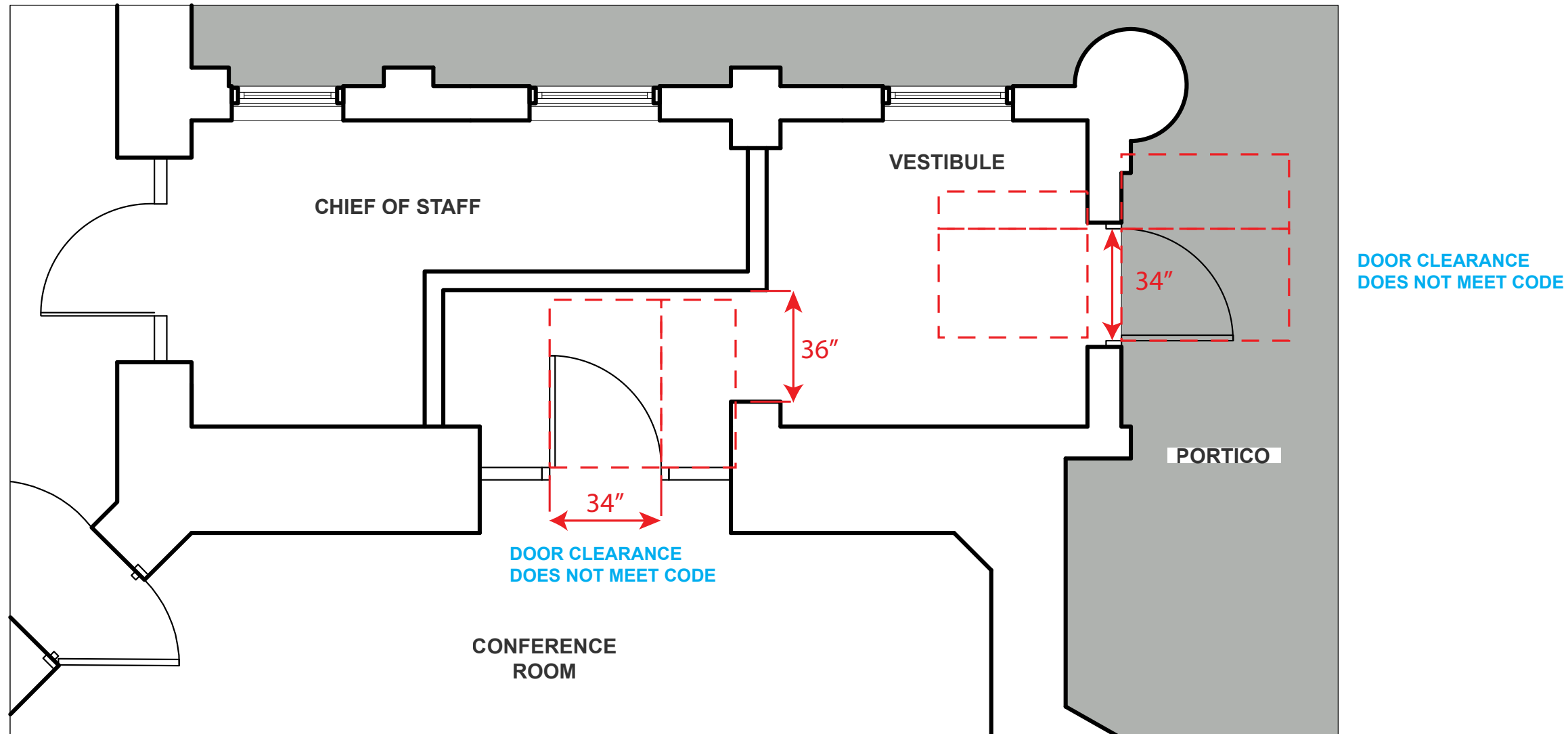
Conference Room

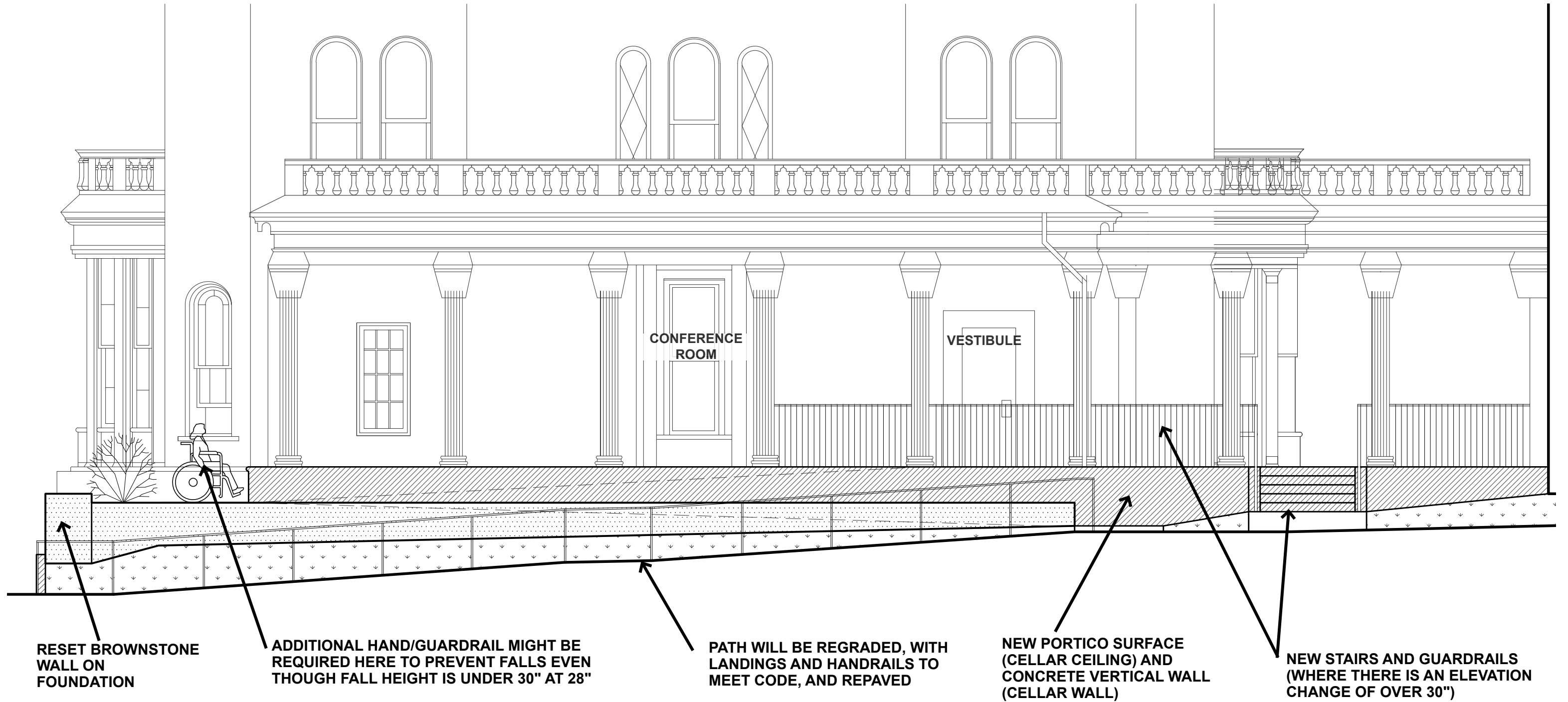


Litchfield Villa Accessibility

Prospect Park | Study 3 - South Portico Site and Vestibules

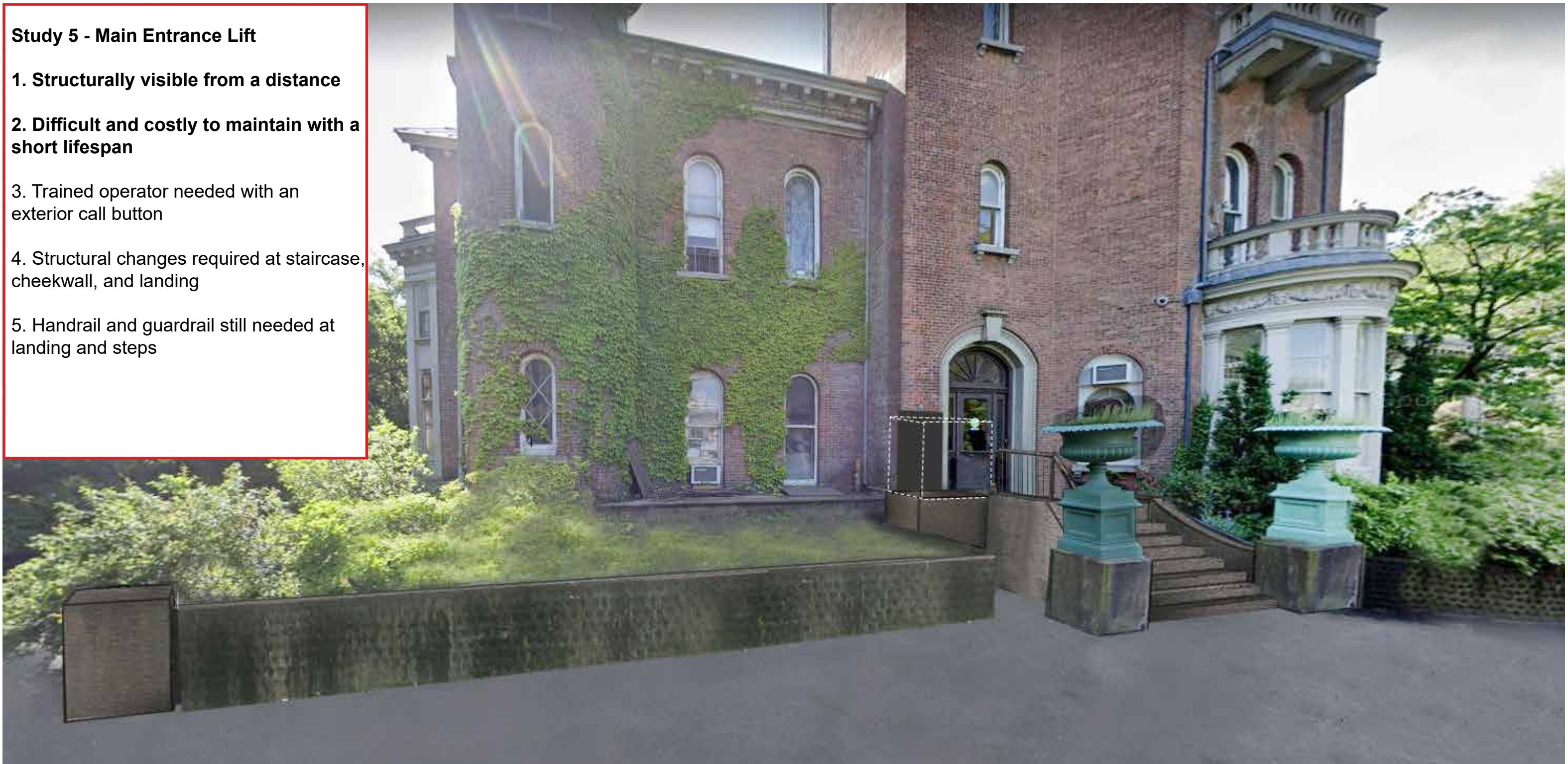
EXISTING





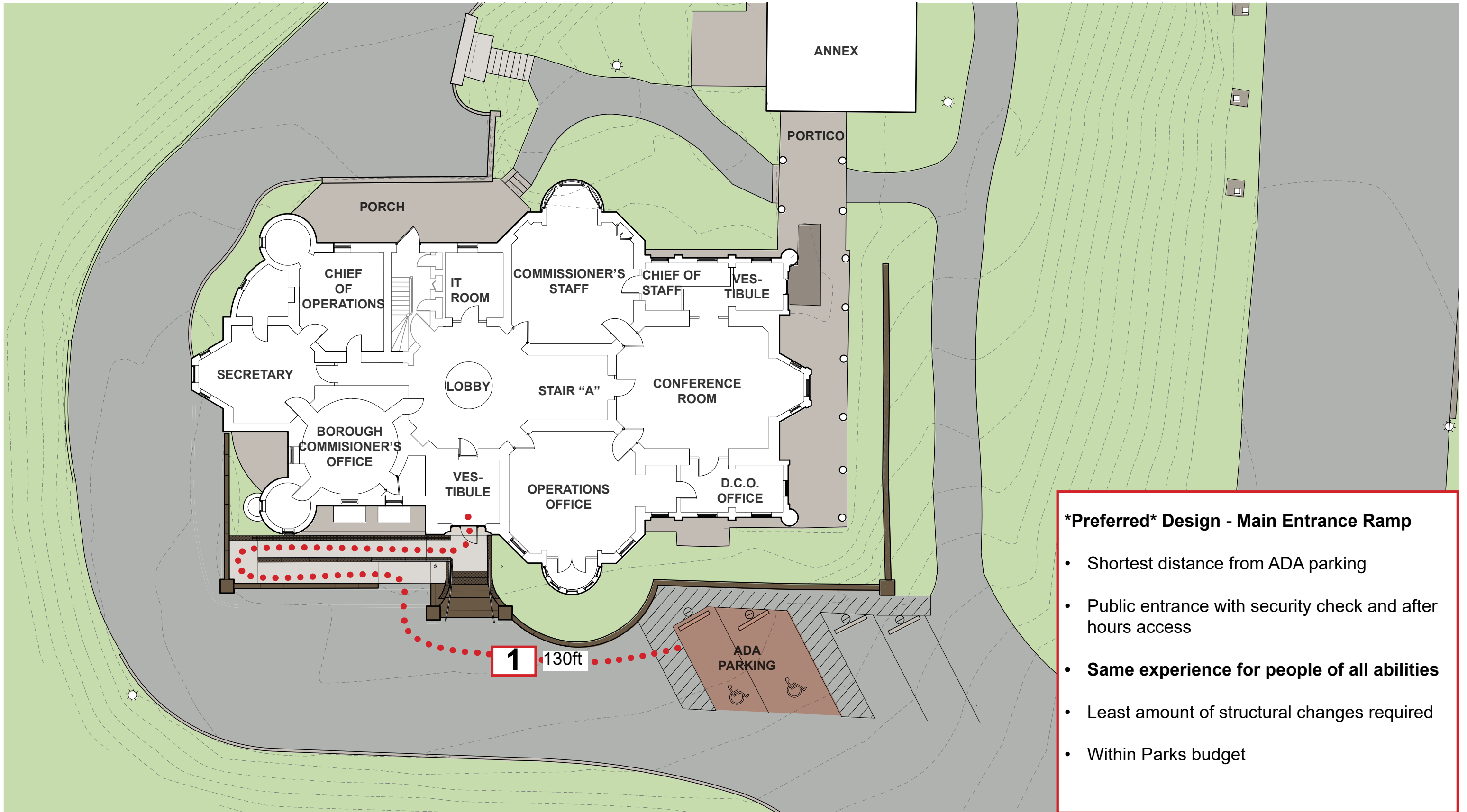
Study 5 - Main Entrance Lift

1. Structurally visible from a distance
2. Difficult and costly to maintain with a short lifespan
3. Trained operator needed with an exterior call button
4. Structural changes required at staircase, cheekwall, and landing
5. Handrail and guardrail still needed at landing and steps



Litchfield Villa Accessibility

Prospect Park | Study 5 - Main Entrance Lift



Litchfield Villa Accessibility

Prospect Park | Main Entrance Ramp - PREFERRED DESIGN



1 NW not visible



2 NW not visible



Litchfield Villa Accessibility
Prospect Park | Approach to Building

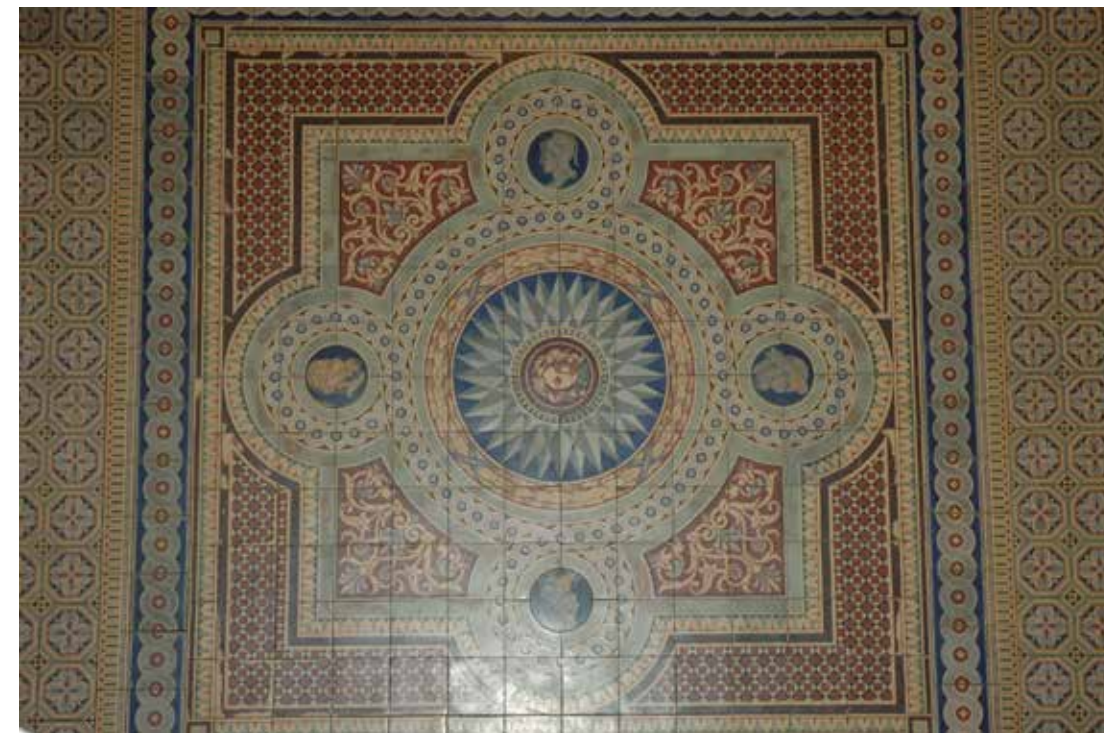


3 NW not visible

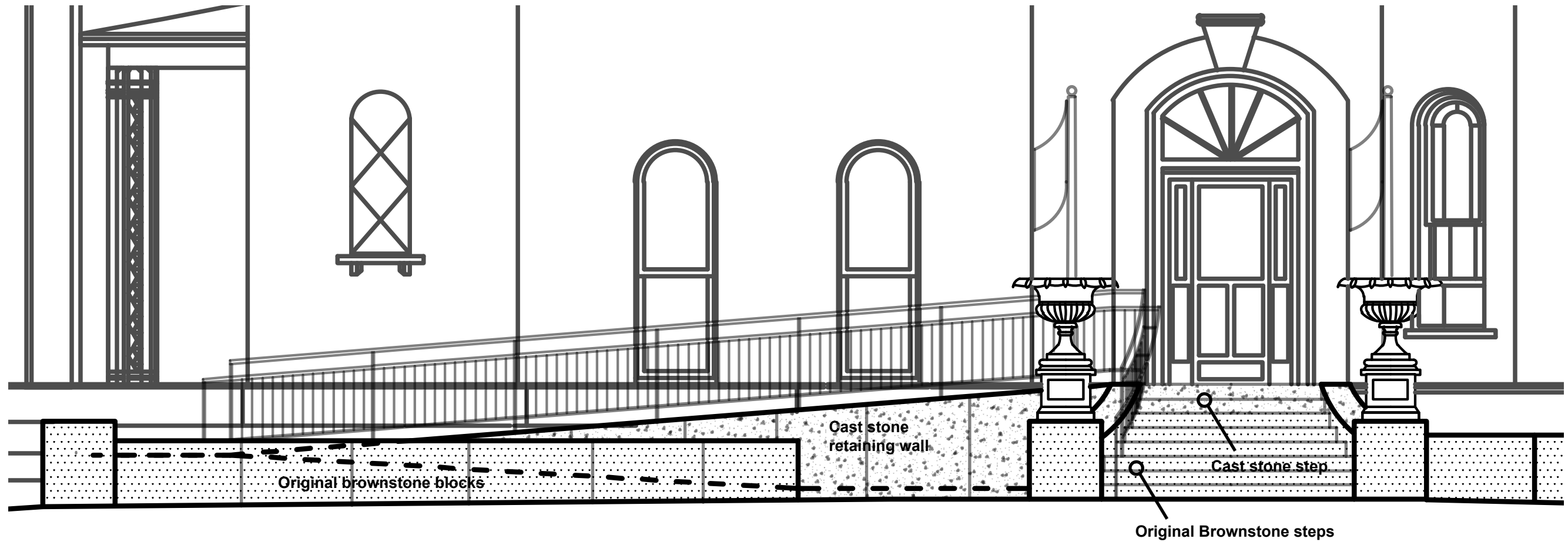
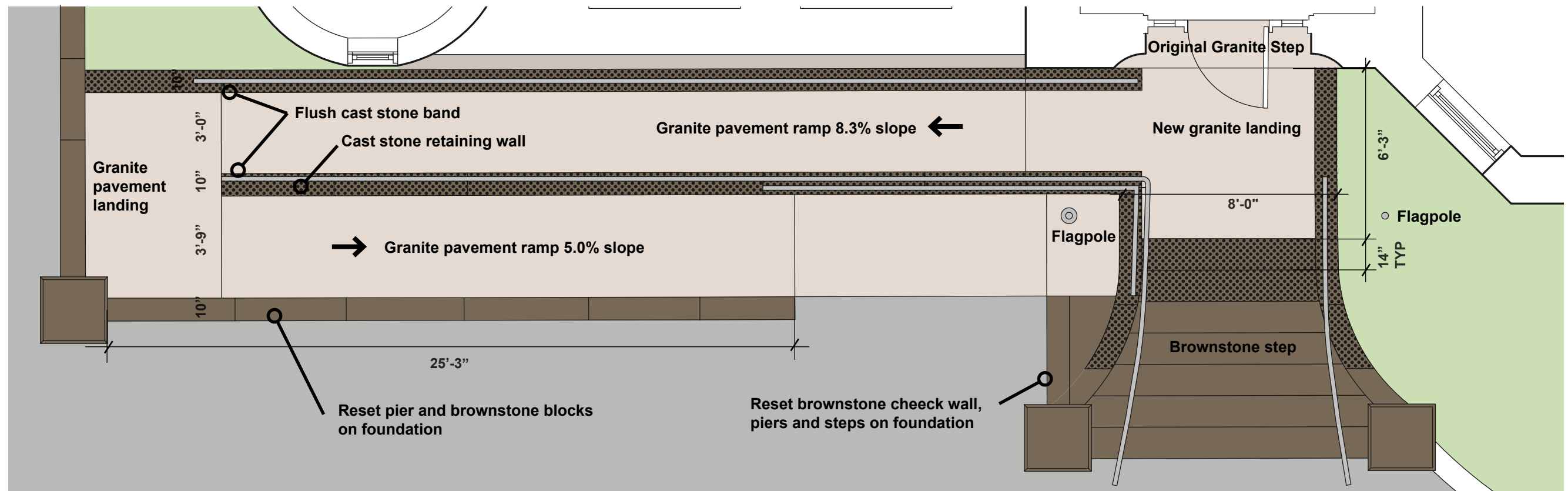


4 NW not visible





Litchfield Villa Accessibility
Prospect Park | Lobby Photos





Litchfield Villa Accessibility

Prospect Park | Main Entrance Ramp - PREFERRED DESIGN

Appendix

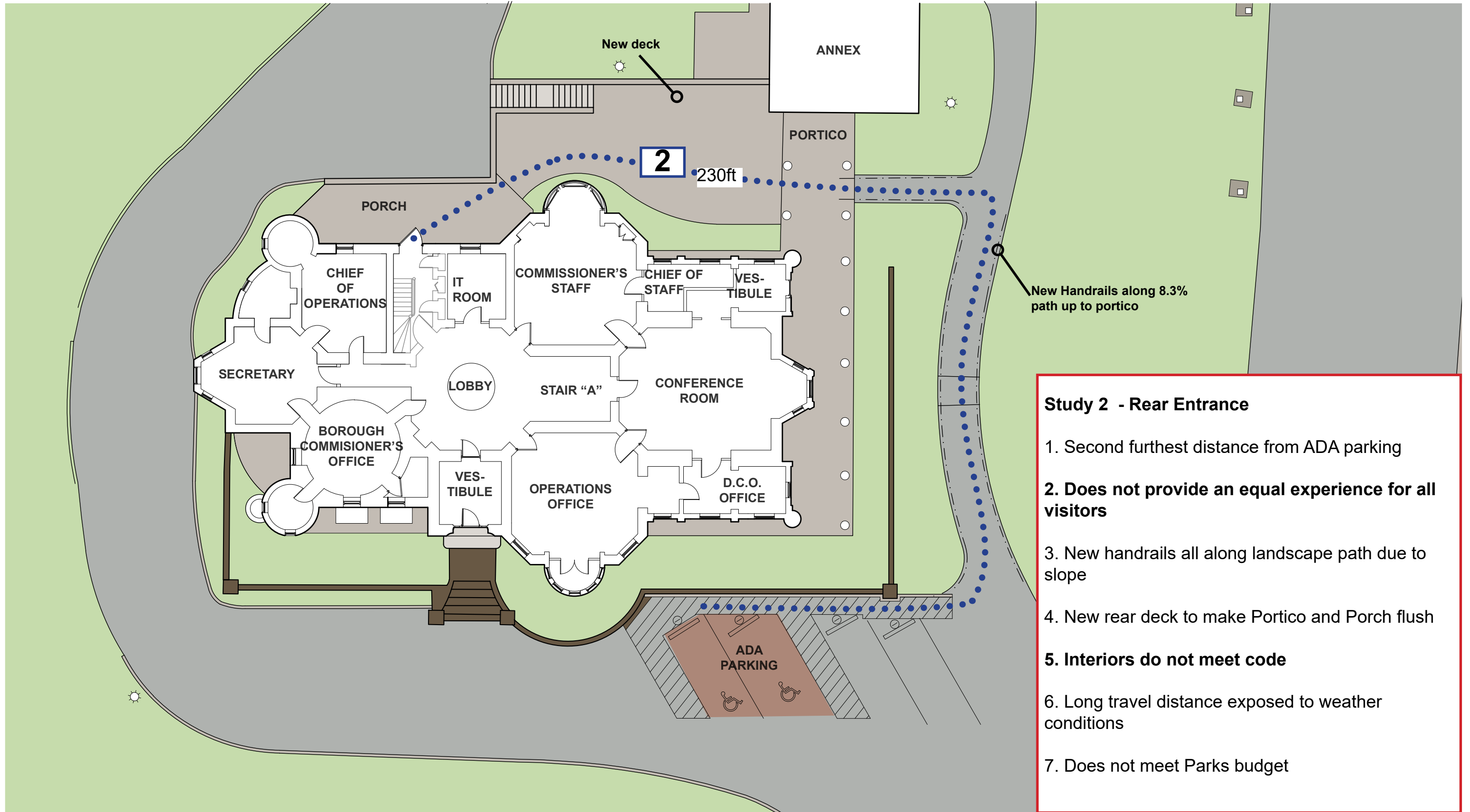
PG 16 - 20 Entrance Studies 2 and 4

PG 21 - 32 Preferred Ramp Additional Information

PG 33 - 37 History

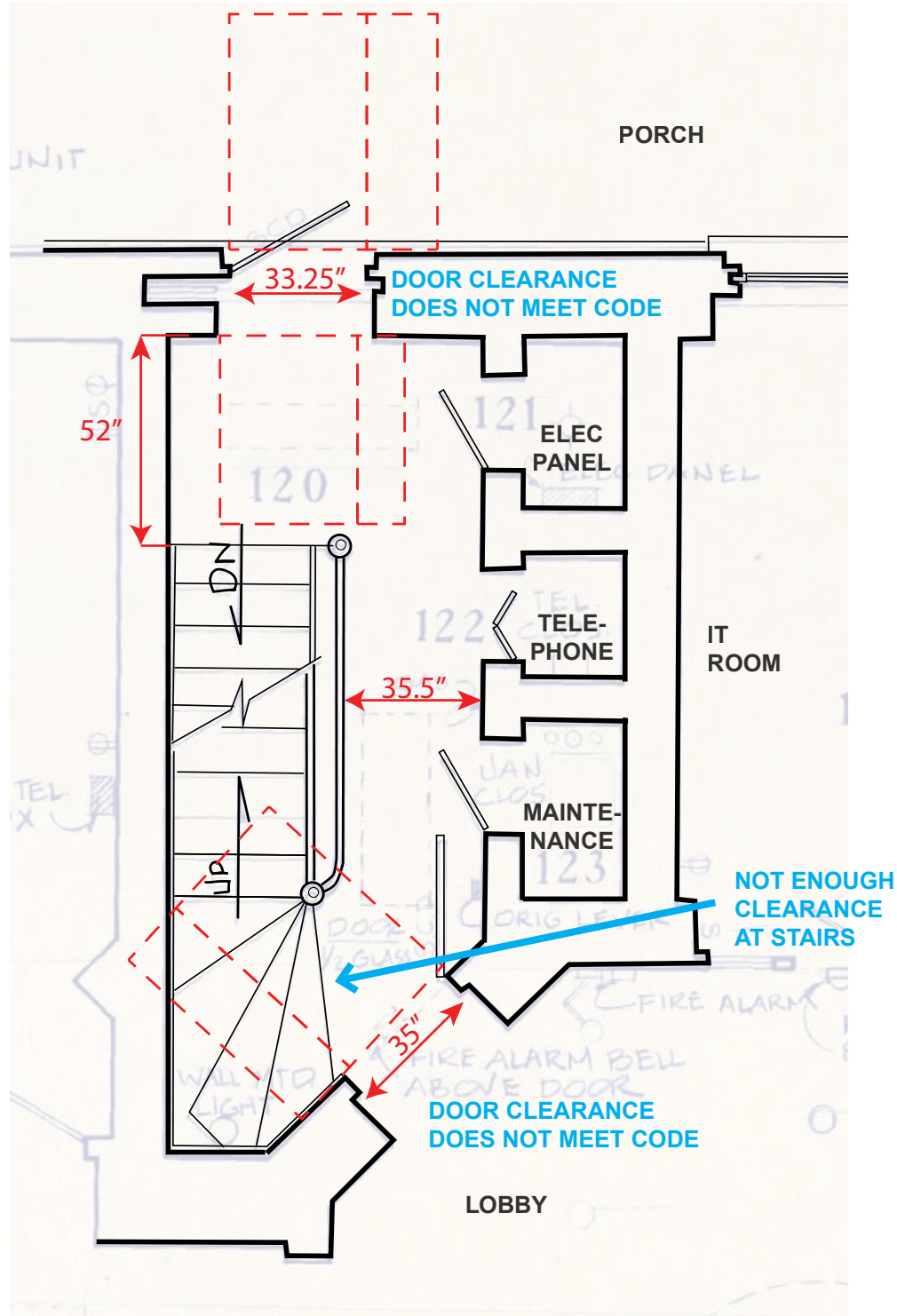
PG 38 - 41 Existing Conditions



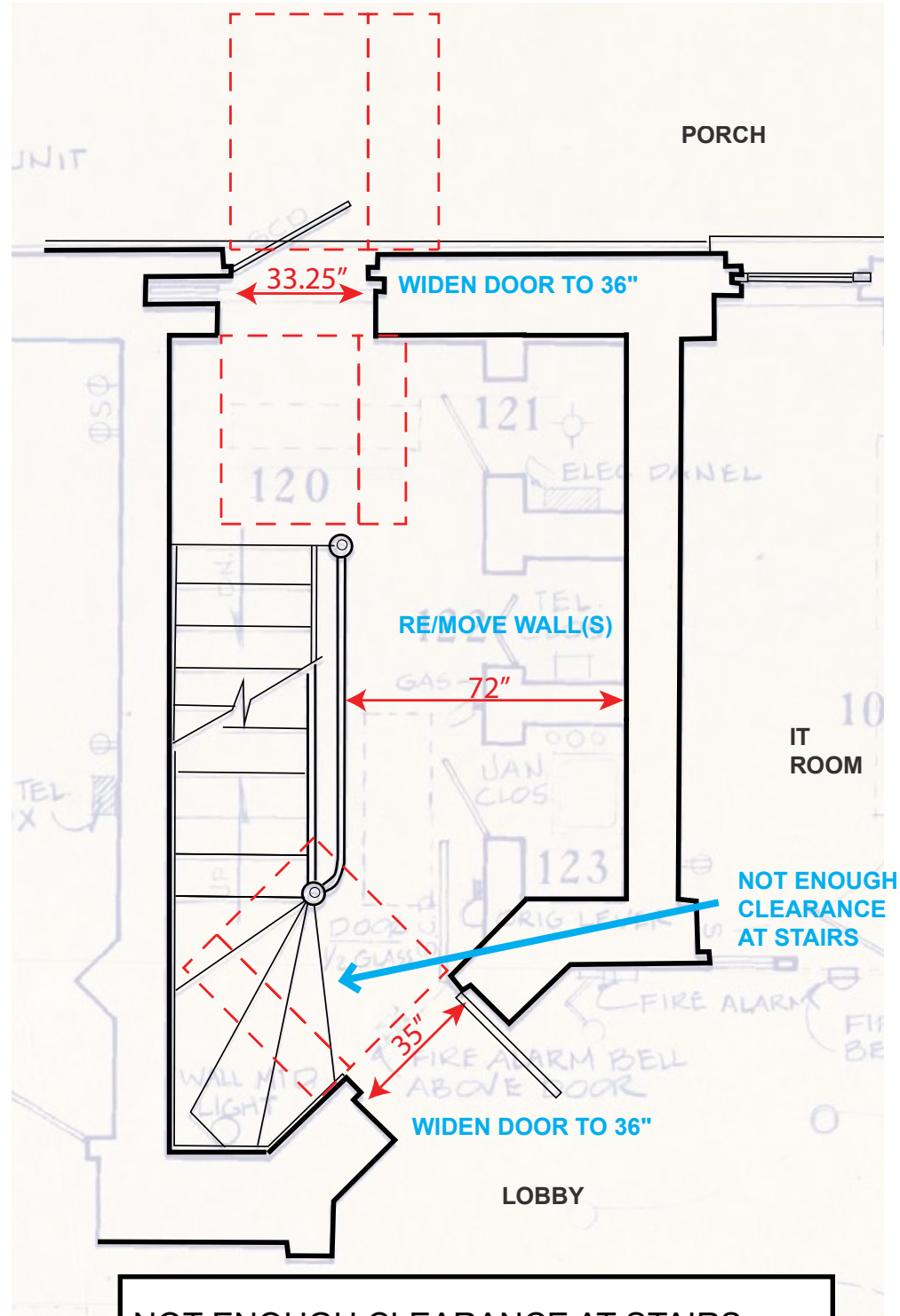


- Study 2 - Rear Entrance**
1. Second furthest distance from ADA parking
 - 2. Does not provide an equal experience for all visitors**
 3. New handrails all along landscape path due to slope
 4. New rear deck to make Portico and Porch flush
 - 5. Interiors do not meet code**
 6. Long travel distance exposed to weather conditions
 7. Does not meet Parks budget

EXISTING



STUDY



NOT ENOUGH CLEARANCE AT STAIRS - CANNOT RECONFIGURE STAIRS WITHOUT ALTERING LOBBY WALLS

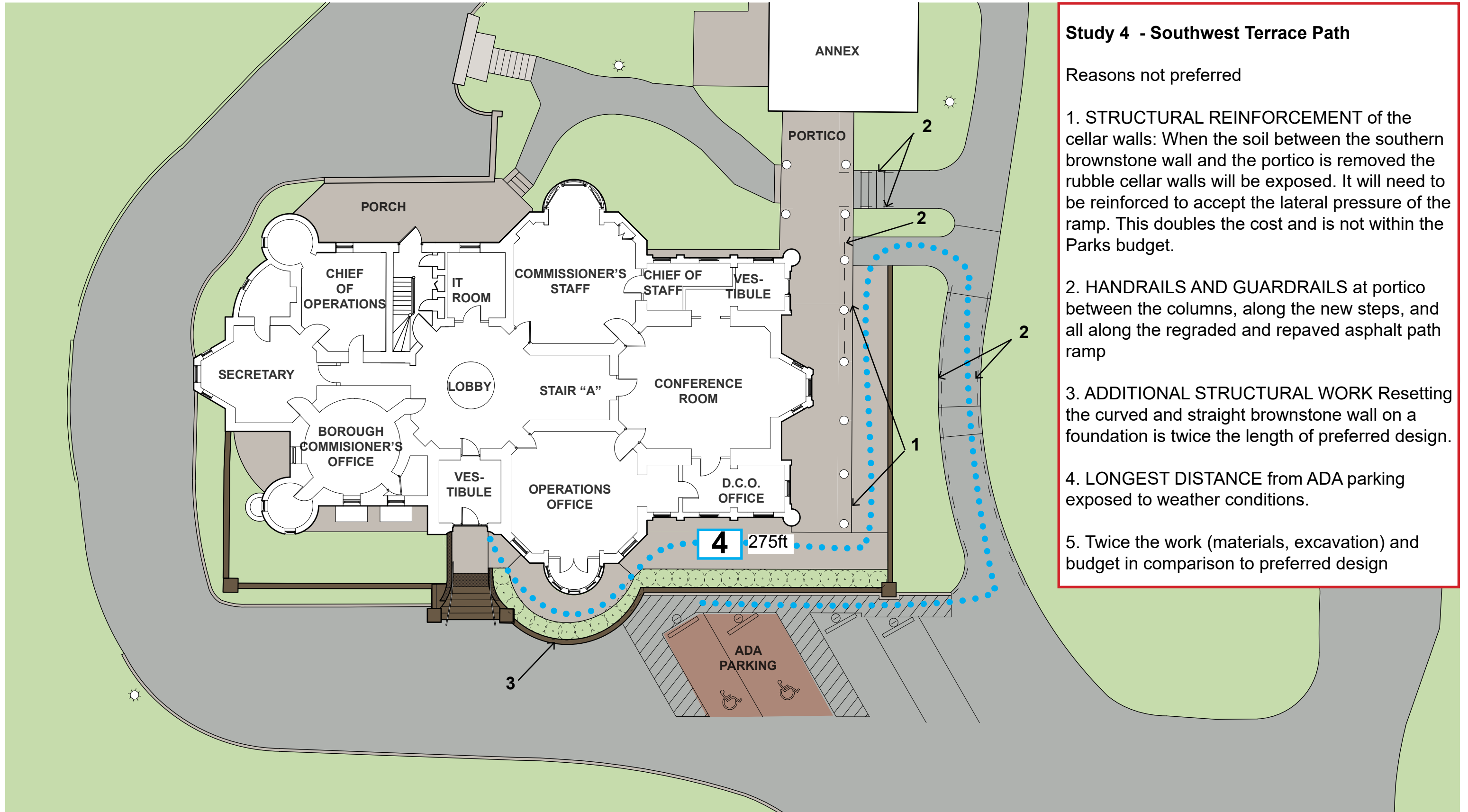


EXTERIOR DOOR AT REAR ENTRY



STAIRS AT FROM LOBBY





SITE PHOTO



ADDITIONAL HAND/GUARDRAIL MIGHT BE REQUIRED TO PREVENT FALLS EVEN THOUGH FALL HEIGHT IS UNDER 30"

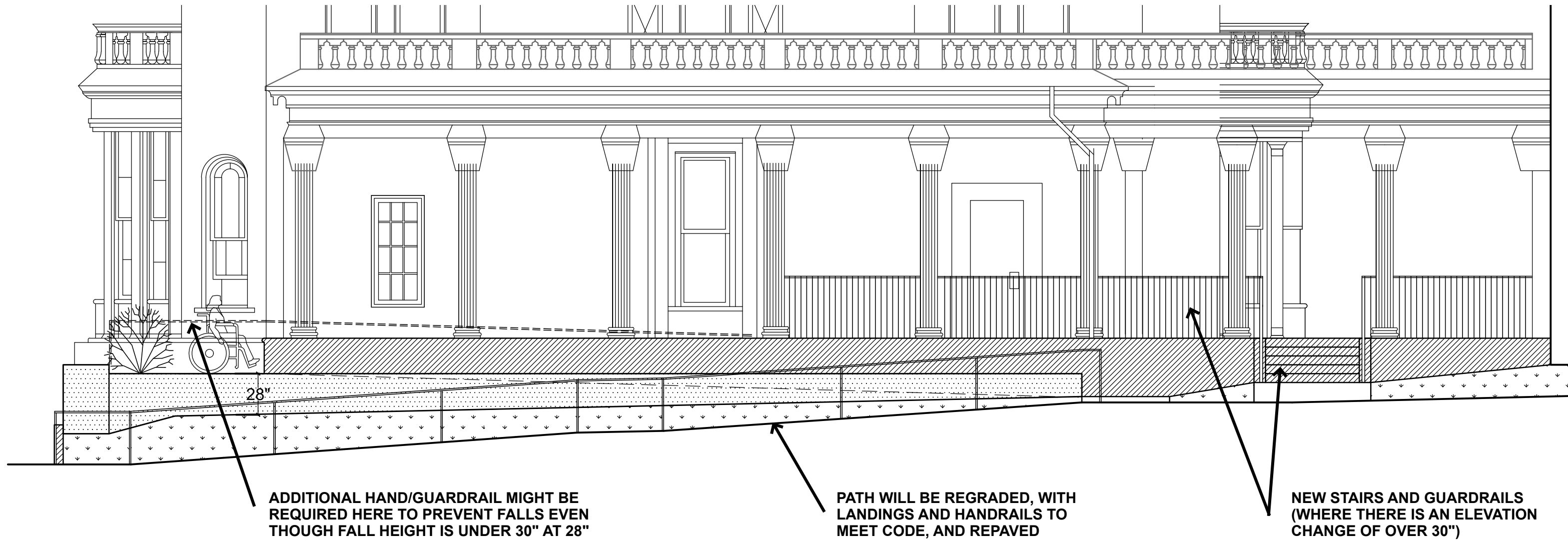
PLANTING TO BE REMOVED AND TERRACE PAVED ALL THE WAY TO MAIN ENTRANCE

NEW STAIRS AND GUARDRAILS

PATH WILL BE REGRADED AND REPAVED, WITH LANDINGS AND HANDRAILS TO MEET CODE



ELEVATION

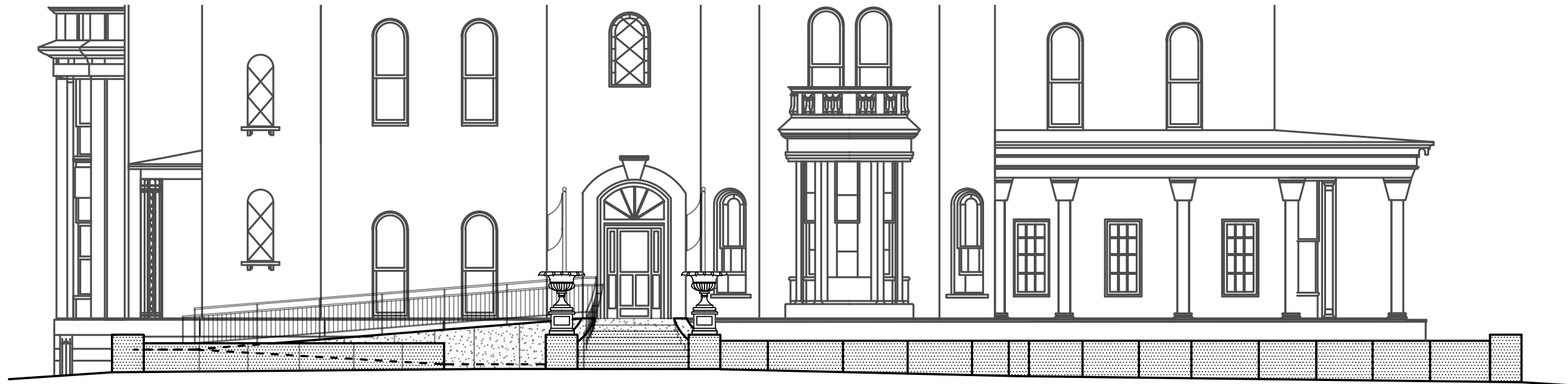


Preferred Ramp Additional Info

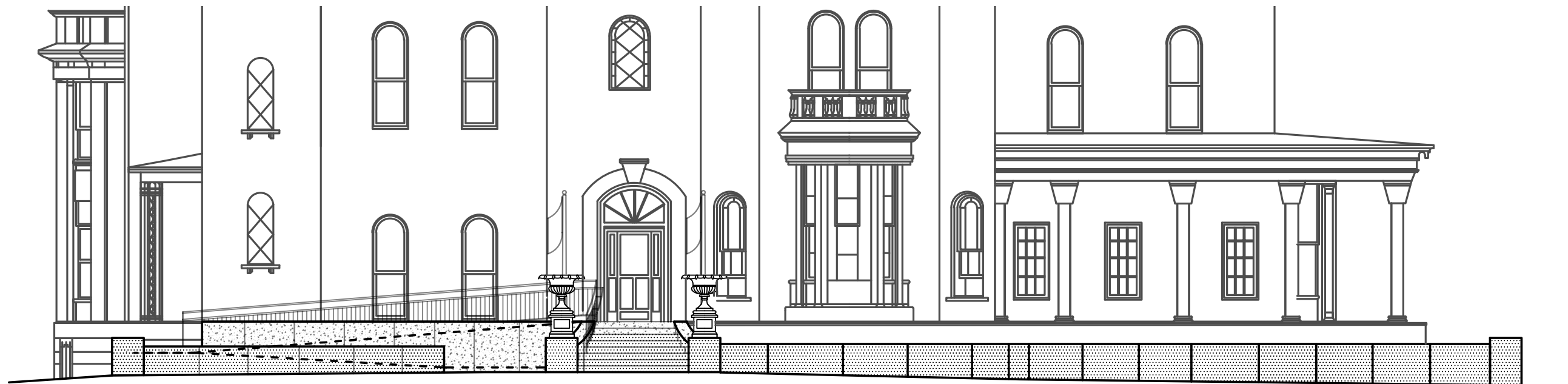
- Ramp Wall Elevation Studies
- Handrail Styles
- Handrail Colors
- Additional Restoration Work

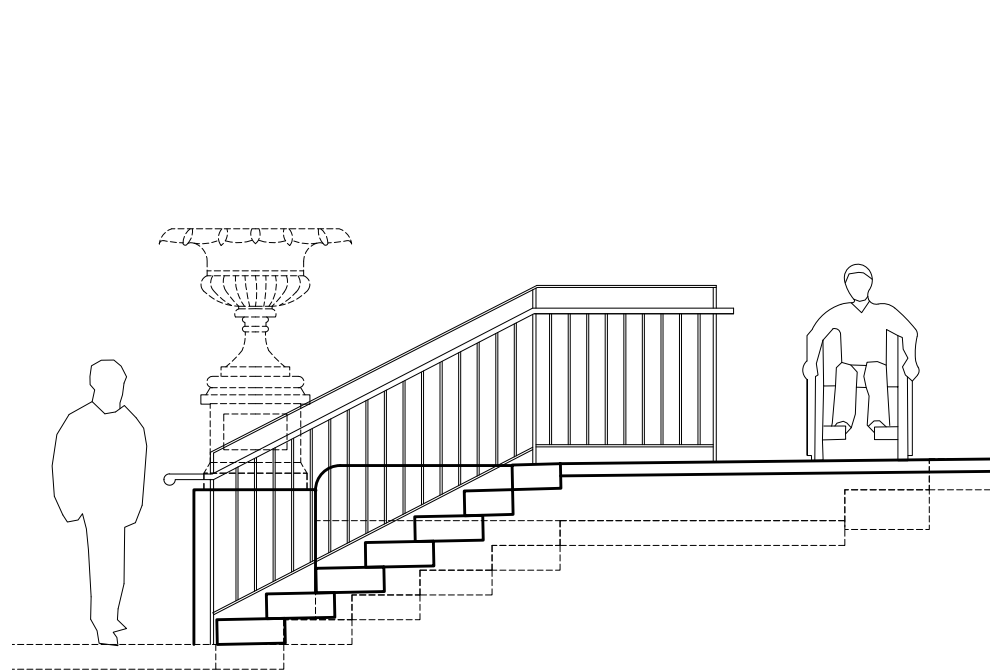


PREFERRED DESIGN - New Cast Wall does not block original building elements

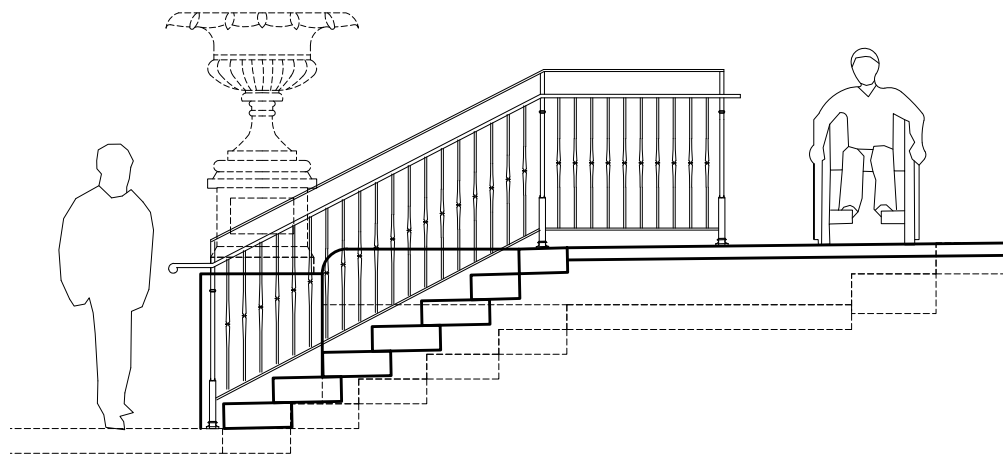


CONSIDERED DESIGN - New Cast Wall aligns with original building elements

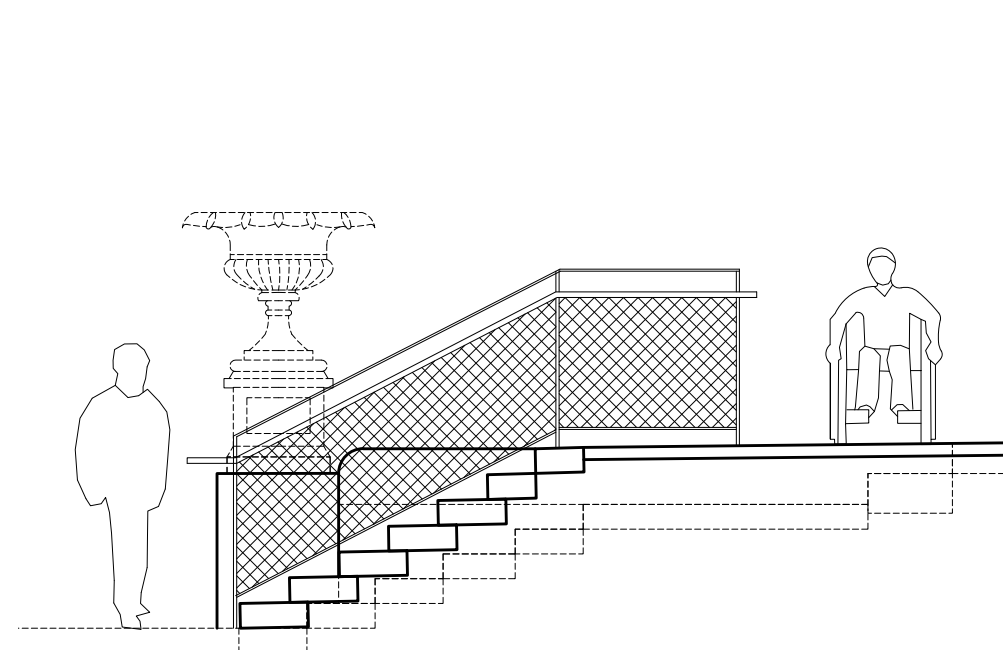




MINIMAL - PREFERRED
 Minimal flat pickets and bars
 pickets max. spacing 4"



TRADITIONAL
 Decorative features
 pickets max. spacing 4"



MESH
 Powder Coated
 grid any orientation and max. spacing 4"



Prospect
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Litchfield Villa Accessibility
Prospect Park | Beige Pickets



NYC Parks



Prospect
Park
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Litchfield Villa Accessibility

Prospect Park | Grey Pickets



Litchfield Villa Accessibility
Prospect Park | Beige Mesh



NYC Parks



Prospect
Park
Alliance

Litchfield Villa Accessibility Prospect Park | Black Mesh



NYC Parks



Prospect
Park
Alliance

Litchfield Villa Accessibility
Prospect Park | Grey Mesh



NYC Parks



Prospect
Park
Alliance

Litchfield Villa Accessibility

Prospect Park | Black Pickets at Stairs



Painted pipe rail in rear of building.



Cream metal mesh on windows. Painted black steel fence on terrace.



Painted black steel fence is not properly maintained; corroded and chipping.



Iron staples on brownstone wall, not original.



Various black painted rail on portico.



Only lead coated copper elements on front of building.



Granite door surround and base exhibiting general soiling.



Typical isolated spalling at the brownstone steps.



Spalling and scaling at the brownstone piers.



Cleaning test at granite door surround using detergent cleaner.

Typical Stone Restoration Treatments

- Clean granite door surround and base at entrance.
- Remove and reset brownstone steps.
- Repair spalling and delaminating areas of brownstone steps using dutchmen and patching to match adjacent material.

Provide new door to match existing historic door

- Extend new door to allow for accessible entry
- Provide new lever hardware to allow for accessible entry (existing hardware is not ADA compliant)
- Provide painted finish to match original of historic door, based on paint analysis and archival research (original color is in the range of off-white to tan, exact color to be confirmed)

Restore existing historic sidelights and tympanum

- Remove existing finishes and provide new painted finishes to match original, based on paint analysis and archival research (original color is in the range of off-white to tan, exact color to be confirmed)
- Provide isolated wood putty and dutchman repairs as necessary at deteriorated wood



Historic 1934 photo of entrance shows paint at door surround matching the color found at the earliest extant finish layer.



Based on historic photographs, the existing door was installed in the 1930s.

History



Litchfield Villa Main Entrance Ramp
Prospect Park

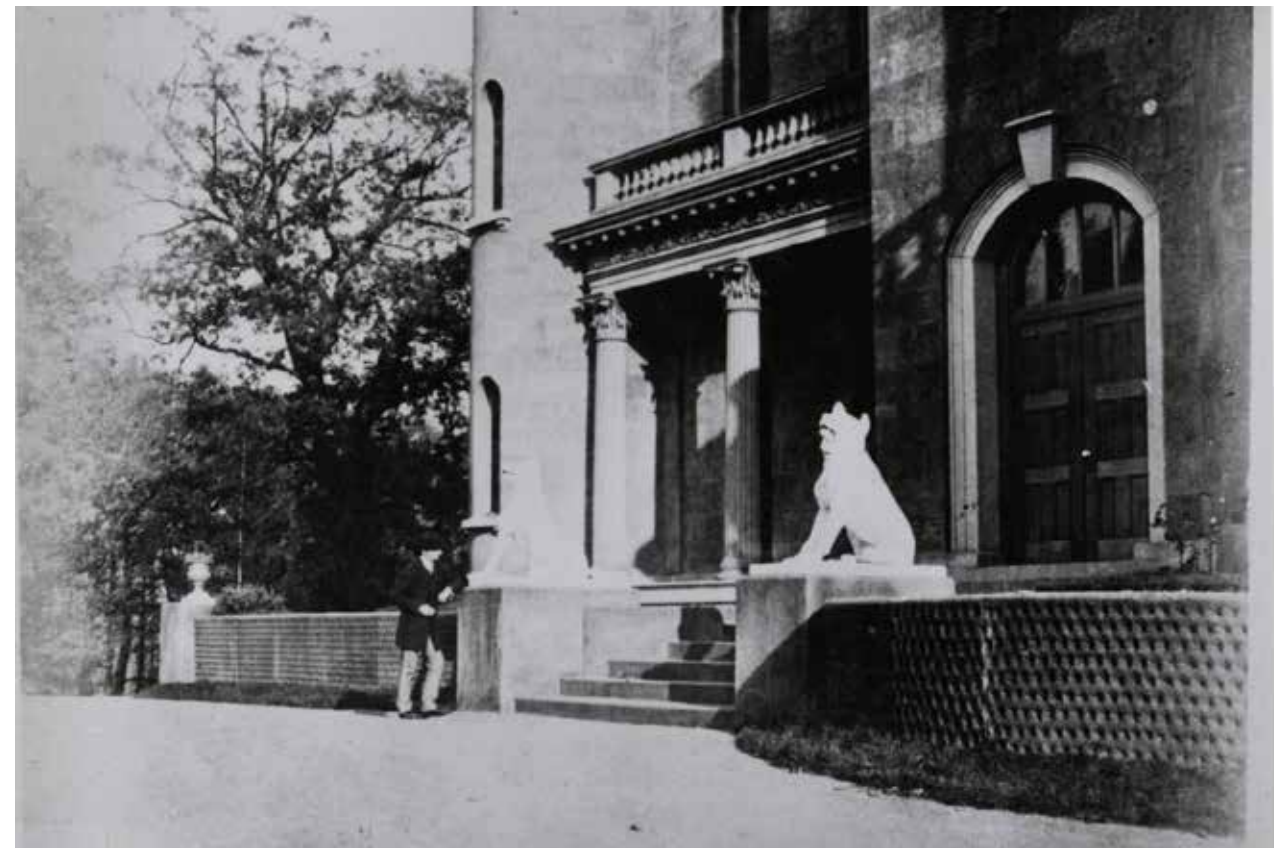


1934 The original facade was stucco before it was removed to show brick. Original double door is present but was removed shortly after. Note the un-vegetated terraces retained by brownstone walls wrapping the building.





1870 A curved drive led to the front of the building.



1870 Main entrance; note original double swing door and canines on piers.

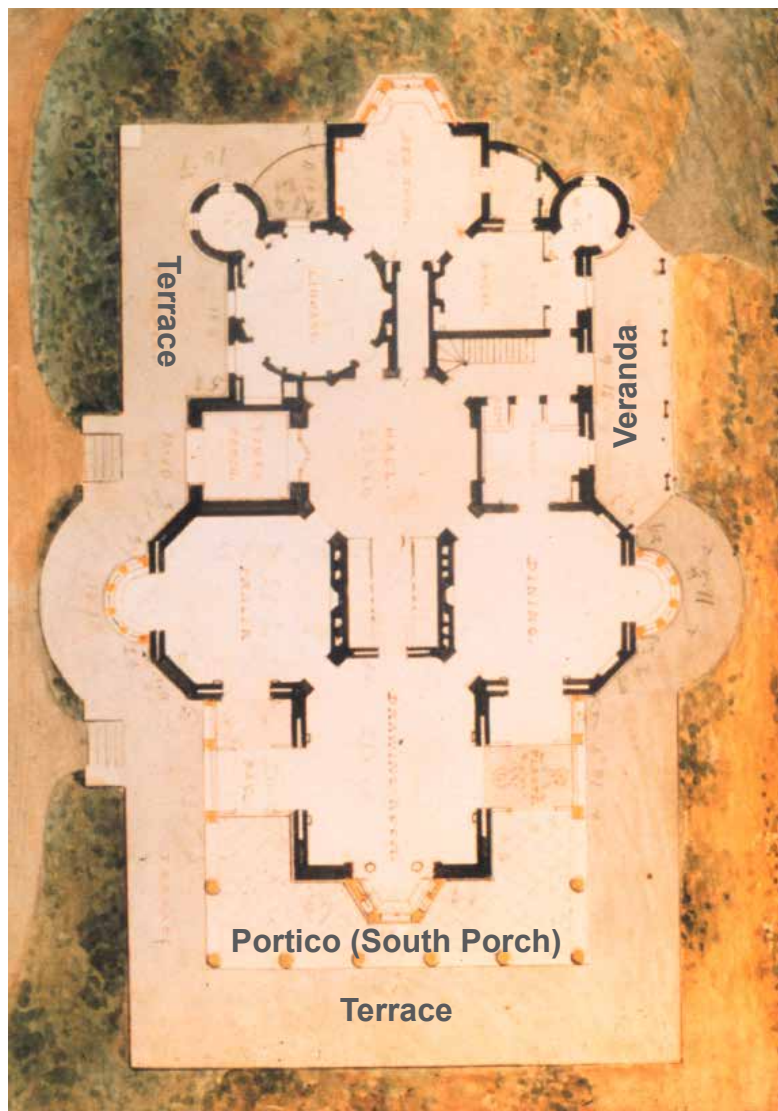


1949 Door has been changed to single swing after the 1930s. Note the door's light color and new exposed brick facade.

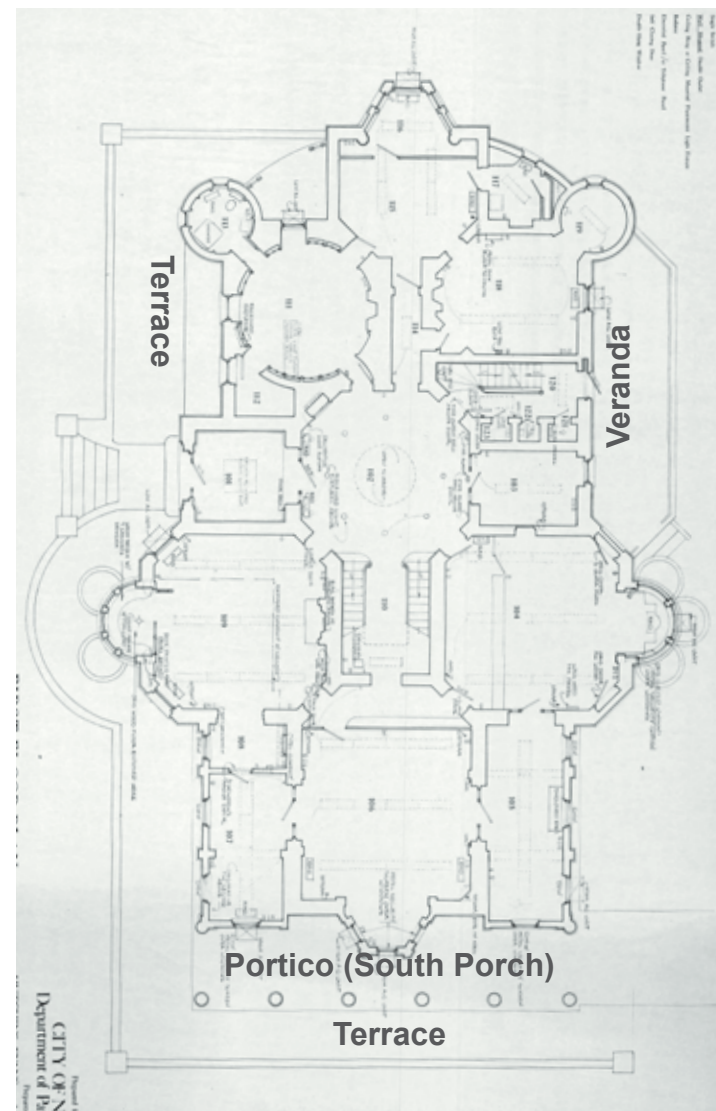


1981 Urns from another area of the park replaced the canines in the 1930s. Note that a flagpole was installed on the building facade and later changed to a yardam, which has also since been removed.



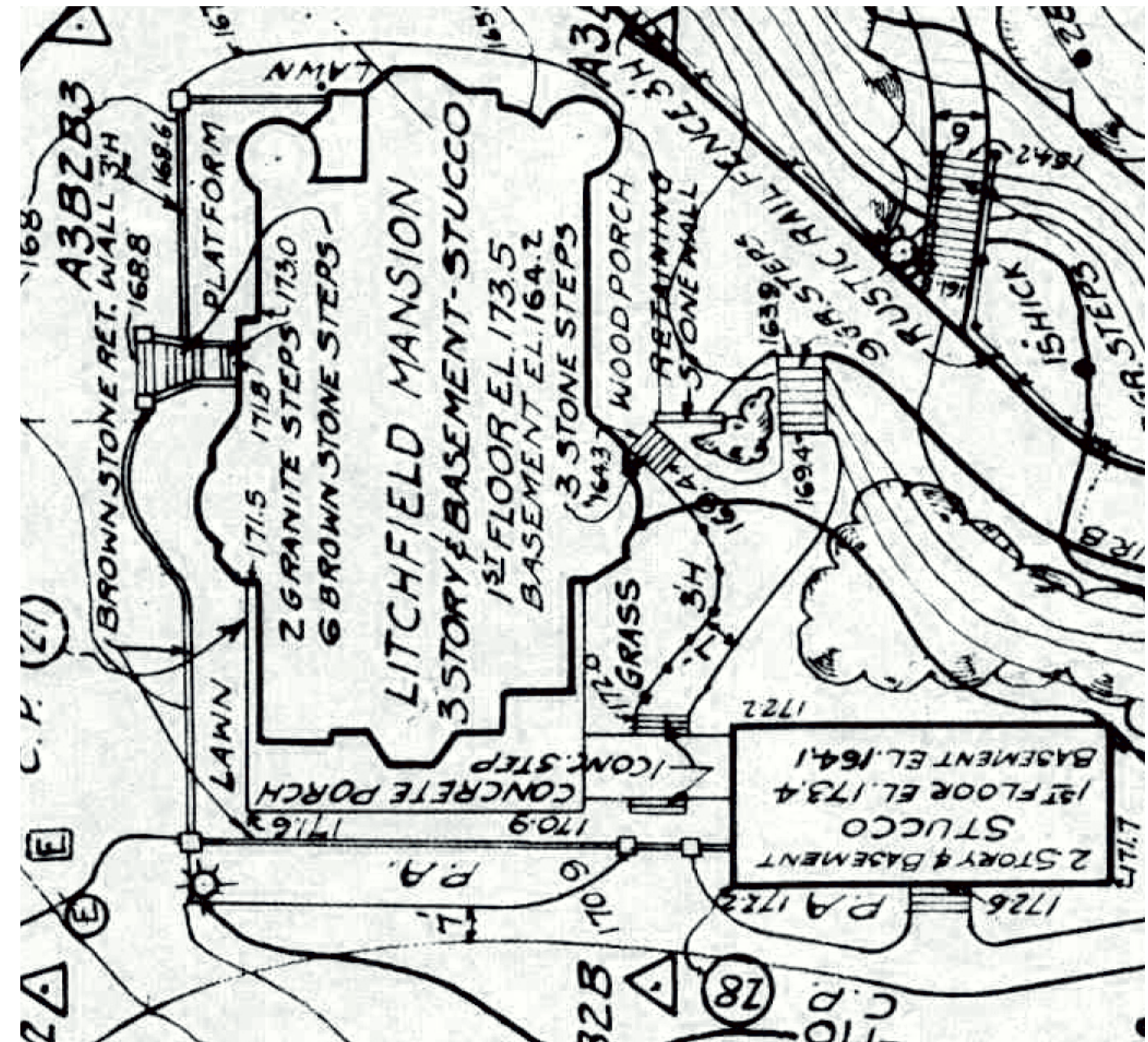


c.1854 AJ Davis Rendering



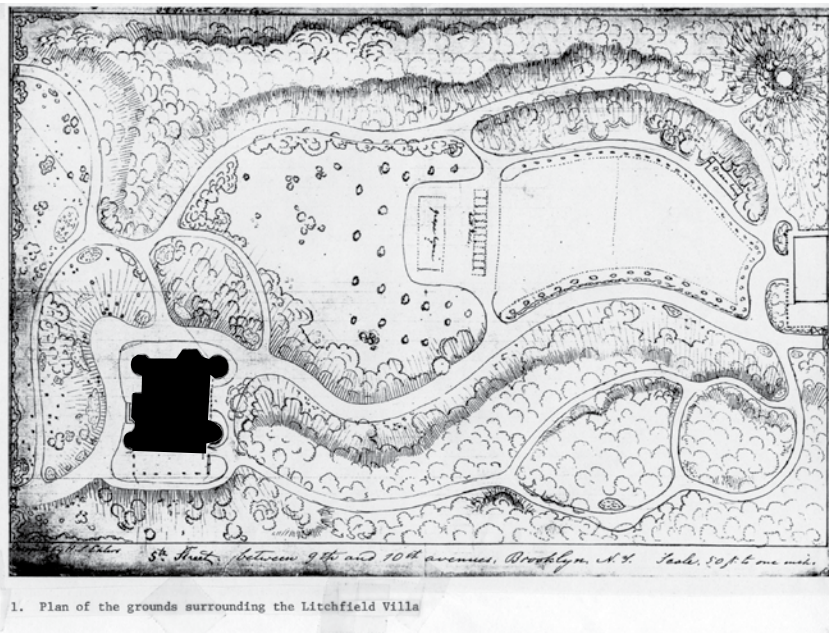
1986 *The First Historic Structure & Landscape Report* showing as-built condition

- Terrace was a crushed stone material
- Portico was most likely a wood porch
- Veranda was most likely a wood porch



1935 Survey

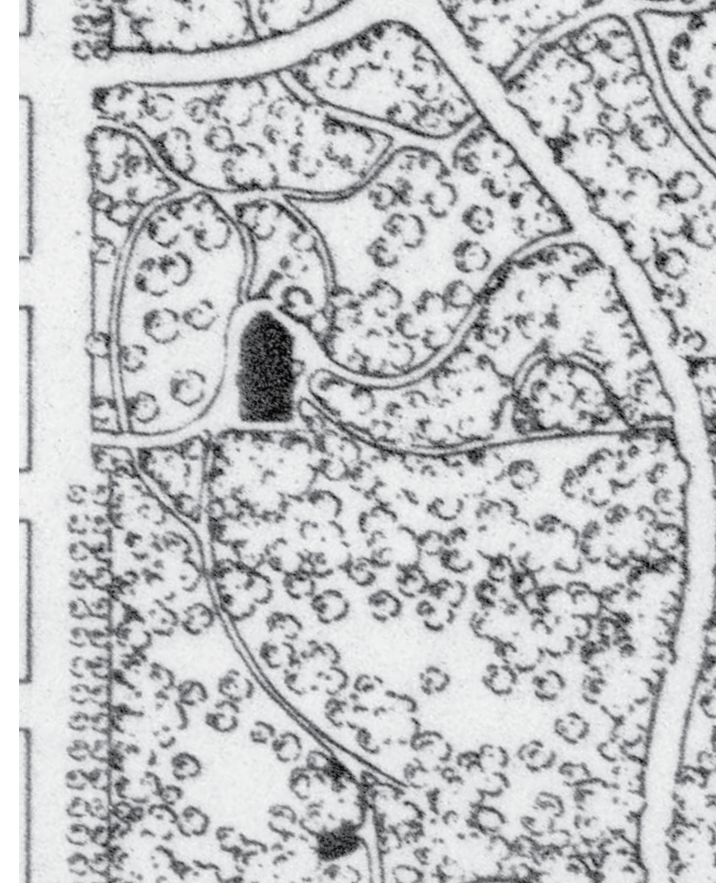
- Terrace becomes planted with lawn
- Portico is paved concrete and extended to new Annex building
- Veranda was most likely a wood porch
- Rear paving and steps added with Annex building



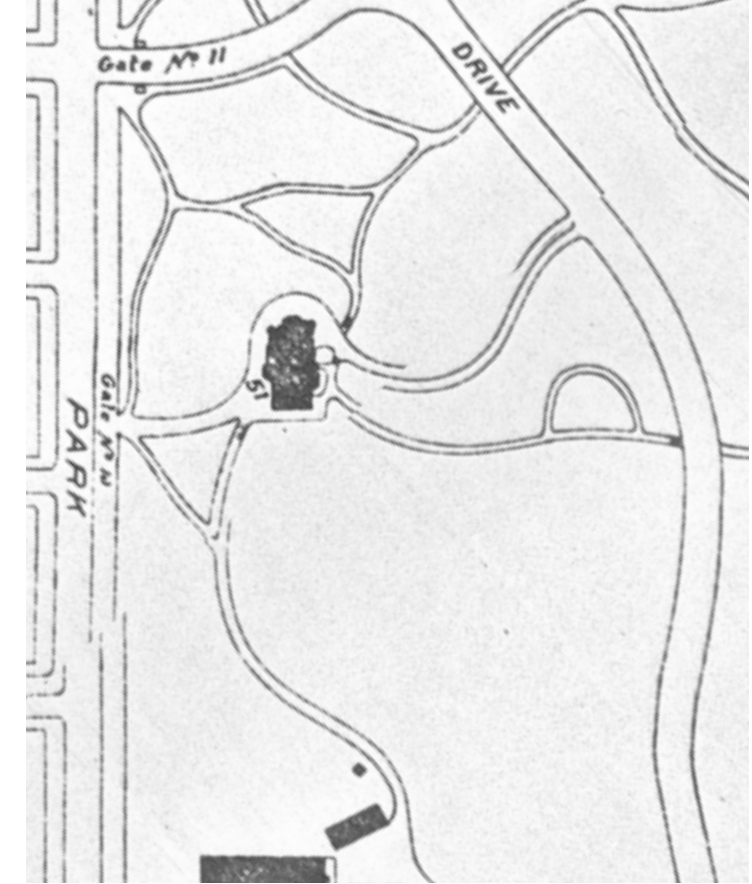
1853 Ehlers Site Plan



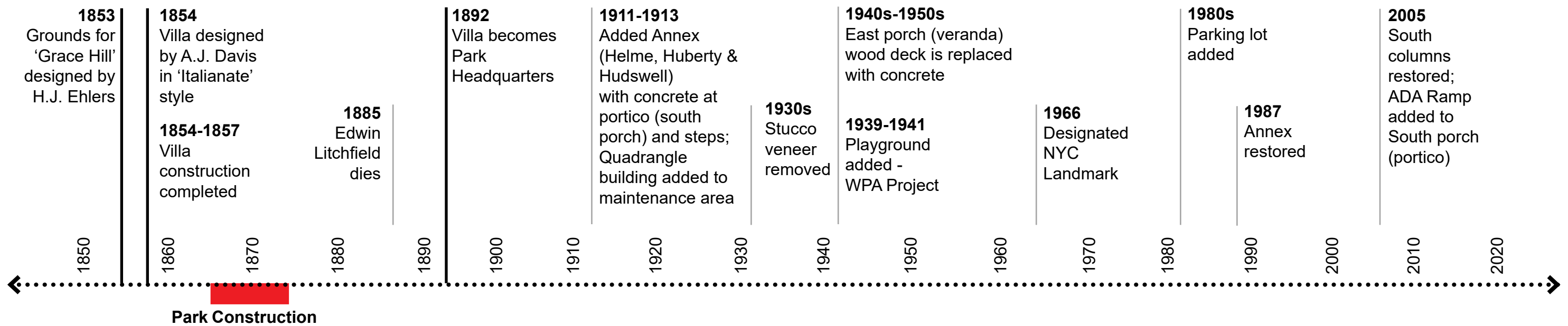
1888 Prospect Park Map



1901 Prospect Park Map



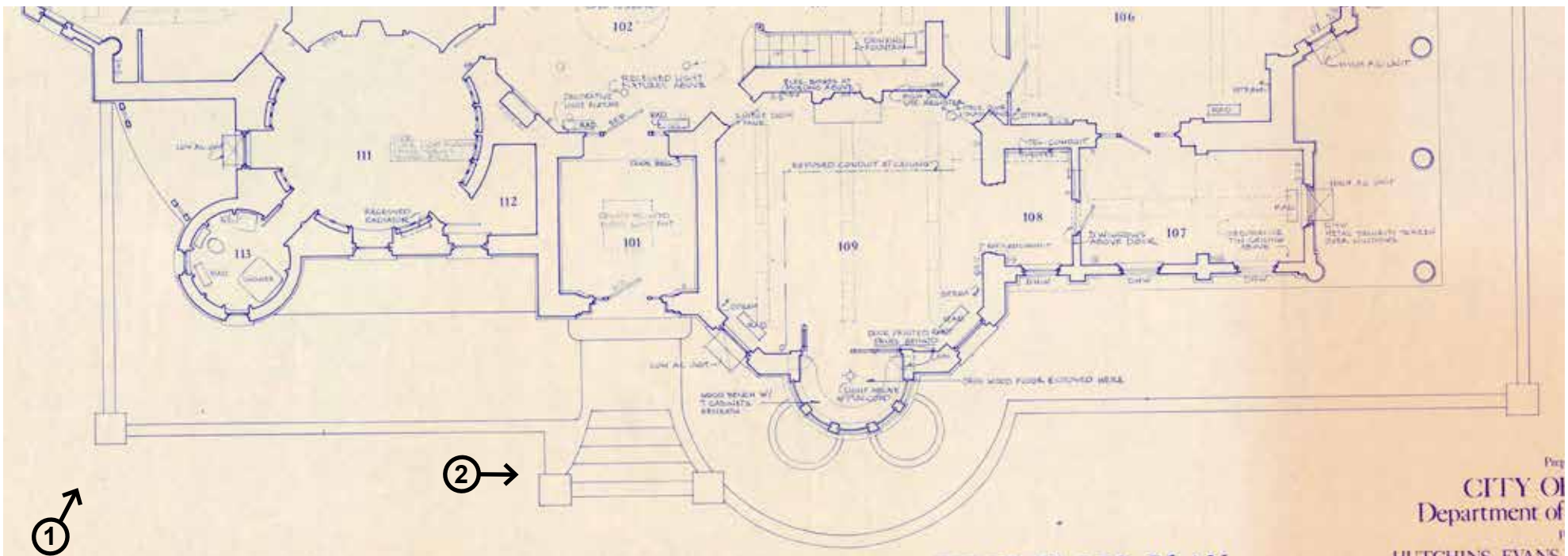
1909 Borough of Brooklyn Park Plan



Existing Conditions



Litchfield Villa Main Entrance Ramp
Prospect Park



1 Original northwest brownstone wall in storage



Brownstone wall

Brownstone pier

Temporary Plywood
Brownstone wall in storage

2 Temporary staircase on original brownstone and granite steps



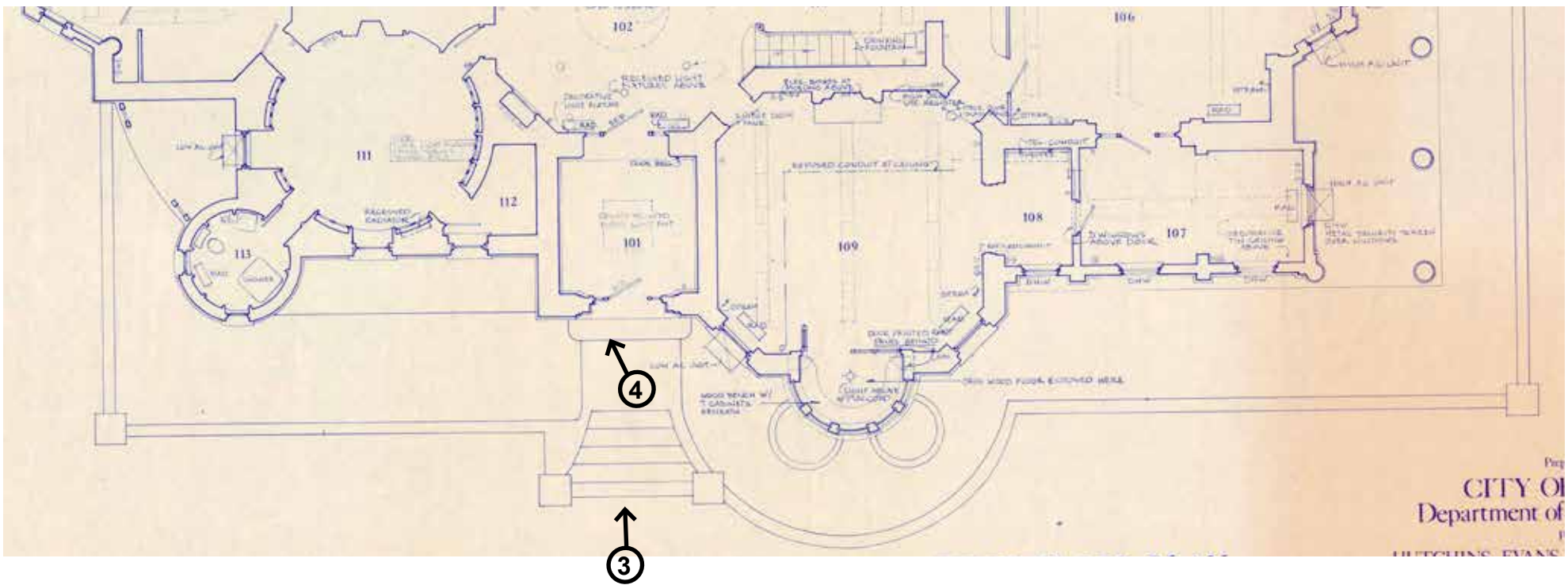
Two granite steps

Brownstone cheek wall

Brownstone landing

Temporary Wood
Stair

Brownstone pier



3 First brownstone step is buried, landing is also brownstone



Brownstone wall in storage Brownstone pier 2 Granite steps 5 brownstone steps

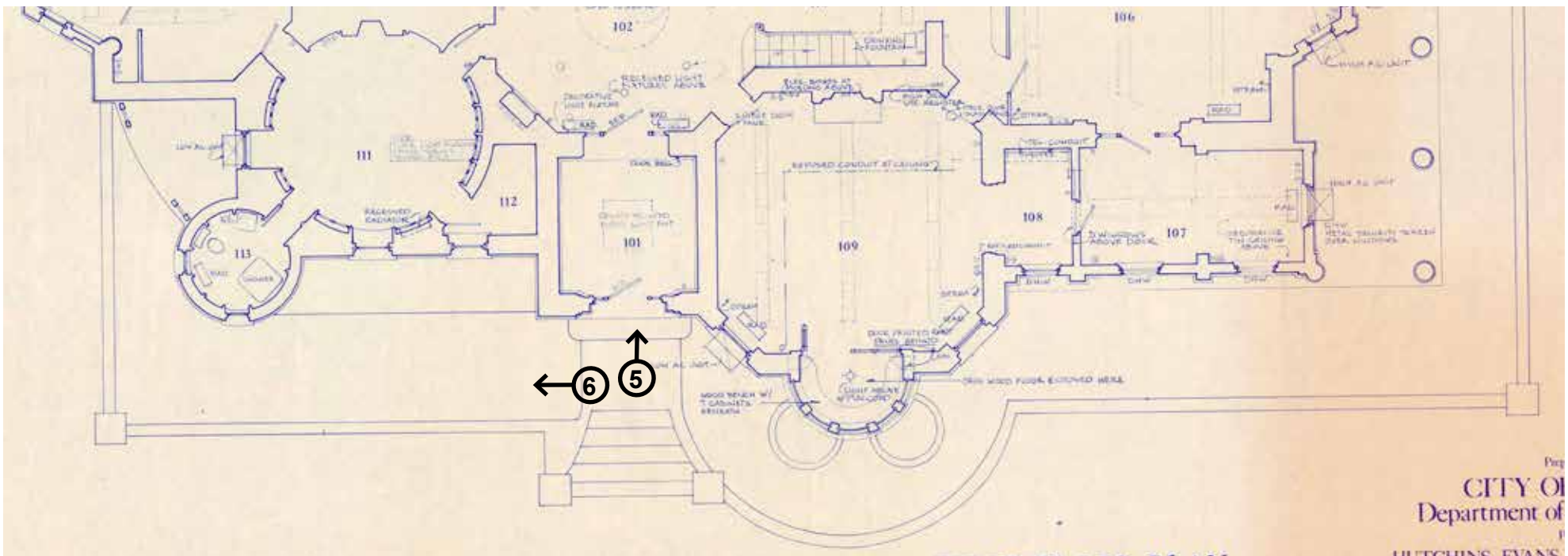
4 Top two steps are granite and match the building granite



Concrete terrace Brownstone landing 2 Granite steps



Litchfield Villa Accessibility
Prospect Park | Site Photos



5 Door sill must be removed and door reversed to meet code



Brownstone landing

2 Granite steps

6 Ramp will be installed between concrete terrace and reset brownstone wall



Brownstone cheek wall

Granite steps

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**95 Prospect Park West, Prospect Park – Litchfield Villa –
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