

The current proposal is:

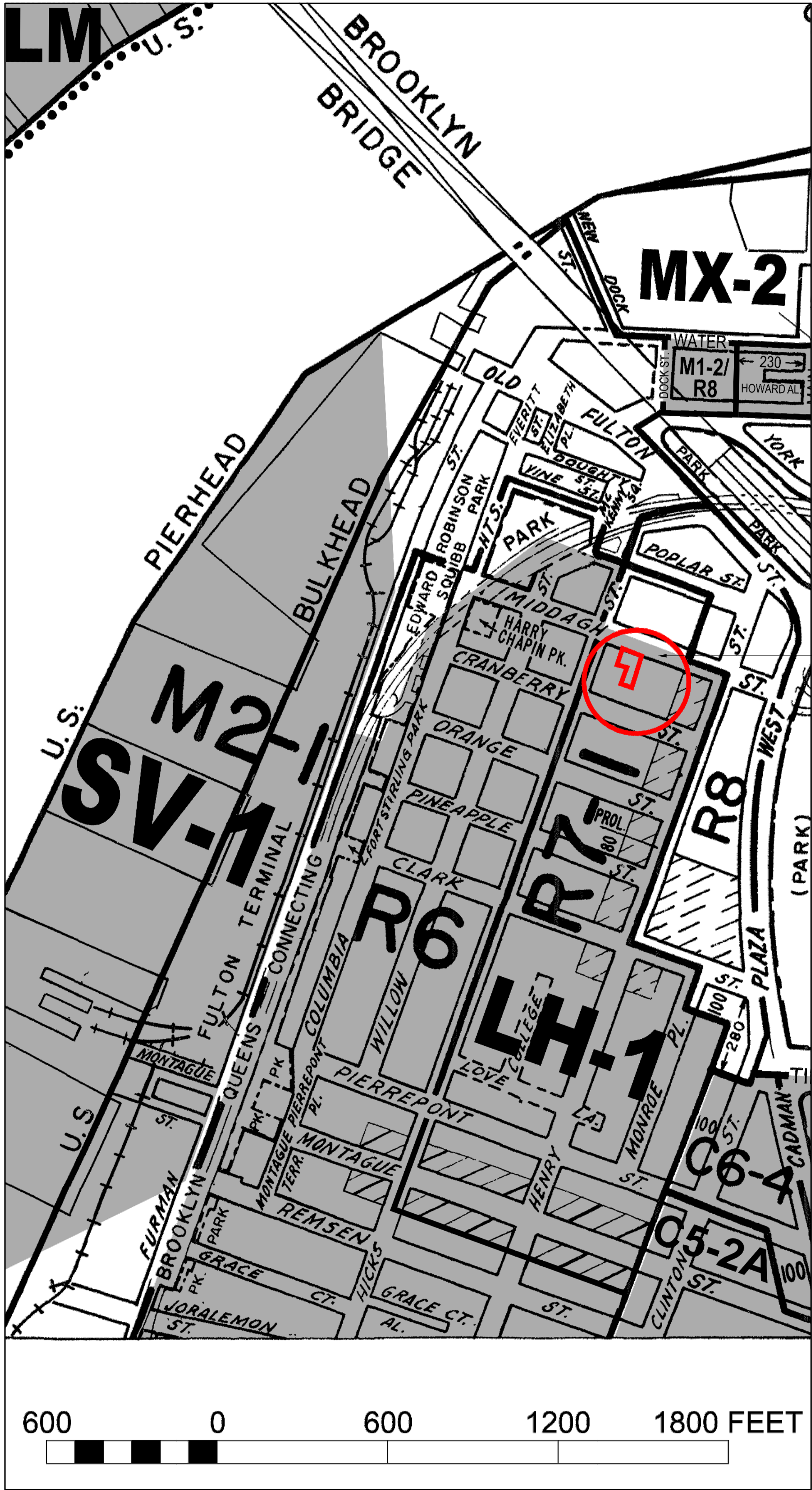
**Preservation Department – Item 1, LPC-19-41516**

**56 Middagh Street,**

**Borough of Brooklyn**

**Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed**





ZONING PLAN

# 56 MIDDAGH STREET

## DRAWING LIST

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- A-002 ZONING ANALYSIS / NOTES
- A-003 SITE PLAN

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56 MIDDAGH STREET  
BROOKLYN, NY 11201

BLOCK: 216  
LOT: 13  
ZONING MAP: 12D  
ZONE: R7-1 GENERAL RESIDENTIAL DISTRICT  
CONSTRUCTION CLASS: IIB NON-COMBUSTIBLE  
OCCUPANCY R3: ONE AND TWO FAMILY RESIDENCE

|   |              |          |
|---|--------------|----------|
| 6 | FOR APPROVAL | 05.18.21 |
| 5 | FOR APPROVAL | 01.20.21 |
| 4 | FOR APPROVAL | 02.06.20 |
| 3 | FOR APPROVAL | 05.02.19 |
| 2 | FOR APPROVAL | 06.15.18 |
| 1 | FOR APPROVAL | 10.30.17 |

| No. | Issue | Date |
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COVER SHEET  
PLOT PLAN

Drawing Title

Drawn By DB

Issued 05.18.21

Scale

A-001.00

Drawing No.

Sheet



FIRE STOPS

1. Concealed spaces within partitions, walls, floors, roofs, stairs, furring, pipe spaces, column enclosures, etc. that would permit passage of flame, smoke, fumes, or hot gases from one floor to another floor or roof space, or from one concealed area to another, shall be firestopped to form an effective draft barrier, or shall be filled with noncombustible material in accordance with the requirements of this section. Firestopping shall not be required where a concealed space is sprinklered in accordance with the construction provisions of subchapter seventeen of this chapter, or is constructed as a shaft. [BC 27-345]
2. Firestopping materials: In buildings of construction group I, firestopping or fill shall be of noncombustible material that can be shaped, fitted, and permanently secured in position. In buildings of construction group II, firestopping may be of combustible material consisting of wood not less than two inches nominal thickness with tight joints, two layers of one inch nominal thickness assembled so that there are no through joints or of one half inch exterior type plywood with joints backed, except that noncombustible firestopping shall be used in concealed spaces of fire divisions and where in contact with fireplaces, flues, and chimneys. Noncombustible firestopping may be masonry set in mortar, concrete, three-quarter inch thick mortar or plaster on noncombustible lath, plasterboard at least three-eighths of an inch thick, fire-rated wallboard at least five eighths of an inch thick, sheet metal at least No. 14 U.S. std. gage thick, solid web metal structural members, asbestos-cement board at least one-quarter of an inch thick, or equivalent rigid noncombustible material. Mineral, slag, or rockwool may be used for firestopping when compacted to a density of at least three and one half pounds per cubic foot into a confined space of least dimension not more than one-third its second dimension. [BC 27-345(a)]
3. The performance of through-penetration fire stops shall be measured and specified according to reference standard RS 5-19. [BC 27-345(a)(1)]
4. The commissioner may accept reference standard RS 5-19 test data results from an independent laboratory acceptable to the commissioner pursuant to subdivision (c) of section 27-131, when such data is submitted by a registered architect or licensed professional engineer to justify the usage of fire stops or the details of their installation not specified herein. [BC 27-345(a)(2)]
5. Hollow partitions and furred spaces: All hollow partitions and furred out spaces shall be firestopped at each floor level. Firestops shall be the full thickness of the hollow space or furred out space. [BC 27-345(b)]
6. Stairs: Concealed spaces within stair construction shall be firestopped between stringers at the top and bottom of each flight of stairs so as not to communicate with concealed spaces in the floor, roof or intermediate landing construction. [BC 27-345(c)]
7. Ceiling spaces: Floor or roof assemblies required to have a fire-resistance [sic] rating shall have any concealed spaces therein firestopped in accordance with section 27-327 of this subchapter. [BC 27-345(d)]
8. Exterior cornices: Exterior cornices and eaves, constructed of combustible materials or with combustible framing, shall be firestopped at the ends of fire divisions and party walls, and at maximum intervals of twenty feet. If not continuous, they shall have closed ends and at least four inches separation between adjoining sections. [BC 27-345(e)]
9. Trim and finish: Where combustible trim and finish is permitted all hollow spaces shall be firestopped at ten foot intervals or shall be solidly filled with noncombustible materials. [BC 27-345(f)]
10. Duct and pipe spaces: Ducts and pipes enclosed in construction that does not meet the requirements of this code for shaft construction shall be firestopped at every floor level. [BC 27-345(g)]
11. Inspection of firestopping: The installation of all required firestopping shall be subject to the controlled inspection requirements of section 27-132 of article seven of subchapter one of this chapter, except that the architect or engineer need not be retained by the owner. Firestopping shall not be concealed from view until inspected. [BC 27-345(h)]

2014 BUILDING CODE - TENANT PROTECTION PLAN NOTES

ALL CONSTRUCTION WORK TO COMPLY WITH SECTION 28-104.8.4 OF THE 2014 BUILDING CODE, AS FOLLOWS:

1. Egress: At all times in the course of construction provision shall be made for adequate egress as required by this code and the tenant protection plan shall identify the egress that will be provided. Required egress shall not be obstructed at any time except where approved by the Commissioner.
2. Fire safety: All necessary laws and controls, including those with respect to occupied dwellings, as well as additional safety measures necessitated by the construction shall be strictly enforced.
3. Health requirements: Specification of methods to be used for control of dust, disposal of construction debris, pest control and maintenance of sanitary facilities, and limitation of noise to acceptable levels shall be included.
- 3.1. There shall be included a statement of compliance with applicable provisions of law relating to lead and asbestos.
4. Compliance with housing standards: the requirements of the New York city housing maintenance code, and where applicable, the New York state multiple dwelling law shall be strictly enforced.
5. Structural safety: No structural work shall be done that may endanger the occupants.
6. Noise restrictions: Where hours of the day or the days of the week in which construction work may be undertaken are limited pursuant to the New York city noise control code, such limitations shall be stated.
7. The building contains 36 dwelling units which will remain occupied during construction.

2014 BUILDING CODE CARBON MONOXIDE DETECTOR NOTES PERTAINING TO R-3 OCCUPANCY CLASSIFICATION:

- I. Per section 908.7, carbon monoxide alarms and detectors shall be installed as follows:
1. In groups R-1, R-2 and R-3, carbon monoxide notes shall be installed in affected dwellings units as per section 908.7.1.1.
2. Per 908.7.1.1 affected dwelling units. Carbon monoxide detectors shall be required within the following dwelling units:

A) Units on the same story where carbon monoxide producing equipment or enclosed parking is located.

B) Units on the stories above and below where the floor where carbon monoxide producing equipment or enclosed parking is located.

C) Units in a building containing a carbon monoxide producing furnace, boiler, or water heater as part of a central system.

D) Units in a building served by a carbon monoxide producing furnace, boiler or water heater as part of a central system that is located in an adjoining or attached building.
- II. Per Section 908.7.1.1.1 required location within dwelling units: Carbon monoxide alarms or detectors shall be located within dwelling units as follows:

1. Outside of any room used for sleeping purposes, within 15 feet (4572 mm) of the entrance to such room.

2. In any room used for sleeping purposes.

3. On any story within a dwelling unit, including below-grade stories and penthouses of any area, but not including raw spaces and uninhabitable attics.

ELECTRICAL AND SMOKE DETECTOR NOTES

1. Outlets within 5'-0" of sink to be GFI type.
2. New electrical outlets, telephone outlets, etc. must be installed in compliance with ANSI A117.1-1986. None of these items "except where the use of special equipment dictates otherwise" shall be mounted less than 15" above finished floor.
3. A single station smoke and carbon monoxide detector shall be installed immediately outside each sleeping or bedroom area of each dwelling unit. Such device shall be designed and installed so as to detect smoke and carbon monoxide and activate an alarm, be reasonably free from false alarms and provide visible information that the alarm is energized. Such device shall be directly connected to the lighting circuit of the dwelling or rooming unit with no intervening wall switch and shall provide a warning signal clearly audible in all sleeping quarters with all intervening doors closed. Cord connected installations or smoke detectors which rely exclusively on batteries are not permissible. Such devices shall either be approved or listed by an acceptable testing service or laboratory. [277.7 (g)]

INSULATION NOTES

Insulating materials used in combustible construction shall have a flame spread index not greater than 25, a smoke-development index not greater than 450, and be without evidence of continuous progressive combustion when tested in accordance with ASTM 84.

ROOF NOTES

1. Parapets shall have the same fire resistance rating as that required for the supporting wall.
2. On any side adjacent to a roof service shall have noncombustible faces for the uppermost 15" including counter-flashing and coping materials.
3. The height of the parapet shall not be less than 30" above the point where the roof surface and wall intersect.
4. Where joist frame into fire walls they must be designed to have at least 4" of solid noncombustible material around such joist. BC706.7.

ITEMS SUBJECT TO SPECIAL INSPECTIONS

STRUCTURAL STEEL WELDING PER BC 1704.3.1  
STRUCTURAL STEEL DETAILS PER BC 1704.3.2  
STRUCTURAL STEEL HIGH STRENGTH BOLTS PER BC 1704.3.3  
CONCRETE CAST IN PLACE PER BC 1704.4  
CONCRETE TEST CYLINDERS PER BC 1905.6  
CONCRETE DESIGN MIX PER BC 1905.3  
SUBGRADE INSPECTION PER BC 1704.7.1  
SUBSURFACE CONDITIONS – FILL PLACEMENT & IN-PLACE DENSITY PER BC 1704.7.2, BC 1704.7.3  
MECHANICAL SYSTEMS PER BC 1704.16  
STRUCTURAL STABILITY OF EXISTING BUILDING PER BC 1704.20.1  
FOOTING AND FOUNDATION PER BC 109.3.1  
FIRE-RESISTANT PENETRATIONS AND JOINTS PER BC 1704.2  
ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS AND DETENTION SYSTEMS PER BC 1704.21.2

ITEMS SUBJECT TO SPECIAL INSPECTIONS – SHORING OF EXCAVATION

EXCAVATION SHEETING, SHORING, BRACING PER BC 1704.19, BC 3304.4.1  
UNDERPINNING PER BC 1704.20.3, BC 1814

ITEMS SUBJECT TO ENERGY CONSERVATION CODE INSPECTIONS

PROTECTION OF EXPOSED FOUNDATION INSULATION PER 1RCNY SECTION 5000-01(IIA1)  
INSULATION PLACEMENT AND R VALUES PER 1RCNY SECTION 5000-01(IIA2)  
FENESTRATION U-FACTOR AND PRODUCT RATING PER 1RCNY SECTION 5000-01(IIA3)  
FENESTRATION AIR LEAKAGE PER 1RCNY SECTION 5000-01(IIA4)  
FENESTRATION AREAS PER 1RCNY SECTION 5000-01(IIA5)  
AIR SEALING AND INSULATION PER 1RCNY SECTION 5000-01(IIA6)  
AIR SEALING AND INSULATION PER 1RCNY SECTION 5000-01(IIA7)  
LOADING DOCK WEATHER SEALS PER 1RCNY SECTION 5000-01(IIA8)  
ELECTRICAL ENERGY CONSUMPTION PER 1RCNY SECTION 5000-01(H)(C1)(IIC1)  
INTERIOR LIGHTING POWER PER 1RCNY SECTION 5000-01(H)(IIC3)  
EXTERIOR LIGHTING POWER PER 1RCNY SECTION 5000-01(H)(IIC4)  
LIGHTING CONTROLS PER 1RCNY SECTION 5000-01(H)(IIC5)  
HVAC AND SERVICE WATER HEATING EQUIPMENT PER 1RCNY 5000-01(H) (IB3) (IIB3)  
HVAC AND SERVICE WATER HEATING SYSTEM CONTROLS PER 1RCNY 5000-01(H) (IB4) (IIB4)  
HVAC INSULATION AND SEALING PER 1RCNY 5000-01(H) (IB5) (IIB5)  
DUCT LEAKAGE TESTING PER 1RCNY 5000-01(H) (IB6) (IIB6)  
MAINTENANCE INFORMATION PER 1RCNY 5000-01(IID1)  
PERMANENT CERTIFICATE PER 1RCNY 5000-01(ID2)

GENERAL NOTES

1. Scope of Work: Create a new single family residence on a vacant lot adjacent to an existing building on the same zoning lot.
2. All work shall conform to the requirements of all regulating agencies including the New York City Building Code, the Federal Housing Authority, the Multiple Dwelling Law, Fire Department of New York regulations, utility company requirements and the best trade practices.
3. Before commencing work, the contractor shall file all required certificates of insurance with the department of buildings, obtain all required permits, and pay all fees required by governing agencies.
4. The contractor shall verify all existing conditions in the field prior to commencing work, and shall report any discrepancies between drawings and field conditions to the architect.
5. Minor details not usually shown or specified, but necessary for proper construction of any part of the work shall be included as if they were indicated in the drawings.
6. The contractor shall coordinate all work procedures with requirements of local authorities and Building Management.
7. The contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
8. The contractor shall lay out his own work, and shall provide all dimensions required for other trades (plumbing, electrical, etc.).
9. Plumbing and electrical work shall be performed by persons licensed in their trades, who shall arrange for and obtain inspections and required sign-offs.
10. The contractor shall do all cutting, patching, repairing as required to perform all of the work indicated on the drawings, and all other work that may be required to complete the job.
11. All piping and wiring shall be removed to a point of concealment and shall be properly capped or plugged.
12. The contractor, upon completion of the work, shall arrange for Department of Buildings inspections and sign-offs as required.
13. No utility, piping, or electrical conduit serving another apartments will be relocated during alterations.
14. No cutting or channeling of building structure will be permitted for any work of alteration.

CONTRACTOR AND OR OWNER TO GIVE LICENCED RESPONSIBLE PERSON THAT WILL PERFORM THE REQUIRED SPECIAL OR PROGRESS INSPECTIONS 72 HOUR NOTIFICATION PRIOR TO COMMENCEMENT OF INSPECTIONS LISTED BELOW.

ELECTRICAL APPLICATION FILED SEPARATELY

56 MIDDAGH STREET  
BROOKLYN, NY 11201

|   |              |          |
|---|--------------|----------|
| 6 | FOR APPROVAL | 01.20.21 |
| 5 | FOR APPROVAL | 02.06.20 |
| 4 | FOR APPROVAL | 05.02.19 |
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| 2 | FOR APPROVAL | 06.15.18 |
| 1 | FOR APPROVAL | 10.30.17 |

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GENERAL NOTES  
ZONING AND ENERGY  
Drawing Title

Drawn By DB

Issued 05.05.21

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Drawing No.

Sheet

A-002.00

ENERGY CODE COMPLIANCE

|  |   |  |   |                       |
|--|---|--|---|-----------------------|
| ENERGY ANALYSIS<br>56 Middagh Street<br>Brooklyn, NY 11201 |   |  |   |                       |
| CLIMATE ZONE 4A  |   |  |   |                       |
| ENERGY ANALYSIS  |   |  |   |                       |
| NYCEC Citation   | Item Description  | Proposed Design Value  | Code Prescribed Value and Citation  | Supporting Documents  |
| R402.1<br>Table 402.1.2                                    | New operable windows and frames   | U = 0.30; SHGC = 0.55  | Maximum U = 0.32; SHGC = 0.40   | A-202<br>A-204        |
| R402.1<br>Table 402.1.2                                    | New sloped roof   | R-49 cavity insulation   | Minimum R-49 cavity or R-38 cavity + R-3 continuous insulation  | A-202, A-204<br>A-301 |
| R402.1<br>Table 402.1.2                                    | New exterior walls – fiber cement panels on cmu with closed cell insulation.  | Wall assembly R=20.15 with R-16.75 insulation                                | Mass wall assembly 20 as insulation is on interior of mass wall [Table 402.1.2]   | A-202, A-204<br>A-301 |
| R403.2.3(2)  | Split DX System, Single-Phase   | EER - 16.5   | EER - 14.0  | M-200, M-900          |
| R403.2.3(5)  | 1st Floor Boilers   | AFUE - 95%   | AFUE - 82%  | M-200, M-601          |
| R403.2.4   | Each AC Unit, Heating Unit shall be provided with thermostatic controls. Thermostat shall have time of day programmable setpoint for temperature setback control based on a time clock. |  |   |                       |
| R403.4.1   | Protection of Piping Insulation   | Piping insulation located within thermal envelope                            | Not required when piping insulation located within thermal envelope   | M-600                 |
| R403.5.1   | Heated Water Circulation and Temperature Maintenance  | Circulation pump based on demand control                                     | Heated water circulation systems shall be provided with a circulation pump based on the identification of a demand for hot water within the occupancy. The controls shall automatically turn off the pump when the water in the circulation loop is at the desired temperature and when there is no demand for hot water. | M-300                 |
| R404.1   | New lighting throughout   | 75% of the lamps install lighting fixtures contain only high efficacy lamps. | Not less than 75% of the lamps in permanently installed lighting fixtures shall be high efficacy lamps except for low voltage lighting.   | A-111<br>A-112        |

ZONING ANALYSIS

56 Middagh Street

Brooklyn, NY 11201

Location: 56 Middagh Street between Hicks and Henry Streets

Block / Lot: 216 / 13

Buildings on Lot: 1 Existing, 2 Proposed

Zoning Map: 12d

Landmark Status: Yes

Lot Size: 25' x 100' + 25' x 24.71' = 2,500 + 617.71 = 3117.71 SF

Building Size: 25' x 38'-3" + 7'-6" x 9'-8" = 956.25 + 72.525 = 1028.78 SF

Lot Coverage: 65% + 100% for shallow portion

No. of Stories Existing: Cellar, Basement, 3 stories

No. of Stories Proposed: Cellar, Basement, 3 stories

Building Height: 40'

Maximum Building Height: 50' [Special District LH-1 Limited Height]

Lot Area: 3,117.71 SF

Building Area Existing: 3,593.52 SF

Zoning District: R7-1 General Residence District

Special District: LH-1 Limited Height

Land Use: One and Two Family Building

F.A.R.: 3.44 [ZR 23-153 (Quality Housing)]

Allowable Area: 10,724.92 SF

Proposed Area: 3,593.52 Existing + 2,321.80 Proposed = **5,915.32** SF < 10,724.92 SF Allowed

No. of Residential Units: 1 Existing, 2 Proposed

Commercial Units: 0

Corner Lot: No

Year Built: 1829

Proposed Construction Class (2014): **IIB NON-COMBUSTIBLE CONSTRUCTION**

3 Stories, 10,500 SF max.

Table 601 shows 0 hours fire rating resistance required at the primary structure, exterior and interior bearing walls, non-bearing walls, floor construction and roof construction [BC Chapter 6]

Table 602 shows 1 hour fire rating resistance required at the exterior walls

RES – RESID. BLDG. – OLD CODE

2-hour fire wall required between new building and existing buildings

Occupancy: **R3 One and Two Family**

Front Yard Required: None [23-45], 8'-3" Existing

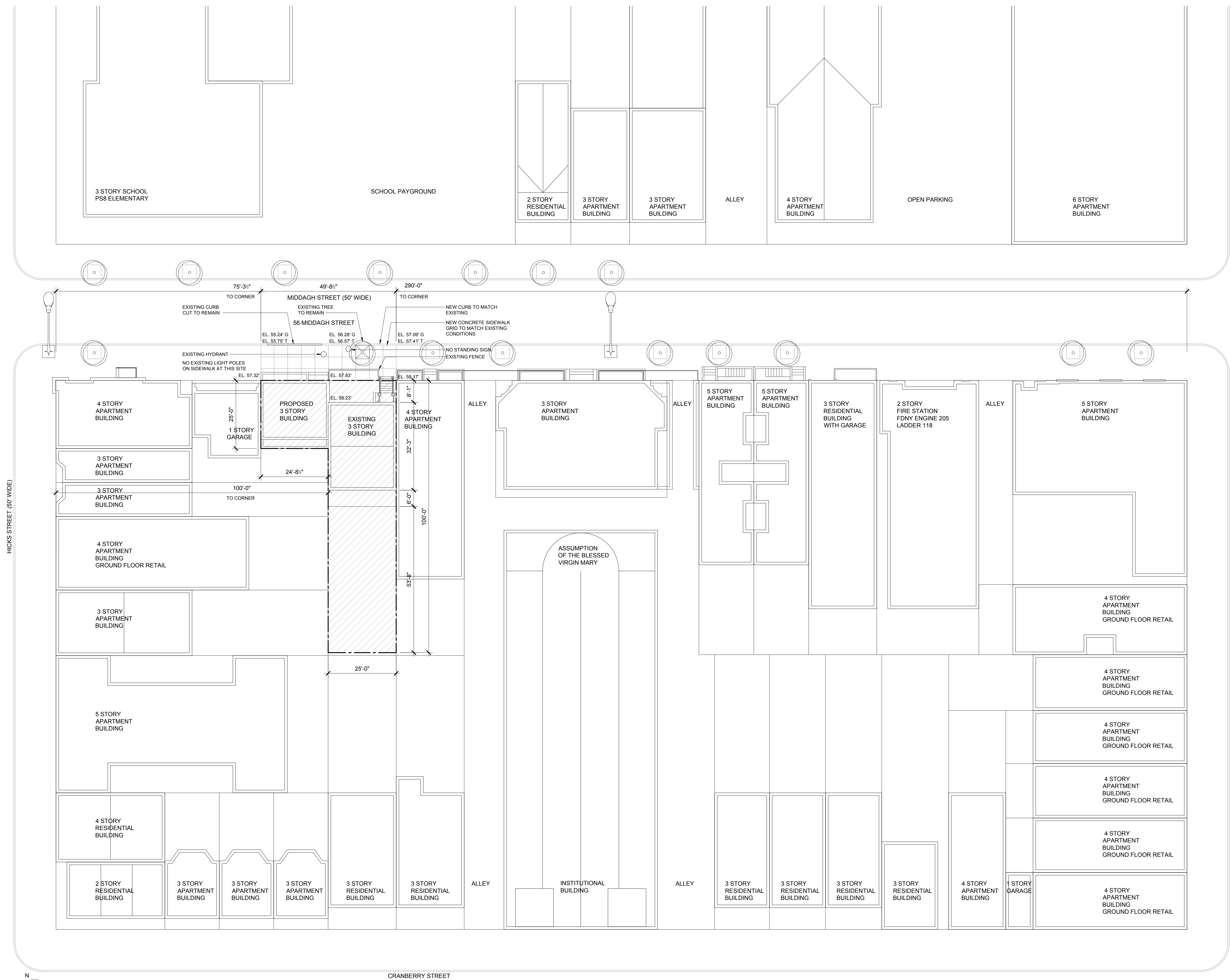
Side Yard Required: None [23-46], None Existing

Rear Yard Required: 30'-0" [23-47]

Rear Yard Existing: 43'-10"

ZONING ANALYSIS

56 MIDDAGH STREET  
BROOKLYN, NY 11201



|   |              |          |
|---|--------------|----------|
| 5 | FOR APPROVAL | 05.03.21 |
| 4 | FOR APPROVAL | 01.20.21 |
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| 2 | FOR APPROVAL | 07.08.19 |
| 1 | FOR APPROVAL | 06.15.18 |

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## SITE PLAN

Drawing Title

Drawn By DB

05.05.21

A-003.00

Drawing No.

Sheet





56 MIDDAGH STREET

2 MIDDAGH STREET BETWEEN HENRY STREET AND HICKS STREET LOOKING SOUTH



1 MIDDAGH STREET BETWEEN HENRY STREET AND HICKS STREET LOOKING NORTH

|   |                    |          |
|---|--------------------|----------|
| 2 | LPC PUBLIC HEARING | 12.08.20 |
| 1 | LPC PUBLIC HEARING | 09.13.19 |

| No. | Issue | Date |
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STREETSCAPE  
IMAGES

Drawing Title

Drawn By DB

Issued 05.05.21

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A-011.00

Drawing No.

Sheet





1 56 MIDDAGH STREET - HISTORIC IMAGE - CIRCA 1940



2 56 MIDDAGH STREET - HISTORIC IMAGE - CIRCA 1940

| 2    | LPC PUBLIC HEARING | 12.08.20 |
|------|--------------------|----------|
| 1    | LPC PUBLIC HEARING | 09.13.19 |
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| HISTORIC<br>IMAGES |          |             |
|--------------------|----------|-------------|
| Drawing Title      |          |             |
| Drawn By           | DB       | A-012.00    |
| Issued             | 05.05.21 | Drawing No. |
| Scale              |          | Sheet       |



(SD) SMOKE / CARBON MONOXIDE DETECTOR

CONSTRUCTION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW PARTITION, 3 5/8" METAL STUDS @ 16" OC WITH (1) LAYER OF 5/8" GYP BD. EACH SIDE WITH BATT INSULATION BETWEEN STUDS UNLESS OTHERWISE NOTED

SEE DRAWING A-310 FOR A SCHEDULE OF WALL TYPES. ALL WALLS TYPE 4B UNLESS NOTED OTHERWISE.

|   |              |          |
|---|--------------|----------|
| 7 | FOR APPROVAL | 05.03.21 |
| 6 | FOR APPROVAL | 01.20.21 |
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CELLAR AND BASEMENT  
PROPOSED PLANS

Drawing Title

Drawn By DB

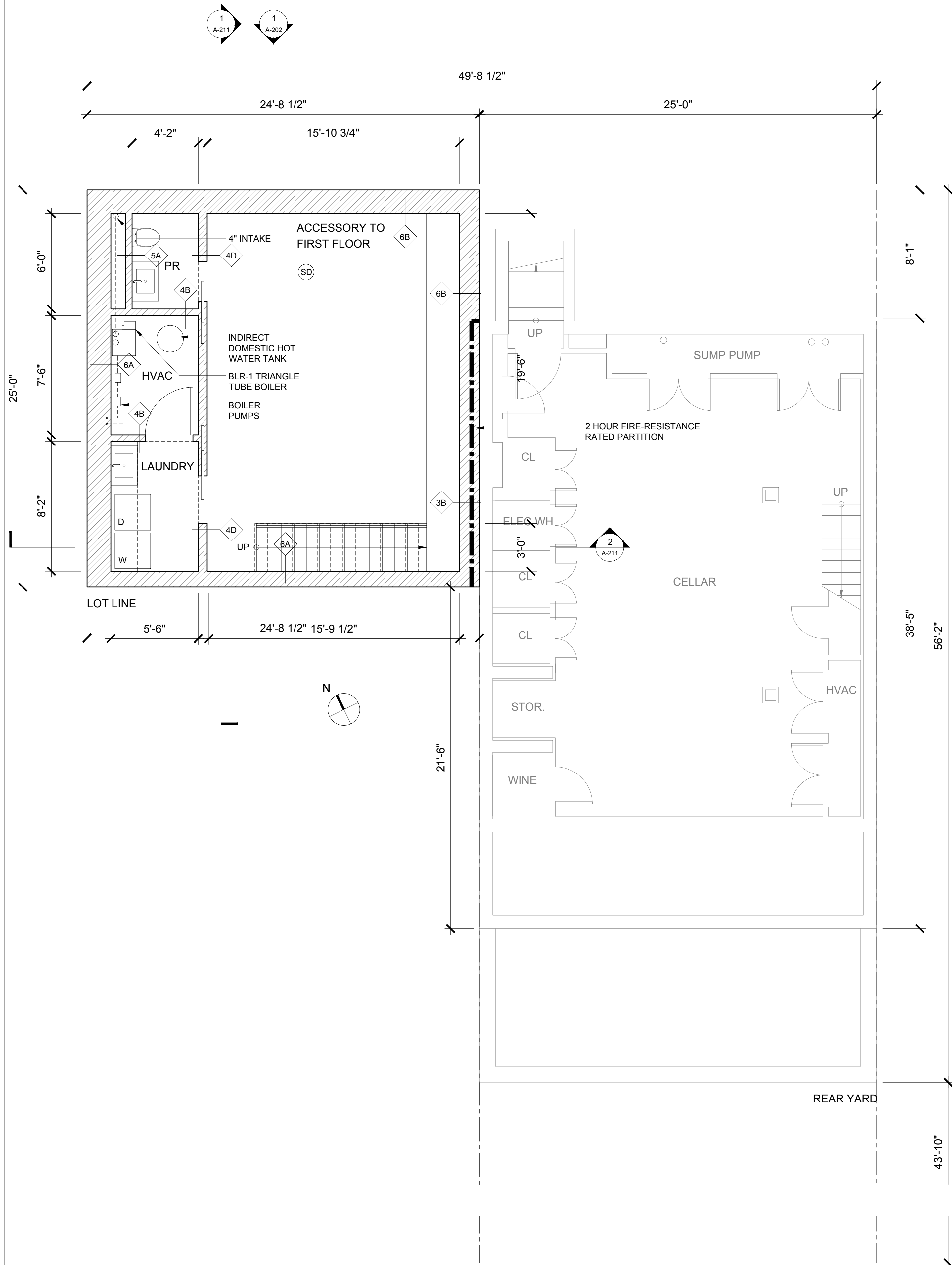
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Scale 1/4" = 1'-0"

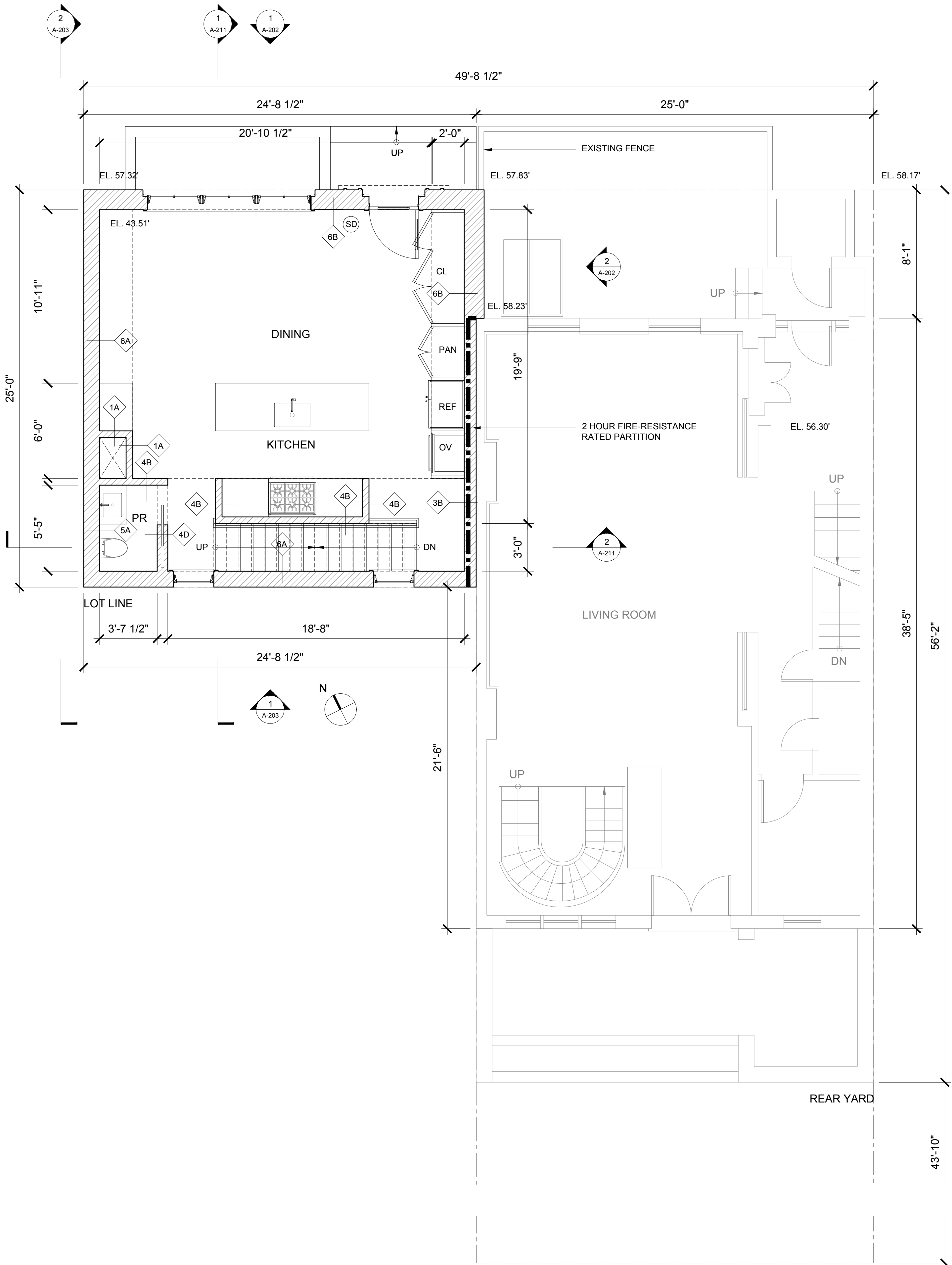
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1 PROPOSED CELLAR PLAN  
1/4" = 1'-0"



2 PROPOSED BASEMENT FLOOR PLAN  
1/4" = 1'-0"



SD SMOKE / CARBON MONOXIDE DETECTOR

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- NEW PARTITION, 3 5/8" METAL STUDS @ 16" OC WITH (1) LAYER OF 5/8" GYP BD. EACH SIDE WITH BATT INSULATION BETWEEN STUDS UNLESS NOTED OTHERWISE

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FIRST AND SECOND FLOOR  
PROPOSED PLANS

Drawing Title

Drawn By DB

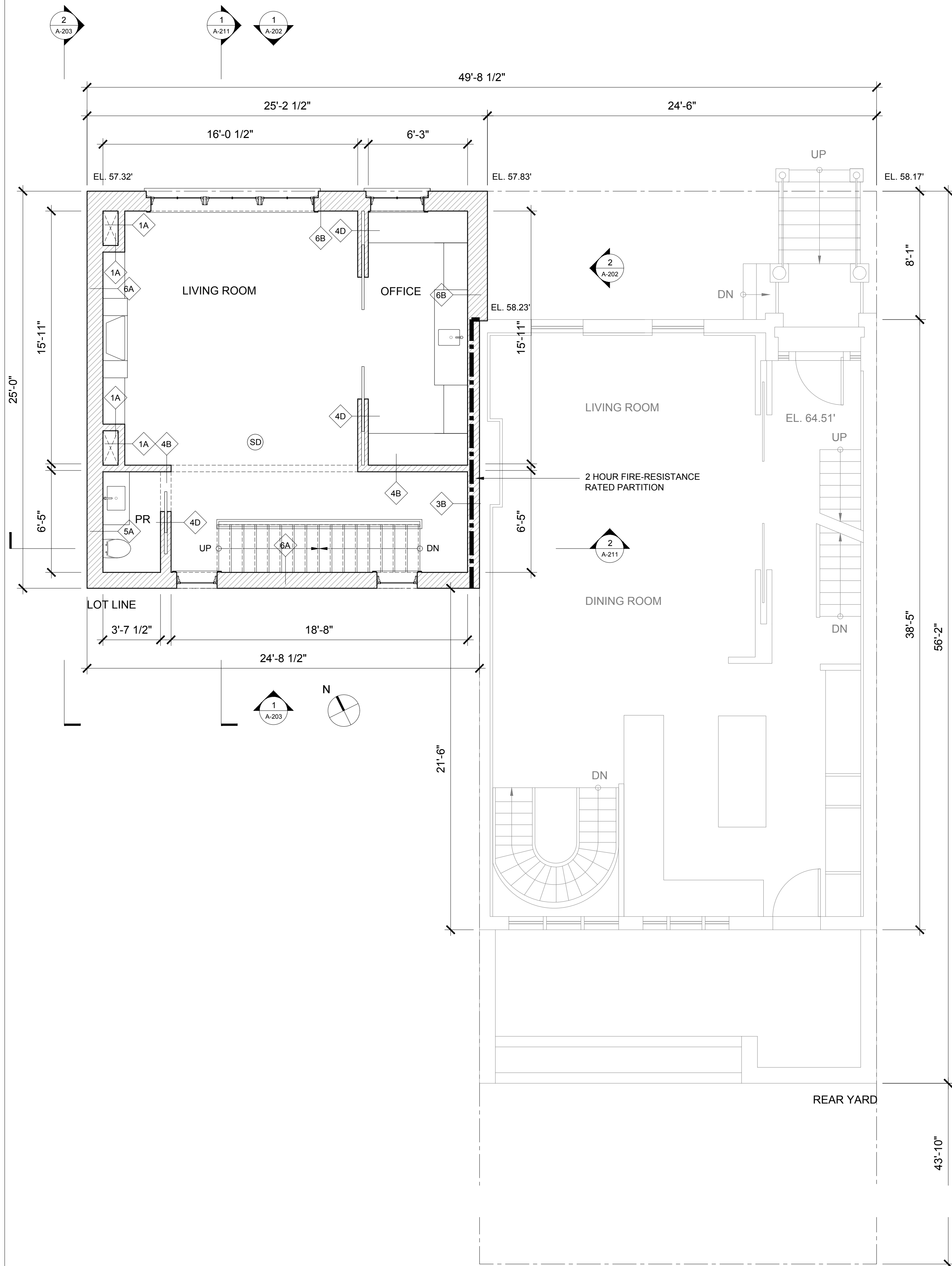
Issued 05.05.21

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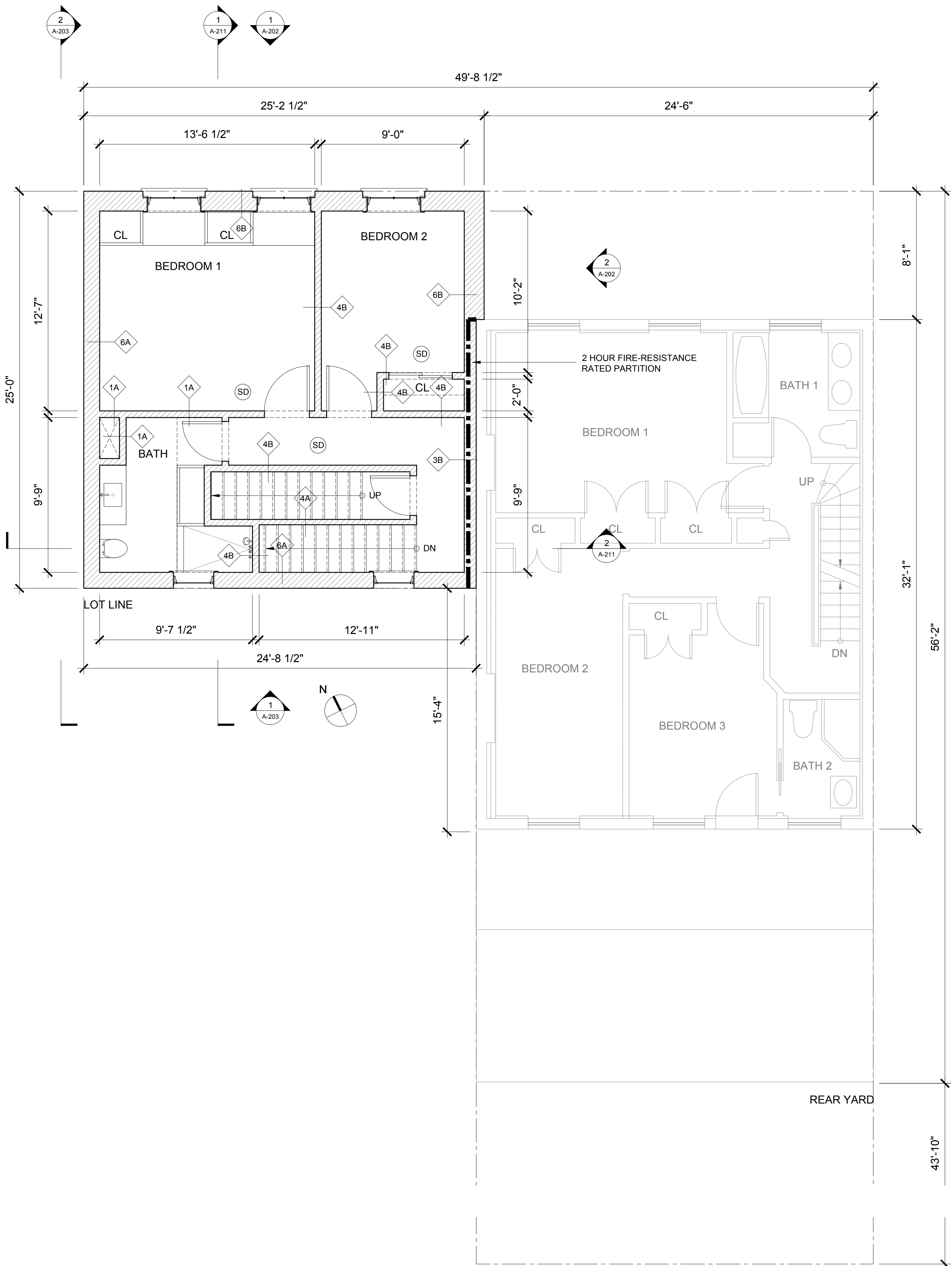
A-102.00

Drawing No.

Sheet



1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"





2 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



56 MIDDAGH STREET  
BROOKLYN, NY 11201

**SD** SMOKE / CARBON MONOXIDE DETECTOR

### CONSTRUCTION LEGEND

|   |  |
|---|--|
|  | EXISTING CONSTRUCTION TO<br>REMAIN   |
|  | NEW PARTITION, 3 5/8" METAL STUDS @ 16" OC<br>WITH (1) LAYER OF 5/8" GYP BD. EACH SIDE<br>WITH BATT INSULATION BETWEEN STUDS<br>UNLESS NOTED OTHERWISE |

SEE DRAWING A-310 FOR A SCHEDULE OF  
WALL TYPES. ALL WALLS TYPE 4B UNLESS  
NOTED OTHERWISE.

|   |              |          |
|---|--------------|----------|
| 7 | FOR APPROVAL | 05.03.21 |
| 6 | FOR APPROVAL | 01.20.21 |
| 5 | FOR APPROVAL | 02.06.20 |
| 4 | FOR APPROVAL | 05.02.19 |
| 3 | FOR APPROVAL | 08.03.18 |
| 2 | FOR APPROVAL | 06.15.18 |
| 1 | FOR APPROVAL | 10.30.17 |

| No. | Issue | Date |
|-----|-------|------|
|-----|-------|------|

Seal

PRATT + BLACK  
ARCHITECTS

66 PALMER AVENUE, SUITE 48  
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### THIRD FLOOR AND ROOF PROPOSED PLANS

*Drawing Title*

Drawn By DB

*Issued* 05.05.21

Scale 1/4" = 1'-0"

A-103.00

Drawing No.

Sheet





56 MIDDAGH STREET

|   |              |          |
|---|--------------|----------|
| 2 | FOR APPROVAL | 05.18.21 |
| 1 | FOR APPROVAL | 03.29.21 |

| No. | Issue | Date |
|-----|-------|------|
|-----|-------|------|

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PROPOSED STREET ELEVATION

Drawing Title

Drawn By DB

Issued 05.18.21 Drawing No.

Scale 3/16" = 1'-0" Sheet

A-201.00

1 STREET ELEVATION  
3/16" = 1'-0"





|   |              |          |
|---|--------------|----------|
| 7 | FOR APPROVAL | 05.18.21 |
| 6 | FOR APPROVAL | 03.29.21 |
| 5 | FOR APPROVAL | 01.20.21 |
| 4 | FOR APPROVAL | 02.06.20 |
| 3 | FOR APPROVAL | 08.03.18 |
| 2 | FOR APPROVAL | 06.15.18 |
| 1 | FOR APPROVAL | 10.30.17 |

| No.  | Issue | Date |
|------|-------|------|
| Seal |       |      |

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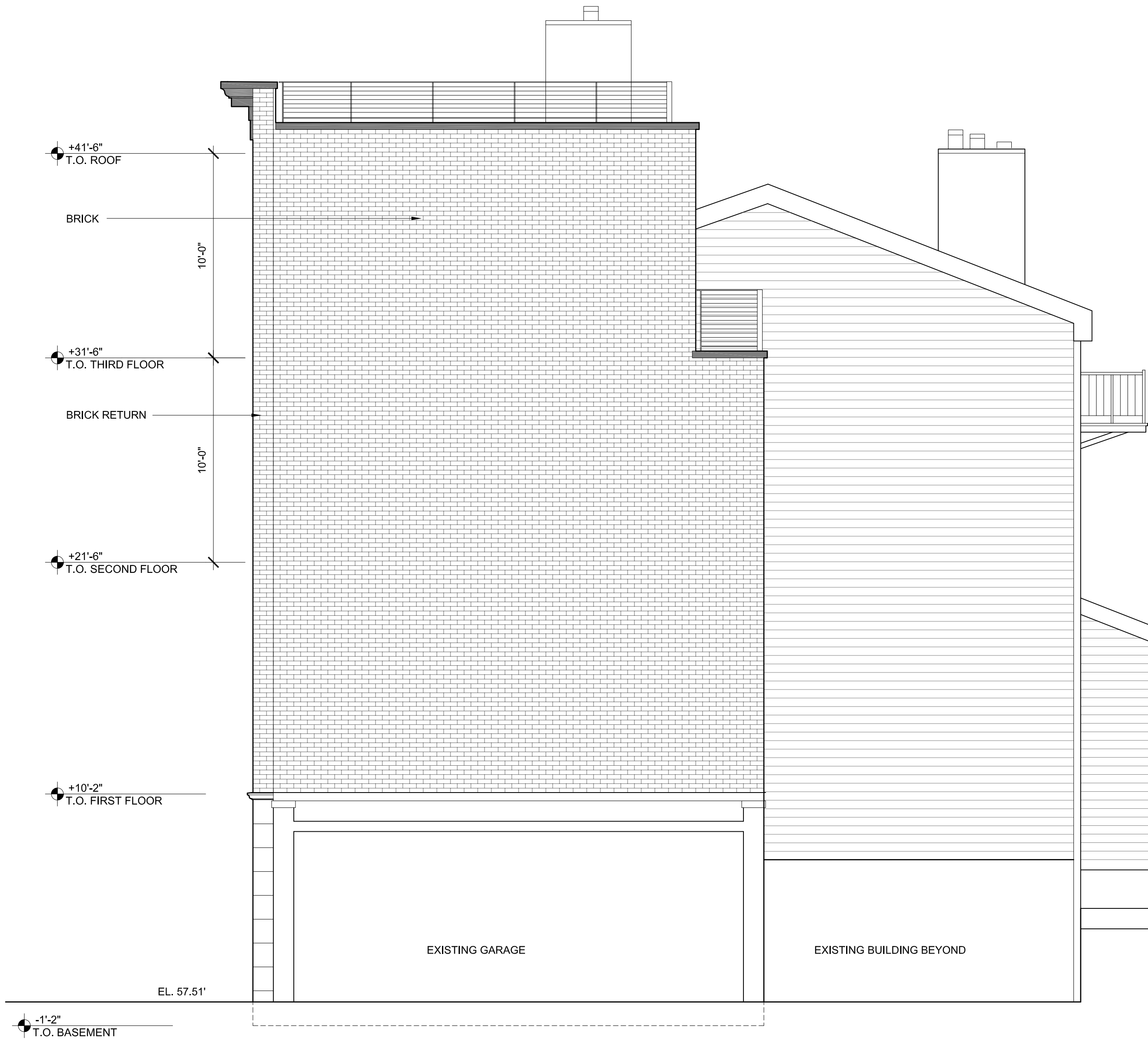
MCSWEENEY ENGINEERING  
12 SURREY LANE  
EAST BRUNSWICK, NJ 08816

PROPOSED  
NORTH ELEVATION  
Drawing Title

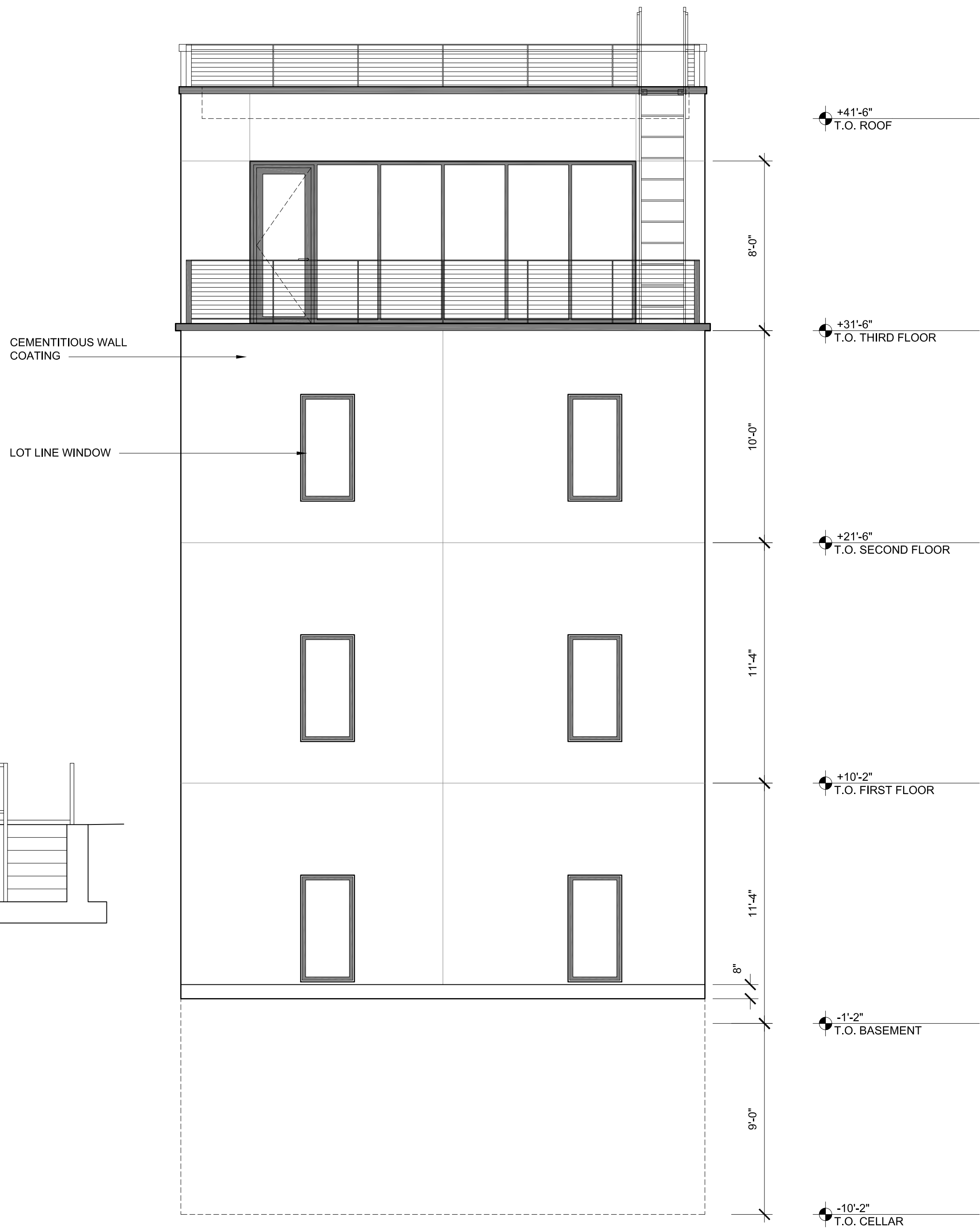
Drawn By DB  
Issued 05.18.21  
Scale 1/4" = 1'-0"

A-202.00  
Drawing No.  
Sheet





**2** PROPOSED WEST EXTERIOR ELEVATION  
1/4" = 1'-0"



**1** PROPOSED SOUTH EXTERIOR ELEVATION  
1/4" = 1'-0"

|   |              |          |
|---|--------------|----------|
| 6 | FOR APPROVAL | 05.18.21 |
| 5 | FOR APPROVAL | 03.29.21 |
| 4 | FOR APPROVAL | 01.20.21 |
| 3 | FOR APPROVAL | 02.06.20 |
| 2 | FOR APPROVAL | 06.15.18 |
| 1 | FOR APPROVAL | 10.30.17 |

| No.  | Issue | Date |
|------|-------|------|
| Seal |       |      |

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PROPOSED  
EAST ELEVATION  
Drawing Title

|          |              |             |
|----------|--------------|-------------|
| Drawn By | DB           | A-203.00    |
| Issued   | 05.18.21     | Drawing No. |
| Scale    | 1/4" = 1'-0" | Sheet       |





1 EXISTING STREET ELEVATION  
3/16" = 1'-0"

56 MIDDAGH STREET

1 FOR APPROVAL 05.18.21

No. Issue Date

Seal



2 CURRENT SCHEME STREET ELEVATION  
3/16" = 1'-0"

56 MIDDAGH STREET

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STREET ELEVATIONS

Drawing Title

Drawn By DB A-204.00

Issued 05.18.21 Drawing No.

Scale 3/16" = 1'-0" Sheet





1 PREVIOUS SCHEME STREET ELEVATION  
3/16" = 1'-0"



2 CURRENT SCHEME STREET ELEVATION  
3/16" = 1'-0"

56 MIDDAGH STREET

| 1    | FOR APPROVAL | 05.18.21 |
|------|--------------|----------|
| No.  | Issue        | Date     |
| Seal |              |          |

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ARCHITECTS  
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BRONXVILLE, NY 10708

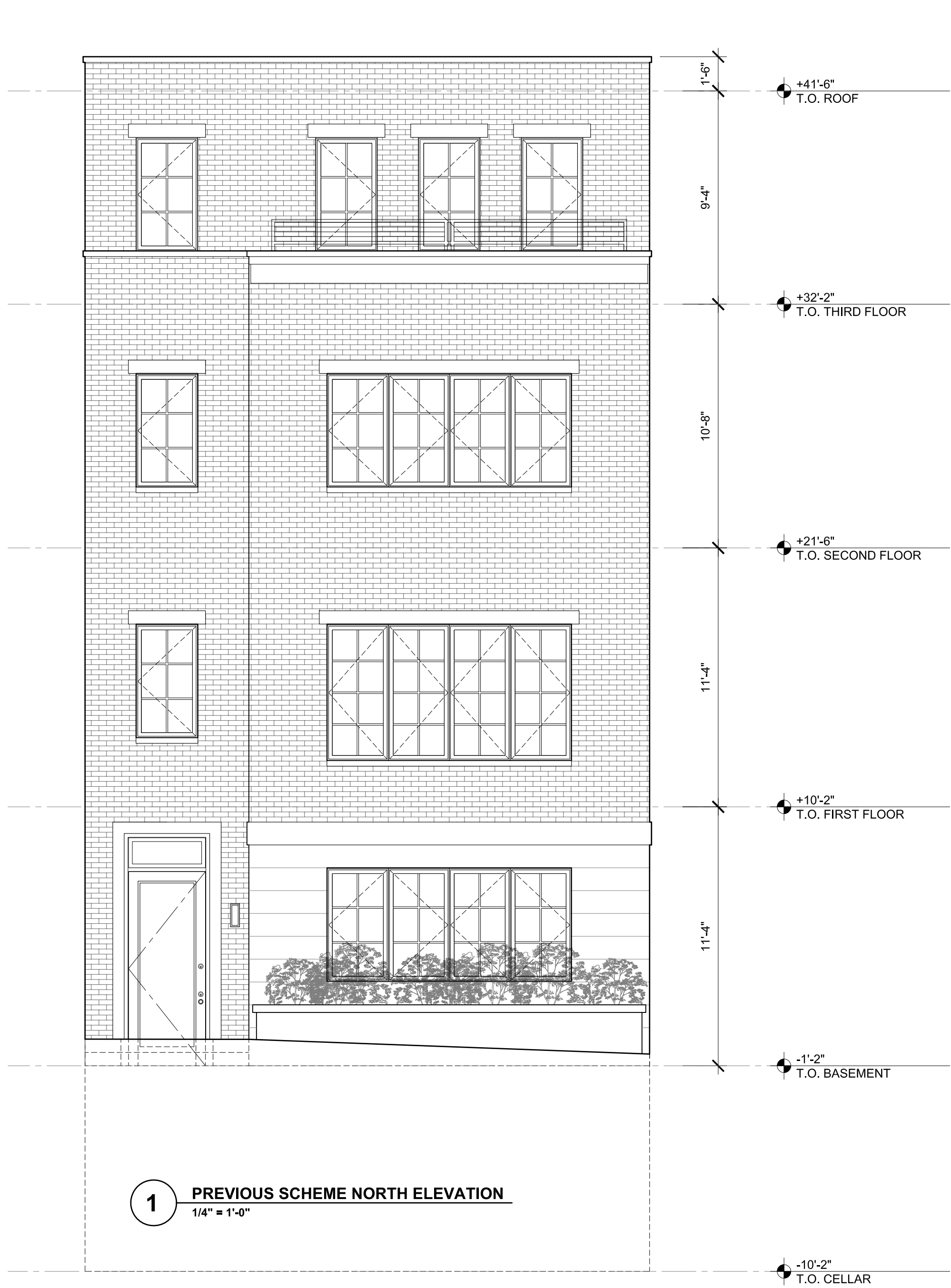
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NEW YORK, NY 10001

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12 SURREY LANE  
EAST BRUNSWICK, NJ 08816

STREET ELEVATIONS

| Drawing Title |               |             |
|---------------|---------------|-------------|
| Drawn By      | DB            | A-205.00    |
| Issued        | 05.18.21      | Drawing No. |
| Scale         | 3/16" = 1'-0" | Sheet       |





1 FOR APPROVAL 05.18.21

No. Issue Date

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NORTH ELEVATIONS

Drawing Title

Drawn By DB

Issued 05.18.21

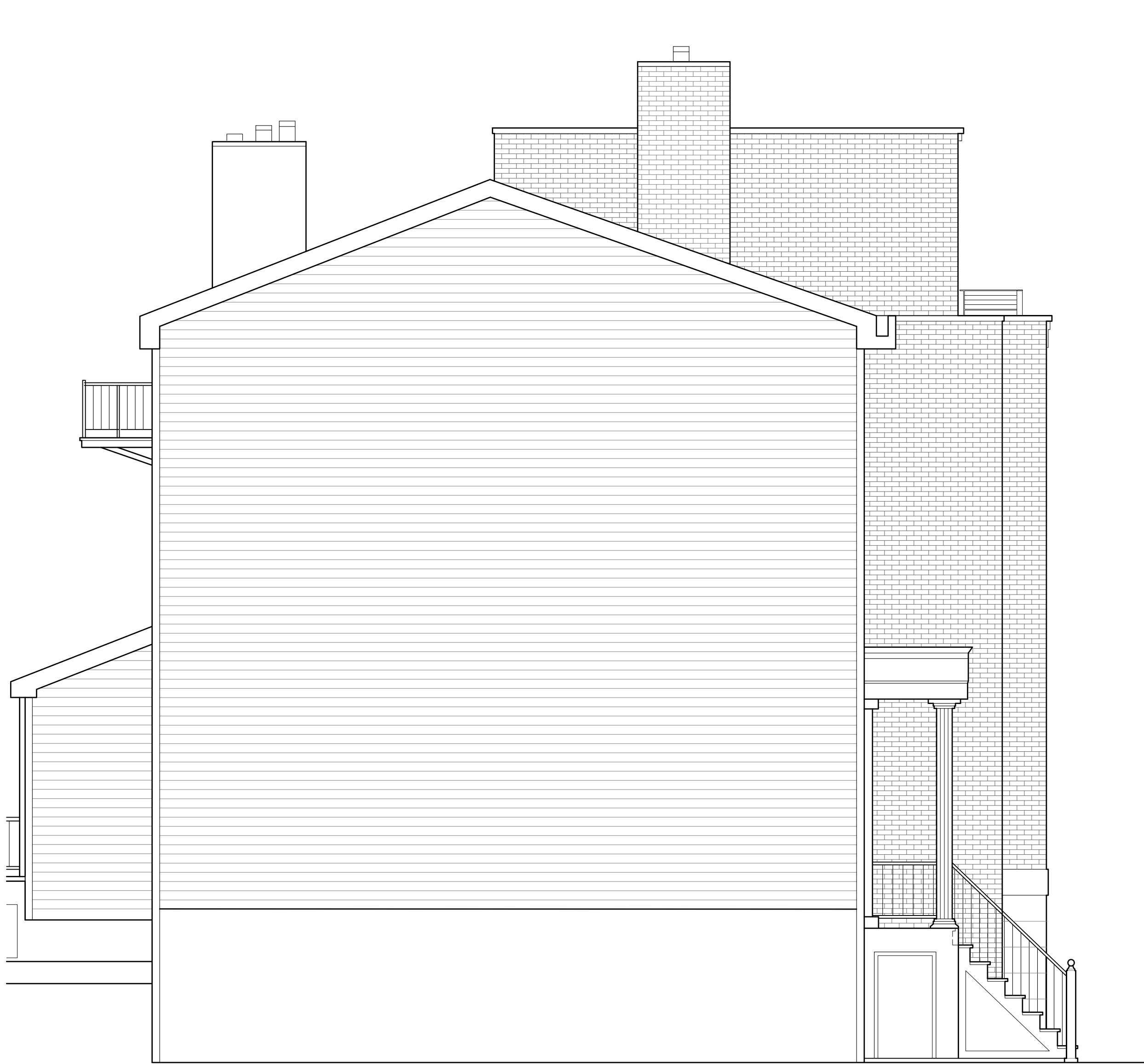
Scale 3/16" = 1'-0"

A-206.00

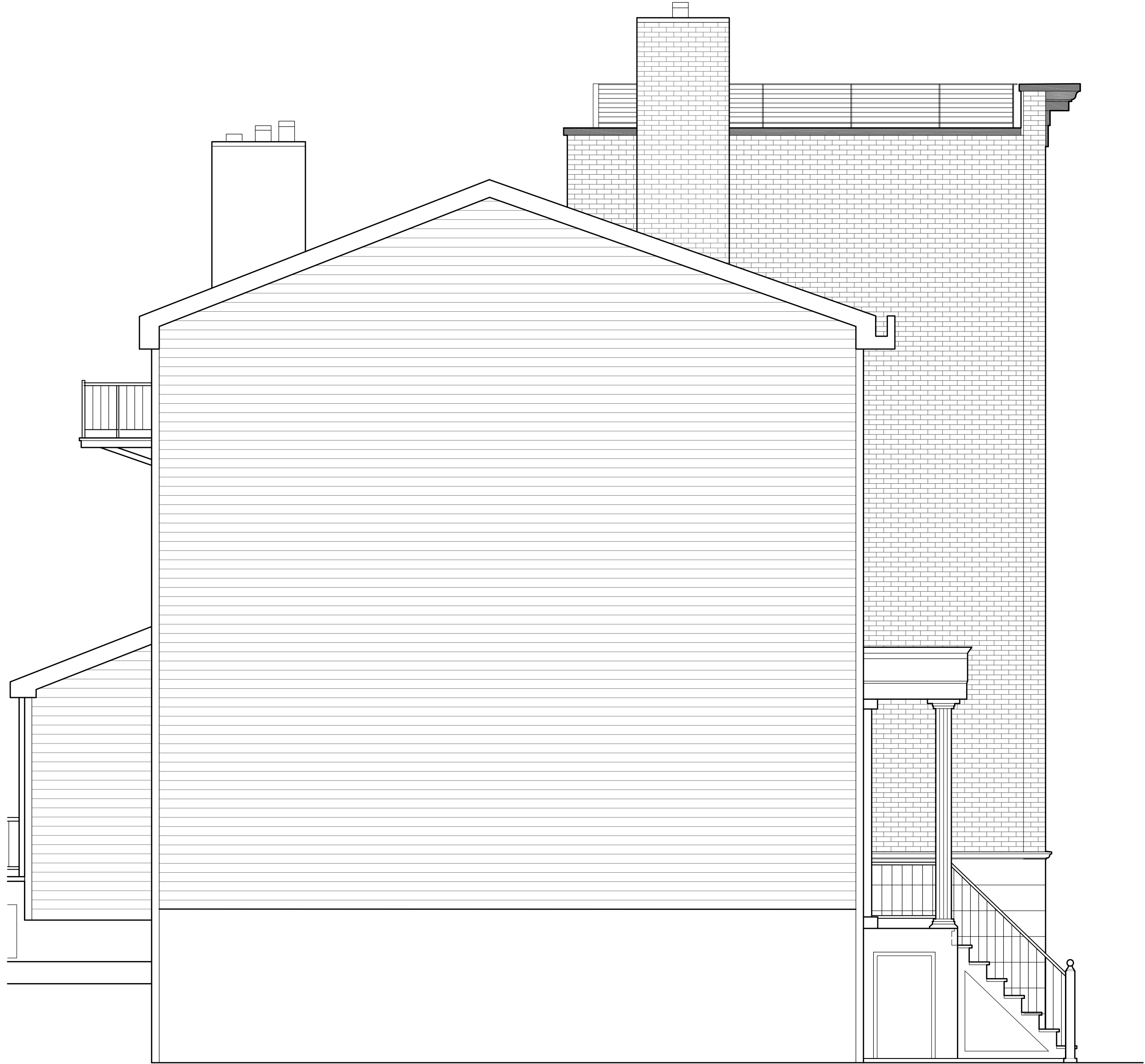
Drawing No.

Sheet





1 PREVIOUS SCHEME EAST ELEVATION  
1/4" = 1'-0"



2 CURRENT SCHEME EAST ELEVATION  
1/4" = 1'-0"

|     |              |          |
|-----|--------------|----------|
| 1   | FOR APPROVAL | 05.18.21 |
| No. | Issue        | Date     |

Seal

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EAST BRUNSWICK, NJ 08816

EAST ELEVATIONS

Drawing Title

Drawn By DB

Issued 05.18.21

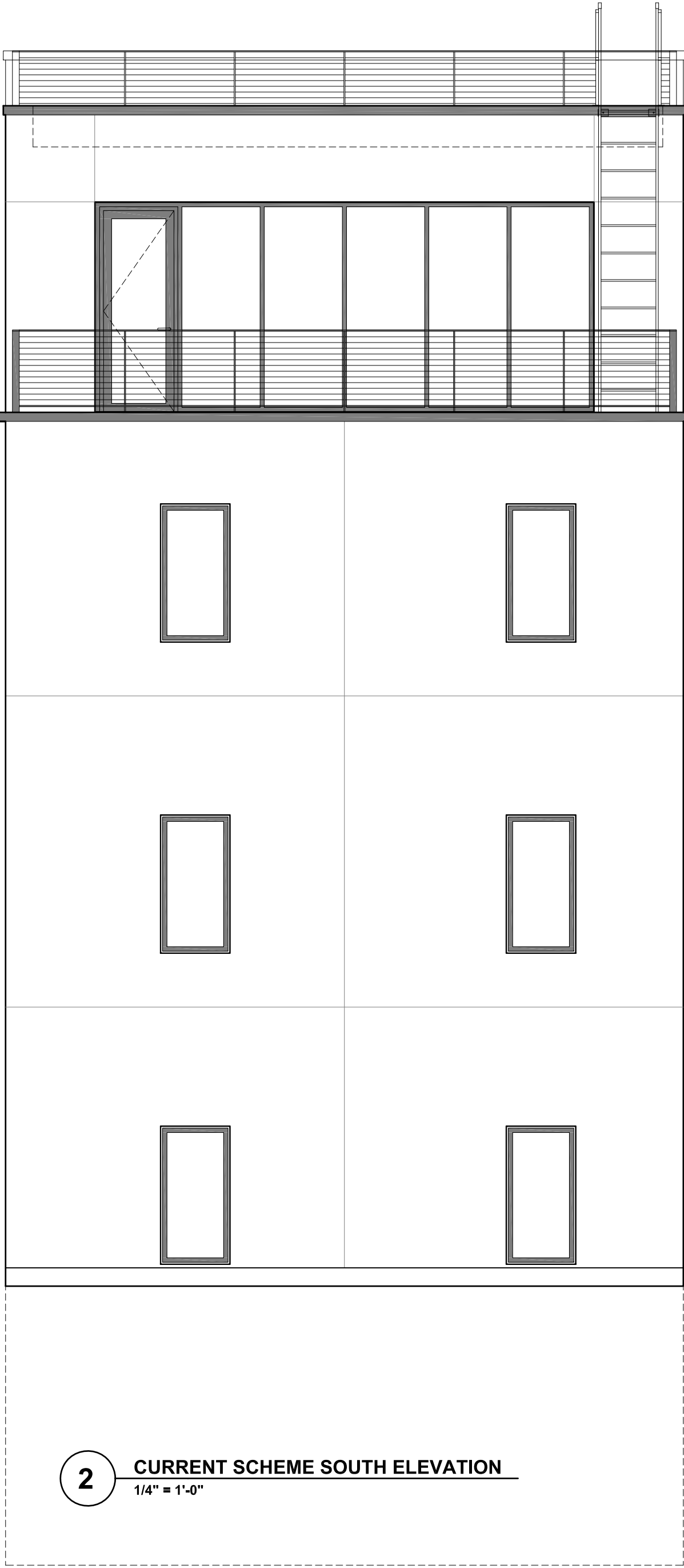
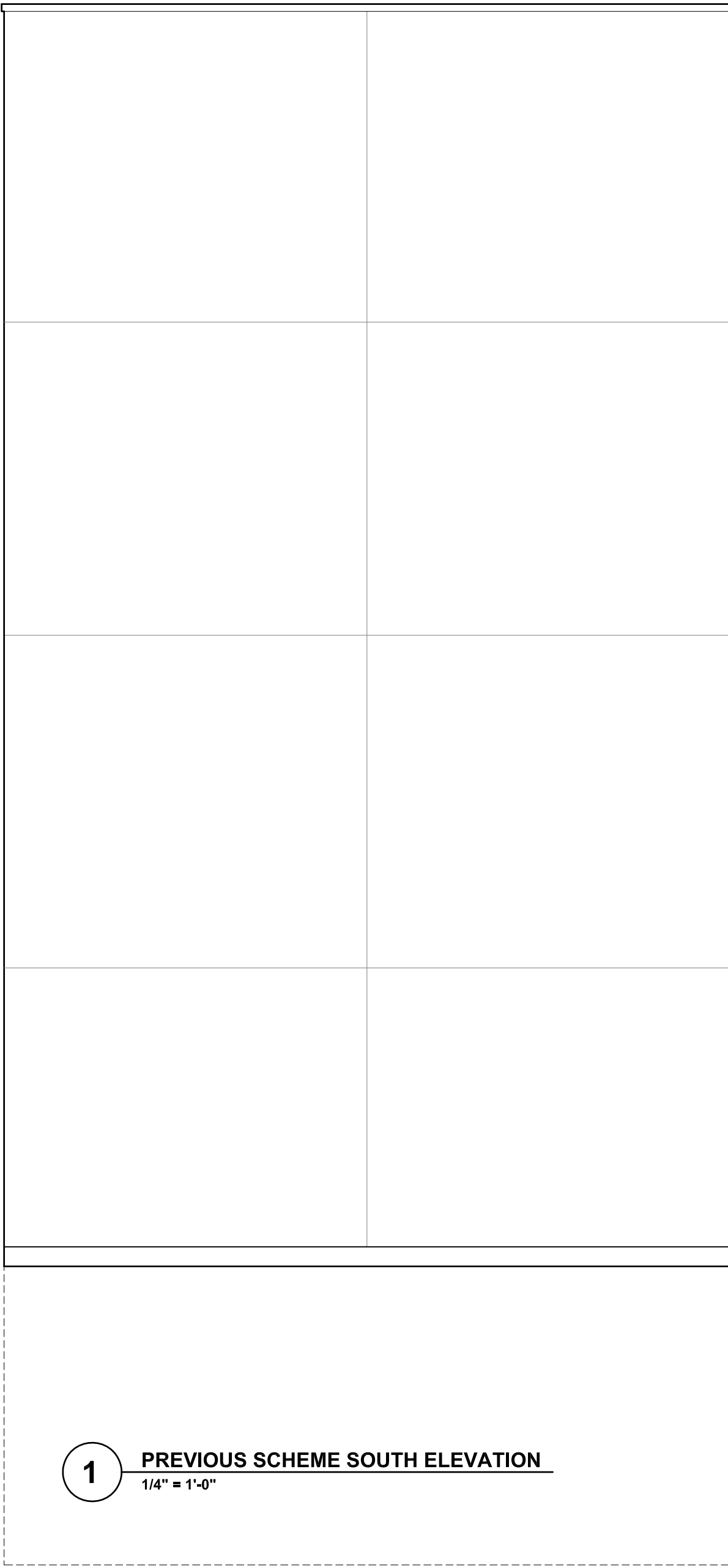
Scale 3/16" = 1'-0"

A-207.00

Drawing No.

Sheet





| 1    | FOR APPROVAL | 05.18.21 |
|------|--------------|----------|
| No.  | Issue        | Date     |
| Seal |              |          |

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BRONXVILLE, NY 10708

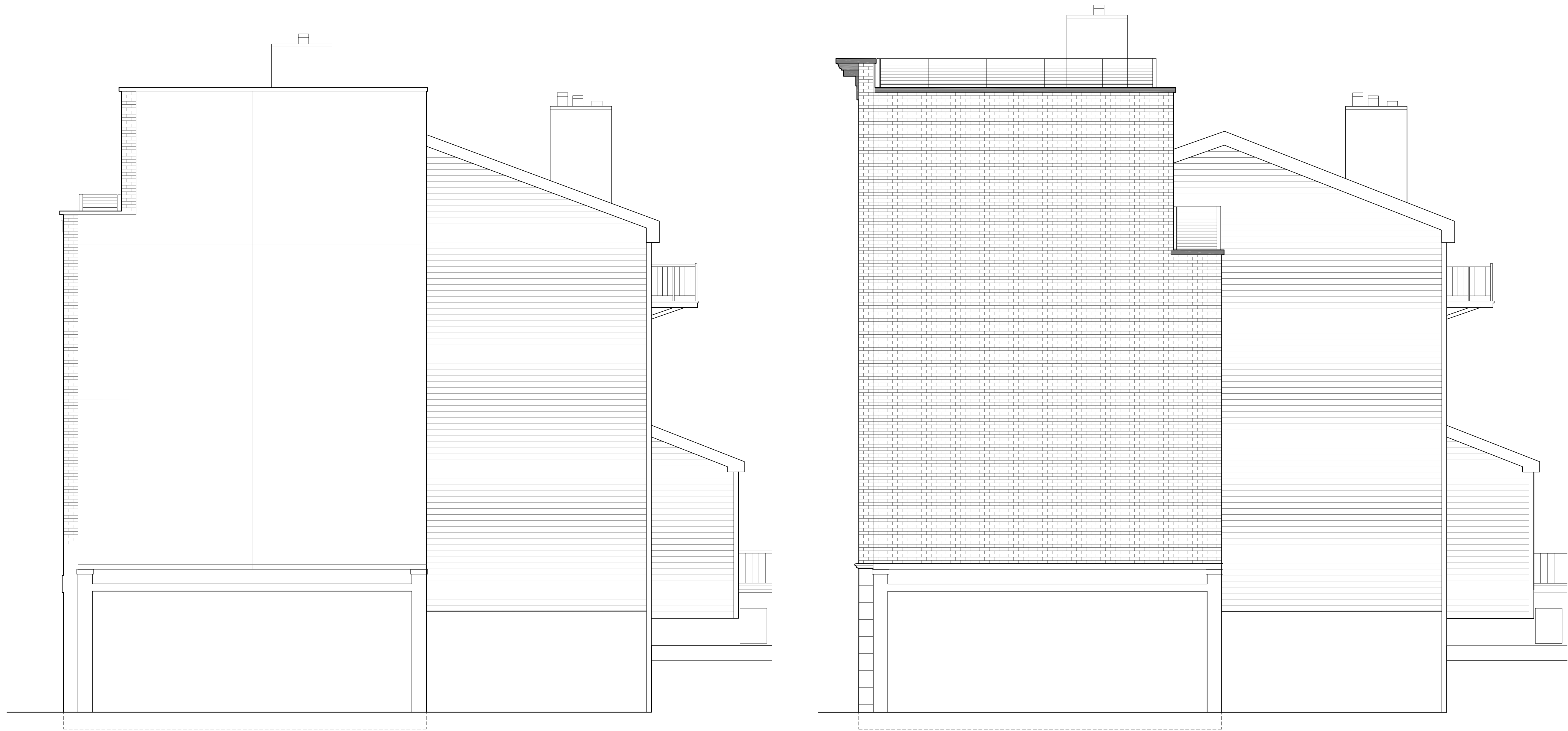
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NEW YORK, NY 10001

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SOUTH ELEVATIONS

| Drawing Title |               |             |
|---------------|---------------|-------------|
| Drawn By      | DB            | A-208.00    |
| Issued        | 05.18.21      | Drawing No. |
| Scale         | 3/16" = 1'-0" | Sheet       |





**1** PREVIOUS SCHEME WEST ELEVATION  
1/4" = 1'-0"

**2** CURRENT SCHEME WEST ELEVATION  
1/4" = 1'-0"

| 1    | FOR APPROVAL | 05.18.21 |
|------|--------------|----------|
| No.  | Issue        | Date     |
| Seal |              |          |

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WEST ELEVATIONS

|               |               |             |
|---------------|---------------|-------------|
| Drawing Title |               |             |
| Drawn By      | DB            | A-209.00    |
| Issued        | 05.18.21      | Drawing No. |
| Scale         | 3/16" = 1'-0" | Sheet       |



INSULATION NOTES

INSULATING MATERIALS USED IN COMBUSTIBLE CONSTRUCTION SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25, A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450, AND BE WITHOUT EVIDENCE OF CONTINUOUS PROGRESSIVE COMBUSTION WHEN TESTED IN ACCORDANCE WITH ASTM 84.

ROOF NOTES

1. PARAPETS SHALL HAVE THE SAME FIRE RESISTANCE RATING AS THAT REQUIRED FOR THE SUPPORTING WALL.
2. ON ANY SIDE ADJACENT TO A ROOF SERVICE SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 15" INCLUDING COUNTER-FLASHING AND COPING MATERIALS.
3. THE HEIGHT OF THE PARAPET SHALL NOT BE LESS THAN 30" ABOVE THE POINT WHERE THE ROOF SURFACE AND WALL INTERSECT.
4. WHERE JOIST FRAME INTO FIRE WALLS THEY MUST BE DESIGNED TO HAVE AT LEAST 4" OF SOLID NONCOMBUSTIBLE MATERIAL AROUND SUCH JOIST. BC706.7.

|   |              |          |
|---|--------------|----------|
| 7 | FOR APPROVAL | 05.18.21 |
| 6 | FOR APPROVAL | 03.29.21 |
| 5 | FOR APPROVAL | 01.20.21 |
| 4 | FOR APPROVAL | 02.06.20 |
| 3 | FOR APPROVAL | 05.02.19 |
| 2 | FOR APPROVAL | 08.03.18 |
| 1 | FOR APPROVAL | 06.15.18 |

| No. | Issue | Date |
|-----|-------|------|
|-----|-------|------|

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WALL SECTION  
ROOF DETAIL

Drawing Title

Drawn By DB

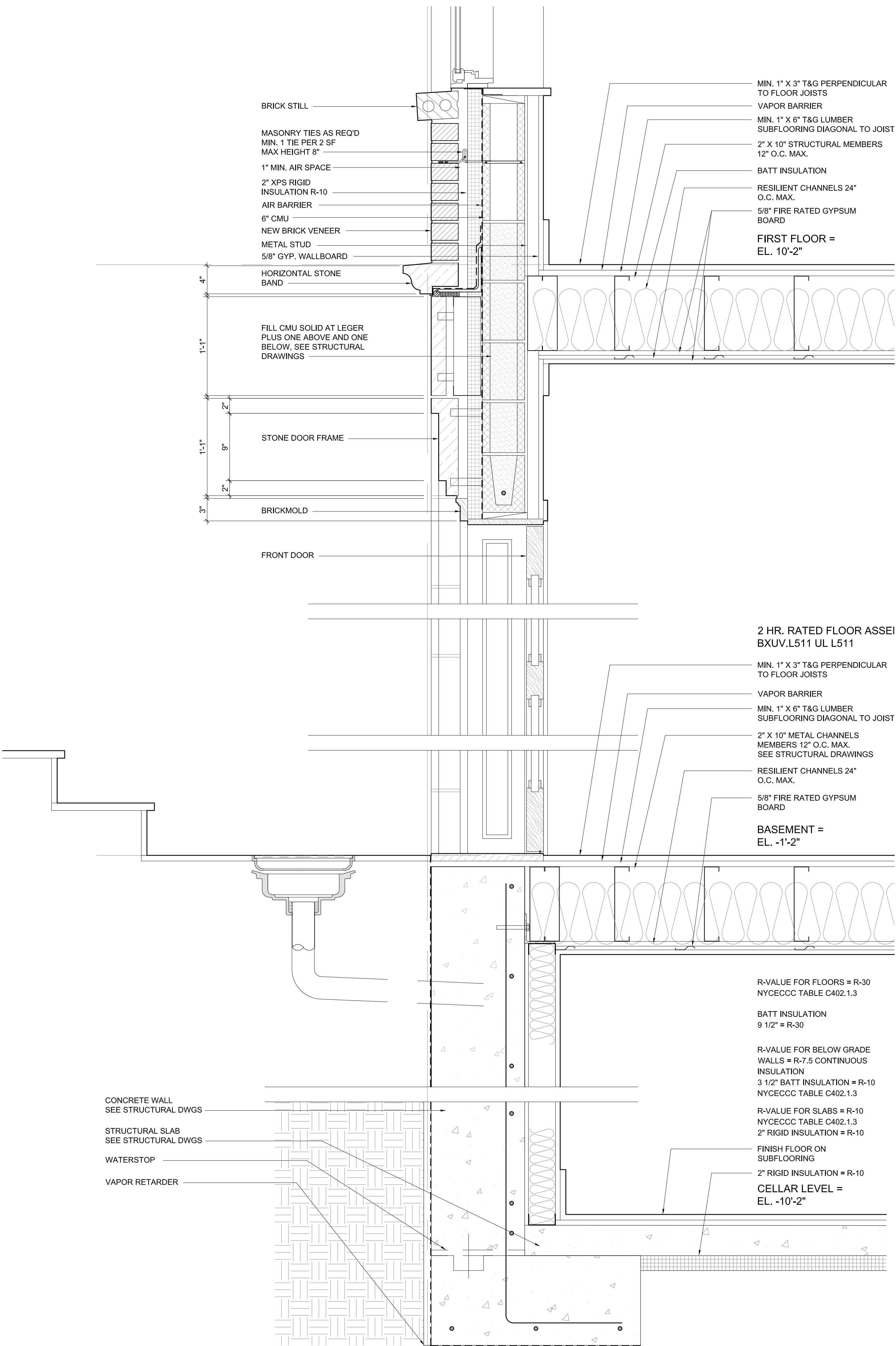
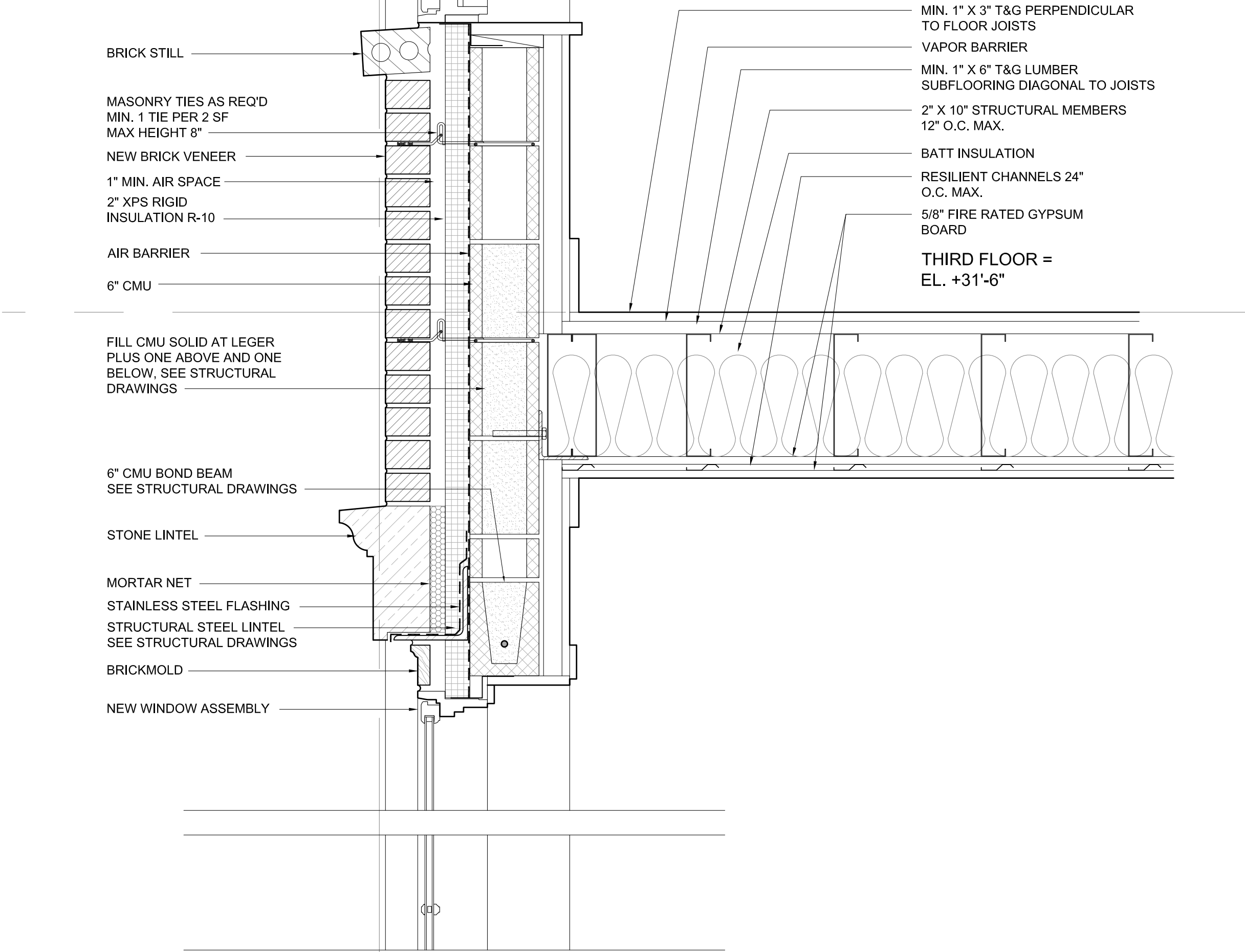
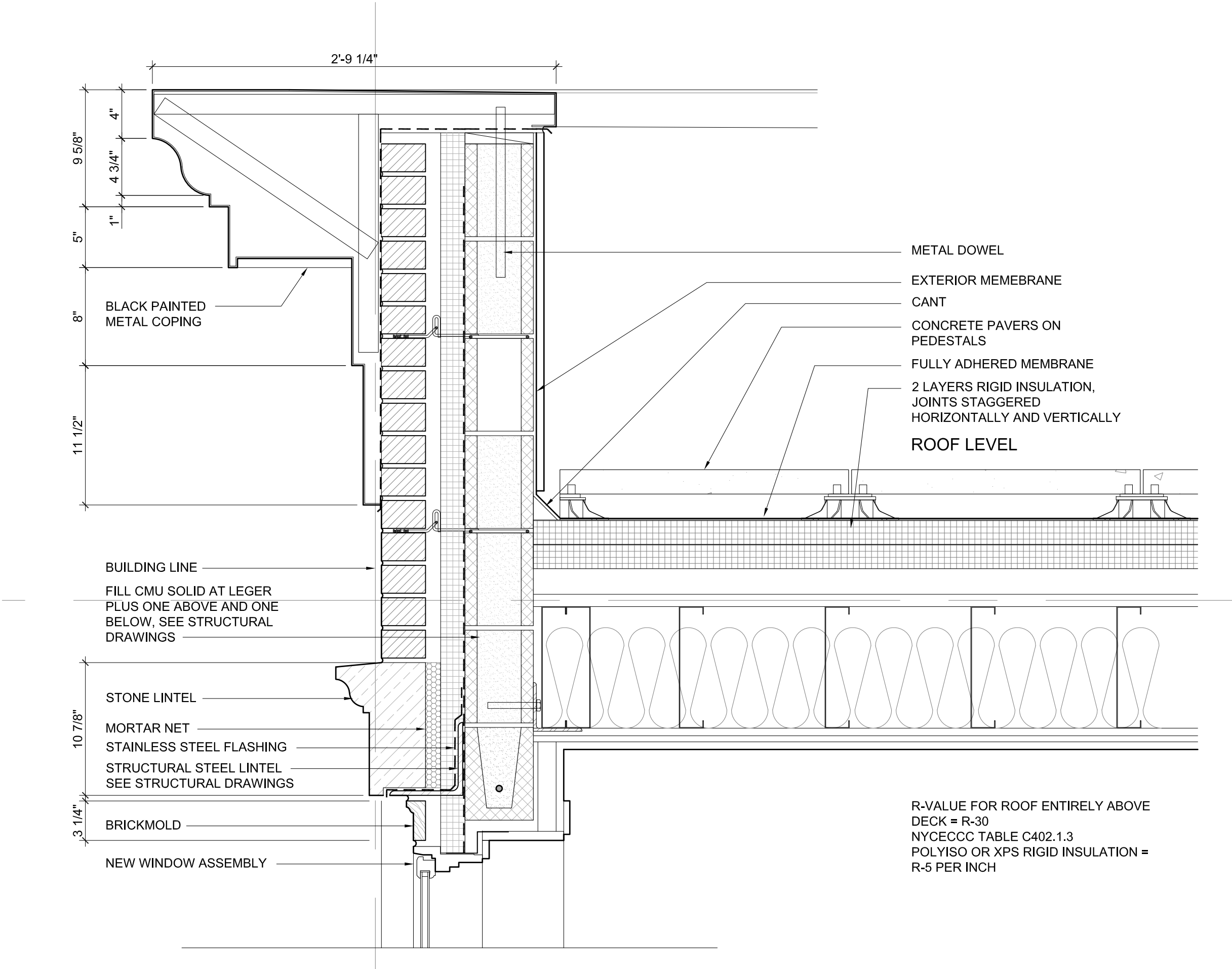
Issued 05.18.21

Scale 1 1/2" = 1'-0"

Drawing No.

Sheet

A-301.00



2 EXTERIOR WALL SECTION AT FRONT ELEVATION AT ROOF  
1 1/2" = 1'-0"

1 EXTERIOR WALL SECTION AT FRONT ELEVATION AT BASE  
1 1/2" = 1'-0"



INSULATION NOTES

INSULATING MATERIALS USED IN COMBUSTIBLE CONSTRUCTION SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25, A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450, AND BE WITHOUT EVIDENCE OF CONTINUOUS PROGRESSIVE COMBUSTION WHEN TESTED IN ACCORDANCE WITH ASTM 84.

ROOF NOTES

1. PARAPETS SHALL HAVE THE SAME FIRE RESISTANCE RATING AS THAT REQUIRED FOR THE SUPPORTING WALL.
2. ON ANY SIDE ADJACENT TO A ROOF SERVICE SHALL HAVE NONCOMBUSTIBLE FACES FOR THE UPPERMOST 15" INCLUDING COUNTER-FLASHING AND COPING MATERIALS.
3. THE HEIGHT OF THE PARAPET SHALL NOT BE LESS THAN 30" ABOVE THE POINT WHERE THE ROOF SURFACE AND WALL INTERSECT.
4. WHERE JOIST FRAME INTO FIRE WALLS THEY MUST BE DESIGNED TO HAVE AT LEAST 4" OF SOLID NONCOMBUSTIBLE MATERIAL AROUND SUCH JOIST. BC706.7.

|   |              |          |
|---|--------------|----------|
| 3 | FOR APPROVAL | 05.18.21 |
| 2 | FOR APPROVAL | 03.29.21 |
| 1 | FOR APPROVAL | 01.20.21 |

| No. | Issue | Date |
|-----|-------|------|
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WALL SECTION  
ROOF DETAIL

Drawing Title

Drawn By DB

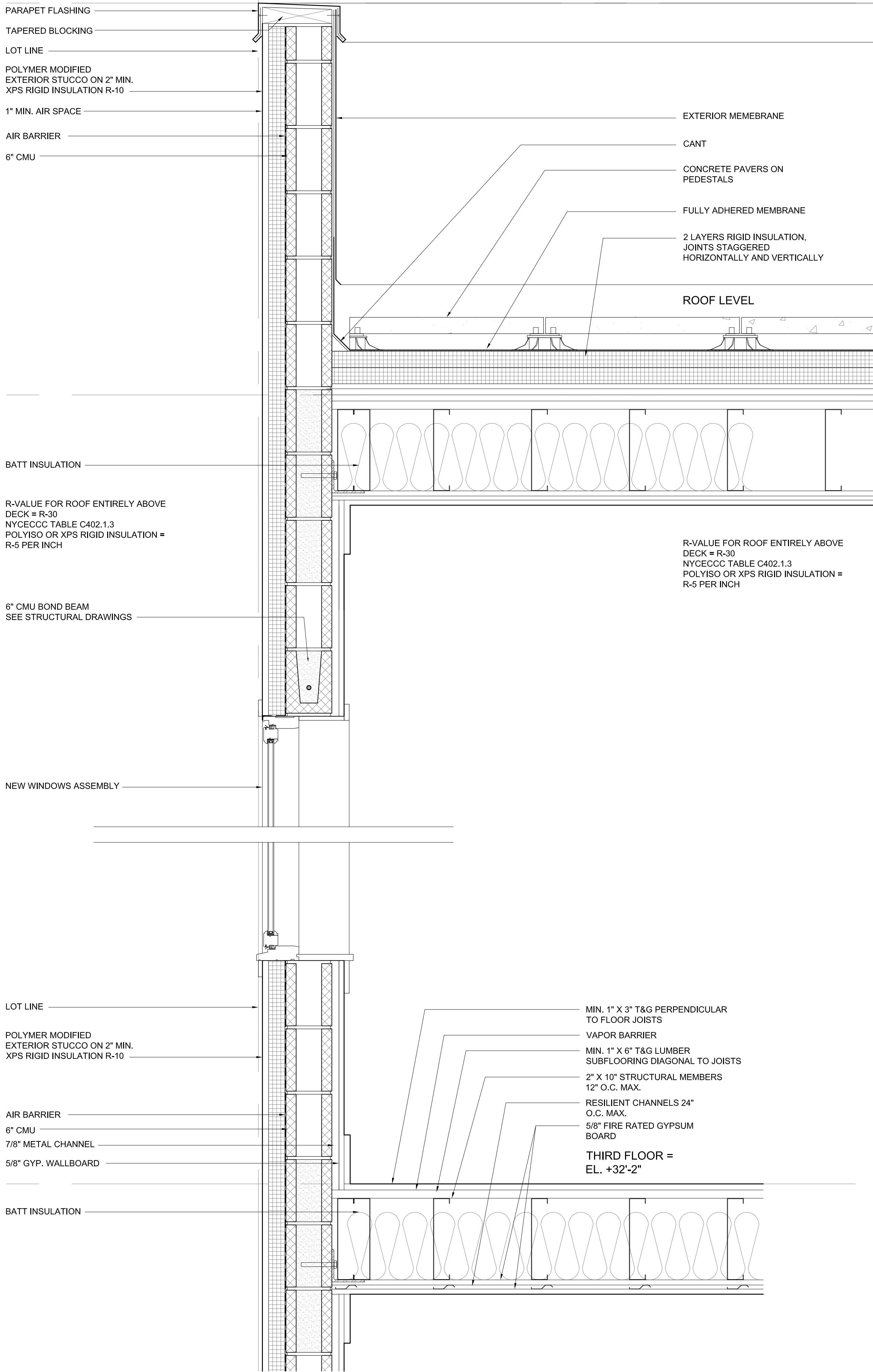
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Scale 1 1/2" = 1'-0"

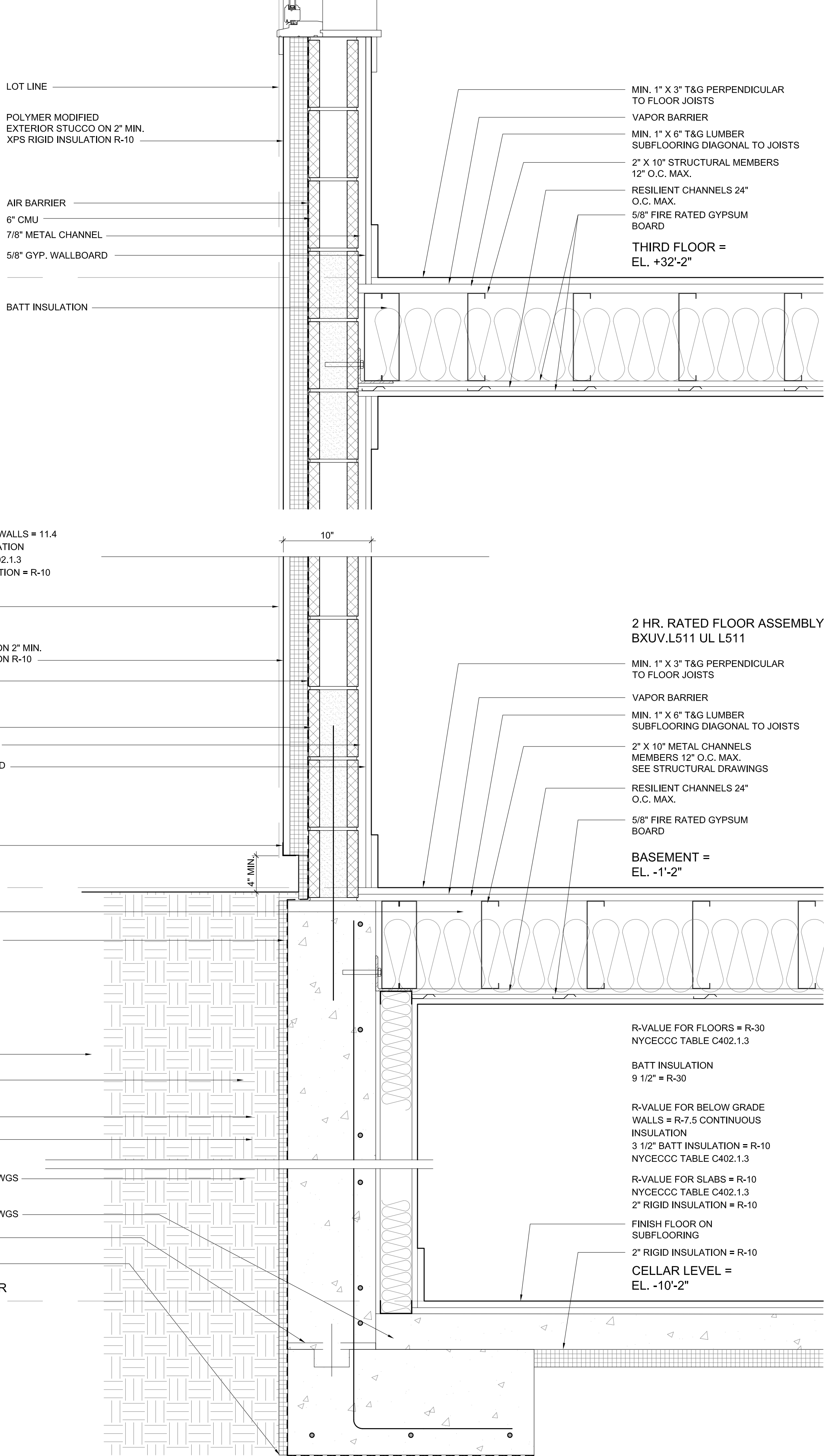
A-302.00

Drawing No.

Sheet



2 EXTERIOR WALL SECTION AT CEMENTITIOUS WALLS AT ROOF  
1 1/2" = 1'-0"



1 EXTERIOR WALL SECTION AT CEMENTITIOUS WALLS  
1 1/2" = 1'-0"



|   |              |          |
|---|--------------|----------|
| 2 | FOR APPROVAL | 05.18.21 |
| 1 | FOR APPROVAL | 03.29.21 |

| No. | Issue | Date |
|-----|-------|------|
|-----|-------|------|

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ENLARGED SECTION DETAILS

Drawing Title

Drawn By DB

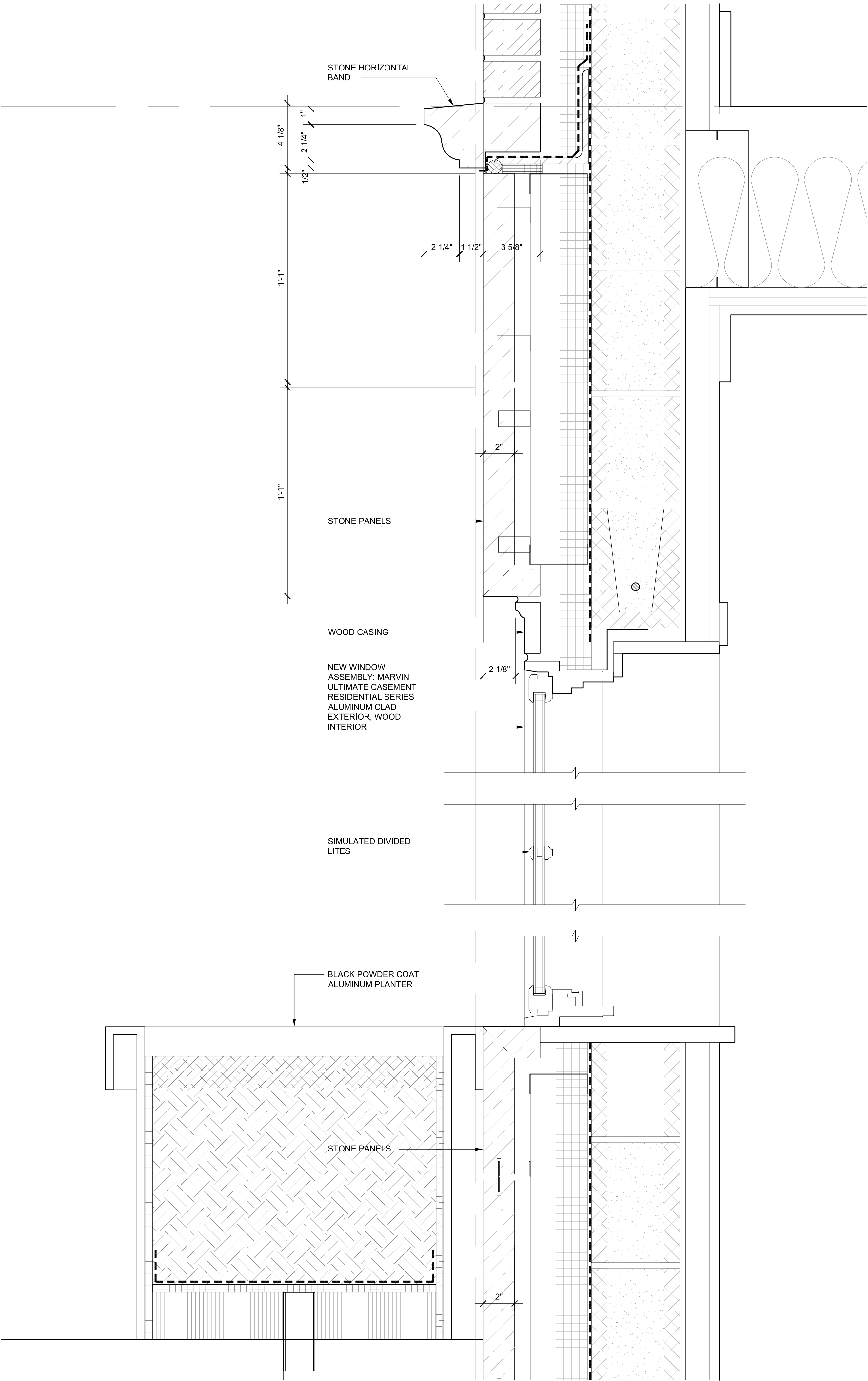
Issued 05.18.21

Scale 3" = 1'-0"

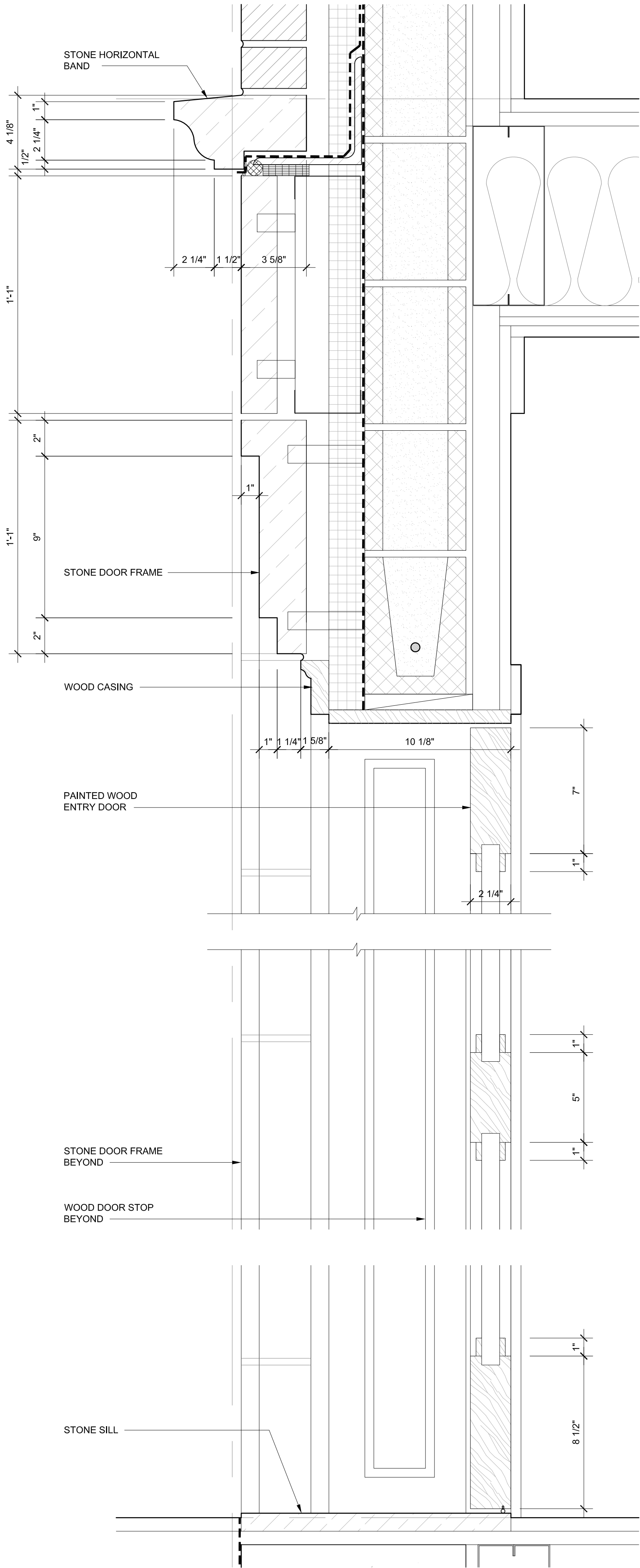
A-303.00

Drawing No.

Sheet



2 EXTERIOR SECTION DETAIL AT BASEMENT WINDOW  
3" = 1'-0"



1 EXTERIOR SECTION DETAIL AT BASEMENT ENTRY  
3" = 1'-0"





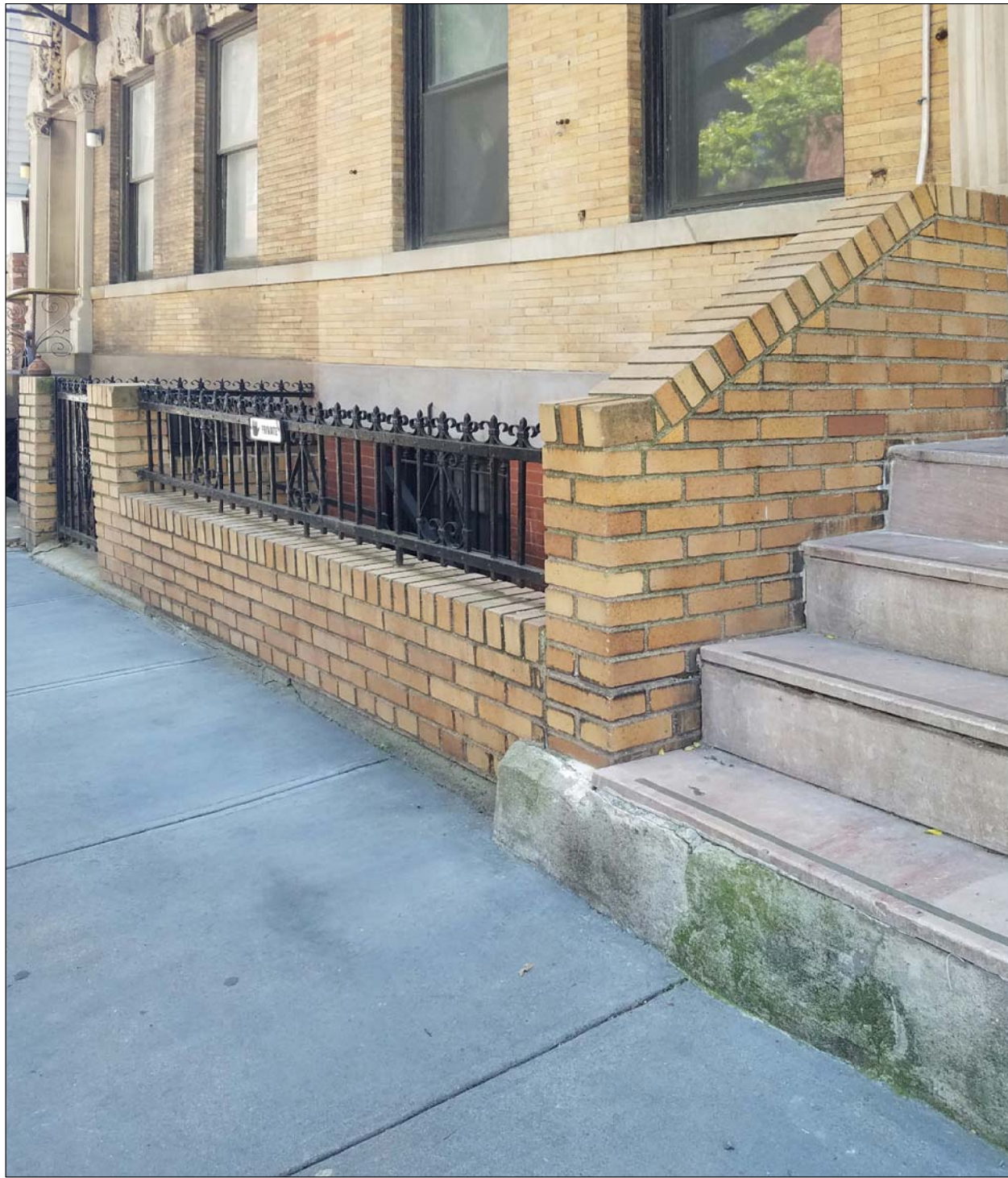
44 MIDDAGH STREET



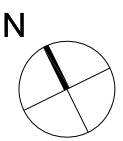
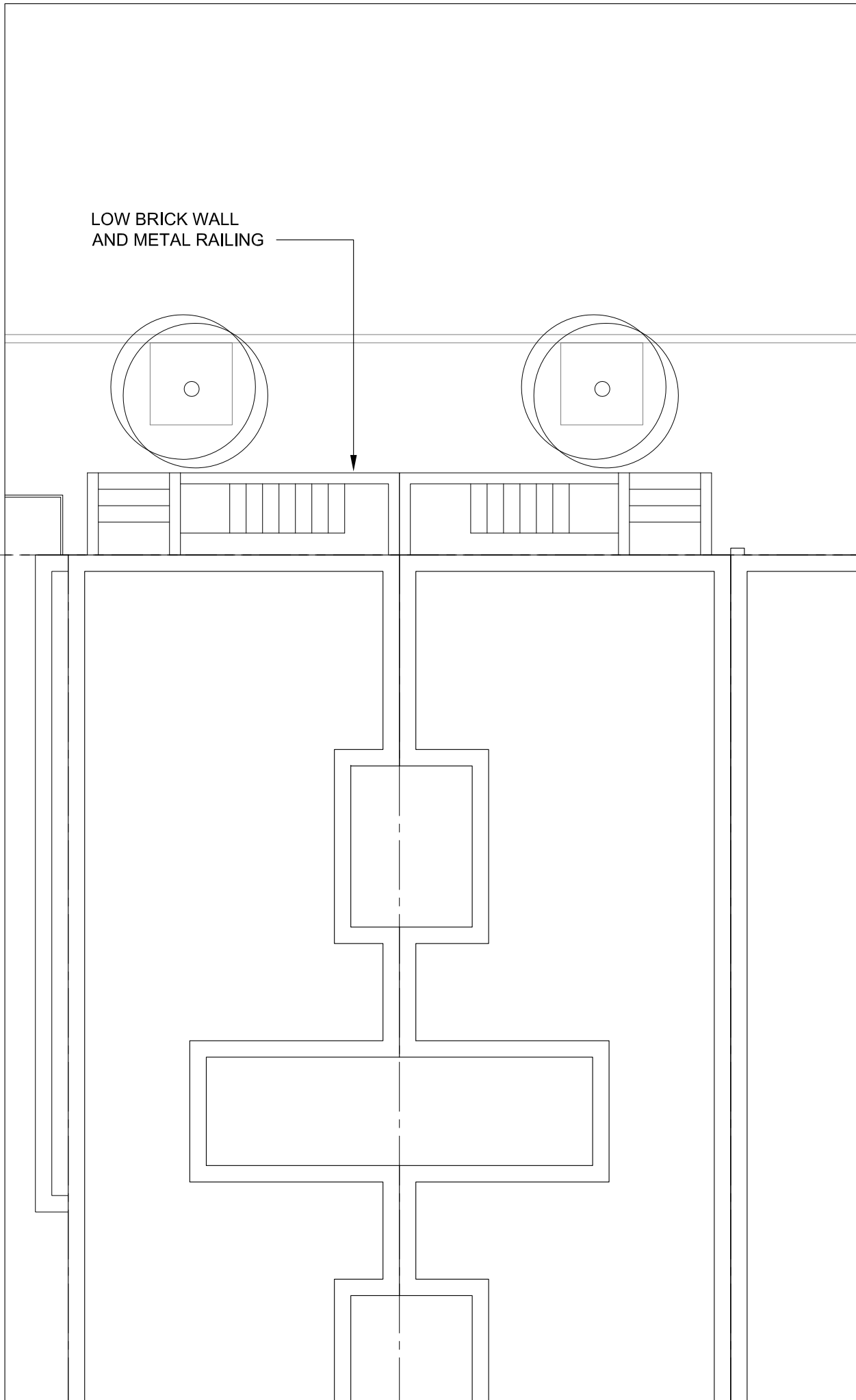
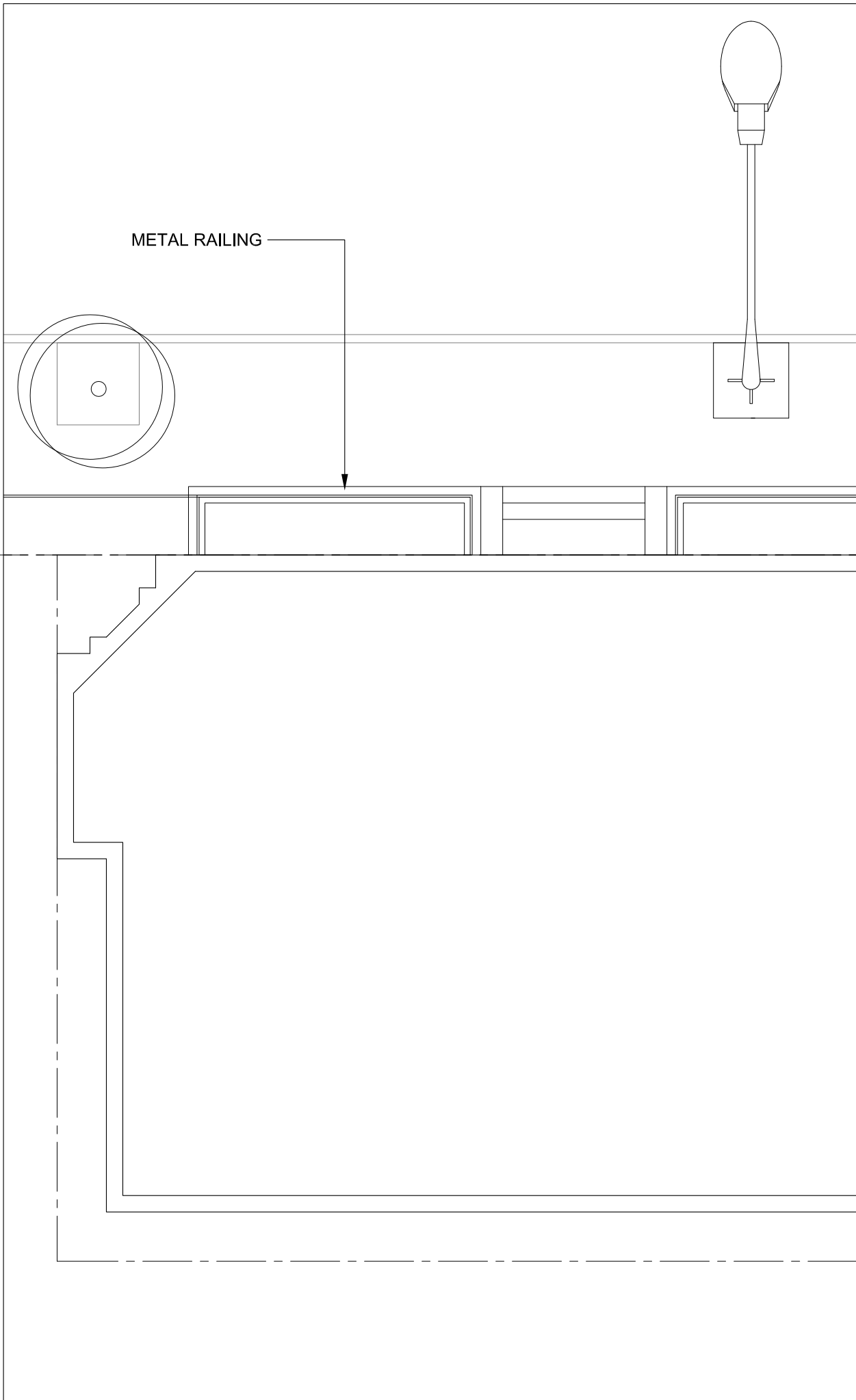
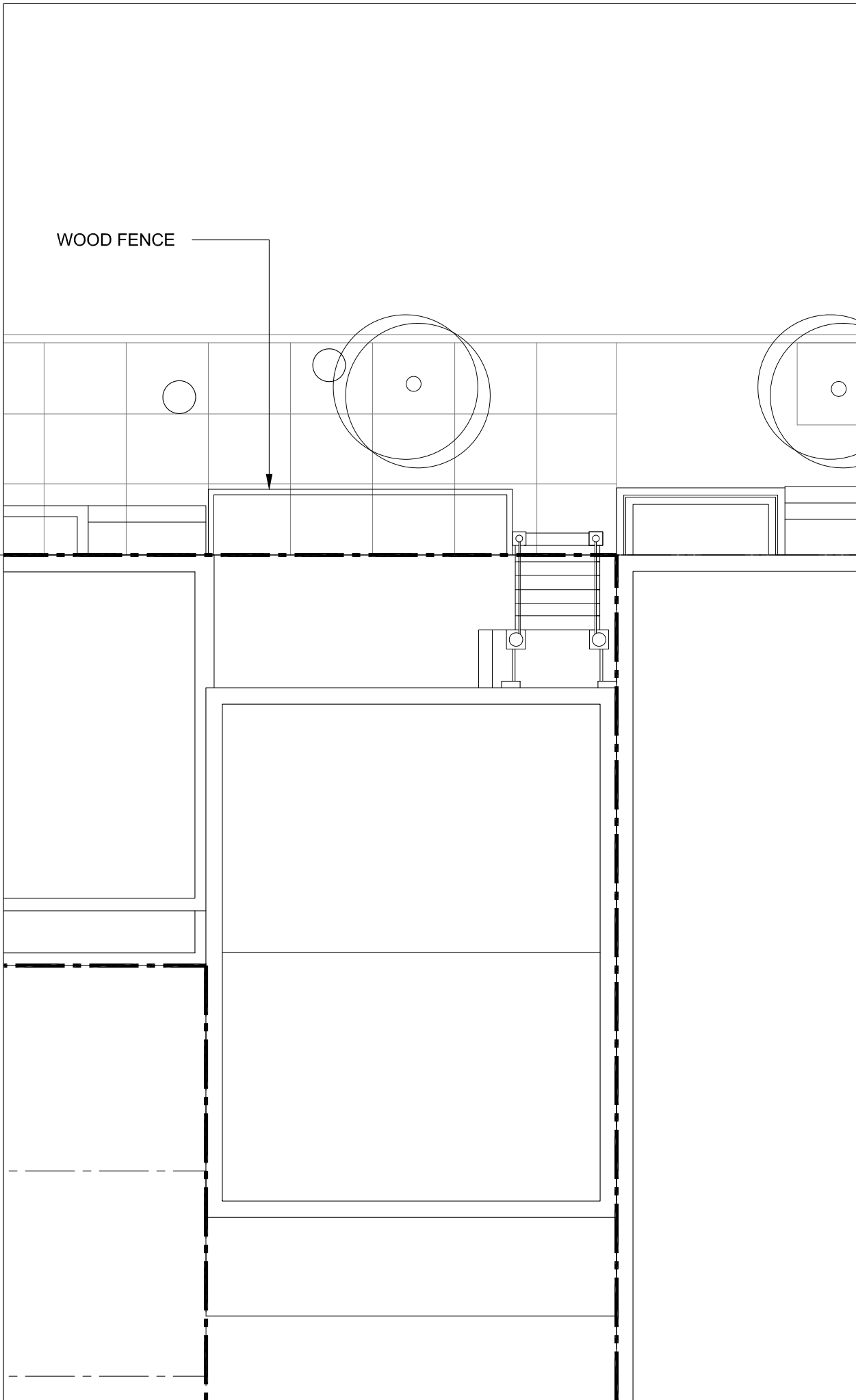
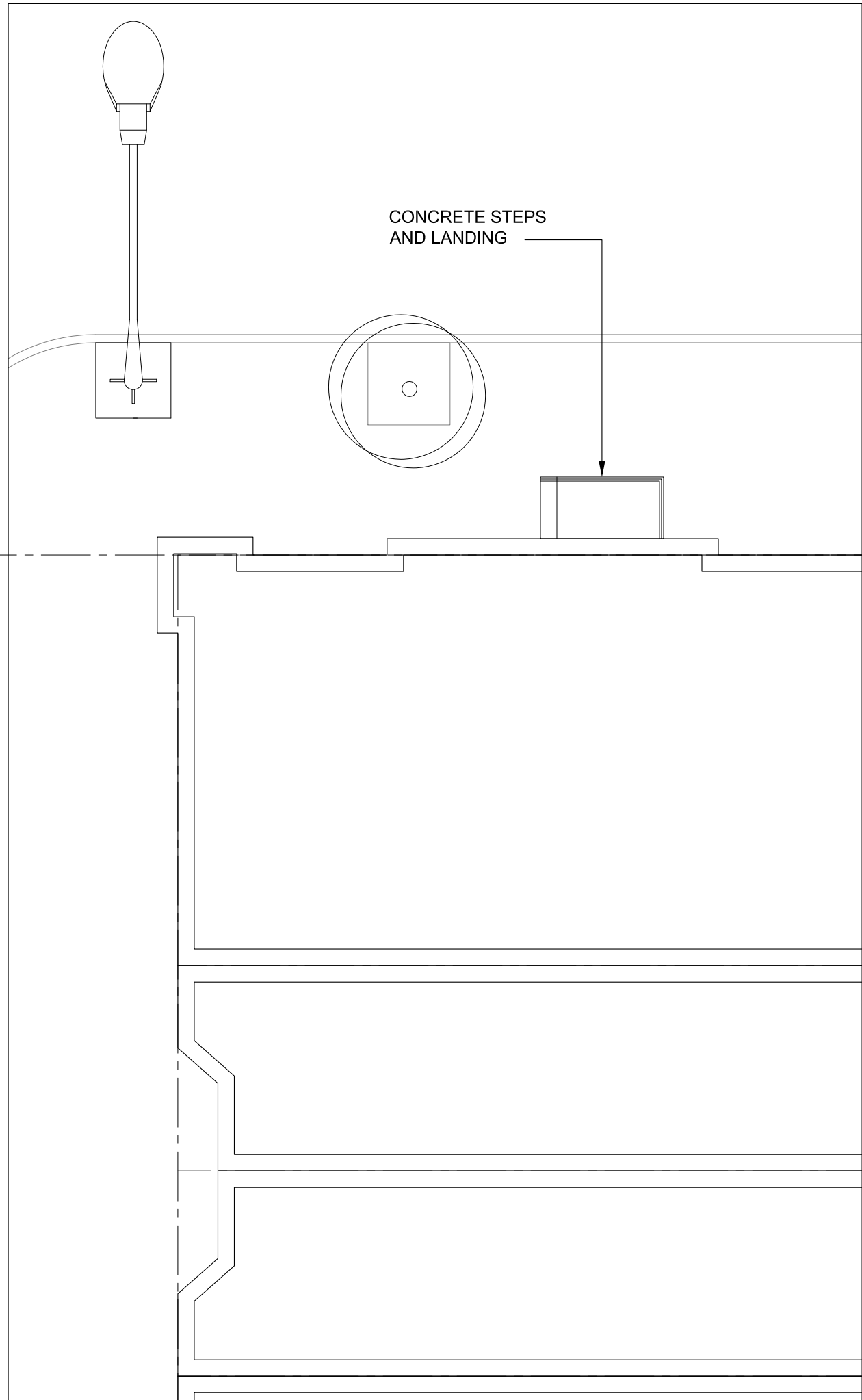
56 MIDDAGH STREET



64 MIDDAGH STREET



68 MIDDAGH STREET



56 MIDDAGH STREET  
BROOKLYN, NY 11201

|      |              |          |
|------|--------------|----------|
| 1    | FOR APPROVAL | 05.18.21 |
| No.  | Issue        | Date     |
| Seal |              |          |

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SIDEWALK IMAGES ALONG  
MIDDAGH STREET

|               |          |             |
|---------------|----------|-------------|
| Drawing Title |          |             |
| Drawn By      | DB       | A-401.00    |
| Issued        | 05.18.21 | Drawing No. |
| Scale         |          | Sheet       |





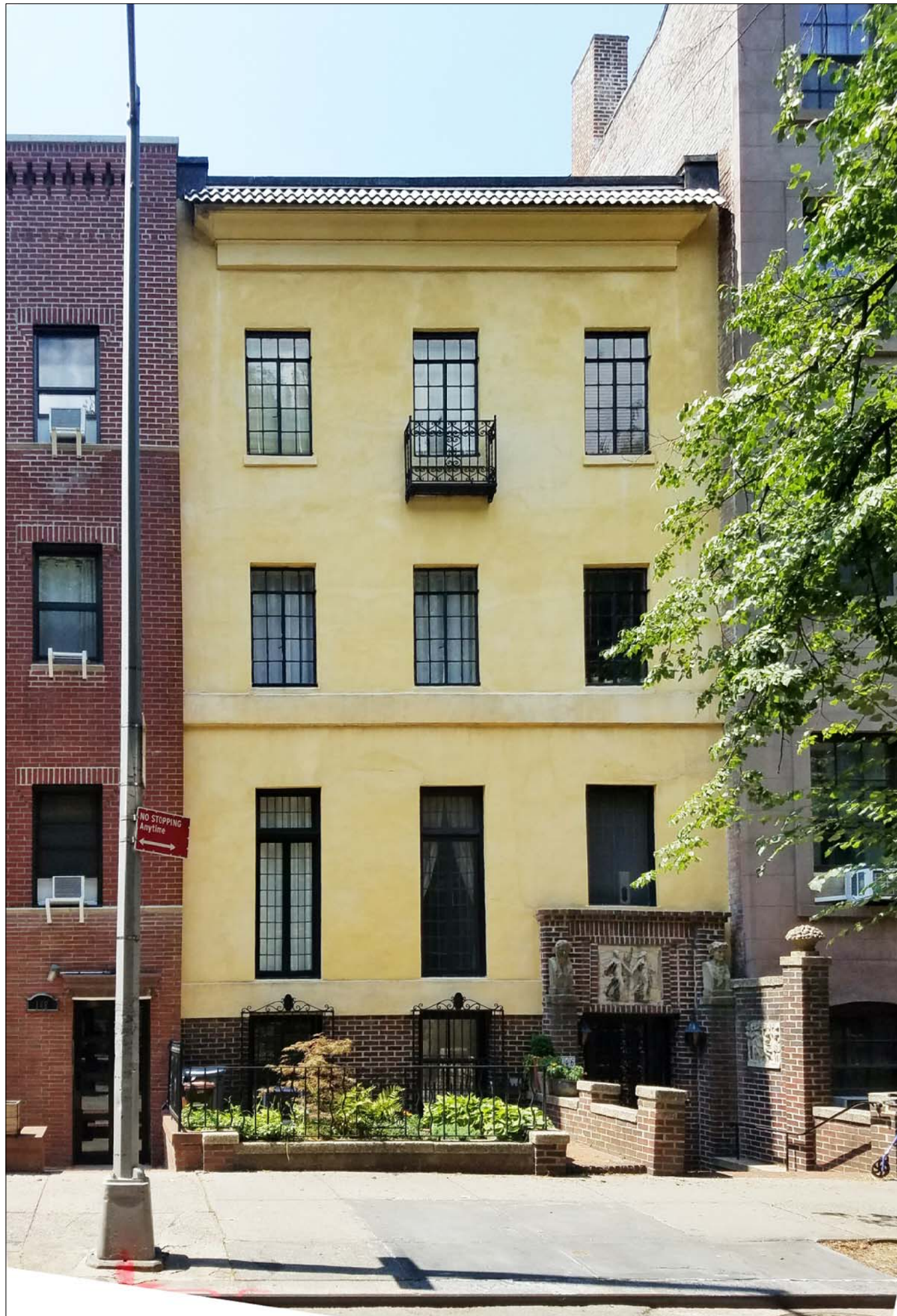
46 WILLOW



135 HICKS STREET



28 ORANGE STREET



146 HENRY STREET



26 REMSEN STREET



20 GRACE COURT

56 MIDDAGH STREET  
BROOKLYN, NY 11201

|   |                    |          |
|---|--------------------|----------|
| 3 | FOR APPROVAL       | 05.18.21 |
| 2 | LPC PUBLIC HEARING | 12.08.20 |
| 1 | FOR APPROVAL       | 08.28.20 |

| No.  | Issue | Date |
|------|-------|------|
| Seal |       |      |

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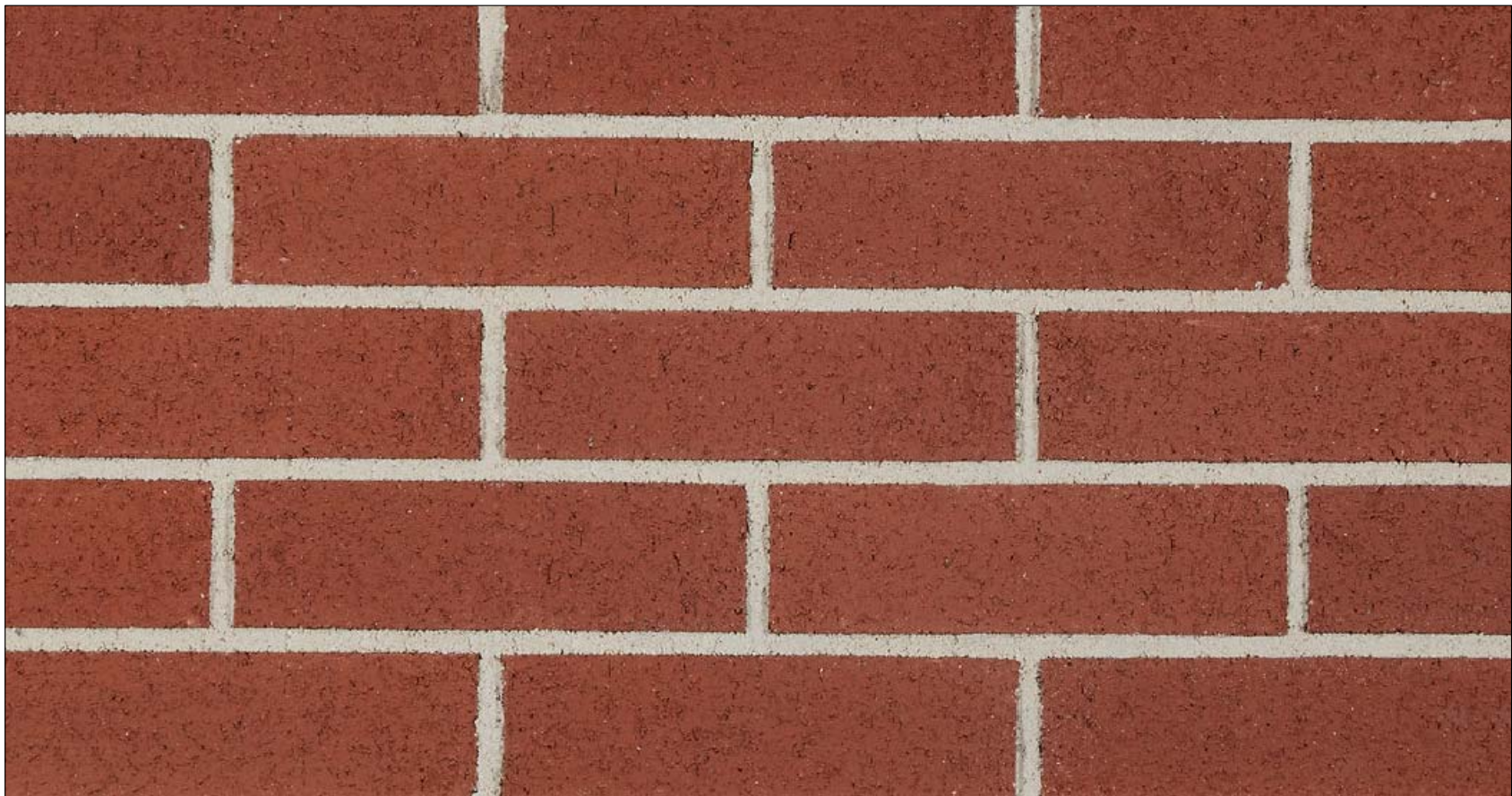
BROOKLYN HEIGHTS

|               |          |             |
|---------------|----------|-------------|
| Drawing Title |          |             |
| Drawn By      | DB       | A-402.00    |
| Issued        | 05.18.21 | Drawing No. |
| Scale         |          | Sheet       |

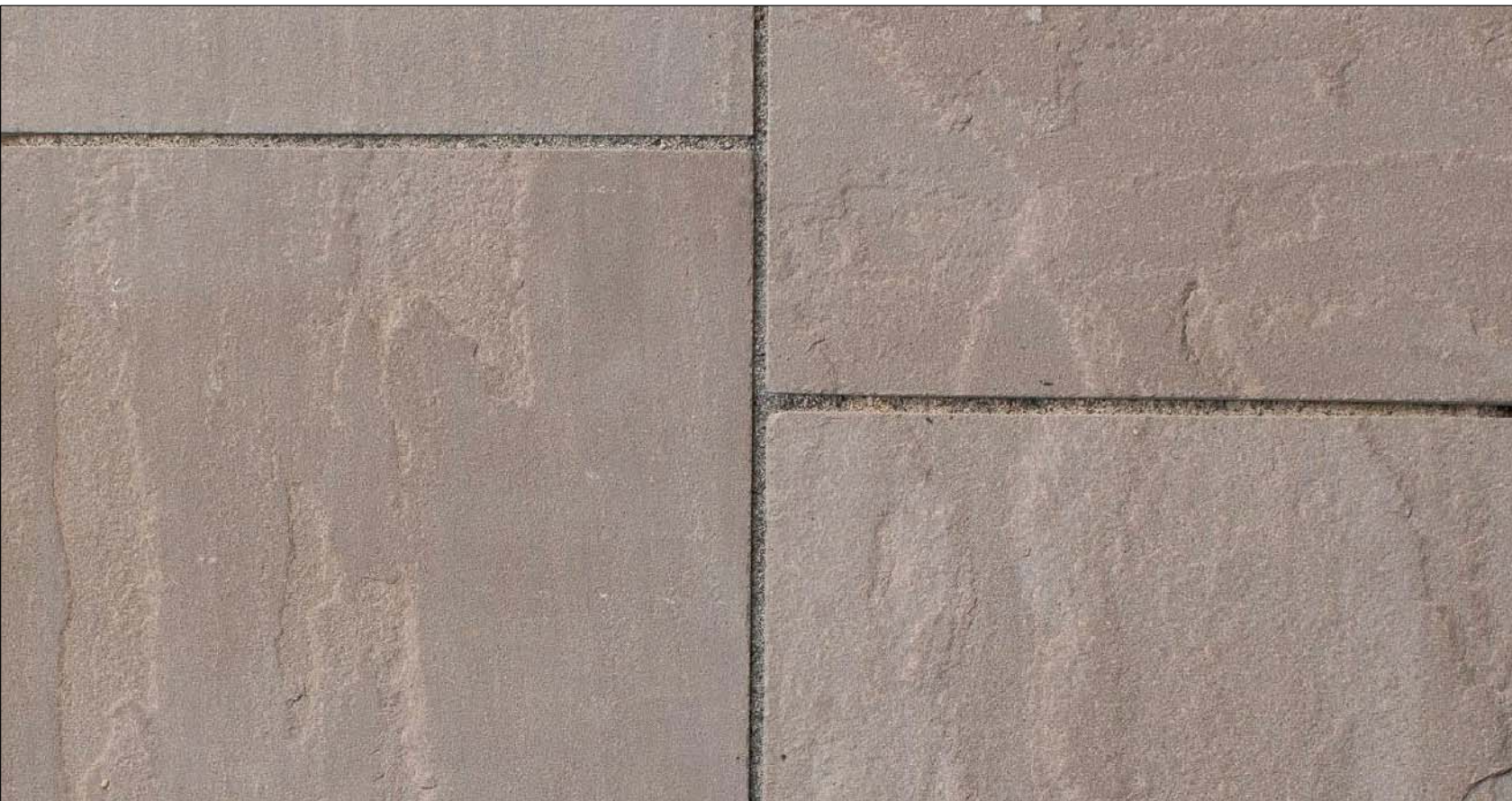




WINDOW & CORNICE COLOR - MARVIN - EBONY



MODULAR CHERRY VELOUR - BELDEN



OAKVILLE STONE - AUTUMN BROWN - GLENWOOD



MODULAR CHERRY VELOUR WITH OAKVILLE AUTUMN STONE BASE

56 MIDDAGH STREET  
BROOKLYN, NY 11201

|   |                    |          |
|---|--------------------|----------|
| 3 | FOR APPROVAL       | 05.18.21 |
| 2 | LPC PUBLIC HEARING | 12.08.20 |
| 1 | FOR APPROVAL       | 09.01.20 |

| No.  | Issue | Date |
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FINISH IMAGES

|               |          |             |
|---------------|----------|-------------|
| Drawing Title |          |             |
| Drawn By      | RDG      | A-404.00    |
| Issued        | 05.18.21 | Drawing No. |
| Scale         |          | Sheet       |





PREVIOUS SCHEME - LOOKING SOUTHEAST



CURRENT SCHEME - LOOKING SOUTHEAST

|   |                    |          |
|---|--------------------|----------|
| 2 | FOR APPROVAL       | 05.18.21 |
| 1 | LPC PUBLIC HEARING | 12.08.20 |

| No. | Issue | Date |
|-----|-------|------|
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RENDERING

Drawing Title

Drawn By DB

A-501.00

Issued 05.18.21 Drawing No.

Scale Sheet





PREVIOUS SCHEME - LOOKING SOUTHWEST



CURRENT SCHEME - LOOKING SOUTHWEST

|   |                    |          |
|---|--------------------|----------|
| 5 | FOR APPROVAL       | 05.18.21 |
| 4 | LPC PUBLIC HEARING | 12.08.20 |
| 3 | FOR APPROVAL       | 08.25.20 |
| 2 | FOR APPROVAL       | 06.29.20 |
| 1 | FOR APPROVAL       | 05.21.20 |

| No.  | Issue | Date |
|------|-------|------|
| Seal |       |      |

PRATT + BLACK  
ARCHITECTS  
66 PALMER AVENUE, SUITE 48  
BRONXVILLE, NY 10708

MURRAY ENGINEERING PC  
307 SEVENTH AVENUE  
NEW YORK, NY 10001

MCSWEENEY ENGINEERING  
12 SURREY LANE  
EAST BRUNSWICK, NJ 08816

RENDERING

|               |          |          |
|---------------|----------|----------|
| Drawing Title |          |          |
| Drawn By DB   |          | A-502.00 |
| Issued        | 05.18.21 |          |
| Drawing No.   |          |          |
| Scale         |          |          |
| Sheet         |          |          |





CURRENT SCHEME - LOOKING SOUTHEAST

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Seal

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RENDERING

Drawing Title

Drawn By DB

Issued 05.18.21

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A-503.00

Drawing No.

Sheet





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RENDERING

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|               |          | Sheet    |



The current proposal is:

**Preservation Department – Item 1, LPC-19-41516**

**56 Middagh Street,**

**Borough of Brooklyn**

**Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed**