

# ONE BROADWAY

COMMUNITY BOARD MEETINGS &  
LPC HEARING



JUNE 4<sup>TH</sup>, 2019

Gensler

# OVERVIEW OF PROPOSED WORK

1. BUILDING CONTEXT
2. NEW ROOFTOP MASSING CONCEPT
3. NEW ROOFTOP MATERIAL & GLAZING CONCEPT
4. VISIBILITY
5. PRECEDENTS
6. APPENDIX



# ONE BROADWAY | SITE



# ONE BROADWAY | SITE PHOTOS



VIEW "A"



VIEW "B"



VIEW "C"



VIEW "D"

# ONE BROADWAY | SITE PHOTOS



VIEW "E"



VIEW "F"



VIEW "G"



VIEW "H"

# ONE BROADWAY | HISTORY

1882-1885  
CONSTRUCTED



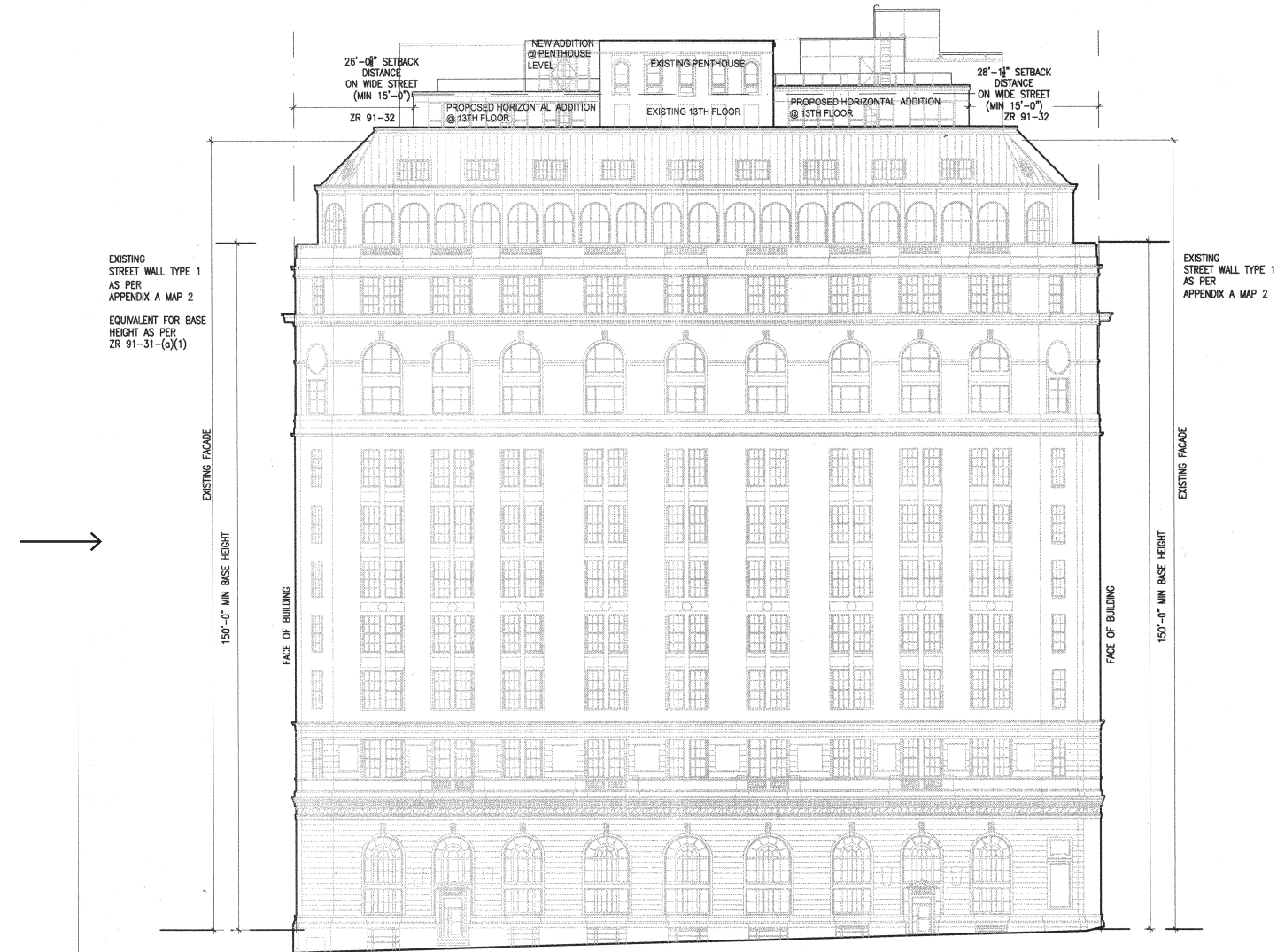
1896 | MOSES KING, KING'S VIEWS OF NEW YORK

1919-1921  
RECLAD & ENLARGEMENT



1929 | MUSEUM OF THE CITY OF NEW YORK

CofA 06-2019 (2005)  
APPROVED, NOT BUILT



2005 | FIFIELD ARCHITECTS

# “WASHINGTON BUILDING” | 1882-1885 DESIGNED BY EDWARD HALE KENDALL



1885 | MUSEUM OF THE CITY OF NEW YORK

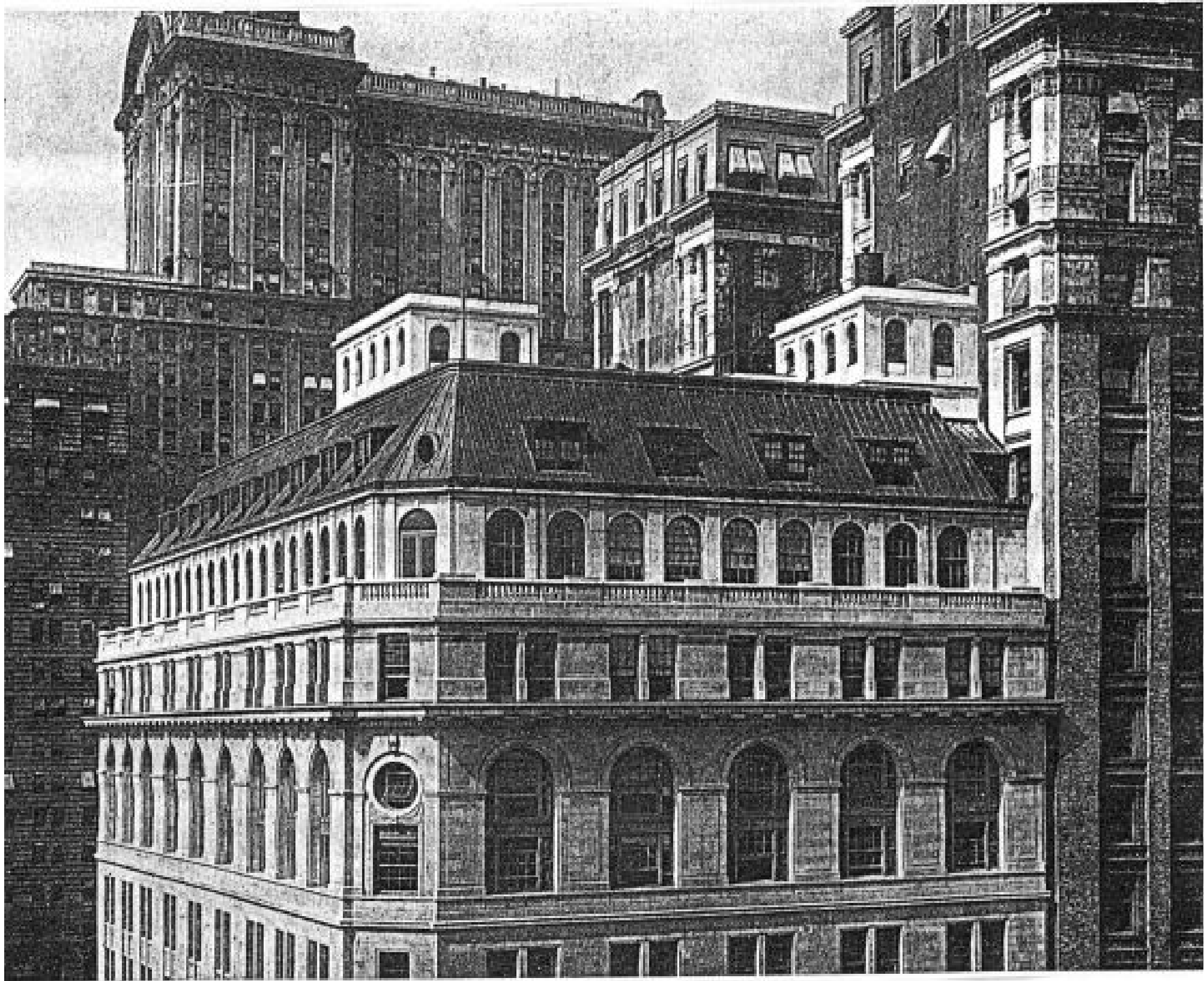


PRIOR TO 1918 | MUSEUM OF THE CITY OF NEW YORK

**“INTERNATIONAL MARITIME BUILDING”** | 1919-1921 DESIGNED BY WALTER B. CHAMBERS



1929 | MUSEUM OF THE CITY OF NEW YORK



1921 | AMERICAN ARCHITECT

# EXISTING CONDITIONS | ROOF



OVERALL VIEW OF ROOF, LOOKING SOUTHWEST



EAST ELEVATION OF CENTRAL SERVICE PENTHOUSE



SOUTH ELEVATION OF EASTERN MACHINE ROOM BULKHEAD



SOUTH ELEVATION OF WESTERN MACHINE ROOM BULKHEAD

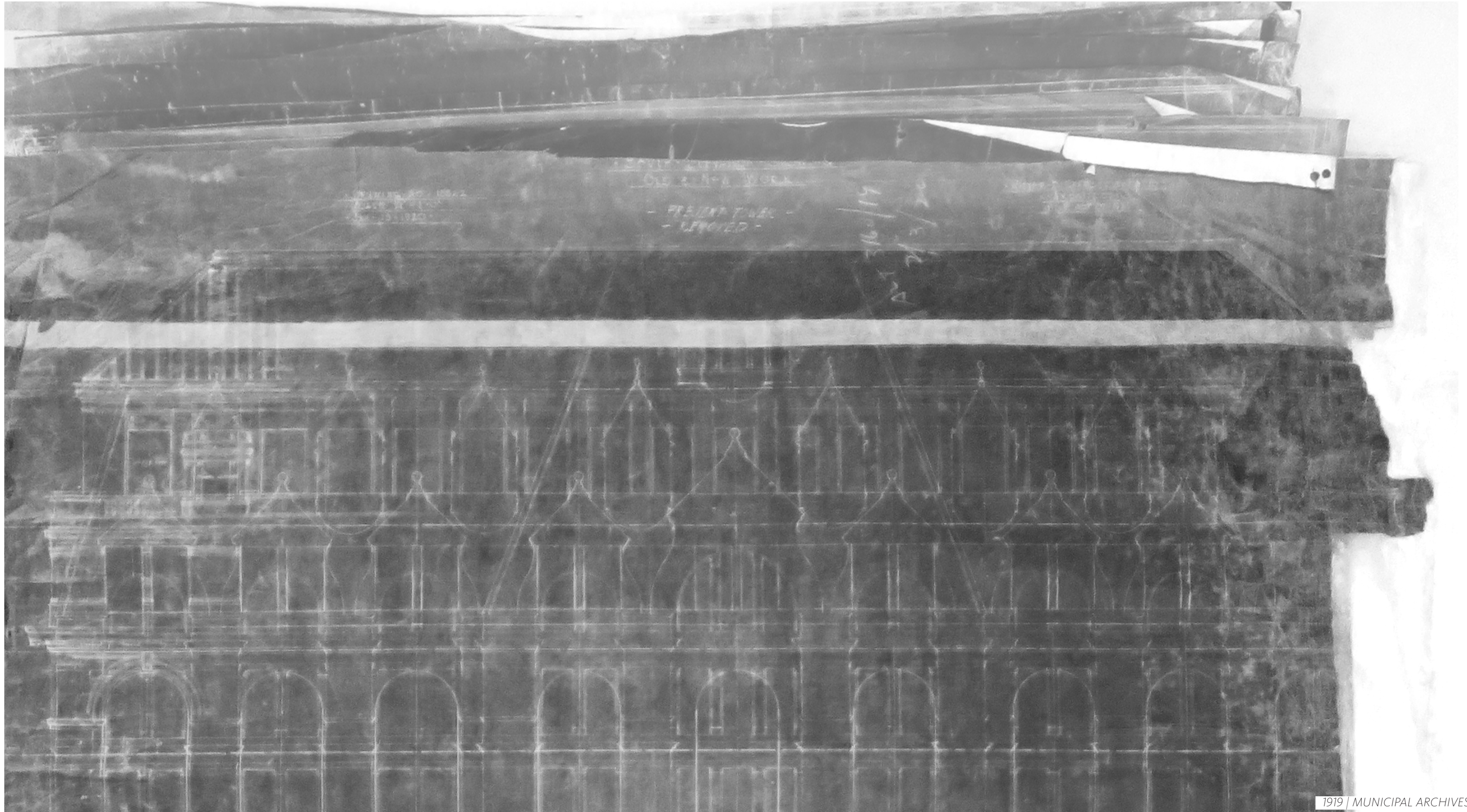


EXISTING COOLING TOWER AT WEST SIDE OF ROOF



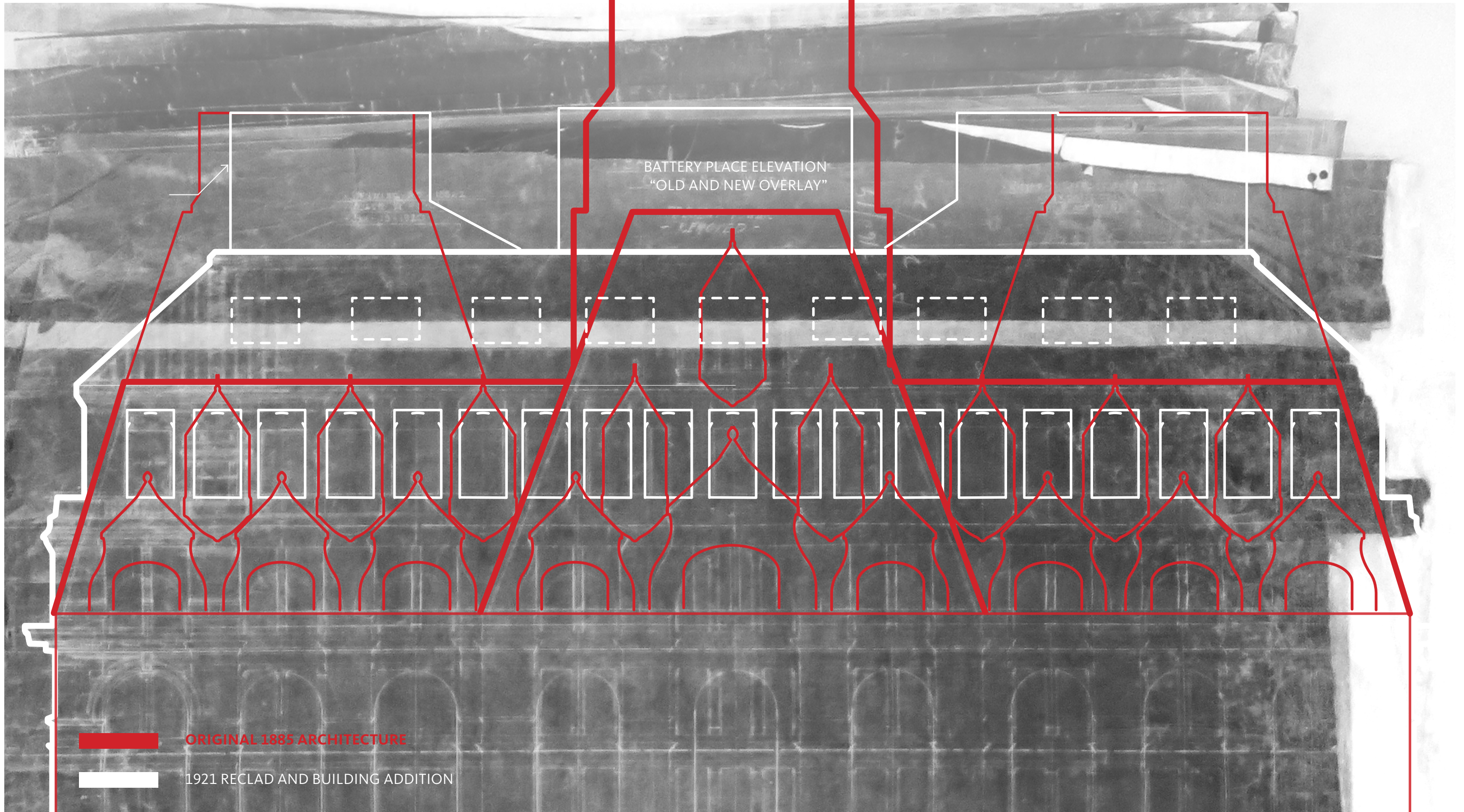
VIEW OF CENTRAL SERVICE PENTHOUSE, LOOKING EAST

# HISTORIC OVERLAY DRAWINGS | 1885 vs 1921, DRAWN 1919 BY WALTER B. CHAMBERS

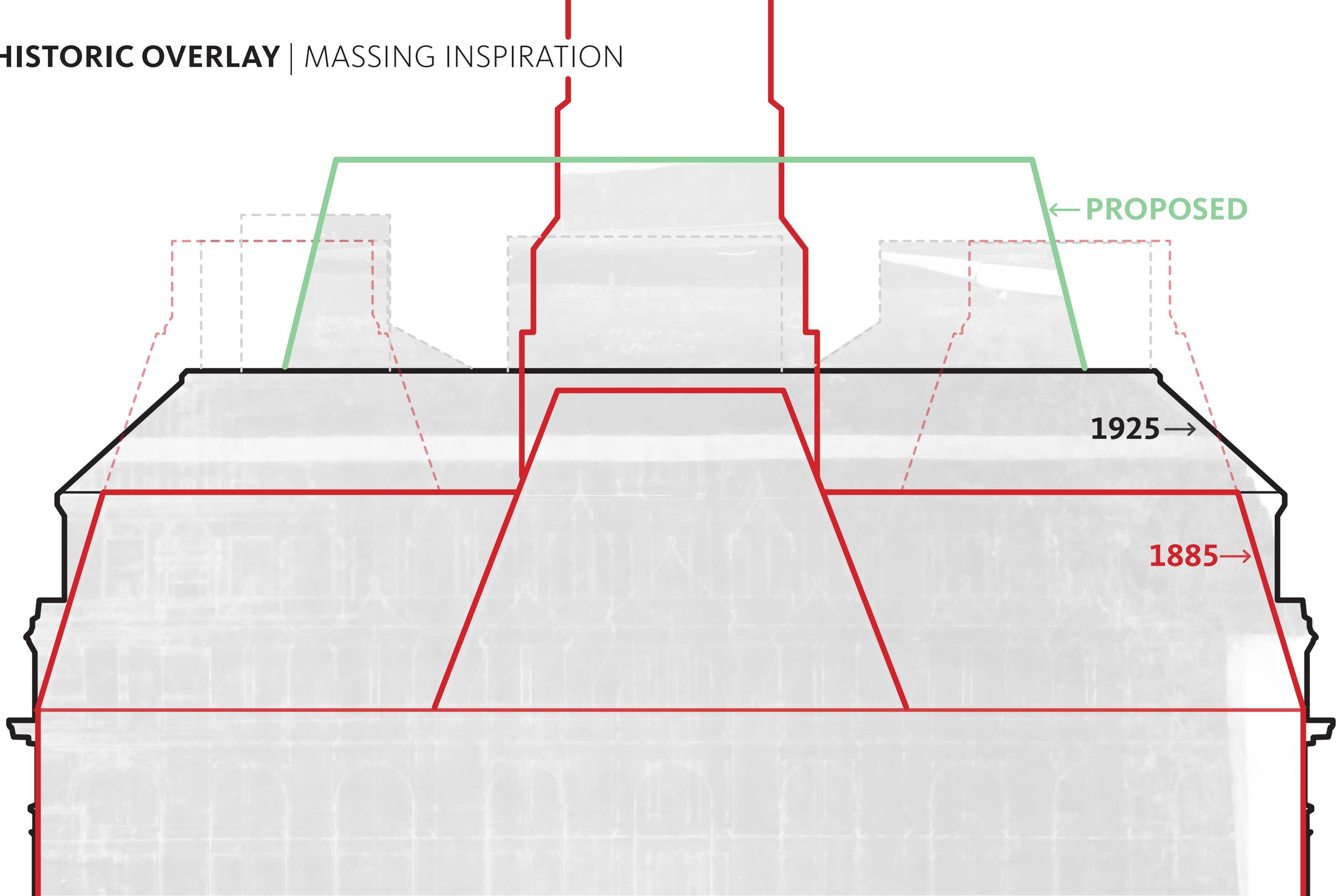


1919 | MUNICIPAL ARCHIVES

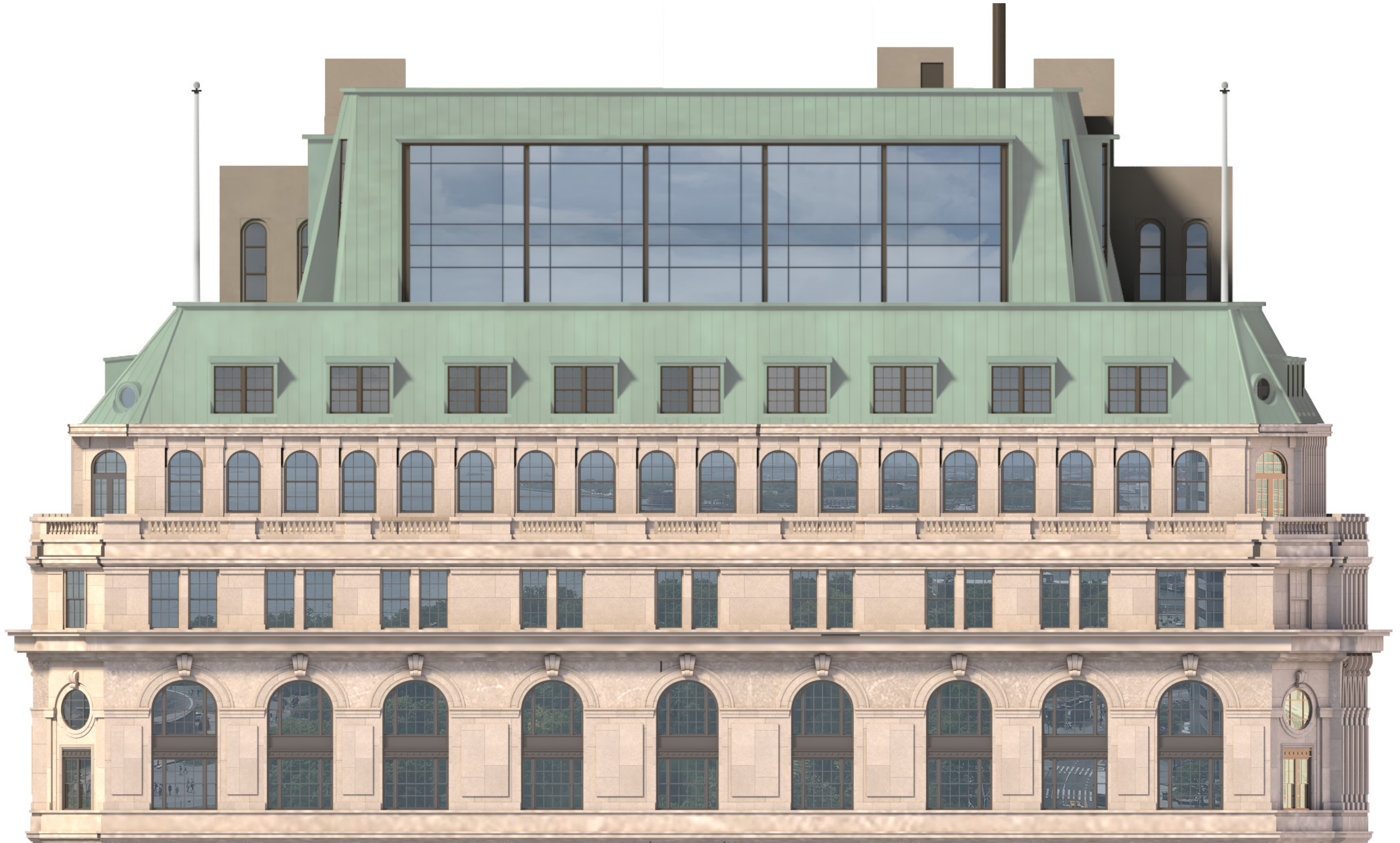
# HISTORIC OVERLAY DRAWINGS | 1885 vs 1921, DRAWN 1919 BY WALTER B. CHAMBERS



# HISTORIC OVERLAY | MASSING INSPIRATION

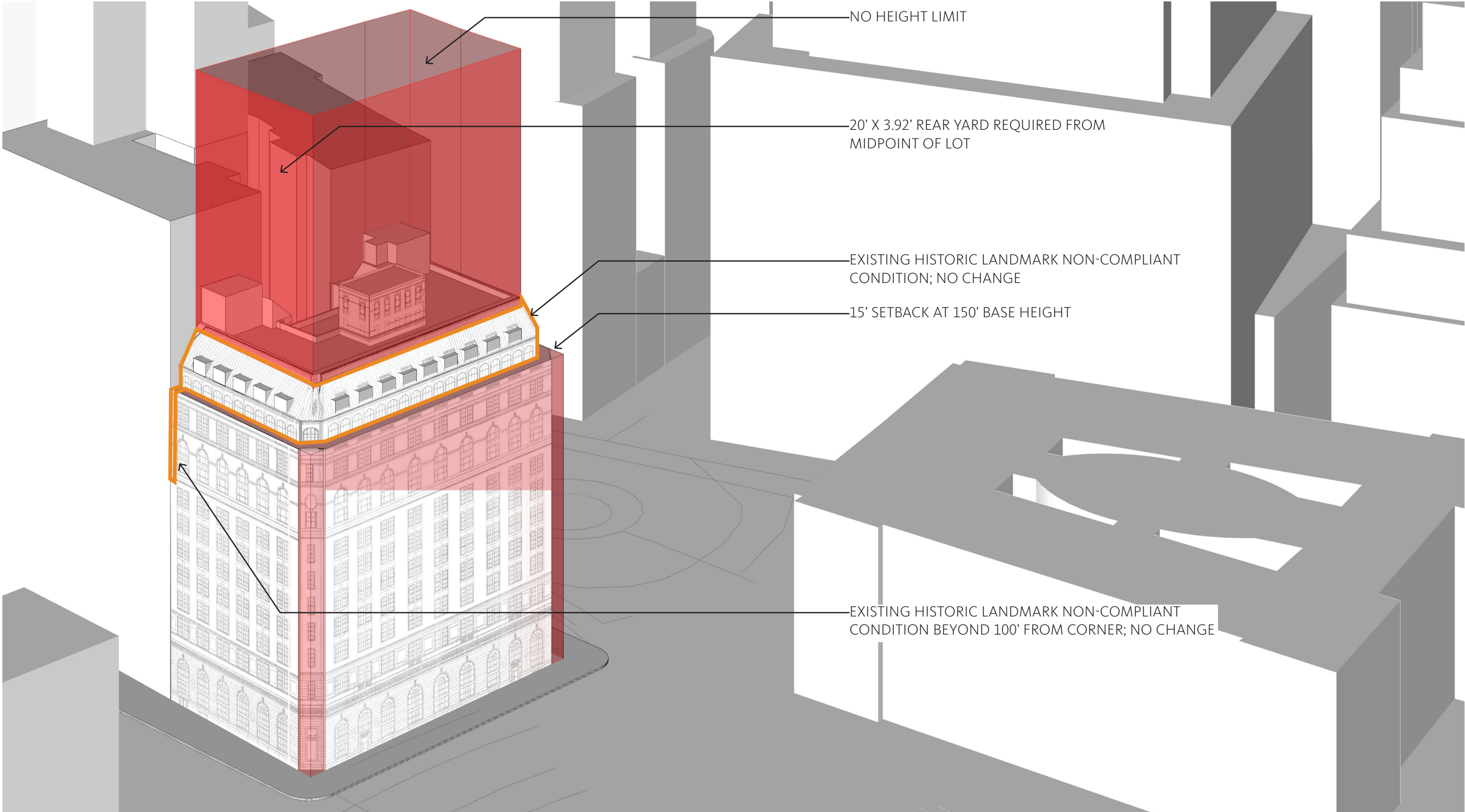


# PROPOSED SOUTH ELEVATION

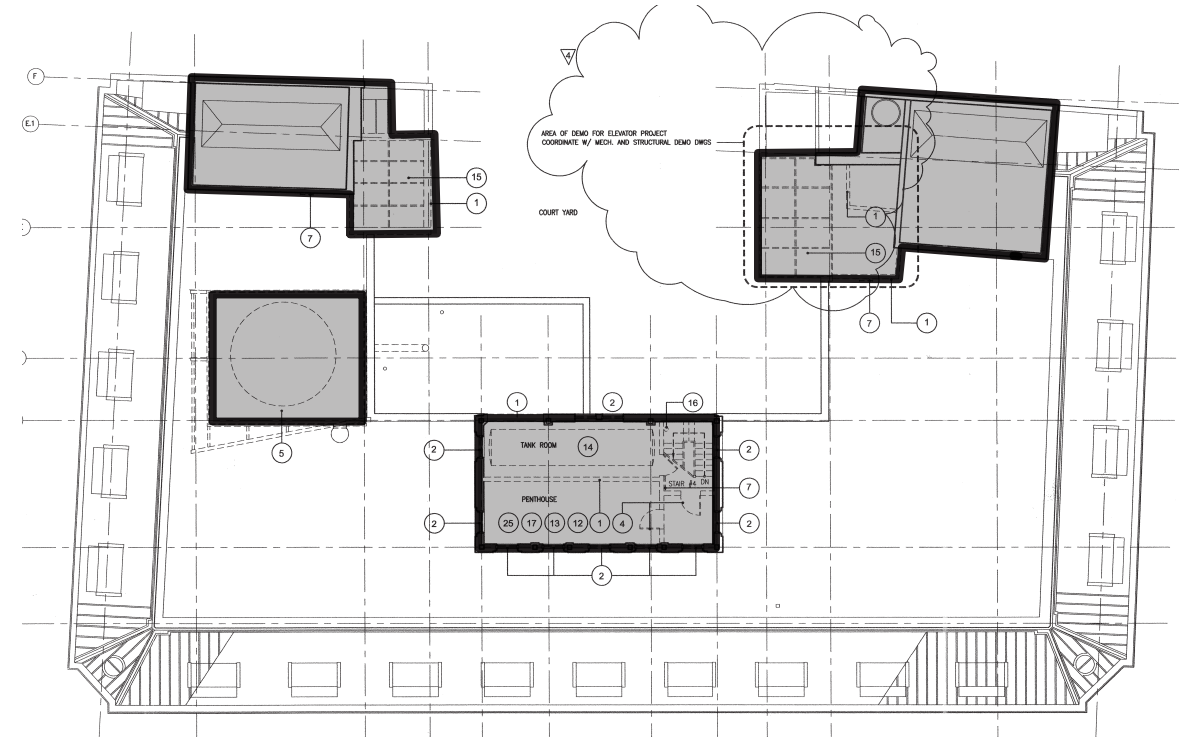
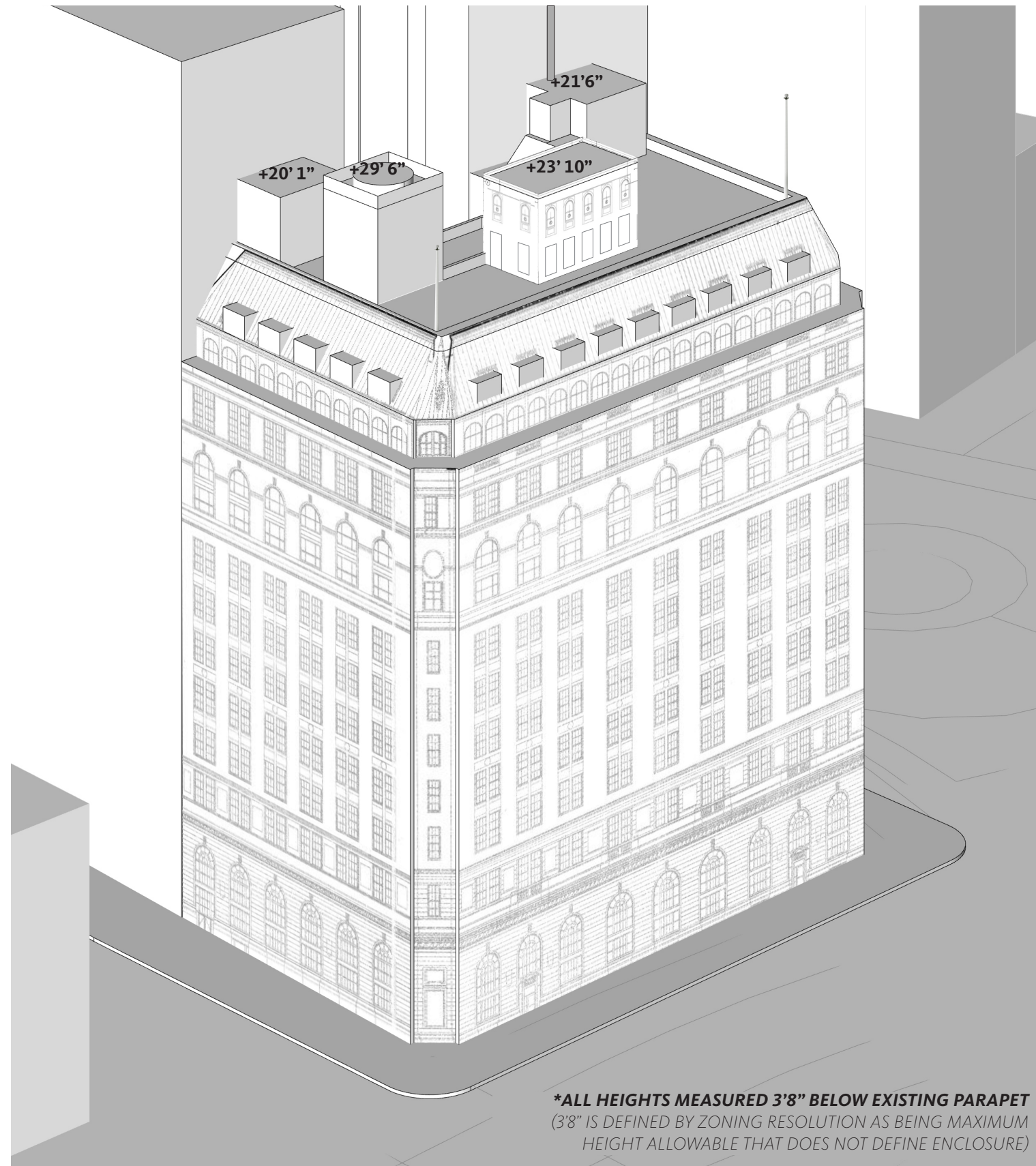


# AVAILABLE ZONING ENVELOPE

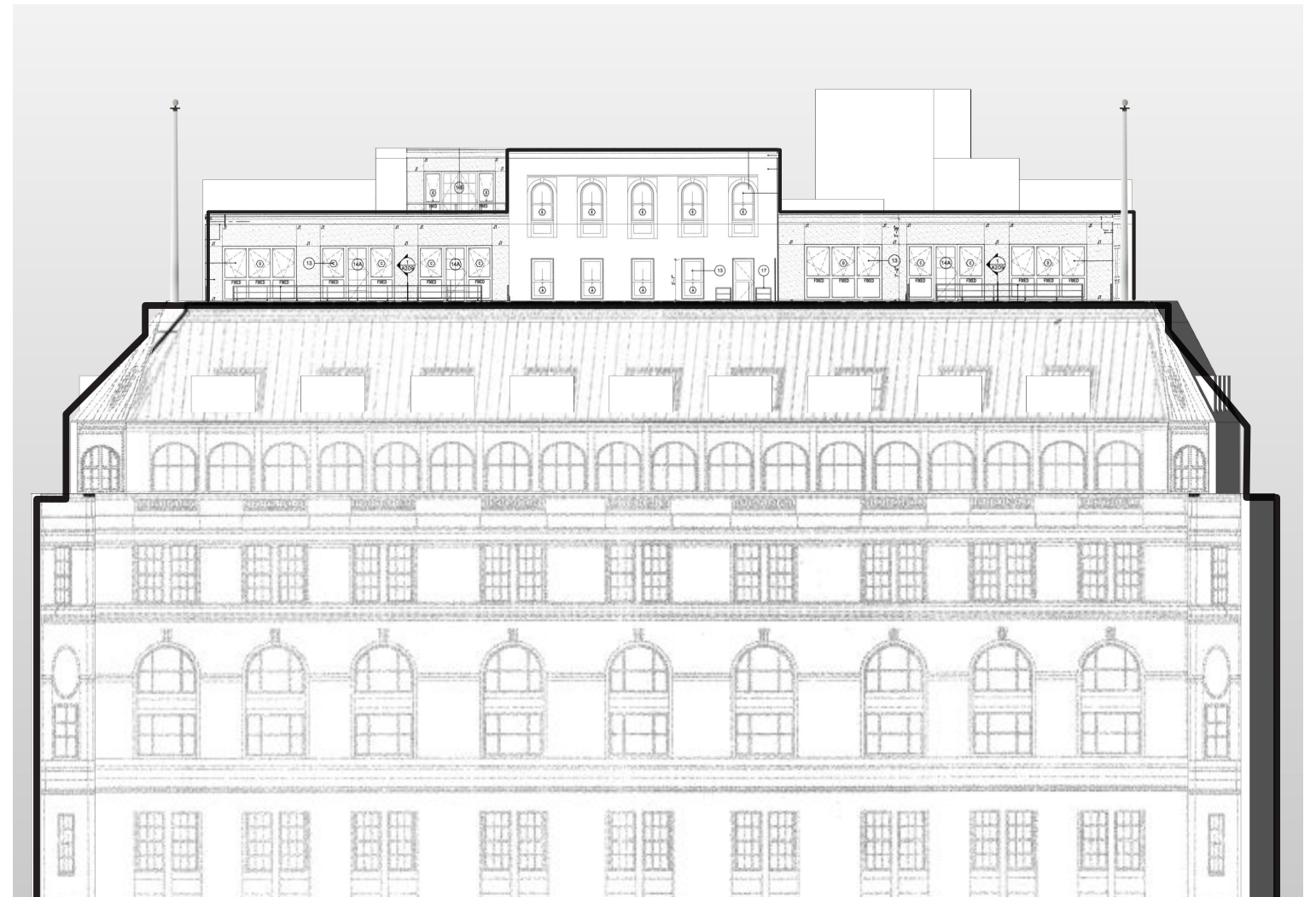
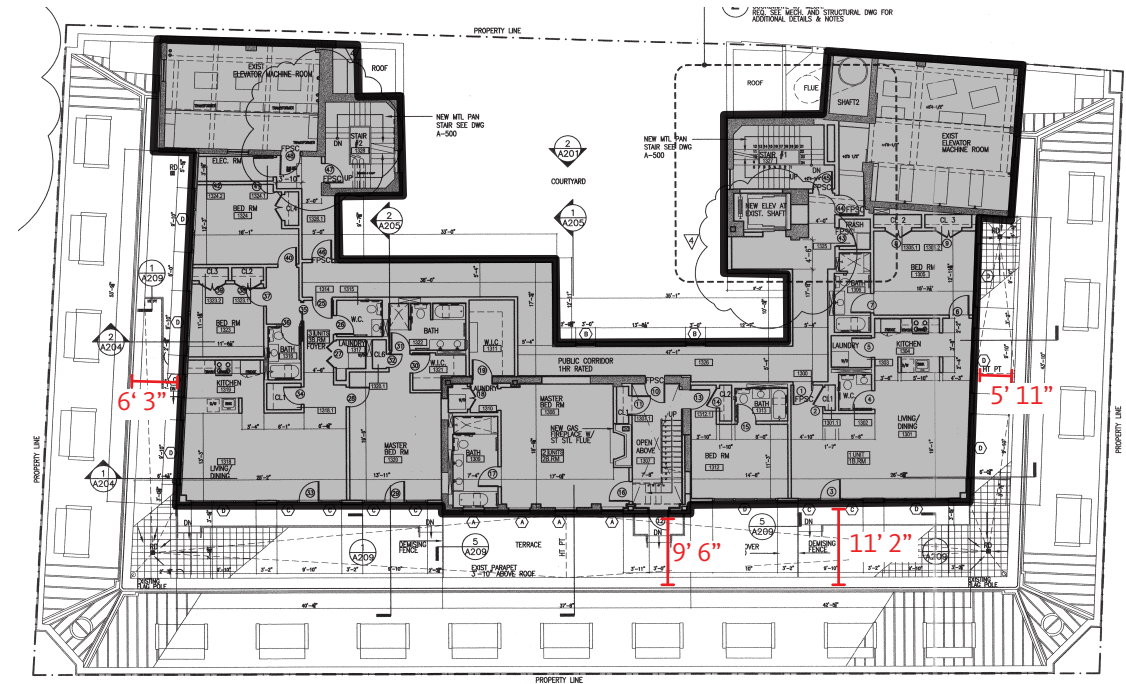
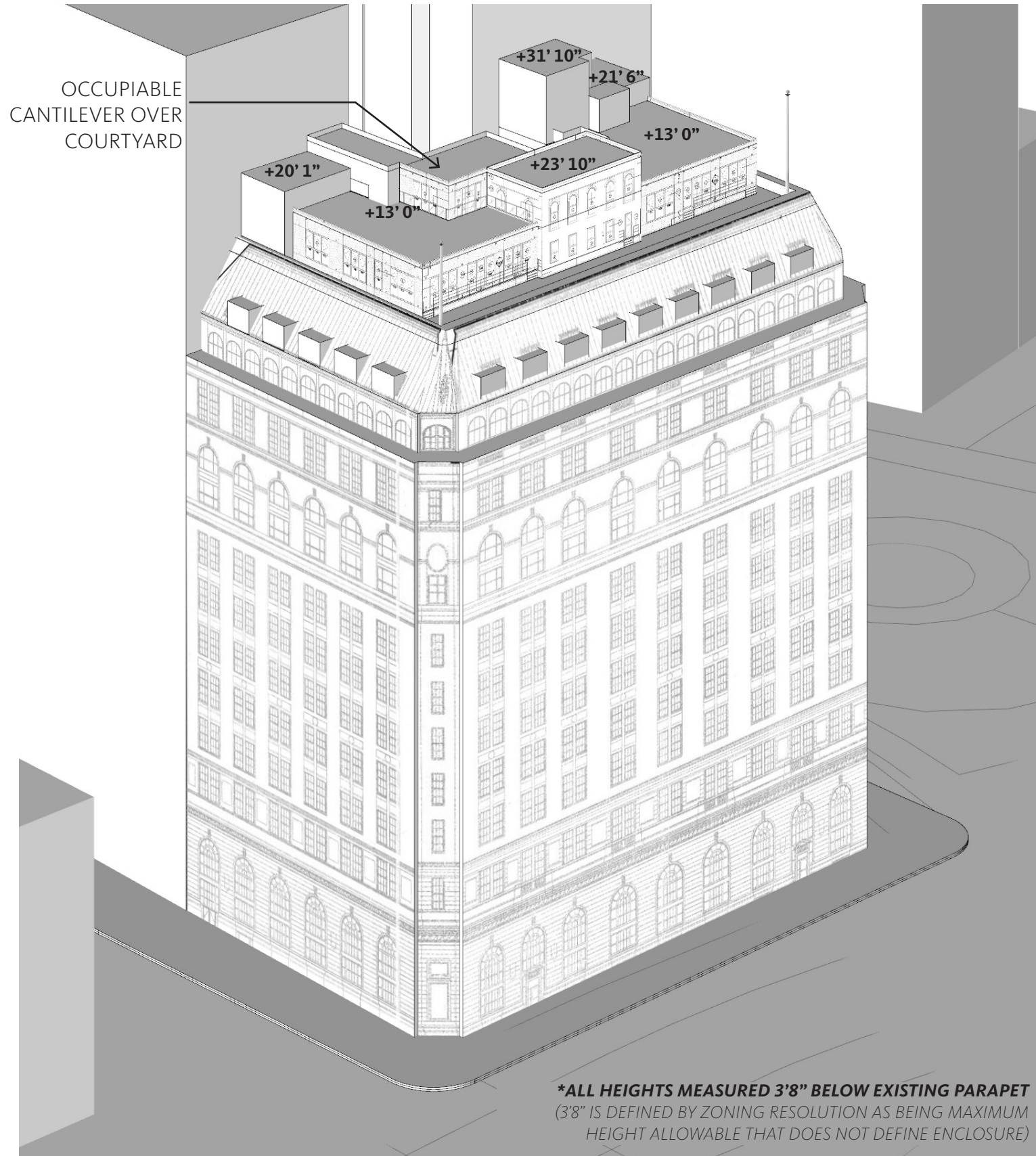
51,277 ZFA AVAILABLE



# EXISTING BUILDING

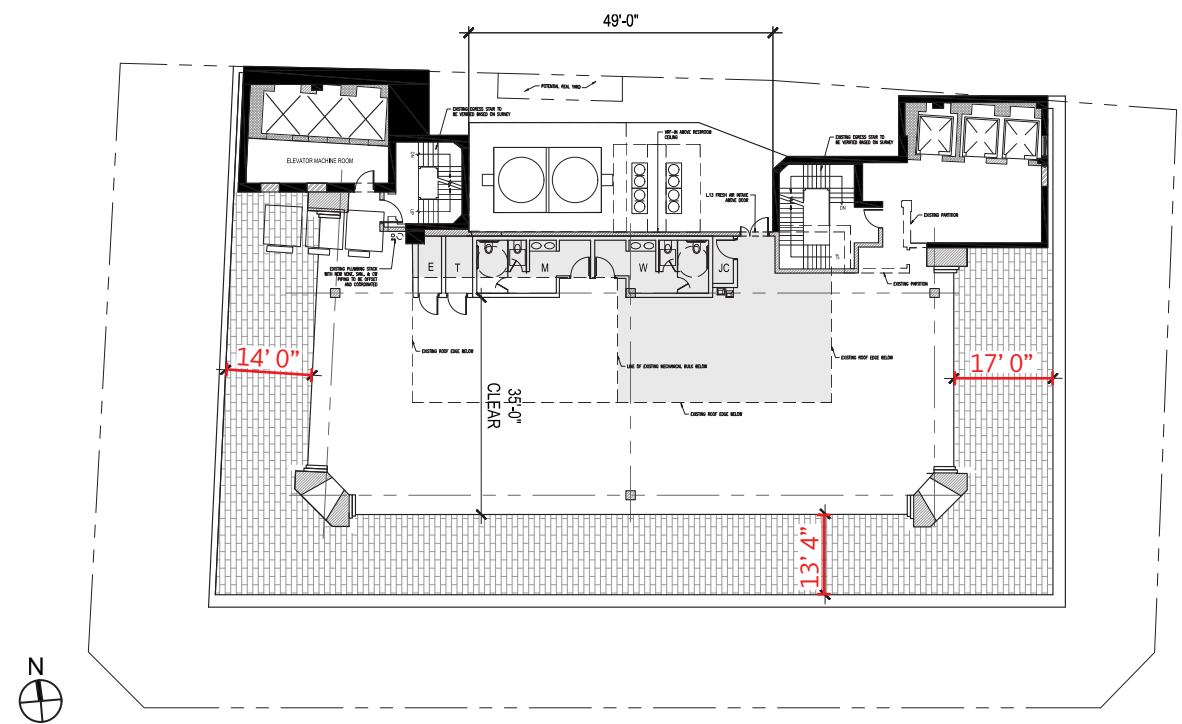
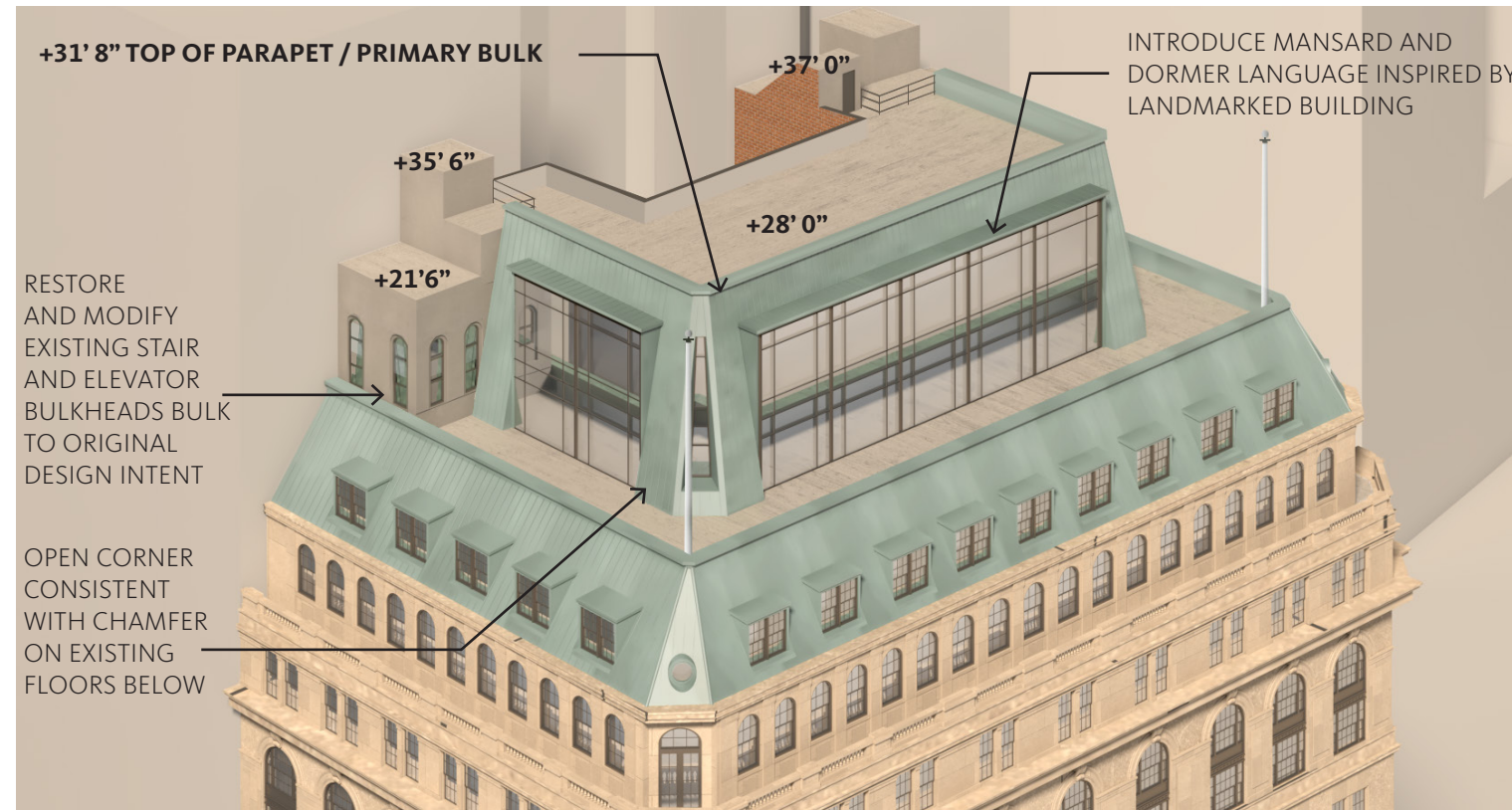


# PREVIOUSLY APPROVED ADDITION | CoFA 06-2019 (2005)

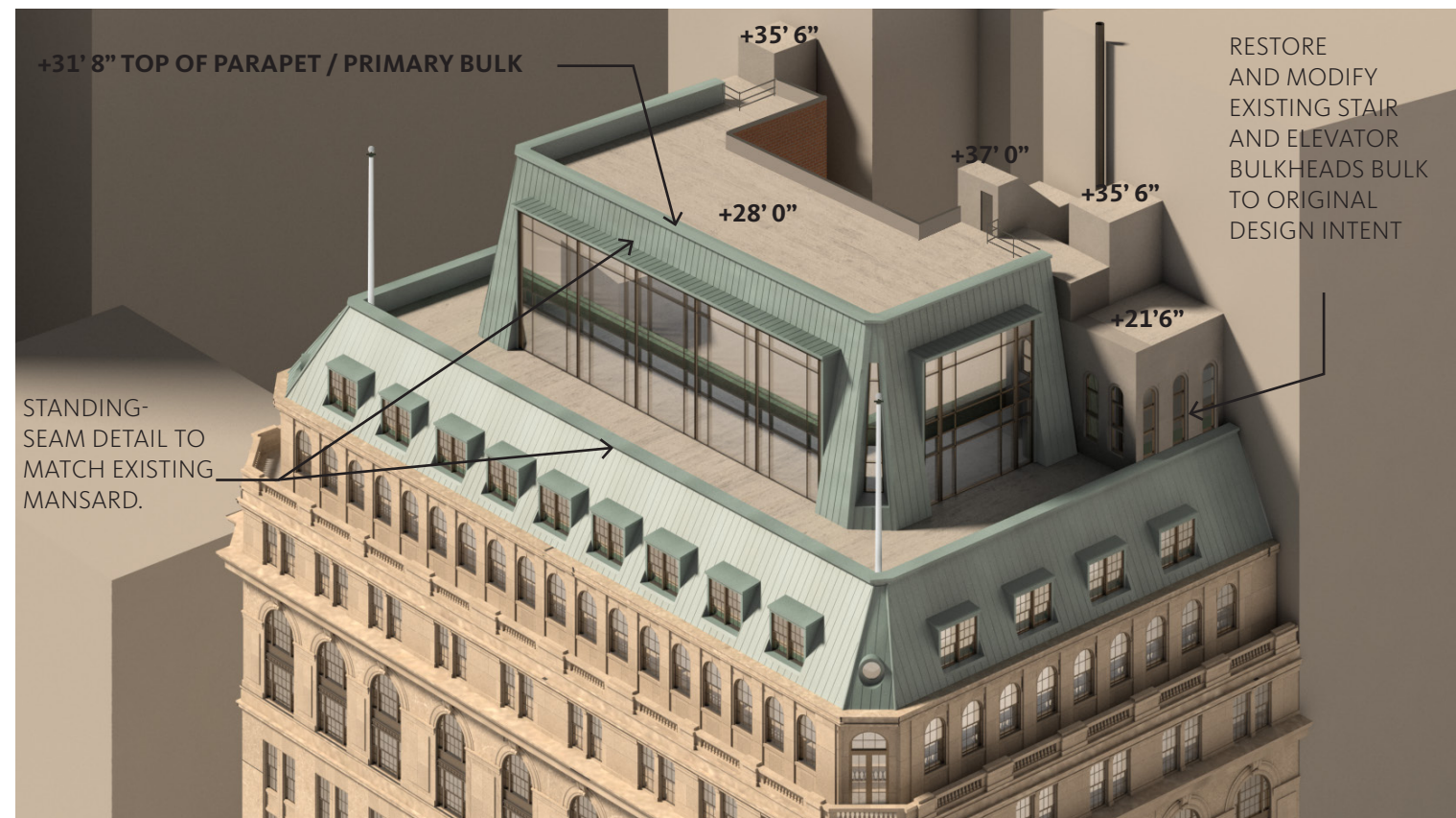


# PROPOSED MASSING

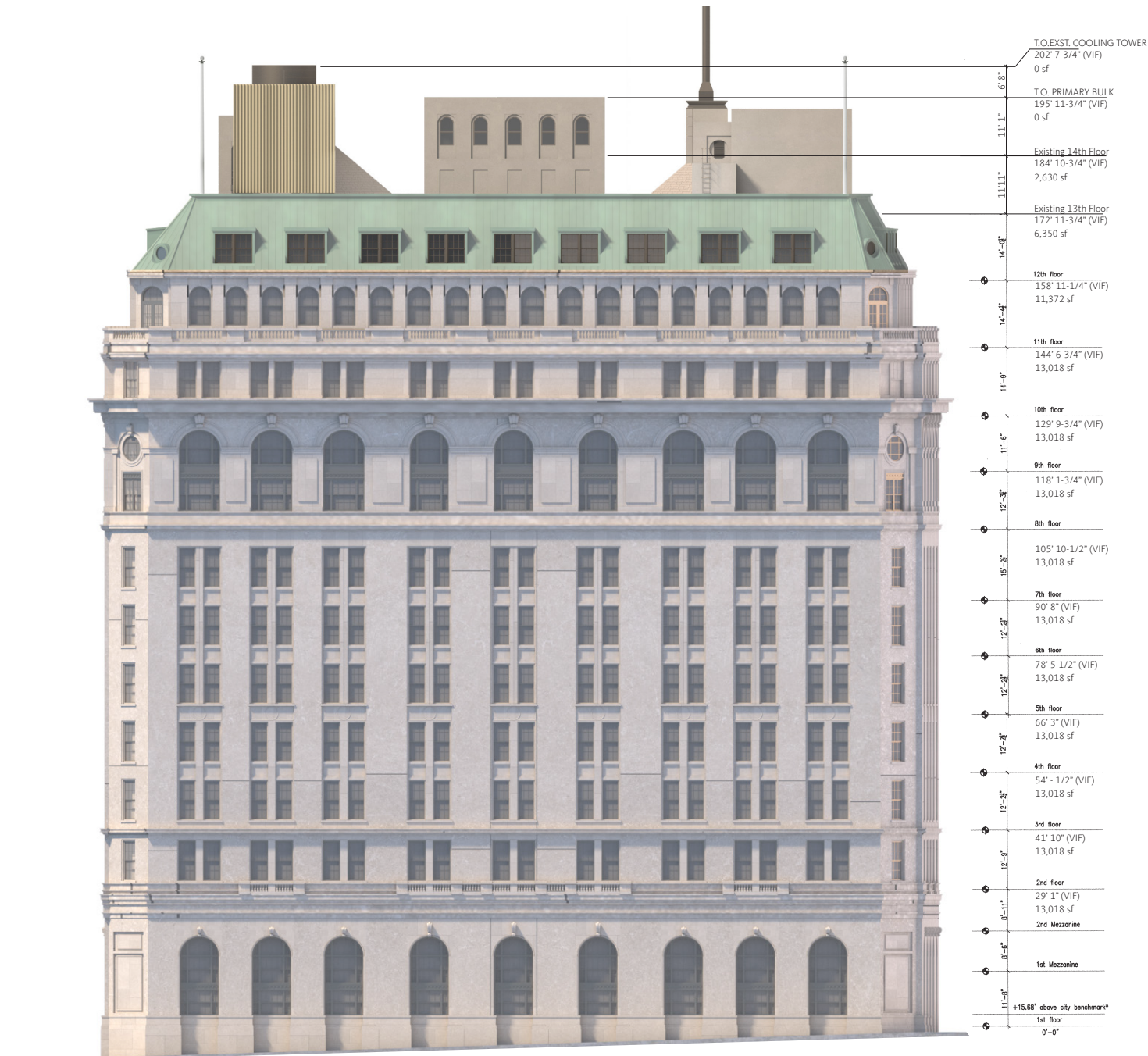
13,063 ZFA PROPOSED (+/- 6,500 ZFA PER FLOOR, NO ZONING DEDUCTIONS TAKEN)



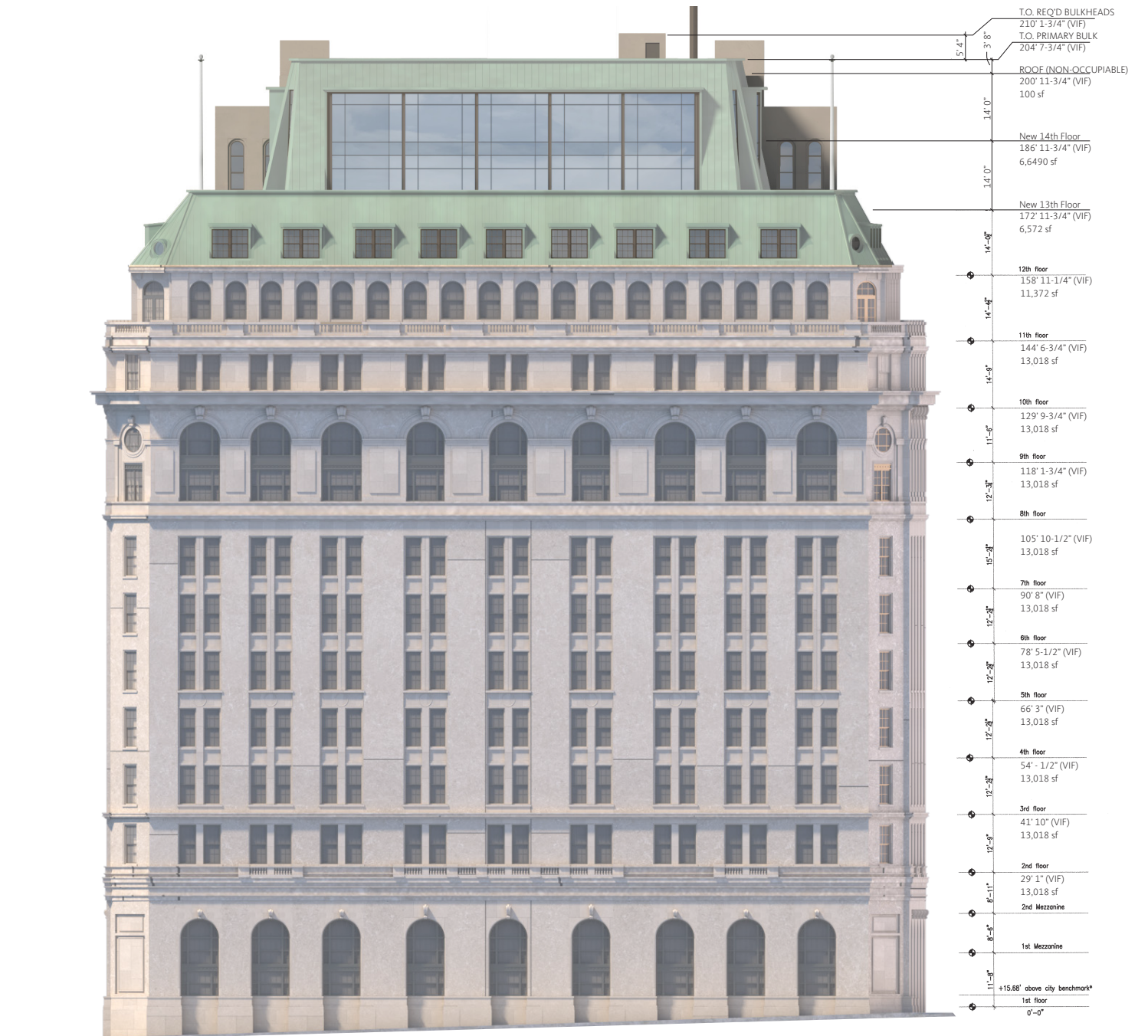
**ALL HEIGHTS MEASURED 3'8" BELOW EXISTING PARAPET**  
 (3'8" IS DEFINED BY ZONING RESOLUTION AS BEING MAXIMUM HEIGHT ALLOWABLE THAT DOES NOT DEFINE ENCLOSURE)



# EXISTING VS. PROPOSED ELEVATION








**EXISTING BATTERY PLACE ELEVATION**

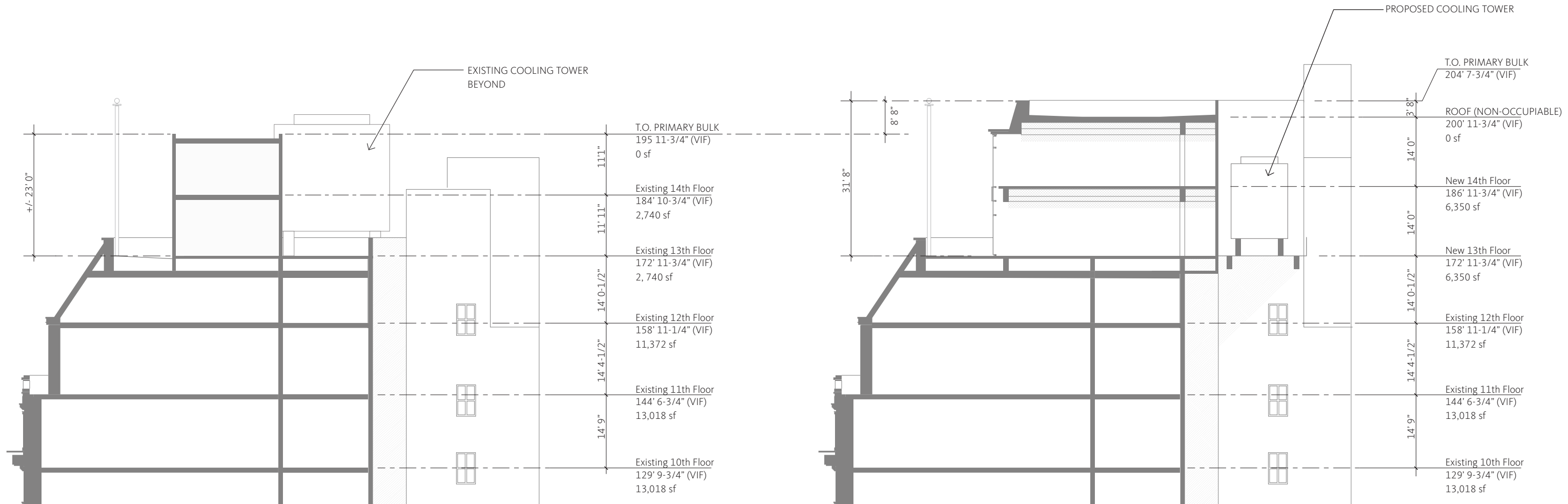


**PROPOSED BATTERY PLACE ELEVATION**

# EXISTING VS. PROPOSED SECTION

Hatch Indicates area designated for:

-  20" Structural Steel
-  4" Sprinkler
-  6" Lighting
-  16" Ductwork
-  4" Finish Ceiling

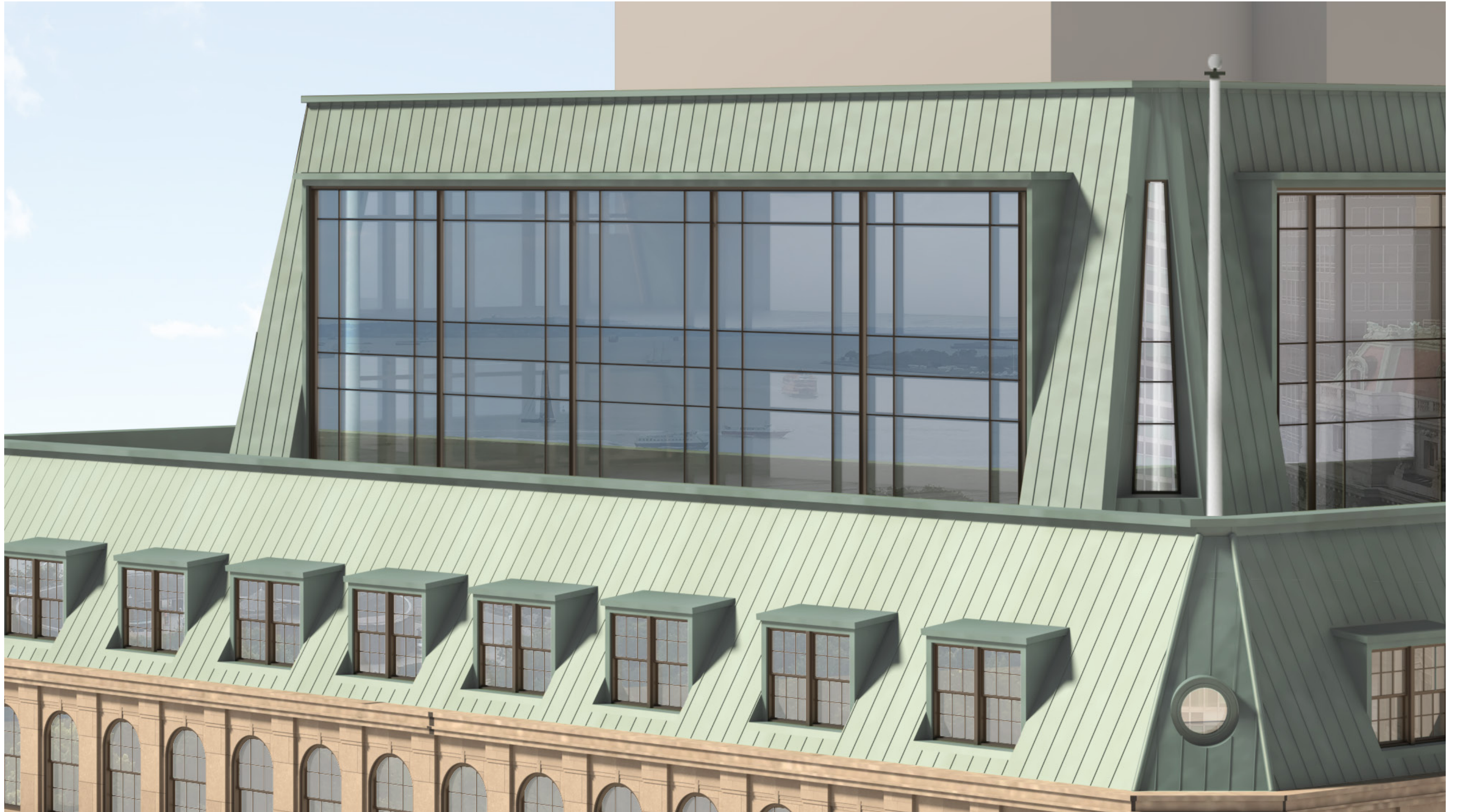


EXISTING CROSS SECTION

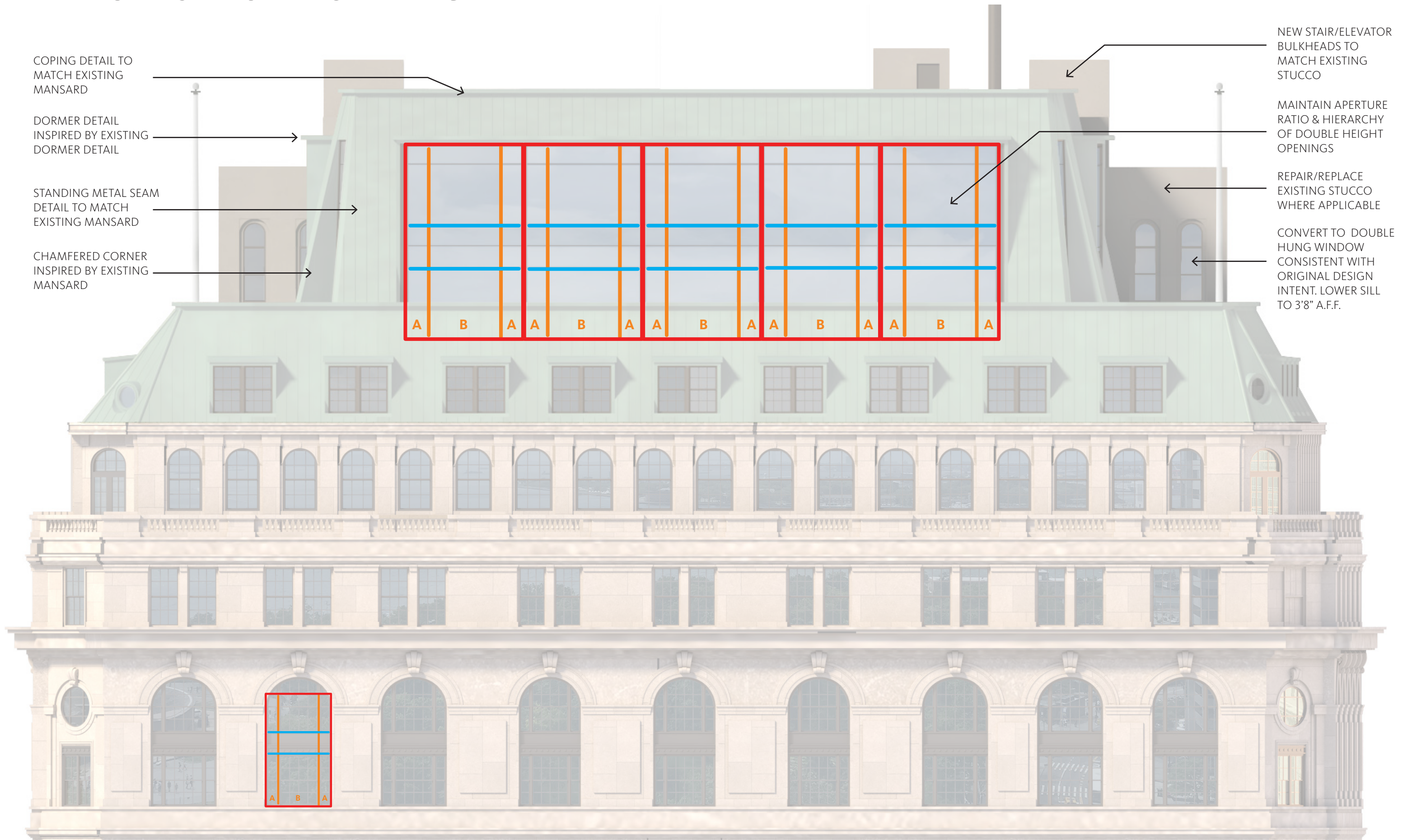
PROPOSED CROSS SECTION

## **MATERIAL + GLAZING CONCEPT**

# PROPOSED OVERBUILD | MATERIALITY & GLAZING CONCEPT



# ENVELOPE & FACADE STRATEGY



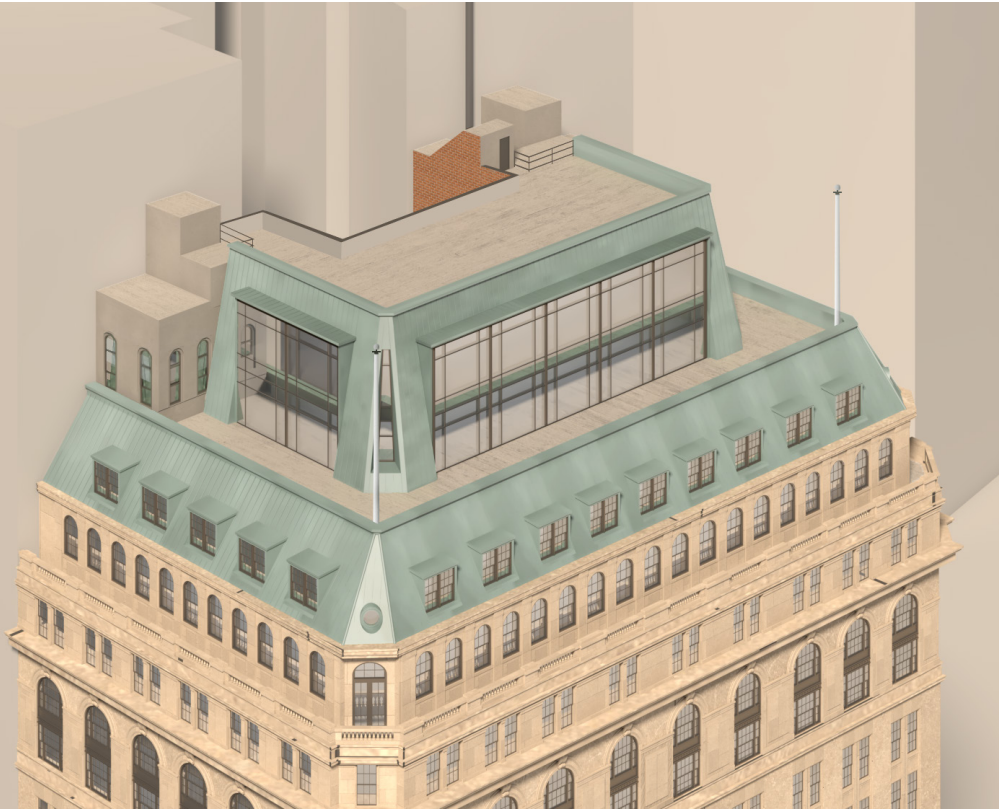
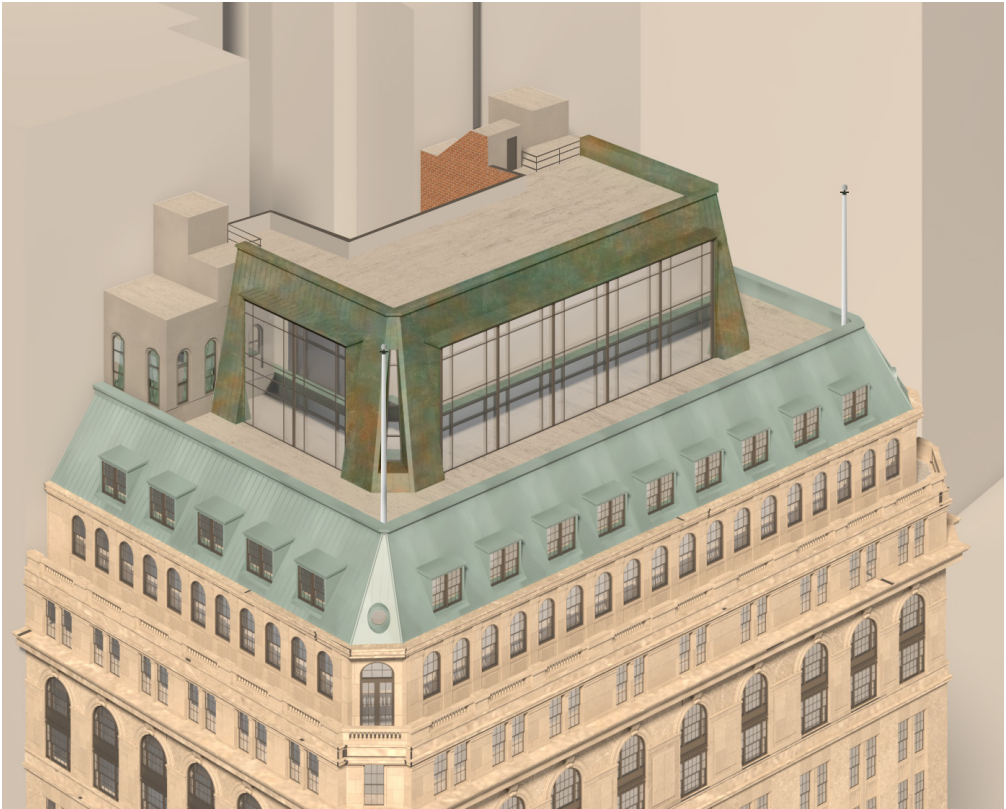
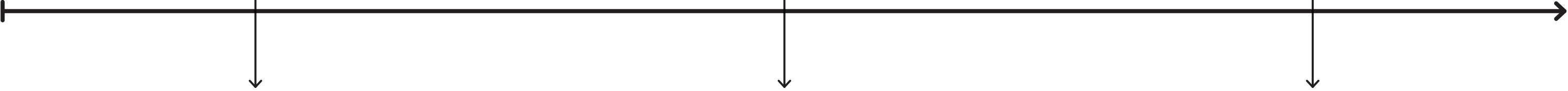
# COPPER PATINA OVER TIME



UNEXPOSED COPPER    4 MONTHS    8 MONTHS    1 YEAR    2 YEARS    3 YEARS    4 YEARS    5 YEARS    7 YEARS    10 YEARS    15 YEARS    20+ YEARS

*DISCERNIBLE IDENTITY  
EXISTING BUILDING + OVERBUILD*

*UNIFIED SINGLE IDENTITY  
WHOLE BUILDING*



# PROPOSED MATERIALITY | APPROXIMATELY 1-2 YEARS



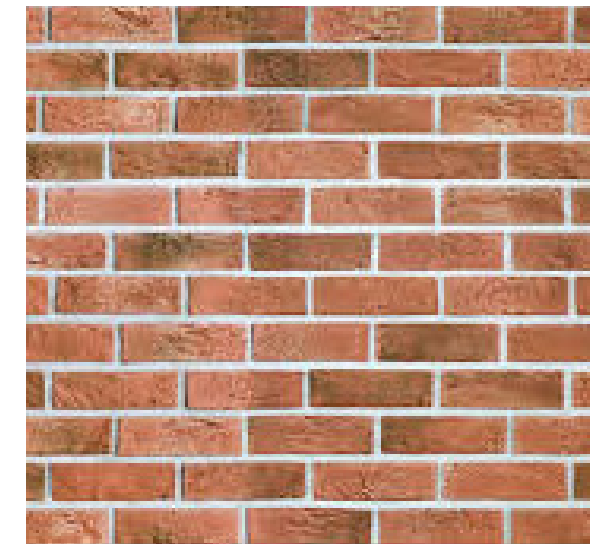
**CAST STONE**

**METAL MULLIONS & FRAMES**

**STANDING-SEAM COPPER PANEL**

**HIGH PERFORMOMANCE IGU**

**BRICK MASONRY UNITS**



**RESTORE WHERE APPLICABLE,  
MATCH IN-KIND FOR ANY NEW  
BULK**

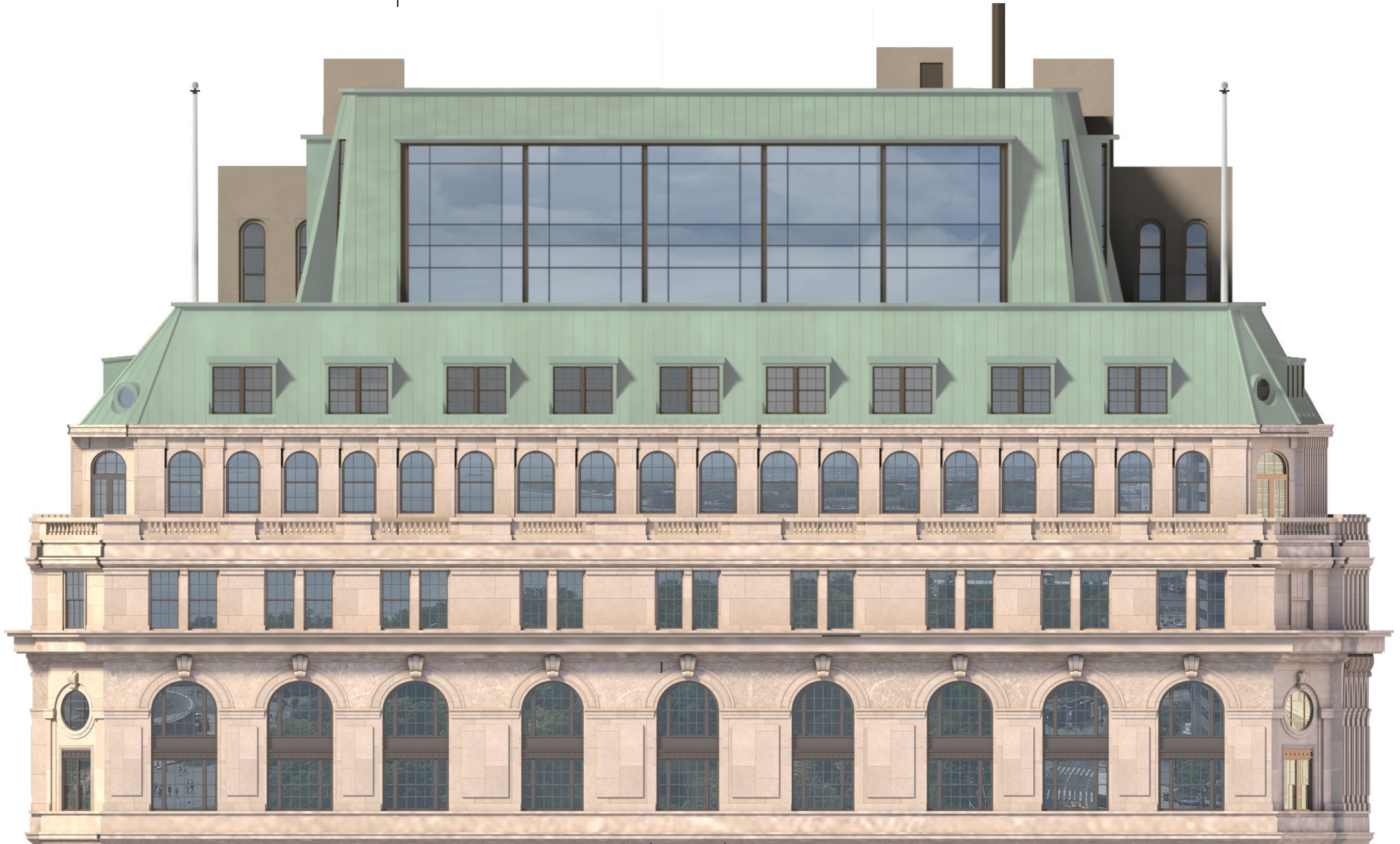
**TO MATCH EXISTING MULLIONS  
IN LANDMARKED FACADE**

**STANDING-SEAM DETAIL TO  
MATCH EXISTING MANSARD**

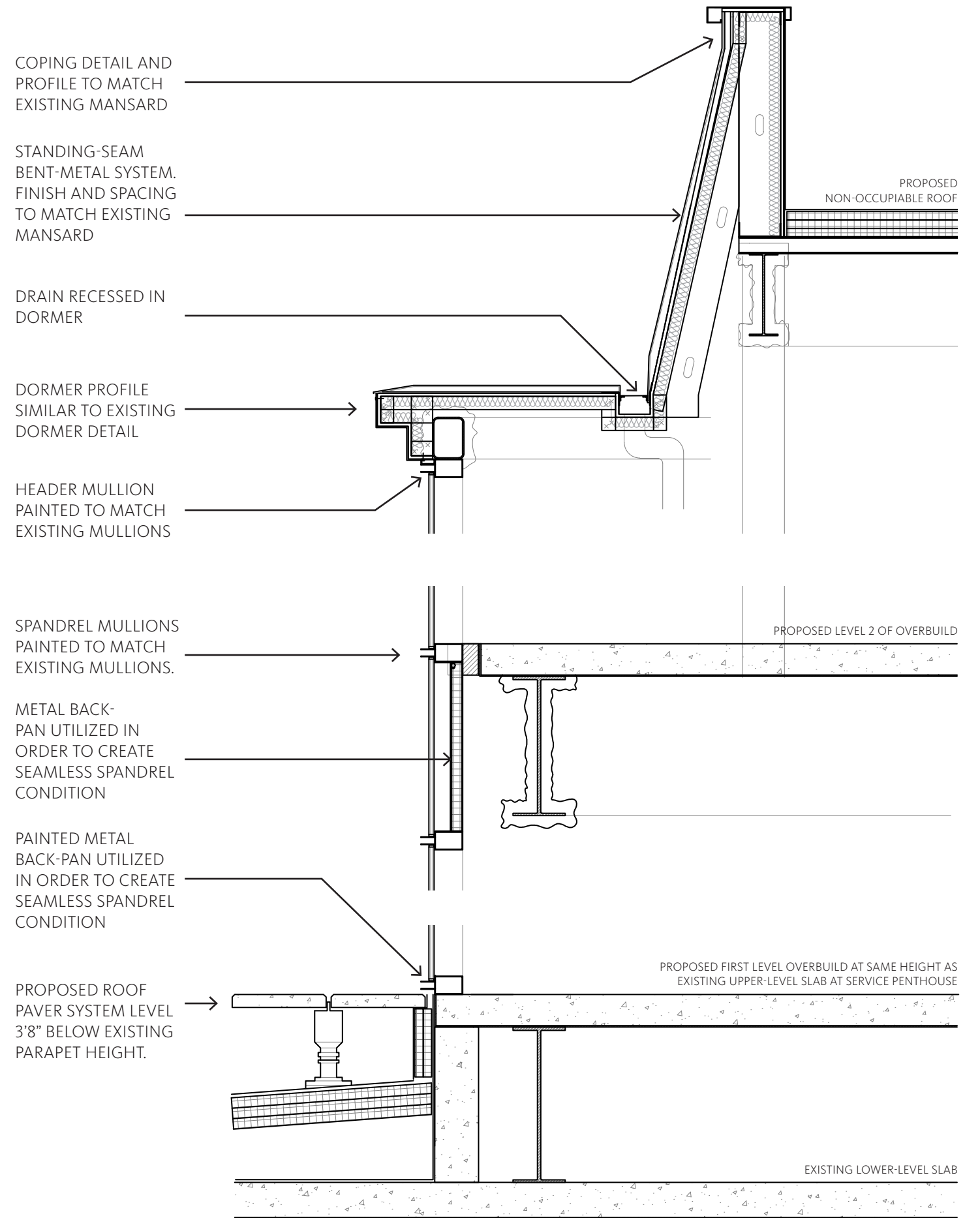
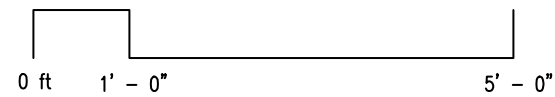
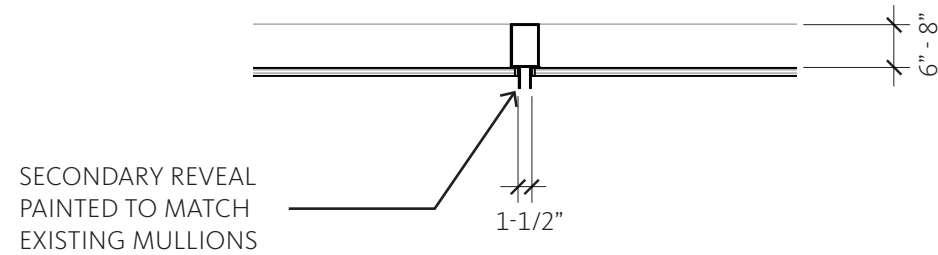
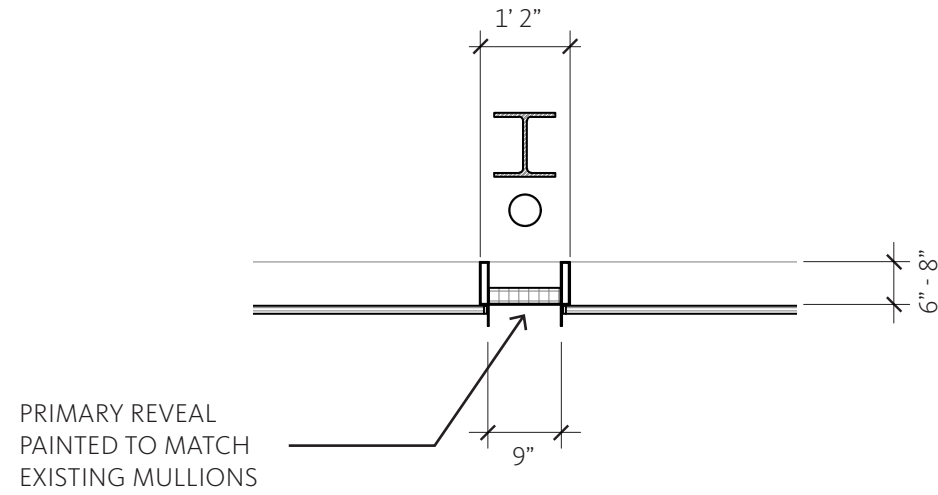
**GUARDIAN GLASS OR SIMILAR  
SNX 51/23 ON CLEAR GLASS**

**TO MATCH EDXISTING  
(AT REAR YARD ONLY)**

# PROPOSED MATERIALITY | APPROXIMATELY 25 YEARS

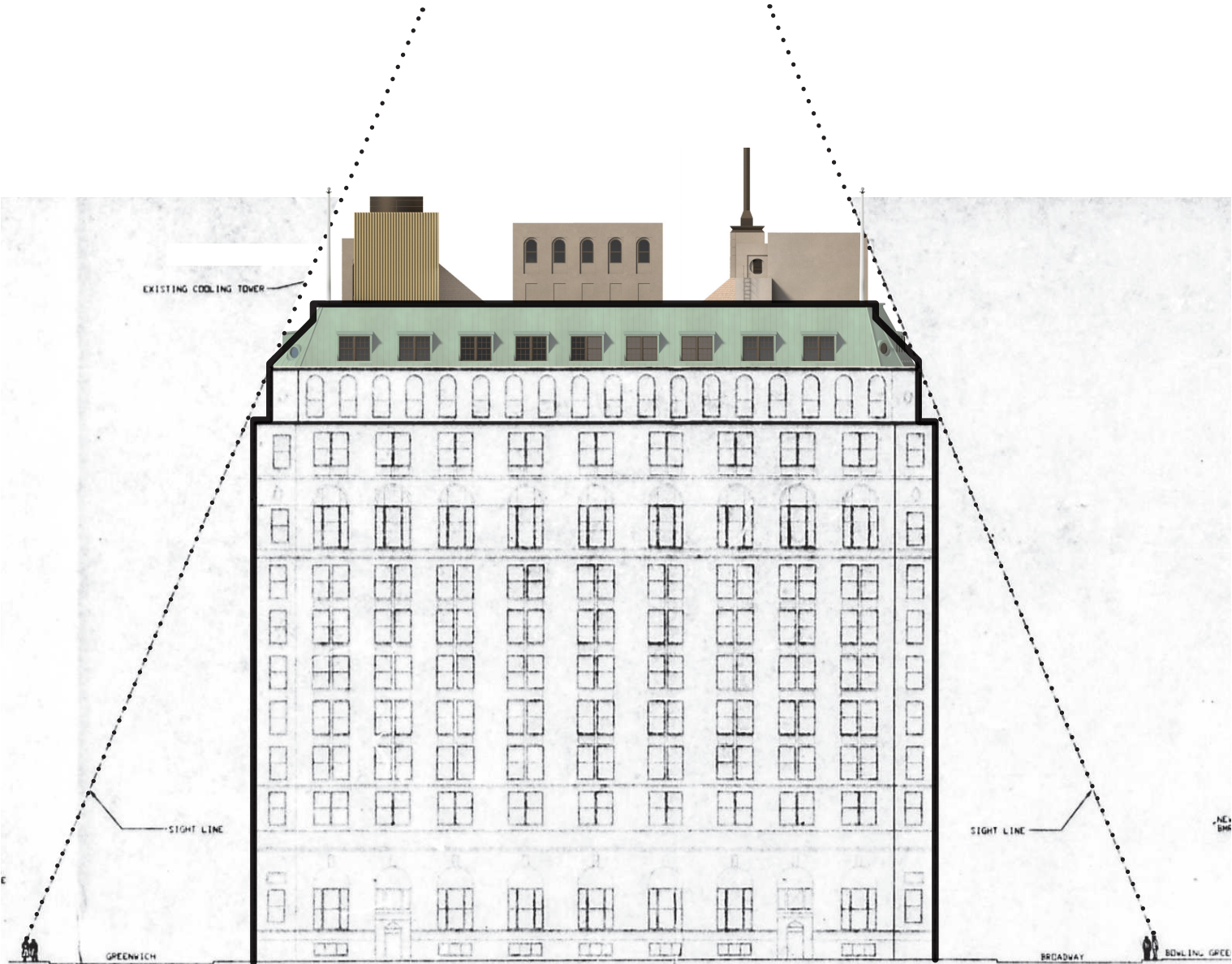


# PROPOSED ENVELOPE DETAILS

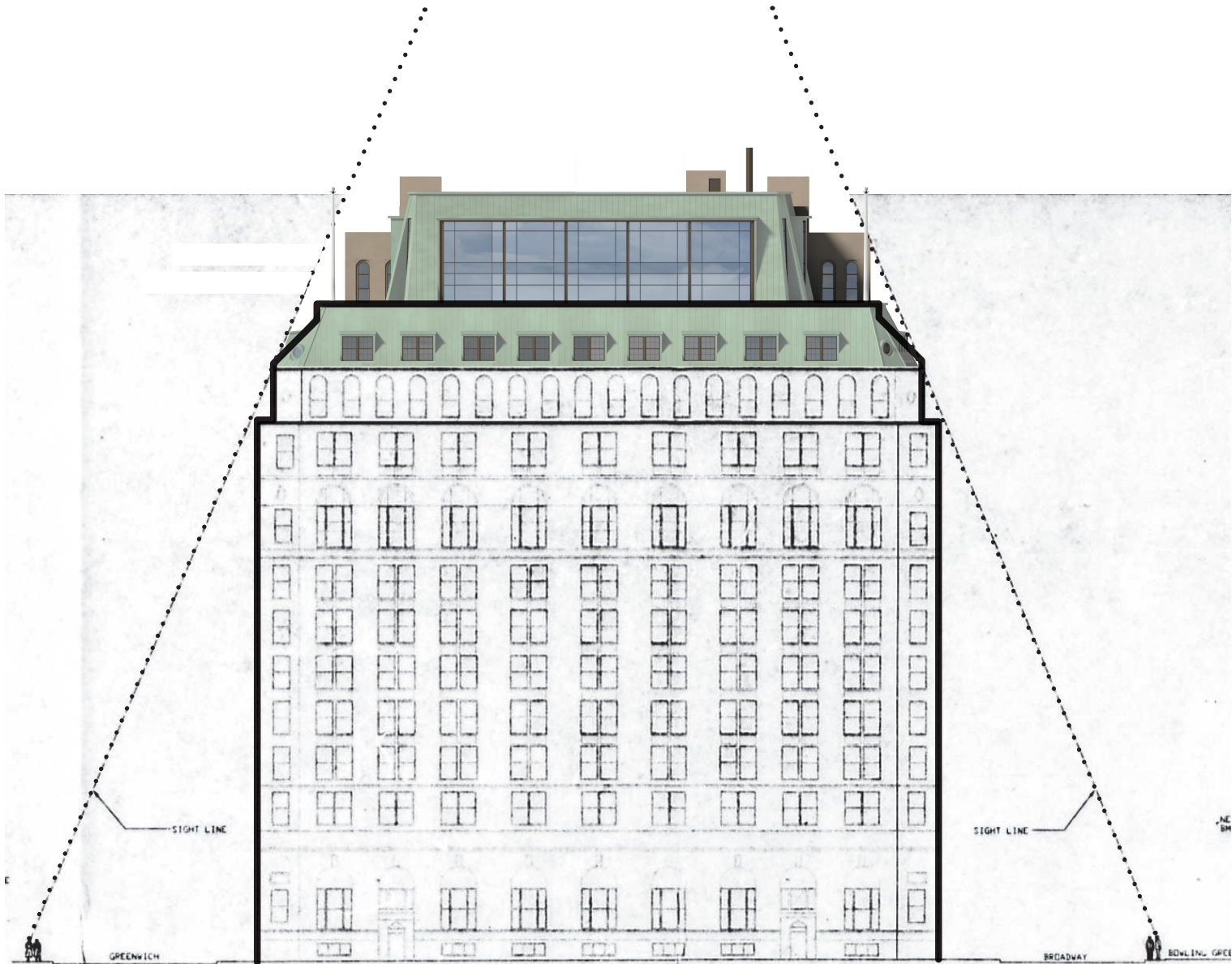


# VISIBILITY

# VISIBILITY FROM ADJACENT STREETS | GREENWICH & BROADWAY

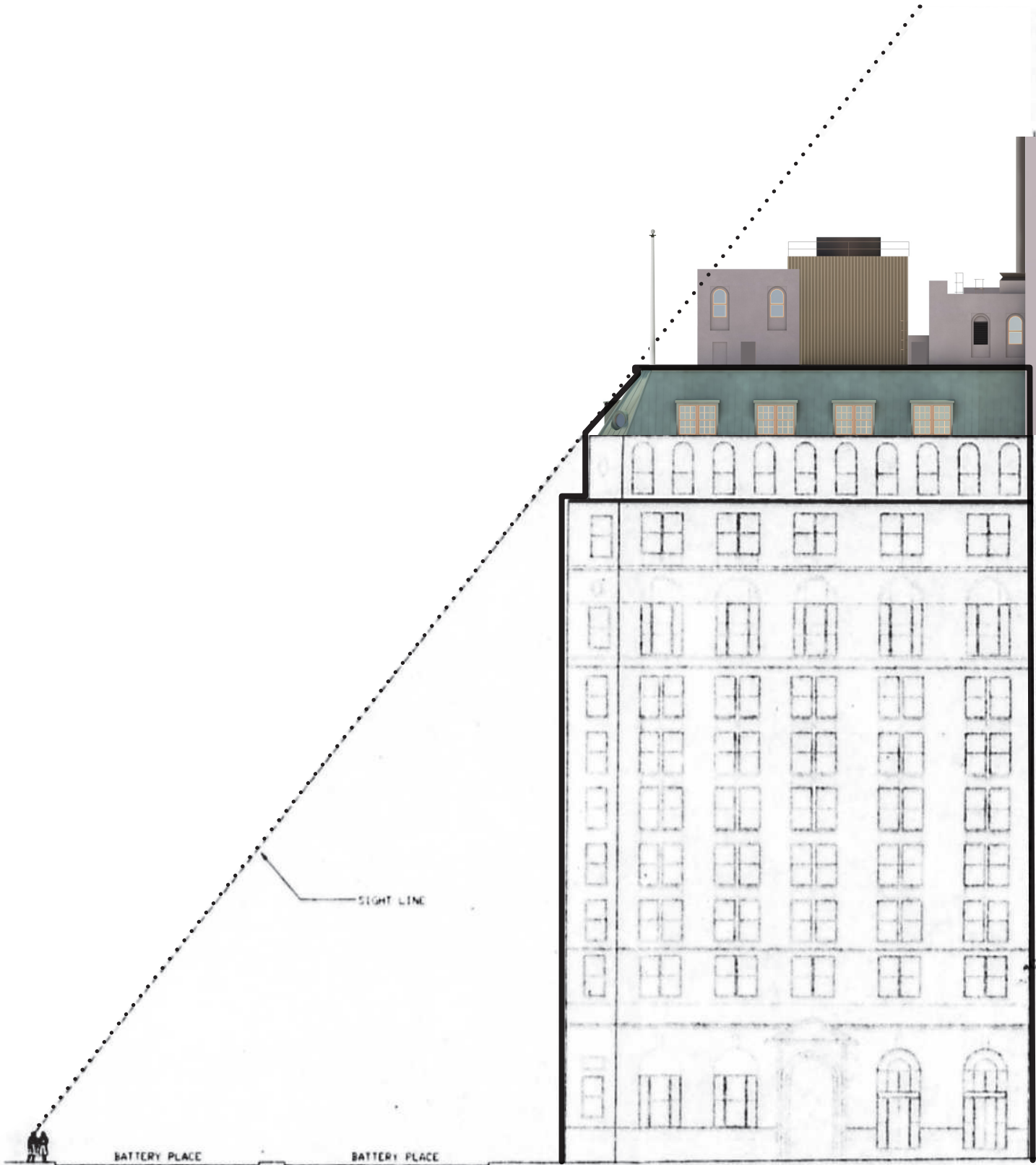


EXISTING BATTERY PLACE ELEVATION

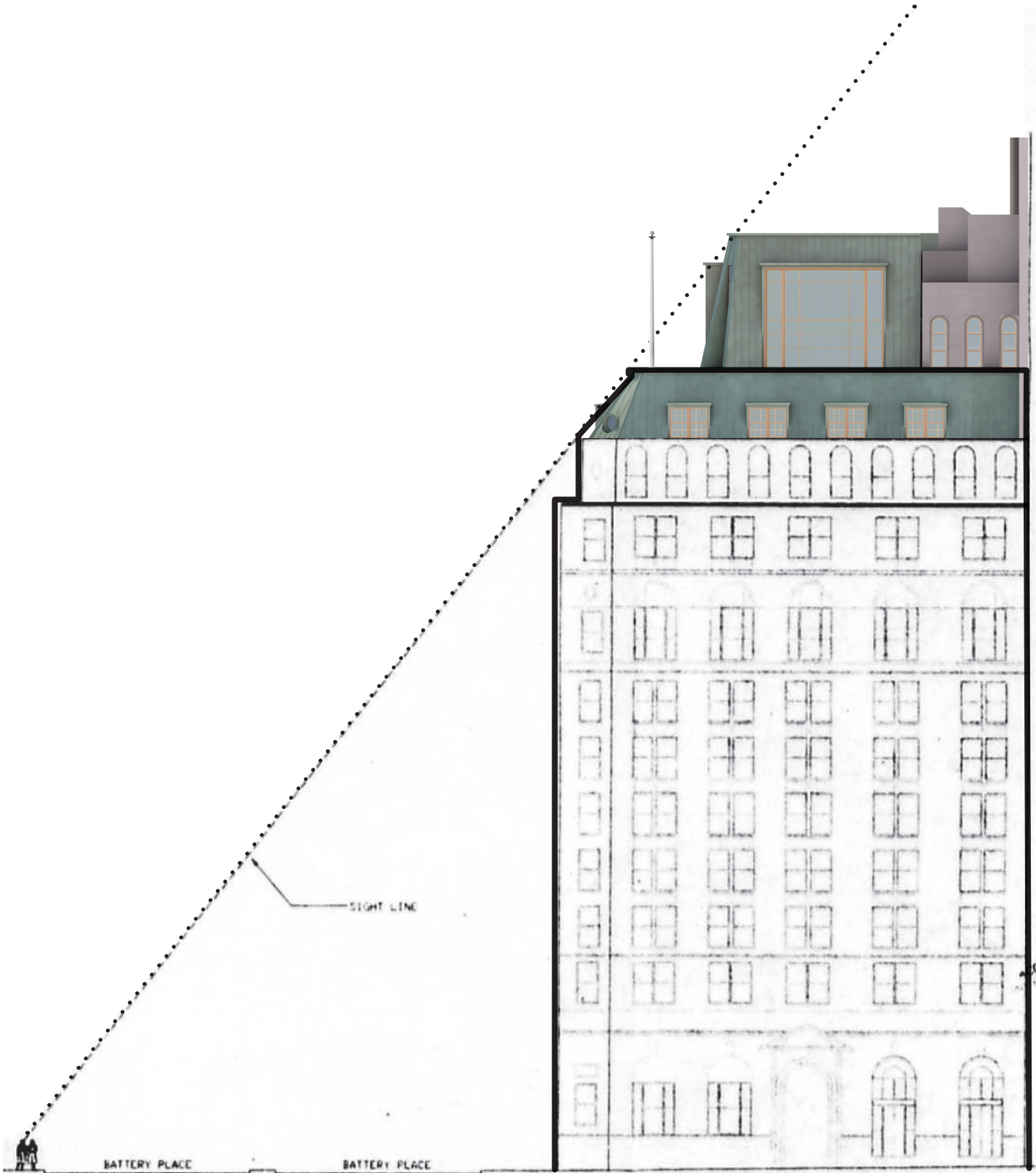


PROPOSED BATTERY PLACE ELEVATION

# VISIBILITY FROM ADJACENT STREETS | BATTERY PLACE



EXISTING BROADWAY ELEVATION



PROPOSED BROADWAY ELEVATION

# ONE BROADWAY | SITE



# VISIBILITY | VIEW E

EXISTING VIEW - MOCK-UP



PROPOSED RENDERING



# VISIBILITY | VIEW D

EXISTING VIEW - MOCK-UP



PROPOSED RENDERING



# VISIBILITY | VIEW F

EXISTING VIEW - MOCK-UP



PROPOSED RENDERING



# VISIBILITY | VIEW C

EXISTING VIEW - MOCK-UP



PROPOSED RENDERING



# VISIBILITY | ADDITIONAL VIEWS OF MOCK-UP



VIEW "I"



VIEW "K"



VIEW "L"



VIEW "M"

# VISIBILITY | ADDITIONAL VIEWS OF MOCK-UP



VIEW "N"



VIEW "A"



VIEW "H"



VIEW "O"

# PRECEDENTS

# LPC APPROVED PRECEDENTS



## 361 Broadway - Individual Landmark

SHIGERU BAN ARCHITECTS/BKSK ARCHITECTS

APPROVED IN 2012

TWO-STORY WHITE FINISHED METAL AND GLASS ROOFTOP ADDITION. THIS BUILDING ALSO HAD A 2002 APPROVAL (EXPIRED) FOR A TWO-STORY ROOFTOP ADDITION. THE BUILDING'S SITING, "WITH TWO MUCH SHORTER BUILDINGS TO THE SOUTH WOULD CAUSE ANY ADDITION TO BE VISIBLE FROM THIS VANTAGE POINT". THE "SIZE OF THE ADDITION ON THIS LARGE SCALE COMMERCIAL BUILDING WILL NOT OVERWHELM THE BUILDING'S MASSING". THE "FENESTRATION OF THE GLASS PENTHOUSE WILL RELATE TO THE SIZE AND RHYTHM OF THE BUILDING'S FENESTRATION PATTERN"



# LPC APPROVED PRECEDENTS



## 145 HUDSON STREET

MARVEL ARCHITECTS

APPROVED IN 2005

TWO-STORY ROOFTOP ADDITION. MODIFICATION OF A PRIOR APPLICATION FOR A NON-VISIBLE ROOFTOP ADDITION. SIGHTLINES FOR 145 HUDSON STREET INCLUDE LONG VISTAS FROM ACROSS HUDSON SQUARE. THE ADDITION IS "CENTERED ON THE ROOF SO THAT IT WILL ALIGN WITH VERTICAL ELEMENTS OF THE FACADES [AND] THE CAREFUL AND REFINED DETAILING OF THE CLEAR AND LOW REFLECTIVE GLASS WALLS WILL NOT CALL ATTENTION TO THE ADDITION".

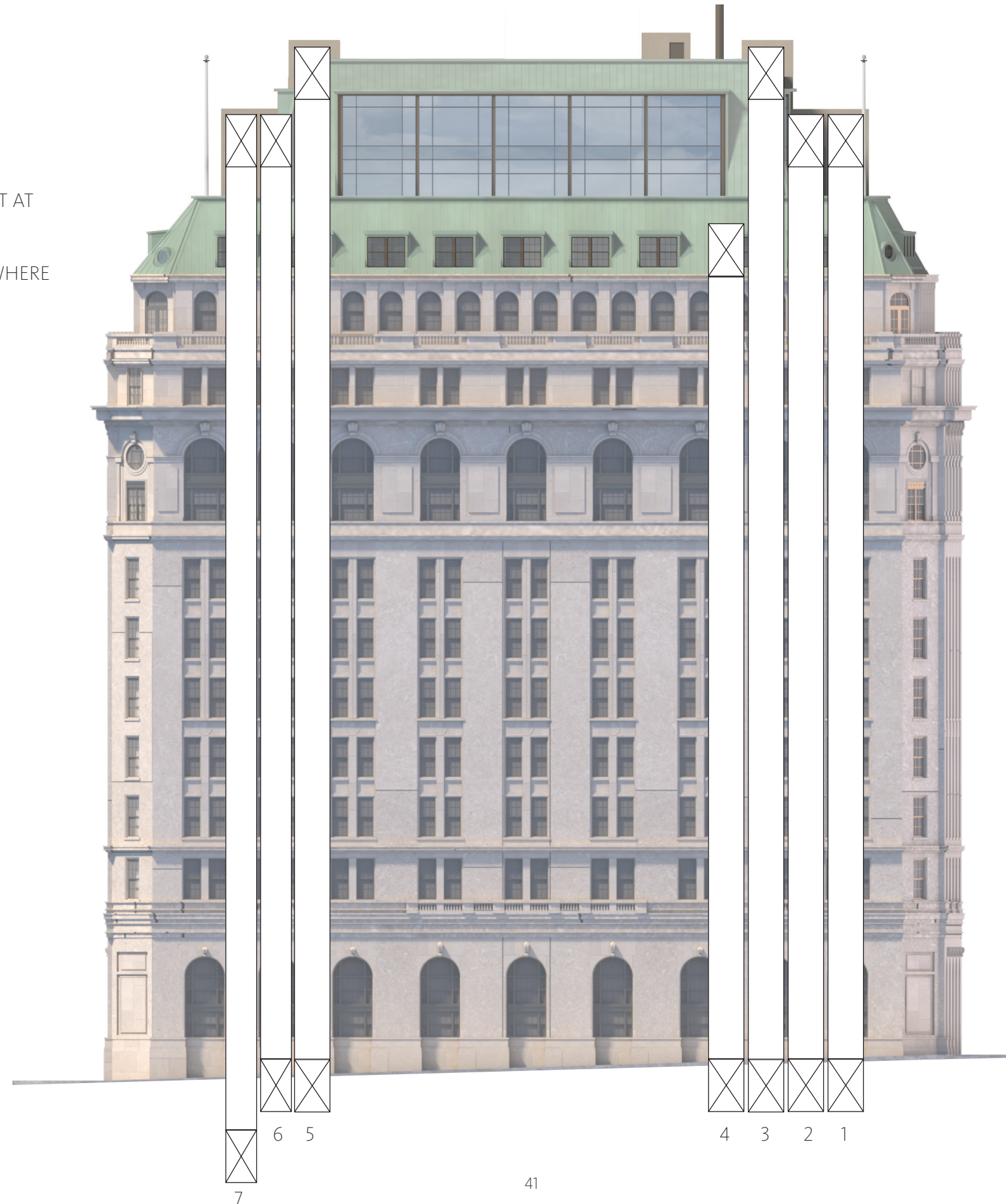


# APPENDIX

# ELEVATORS AND ASSOCIATED BULK

## GOAL: LIMIT BULK AT ROOF

- BRING ONLY 2 MOST SET-BACK ELEVATORS TO HIGHEST OCCUPIABLE LEVEL
- MAINTAIN EXISTING ELEVATOR BULK
- USE MRL'S TO LIMIT OVER-RUNS AND EQUIPMENT AT ROOF THAT WILL IMPACT BULK
- MAINTAIN EXISTING BULK AT ELEVATORS 1,2,3,7, WHERE POSSIBLE.



T.O. REQ'D BULKHEADS	210' 1-3/4" (VIF)
T.O. PRIMARY BULK	204' 7-3/4" (VIF)
ROOF (NON-OCCUPIABLE)	200' 11-3/4" (VIF)
	100 sf
14'-0"	
New 14th Floor	186' 11-3/4" (VIF)
	6,649 sf
14'-0"	
New 13th Floor	172' 11-3/4" (VIF)
	6,572 sf
14'-0"	
12th floor	158' 11-1/4" (VIF)
	11,372 sf
14'-4"	
11th floor	144' 6-3/4" (VIF)
	13,018 sf
14'-5"	
10th floor	129' 9-3/4" (VIF)
	13,018 sf
11'-6"	
9th floor	118' 1-3/4" (VIF)
	13,018 sf
12'-3"	
8th floor	105' 10-1/2" (VIF)
	13,018 sf
15'-3"	
7th floor	90' 8" (VIF)
	13,018 sf
12'-3"	
6th floor	78' 5-1/2" (VIF)
	13,018 sf
12'-3"	
5th floor	66' 3" (VIF)
	13,018 sf
12'-2"	
4th floor	54' - 1/2" (VIF)
	13,018 sf
12'-3"	
3rd floor	41' 10" (VIF)
	13,018 sf
12'-9"	
2nd floor	29' 1" (VIF)
	13,018 sf
8'-11"	
2nd Mezzanine	
8'-6"	
1st Mezzanine	
11'-8"	
+15.68' above city benchmark*	
1st floor	0'-0"




 INDICATES ELEVATOR OVER-RUN

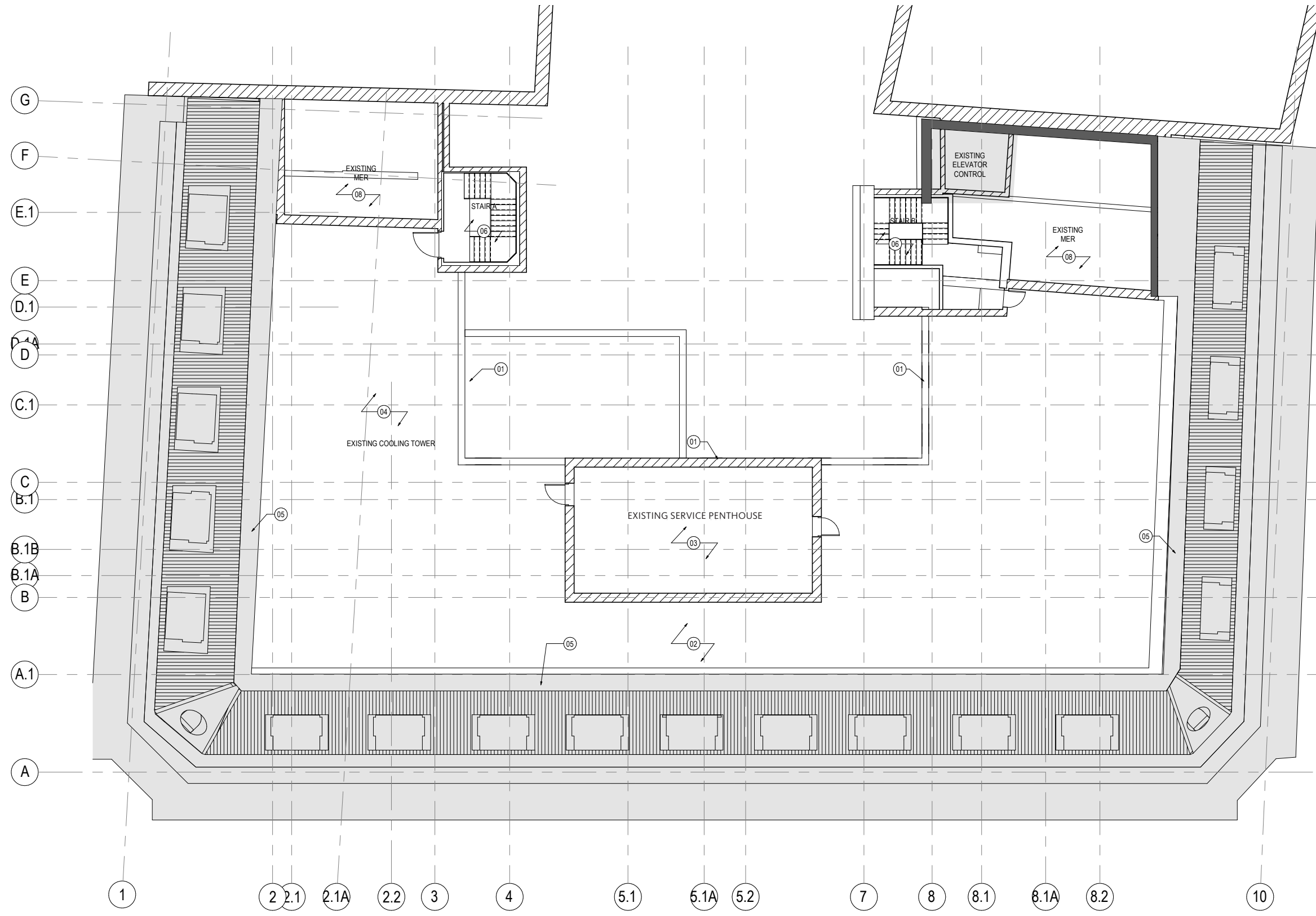
# EXISTING LEVEL 13 (ROOF)

## SHEET NOTES

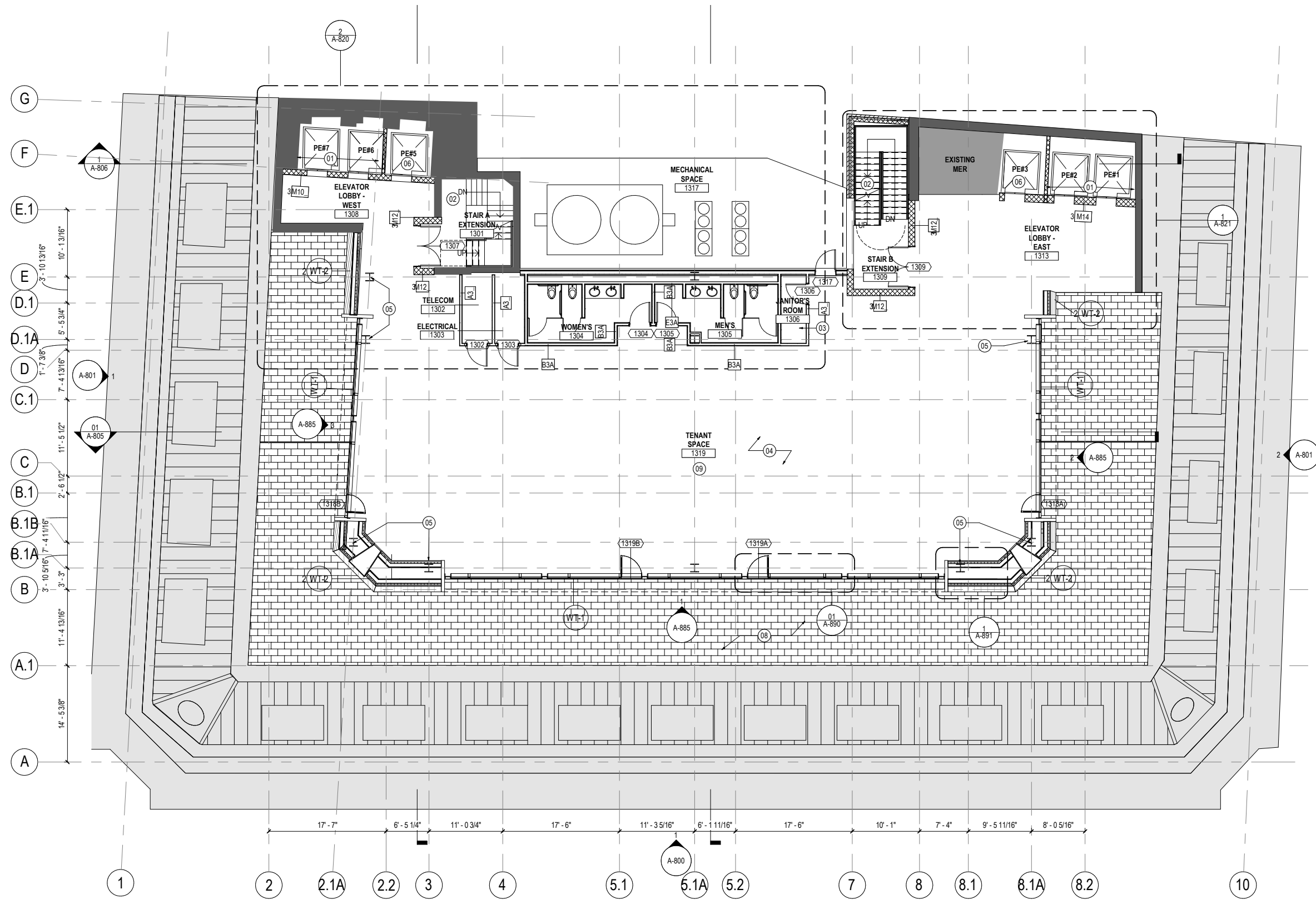
- 01 DEMOLISH REAR PORTION OF EXISTING PARAPET.
- 02 DEMOLISH EXISTING ROOF SLAB IN ENTIRETY. REFER TO ENGINEER'S DRAWINGS FOR MORE INFO.
- 03 DEMOLISH EXISTING PENTHOUSE IN ENTIRETY. REFER TO ENGINEER'S DRAWINGS FOR MORE INFO.
- 04 DEMOLISH EXISTING COOLING TOWER. REFER TO ENGINEER'S DRAWINGS FOR MORE INFO.
- 05 EXISTING PERIMETER PARAPET TO REMAIN AND BE PROTECTED DURING DEMOLITION.
- 06 DEMOLISH PORTION OF STAIR FROM FLOOR 11 TO ROOF.
- 08 REMOVE ALL EXISTING ELEVATOR EQUIPMENT. REFER TO ENGINEER'S DRAWINGS FOR MORE INFO.

## LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  NOT IN CONTRACT
-  EXISTING CONSTRUCTION TO BE DEMOLISHED



# NEW LEVEL 13



## GENERAL NOTES

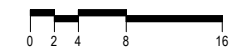
- REFER TO A-002 & A-003 FOR GENERAL NOTES, ABBREVIATIONS, AND GRAPHIC SYMBOLS.
- REFER TO A-040 FOR PARTITION SCHEDULE.
- REFER TO A-060 FOR DOOR & PLUMBING FIXTURE SCHEDULES.
- REFER TO A-071 FOR EXTERIOR WALL TYPES, EXTERIOR MATERIALS, ROOF TYPES.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- FIELD VERIFY ALL EXISTING CONDITIONS & NOTIFY DESIGN TEAM OF ANY UNCLAR SCOPE.
- U.N.O. ALL STRUCTURAL ELEMENTS SHALL BE PROTECTED WITH SPRAYED FIRE PROOFING TYP. REFER TO FIRE RESISTANCE REQUIREMENTS & PROJECT MANUAL.
- PROVIDE PORTABLE FIRE EXTINGUISHERS AT A MAX OF 75 FEET OF TRAVEL DISTANCE.
- ALL NEW ELECTRICAL & TELECOM ROOMS SHALL RECEIVE FIRE-TREATED 3/4" THICK PLYWOOD BACKING PANELS.
- SEE ELECTRICAL DRAWINGS FOR INSTALLATION OF EMERGENCY LIGHTS.
- PATCH ALL OPENINGS IN SLAB OR CORE WALLS EITHER DISCOVERED OR LEFT BEHIND THROUGH PRIOR DEMOLITION. MAINTAIN MINIMUM FIRE RATING. PROVIDE SPRAY-ON FIRE PROOFING ON EXPOSED STRUCTURAL ELEMENTS WHERE ENCASMENT HAS BEEN DEETERIORATED OR REMOVED. REFER TO THE CODE ANALYSIS SECTION ON SHEET A-001 FOR MORE INFORMATION.

## SHEET NOTES

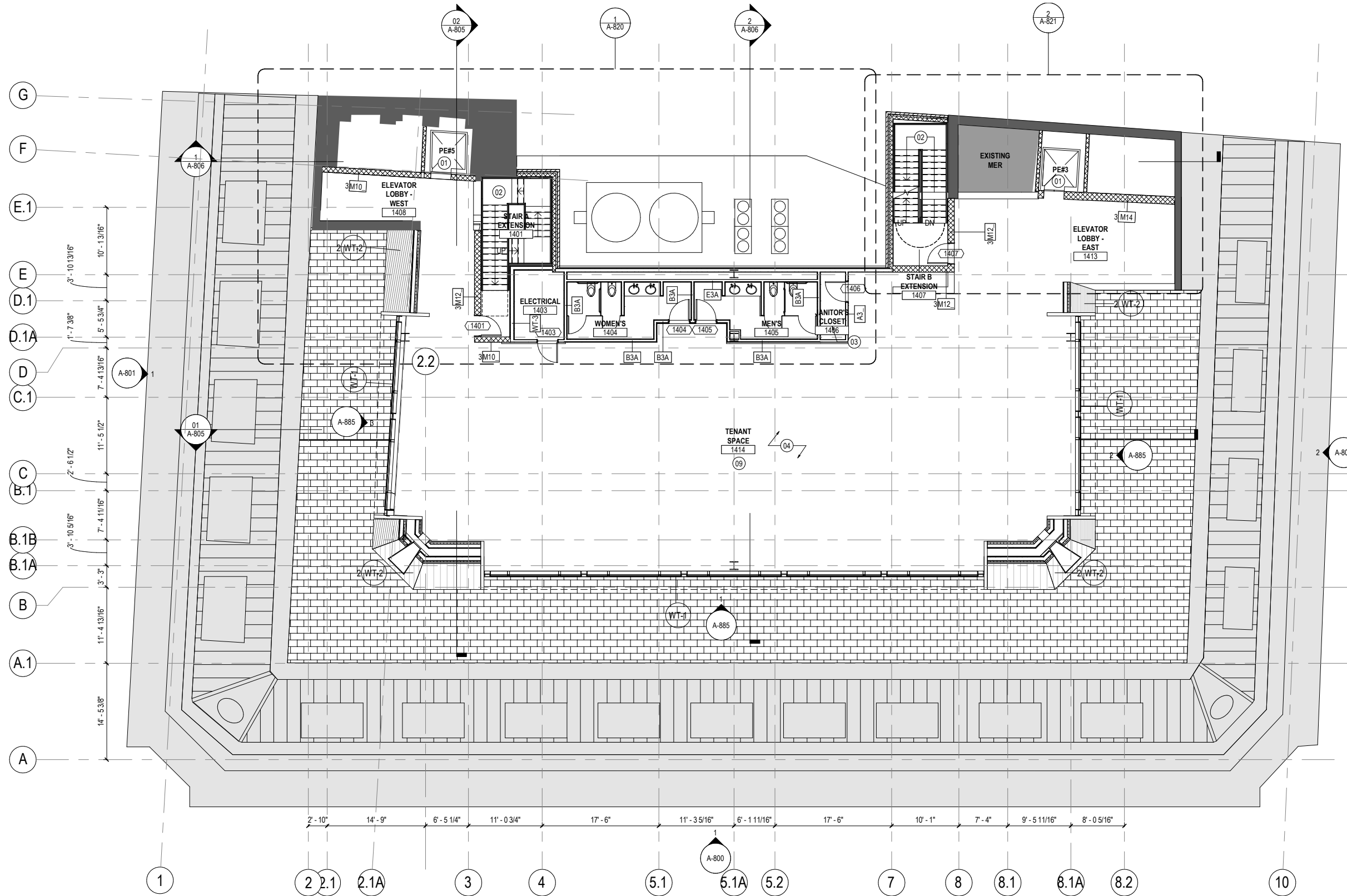
- PROVIDE NEW PASSENGER ELEVATOR CABS FROM FLOOR 01 TO FLOOR 13. REFER TO VERTICAL TRANSPORTATION SHEETS FOR MORE INFO.
- PROVIDE NEW STEEL PAN STAIR WITH CONCRETE FILL & TUBULAR STEEL RAILING. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR MORE INFO.
- IN JANITOR'S CLOSET PROVIDE EPOXY COATING ON CONCRETE FLOOR AND CERAMIC TILE FINISH ON WALLS DIRECTLY ADJACENT TO MOP SINK ONLY. TILE TO STOP 4'-0" ABOVE FLOOR FINISH.
- NEW STRUCTURAL SLAB. REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.
- NEW COLUMN. REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.
- 
- SPECIAL PURPOSE ROOFS - VERIFY WITH THE STRUCTURAL ENGINEER THAT THE LIVE LOAD FOR THE ROOF TERRACE IS AT LEAST 100 PSF.
- FOR FUTURE TENANT ALTERATIONS, IN CONDITION OF MORE THAN ONE TENANT, RATED EGRESS CORRIDOR CONNECTING TWO EGRESS STAIRWELLS IS REQUIRED.

## LEGEND

- NOT IN CONTRACT
- EXISTING CONSTRUCTION TO REMAIN
- NEW PARTITION
- 1 HR. RATED PARTITION
- 2 HR. RATED PARTITION
- 3 HR. RATED PARTITION
- MILLWORK
- MILLWORK ABOVE
- WALL TYPE REFERENCE
- DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)



# NEW LEVEL 14



## GENERAL NOTES

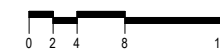
- REFER TO A-002 & A-003 FOR GENERAL NOTES, ABBREVIATIONS, AND GRAPHIC SYMBOLS.
- REFER TO A-040 FOR PARTITION SCHEDULE.
- REFER TO A-060 FOR DOOR & PLUMBING FIXTURE SCHEDULES.
- REFER TO A-071 FOR EXTERIOR WALL TYPES, EXTERIOR MATERIALS, ROOF TYPES.
- REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- FIELD VERIFY ALL EXISTING CONDITIONS & NOTIFY DESIGN TEAM OF ANY UNCLEAR SCOPE.
- U.N.O. ALL STRUCTURAL ELEMENTS SHALL BE PROTECTED WITH SPRAYED FIRE PROOFING TYP. REFER TO FIRE RESISTANCE REQUIREMENTS & PROJECT MANUAL.
- PROVIDE PORTABLE FIRE EXTINGUISHERS AT A MAX OF 75 FEET OF TRAVEL DISTANCE.
- ALL NEW ELECTRICAL & TELECOM ROOMS SHALL RECEIVE FIRE-TREATED 3/4" THICK PLYWOOD BACKING PANELS.
- SEE ELECTRICAL DRAWINGS FOR INSTALLATION OF EMERGENCY LIGHTS.
- PATCH ALL OPENINGS IN SLAB OR CORE WALLS EITHER DISCOVERED OR LEFT BEHIND THROUGH PRIOR DEMOLITION. MAINTAIN MINIMUM FIRE RATING. PROVIDE SPRAY-ON FIRE PROOFING ON EXPOSED STRUCTURAL ELEMENTS WHERE ENCASUREMENT HAS BEEN DEGRADED OR REMOVED. REFER TO THE CODE ANALYSIS SECTION ON SHEET A-001 FOR MORE INFORMATION.

## SHEET NOTES

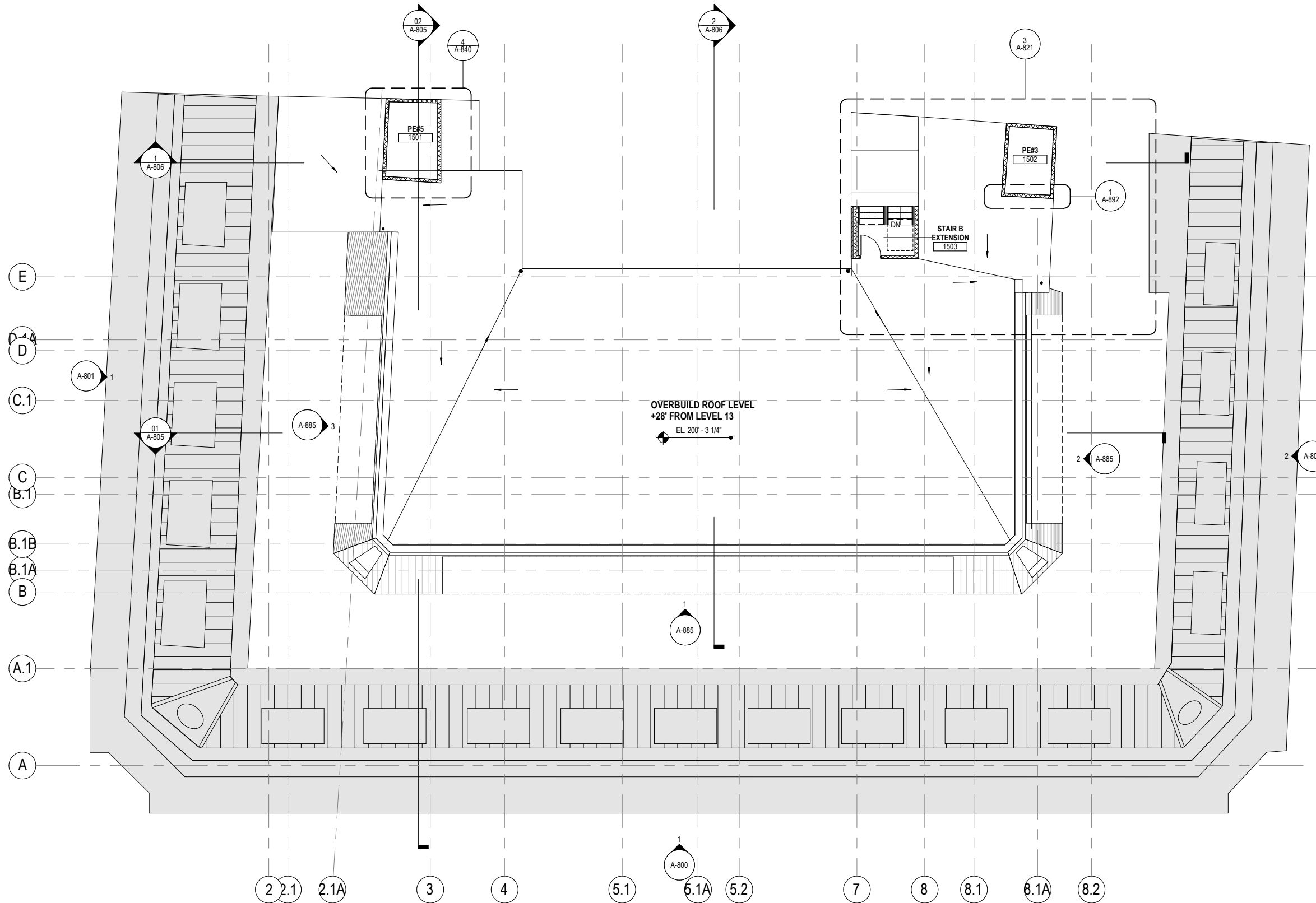
- PROVIDE NEW PASSENGER ELEVATOR CABS FROM FLOOR 01 TO FLOOR 13. REFER TO VERTICAL TRANSPORTATION SHEETS FOR MORE INFO.
- PROVIDE NEW STEEL PAN STAIR WITH CONCRETE FILL & TUBULAR STEEL RAILING. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR MORE INFO.
- IN JANITOR'S CLOSET PROVIDE EPOXY COATING ON CONCRETE FLOOR AND CERAMIC TILE FINISH ON WALLS DIRECTLY ADJACENT TO MOP SINK ONLY. TILE TO STOP 4'-0" ABOVE FLOOR FINISH.
- NEW STRUCTURAL SLAB. REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.
- FOR FUTURE TENANT ALTERATIONS, IN CONDITION OF MORE THAN ONE TENANT, RATED EGRESS CORRIDOR CONNECTING TWO EGRESS STAIRWELLS IS REQUIRED.

## LEGEND

- NOT IN CONTRACT
- EXISTING CONSTRUCTION TO REMAIN
- NEW PARTITION
- 1 HR. RATED PARTITION
- 2 HR. RATED PARTITION
- 3 HR. RATED PARTITION
- MILLWORK
- MILLWORK ABOVE
- WALL TYPE REFERENCE
- DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)



# NEW ROOF (NON-OCCUPIABLE)



## GENERAL NOTES

1. REFER TO A-002 & A-003 FOR GENERAL NOTES, ABBREVIATIONS, AND GRAPHIC SYMBOLS.
2. REFER TO A-040 FOR PARTITION SCHEDULE.
3. REFER TO A-060 FOR DOOR & PLUMBING FIXTURE SCHEDULES.
4. REFER TO A-071 FOR EXTERIOR WALL TYPES, EXTERIOR MATERIALS, ROOF TYPES.
5. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
6. FIELD VERIFY ALL EXISTING CONDITIONS & NOTIFY DESIGN TEAM OF ANY UNCLEAR SCOPE.
7. U.N.O. ALL STRUCTURAL ELEMENTS SHALL BE PROTECTED WITH SPRAYED FIRE PROOFING TYP. REFER TO FIRE RESISTANCE REQUIREMENTS & PROJECT MANUAL.
8. PROVIDE PORTABLE FIRE EXTINGUISHERS AT A MAX OF 75 FEET OF TRAVEL DISTANCE.
9. ALL NEW ELECTRICAL & TELECOM ROOMS SHALL RECEIVE FIRE-TREATED 3/4" THICK PLYWOOD BACKING PANELS.
10. SEE ELECTRICAL DRAWINGS FOR INSTALLATION OF EMERGENCY LIGHTS.
11. PATCH ALL OPENINGS IN SLAB OR CORE WALLS EITHER DISCOVERED OR LEFT BEHIND THROUGH PRIOR DEMOLITION. MAINTAIN MINIMUM FIRE RATING. PROVIDE SPRAY-ON FIRE PROOFING ON EXPOSED STRUCTURAL ELEMENTS WHERE ENCASUREMENT HAS BEEN DEETERIORATED OR REMOVED. REFER TO THE CODE ANALYSIS SECTION ON SHEET A-001 FOR MORE INFORMATION.

## SHEET NOTES

## LEGEND

- NOT IN CONTRACT
- EXISTING CONSTRUCTION TO REMAIN
- NEW PARTITION
- 1 HR. RATED PARTITION
- 2 HR. RATED PARTITION
- 3 HR. RATED PARTITION
- MILLWORK
- MILLWORK ABOVE
- WALL TYPE REFERENCE
- DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)



# ENVELOPE & FACADE STRATEGY

