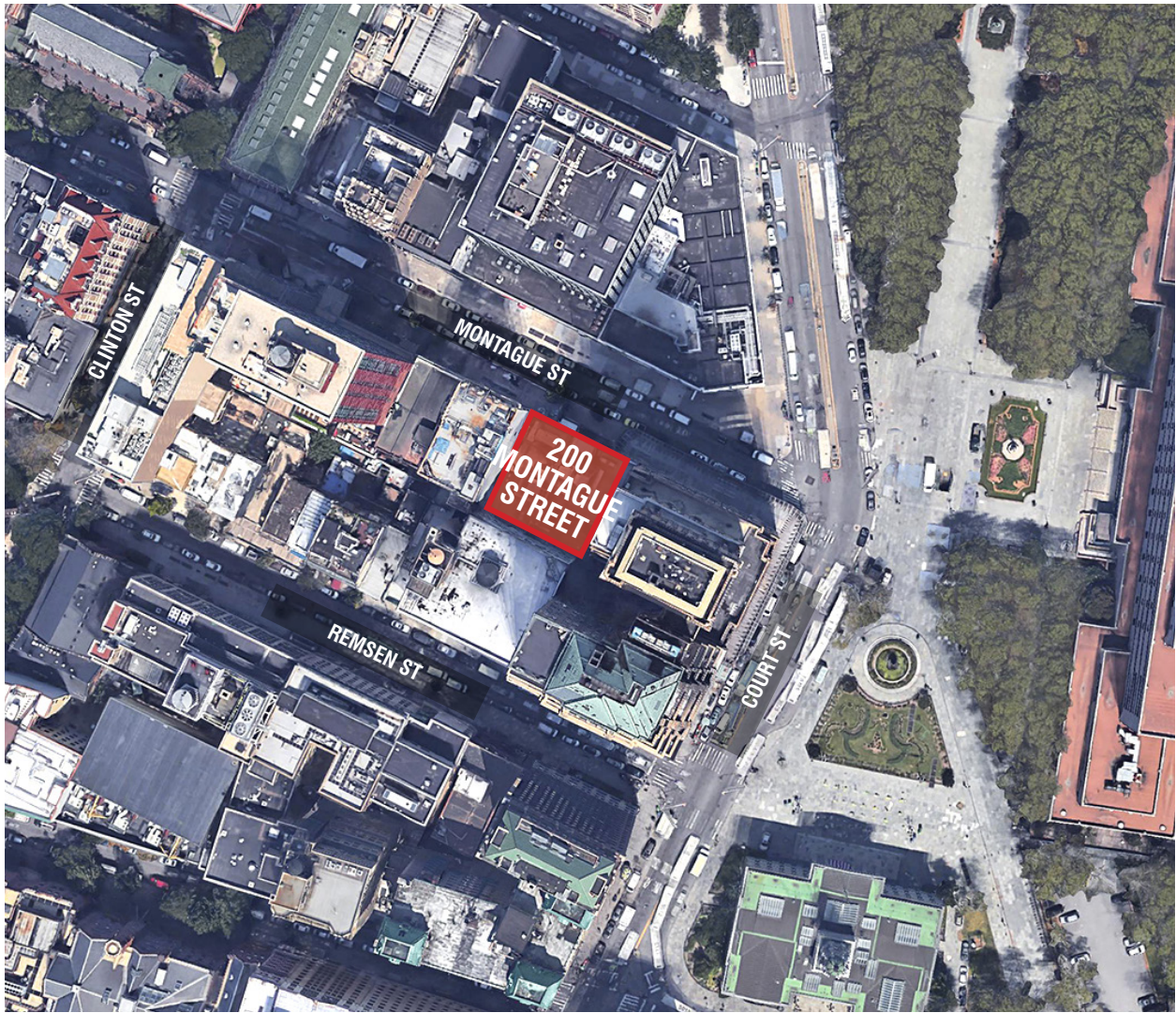


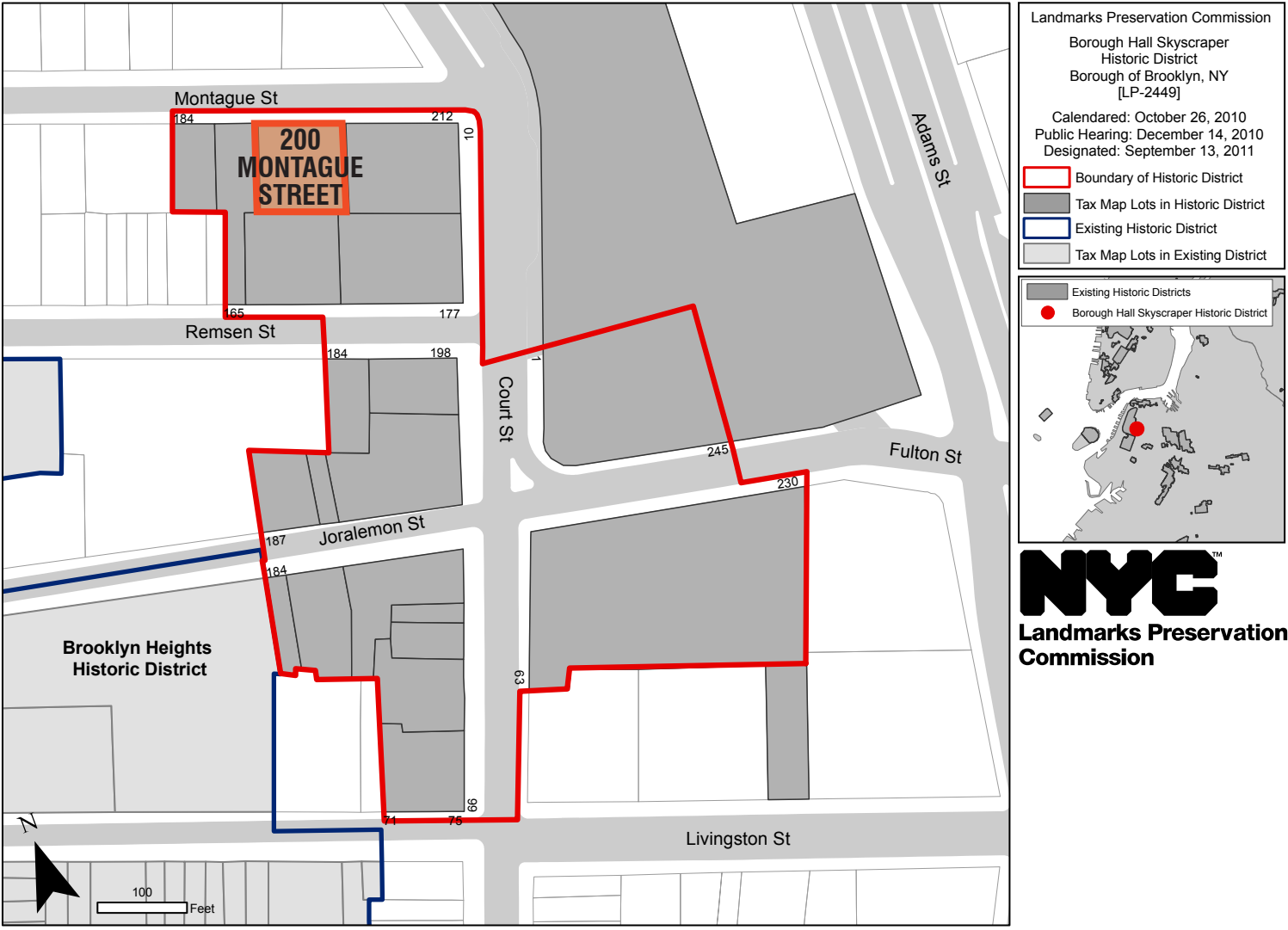
**200 MONTAGUE STREET**  
**PRESENTATION TO**  
**NEW YORK CITY**  
**LANDMARKS PRESERVATION COMMISSION**  
**MAY 21ST, 2019**







SITE



BOROUGH HALL SKYSCRAPER HISTORIC DISTRICT



FROM BOROUGH HALL SKYSCRAPER HISTORIC DISTRICT DESIGNATION REPORT  
DATED SEPT.13, 2011:



AERIAL VIEW

**200 Montague Street (aka 192-200 Montague Street)**  
Borough of Brooklyn Tax Map Block 250, Lot 39

Date: 1959-60; 1967-68; 2006 (NB 548-59; ALT 1674-67)  
Architect/Builder: Philip Birnbaum; FacadeMD/Facade Maintenance Design, PC  
Original Owner: Lafayette National Bank  
Type: Bank  
Style: Altered Modern  
Stories: 4  
Material(s): Metal; glass; granite

*Significant Architectural Features:* Glass-and-metal curtain wall framed by granite piers and parapet; glass- and granite-clad ground floor with aluminum piers

*Alterations:* New curtain wall installed on upper stories (2006); ground floor altered, with storefront and entrance infill in left four bays and entrance infill at center; accessible ramp with metal handrail at left; fixed marquee above main entrance; bulkheads visible above parapet

*Building Notes:* Built in conjunction with 175 Remsen Street (see separate building profile)

*Site Features:* Sunken areaway at center enclosed with metal railing; basement facade facing areaway contains plate glass windows similar to ground floor; polished granite planting bed at right inscribed with "1960" date; two flag poles in planting bed

*Notable History and Residents:* Two-story building erected 1959-60, with two additional stories added in 1968, both designed by Philip Birnbaum; new curtain wall installed in 2006, designed by FacadeMD/Facade Maintenance Design, PC



North Facade: Designed (resurfaced)

*Door(s):* Replaced primary door

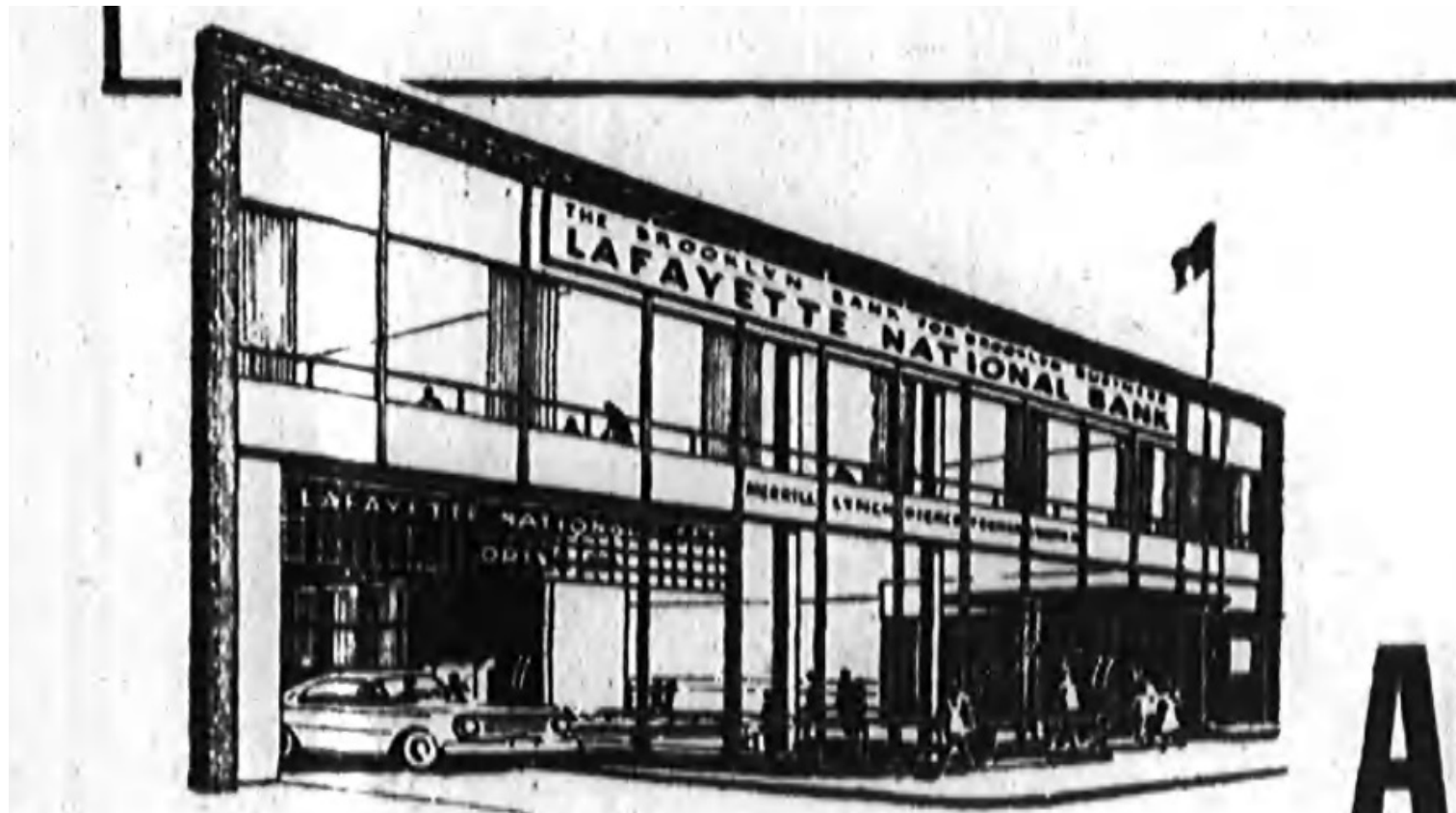
*Windows:* Replaced

*Storefront:* Altered

*Sidewalk Material(s):* Concrete

*Curb Material(s):* Concrete with metal edging

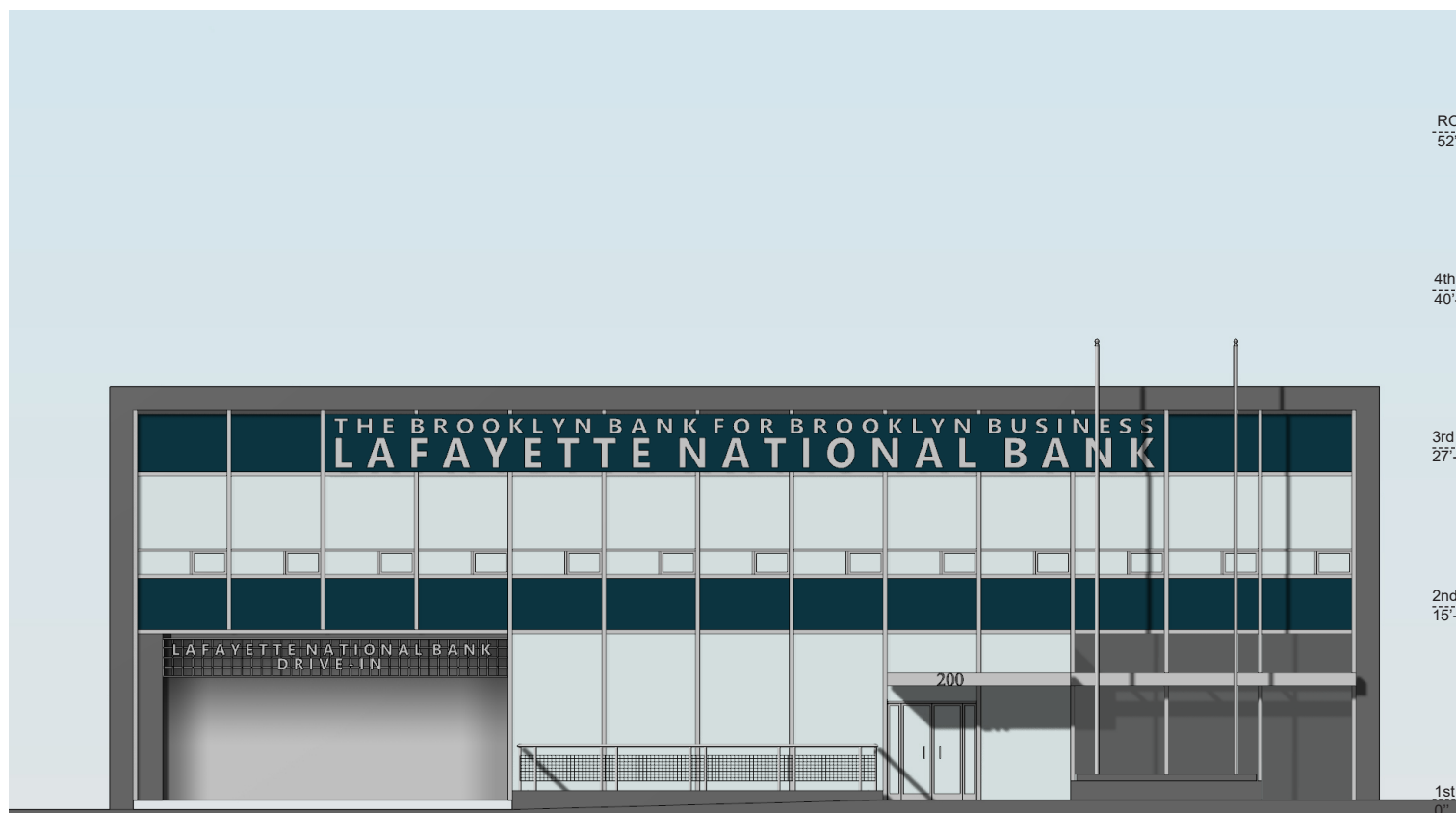




1960 RENDERING



1980'S TAX PHOTO



ORIGINAL FACADE 1960



TWO ADDITIONAL FLOORS ADDED 1968

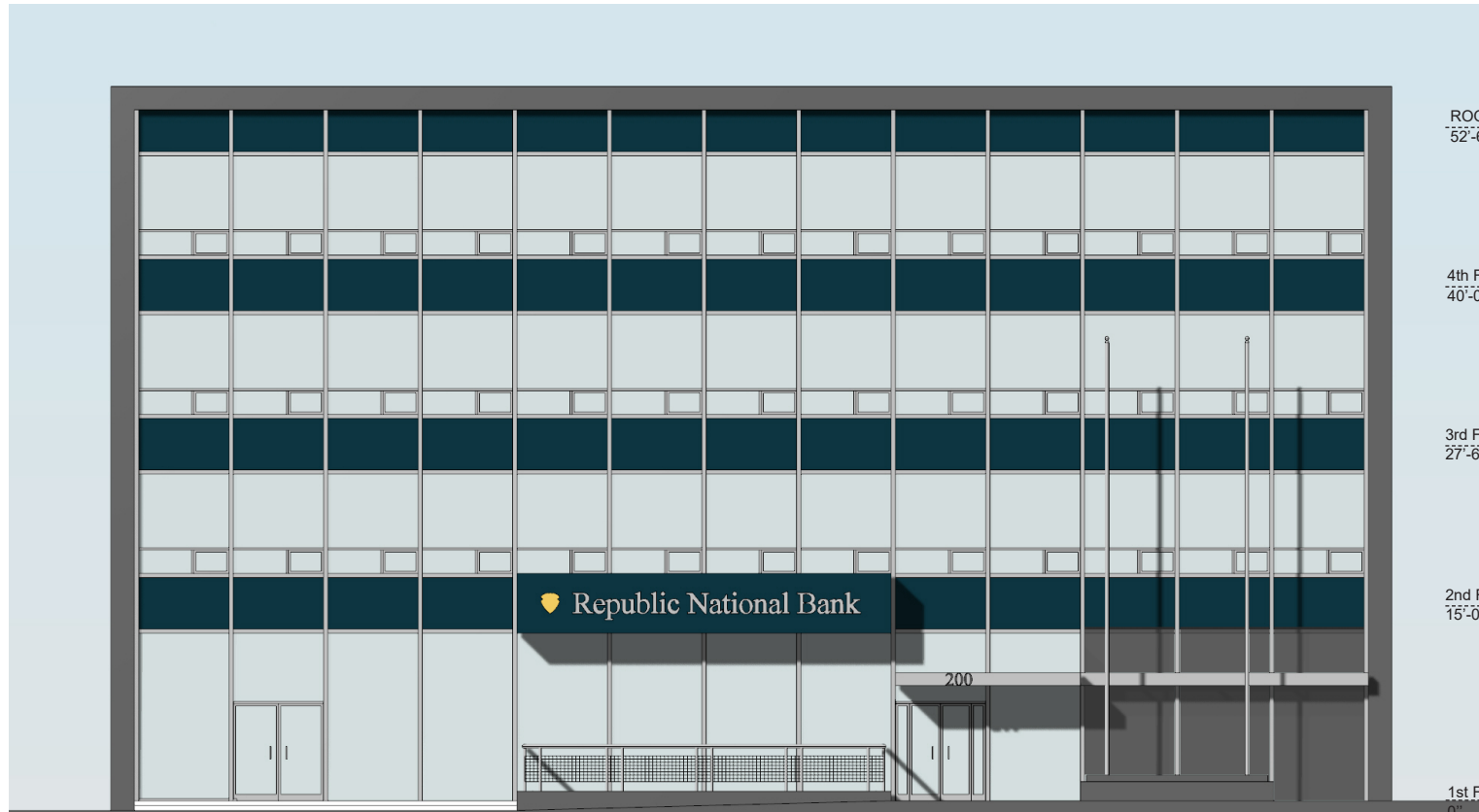




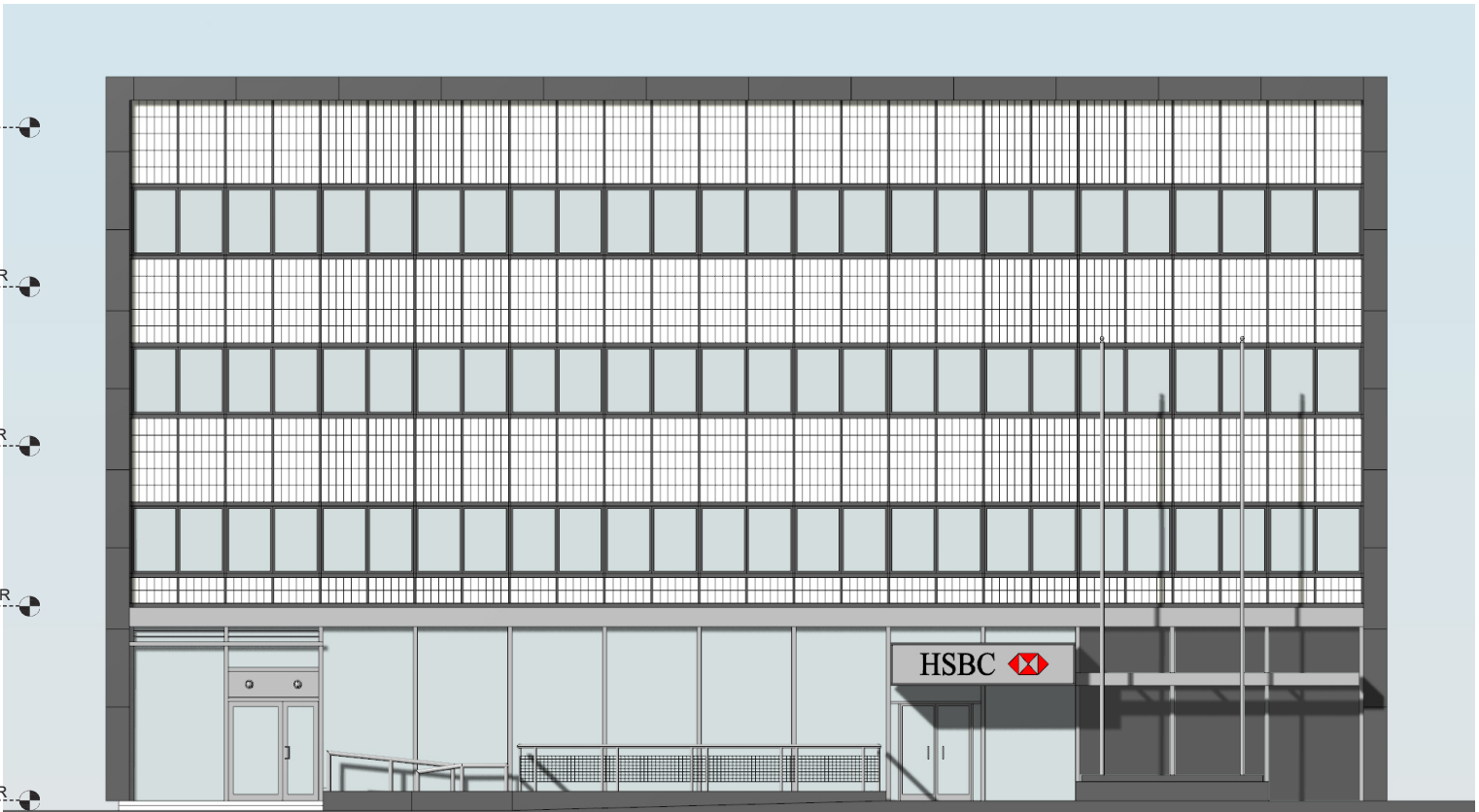
FACADE PRIOR TO 2006



EXISTING CONDITION

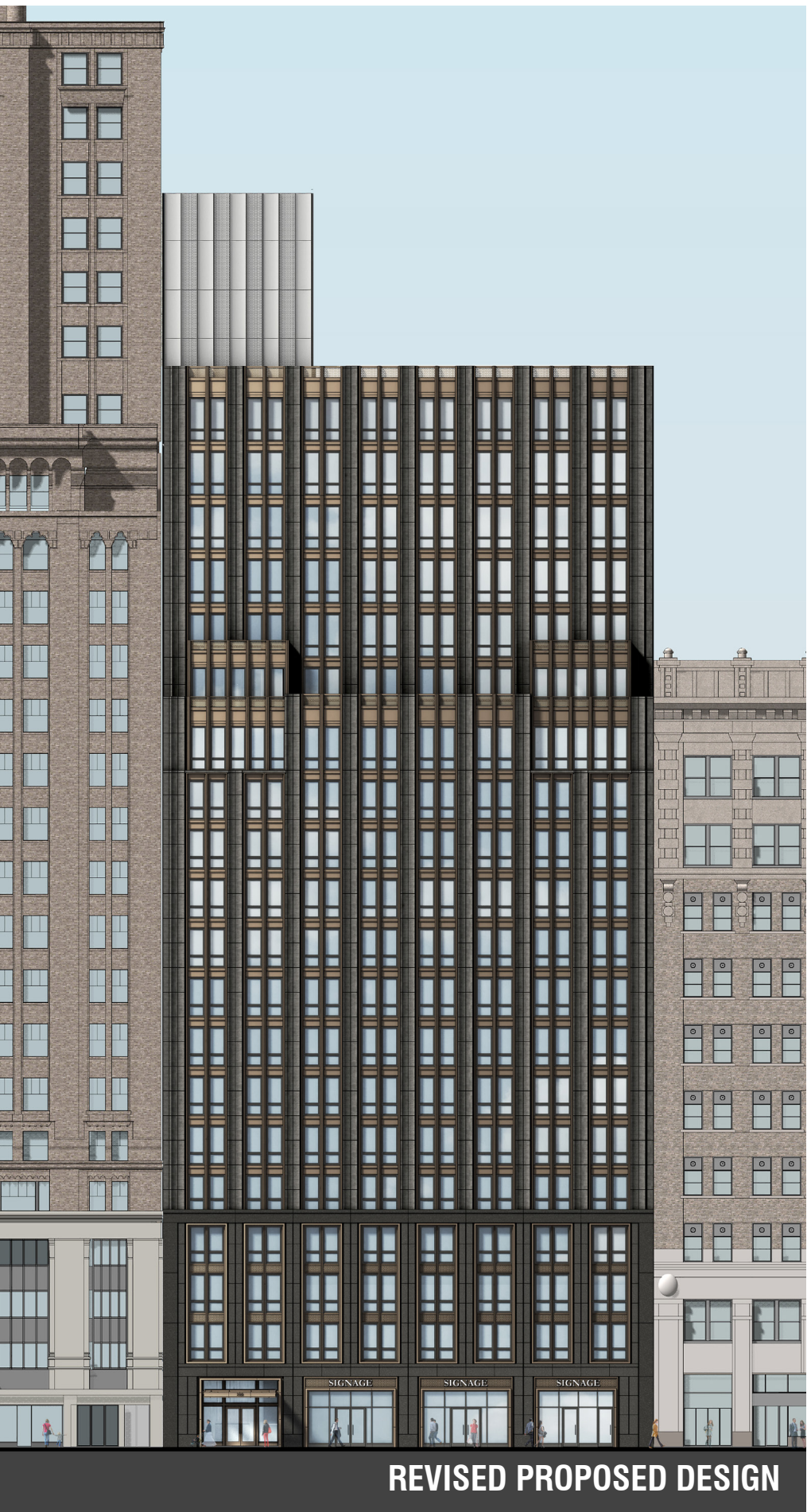
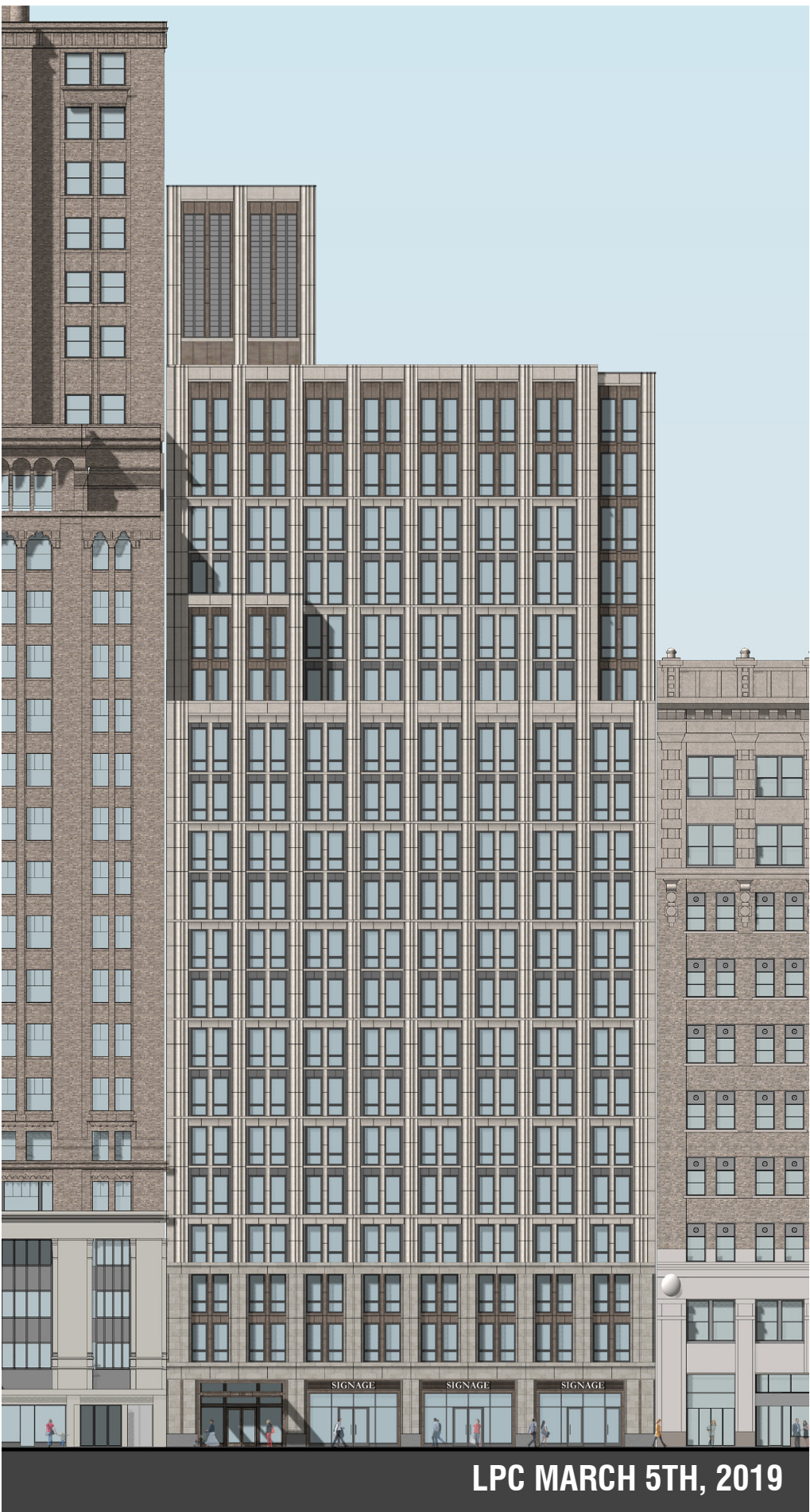
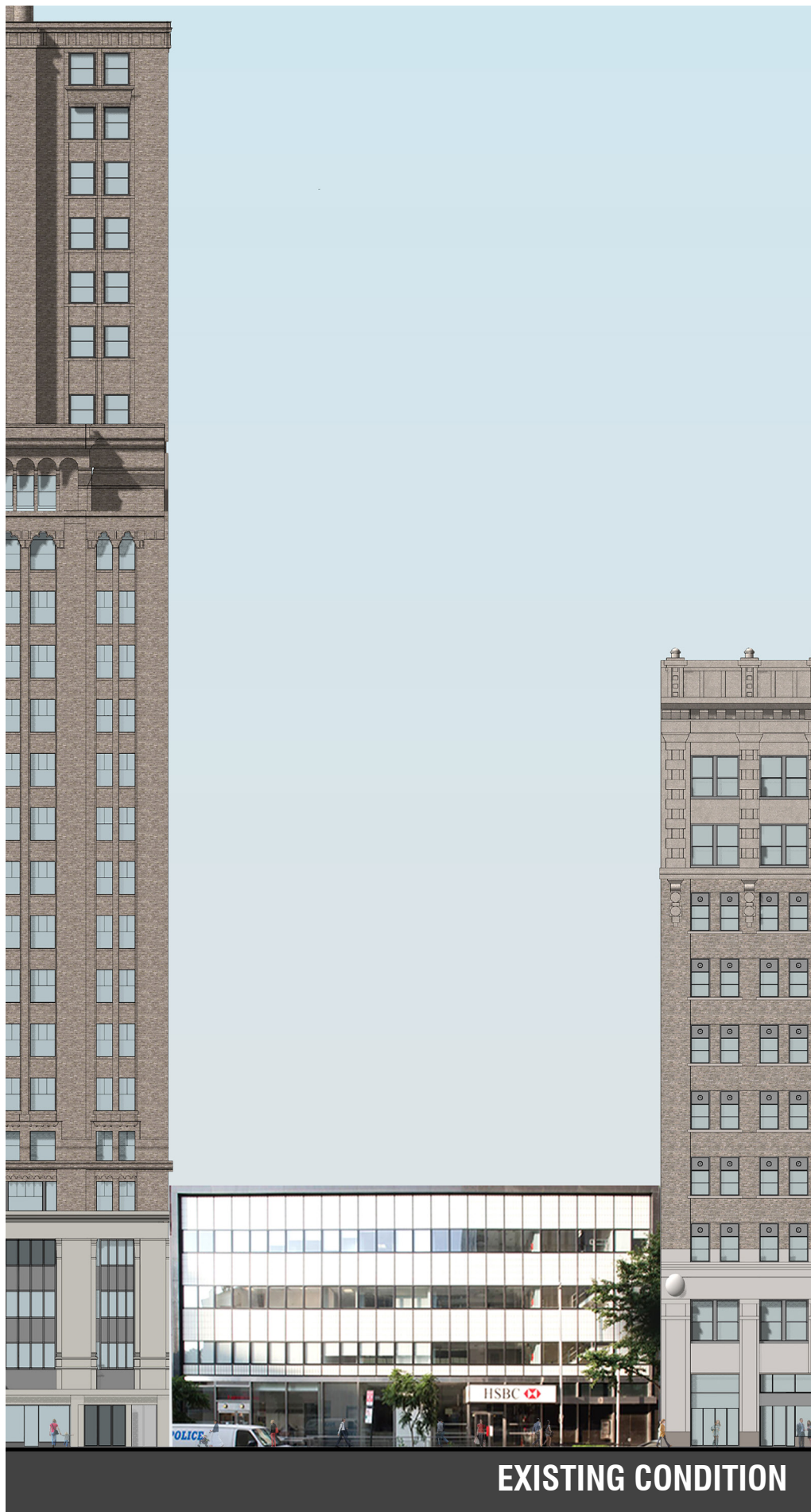


DRIVE-IN REMOVED - ALTERED FACADE - CA 1990'S



NEW FACADE 2006









**191 JORALEMON STREET  
- IN THE HISTORIC DISTRICT**



**185 MONTAGUE STREET  
- INDIVIDUAL LANDMARK**







EXISTING CONDITION



LPC MARCH 5TH, 2019



REVISED PROPOSED DESIGN







**EXISTING CONDITION**

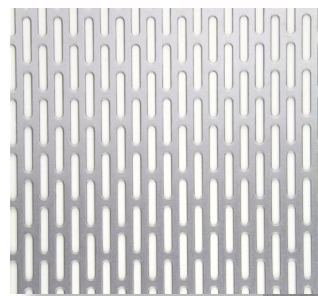


**LPC MARCH 5TH, 2019**

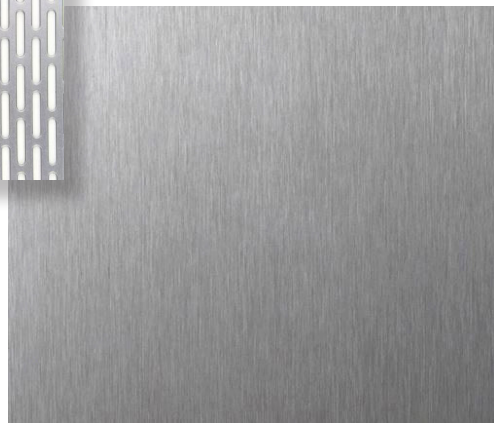


**REVISED PROPOSED DESIGN**

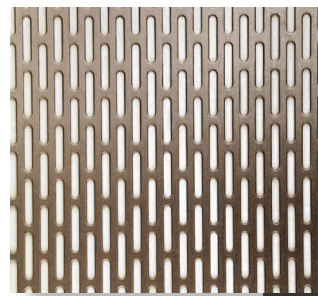




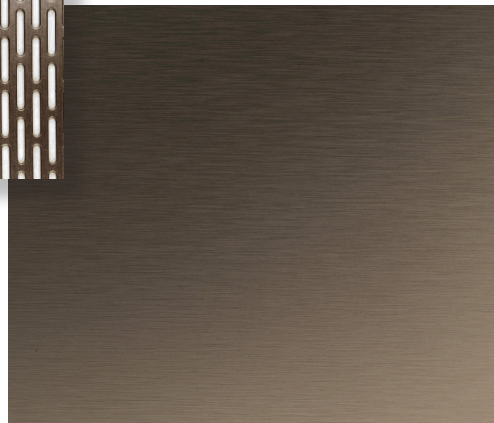
(PERFORATED)



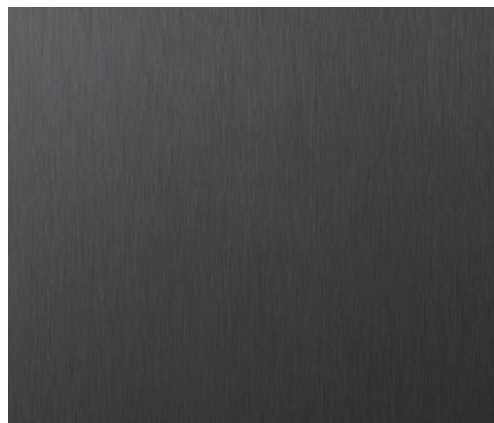
**LIGHT GREY  
PAINTED ALUMINUM**



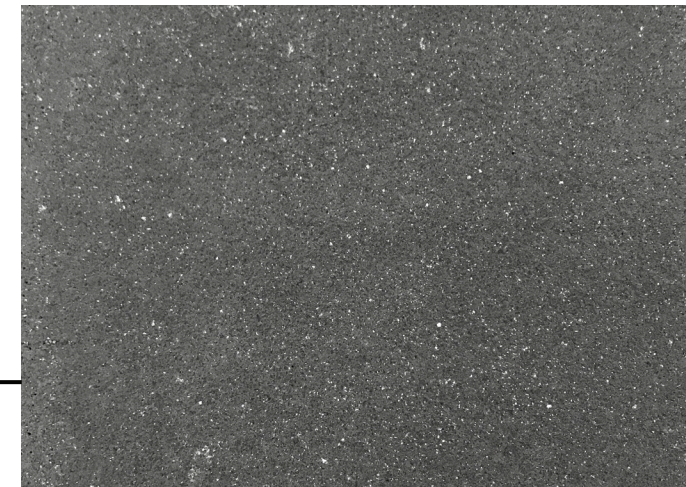
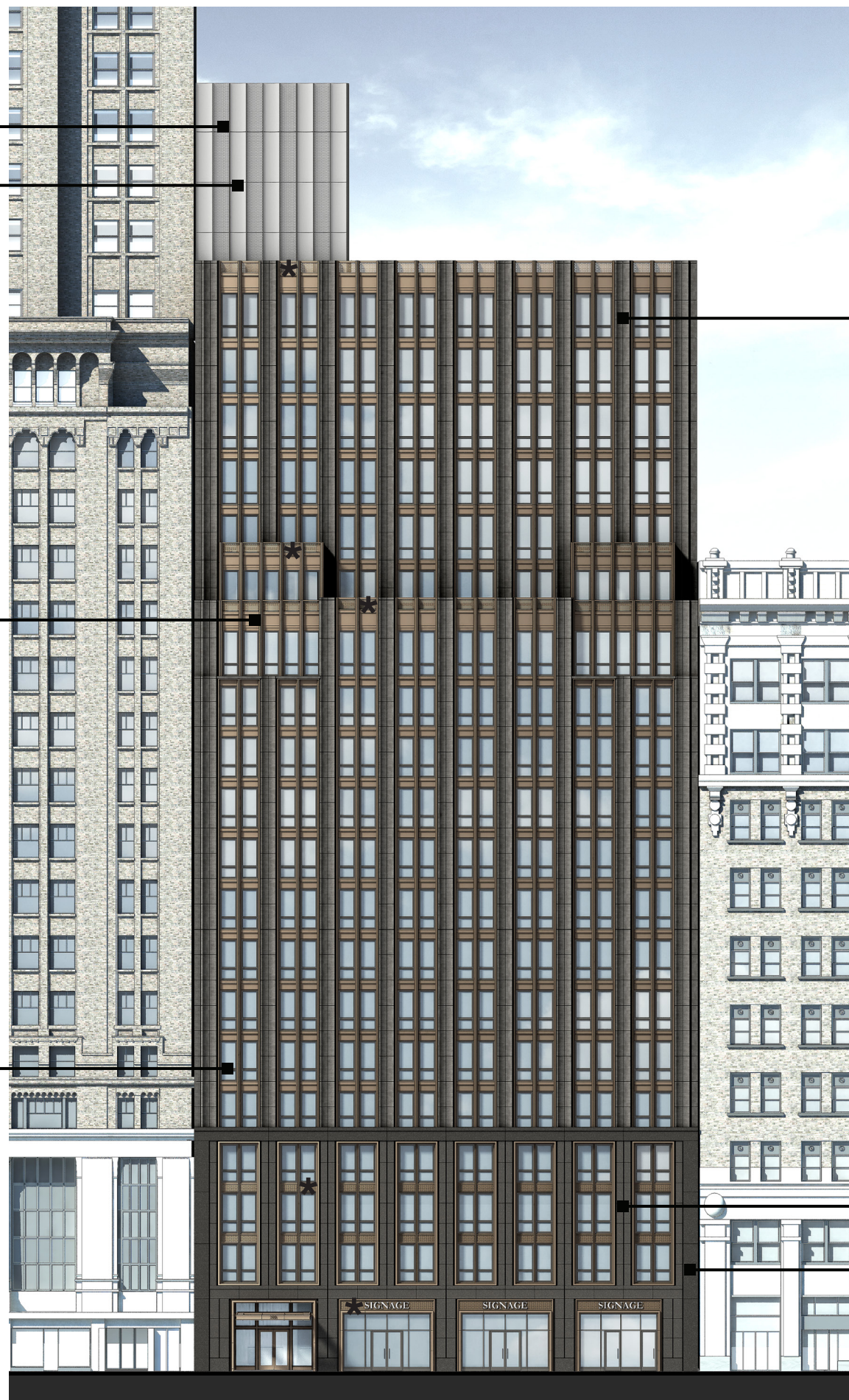
(\*PERFORATED)



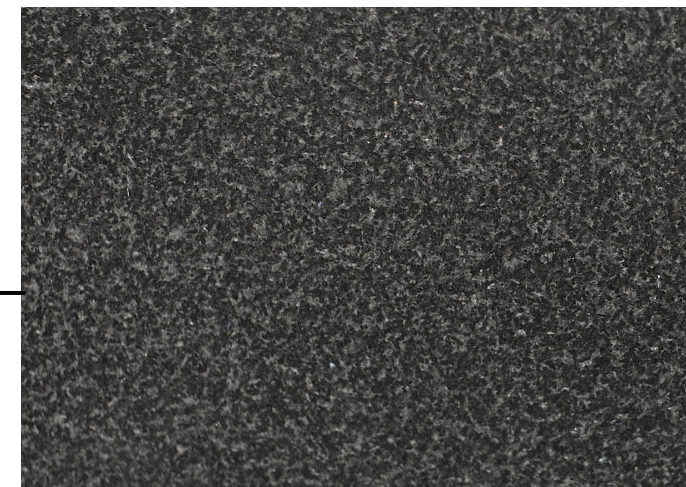
**BRONZE-TONE  
PAINTED ALUMINUM**



**CHARCOAL GREY  
PAINTED ALUMINUM  
WINDOW FRAME**



**GLASS FIBER REINFORCED CONCRETE  
(GFRC)**



**BLACK GRANITE WITH HONED FINISH**



**BLACK GRANITE WITH POLISHED FINISH**



EXISTING CONDITION

REVISED PROPOSED DESIGN







PERSPECTIVE VIEW FROM COLUMBUS PARK



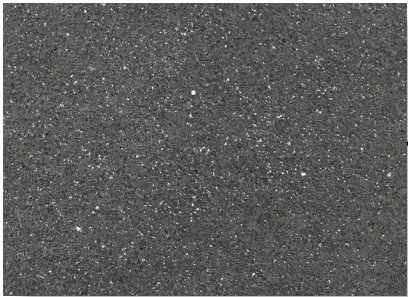




REAR (SOUTH) ELEVATION



REAR FACADE TYPICAL BAY



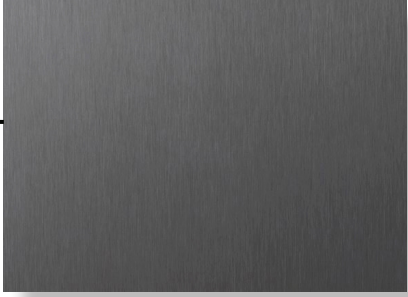
GLASS FIBER REINFORCED CONCRETE (GFRC)



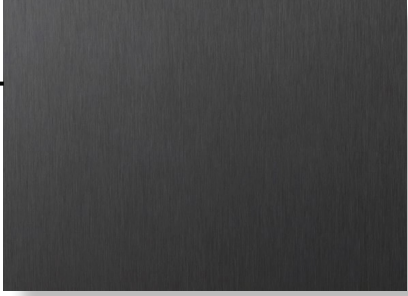
LIGHT GREY PAINTED ALUMINUM



BRONZE-TONE PAINTED ALUMINUM

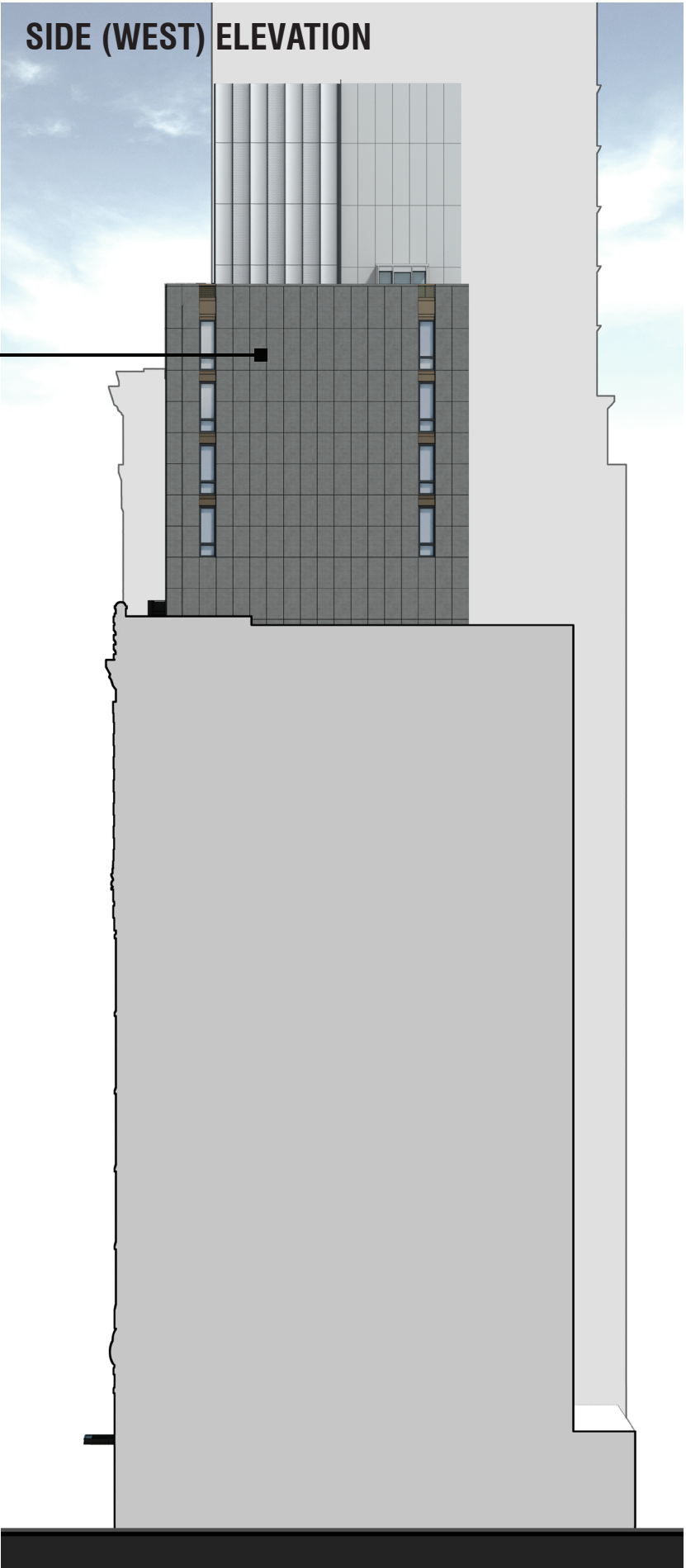


GREY (COLOR MATCH WITH GFRC) PAINTED ALUMINUM



CHARCOAL GREY PAINTED ALUMINUM

SIDE (WEST) ELEVATION











BLACK GRANITE CLADDING  
WITH HONED FINISH  
BLACK GRANITE CLADDING  
WITH POLISHED FINISH

BRONZE-TONE PAINTED ALUMINUM AND  
LAMINATED FRITTED GLASS MARQUEE W/  
DOWNLIGHTS

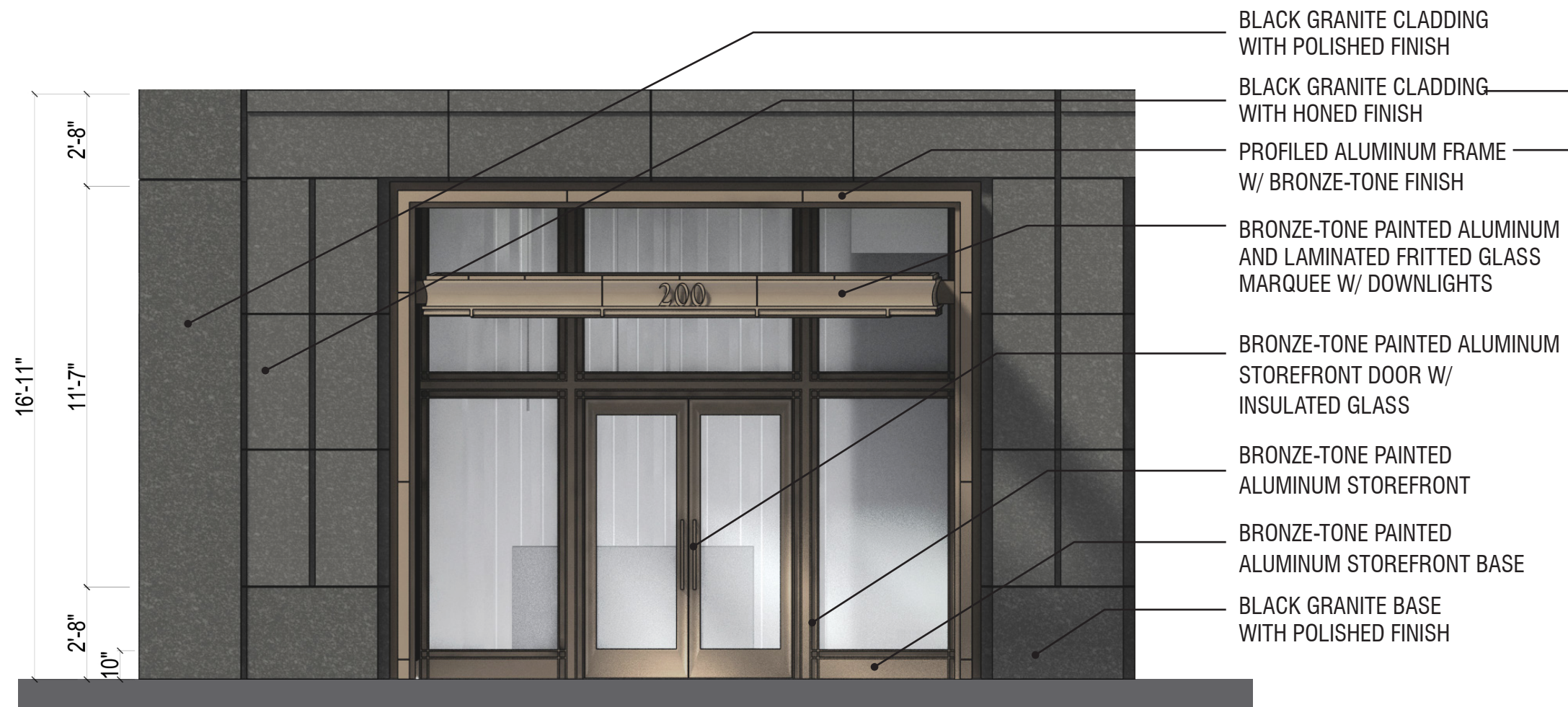
PERFORATED BRONZE-TONE  
PAINTED ALUMINUM  
VENTILATION GRILLE  
PROFILED ALUMINUM FRAME  
W/ BRONZE-TONE FINISH

DIMENSIONAL SIGN LETTERS  
CHARCOAL GREY PAINTED  
ALUMINUM STOREFRONT

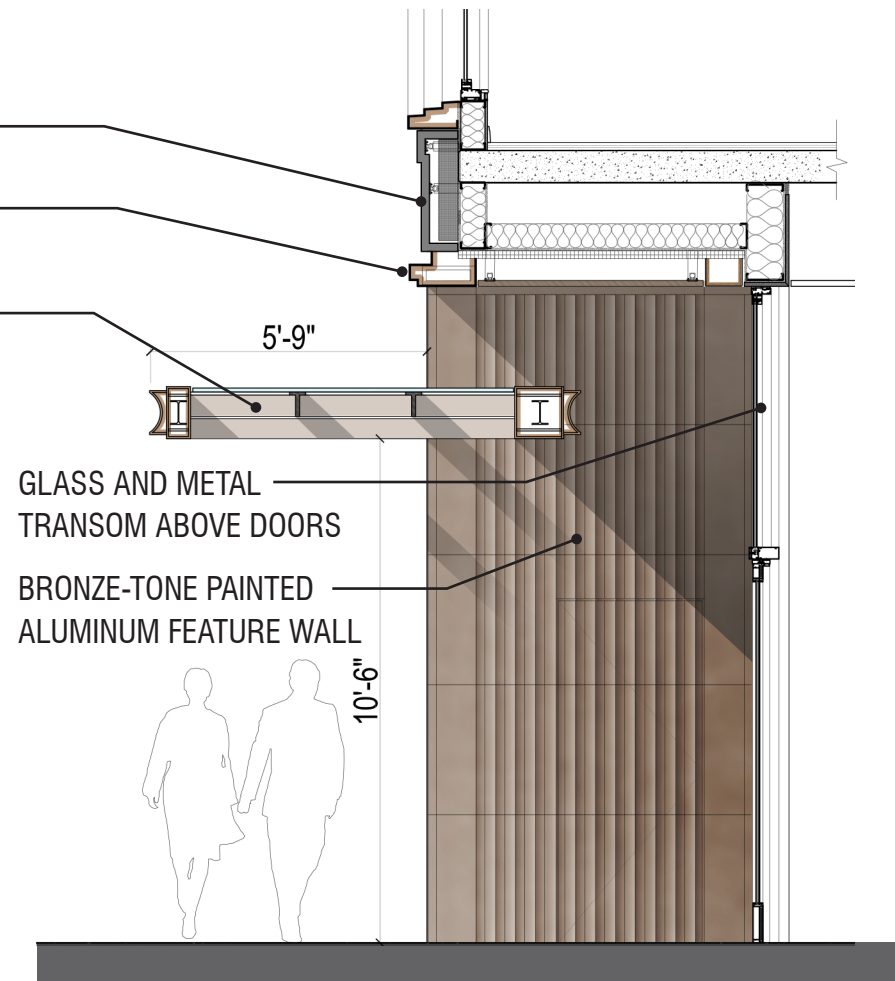




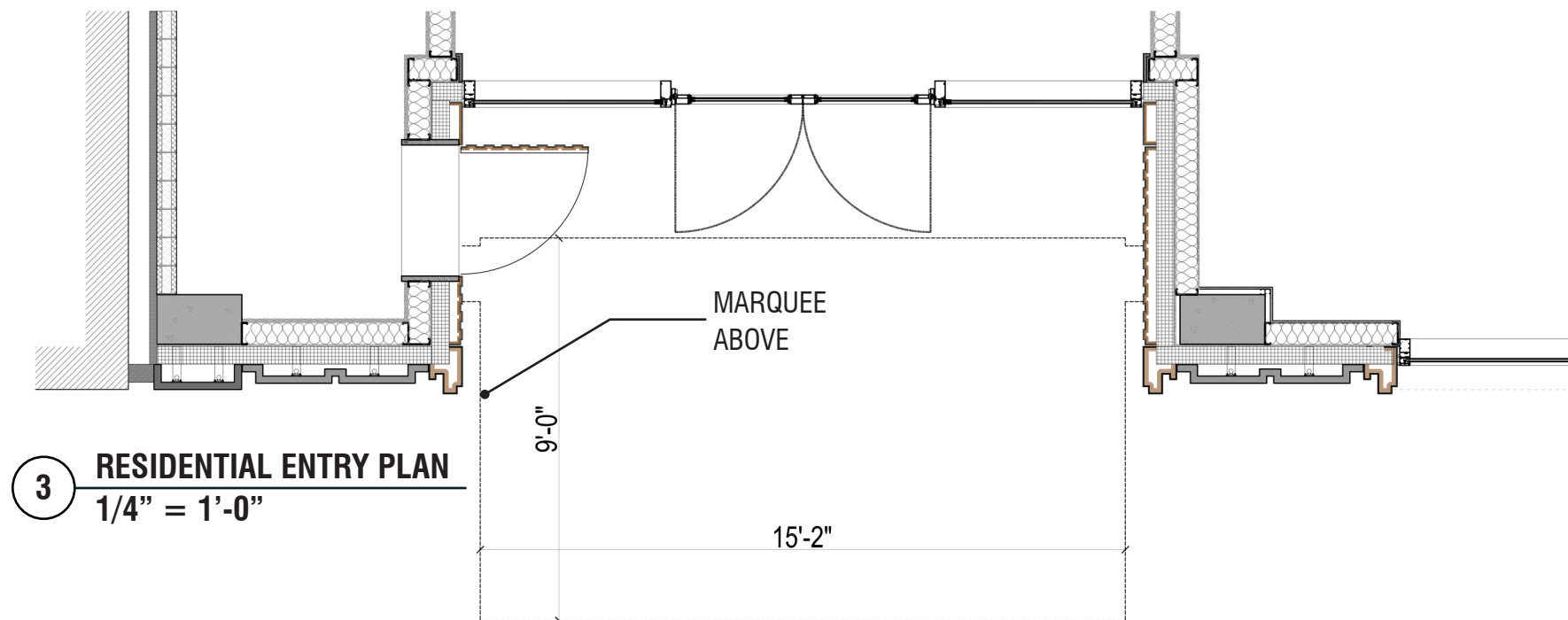




**1 RESIDENTIAL ENTRY ELEVATION**  
1/4" = 1'-0"

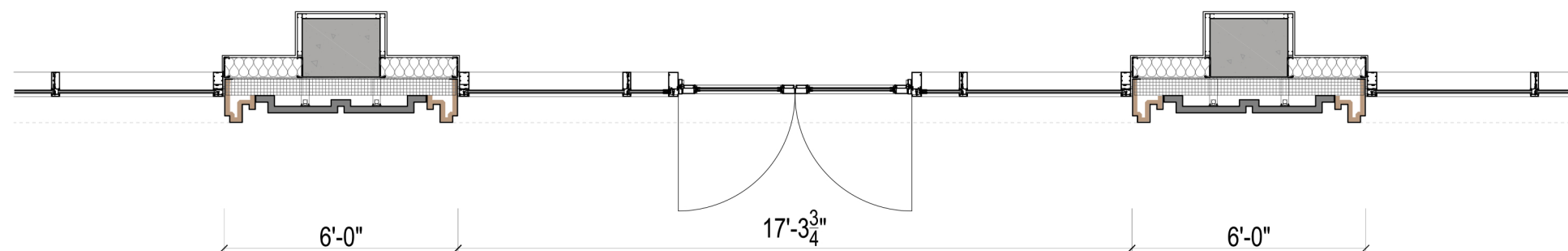
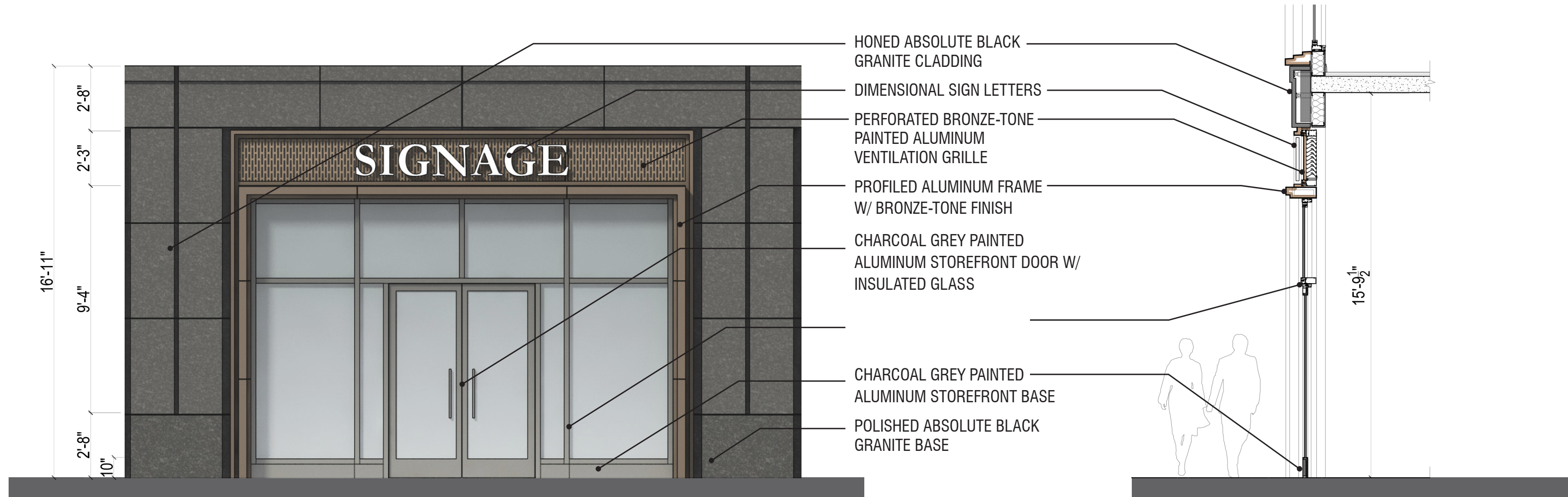


**2 RESIDENTIAL ENTRY SECTION**  
1/4" = 1'-0"



**3 RESIDENTIAL ENTRY PLAN**  
1/4" = 1'-0"





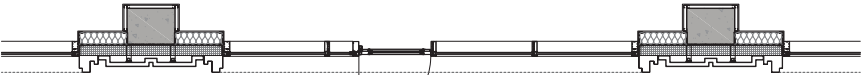


OPTION 1



1 SET OF CENTERED DOUBLE DOORS  
1/8" = 1'-0"

OPTION 2



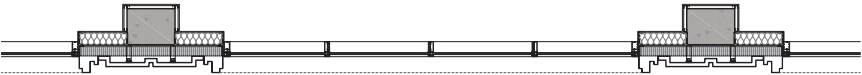
2 SINGLE DOOR IN CENTER-BAYS (RIGHT OR LEFT)  
1/8" = 1'-0"

OPTION 3



3 SINGLE DOOR (RIGHT OR LEFT)  
1/8" = 1'-0"

OPTION 4



4 DISPLAY WINDOW  
1/8" = 1'-0"

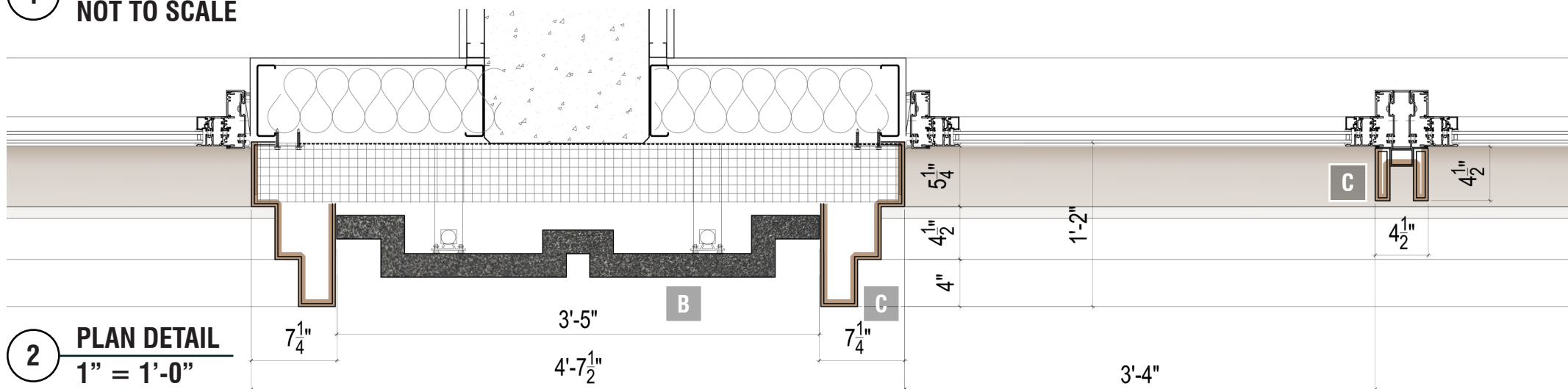




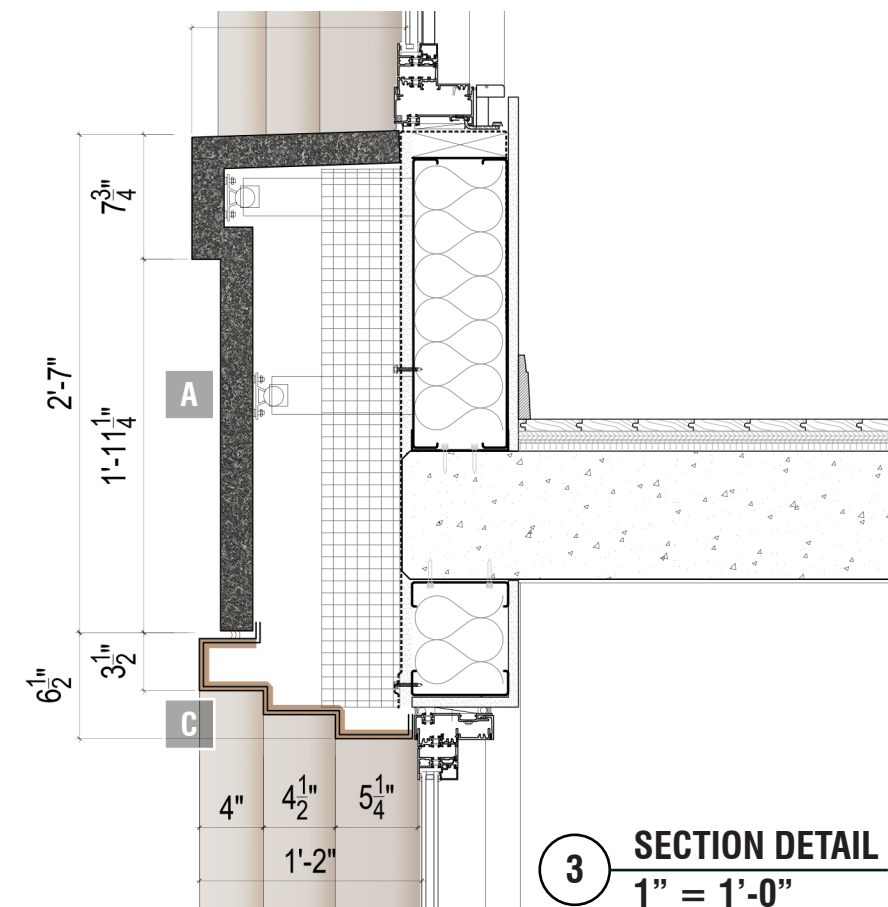




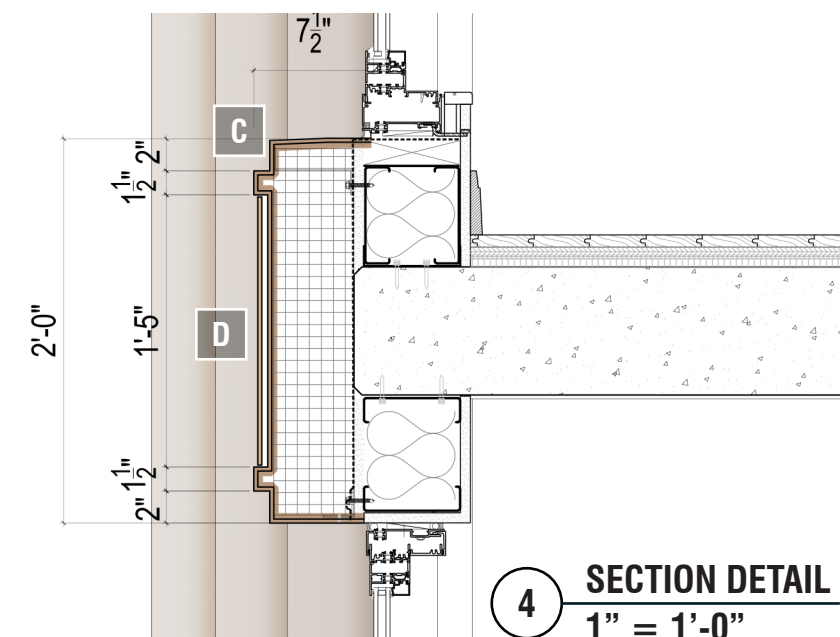
**1** ELEVATION  
NOT TO SCALE



**2** PLAN DETAIL  
1" = 1'-0"



**3** SECTION DETAIL  
1" = 1'-0"

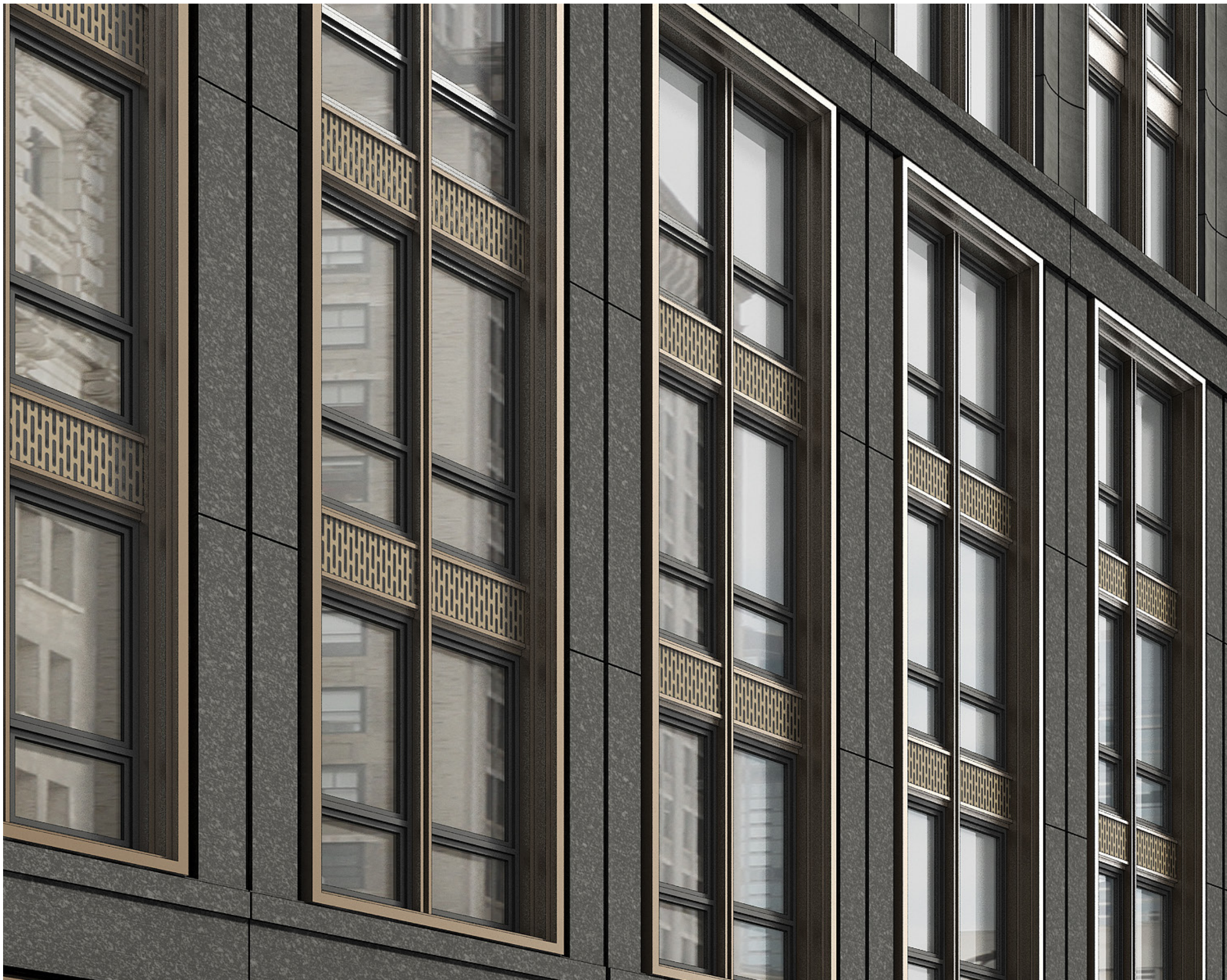


**4** SECTION DETAIL  
1" = 1'-0"

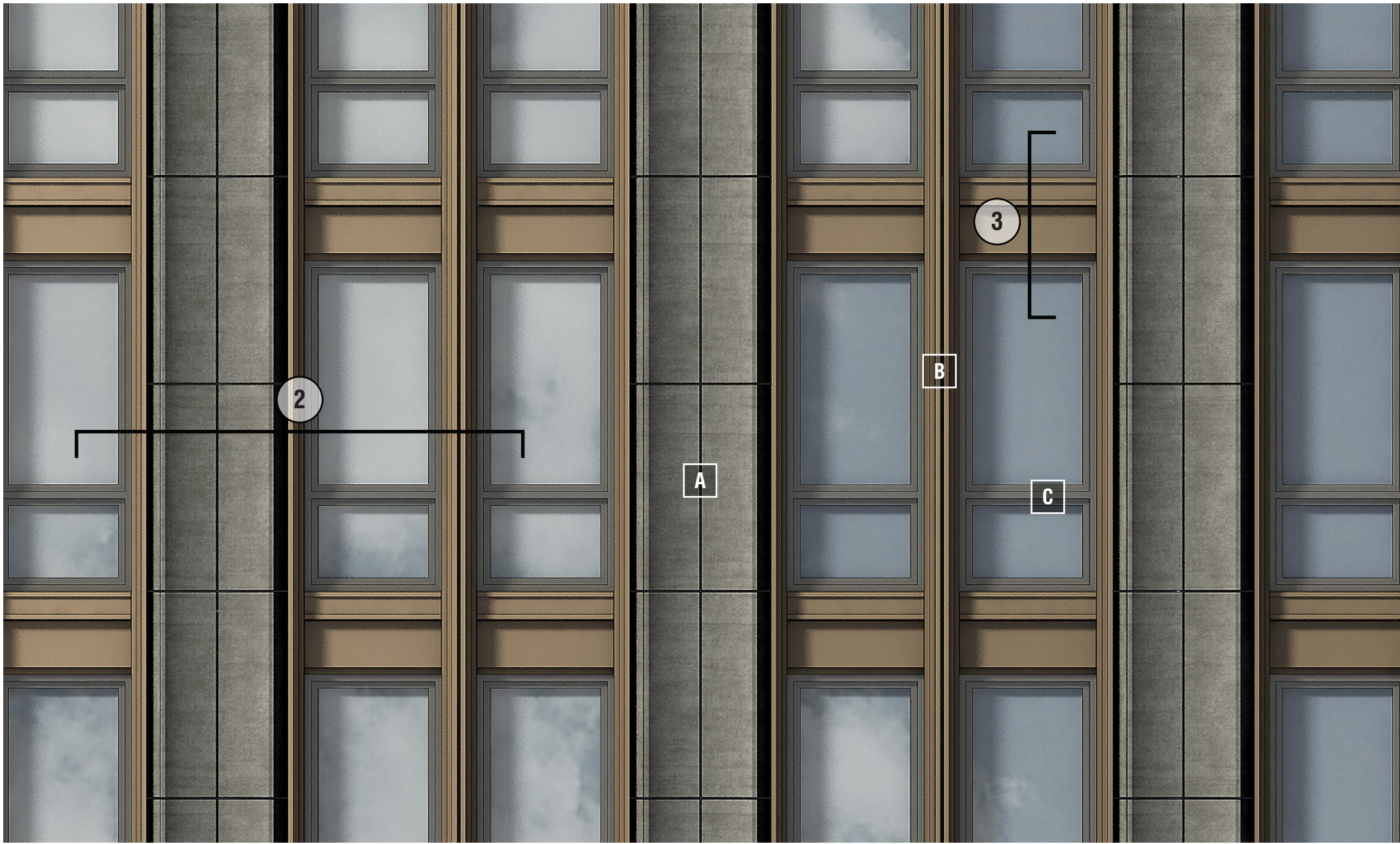
### EXTERIOR MATERIALS

- A- BLACK GRANITE CLADDING WITH POLISHED FINISH
- B- BLACK GRANITE CLADDING WITH HONED FINISH
- C- FORMED ALUMINUM WITH PAINTED BRONZE FINISH
- D- PERFORATED ALUMINUM WITH PAINTED BRONZE FINISH
- E- ALUMINUM FRAMED WINDOW WALL SYSTEM WITH 1" IGU

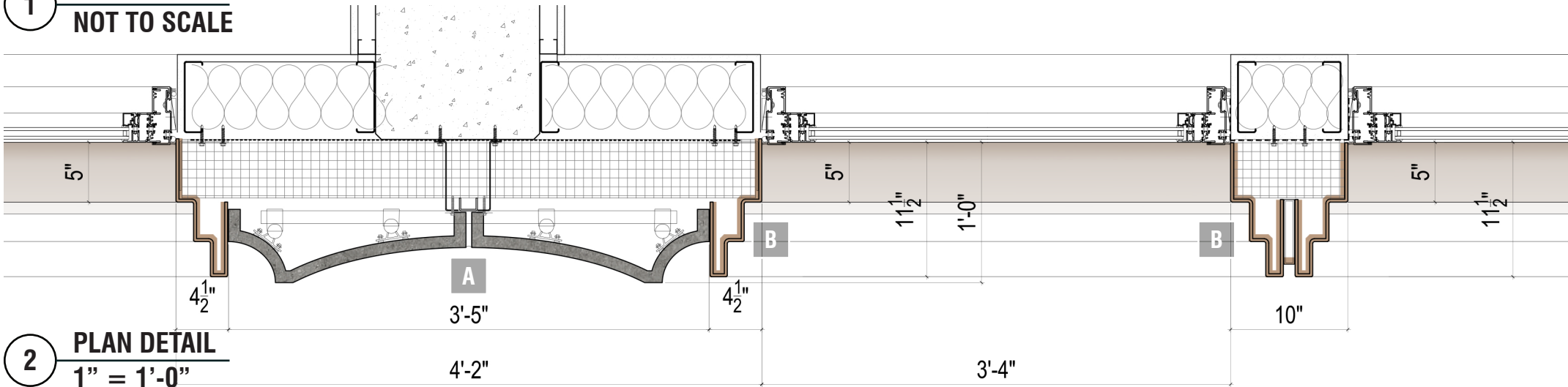




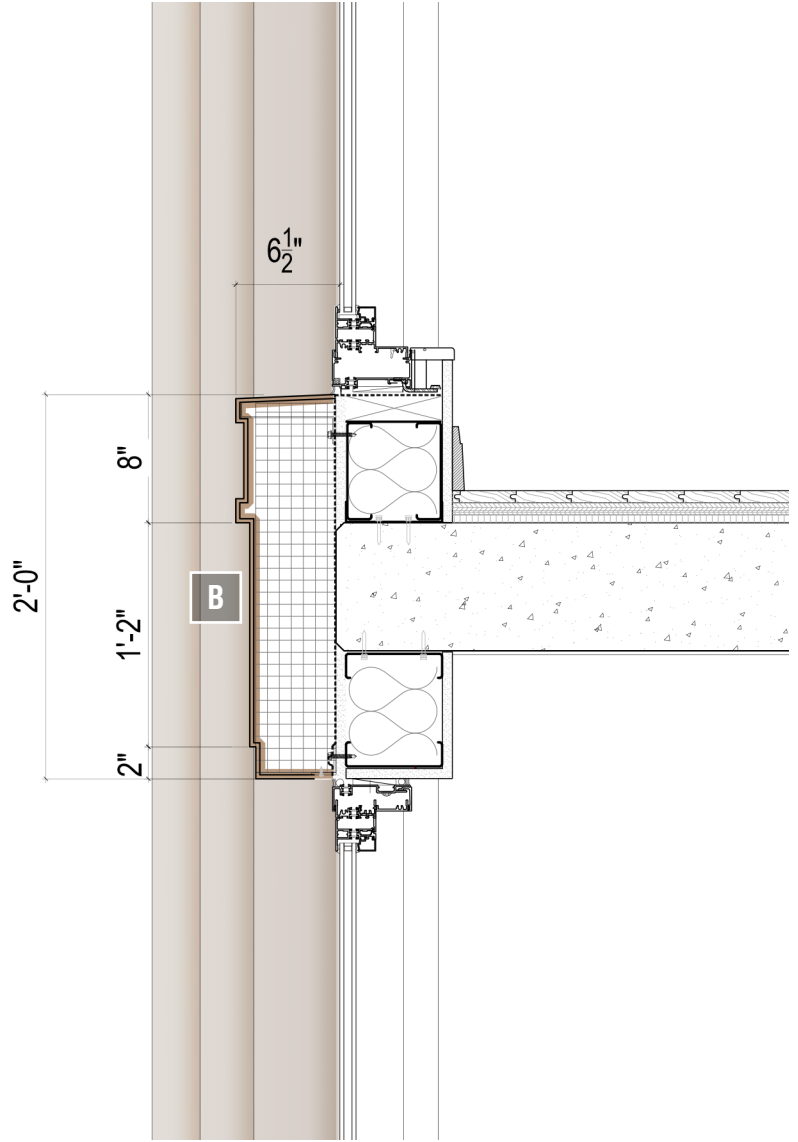




1 ELEVATION  
NOT TO SCALE



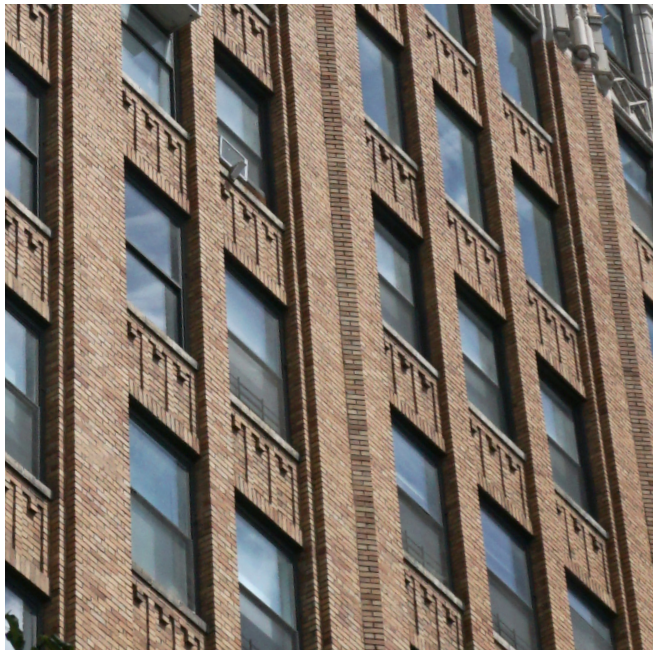
2 PLAN DETAIL  
1" = 1'-0"



3 SECTION DETAIL  
1" = 1'-0"

**EXTERIOR MATERIALS**  
 A- GLASS FIBER REINFORCED CONCRETE (GFRG)  
 B- FORMED ALUMINUM WITH PAINTED BRONZE FINISH  
 C- ALUMINUM FRAMED WINDOW WALL SYSTEM WITH 1" IGU

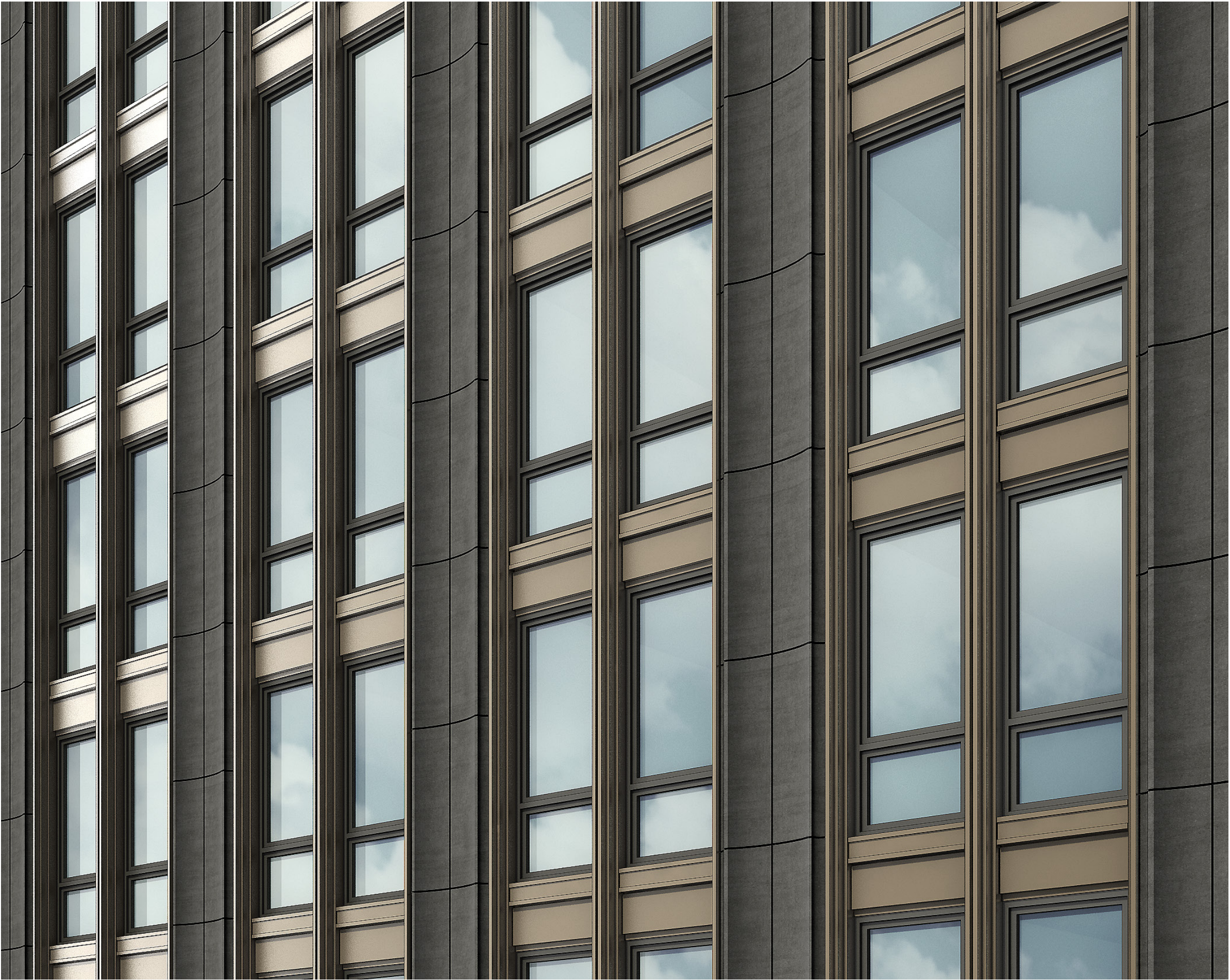




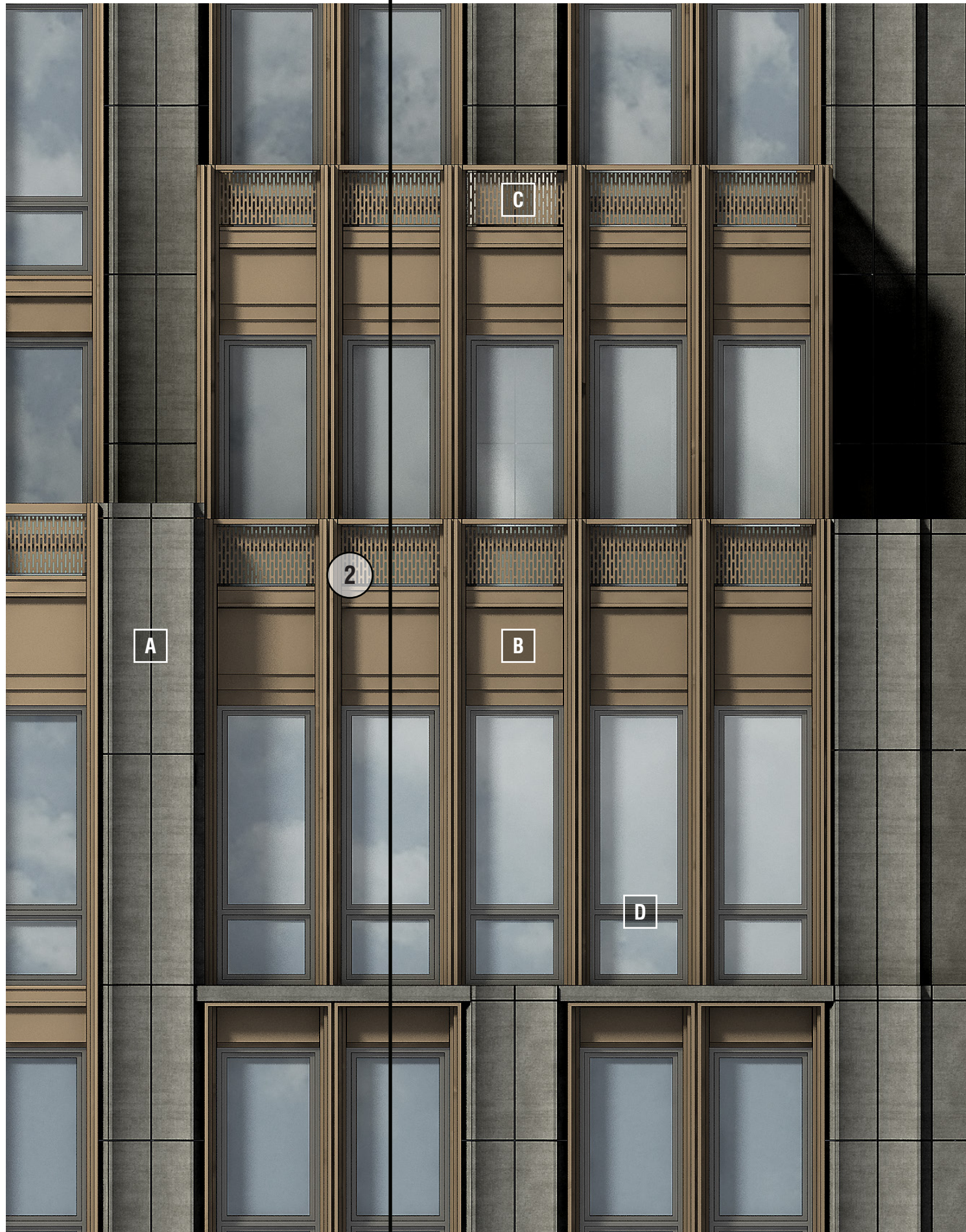
75 LIVINGSTON STREET



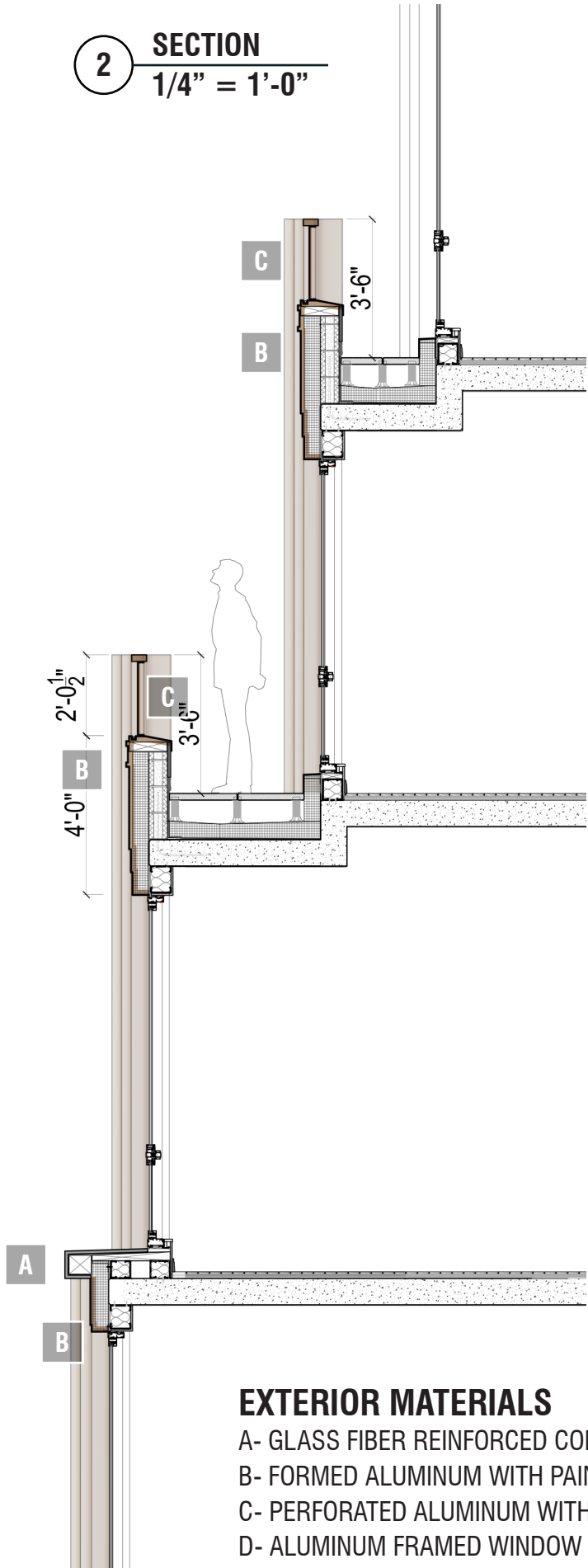
191 JORALEMON STREET







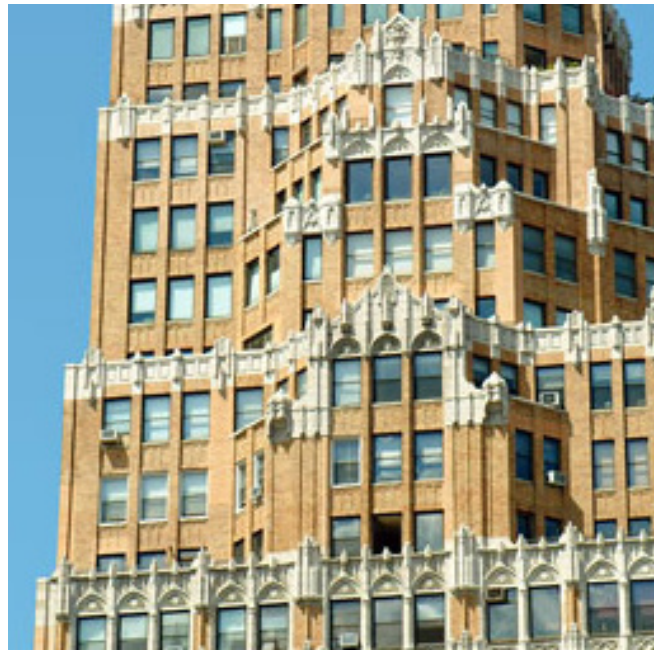
1 ELEVATION  
1/4" = 1'-0"



2 SECTION  
1/4" = 1'-0"

- EXTERIOR MATERIALS**
- A- GLASS FIBER REINFORCED CONCRETE (GFRG)
  - B- FORMED ALUMINUM WITH PAINTED BRONZE FINISH
  - C- PERFORATED ALUMINUM WITH PAINTED BRONZE FINISH
  - D- ALUMINUM FRAMED WINDOW WALL SYSTEM WITH 1" IGU





75 LIVINGSTON STREET



26 COURT STREET

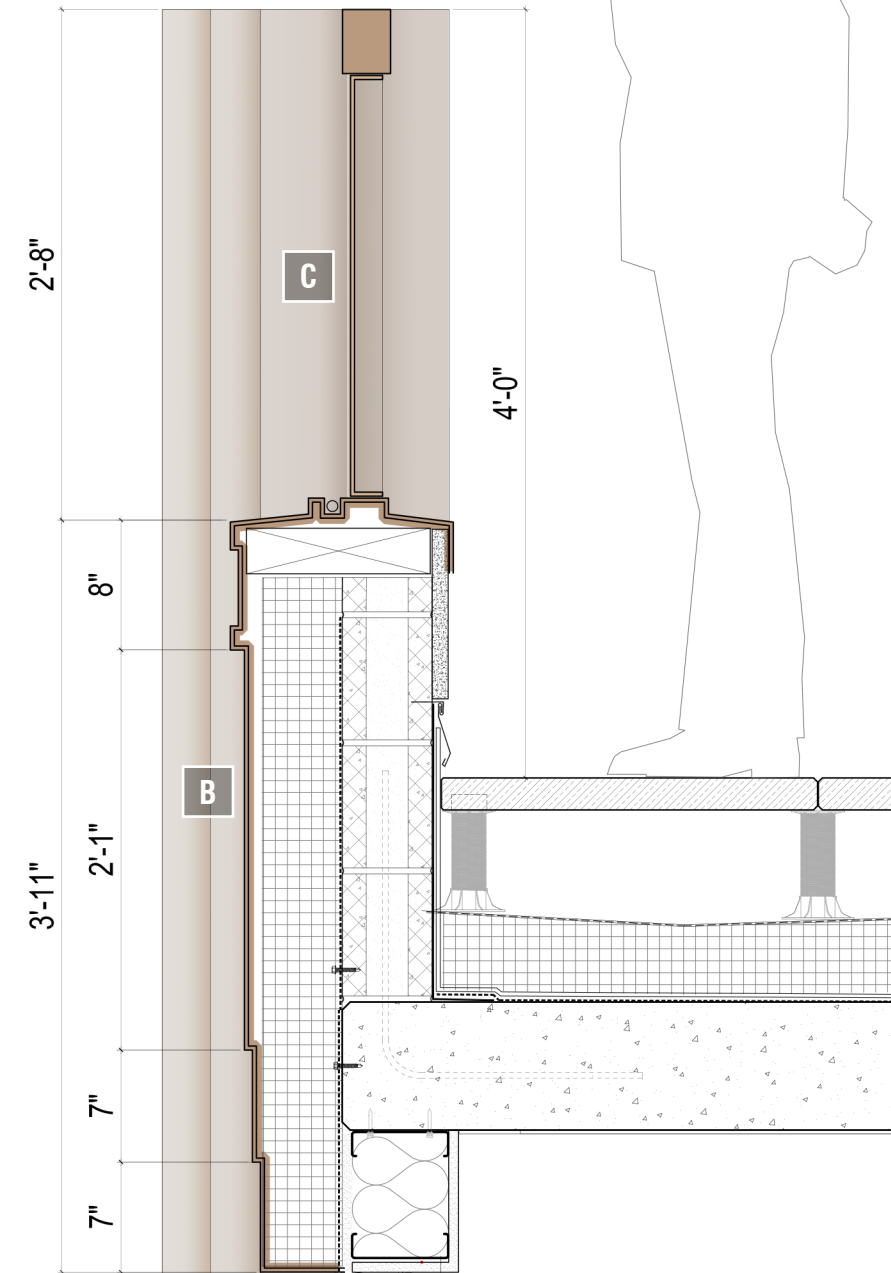




**1 ELEVATION**  
**NOT TO SCALE**



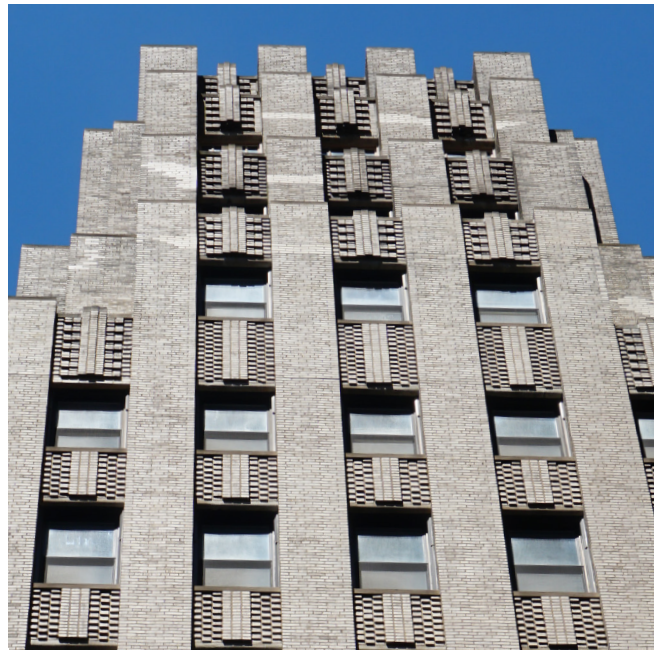
**2 SECTION DETAIL**  
**1" = 1'-0"**



**EXTERIOR MATERIALS**

- A- GLASS FIBER REINFORCED CONCRETE (GFRG)
- B- FORMED ALUMINUM WITH PAINTED BRONZE FINISH
- C- PERFORATED ALUMINUM WITH PAINTED BRONZE FINISH
- D- ALUMINUM FRAMED WINDOW WALL SYSTEM WITH 1" IGU





185 MONTAGUE STREET



191 JORALEMON STREET





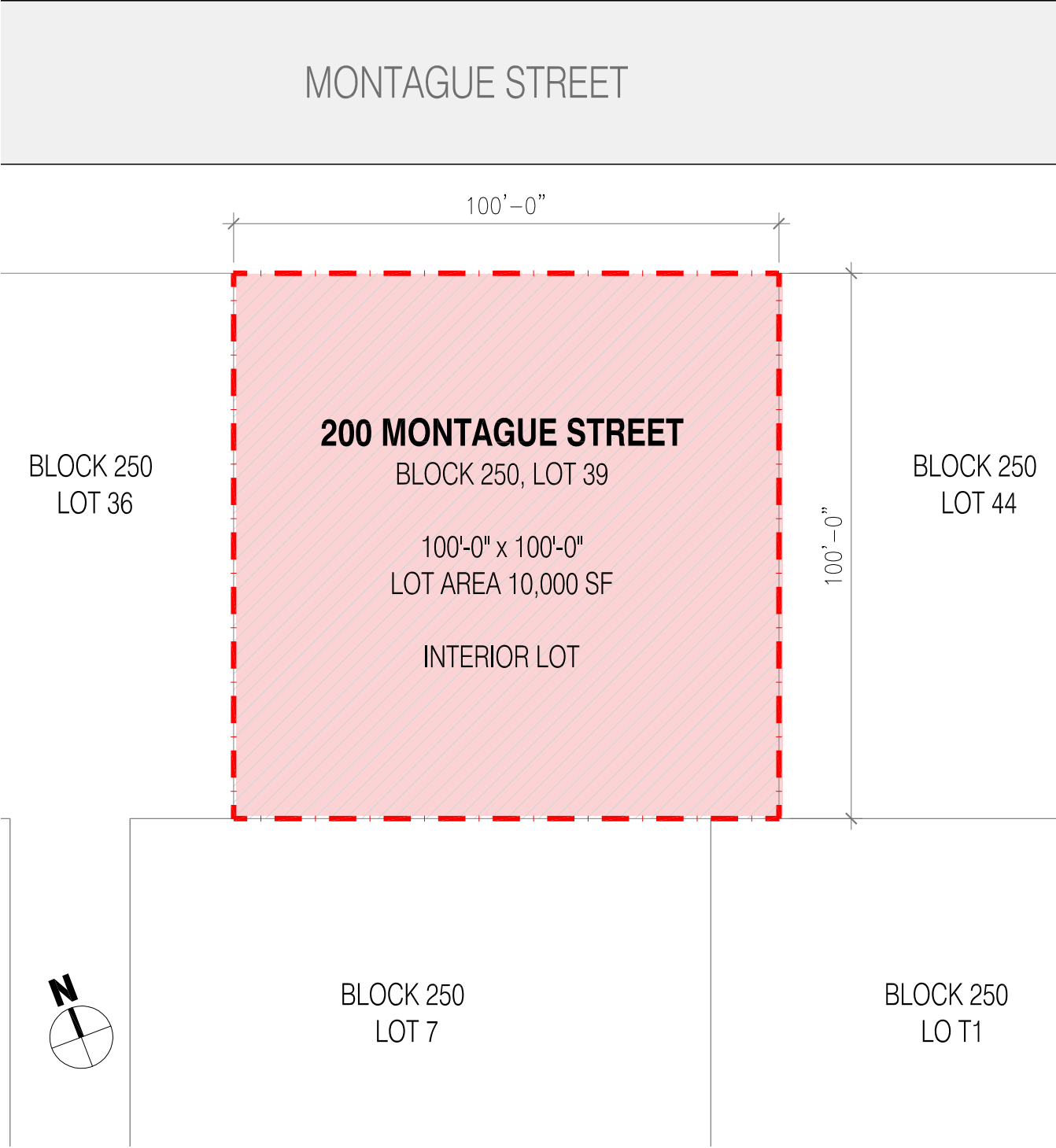




# APPENDIX

ZONING AND MASSING,  
BUILDING SECTION,  
FLOOR PLANS,  
MECHANICAL BULKHEAD

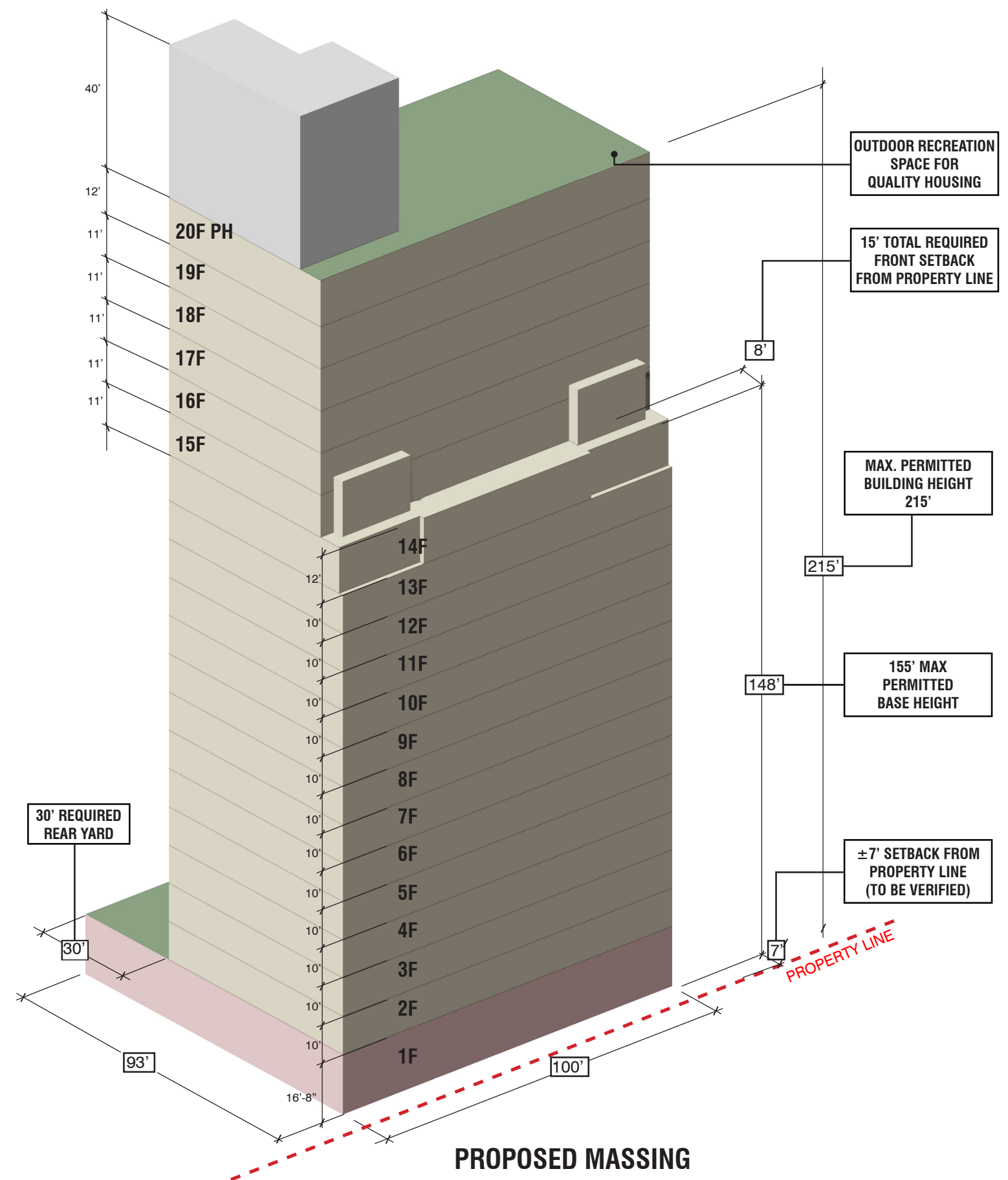
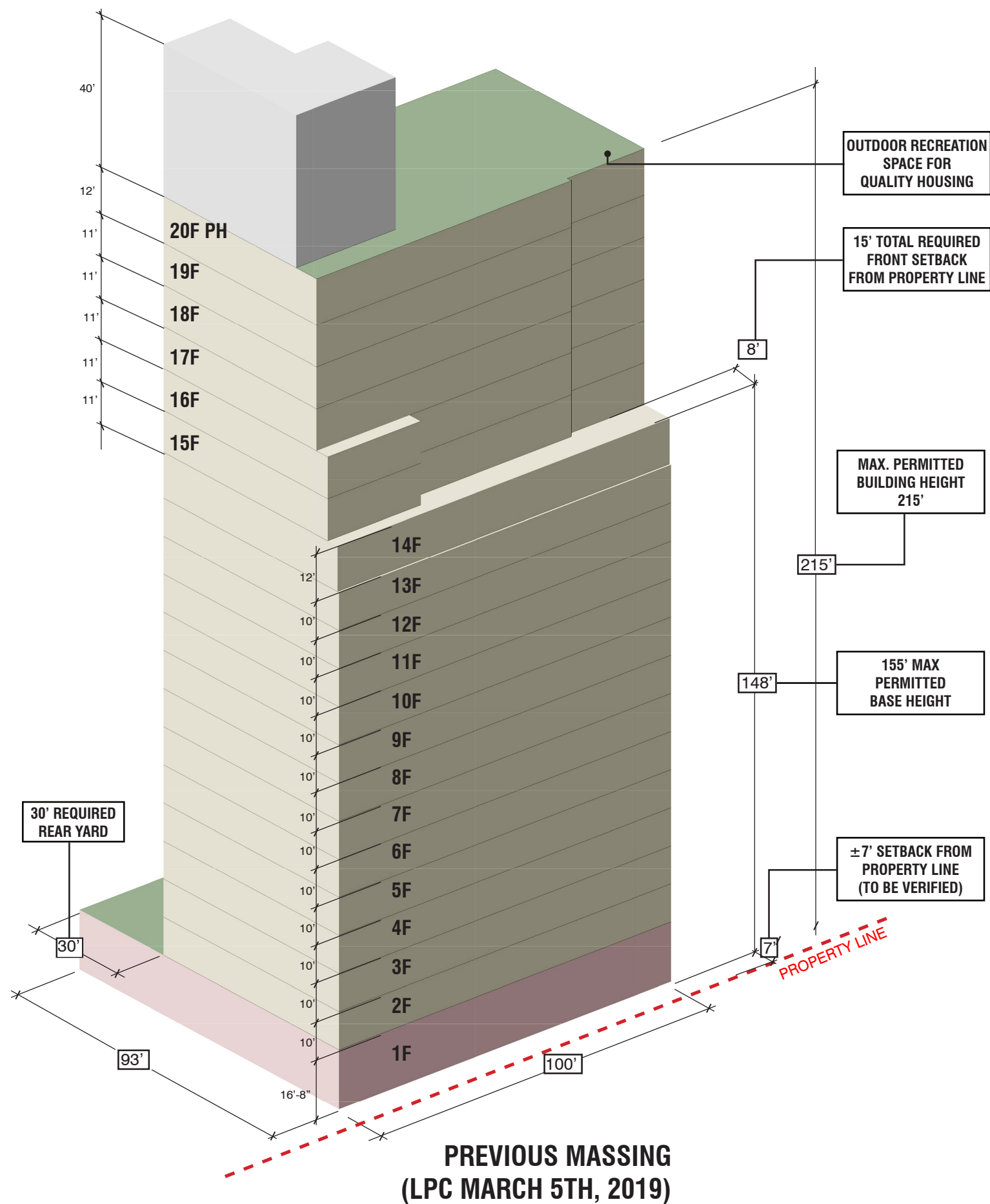




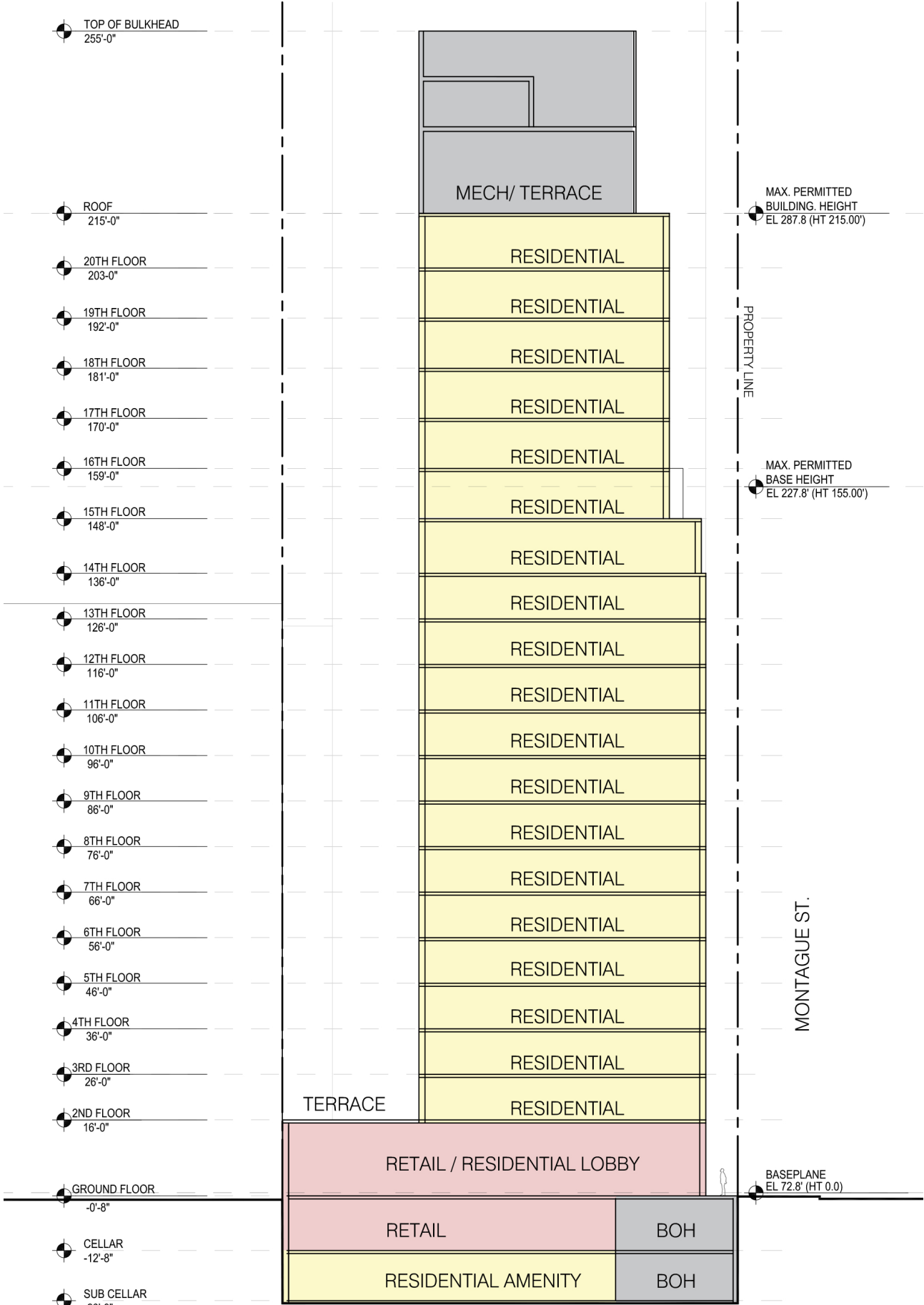
Existing Conditions	Project Address	200 Montague Street, Brooklyn
	Block / Lot	Block 250 / Lot 39
	Community District	Brooklyn Community District 2
	Zoning Map	12d
	Lot Type	Interior lot
	Lot Dimensions (per ZOLA)	100' x 100'
	Lot Area (per ZOLA)	10,000 SF
Zoning	Zoning District (ZR 35-23(b))	C5-2A (R10A equiv.)
	Special Zoning District Overlays	Special Downtown Brooklyn District
	Landmarks Historic District	Borough Hall Skyscraper Historic District
	NYC Designated Landmark	No
	Additional Zoning Information	Quality Housing
	Permitted FAR and Floor Area	
	Residential (ZR 35-011, 23-153) See chart below for Inclusionary Housing Bonus information.	
	FAR	10.00
	Max. Permitted Floor Area - AOR	100,000 SF
	Community Facility (ZR 33-121)	
	FAR	10.00
	Max. Permitted Floor Area	100,000 SF
	Commercial (ZR 33-121)	
	FAR	10.00
	Max. Permitted Floor Area	100,000 SF
	Total Max. Permitted Floor Area	100,000 SF
	Min. Base Height (ZR 23-662 Table 1)	60 feet
	Max. Base Height (ZR 23-662 Table 1)	125 feet
	Max. Building Height (ZR 23-662 Table 1)	185 feet
	Setback Distance	
	Narrow Street	15 feet
	Max. Lot Coverage – Interior Lot	70% (7,000 SF)
	Front Yard	None Required
	Side Yard	None Required; if provided, 8 feet minimum
	Rear Yard	30 feet
	Parking (ZR 25-242)	Parking is waived for lots of 10,000 SF or less.

Inclusionary Housing Bonus		
FAR	Residential Base FAR	10.00
	Residential Inclusionary Housing Bonus FAR	2.00
	Max. Permitted Floor Area with Bonus	120,000 SF
Height	Min. Base Height (ZR 23-664(a)(1))	60 feet
	Max. Base Height (ZR 23-664(a)(1))	155 feet
	Max. Building Height (ZR 23-664(a)(1))	215 feet / 21 stories









200 Montague		Gross Floor Area			Zoning Floor Area			Zoning Floor Area Deductions						Total ZFA
		Residential	Commercial	GSF	Residential	Commercial	ZFA	Mech, Stair and Bike Room Deductions	QH Deductions			Zone Green Exterior Wall Deductions		
									QH: Corr Daylight	QH: Corr Density	QH: Refuse Rm		Total Quality Housing Deductions	
	Roof	1,247	0	1,247	60	0	60	0	0	0	0	0	0	60
	20th	5,463	0	5,463	5,463	0	5,463	412	252.5	252.5	12	517	187	4,347
	19th	5,463	0	5,463	5,463	0	5,463	412	252.5	252.5	12	517	187	4,347
	18th	5,463	0	5,463	5,463	0	5,463	412	252.5	252.5	12	517	187	4,347
	17th	5,463	0	5,463	5,463	0	5,463	412	252.5	252.5	12	517	187	4,347
	16th	5,463	0	5,463	5,463	0	5,463	389	253	253	12	518	187	4,369
	15th	5,579	0	5,579	5,579	0	5,579	389	253	253	12	518	195	4,477
	14th	6,199	0	6,199	6,199	0	6,199	451	275.5	275.5	12	563	195	4,990
	13th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	12th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	11th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	10th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	9th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	8th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	7th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	6th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	5th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	4th	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	3rd	6,248	0	6,248	6,248	0	6,248	451	275.5	275.5	12	563	193	5,041
	2nd	6,248	0	6,248	6,248	0	6,248	418	276	276	12	564	193	5,073
	1st	2,456	6,514	8,970	2,456	6,514	8,970	400	0	0	0	0	223	8,347
	Cellar	4,888	5,112	10,000	0	0	0	0	0	0	0	0	0	0
	Sub Cellar	6,398	0	6,398	0	0	0	0	0	0	0	0	0	0
	Total	129,058	11,626	140,684	116,585	6,514	123,099	8,656	5,098	5,098	228	10,424	3,864	100,155

LOT AREA	10,000SF
MAX. FAR	12
MAX. ZSF	120,000SF
PROPOSED GSF	140,684
PROPOSED ZSF	100,155

*NOTE:	Required Quality Housing Recreation Space:	
	2.8% of total residential floor area (R10)	
	Total Zoning Residential Floor	116,585
	Required Recreation Space:	3,264
	Proposed Recreation Space:	3,703 sf



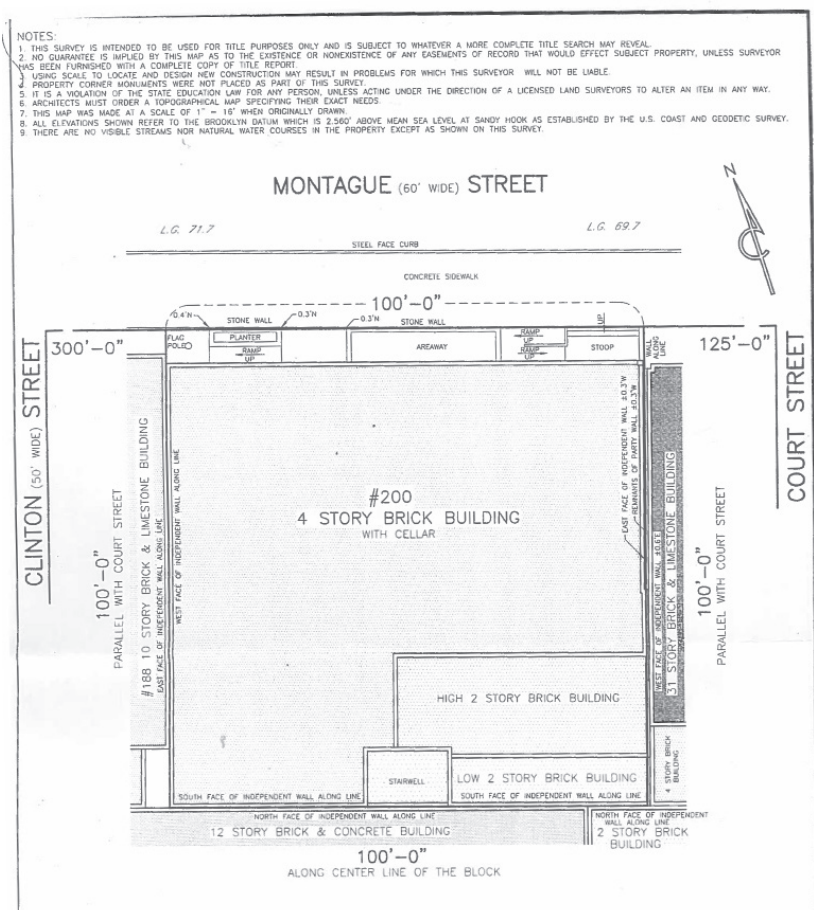
The diagram shows a city grid with several blocks. A red-shaded rectangular area is labeled "SITE". To the left of the site, a block is labeled "10 STORIES". To the right of the site, a block is labeled "37 STORIES". Below the site, a block is labeled "12 STORIES". To the right of the 12-story block, another block is labeled "29 STORIES". The site itself is labeled "SITE". Dimensions are indicated: "1'-0\"/>

**COURT STREET**

**REMSSEN STREET**

---

**1" = 100'**

[illegible]

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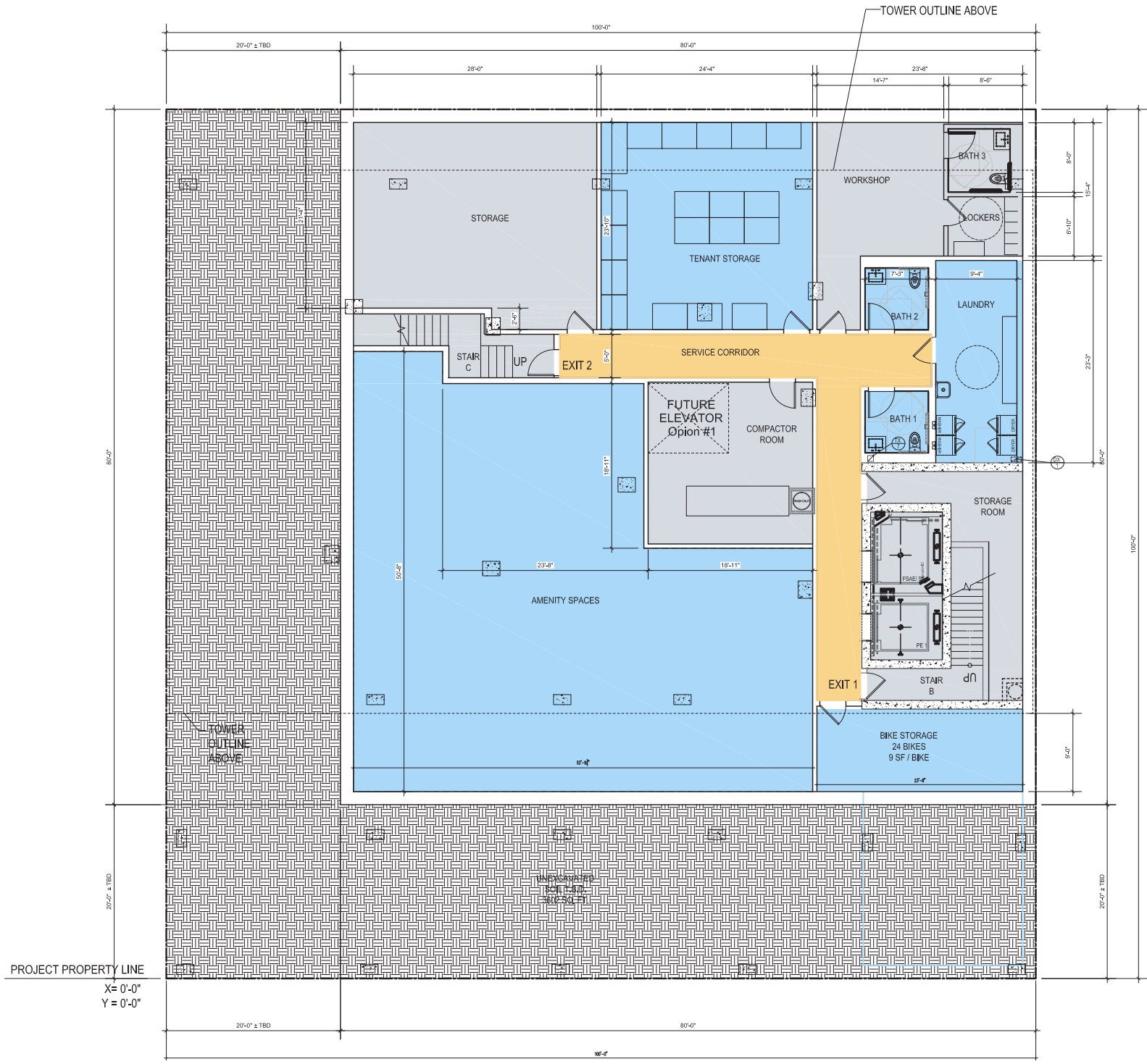
**1/16" = 1'-0"**

- AMENITY
- RETAIL
- RESIDENTIAL UNITS
- LOBBY/CORRIDOR
- BACK OF HOUSE

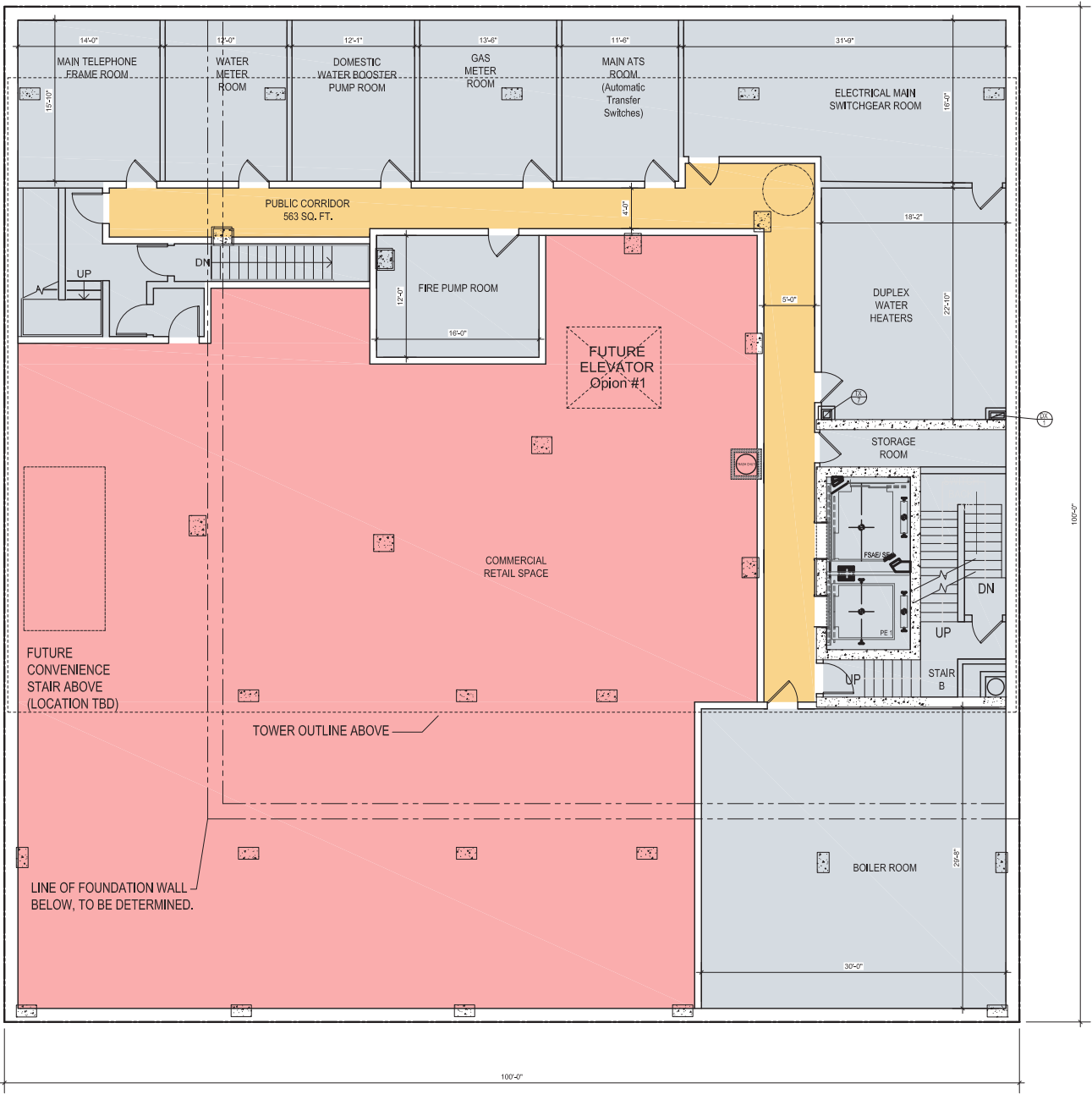


## FLOOR PLAN





**SUB CELLAR PLAN**  
**1/16" = 1'-0"**



**CELLAR PLAN**  
**1/16" = 1'-0"**

AMENITY

RETAIL

RESIDENTIAL UNITS

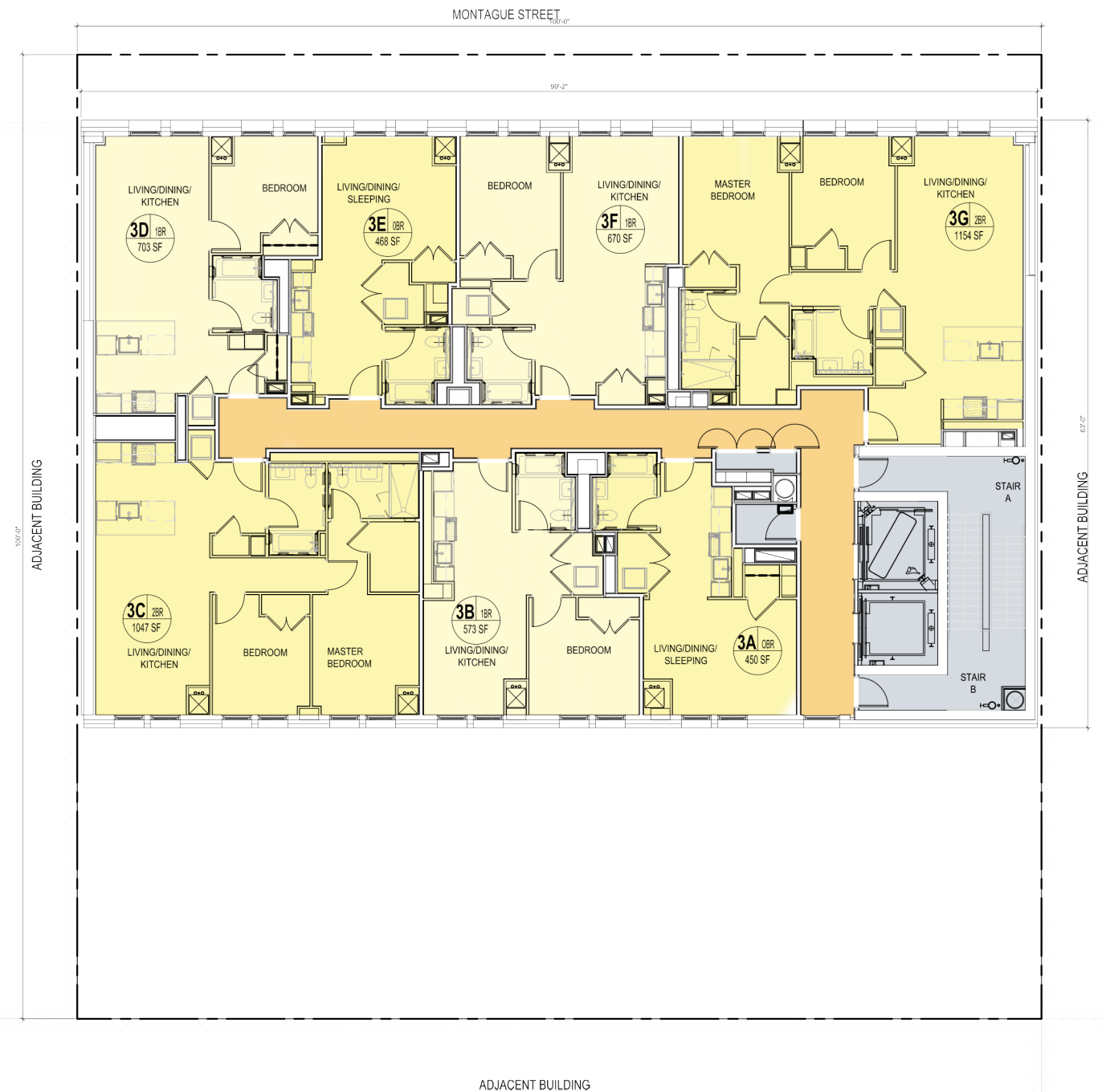
LOBBY/CORRIDOR

BACK OF HOUSE





**SECOND FLOOR PLAN**  
**1/16" = 1'-0"**



**TYPICAL FLOOR PLAN (FLOORS 3-13)**  
**1/16" = 1'-0"**

- AMENITY
- RETAIL
- RESIDENTIAL UNITS
- LOBBY/CORRIDOR
- BACK OF HOUSE







**14TH FLOOR PLAN**  
**1/16" = 1'-0"**



**15TH FLOOR PLAN**  
**1/16" = 1'-0"**

- AMENITY
- RETAIL
- RESIDENTIAL UNITS
- LOBBY/CORRIDOR
- BACK OF HOUSE







**16TH FLOOR PLAN**  
**1/16" = 1'-0"**

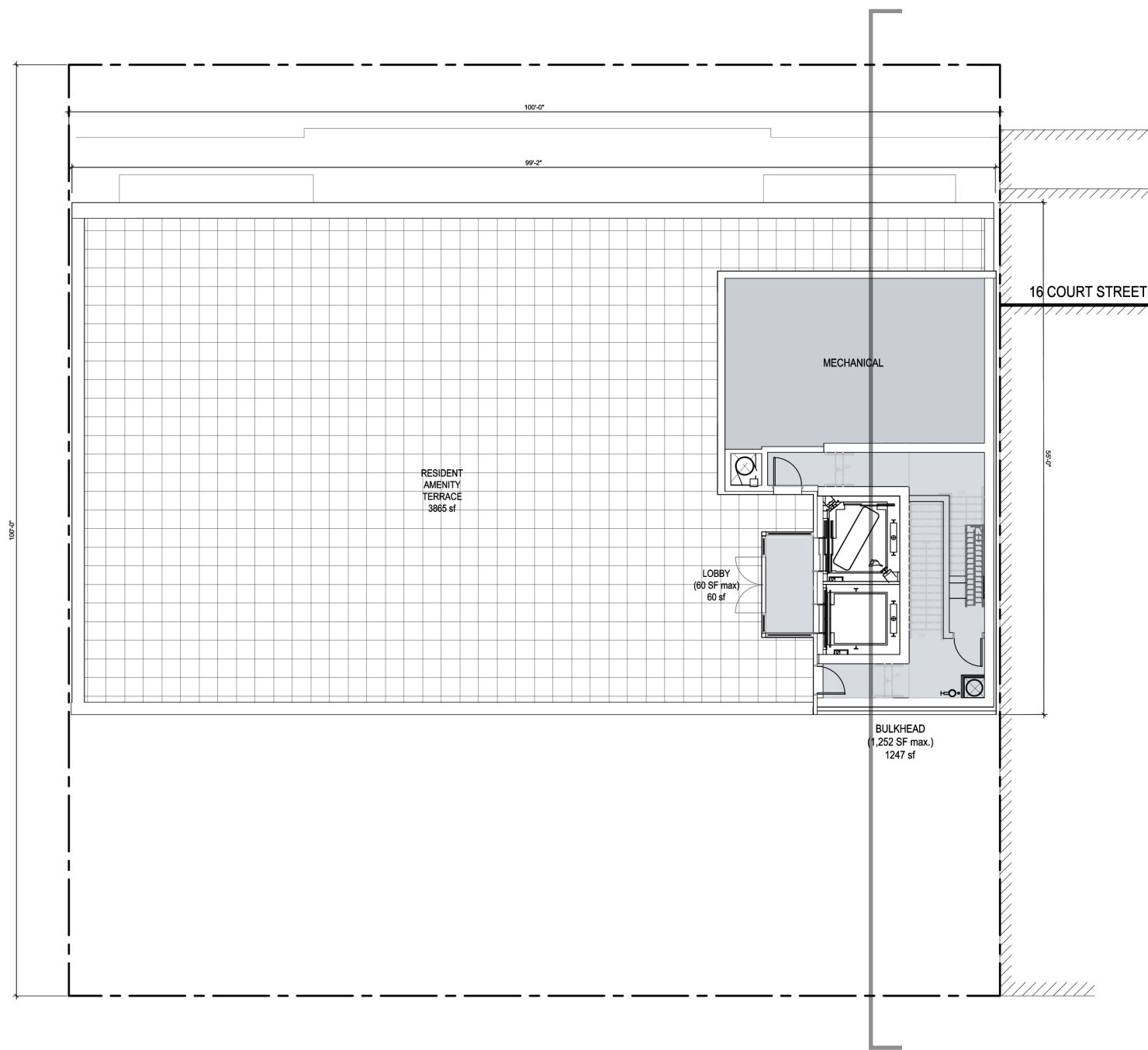


**TYPICAL FLOOR PLAN (FLOORS 17-20)**  
**1/16" = 1'-0"**

- AMENITY
- RETAIL
- RESIDENTIAL UNITS
- LOBBY/CORRIDOR
- BACK OF HOUSE







**ROOF PLAN**  
1/16" = 1'-0"

- AMENITY
- RETAIL
- RESIDENTIAL UNITS
- LOBBY/CORRIDOR
- BACK OF HOUSE



**MECHANICAL BULKHEAD**

