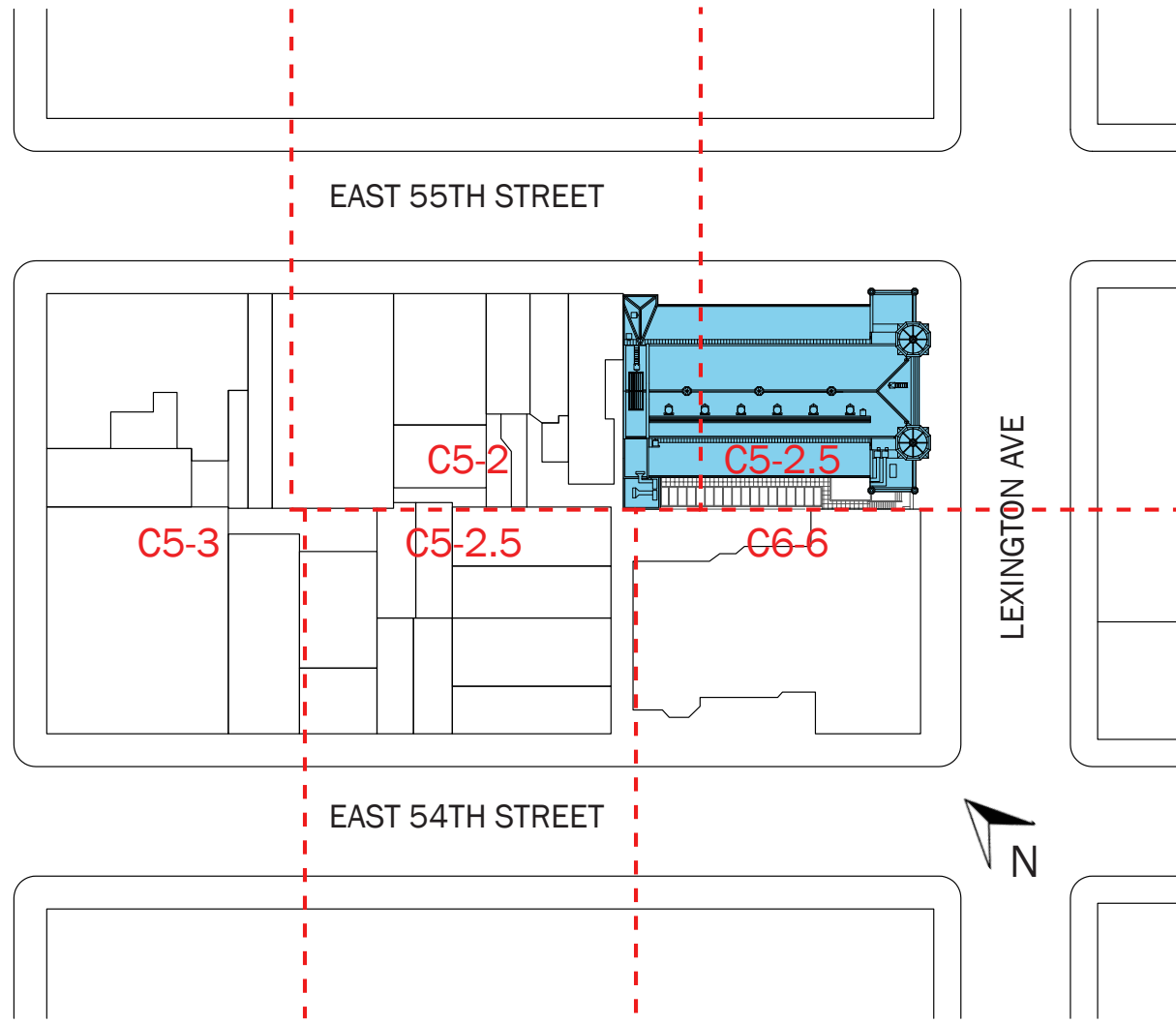


**CENTRAL SYNAGOGUE
CONDITIONS & MAINTENANCE OF
DESIGNATED LANDMARK**

LPC PRESENTATION

PLOT PLAN



ADDRESS
652 LEXINGTON AVE
NEW YORK, NY 10022

BLOCK/LOT
1309/56

ZONING DISTRICT
C5-2.5, C5-2

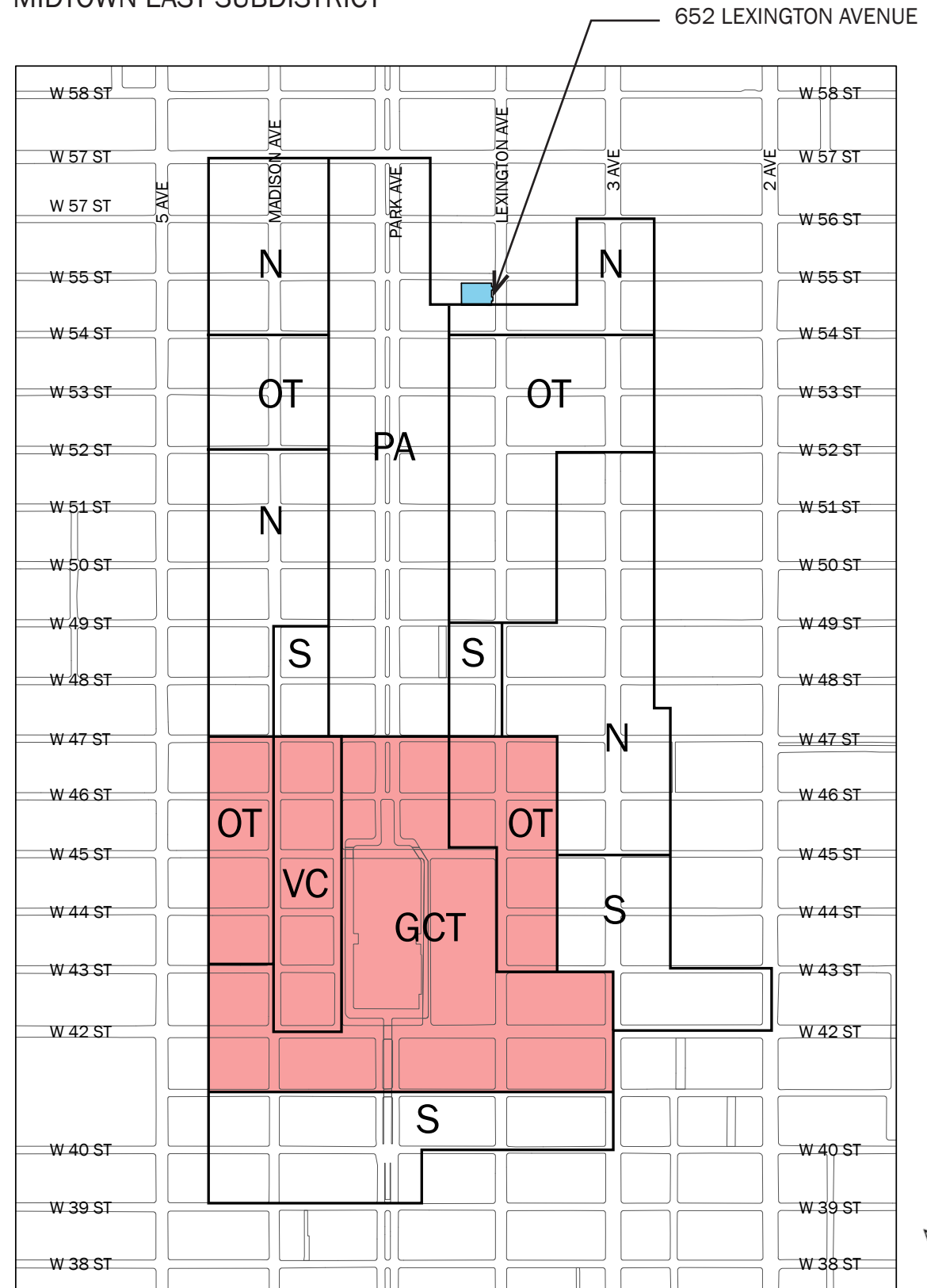
SPECIAL DISTRICT:
SPECIAL MIDTOWN DISTRICT (MiD)

COMMUNITY BOARD:
MANHATTAN 05

USE GROUP:
PUBLIC FACILITIES & INSTITUTIONS

NATIONAL REGISTER OF HISTORIC PLACES:
#70000423

MIDTOWN EAST SUBDISTRICT

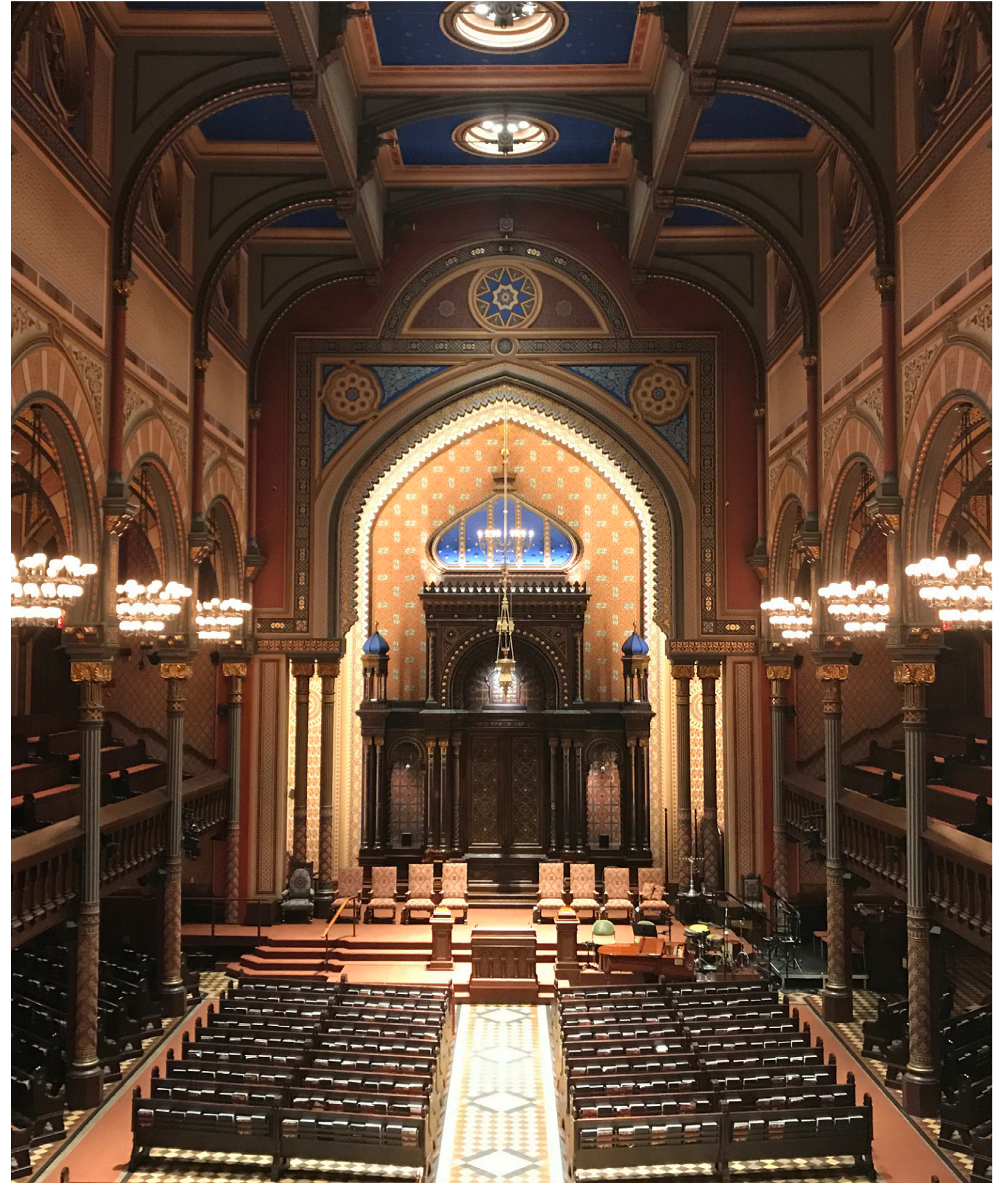


- EAST MIDTOWN SUBDISTRICT**
- GRAND CENTRAL CORE AREA
 - GCT** GRAND CENTRAL TRANSIT IMPROVEMENT ZONE SUBAREA
 - N** NORTHERN SUBAREA
 - OT** OTHER TRANSIT IMPROVEMENT ZONE SUBAREA
 - PA** PARK AVENUE SUBAREA
 - S** SOUTHERN SUBAREA
 - VC** VANDERBILT CORRIDOR

CONSTRUCTION CHRONOLOGY

- 1870 The Ahawath Chesed congregation commissions Henry Fernbach to design a new synagogue building at Lexington Avenue at 55th Street
- 1872 Construction completed on new synagogue building
- 1947-49 Renovation of synagogue by Ei Jacques Kahn, shifting from Fernbach's Moorish Revival design to Modernism
- 1966 Building designated by the Landmarks Preservation Commission
- 1975 Building declared a National Historic Landmark
- 1994-95 Extensive Exterior Repairs by DPK&A Architects, Accessibility, and HVAC improvements
- 1998 Fire causes extensive damage throughout the roof and sanctuary
- 1998-2001 Restoration by Hardy Holzman Pfeiffer
- 2001 Newly restored Central Synagogue reconsecrated

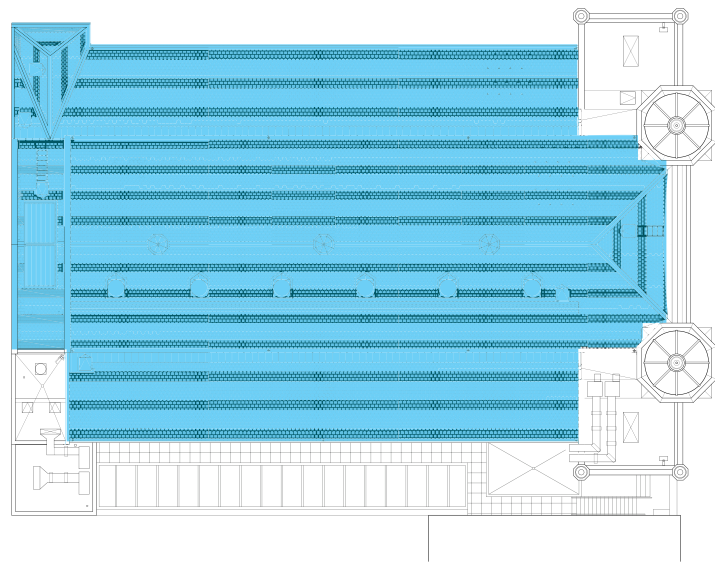
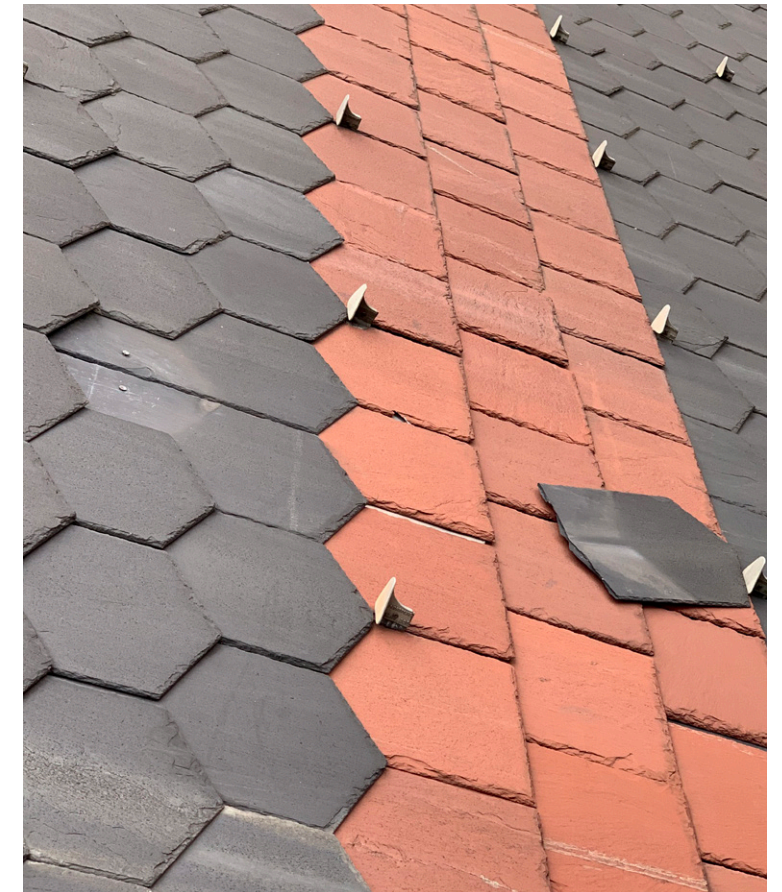




Main Slate Roofs

Condition: Good-to-Fair

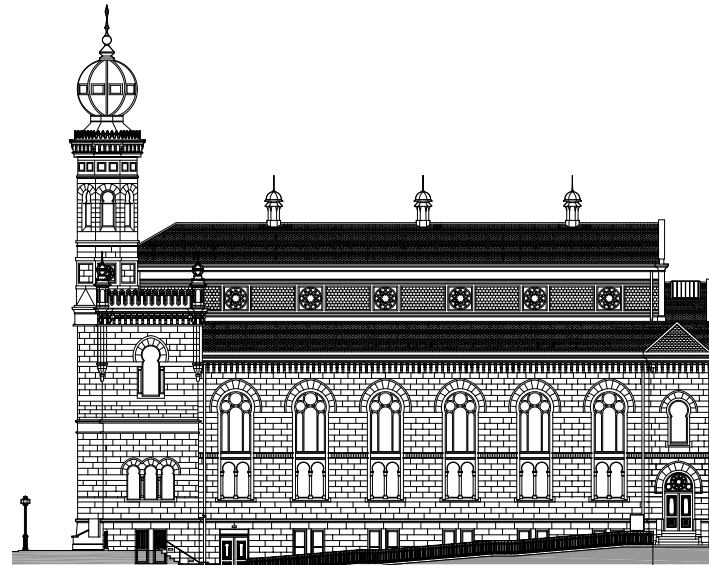
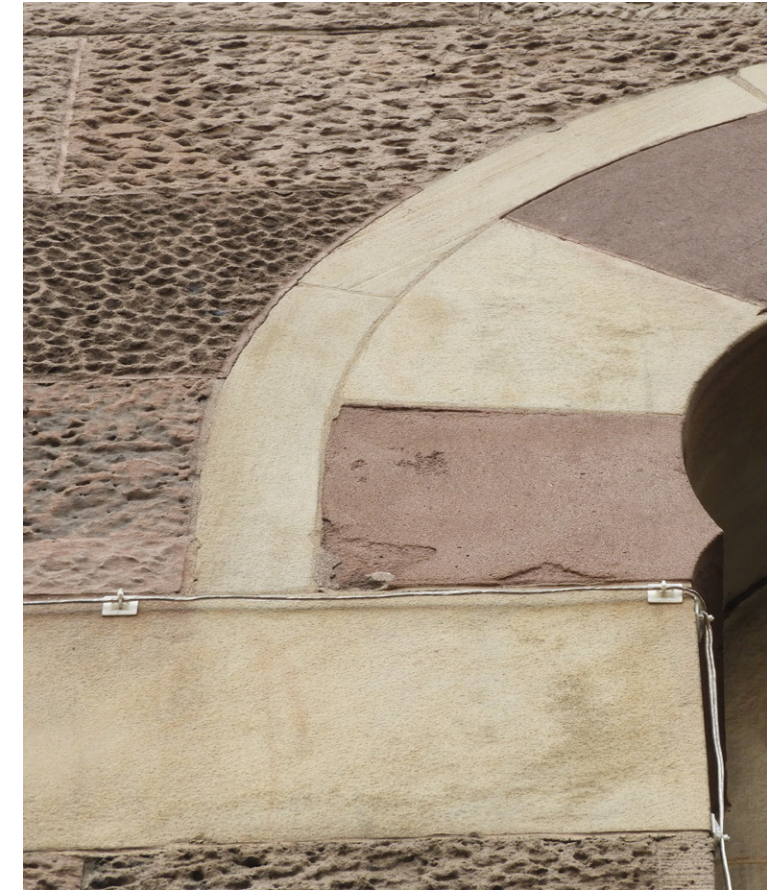
- Existing conditions include damaged/displaced shingles, clogged gutters/downspouts, guardrail paint failure & rusted anchors at steel platform
- Selective maintenance & localized slate & flashing repairs recommended within 1-5 years
- Existing roof should last for 50 years before needing replacement; ancillary roofs should be replaced in 5-10 years



55th Street - North Elevation

Condition: Good-to-Fair

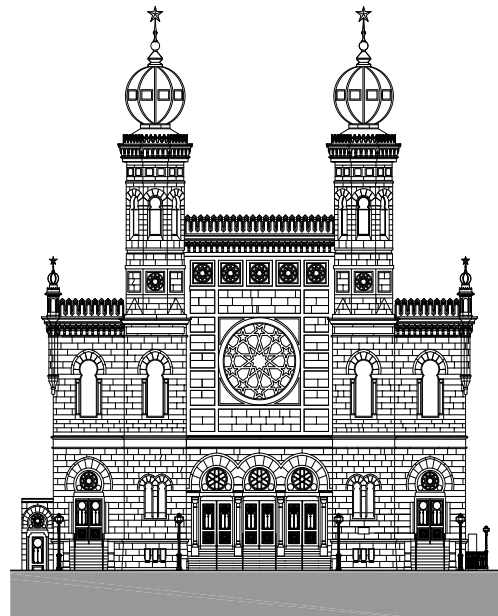
- Masonry shows areas of weathering and deterioration, with areas of cracked/spalled stone, open/cracked mortar joints, and soiled/stained masonry
- Selective maintenance & localized repairs recommended within 1-5 years
- Repairs should be anticipated every 5 years



Lexington Ave - East Elevation

Condition: Good-to-Fair

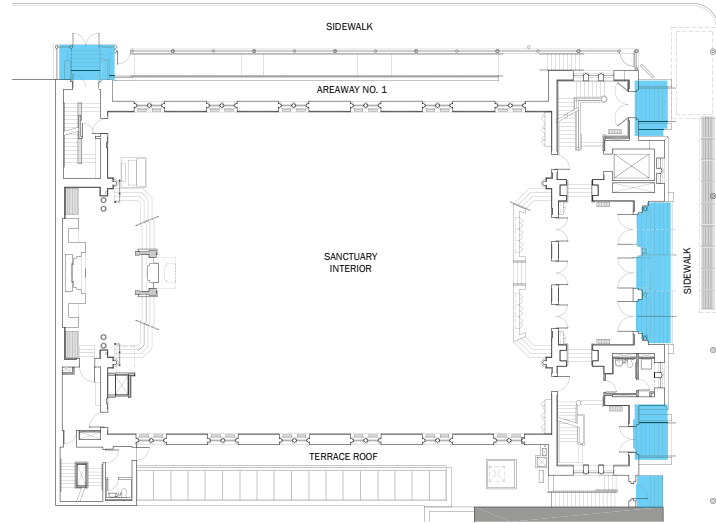
- Masonry shows areas of weathering and deterioration, with areas of cracked/spalled stone, open/cracked mortar joints, and soiled/stained masonry
- Selective maintenance & localized repairs recommended within 1-5 years
- Repairs should be anticipated every 5 years



Entry Steps

Condition: Fair

- Removal of existing coating & replacement of sandstone with dutchman repairs, as needed

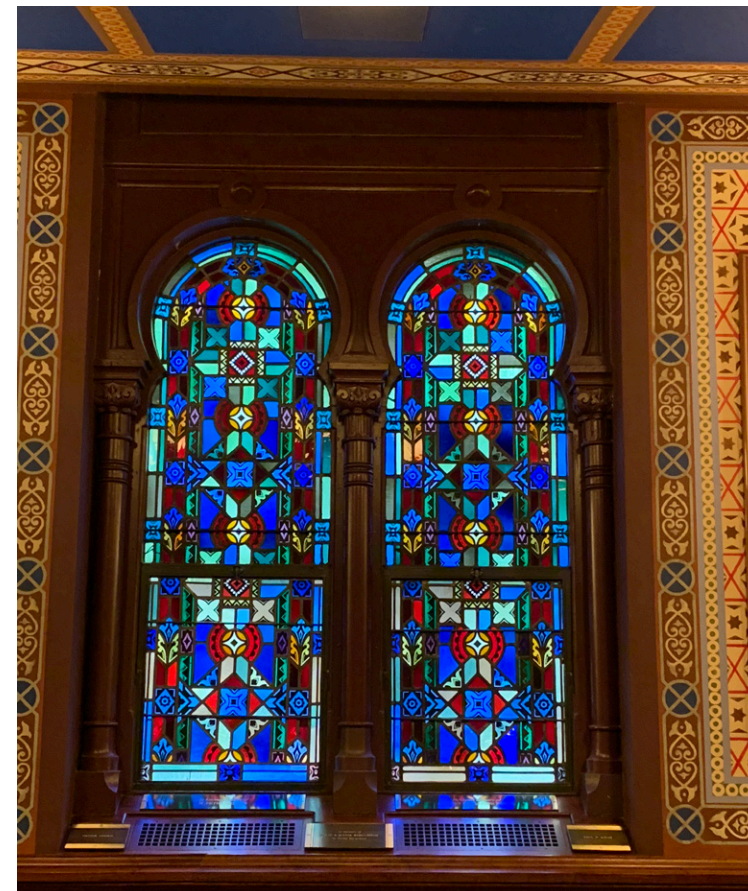
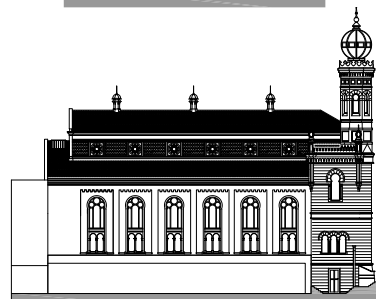
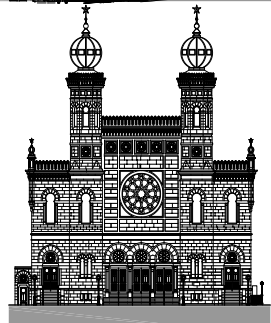
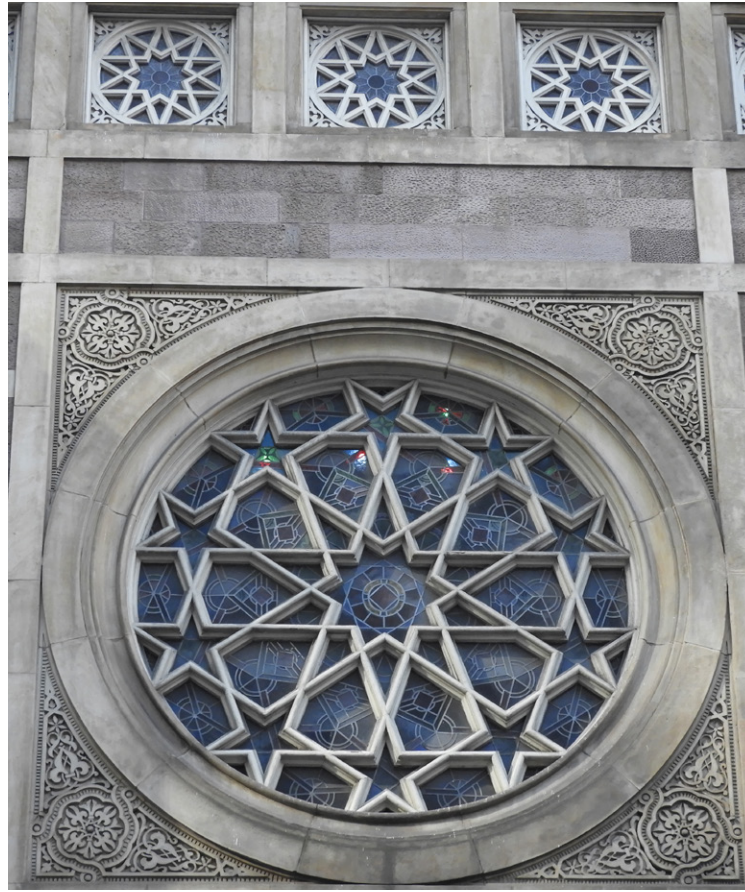


Stained Glass Windows

Condition: Fair

- Existing conditions include areas of deflection, cracked/broken glass throughout windows, accretion of dirt, electrolysis, operational failure, and deterioration of wood frames, glazing putty, window sealant, and paint

- Provisions for long term window restoration by specialists in stained glass and interior plaster repairs recommended



Doors

Condition: Good

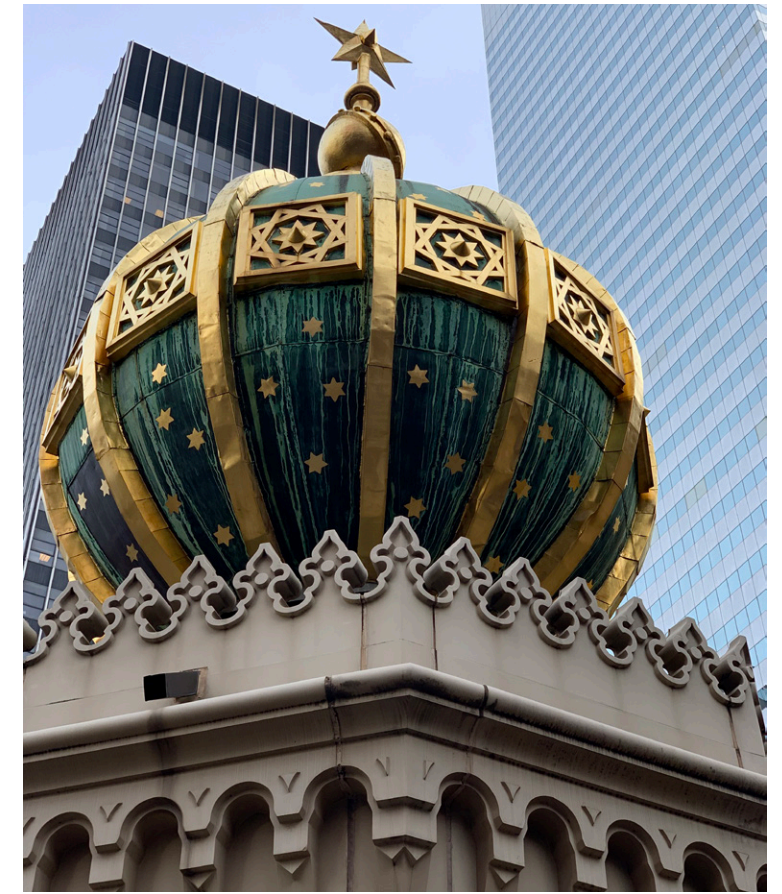
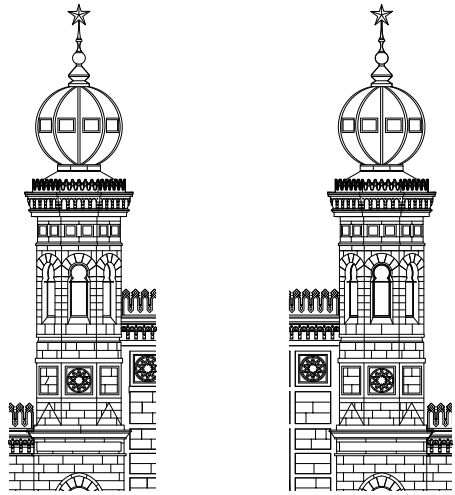
- Entry doors restored in 2017 and in excellent condition
- Service doors and hardware likely need to be repaired/replaced within next 5



Towers

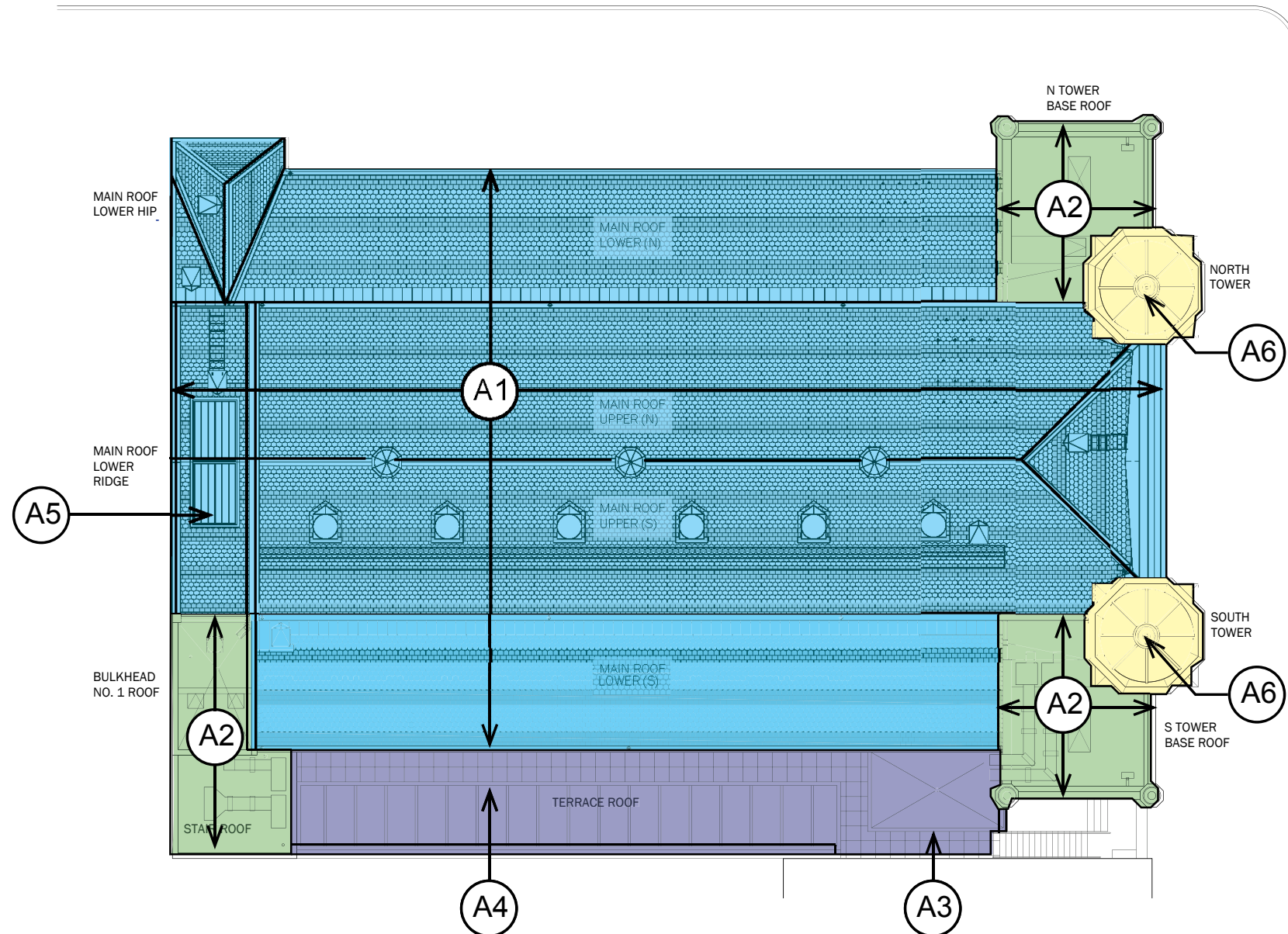
Condition: Good-to-Fair

- The tower dome paint is cracking; flashing appears to be sound
- Masonry shows areas of weathering and deterioration, with areas of cracked/spalled stone, open/cracked mortar joints, and soiled/stained masonry
- All windows & access doors are deteriorated and should be replaced
- Restoration of gold painted finishes & copper cladding is recommended, as required



ROOF PLAN

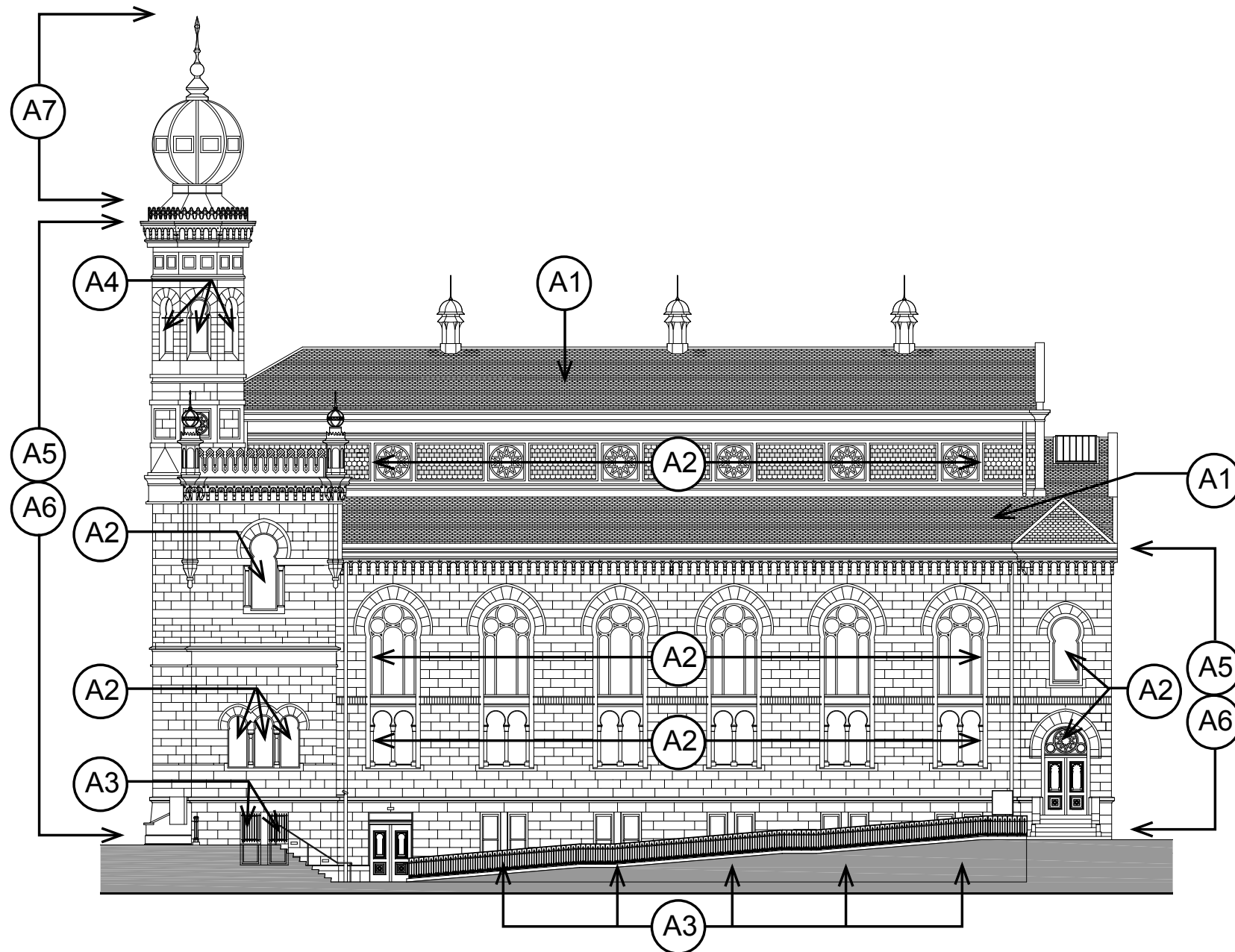
EAST 55TH STREET



ROOF CONDITIONS

- (A1) Main Slate Shingle Roofs**
 Localized repairs include shingle replacement, gutter & downspout repairs, access platform repairs & painting, skylight repairs
- (A2) Tower & Bulkhead Roofs**
 Localized repairs include penetration flashing repairs, cap flashing repairs, debris removal, parapet repairs. Replacement in 5-10 years.
- (A3) Terrace Roof**
 Localized repairs include & maintenance include flashing repairs, debris removal & cleaning. Replacement in 5-10 years.
- (A4) Skylight No.1**
 Localized repairs & maintenance (sealant renewal)
- (A5) Skylight No.2**
 Localized repairs & maintenance (beauty cap re-installation)
- (A6) Tower Dome**
 Localized repairs include copper cladding repairs

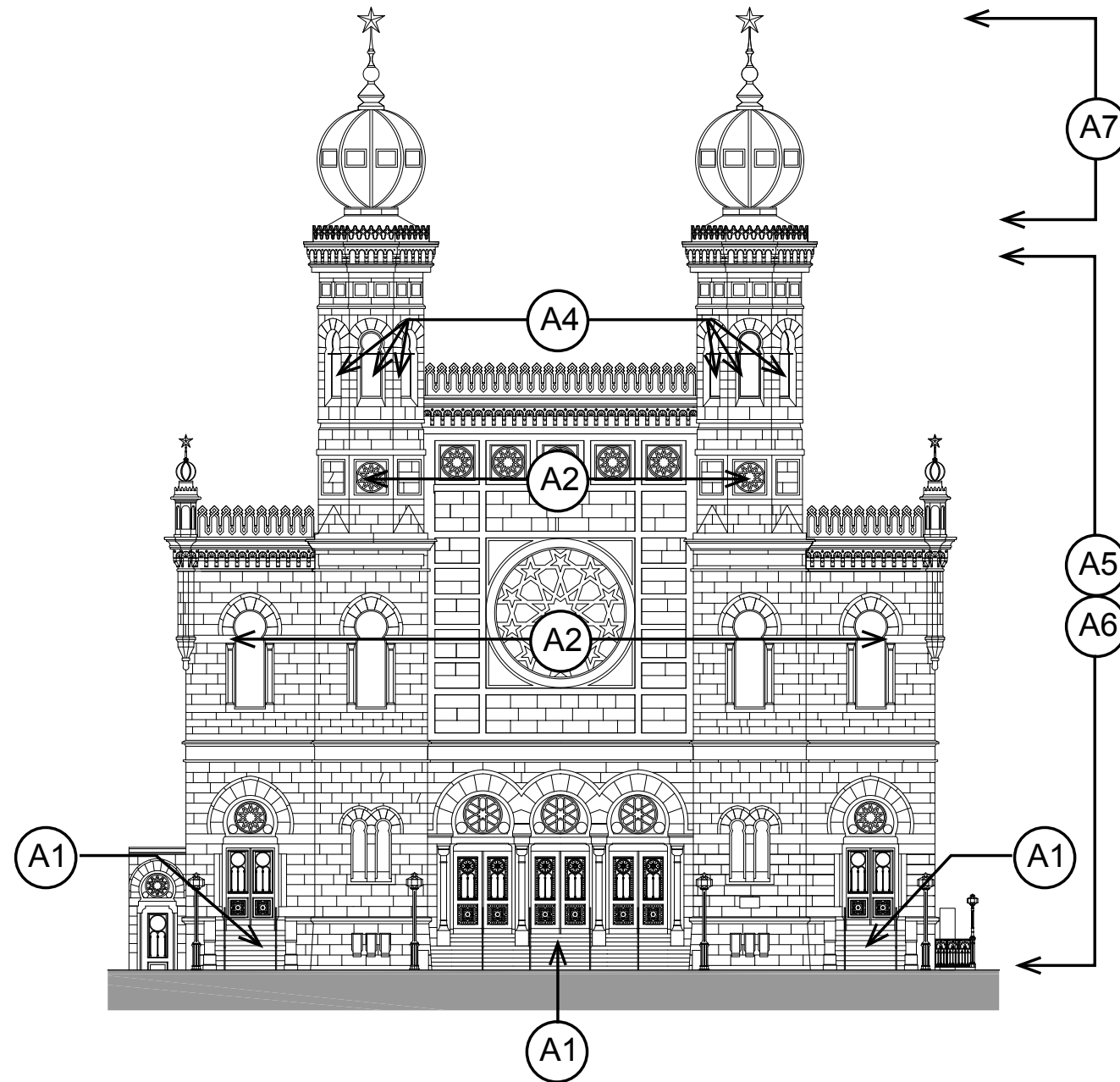
NORTH ELEVATION



ELEVATION CONDITIONS

- (A1) Main Slate Shingle Roofs**
 Localized repairs include shingle replacement, gutter & downspout repairs, access platform repairs & painting, skylight repairs
- (A2) Stained Glass Window Repair**
 Localized repairs include stained glass window restoration, wood frame repairs, sealant renewal, metal window restoration
- (A3) Window Repair**
 Localized repairs include sealant renewal
- (A4) Tower Window Replacement**
 Full window & access door replacement
- (A5) Stone Masonry Repairs**
 Localized repairs & maintenance include cutting & pointing deteriorated & open joints, patching cracked stone, replacing heavily deteriorated or unsound units.
- (A6) Facade Cleaning**
 General facade cleaning of soiled & stained areas.
- (A7) Tower Dome Repairs**
 Localized repairs include copper cladding & flashir repairs.

EAST ELEVATION



ELEVATION CONDITIONS

- (A1) Entry Stair Repairs**
 Localized repairs include coating removal, evaluation masonry repairs TBD, resecuring guardrails.
- (A2) Stained Glass Window Repair**
 Localized repairs include stained glass window restoration, wood frame repairs, sealant renewal, metal window restoration
- (A3) Window Repair**
 Localized repairs include sealant renewal
- (A4) Tower Window Replacement**
 Full window & access door replacement
- (A5) Stone Masonry Repairs**
 Localized repairs & maintenance include cutting & pointing deteriorated & open joints, patching cracked stone, replacing heavily deteriorated or unsound units.
- (A6) Facade Cleaning**
 General facade cleaning of soiled & stained areas.
- (A7) Tower Dome Repairs**
 Localized repairs include copper cladding & flashir repairs.

IV.B. CYCLICAL MAINTENANCE PLAN

Location	General Scope	Priority	Future Allowances	
			0-5 years	5-10 years
ZONE A: ROOFS				
Main Slate Roofs (Upper & Lower)	Localized Repairs & Maintenance: Selective Shingle Replacement, Gutter & Downspout Repairs, Access Platform Repairs & Repainting, Skylight & Roof Hatch Repairs	1	\$40,000.00	\$15,000.00
Tower Base & Bulkhead Roofs	Localized Repairs & Maintenance: Penetration Flashing Repairs, Cap Flashing Repairs, Overflow Drain Installation, Parapet & Guardrail Repairs	1	\$15,000.00	
	Roof Replacement	2		\$70,000.00
Terrace Roof	Localized Repairs & Maintenance: Flashing Repairs, Debris Removal & Cleaning, Skylight Repairs	1	\$15,000.00	
	Roof Replacement	2		\$90,000.00
			\$70,000.00	\$175,000.00
ZONE B: FACADES				
55th Street (North Elevation), Lexington Avenue (East Elevation), South Elevation	Localized Repairs & Maintenance: Repointing of Cracked	1	\$225,000.00	\$75,000.00
	Façade Cleaning	2		\$275,000.00
			\$225,000.00	\$350,000.00
ZONE C: HARDSCAPES				
Areaways	Localized Repairs & Maintenance: Removal of Efflorescence, Re-pointing, Guardrail Repairs & Repainting, Lamp-posts Repairs & Repainting, Sealant Renewal, Terrace Drain Repair	2	\$12,500.00	\$85,000.00
Entry Steps	Localized Repairs & Maintenance: Coating Removal & Masonry Repairs	2	\$15,000.00	\$75,000.00
			\$27,500.00	\$160,000.00

ZONE D: WINDOWS & DOORS				
Stained Glass Windows	Localized Repairs & Maintenance: Sealant Renewal, Repainting, Rotten Wood Repairs	1	\$75,000.00	
	Stained Glass Window Restoration	2		\$650,000.00
	Interior Plaster Repairs	2		\$123,750.00
Doors	Main Entry Door Maintenance	2	\$5,000.00	\$5,000.00
	Service Door Replacement / Maintenance	2	\$3,000.00	\$5,000.00
			\$83,000.00	\$783,750.00
ZONE E: TOWERS				
Stone	Localized Repairs & Maintenance: Repointing, Patch Repairs, Sealant Renewal, Brick & Stone Repairs	1	\$35,000.00	\$15,000.00
Globe-Shaped Domes & Finials	Copper Cladding & Gilding Repairs	2		\$100,000.00
Flashings	Roof Flashing Repairs	2		\$20,000.00
Windows	Window Replacement	1	\$85,000.00	
			\$120,000.00	\$135,000.00
Mobilization	Sidewalk Shed & Scaffolding		\$150,000.00	\$175,000.00
Sub-Totals			\$675,500.00	\$1,778,750.00
20% Contingencies			\$135,100.00	\$355,750.00
Architectural Design Fees (15%)			\$121,590.00	\$320,175.00
Total Anticipated Cost			\$932,190.00	\$2,454,675.00
Grand Total				\$3,386,865.00