



550 Madison Avenue

Certificate of Appropriateness Proposal
for NYC Landmarks Preservation Commission

January 15, 2019

Tower Aerial



550 Madison Avenue

Building Podium and Covered Pedestrian Space



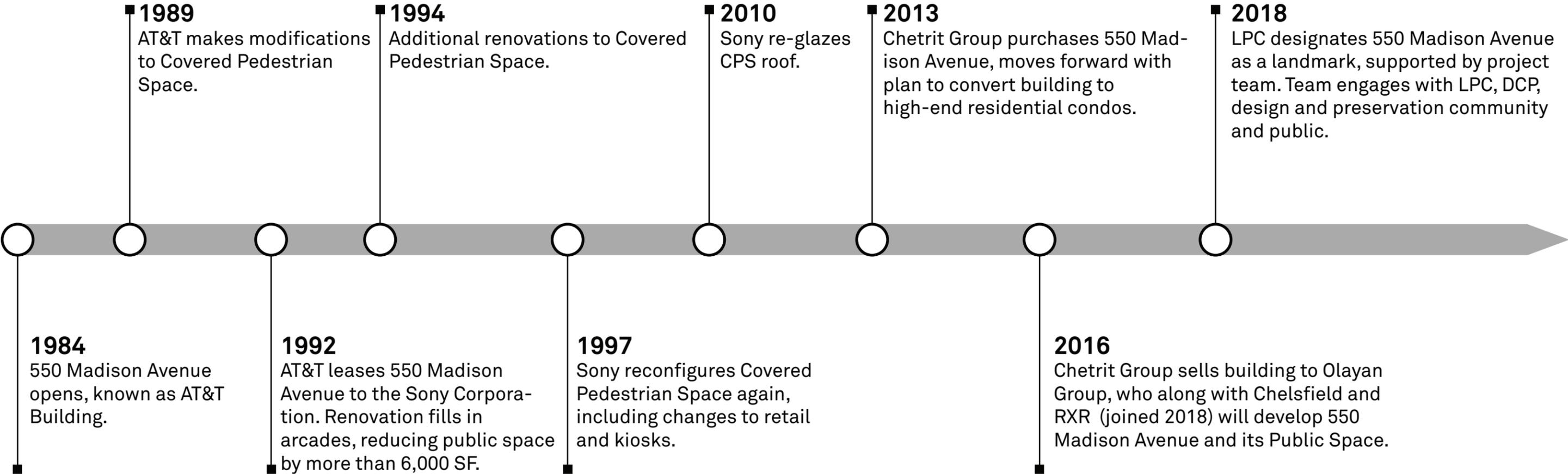
Preserve and Revitalize the landmarked tower.

Restore the original site design intent.

Improve on multiple alterations at the base.

Increase and Enliven the public space.

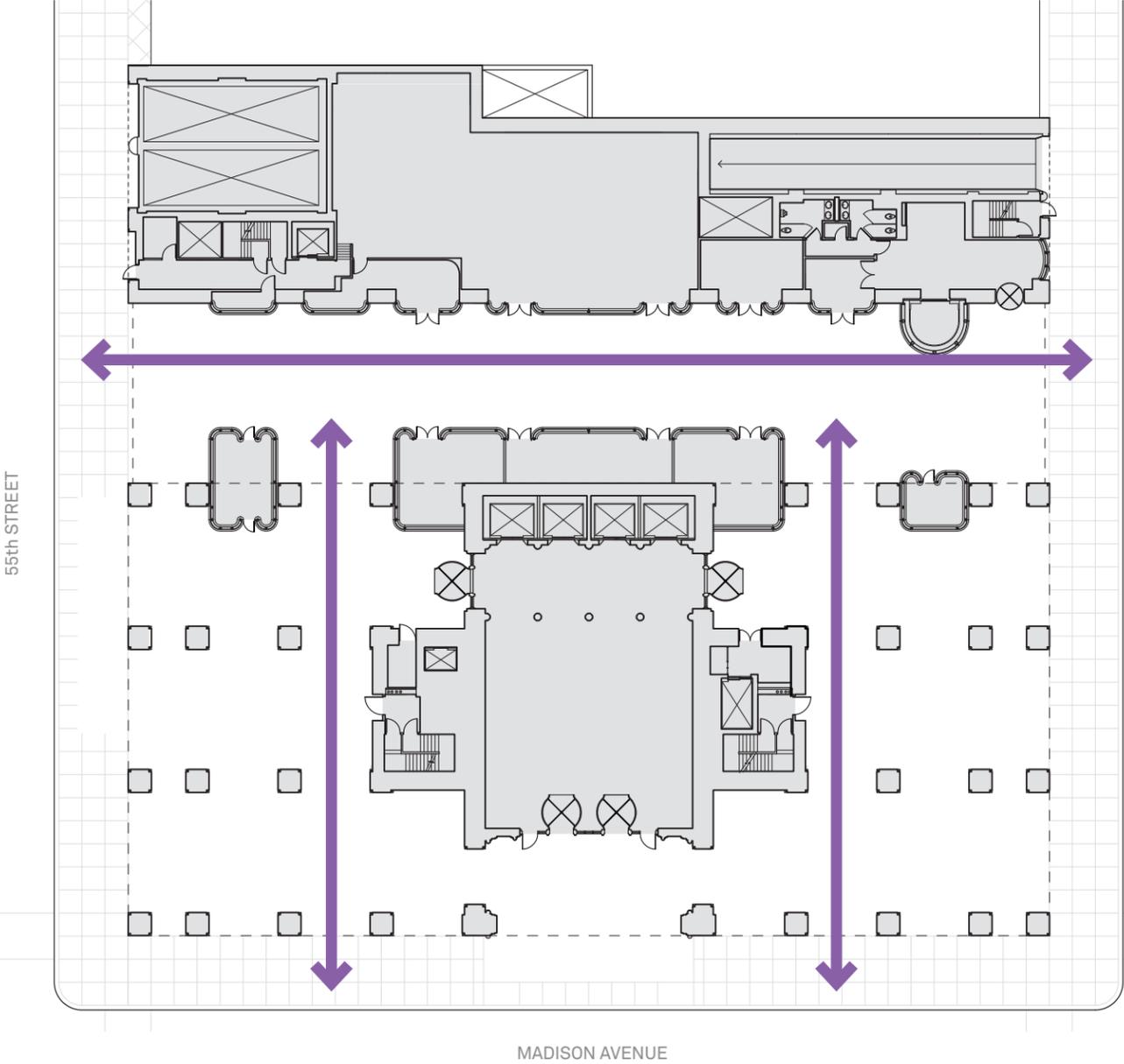
Key Timeline Milestones



Street Level Approach - Original



ORIGINAL AT&T FACADE, 1984

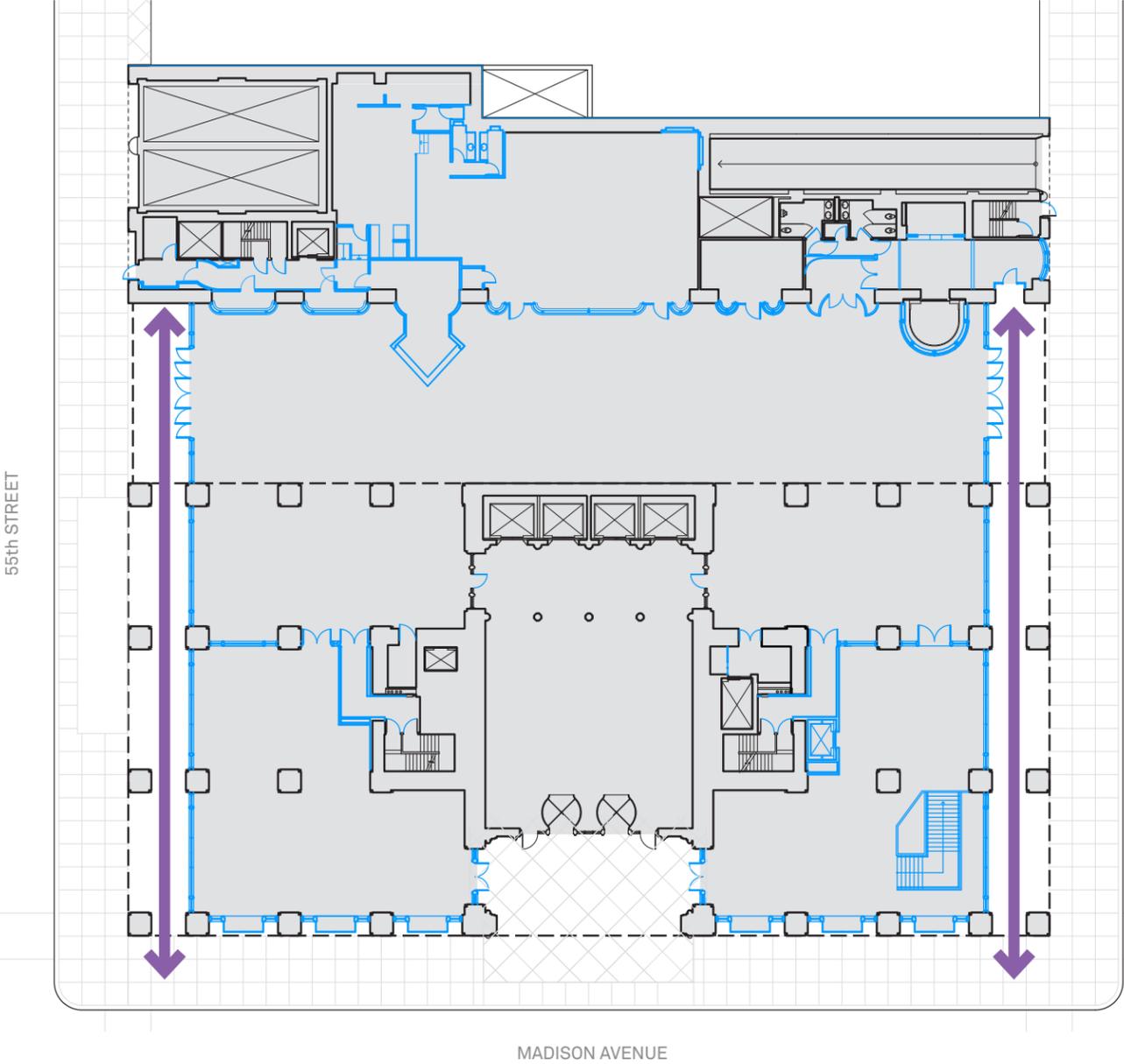


GROUND FLOOR PLAN
 "HYPOSTYLE HALL" CIRCULATION

Street Level Approach - Existing



EXISTING 550 MADISON FACADE

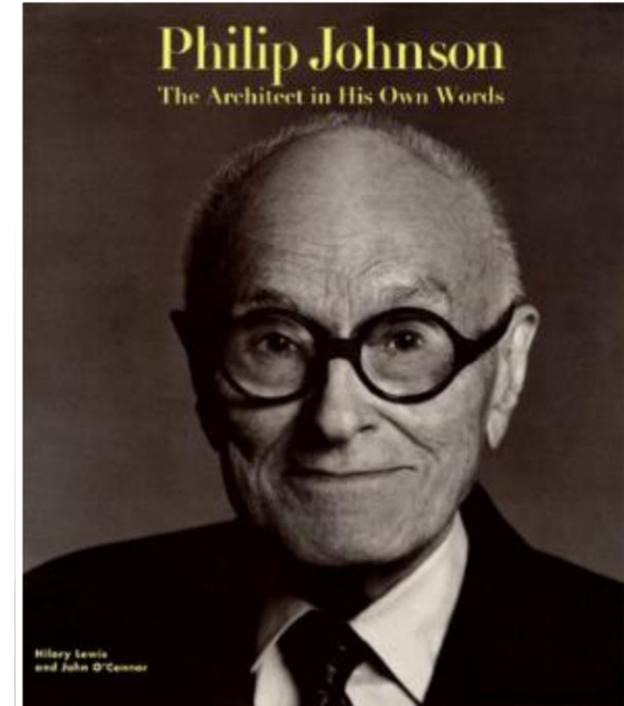


GROUND FLOOR PLAN
ARCADE AND COVERED PEDESTRIAN SPACE CIRCULATION

Public Space Challenges - Original



55TH STREET ARCADE - 1980's



Philip Johnson conceded about his design for 550 Madison:

“...the area at the base wasn't used and became cold and unfriendly.”

Source: Philip Johnson [The Architect in His Own Words](#), Lewis and O'Connor, 1994

The Covered Pedestrian Space and Annex



OPEN AIR COVERED PEDESTRIAN SPACE, 1984

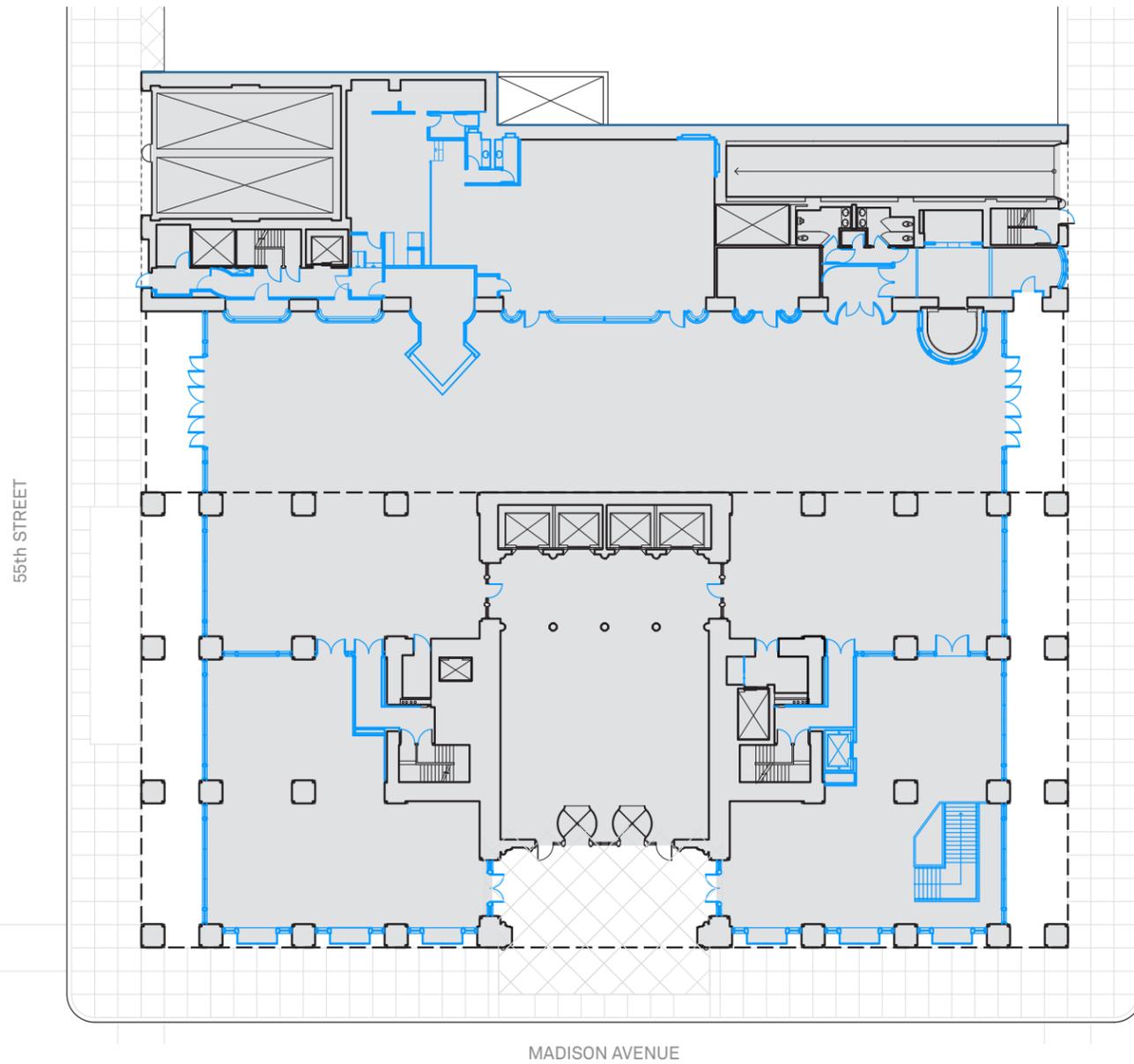


OPEN AIR COVERED PEDESTRIAN SPACE, 1989



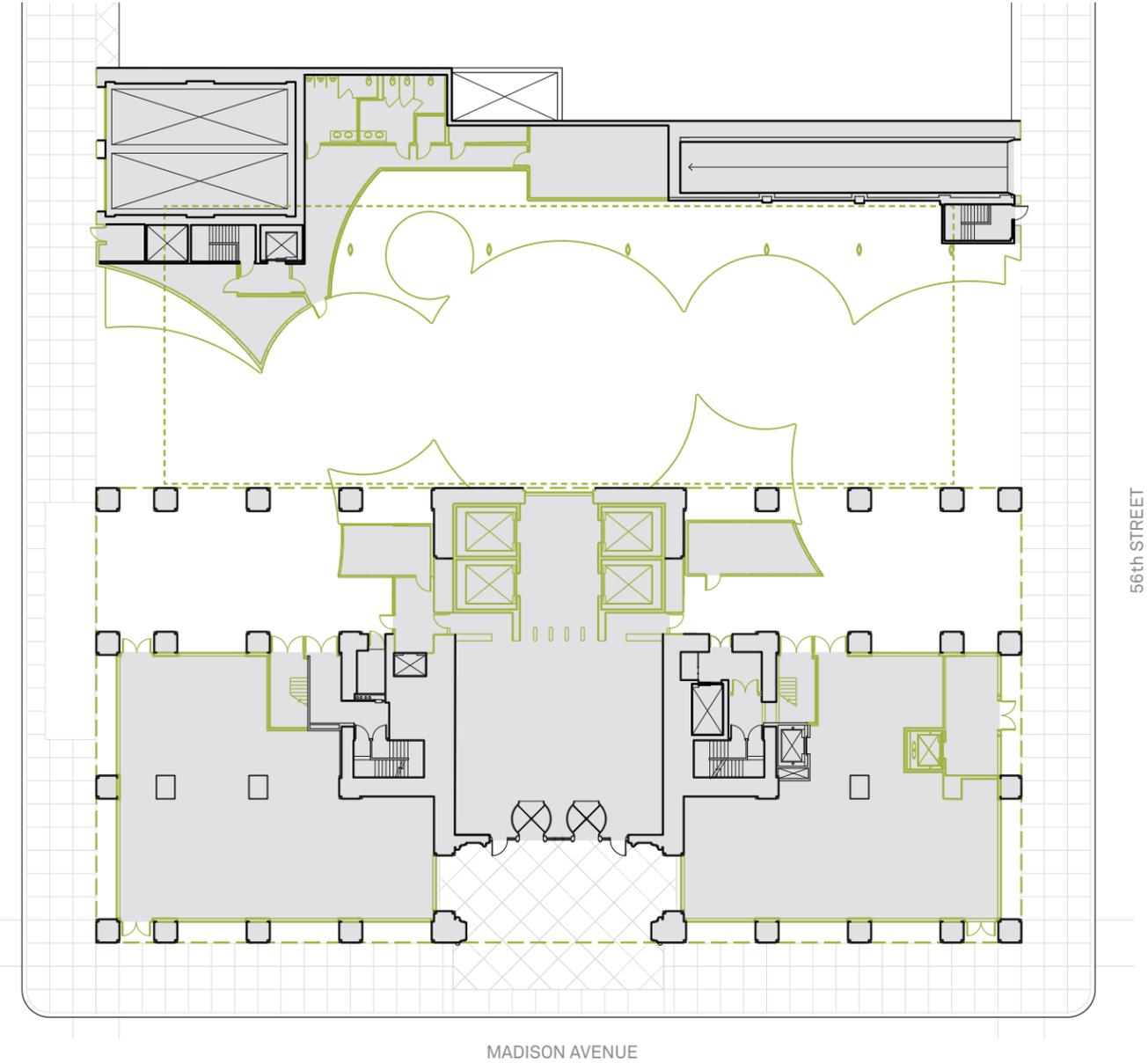
ENCLOSED COVERED PEDESTRIAN SPACE, 1994

Existing and Proposed Plans



EXISTING GROUND FLOOR PLAN

- Original to remain
- 1990's changes
- Proposed Design



PROPOSED GROUND FLOOR PLAN

1. Preserve And Revitalize The Landmarked Tower
2. Increase And Enliven Open Public Space
3. Improve On Alterations At Tower Base
4. Restore Original Site Design Intent

Overall Tower Views

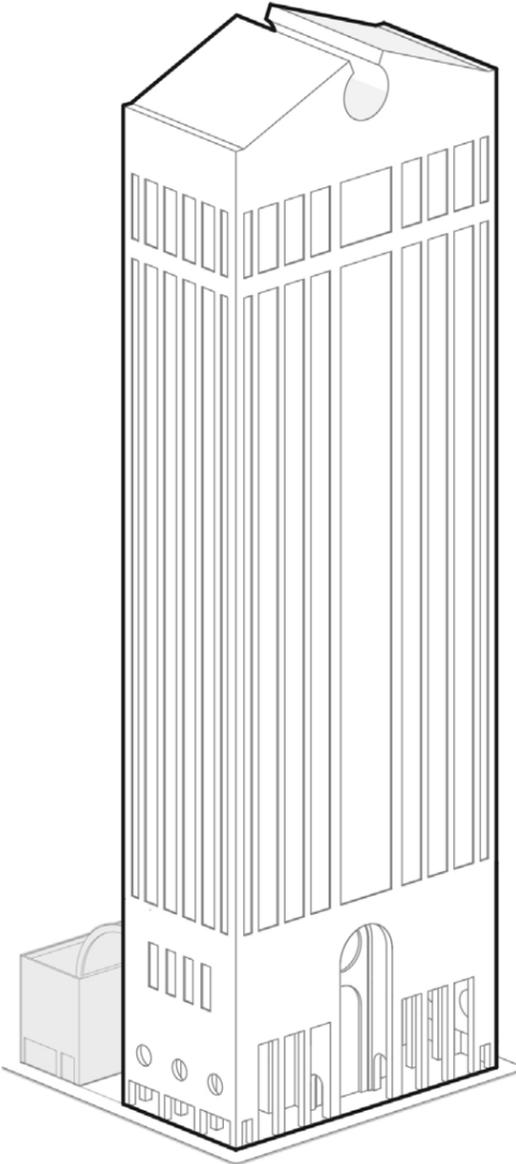


OVERALL TOWER - EXISTING



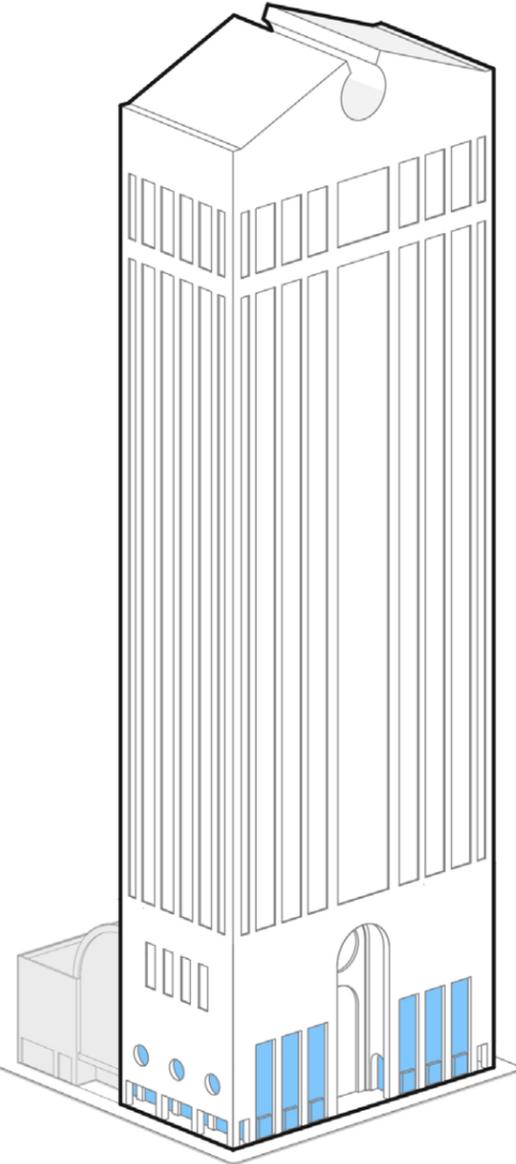
OVERALL TOWER - PROPOSED

Tower Changes Over Time



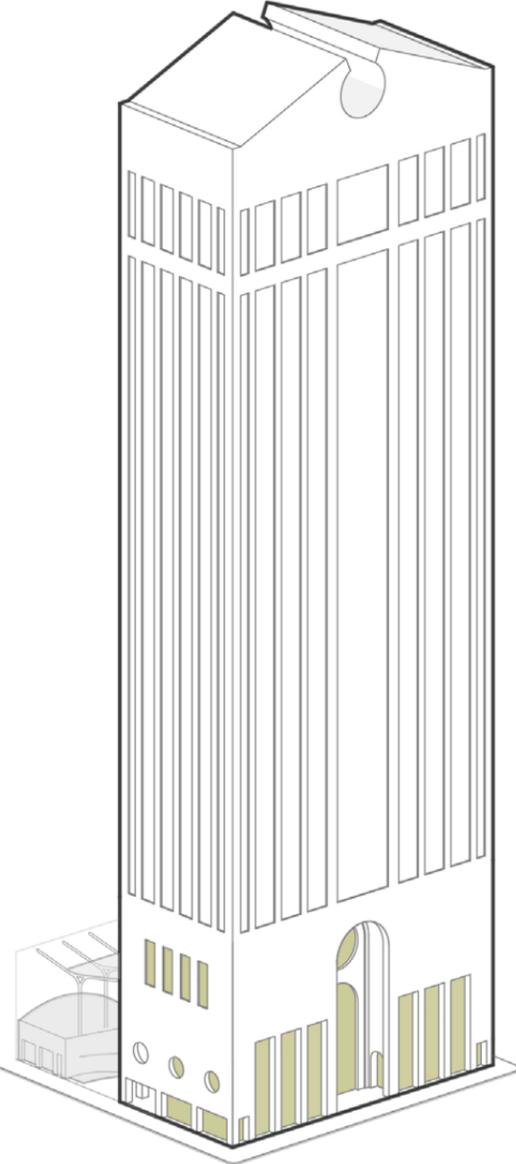
ORIGINAL

□ 1984



EXISTING

■ 1992
□ 1984



PROPOSED

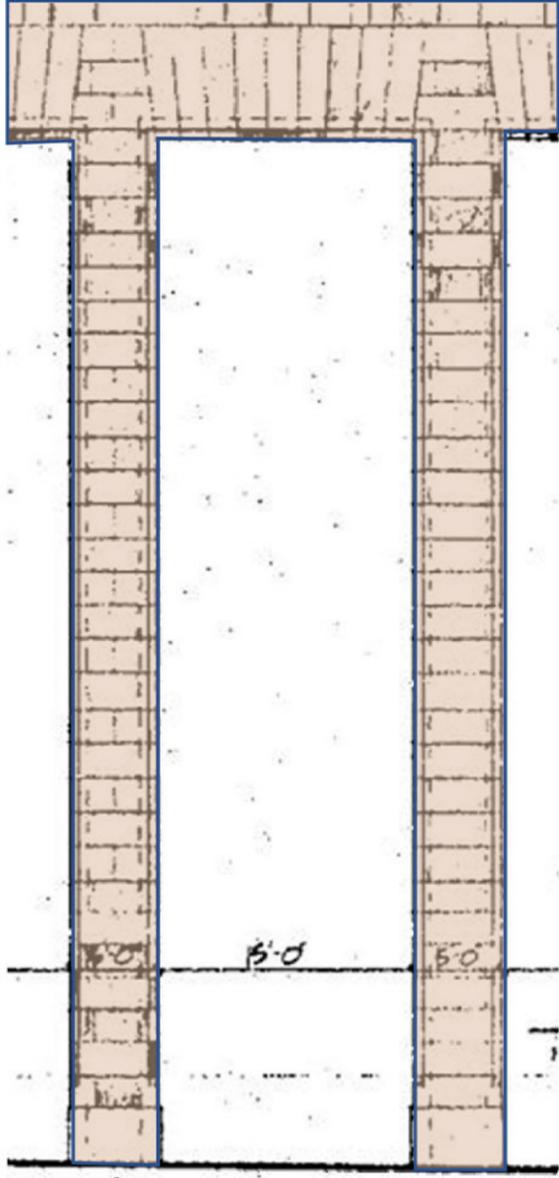
■ Proposed
□ 1984



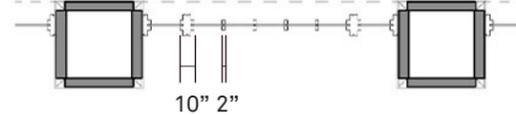
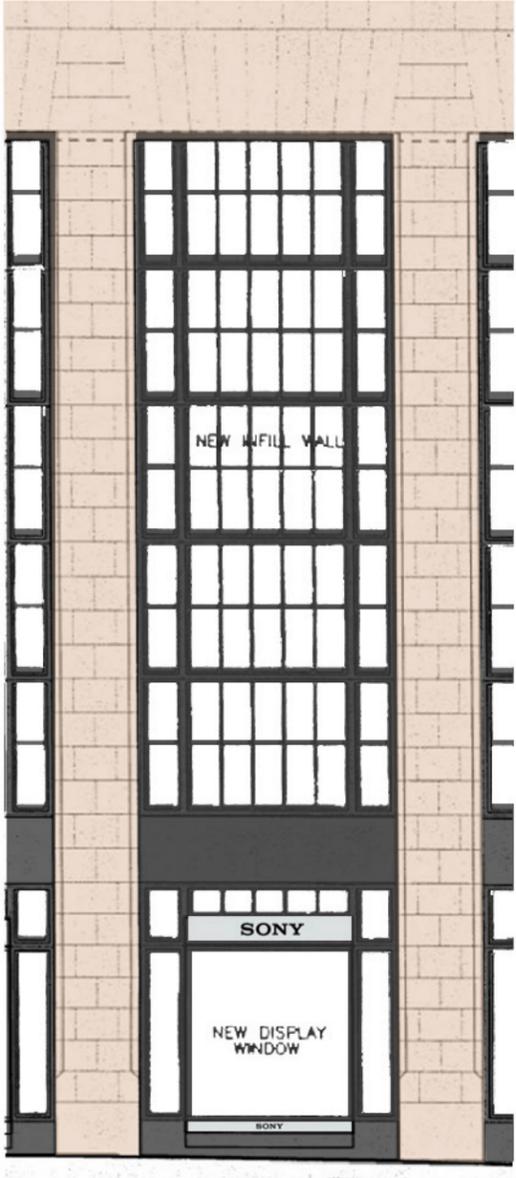




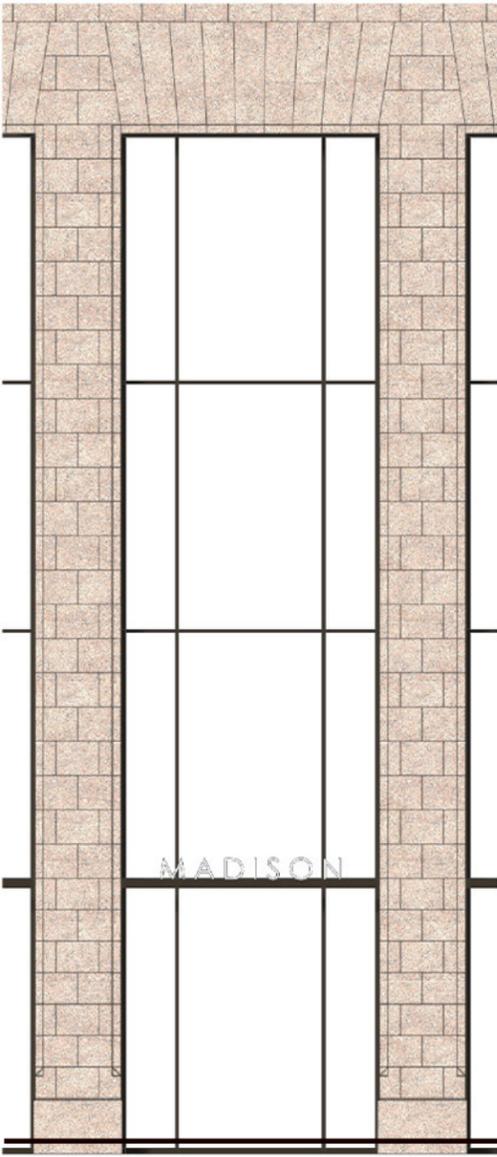
Madison Avenue Flat Arch Glazing



ORIGINAL

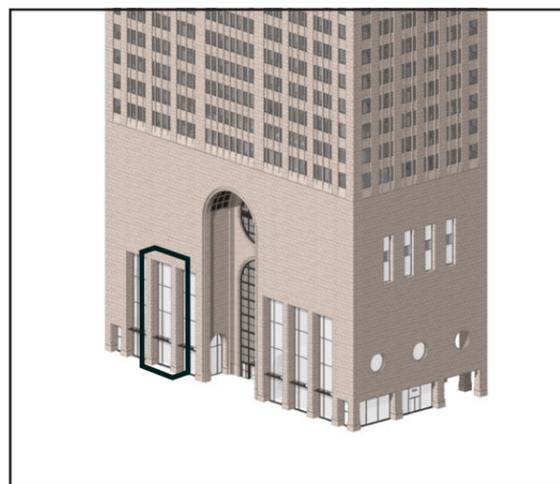
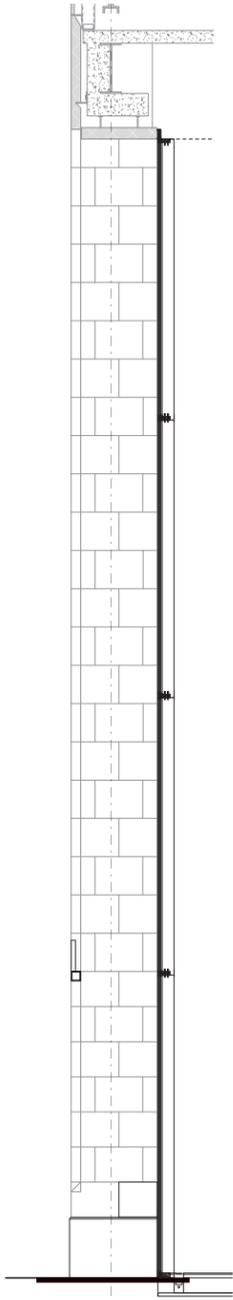
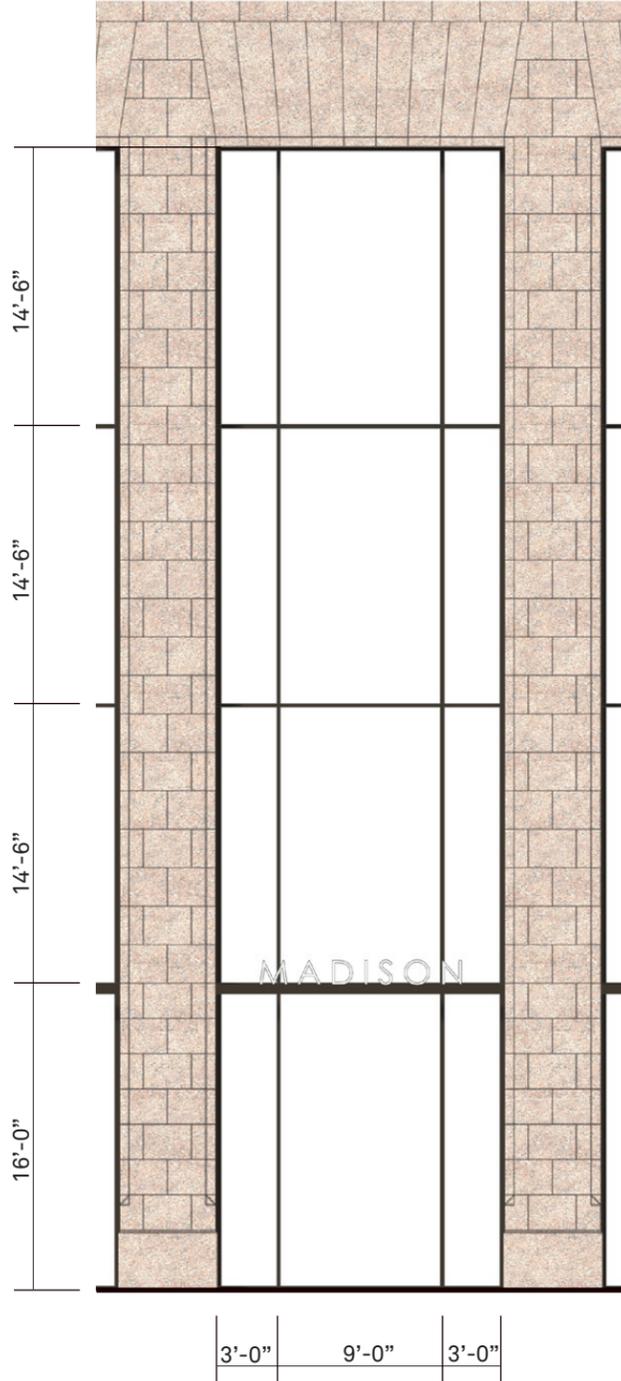
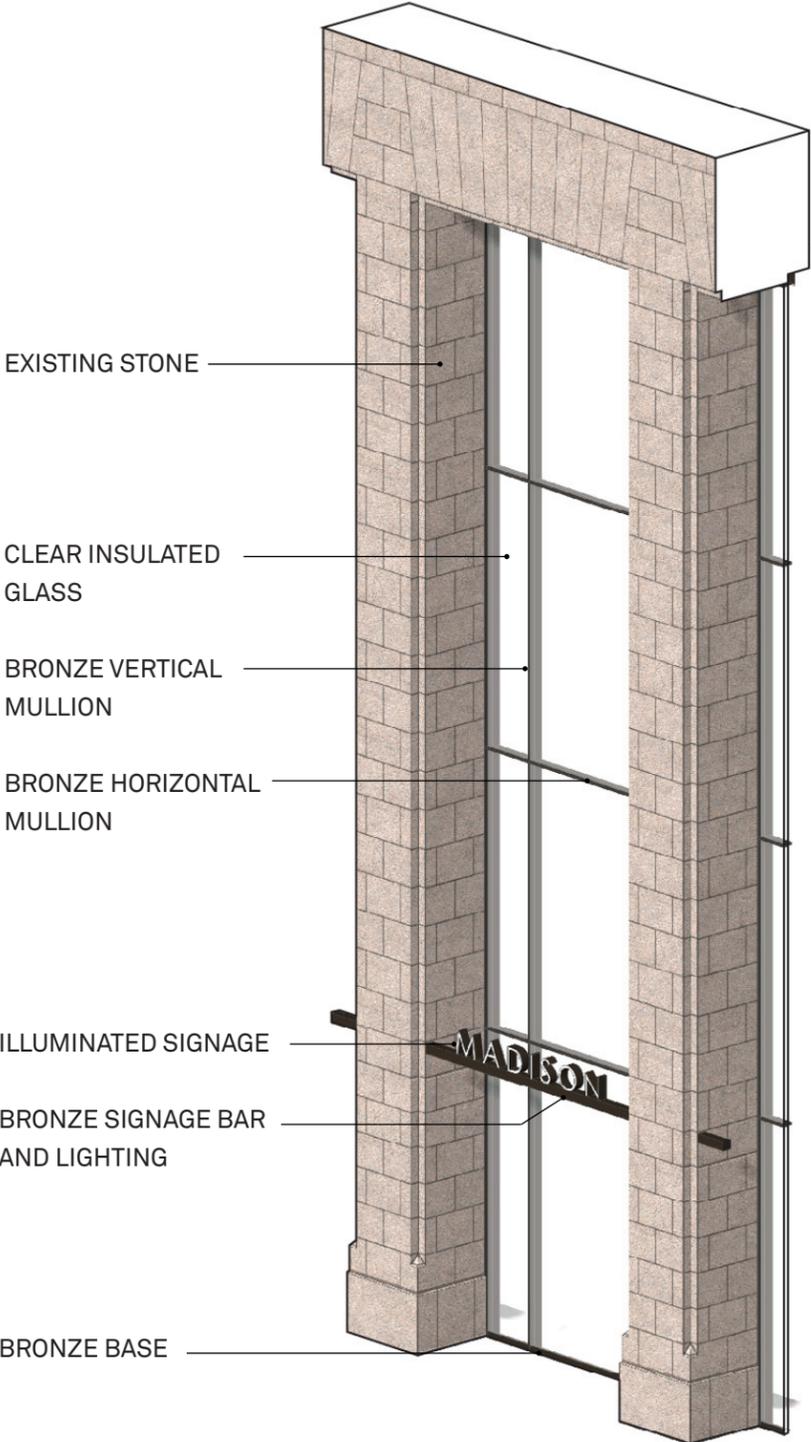


EXISTING

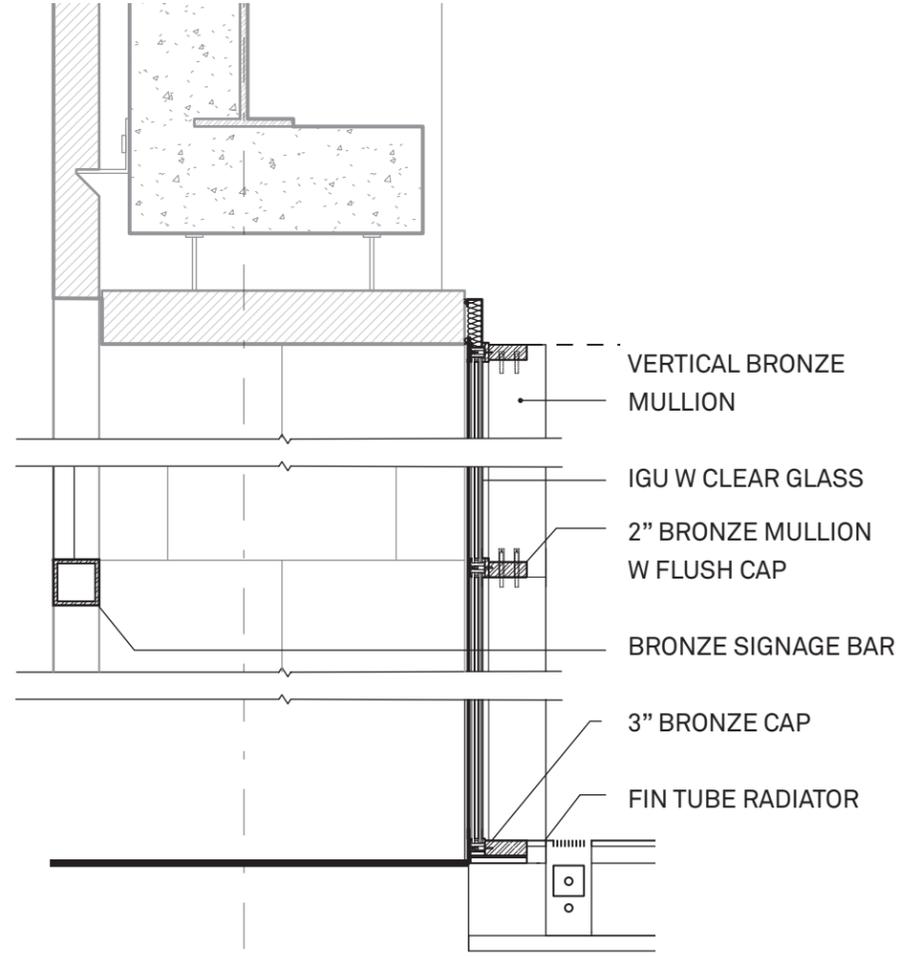


PROPOSED

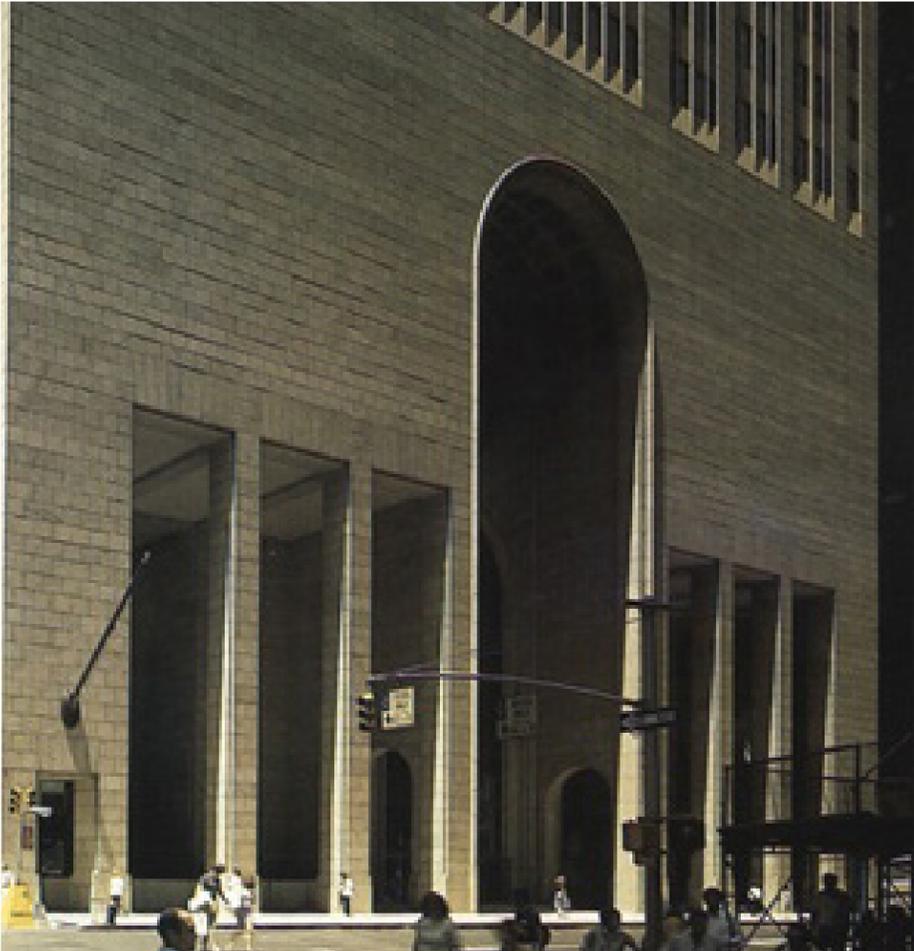
Flat Arch Glazing Details



KEY AXON



Madison Avenue - Overall Looking Northwest



ORIGINAL

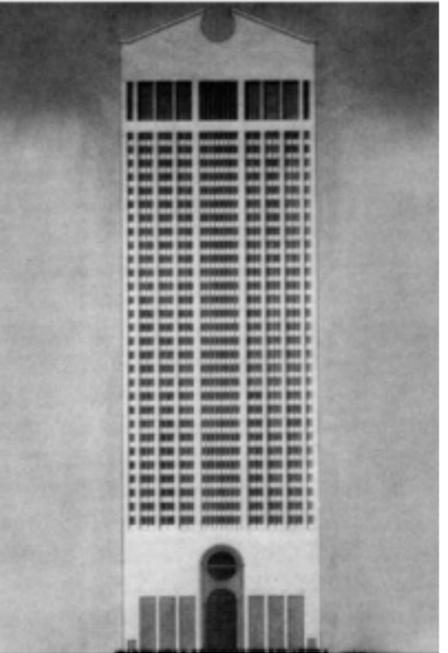
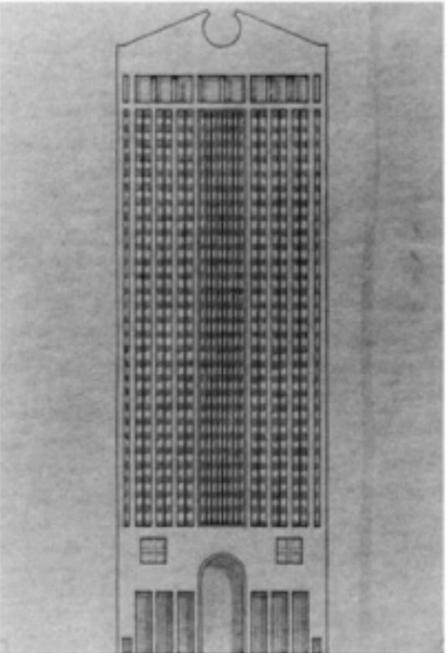
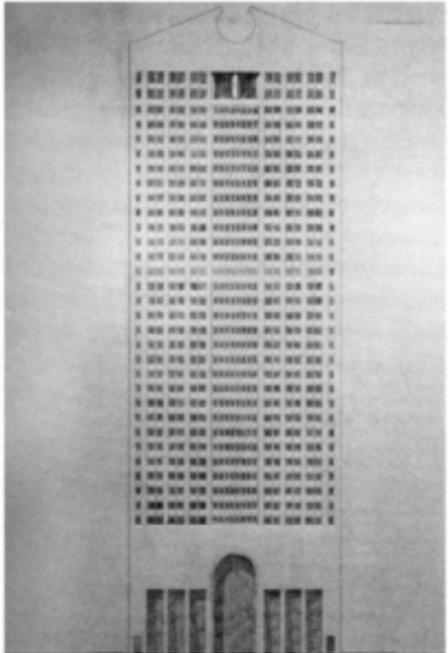
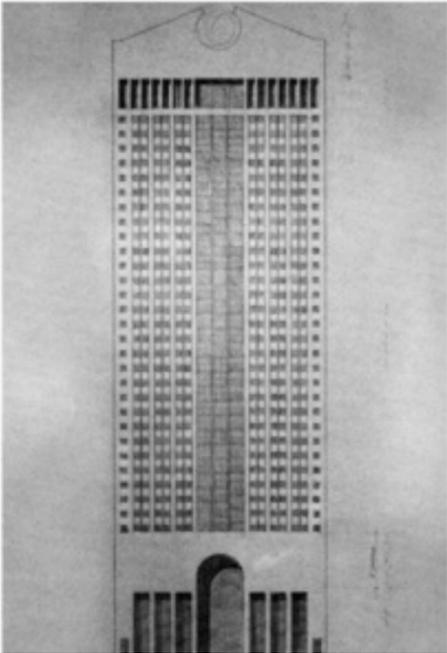
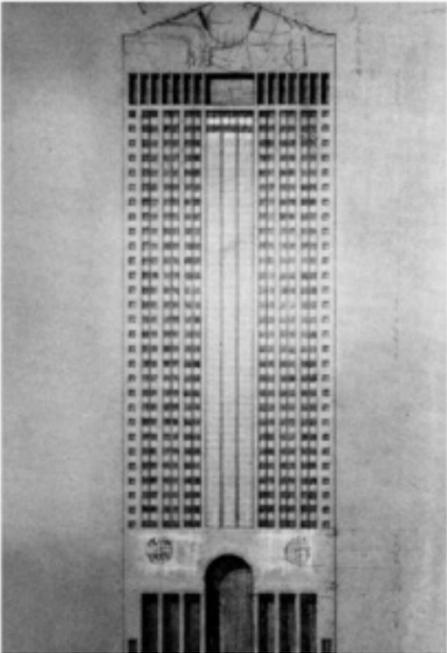
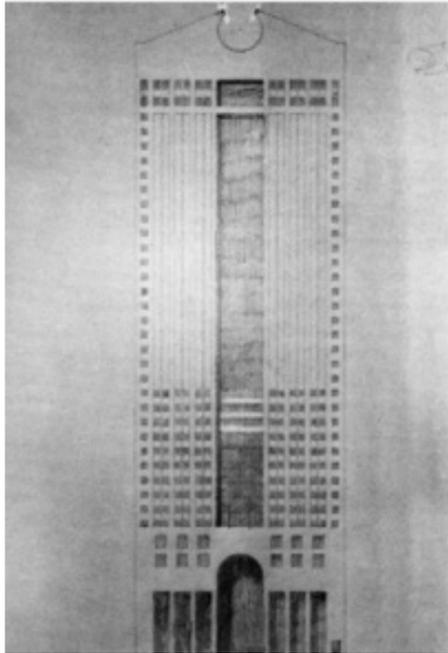
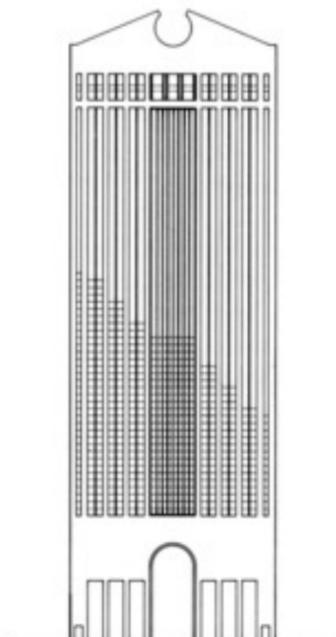
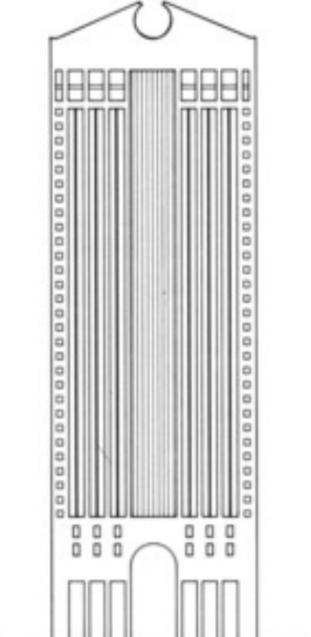
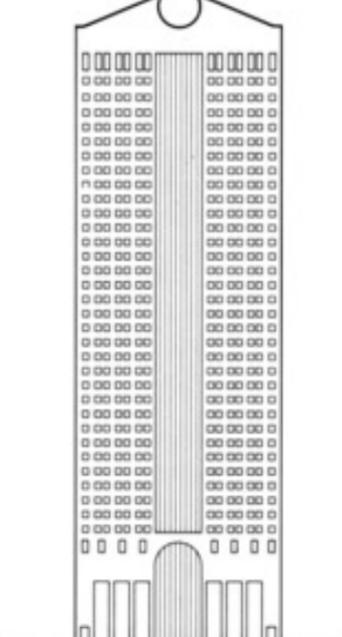
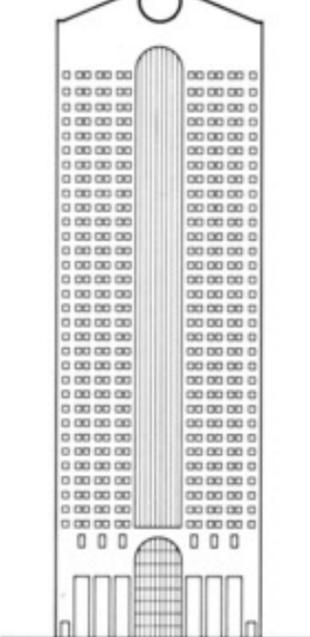
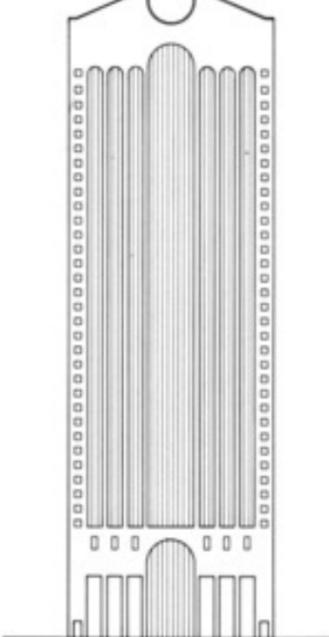
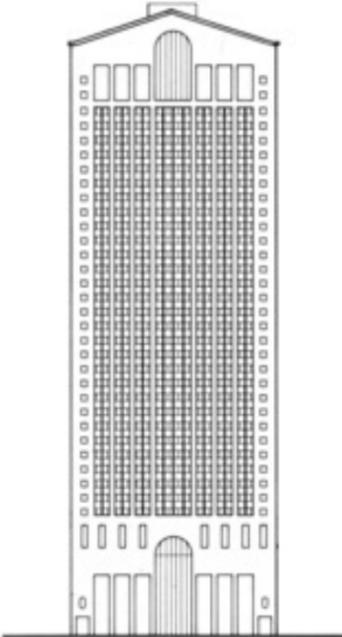


CURRENT

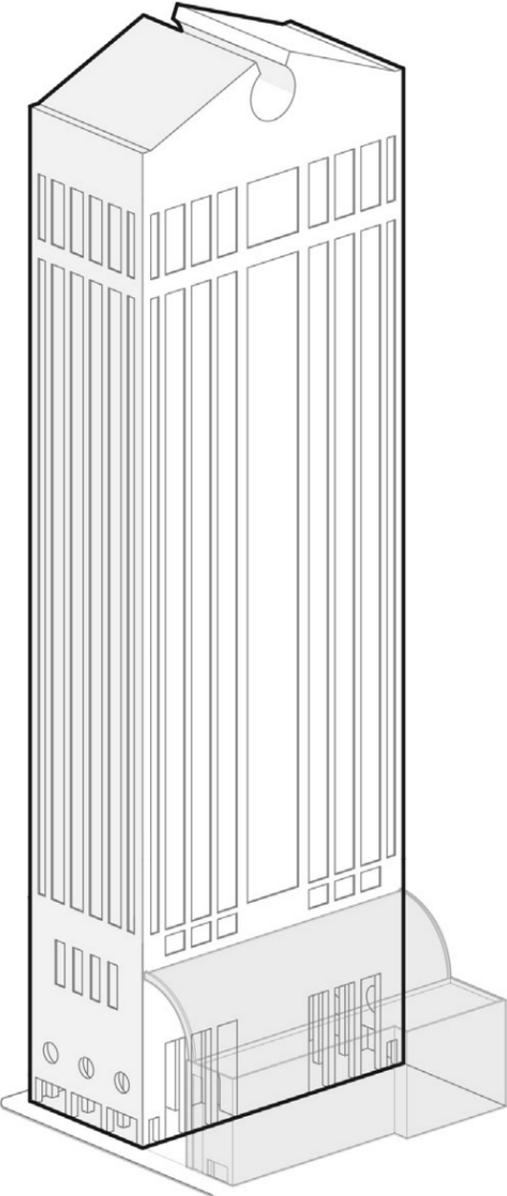


PROPOSED

Johnson Burgee Tower Studies

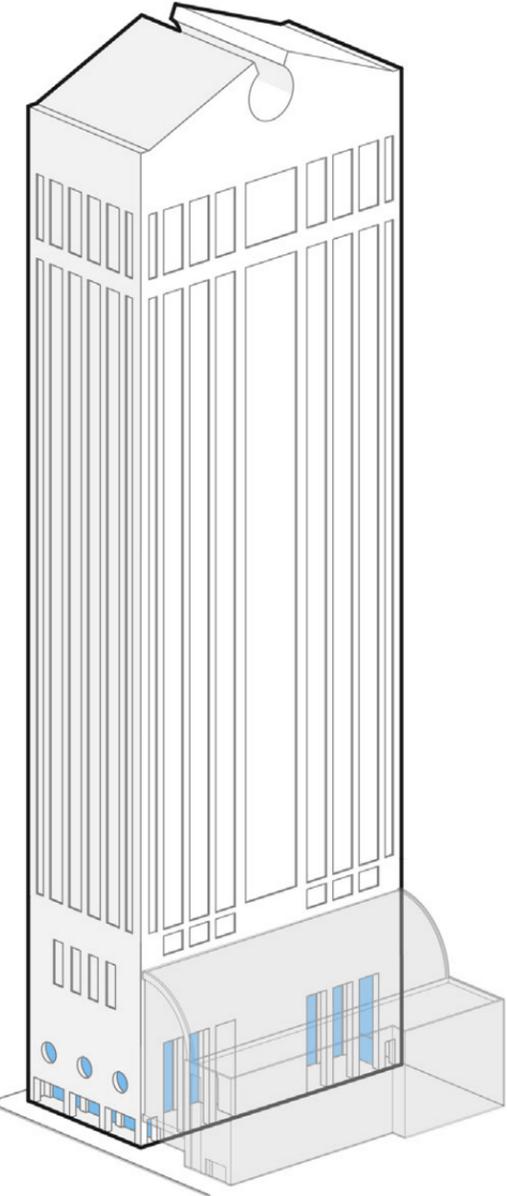


Tower Changes Over Time



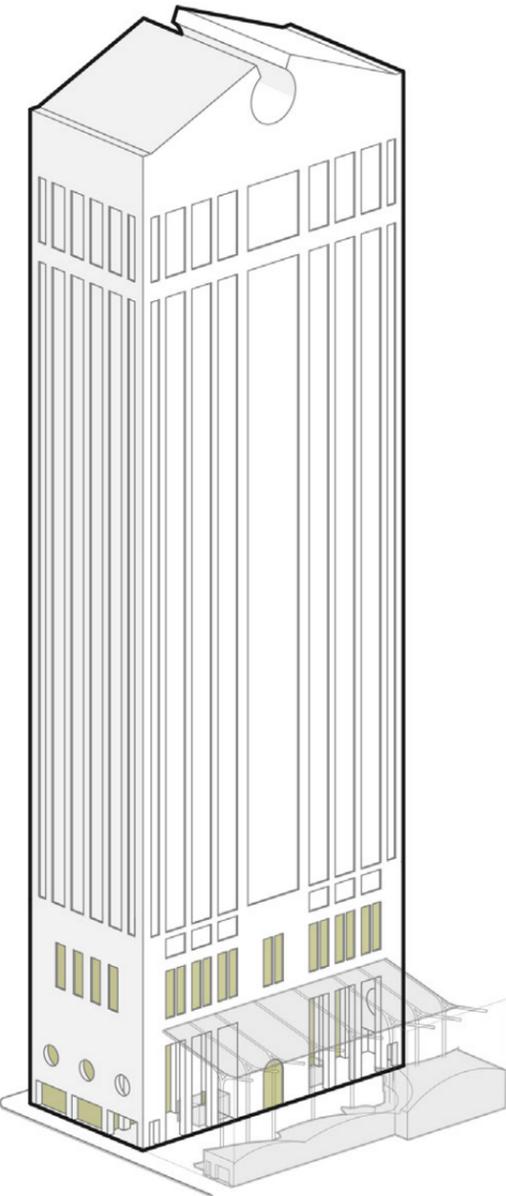
ORIGINAL

□ 1984



EXISTING

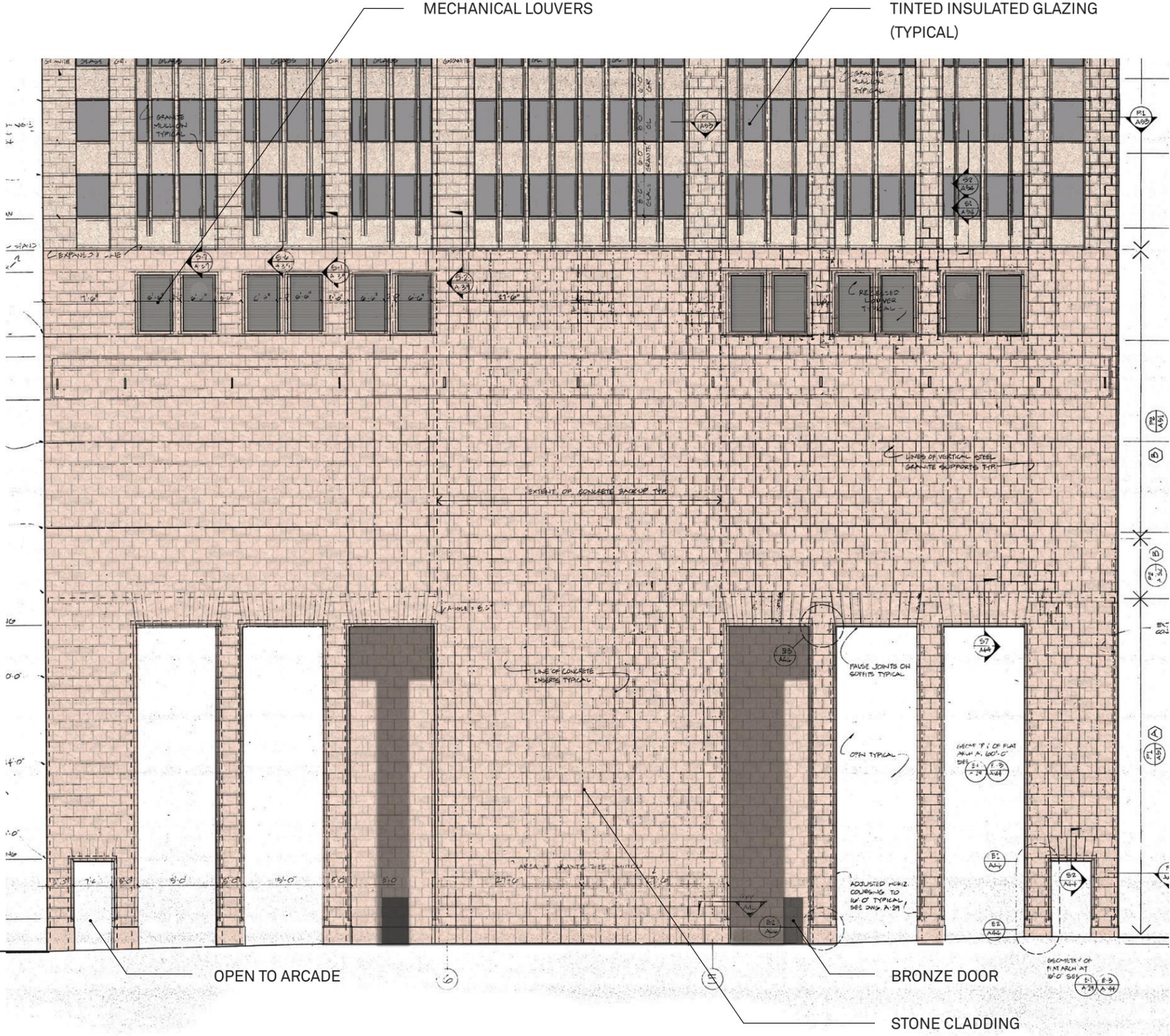
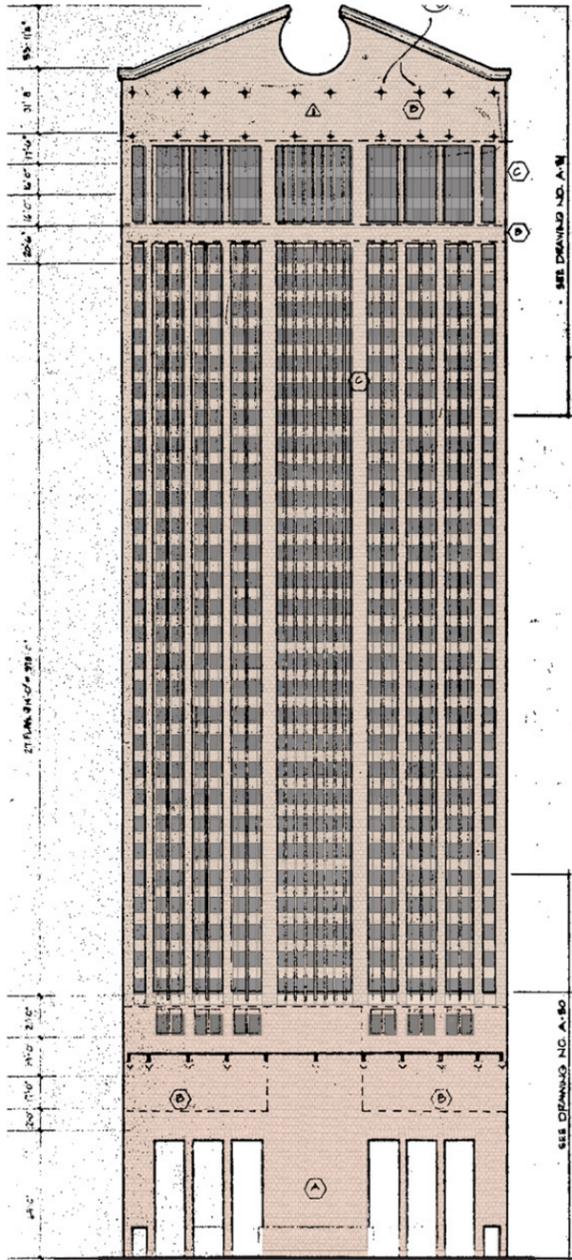
■ 1992
□ 1984



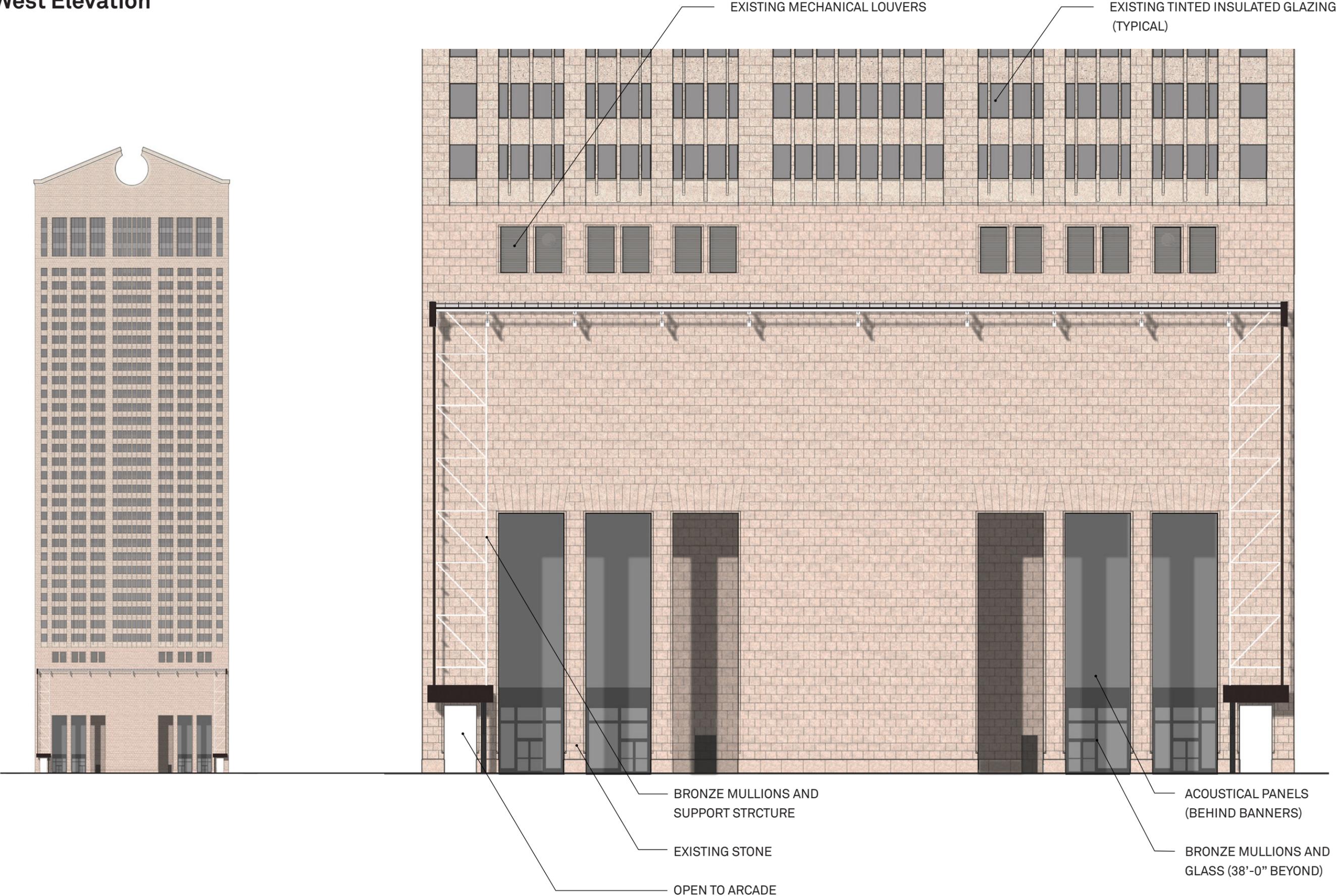
PROPOSED

■ Proposed
□ 1984

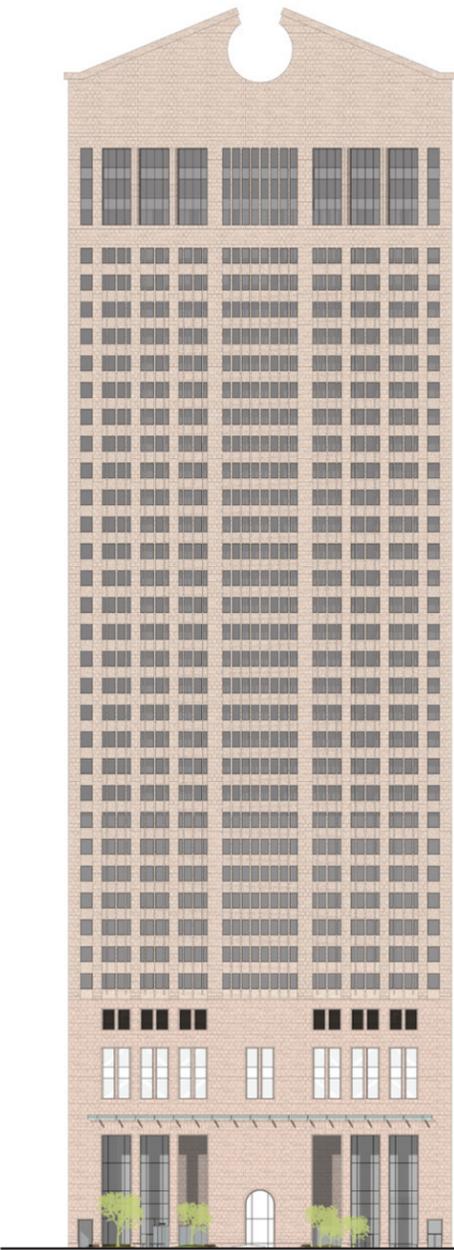
Original West Elevation



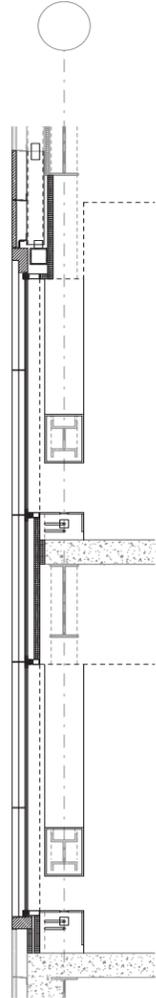
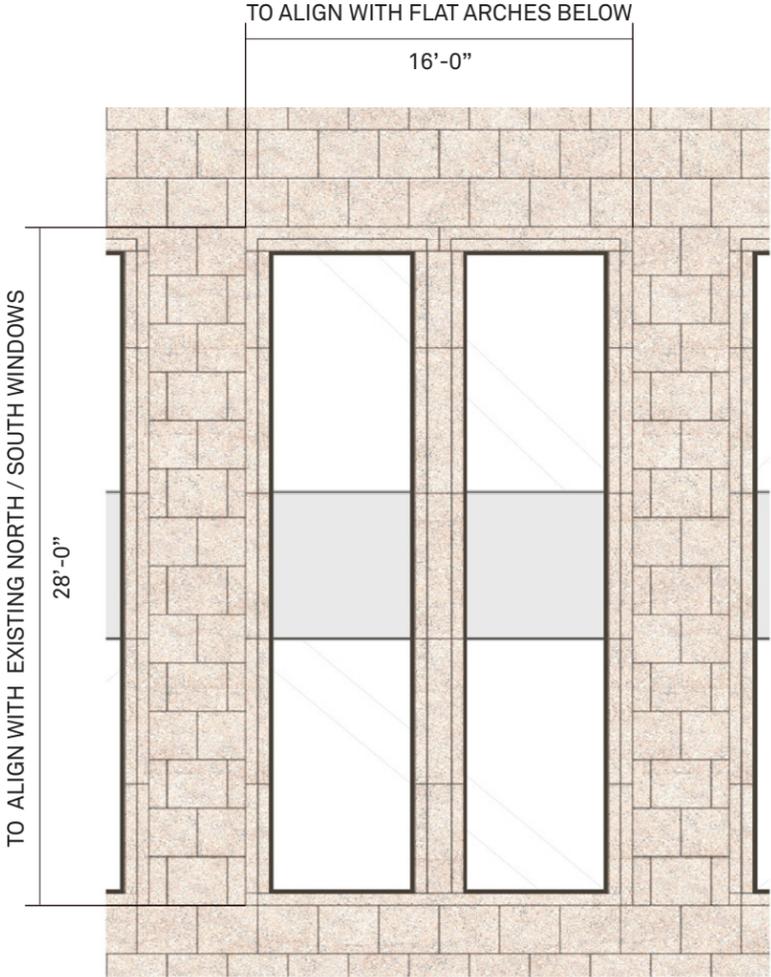
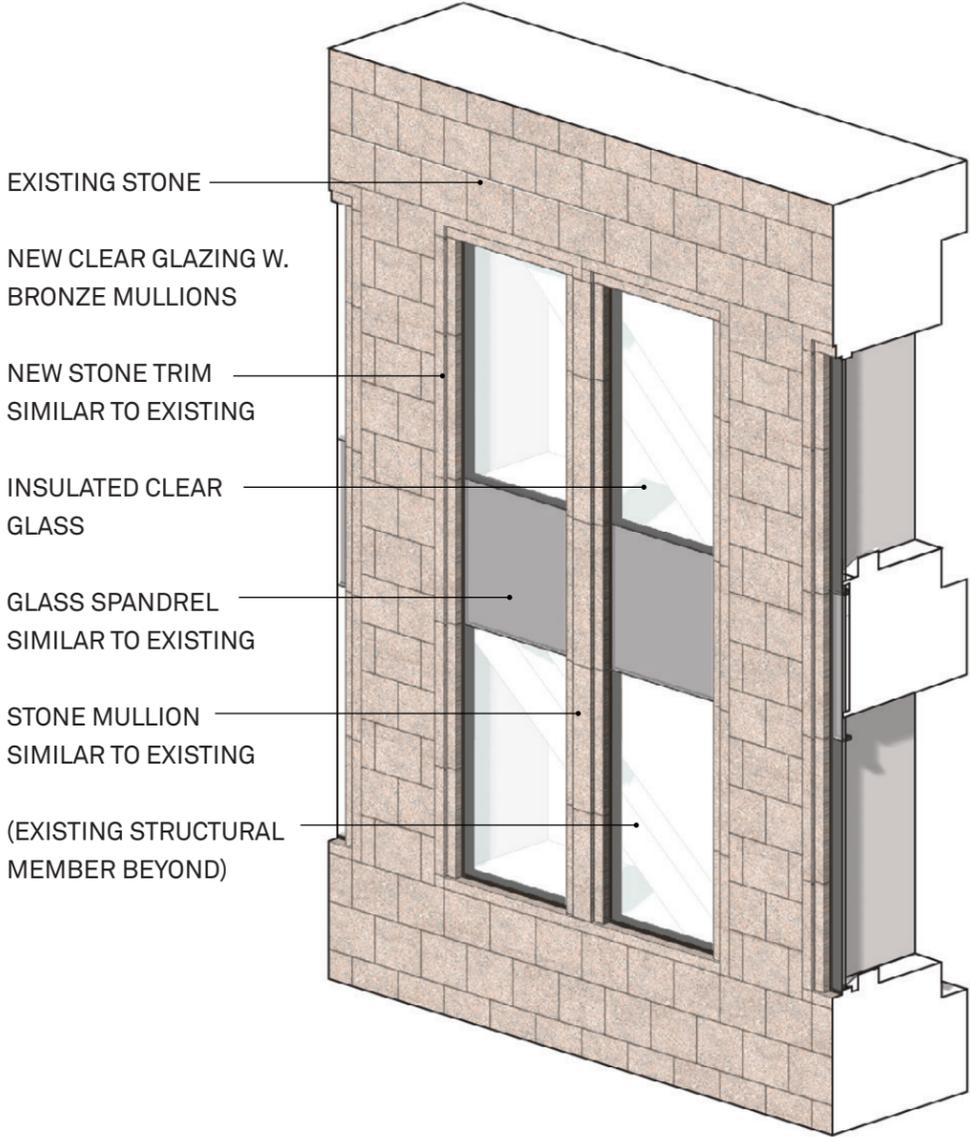
Existing West Elevation



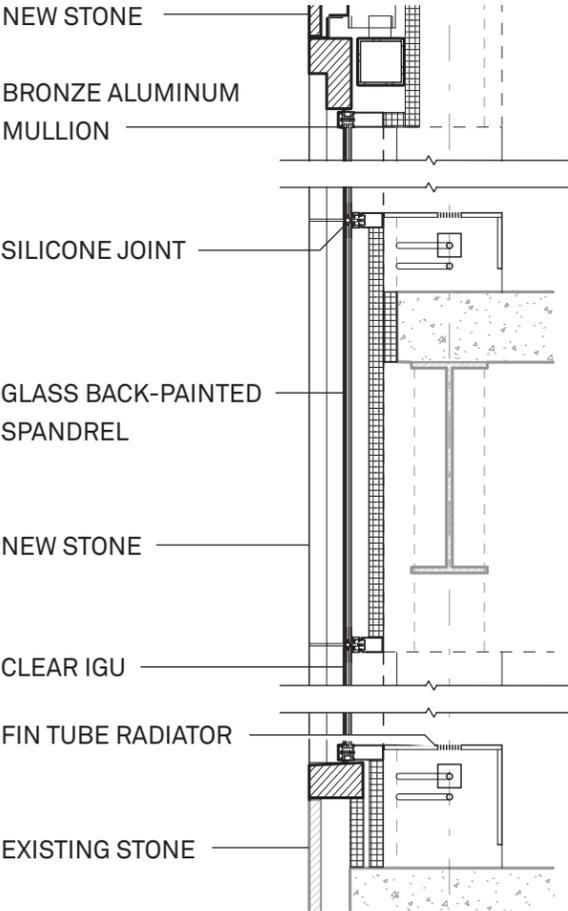
Proposed West Elevation



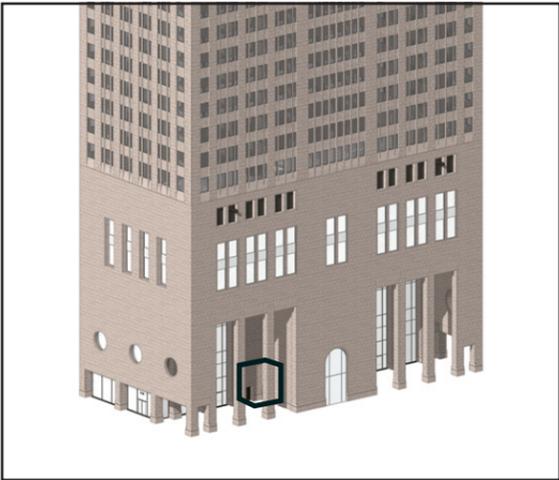
Sky Lobby / Amenity Glazing Details



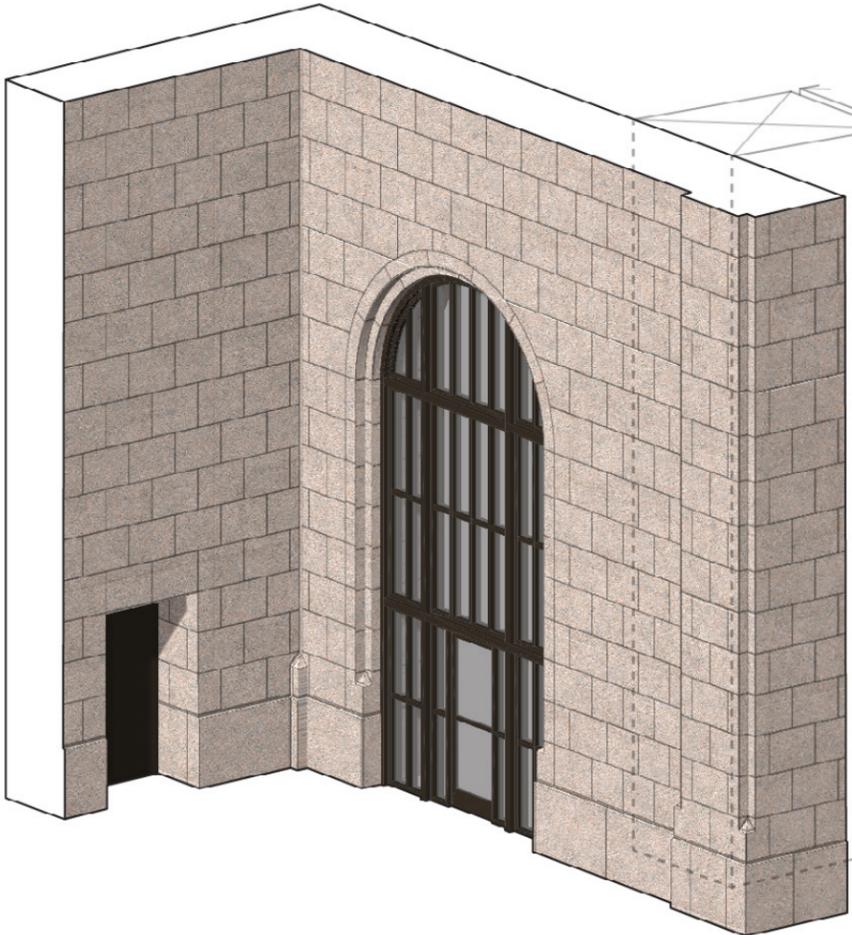
KEY AXON



CPS to Lobby Entry Details



KEY AXON



EXISTING

NEW ELEVATORS

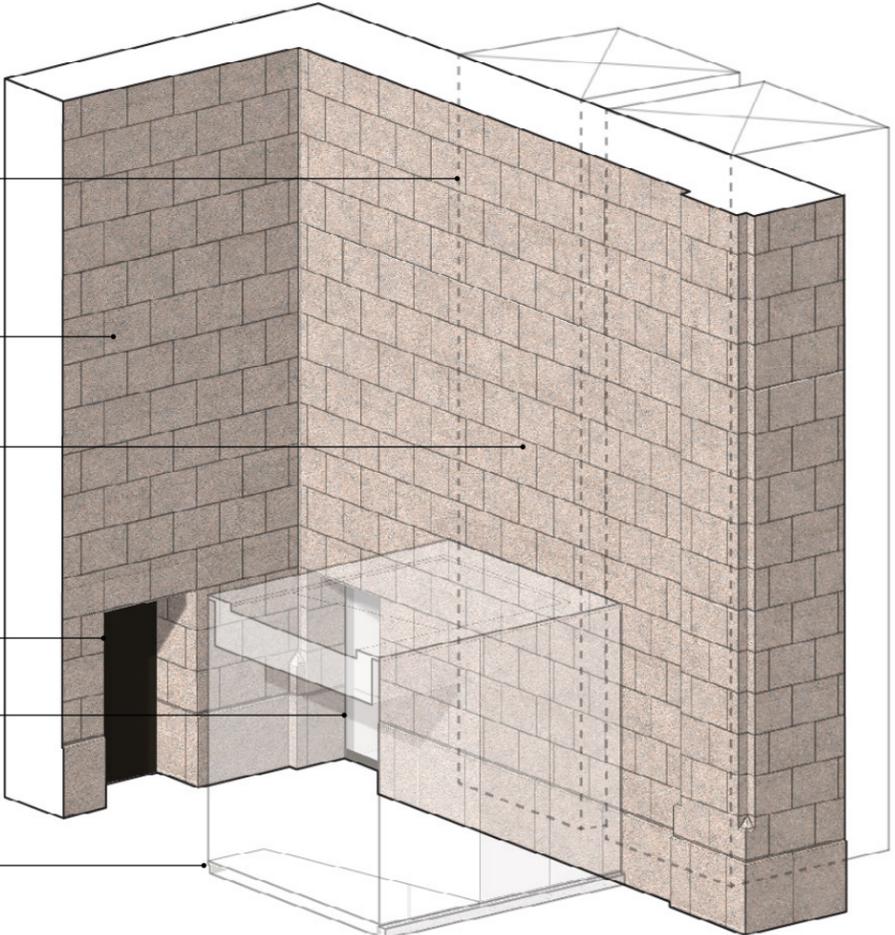
EXISTING STONE

PATCHED INFILL WITH SALVAGED STONE

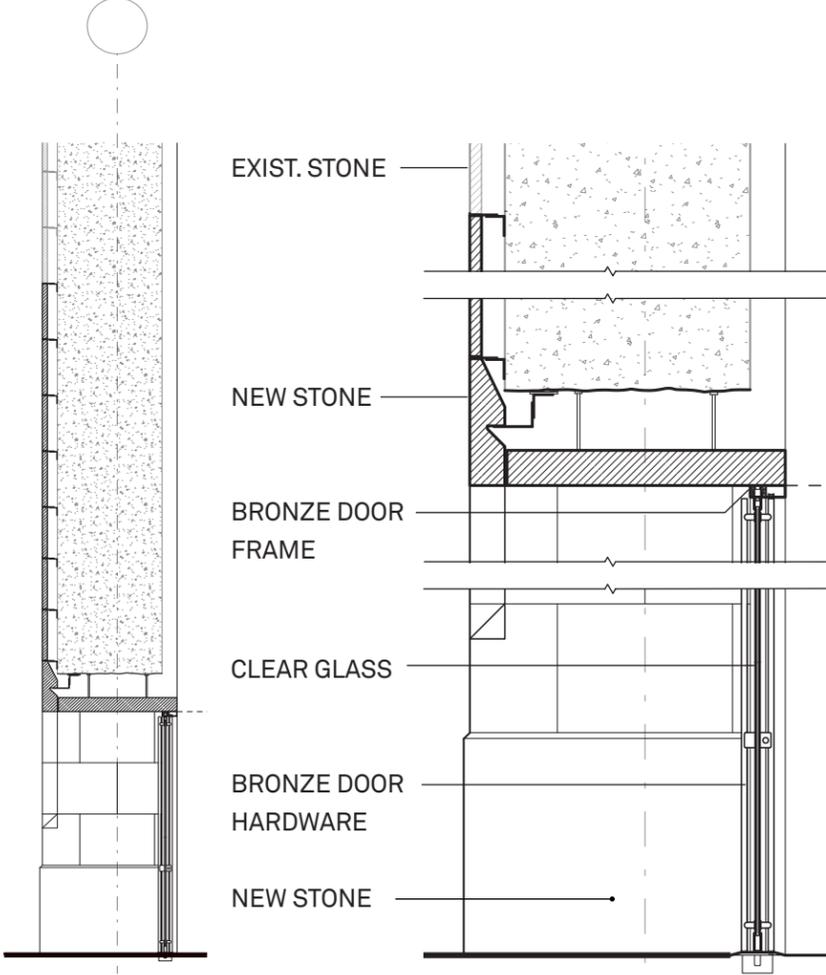
EXISTING DOOR OPENING

GLASS DOOR WITH BRONZE FRAME AND HARDWARE

(RETAIL KIOSK)



PROPOSED



EXIST. STONE

NEW STONE

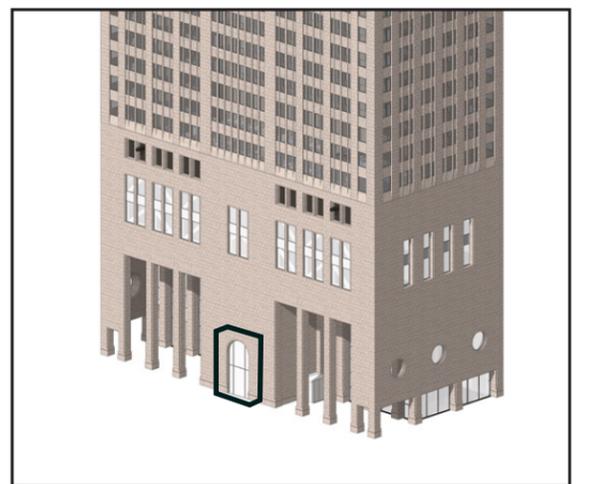
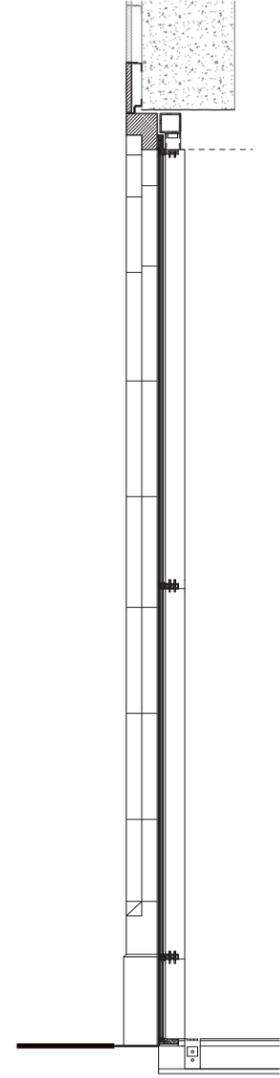
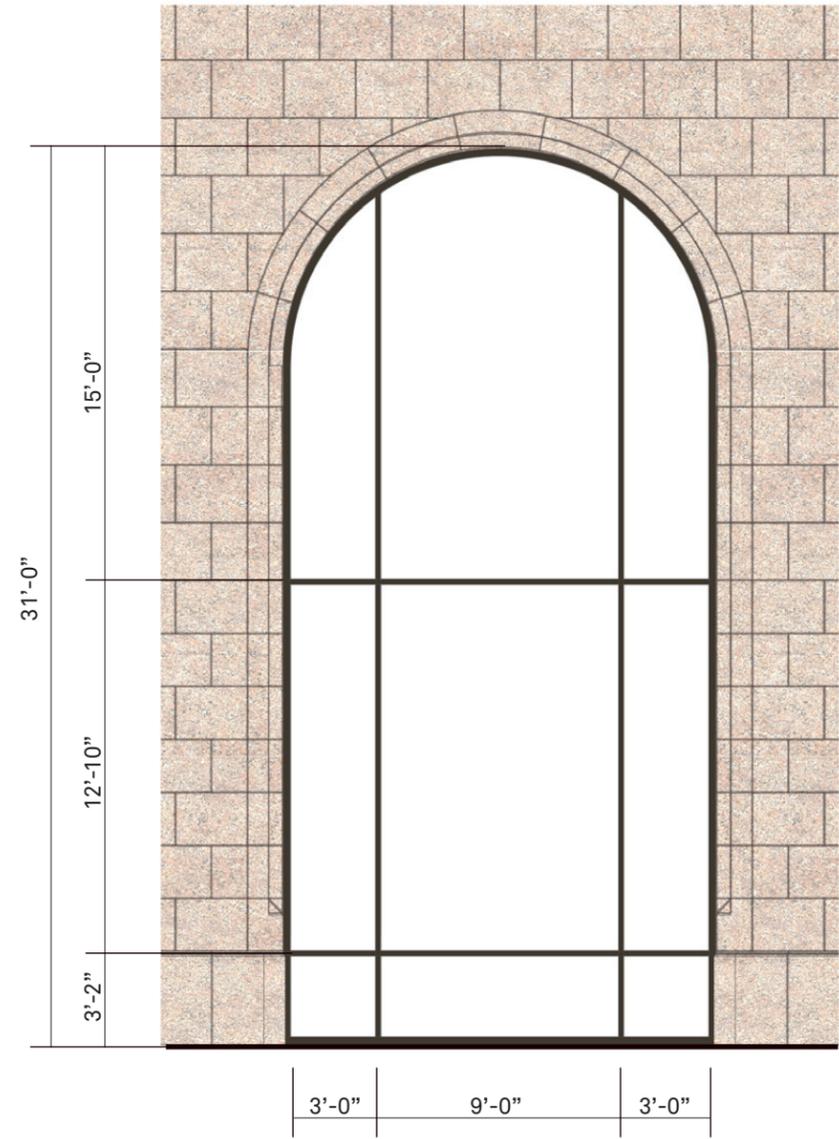
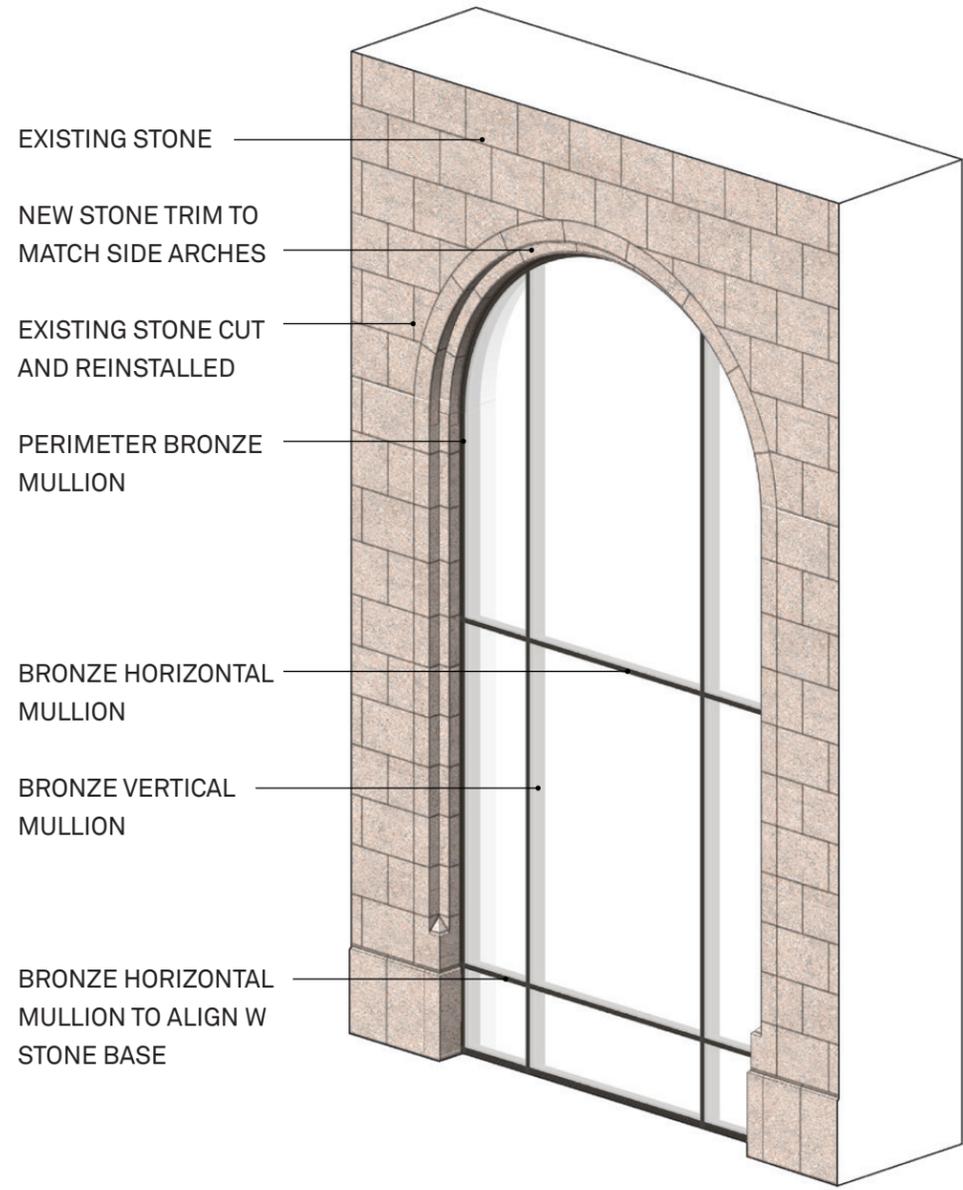
BRONZE DOOR FRAME

CLEAR GLASS

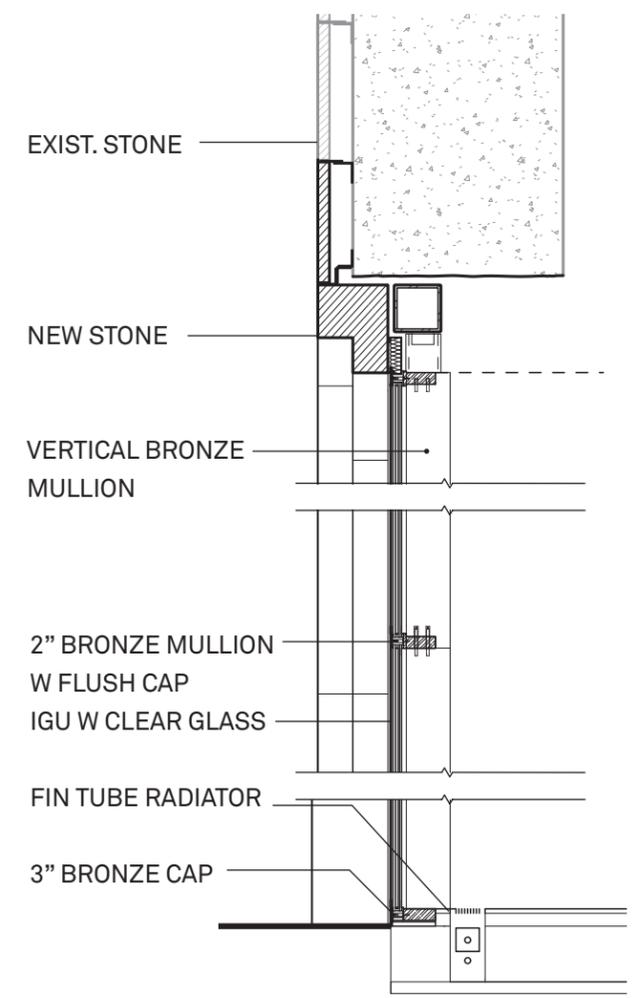
BRONZE DOOR HARDWARE

NEW STONE

Picture Window Glazing Details

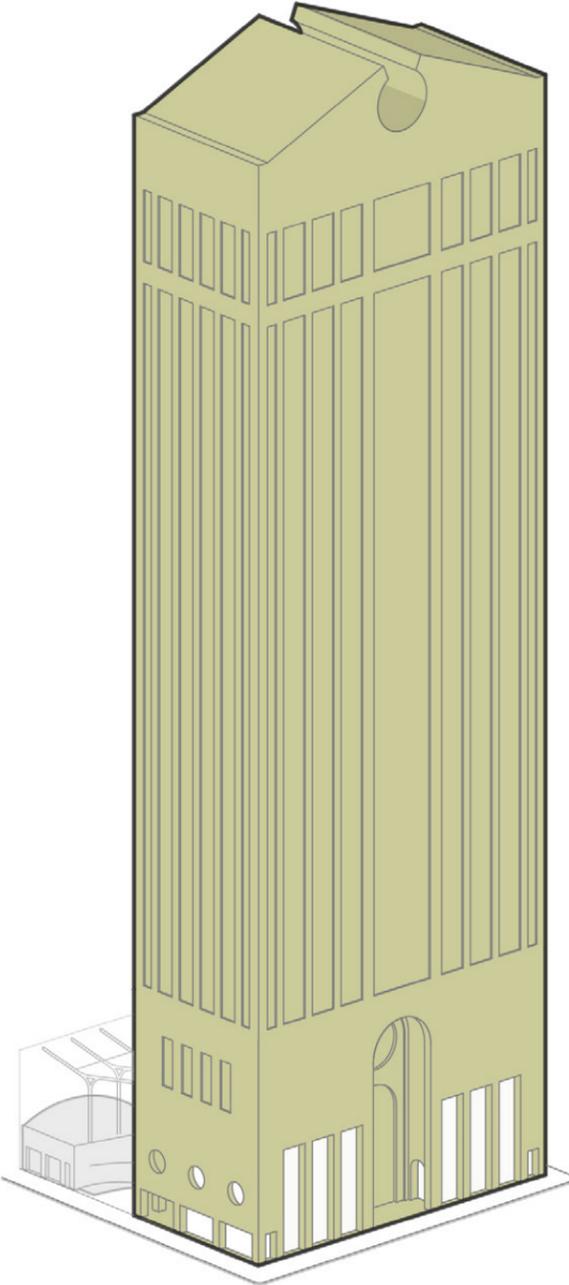


KEY AXON

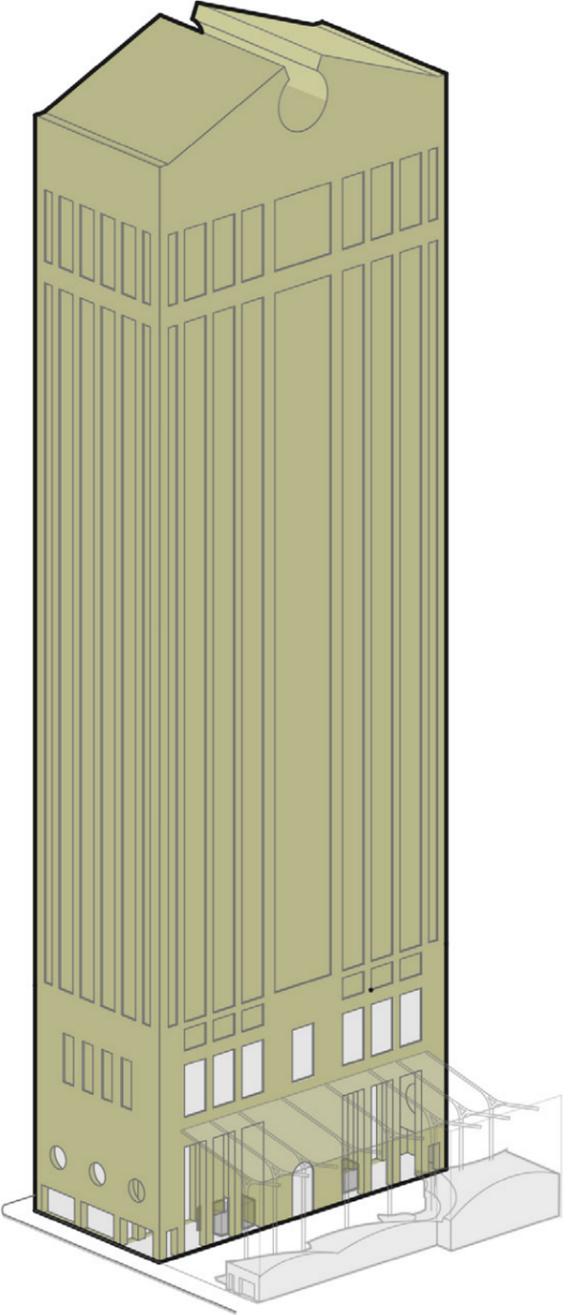




Preserving the Tower



MADISON AVE

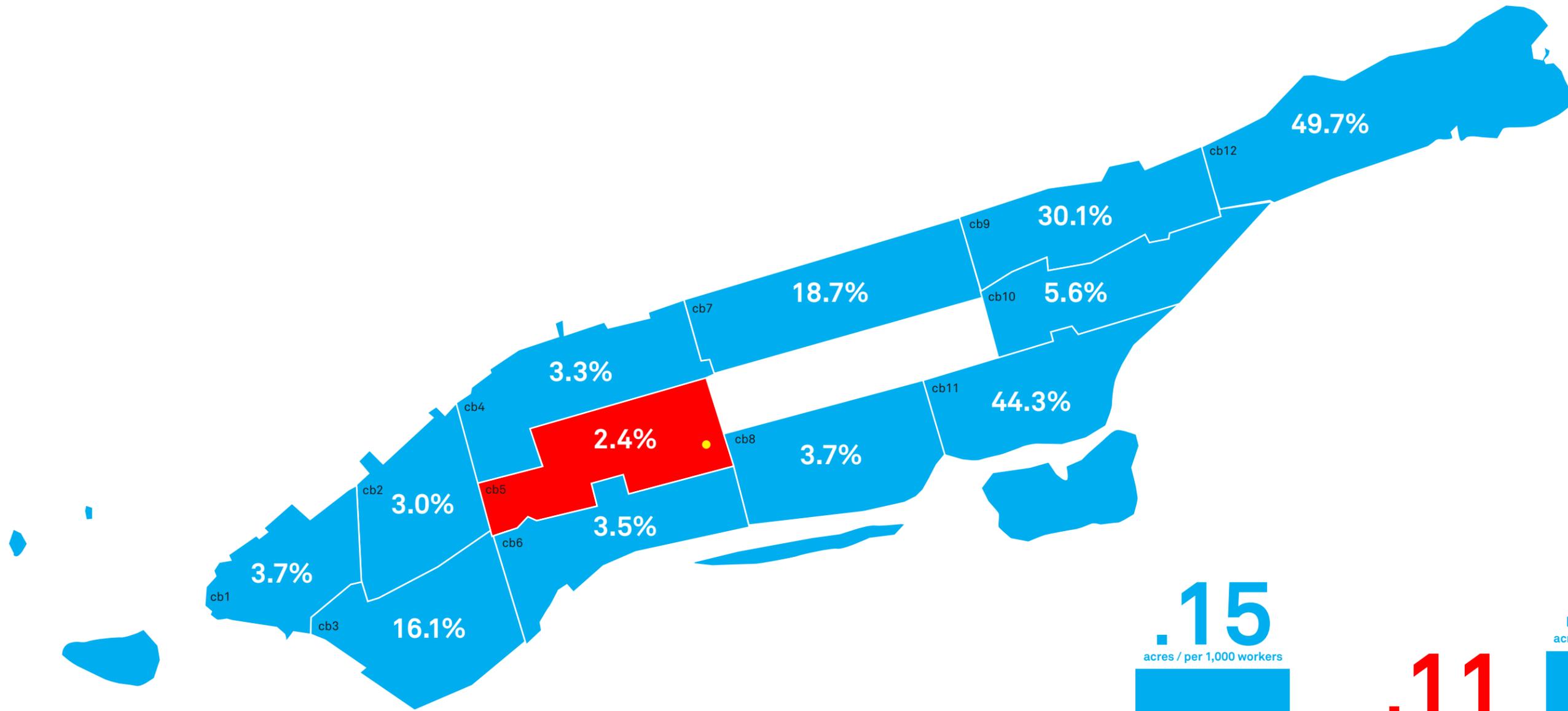


PUBLIC SPACE

94%
of the original Tower
surface area will
remain unchanged
from the original.

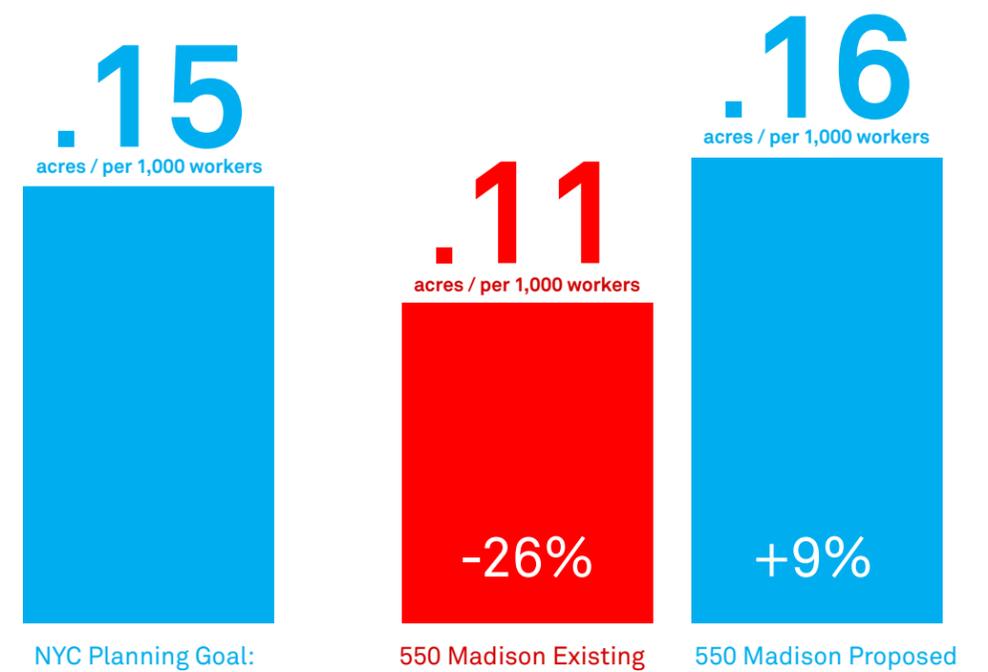
- Original to remain
- Proposed changes

Neighborhood Open Space Needs



Community Board 5 has the least amount of land dedicated to Open & Recreation Space in Manhattan

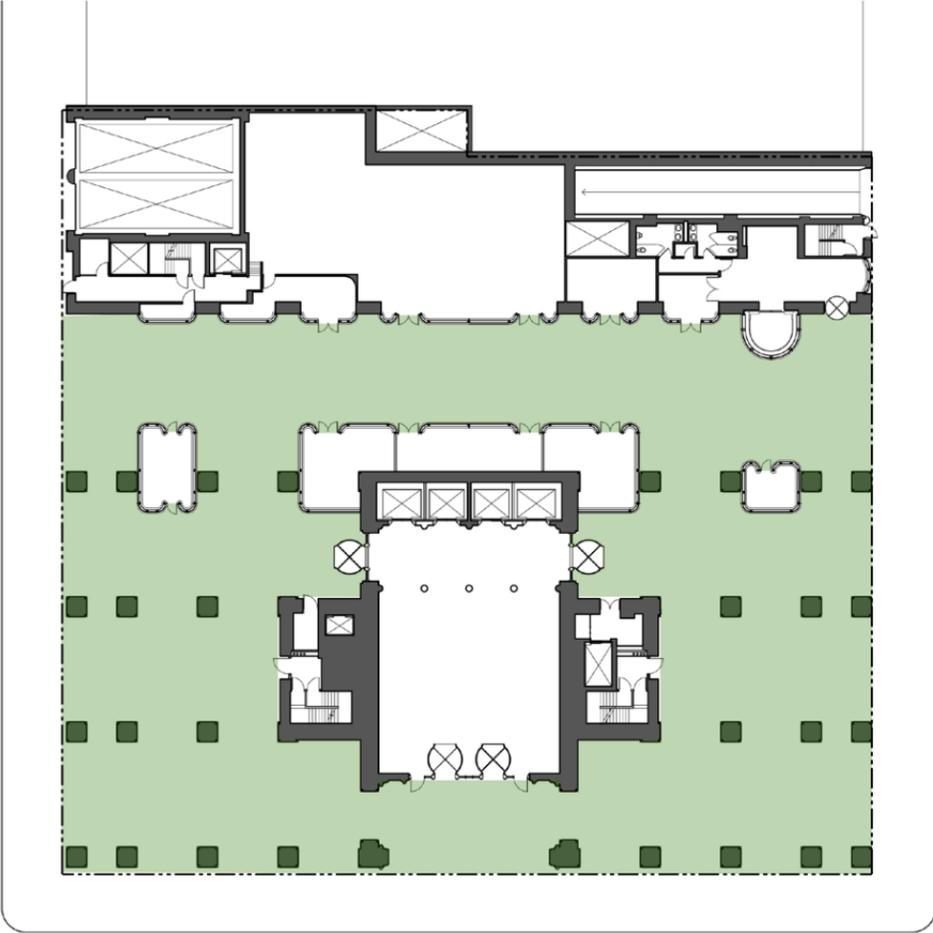
Sources: NYC Planning Community District Profiles 2017, HudsonYardsNewYork.



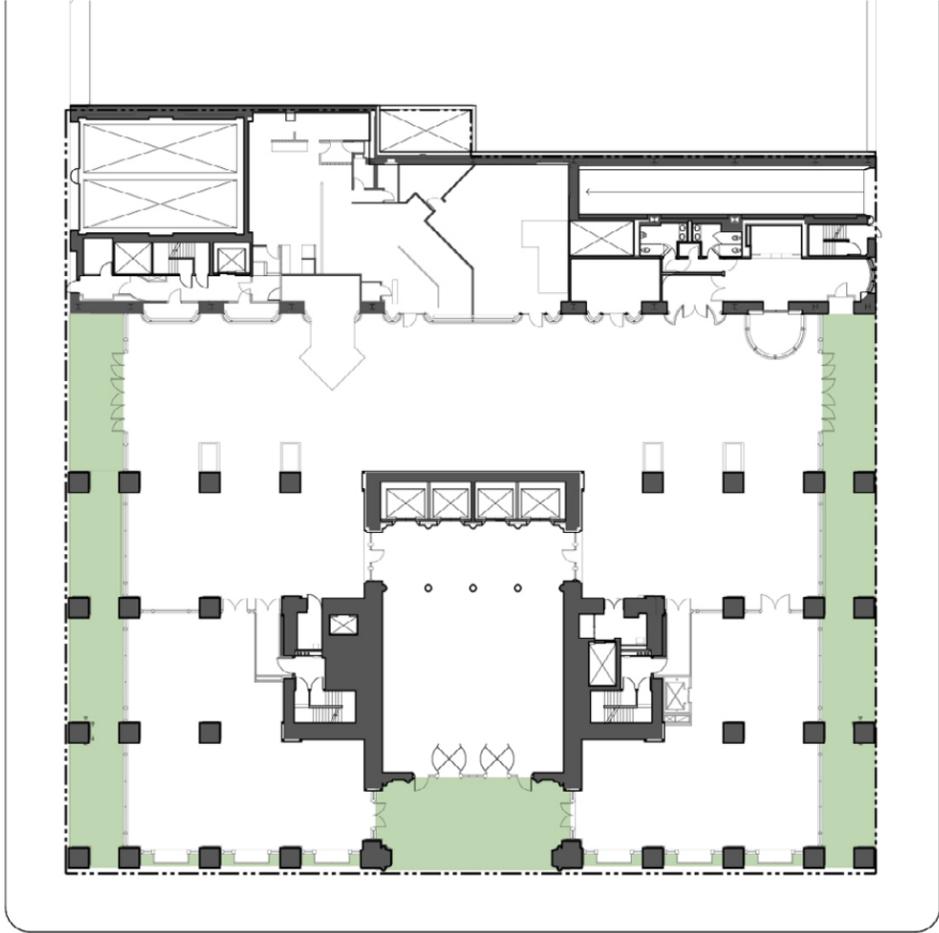
Neighboring Outdoor Spaces



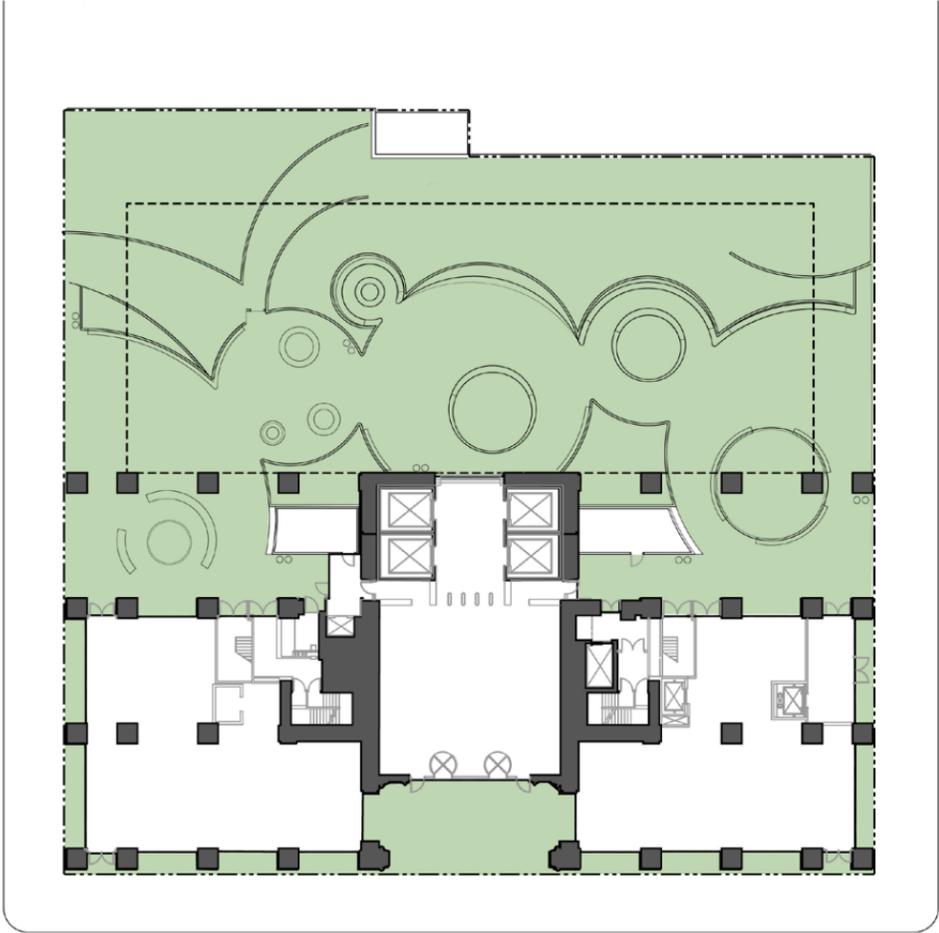
Consolidating Outdoor Public Space



ORIGINAL PLAN 1984 (OUTDOOR PUBLIC SPACE~20,500 SF)



EXISTING PLAN (OUTDOOR PUBLIC SPACE~4,500 SF)



PROPOSED PLAN (OUTDOOR PUBLIC SPACE: ~21,300 SF)

Context



Designed Landscapes with Philip Johnson



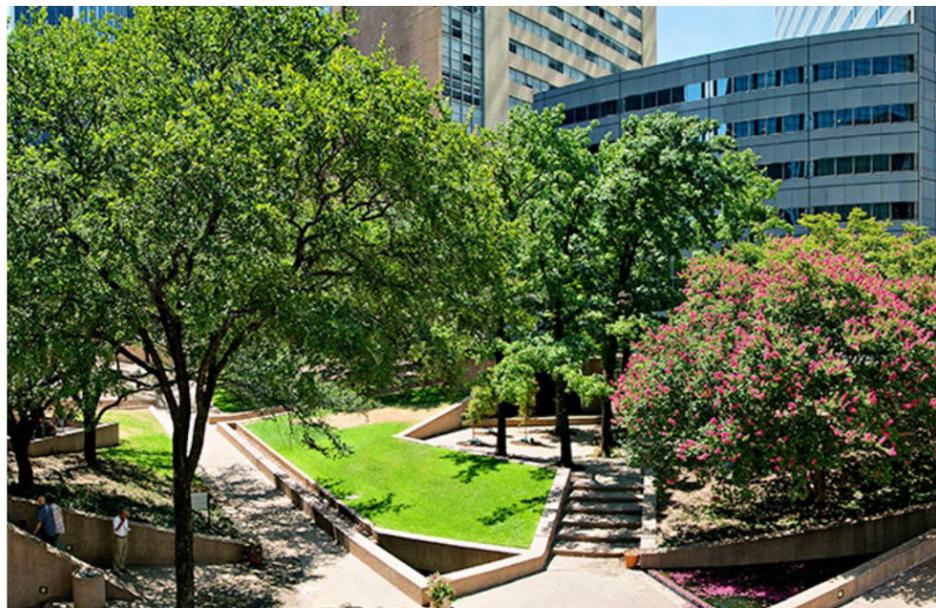
The Glass House, New Canaan, CT (1949)



Sculpture Garden at MoMA, New York, NY (1953)



Fort Worth Water Gardens, Fort Worth, TX (1974)



Thanksgiving Square Garden, Dallas, TX (1976)



Gerald D. Hines Waterwall Park, Houston, TX (1985)



Da Monsta, New Canaan, CT (1995)

Concrete in Philip Johnson's Work



Fort Worth Water Gardens, Fort Worth, TX (1974)



Thanksgiving Square Garden, Dallas, TX (1976)



Beck House, Dallas, TX (1965)

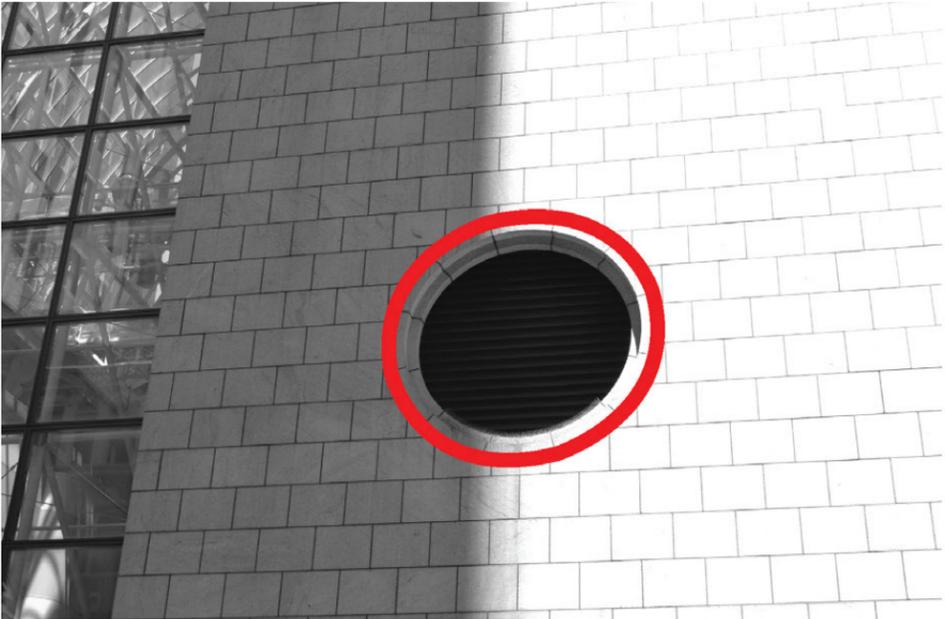


Untitled (Donald Judd), Glass House. New Caanan, CT (1971)

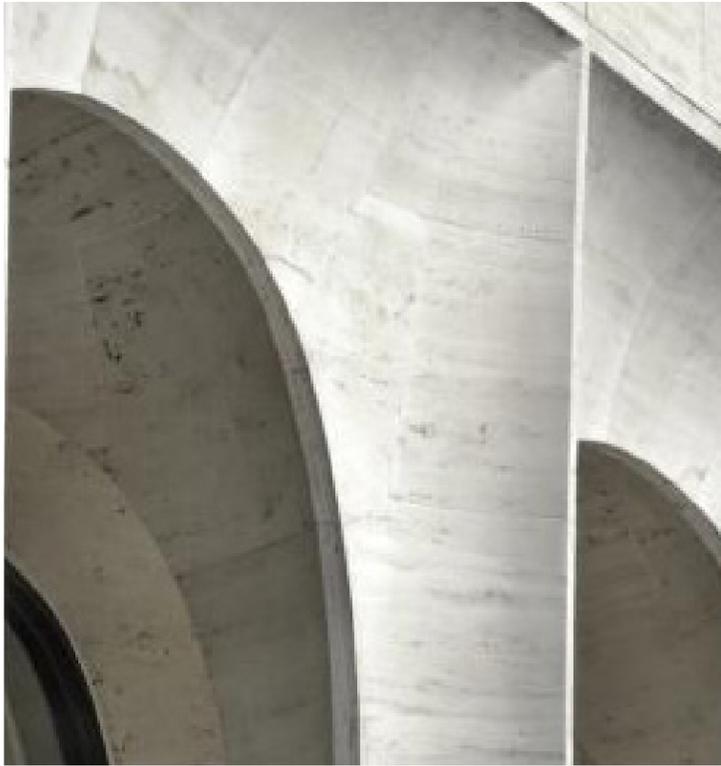
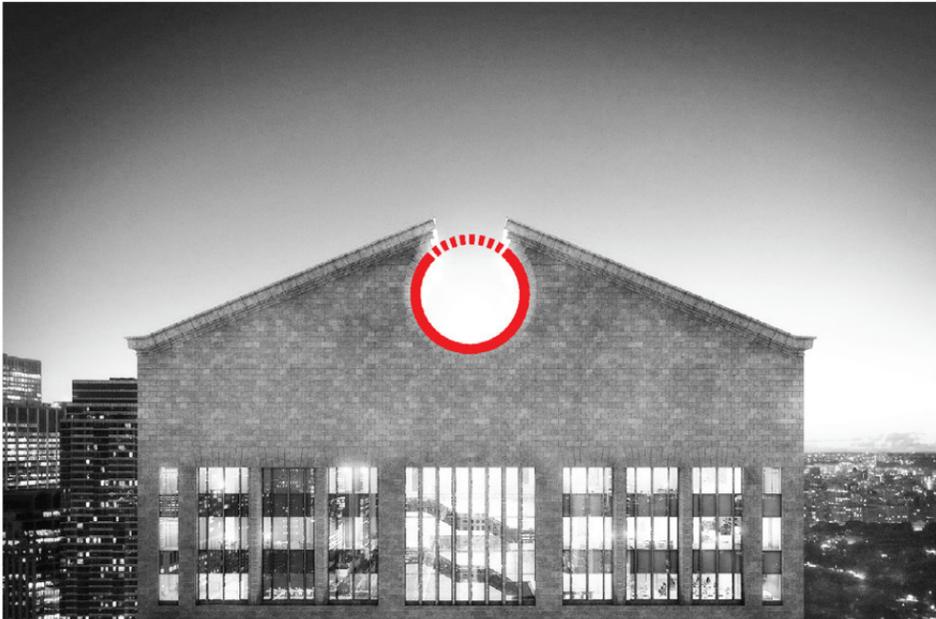


Painting Gallery - Wall detail, Glass House. New Caanan, CT (1965)

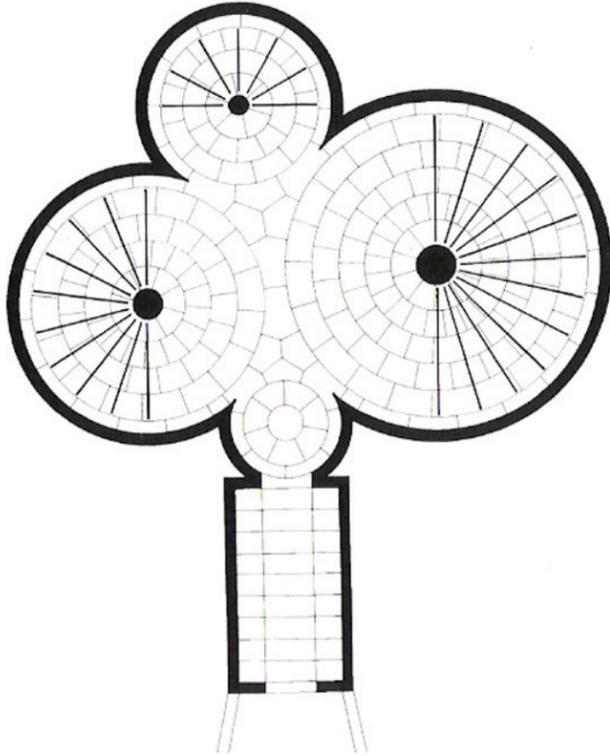
Repeating Motifs



550 Madison Avenue, New York, NY (1984)



Sheldon Museum of Art, Lincoln, NE (1963)



Painting Gallery Plan, New Canaan, CT (1965)

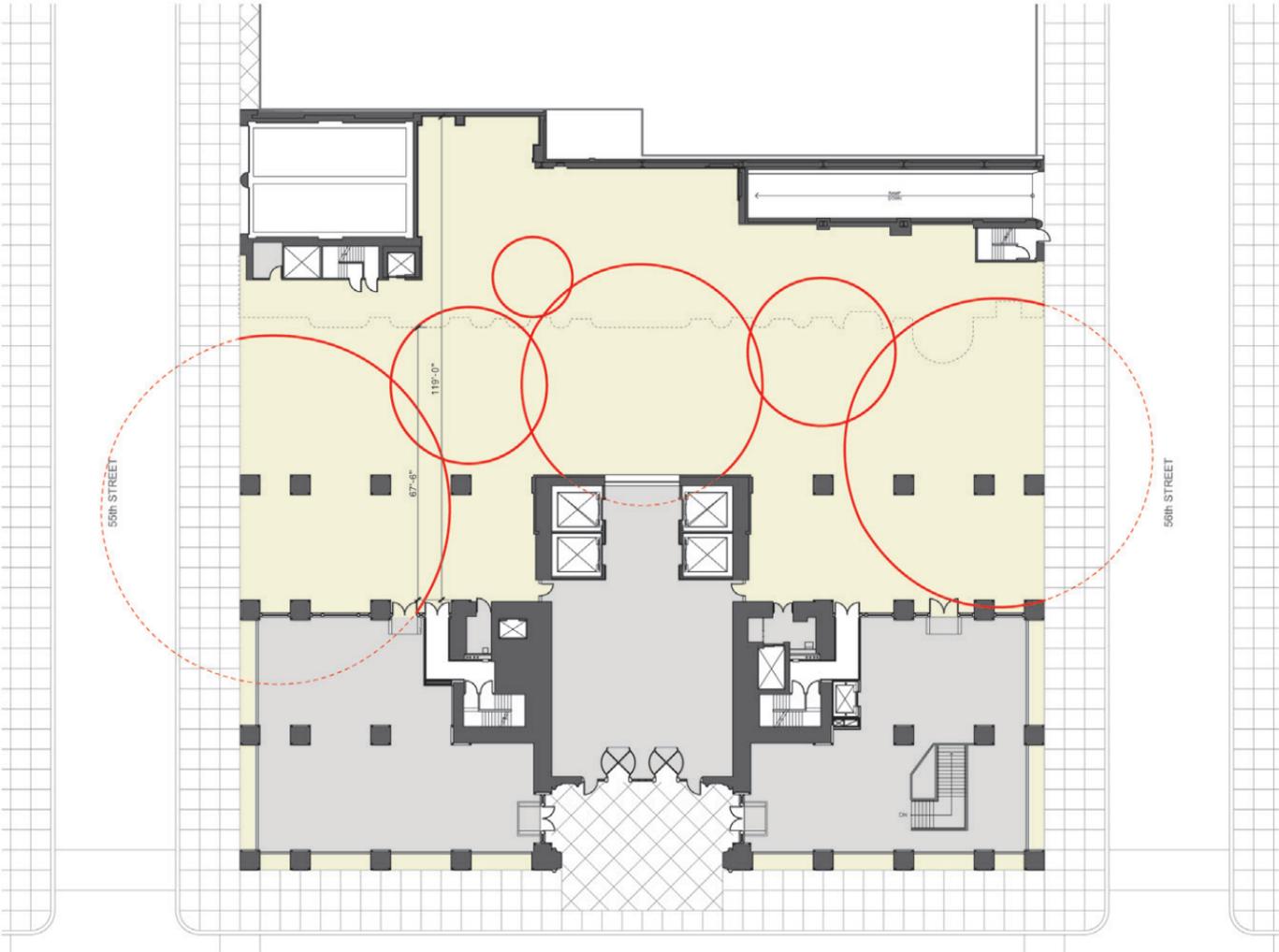


Thanksgiving Square Chapel, Dallas, TX (1976)



Chapel of St. Basil, Houston, TX (1997)

Plan Orgranizaton

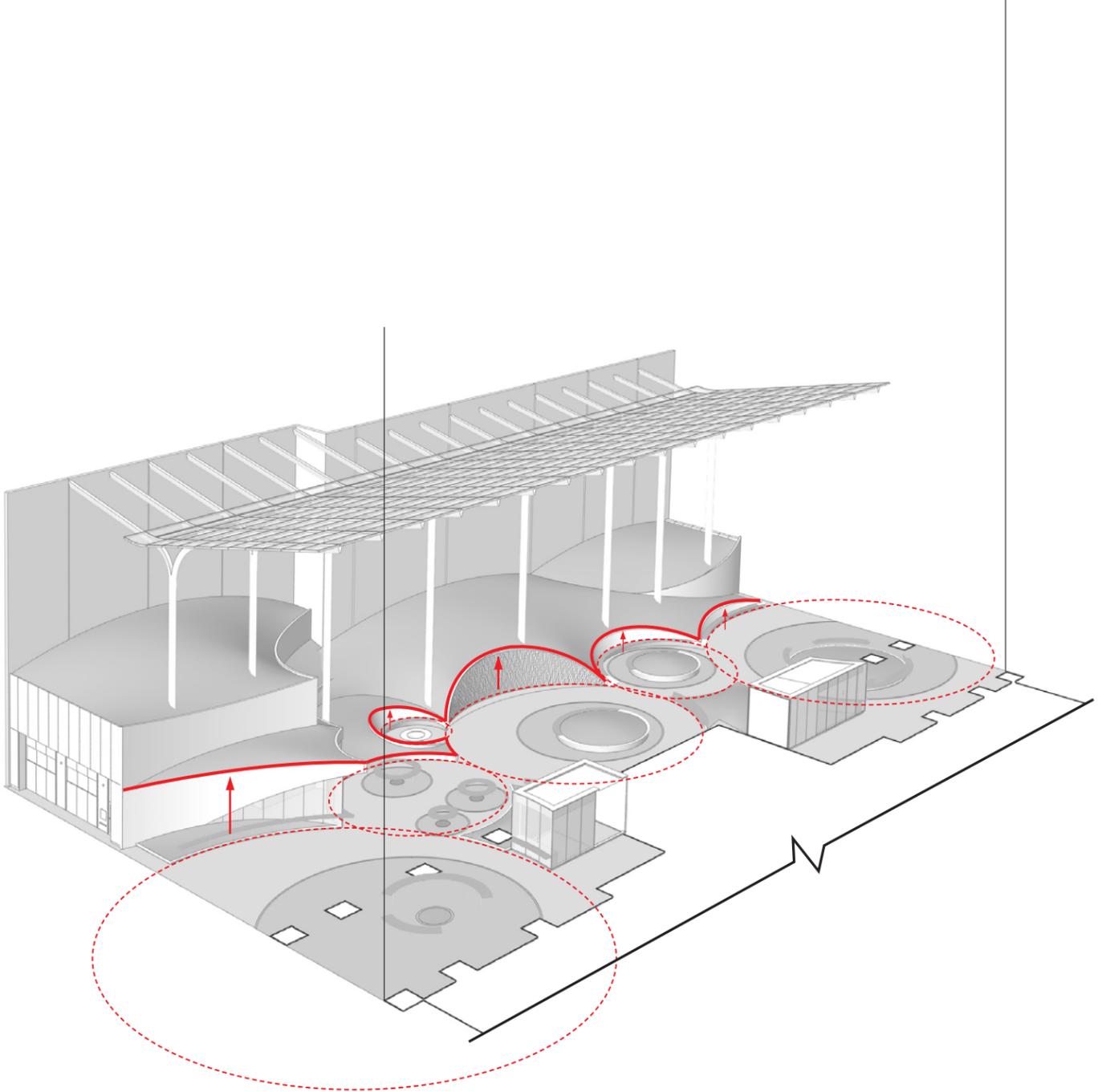


PROPOSED GEOMETRIC FRAMEWORK

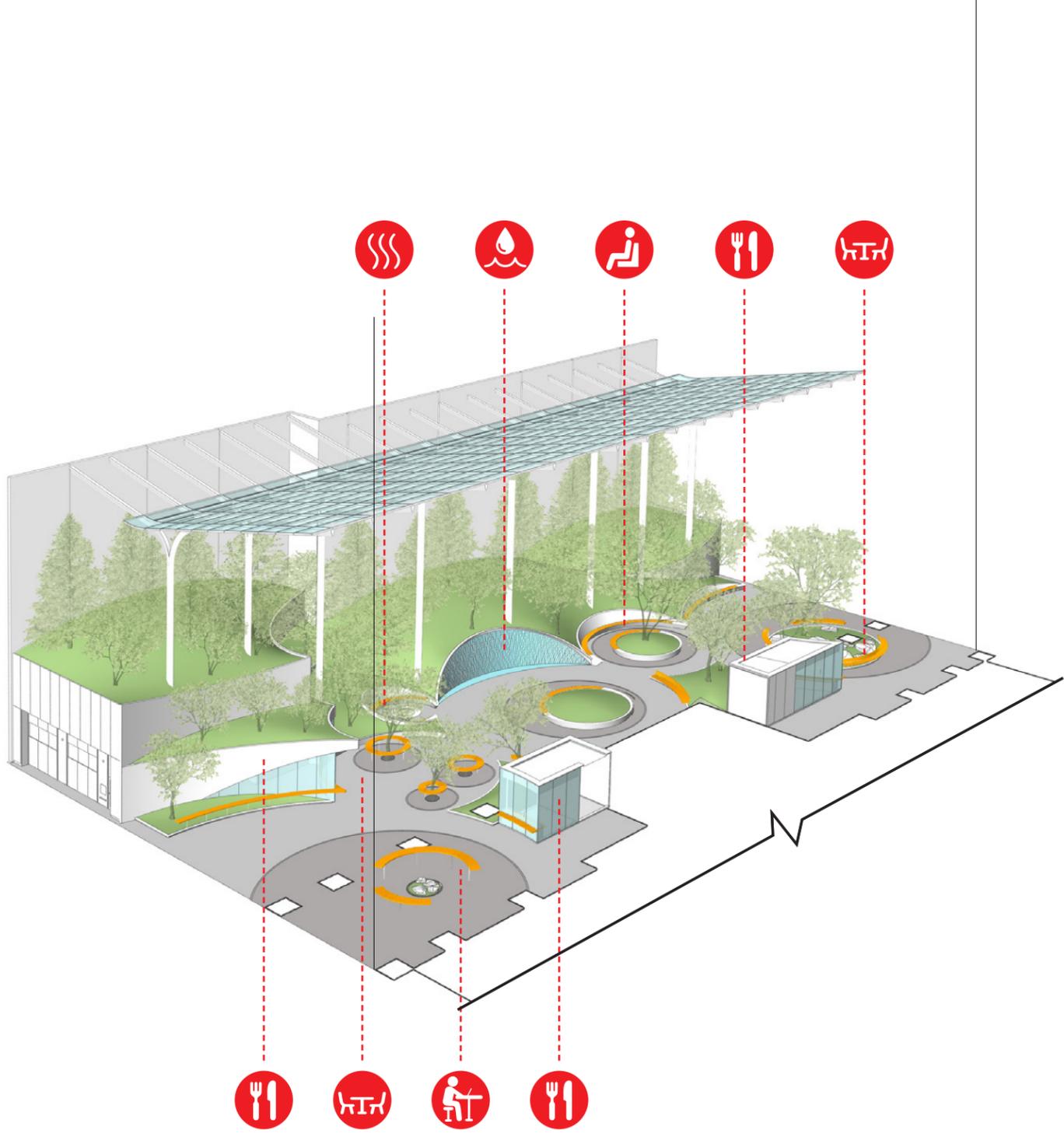


PROPOSED ORGANIZATION OF GARDEN AND OUTDOOR 'ROOMS'

Outdoor Rooms and Program

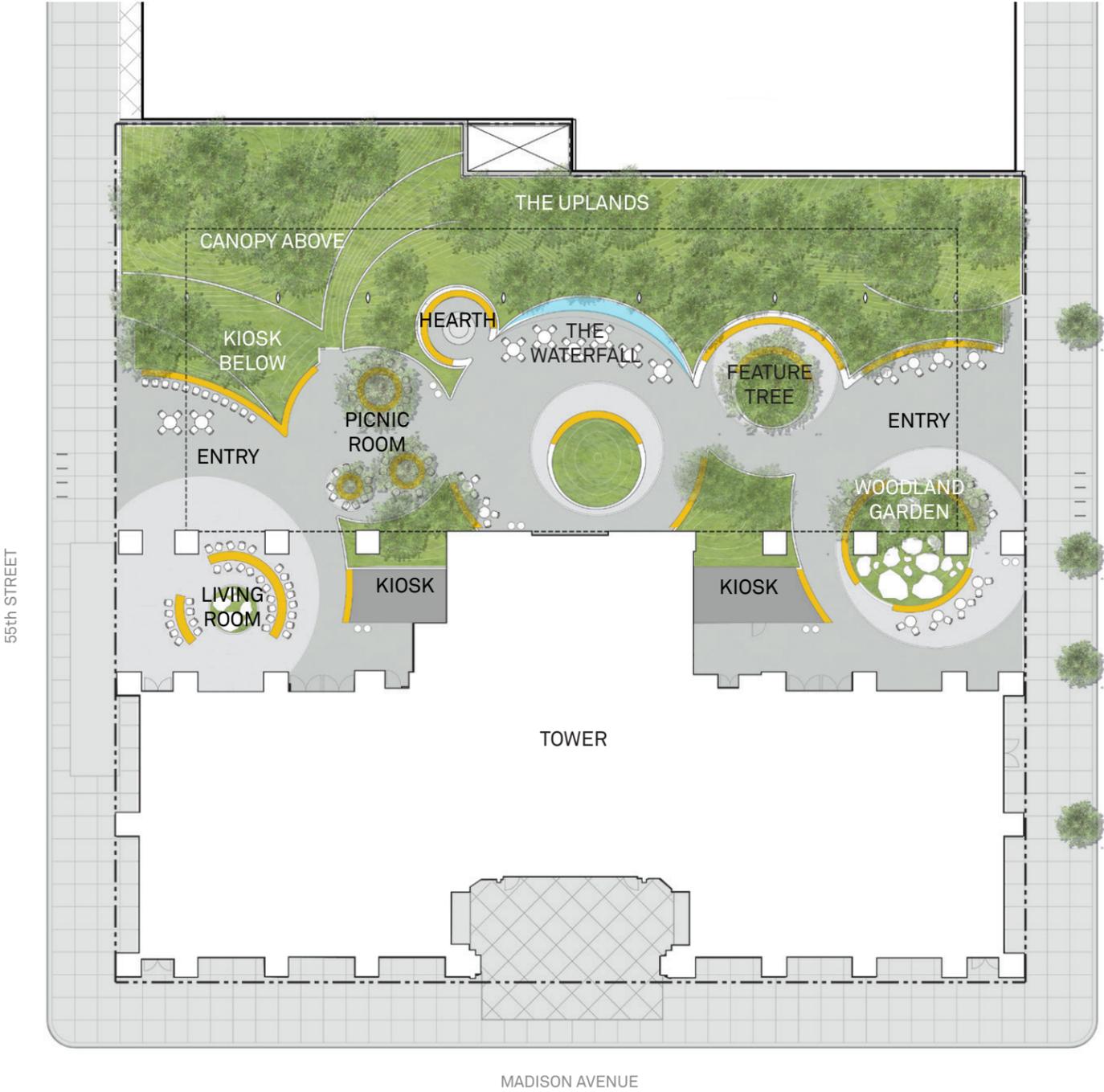


VERTICAL EXPRESSION AND OUTDOOR ROOMS



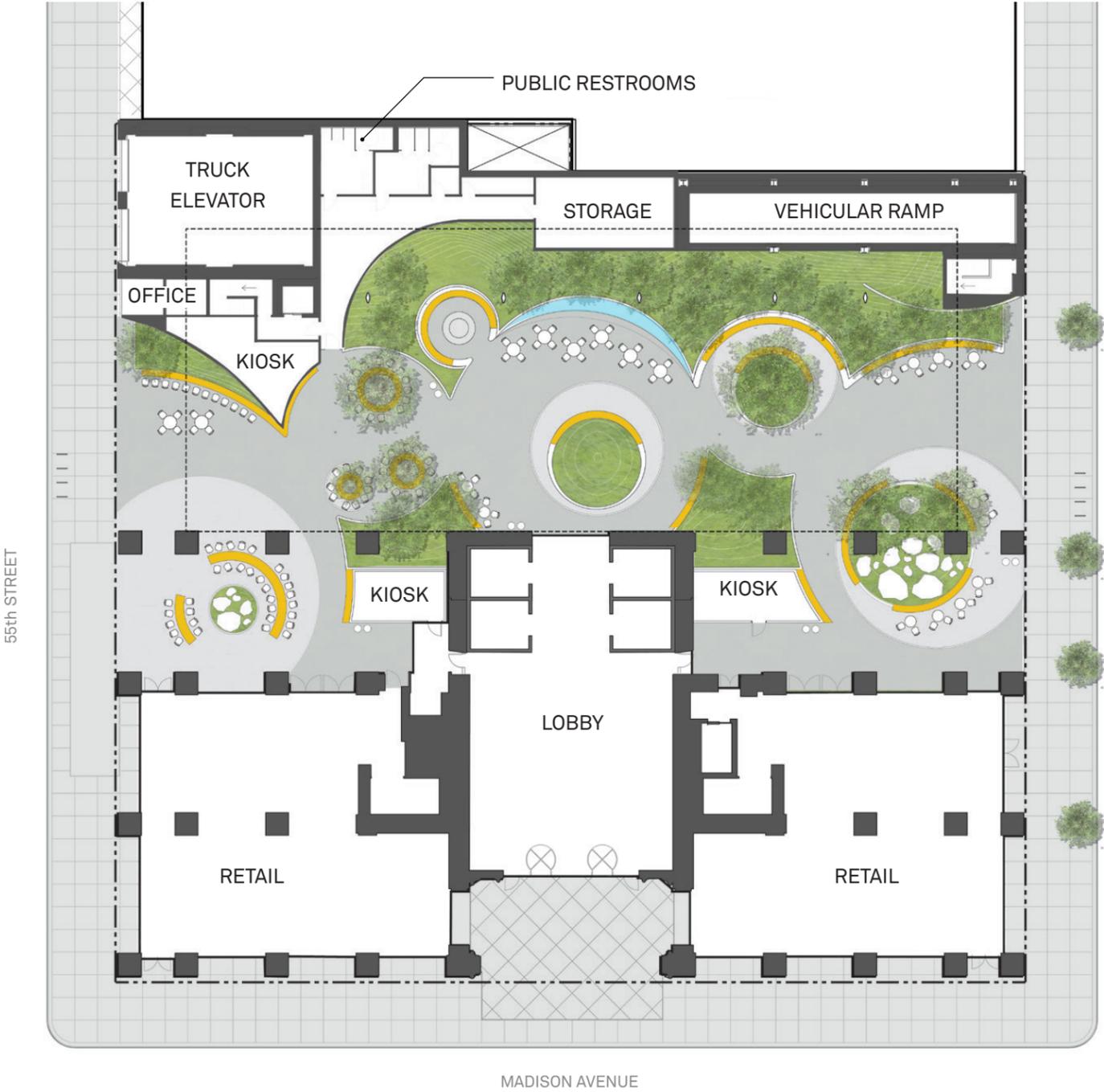
PROGRAMMATIC VARIETY

Proposed Site Plan



- WATER FEATURE
- WASTE AND RECYCLING RECEPTACLES
- MOVABLE FURNISHINGS
- FIXED FURNISHINGS
- PROPOSED CANOPY COLUMN
- PROPOSED PAVING TYPE 1
- PROPOSED PAVING TYPE 2
- EXISTING SIDEWALK
- EXISTING PAVING
- PROPOSED LANDSCAPE
- EXISTING BUILDING

Proposed Ground-Level Plan



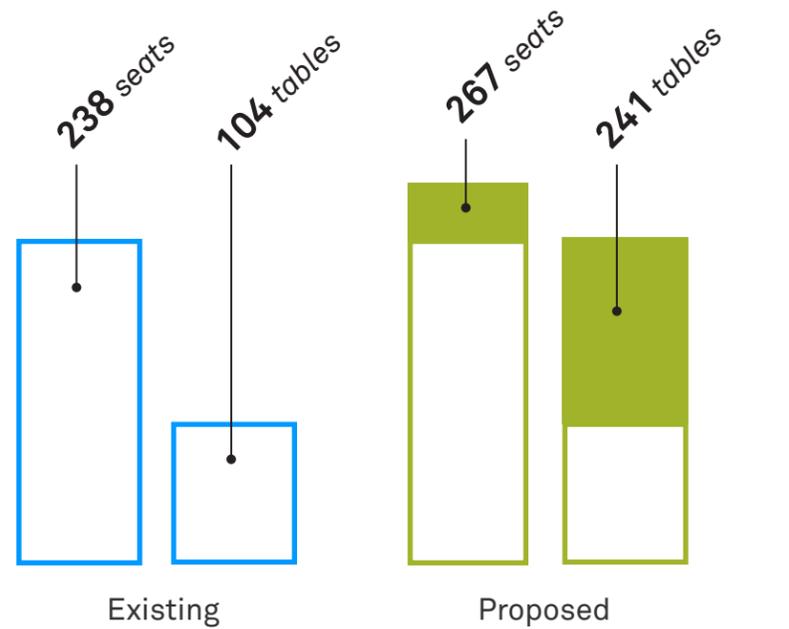
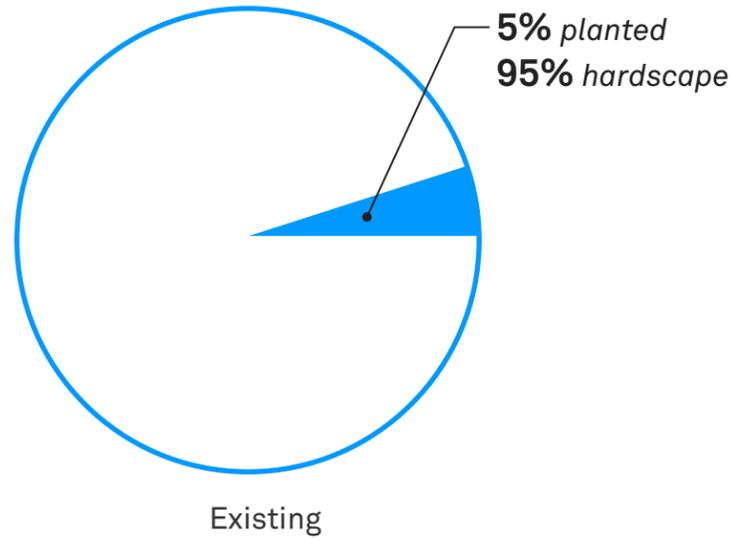
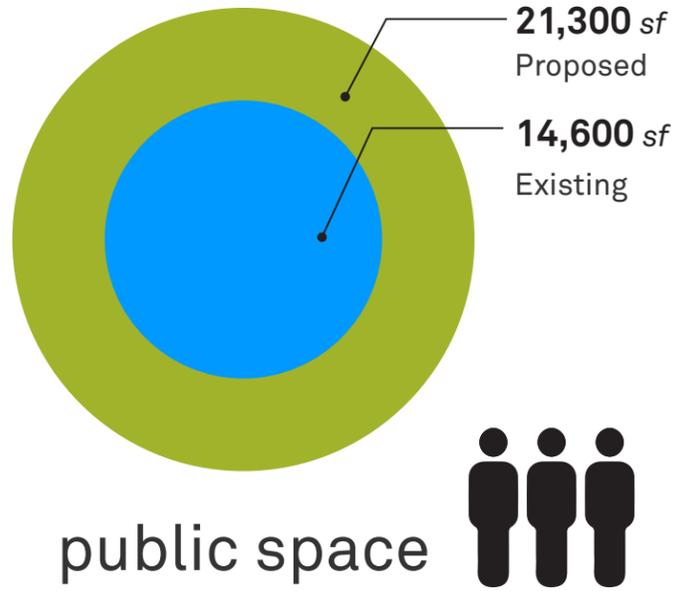
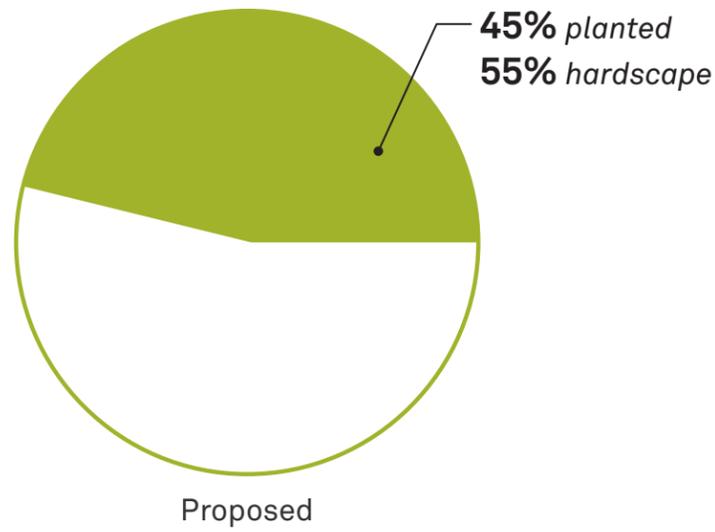
- WASTE AND RECYCLING RECEPTACLES
- ⊗ MOVABLE FURNISHINGS
- FIXED FURNISHINGS
- ◊ PROPOSED CANOPY COLUMN
- PROPOSED PAVING TYPE 1
- PROPOSED PAVING TYPE 2
- EXISTING SIDEWALK
- EXISTING PAVING
- PROPOSED LANDSCAPE
- EXISTING BUILDING







Garden Amenities



planting

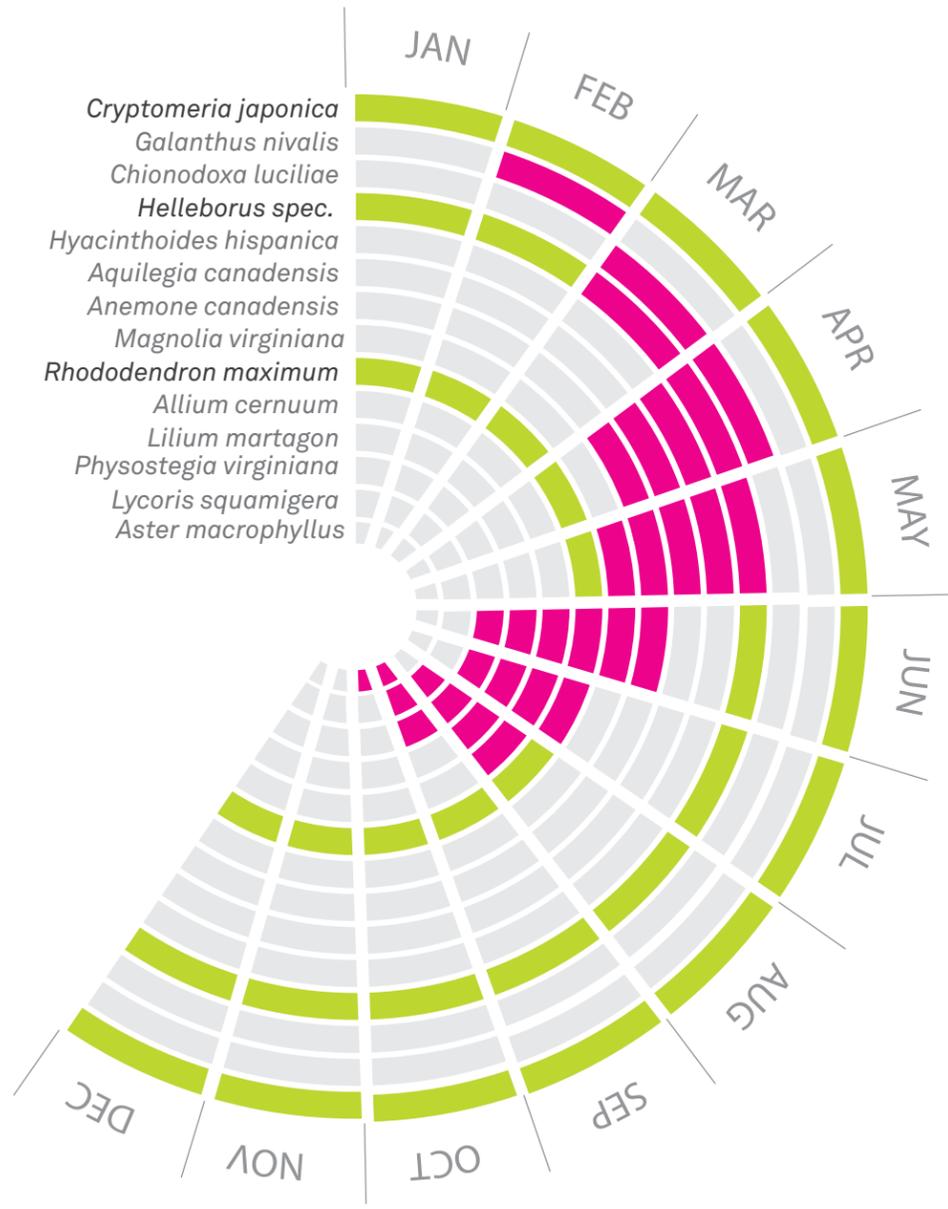
seating and tables



Key Planting Selection

BLOOM CALENDAR

seasonal interest



KEY
█ evergreen
█ bloom time

EVERGREEN BACKDROP



Cryptomeria Japonica



SHRUB SKIRT



Rhododendron maximum



AIRY UNDERSTORY



Cladrastis Kentukea



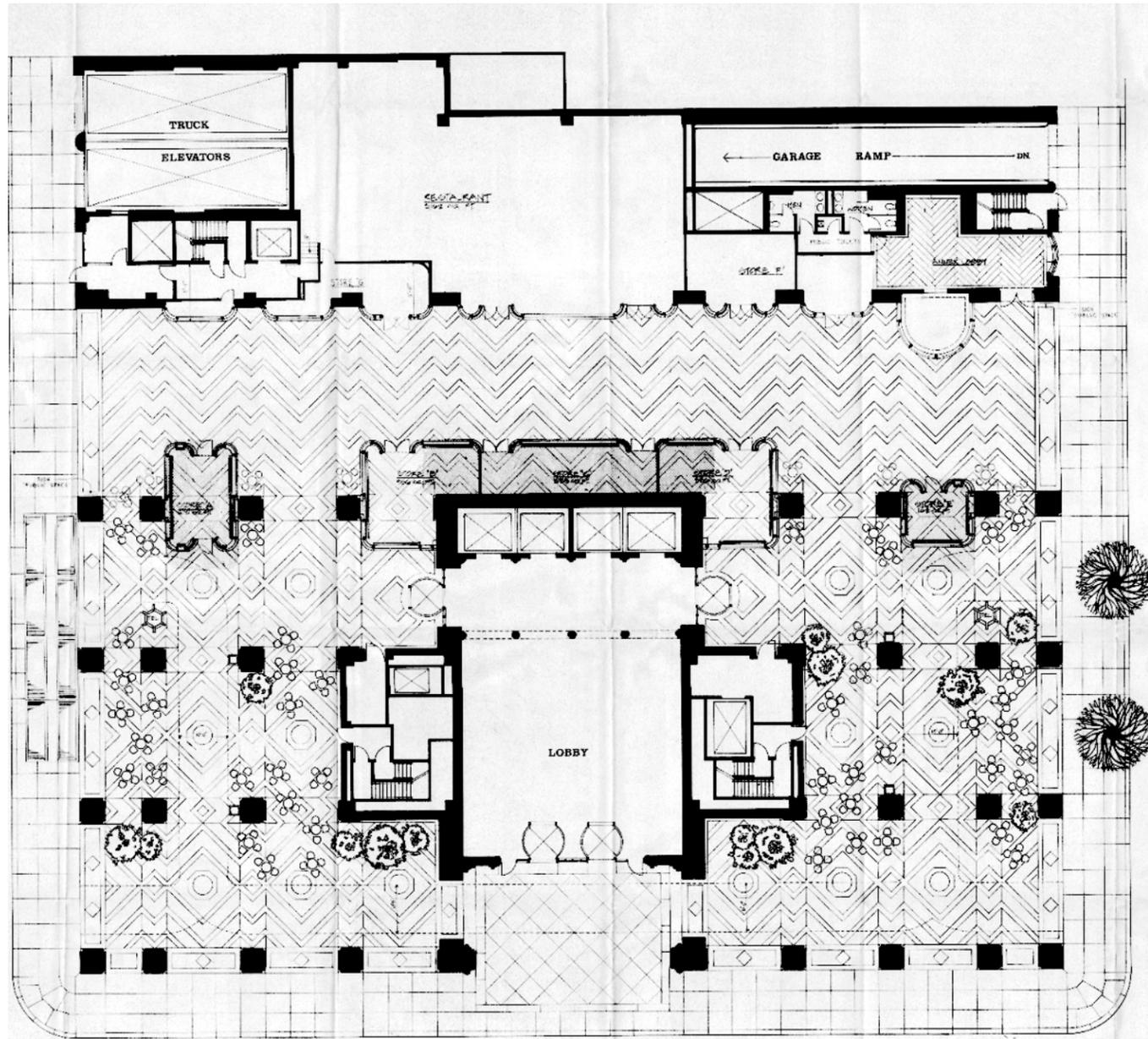
HERBACEOUS UNDERSTORY



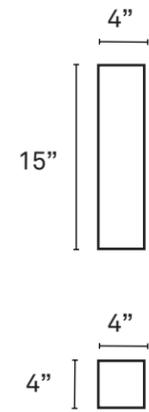
Helleborus spec.



Proposed Paving Details



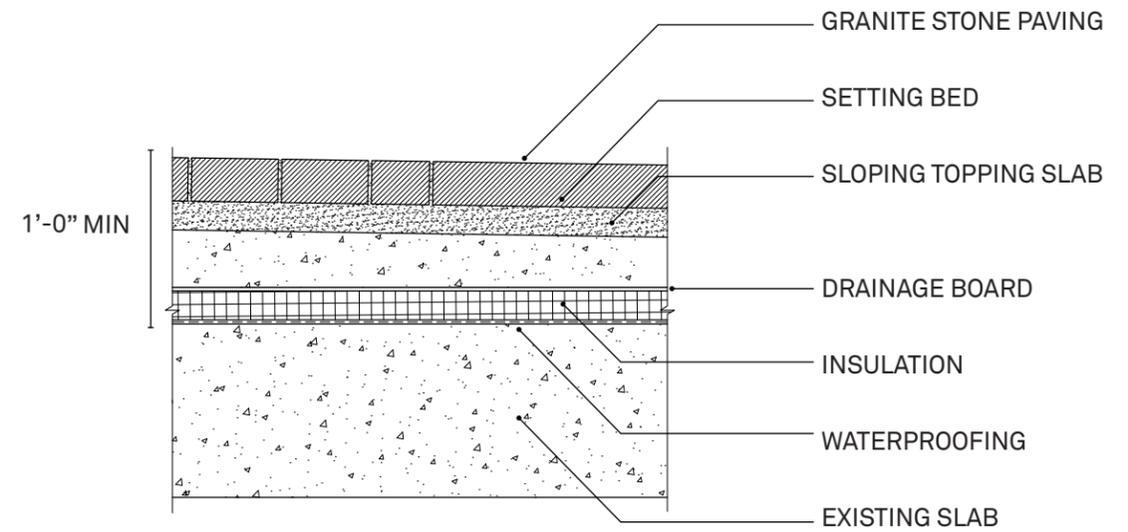
ORIGINAL 1984 PAVING DESIGN



GRANITE COLOR 1

GRANITE COLOR 2

PAVING PLAN DETAIL



PROPOSED TYPICAL PAVING SECTION DETAIL

Existing Atrium Roof



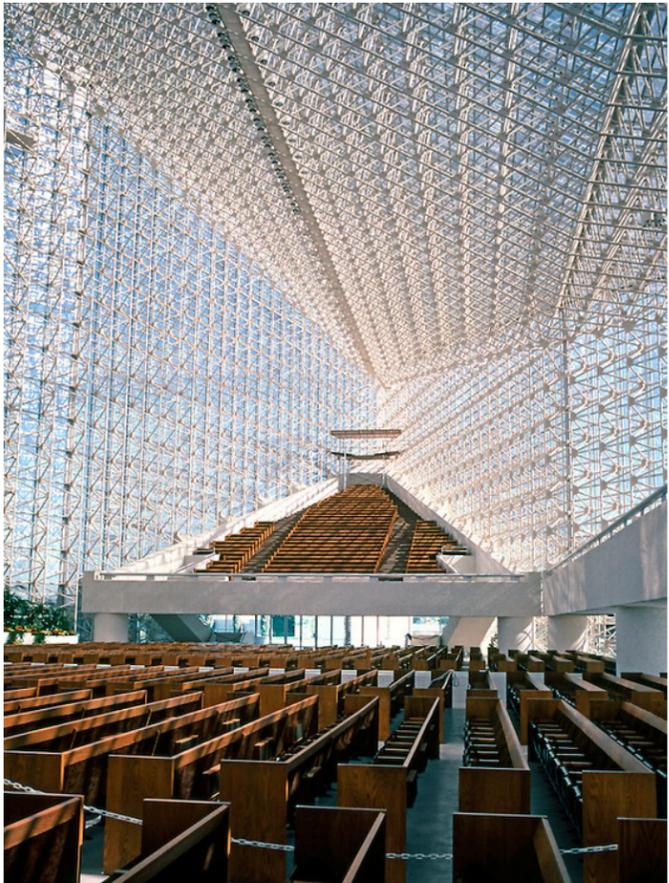
Glass Roofs Designed by Philip Johnson



Sculpture Gallery, New Canaan, CT (1970)



Pennzoil Place, Houston, TX (1975)



Crystal Cathedral, Garden Grove, CA (1980)

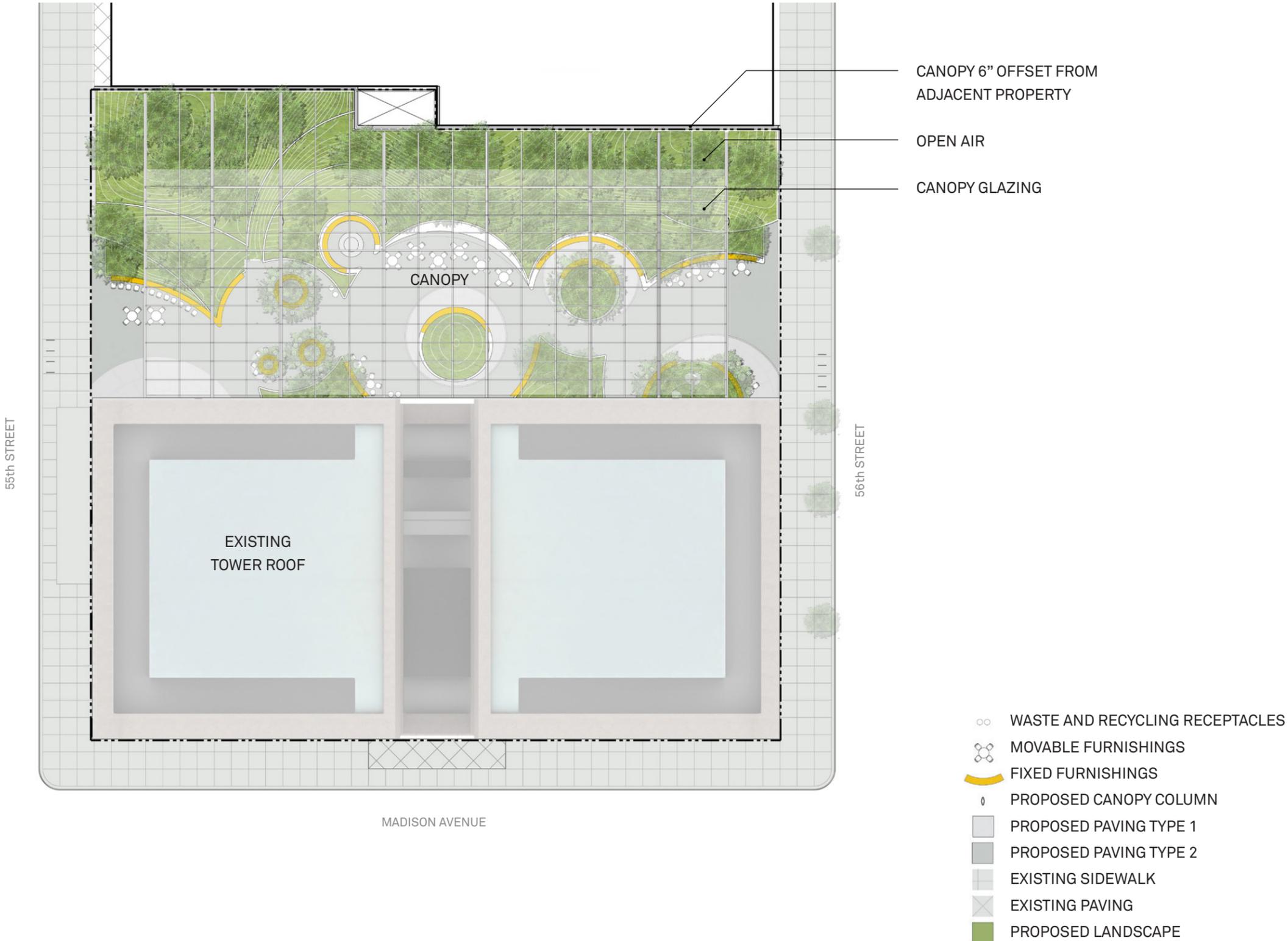


Wells Fargo Center, Denver, CO (1983)

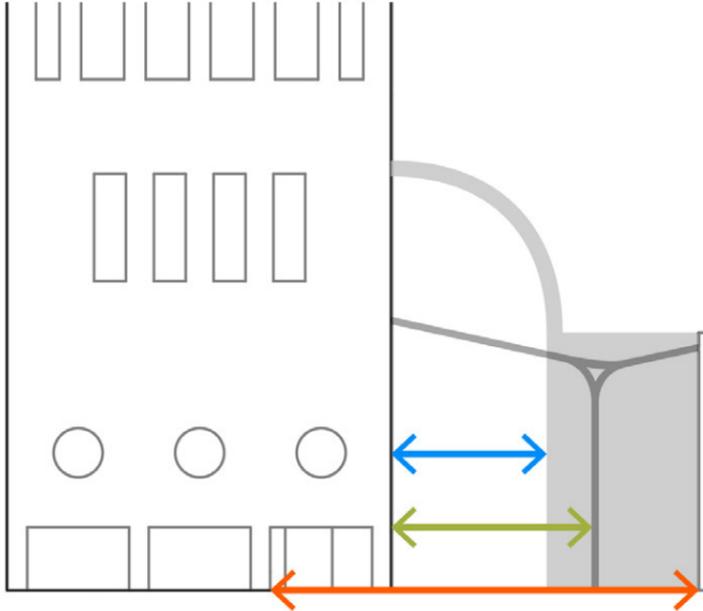


PPG Place Winter Garden, Pittsburgh, PA (1984)

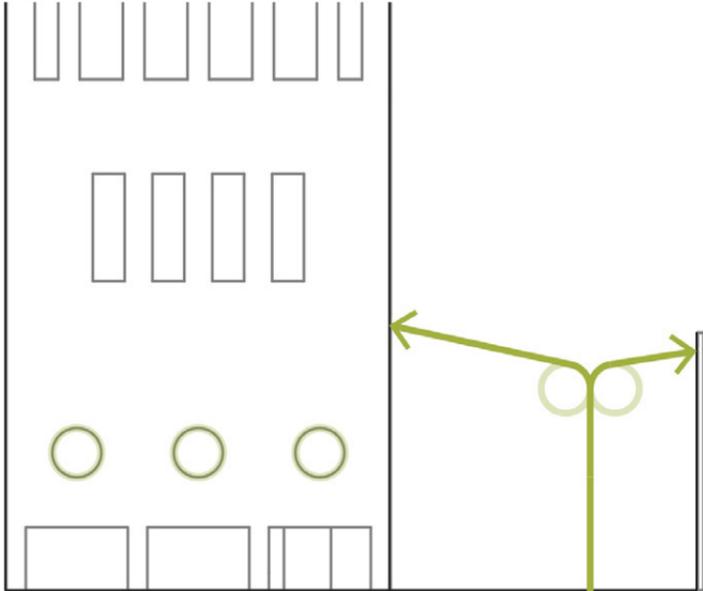
Proposed Roof Plan



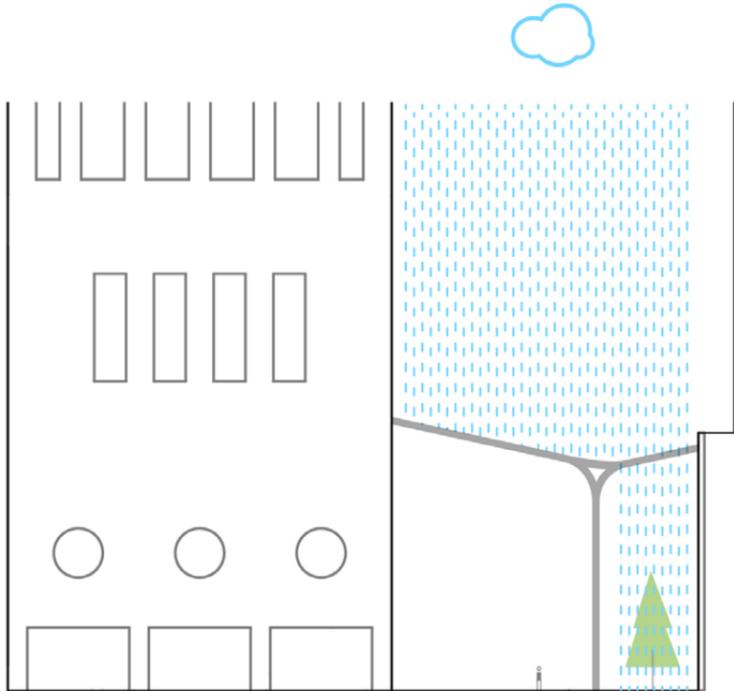
Canopy Design Diagrams



Increased Access



Geometric precedent



Enclosure

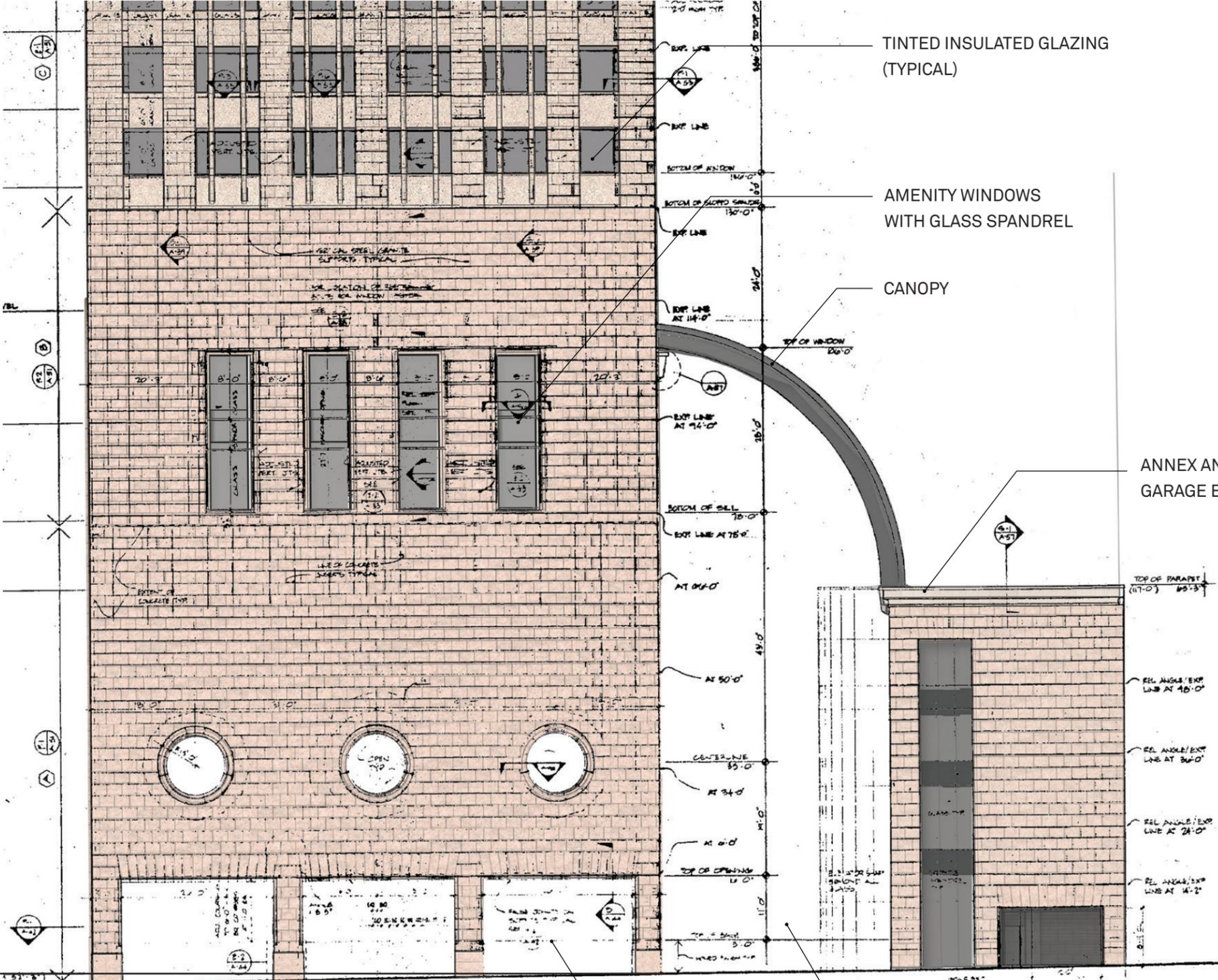
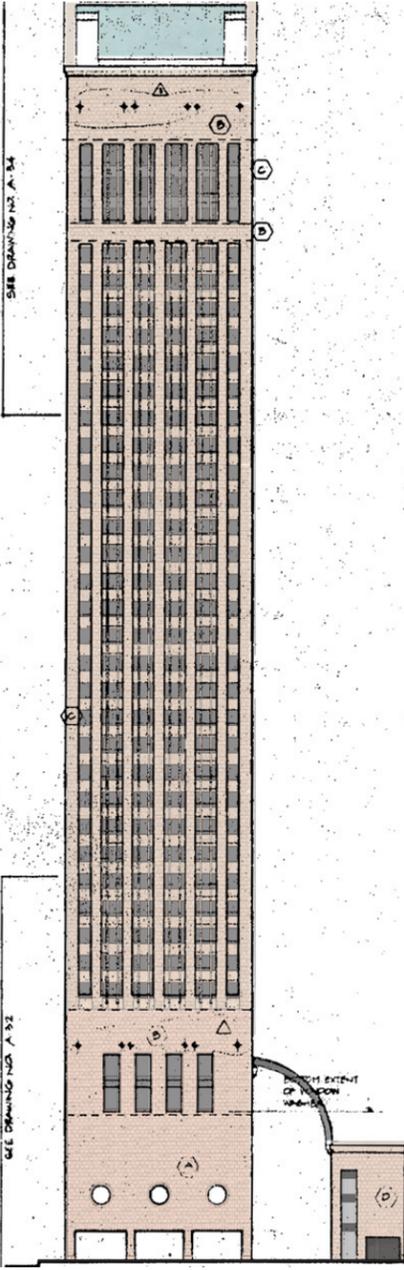


Landscape





Original North Elevation



TINTED INSULATED GLAZING (TYPICAL)

AMENITY WINDOWS WITH GLASS SPANDREL

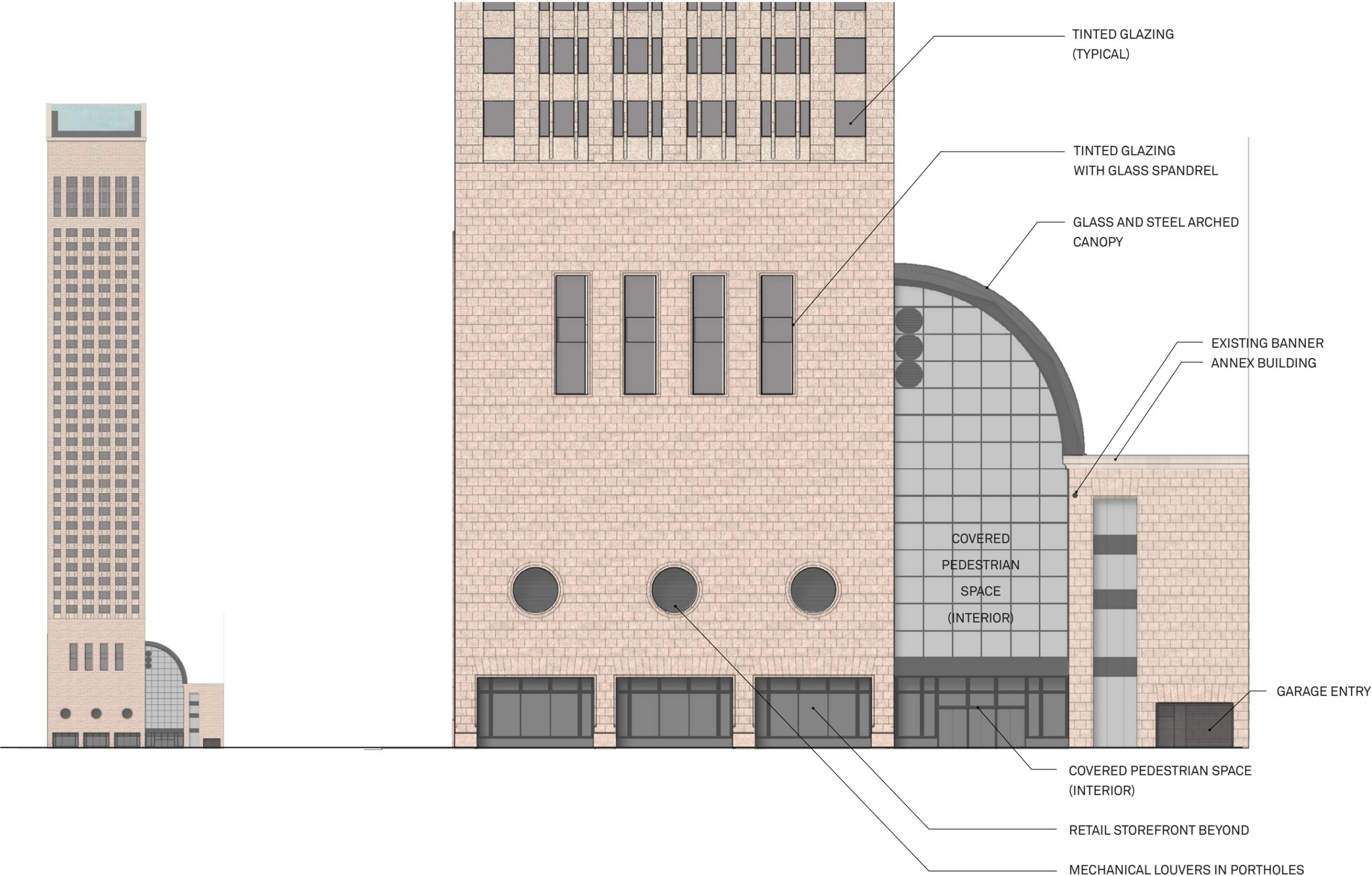
CANOPY

ANNEX AND GARAGE ENTRY

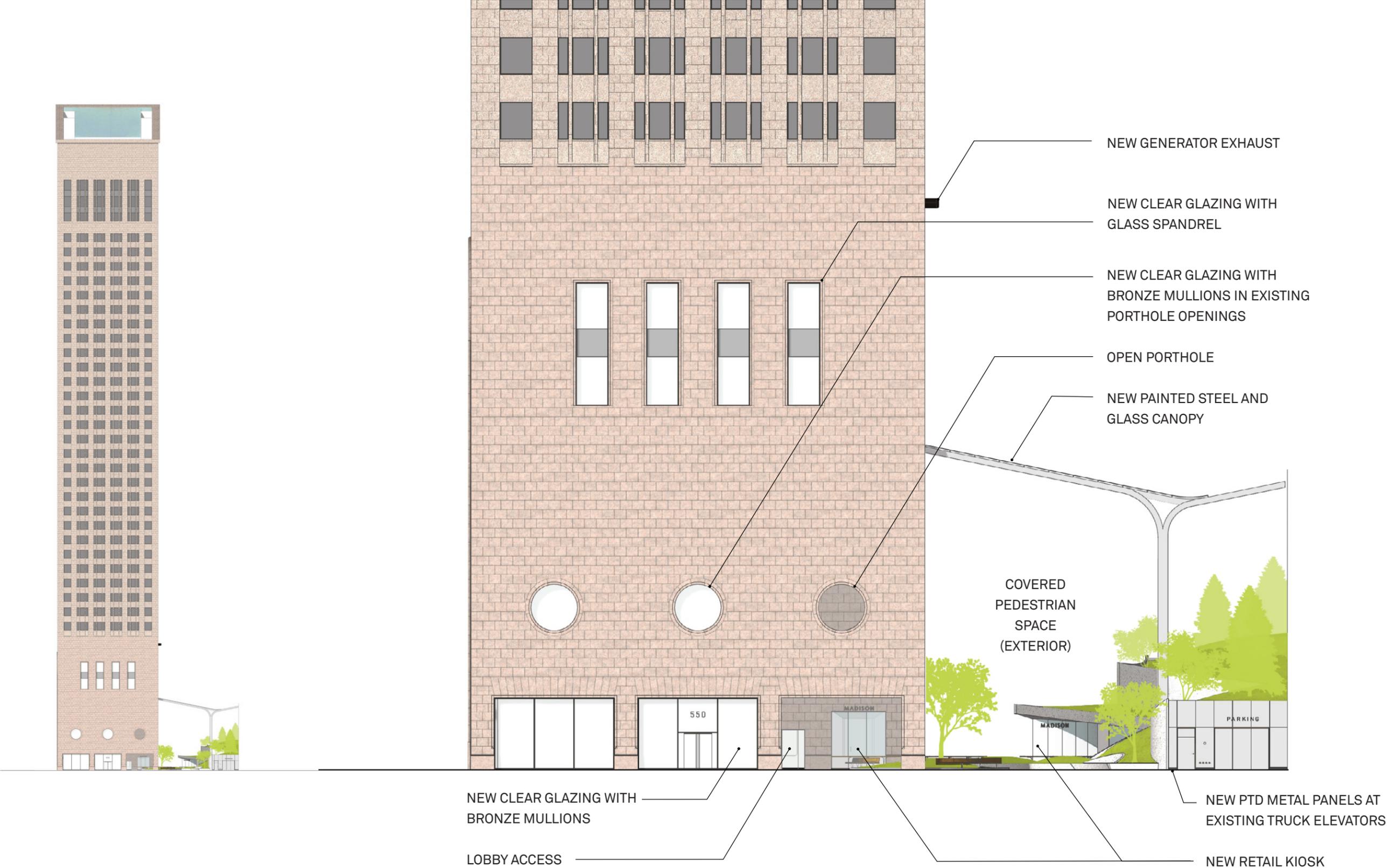
COVERED PEDESTRIAN SPACE (EXTERIOR)

OPEN BEYOND

Existing North Elevation



Proposed North Elevation



Northeast Perspective



ORIGINAL



CURRENT



PROPOSED









APPENDIX

Pedestrian Space - Looking North



ORIGINAL



CURRENT



PROPOSED

Madison Avenue - Overall Looking Southwest



ORIGINAL



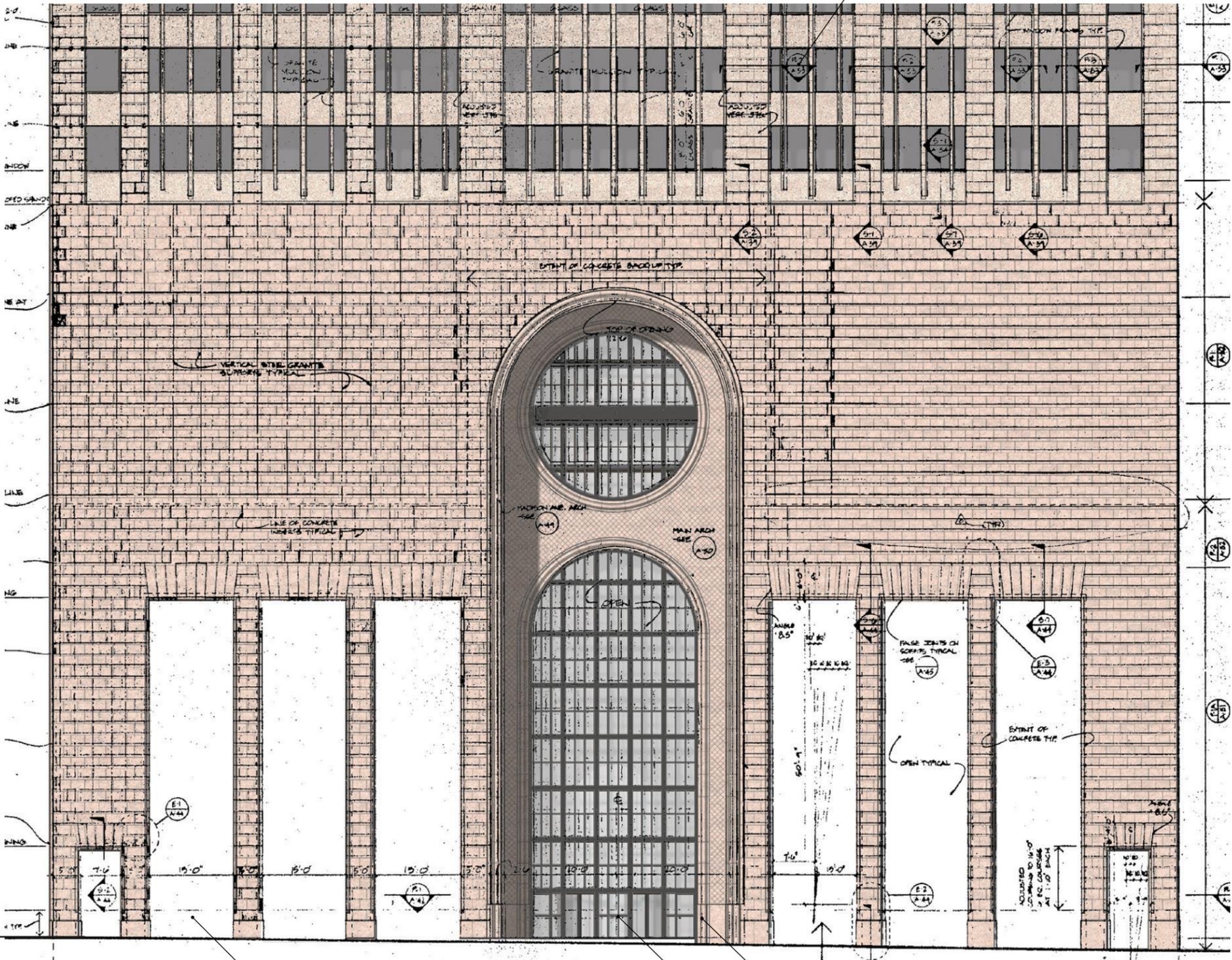
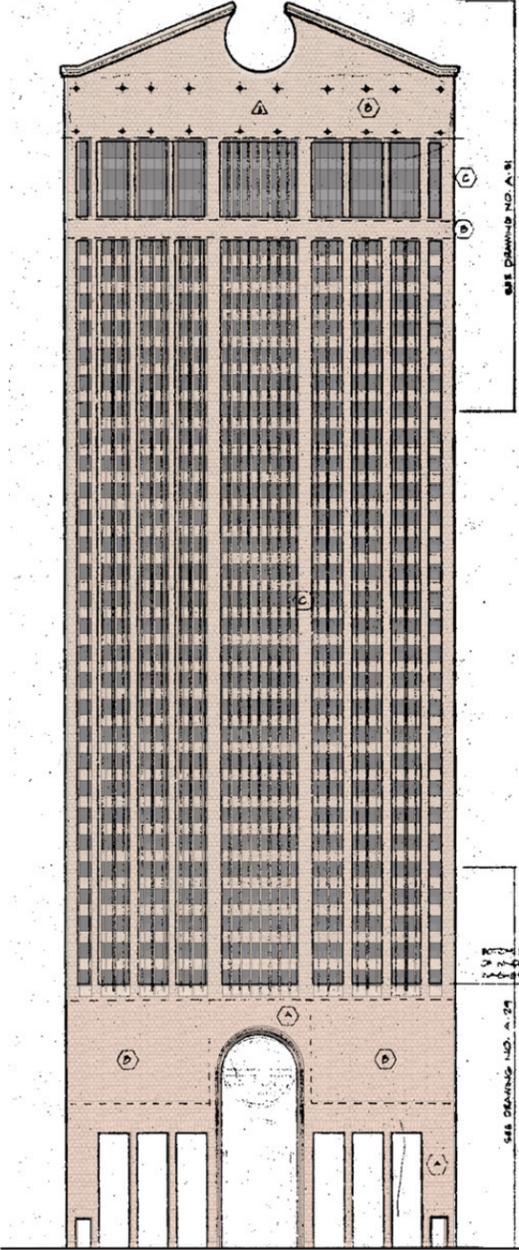
CURRENT



PROPOSED



Original East Elevation

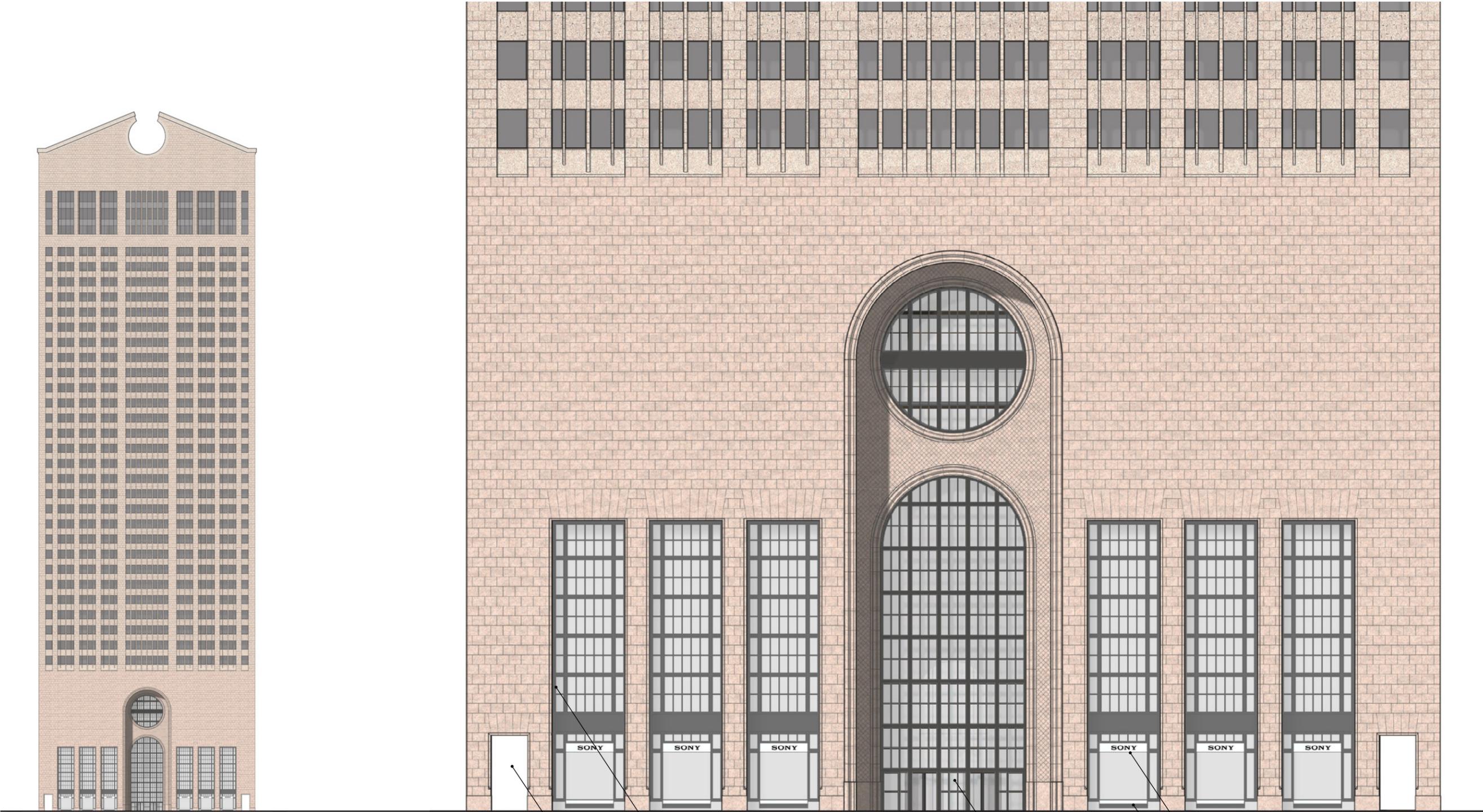


OPEN TO ARCADE

STONE CLADDING

BRONZE MULLIONS AND INSULATED GLASS WITH ENTRY DOORS

Existing East Elevation



BRONZE MULLIONS
AND GLASS

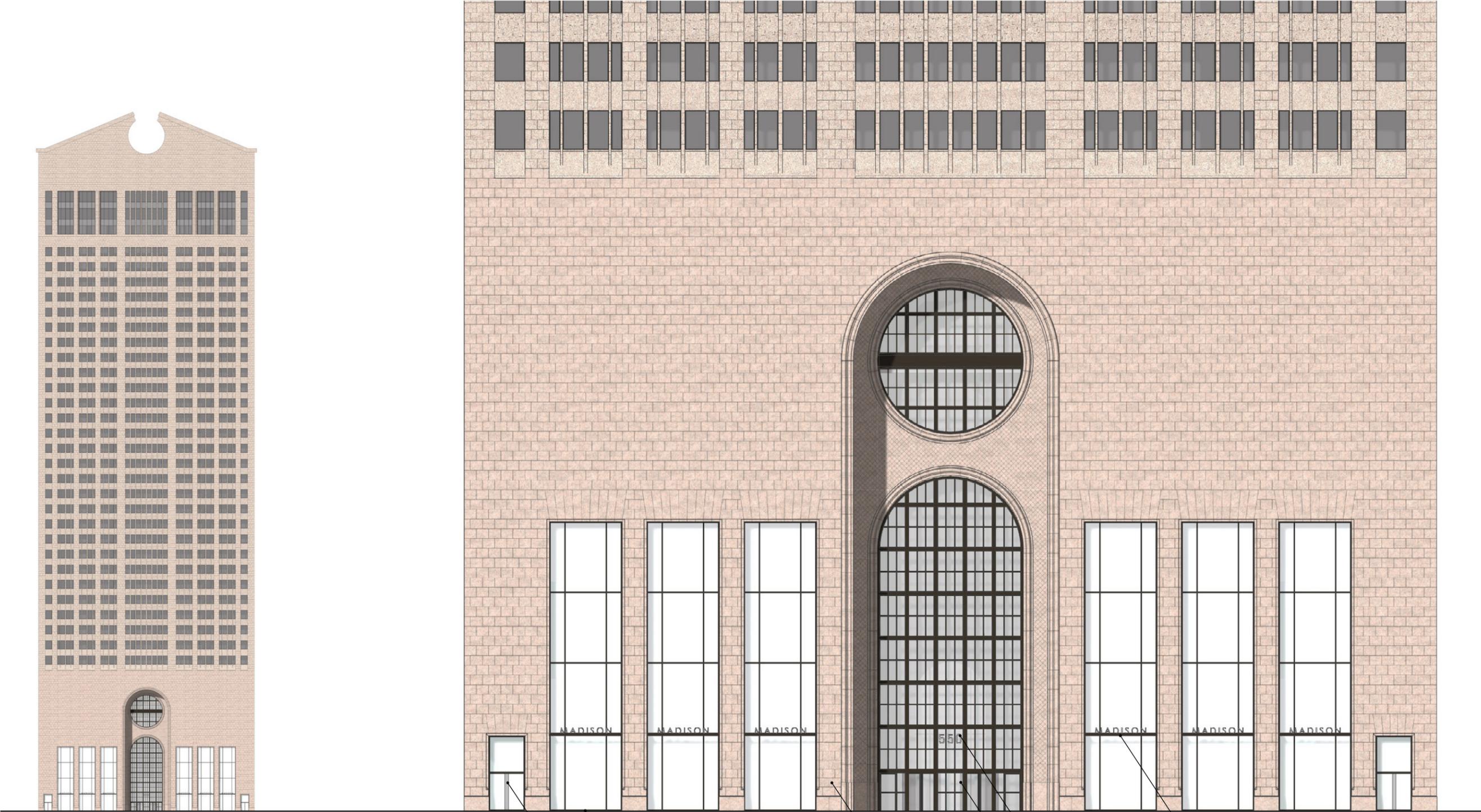
OPEN TO ARCADE

BRONZE SPANDREL WITH SIGNAGE

PROJECTING BAY WINDOWS

EXISTING GLAZING AND ENTRY DOORS

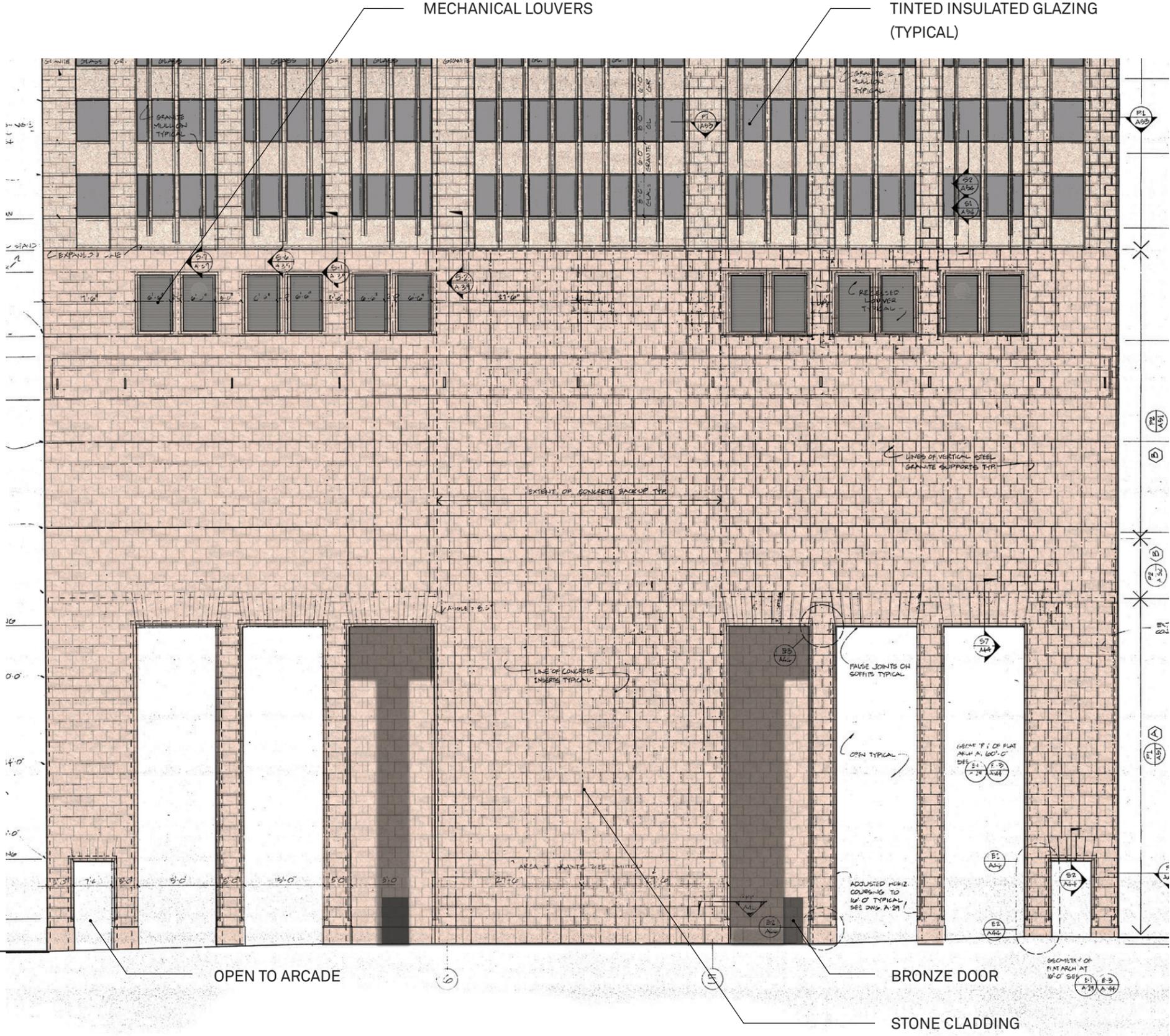
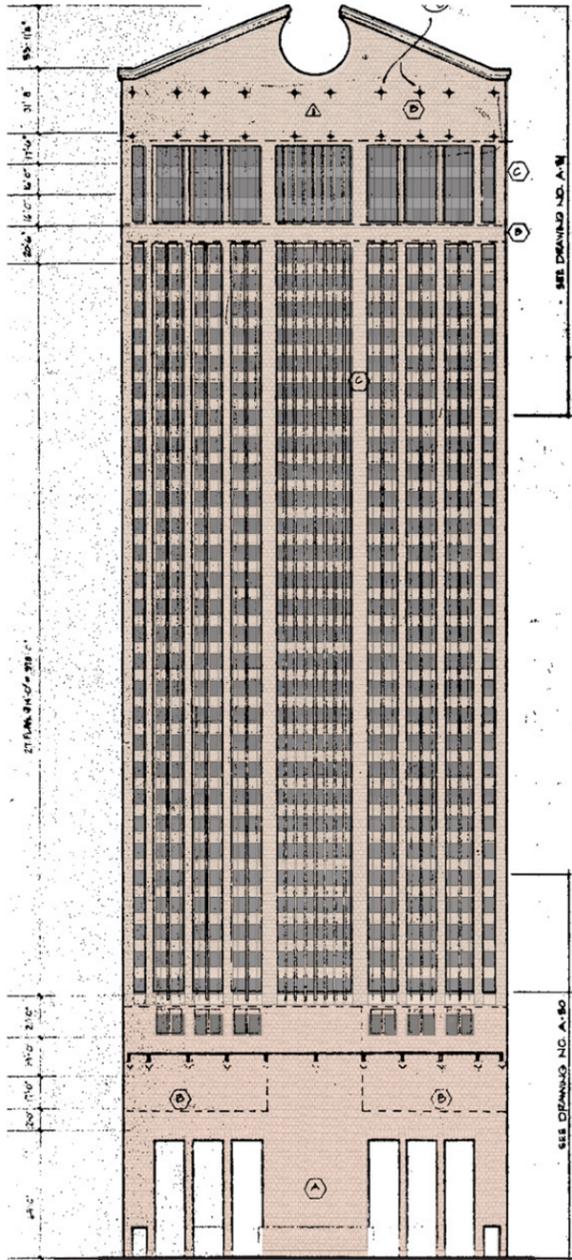
Proposed East Elevation



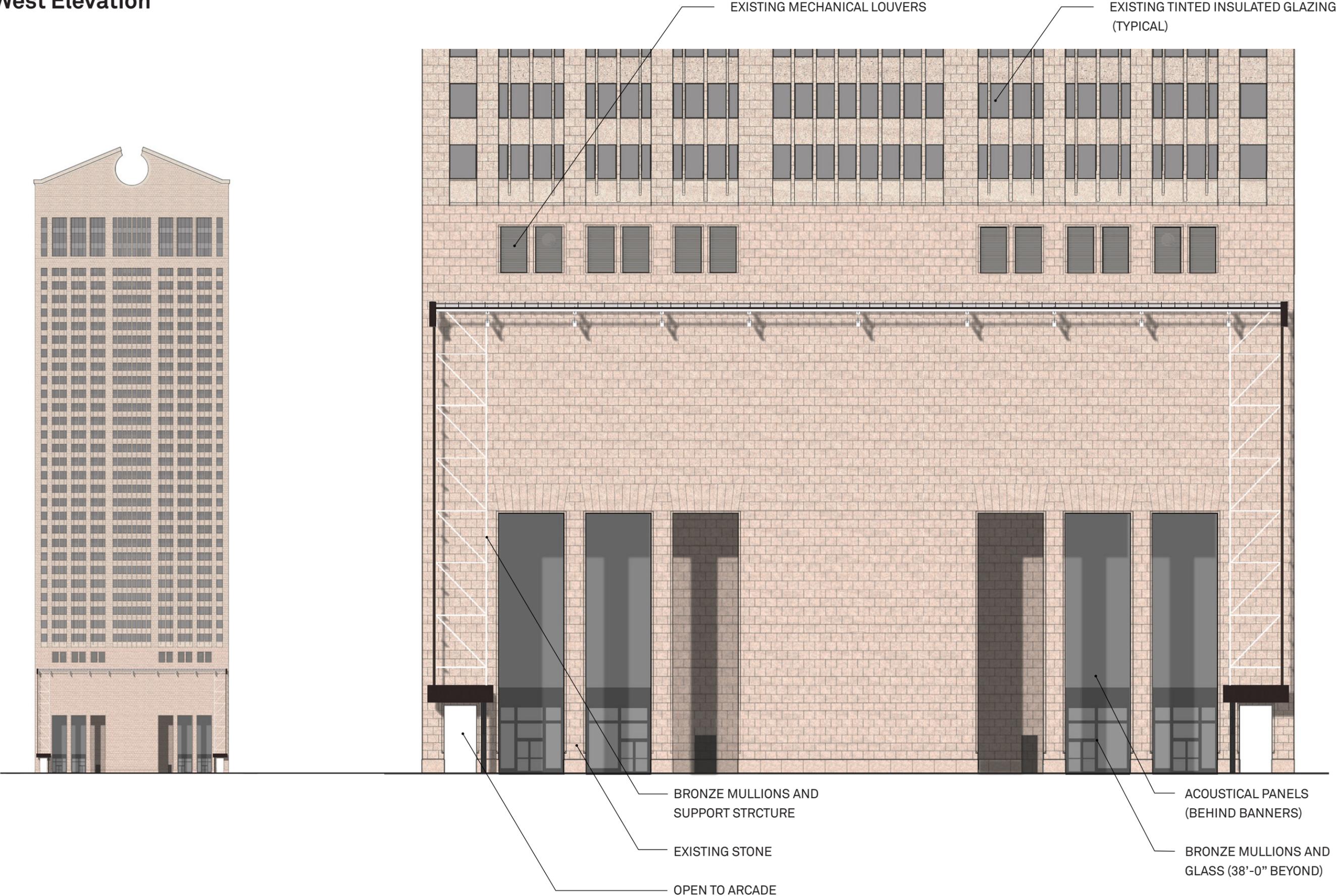
NEW CLEAR GLAZING WITH BRONZE MULLIONS (4'-6" BEYOND)
 RETAIL ENTRY (SEE ENTRY MASTER PLAN FOR ALTERNATE ENTRY LOCATIONS.)

NEW RETAIL AND ENTRY SIGNAGE (SEE SIGNAGE PLAN)
 NEW CLEAR GLASS WITH ORIGINAL BRONZE MULLIONS (21'-0" BEYOND)
 EXISTING STONE CLADDING

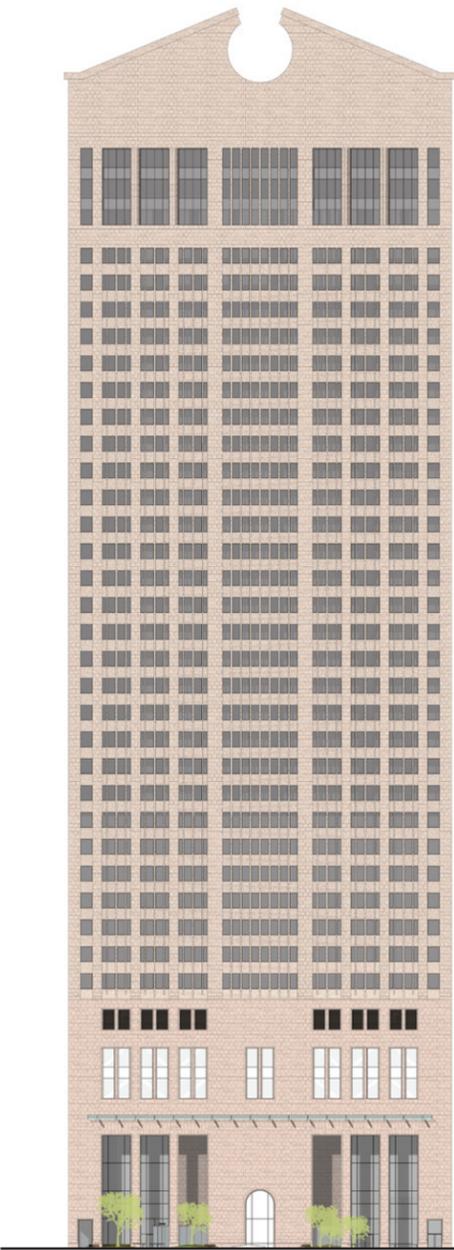
Original West Elevation



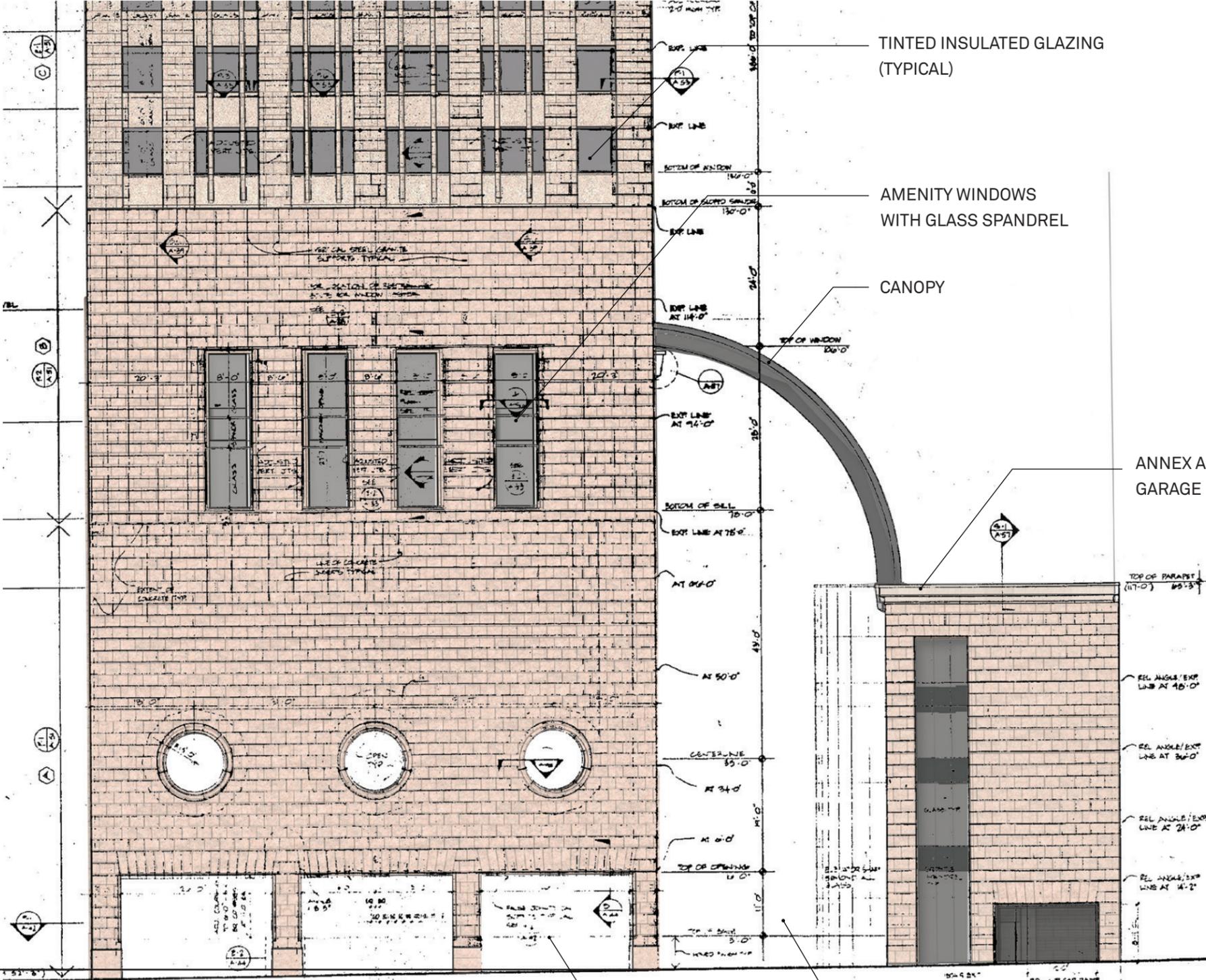
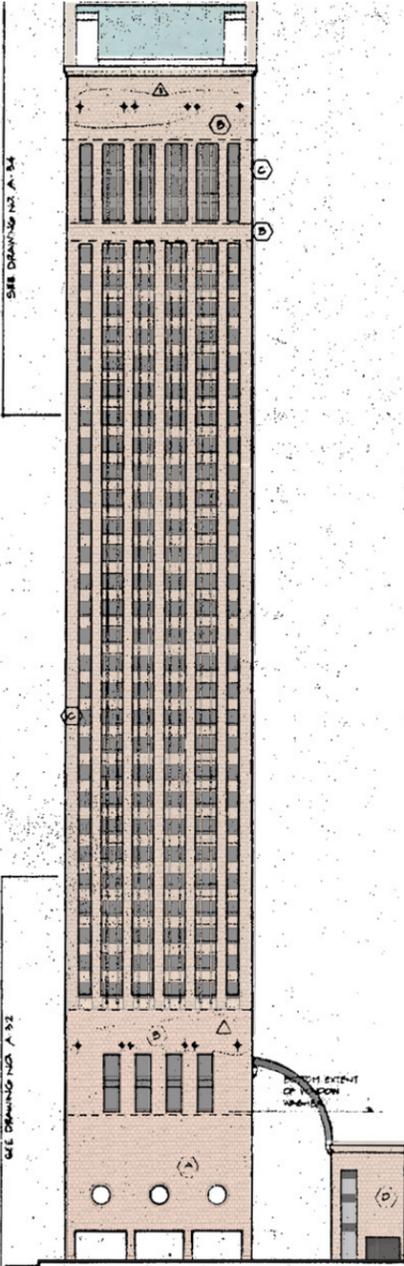
Existing West Elevation



Proposed West Elevation



Original North Elevation



TINTED INSULATED GLAZING (TYPICAL)

AMENITY WINDOWS WITH GLASS SPANDREL

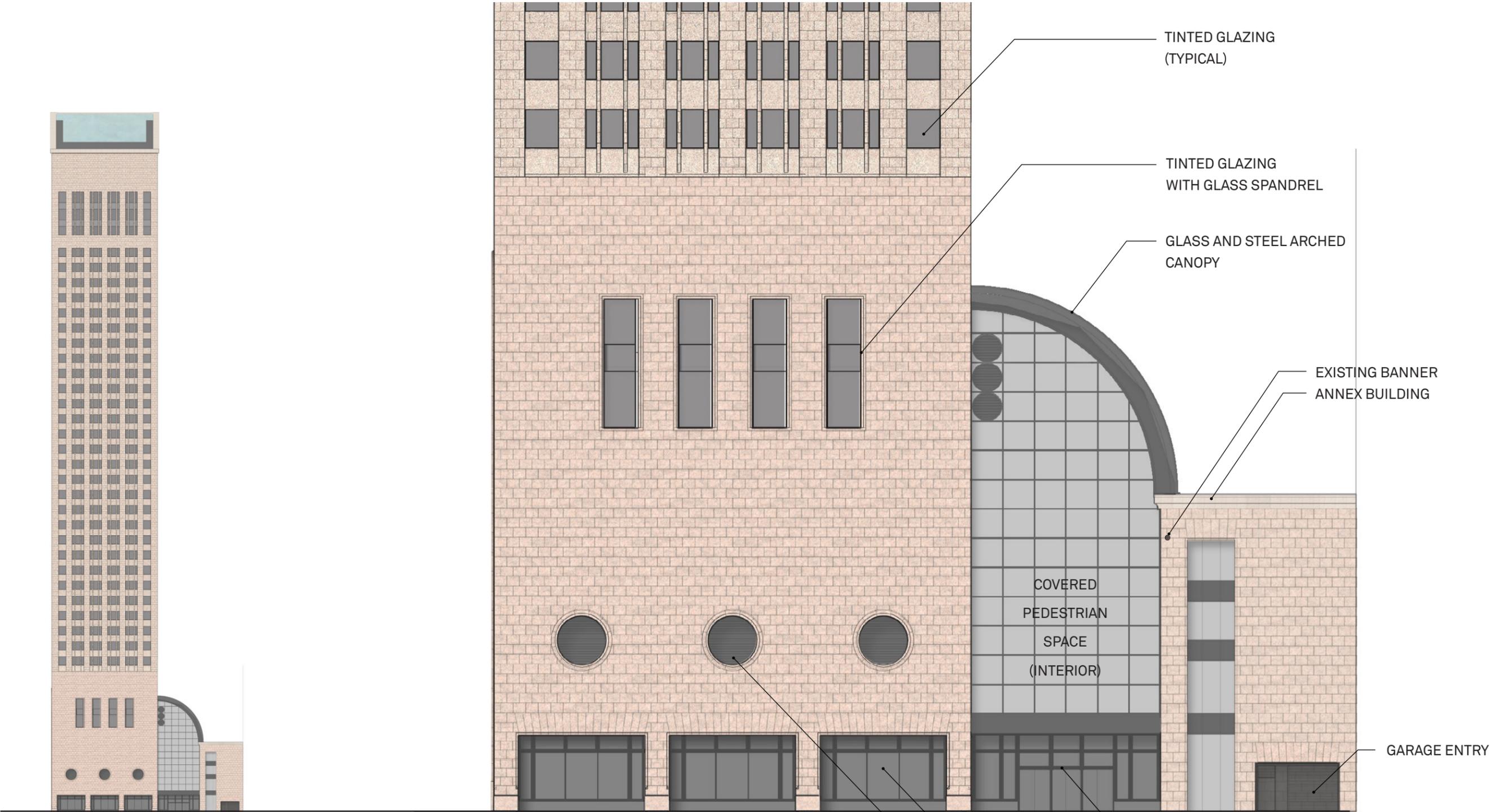
CANOPY

ANNEX AND GARAGE ENTRY

COVERED PEDESTRIAN SPACE (EXTERIOR)

OPEN BEYOND

Existing North Elevation



TINTED GLAZING (TYPICAL)

TINTED GLAZING WITH GLASS SPANDREL

GLASS AND STEEL ARCHED CANOPY

EXISTING BANNER ANNEX BUILDING

COVERED PEDESTRIAN SPACE (INTERIOR)

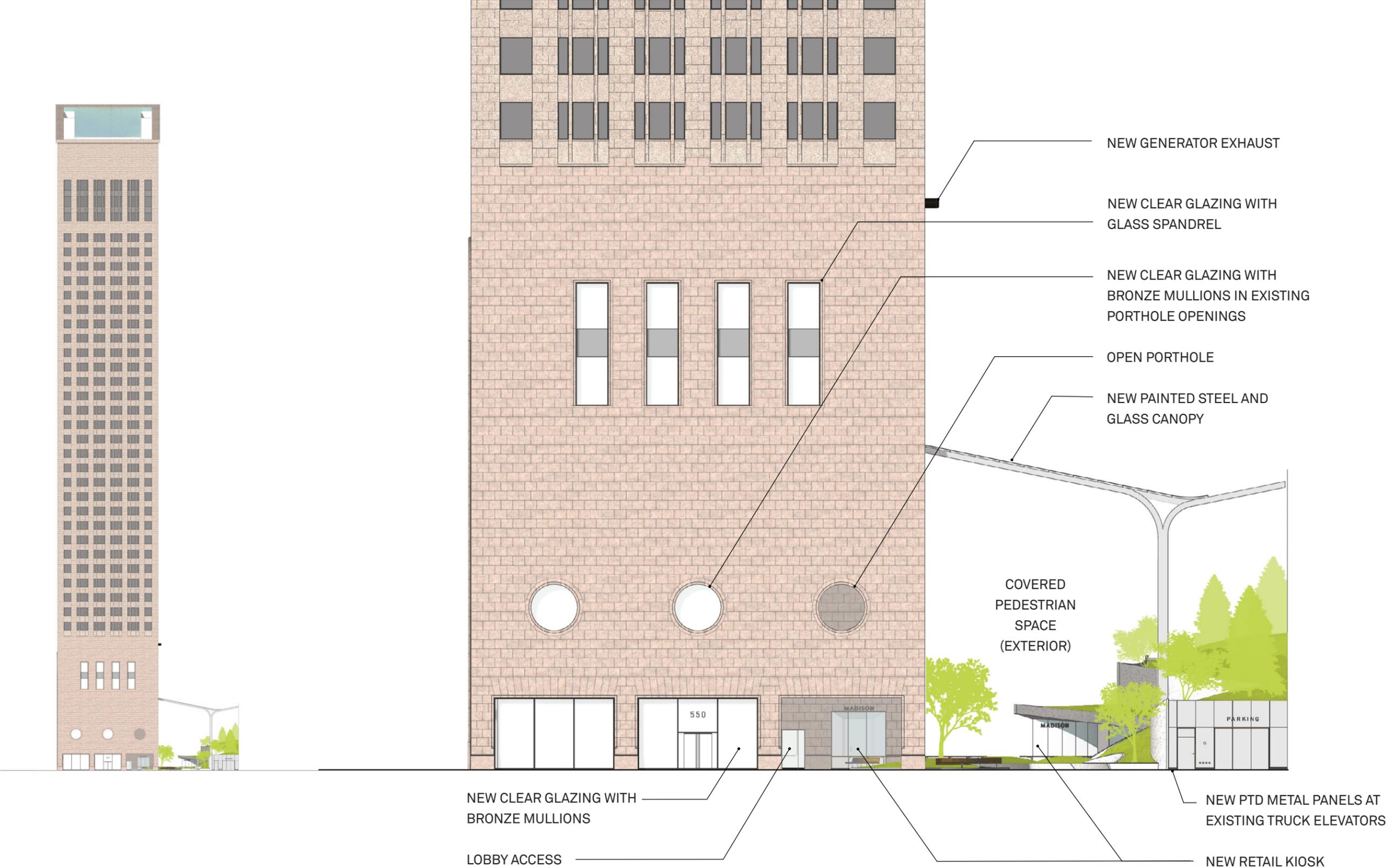
GARAGE ENTRY

COVERED PEDESTRIAN SPACE (INTERIOR)

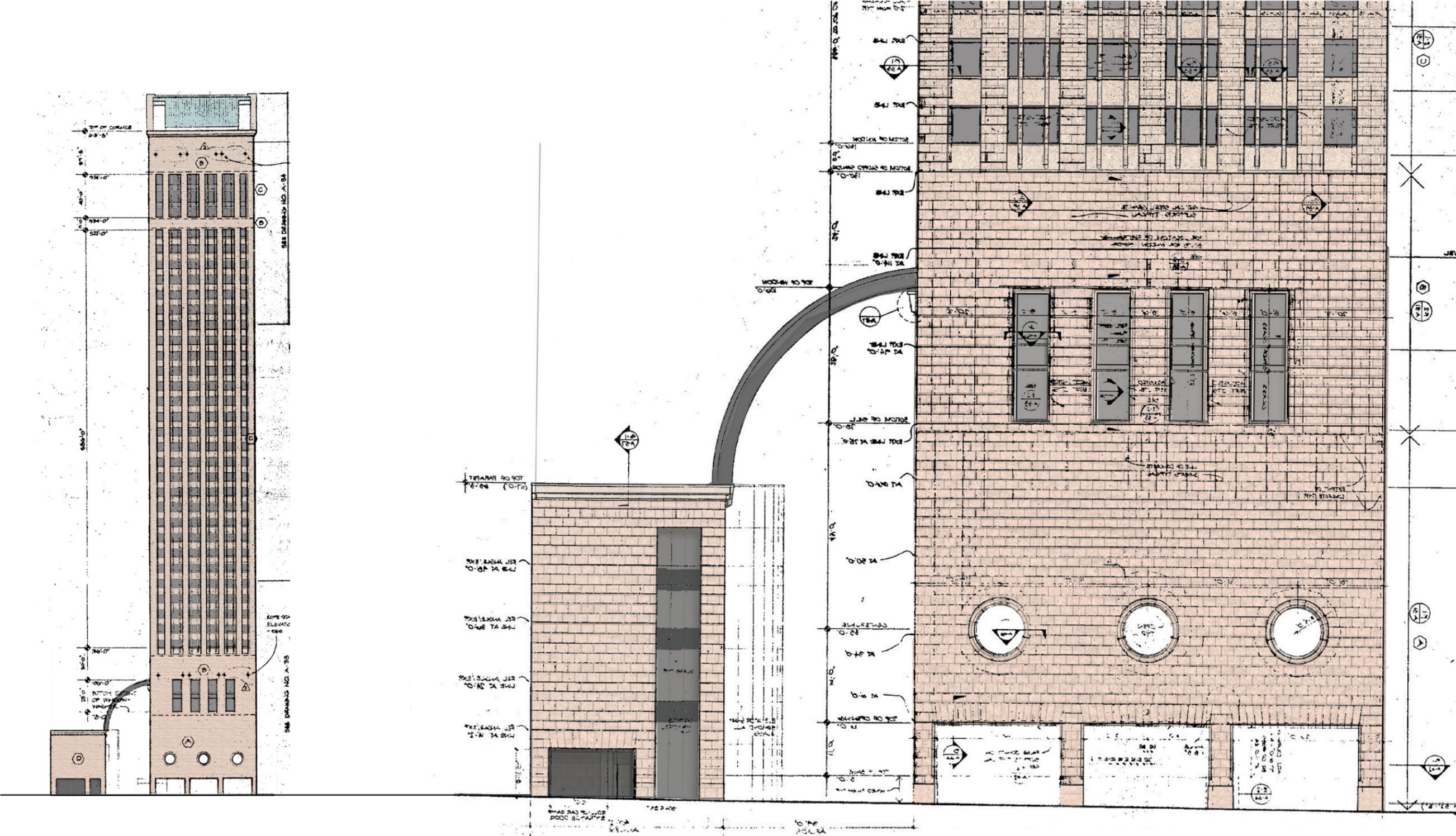
RETAIL STOREFRONT BEYOND

MECHANICAL LOUVERS IN PORTHOLES

Proposed North Elevation

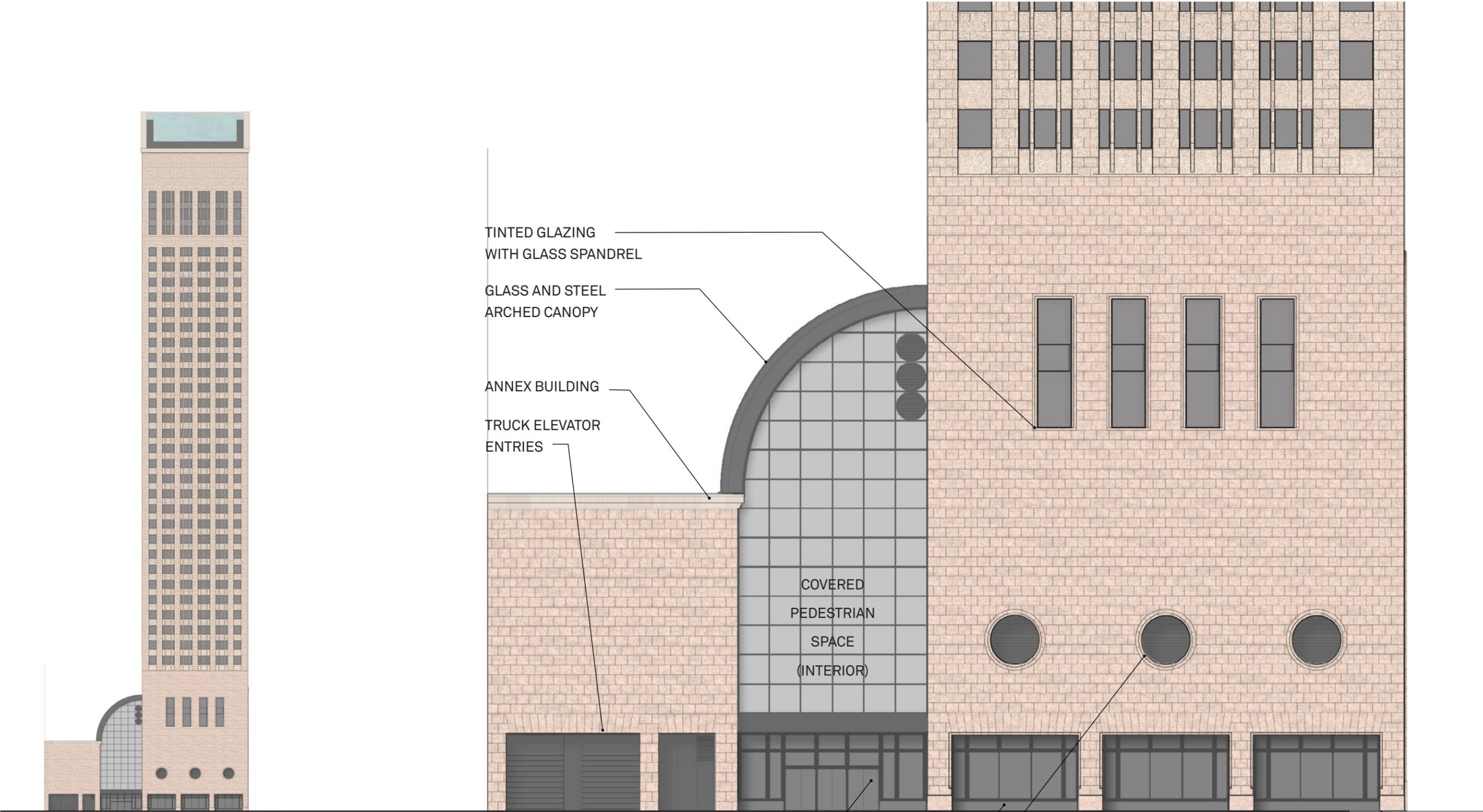


Original South Elevation*



* Drawing depicts mirrored version of North Elevation.

Existing South Elevation



TINTED GLAZING WITH GLASS SPANDREL

GLASS AND STEEL ARCHED CANOPY

ANNEX BUILDING

TRUCK ELEVATOR ENTRIES

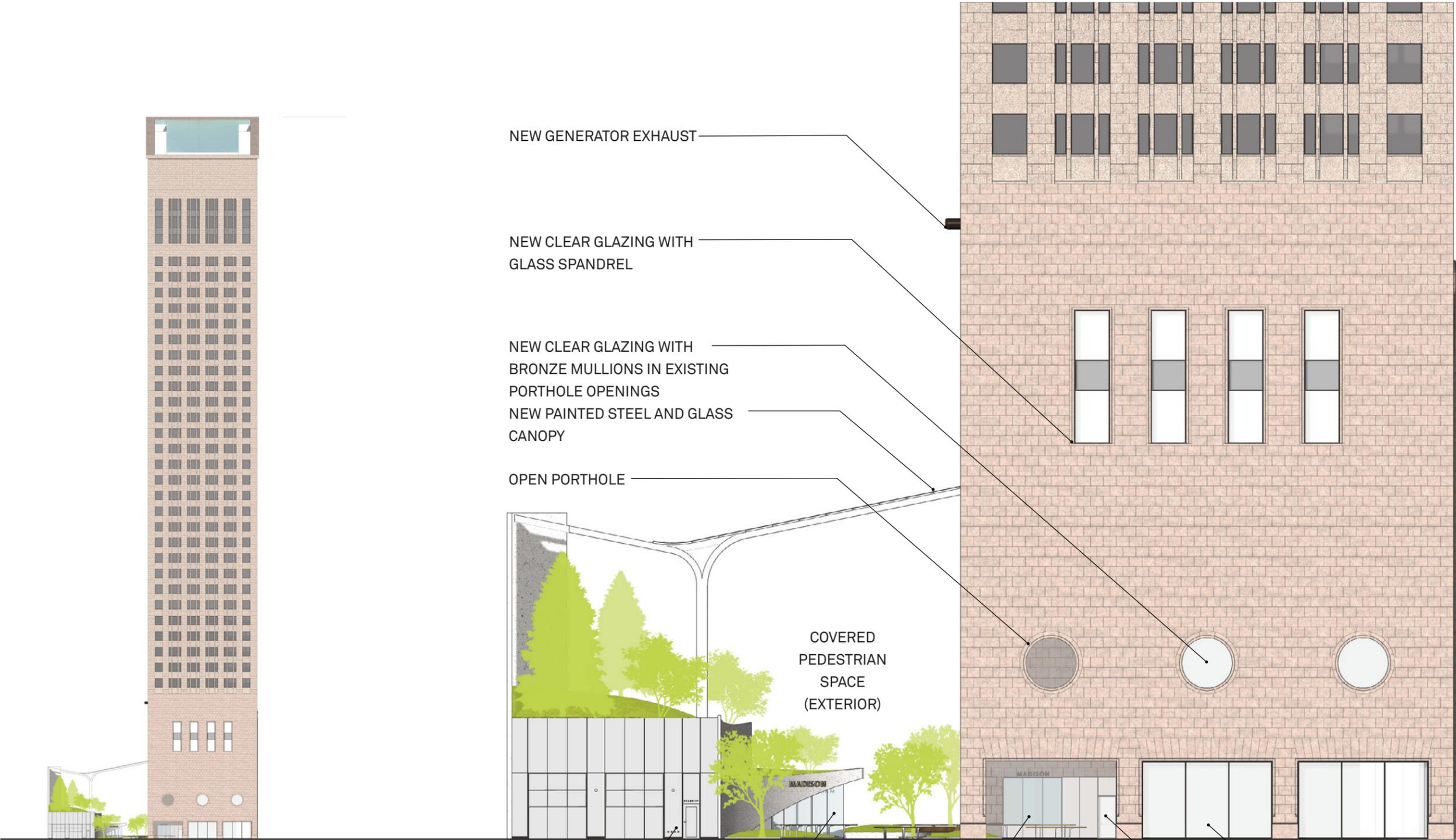
COVERED PEDESTRIAN SPACE (INTERIOR)

COVERED PEDESTRIAN SPACE (INTERIOR)

RETAIL STOREFRONT BEYOND

MECHANICAL LOUVERS IN PORTHOLES

Proposed South Elevation



NEW GENERATOR EXHAUST

NEW CLEAR GLAZING WITH GLASS SPANDREL

NEW CLEAR GLAZING WITH BRONZE MULLIONS IN EXISTING PORTHOLE OPENINGS

NEW PAINTED STEEL AND GLASS CANOPY

OPEN PORTHOLE

COVERED PEDESTRIAN SPACE (EXTERIOR)

NEW PTD METAL PANELS AT EXISTING TRUCK ELEVATORS
NEW RETAIL KIOSK

NEW CLEAR GLAZING WITH BRONZE MULLIONS (4'-6" BEYOND) VESTIBULE BEYOND

Tax Photographs

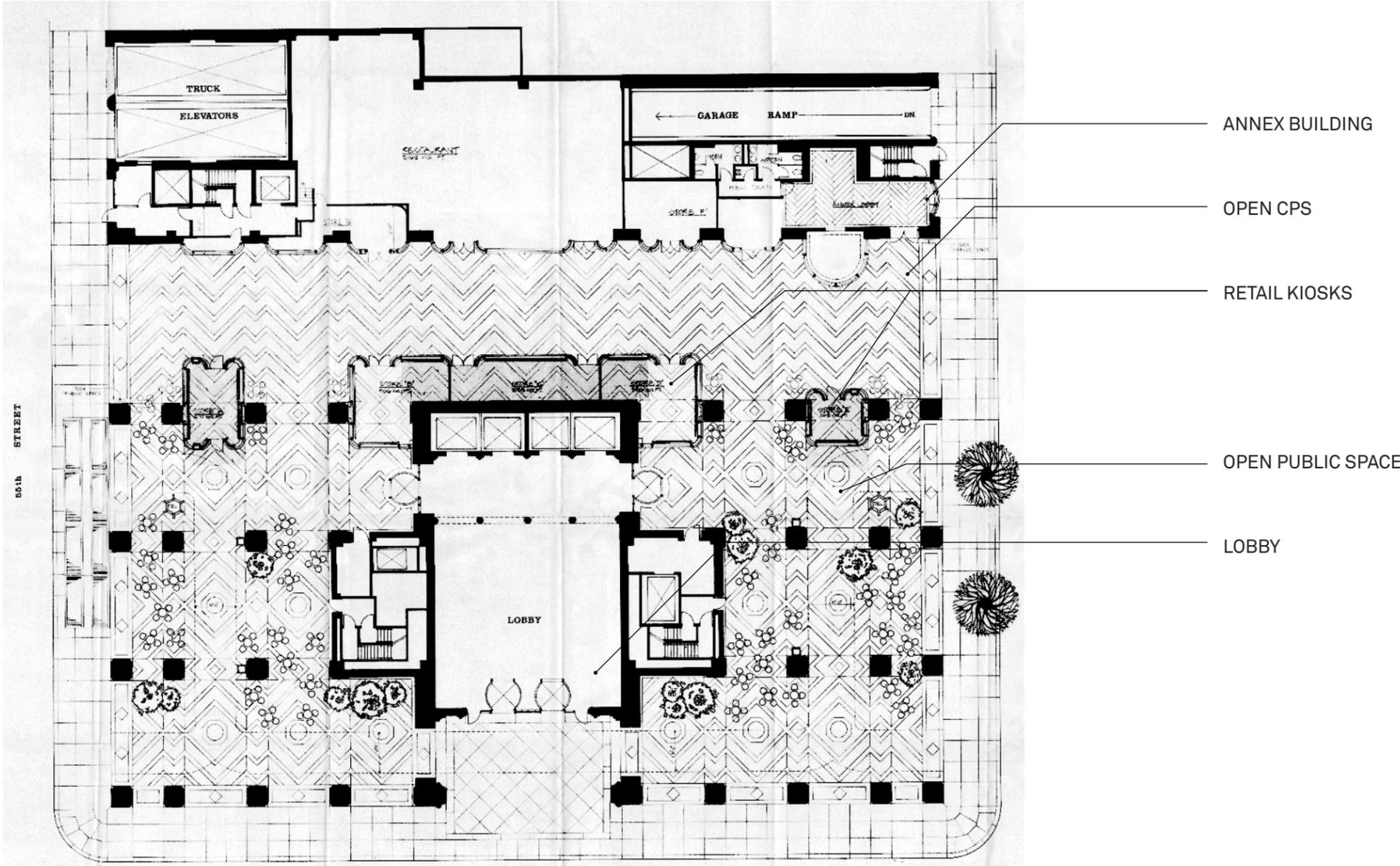


Sanborn Map

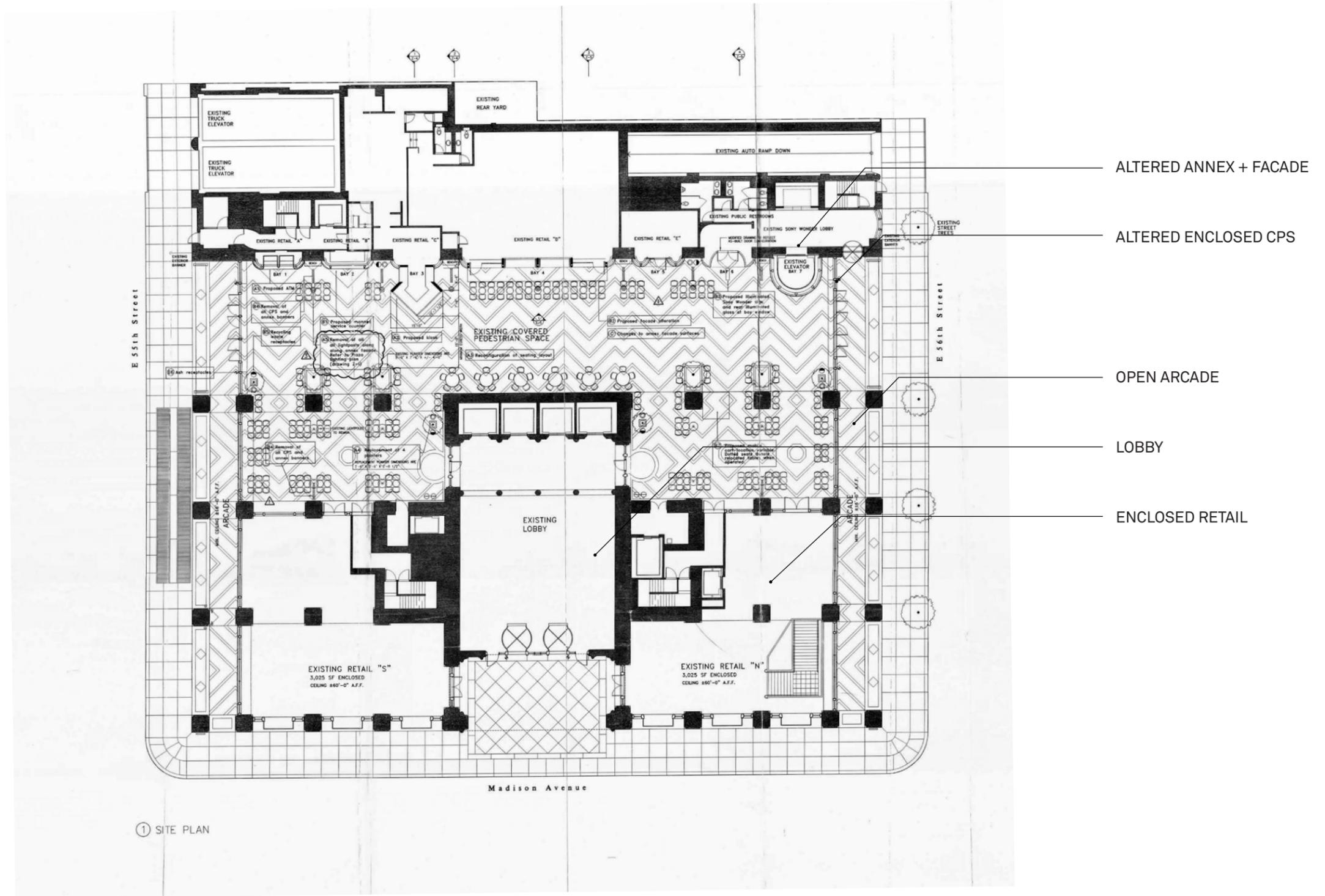


550 Madison Avenue

Original Site Plan



Existing Site Plan

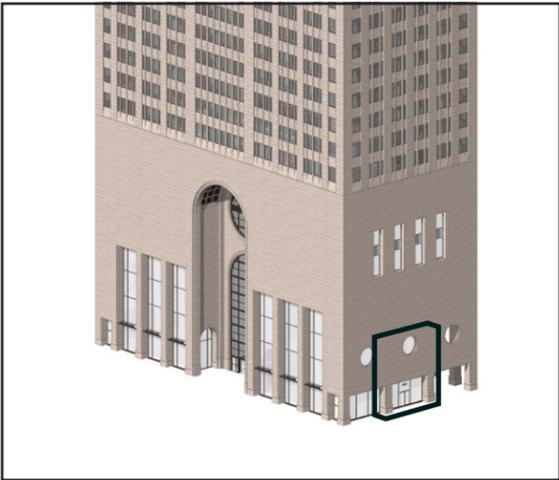
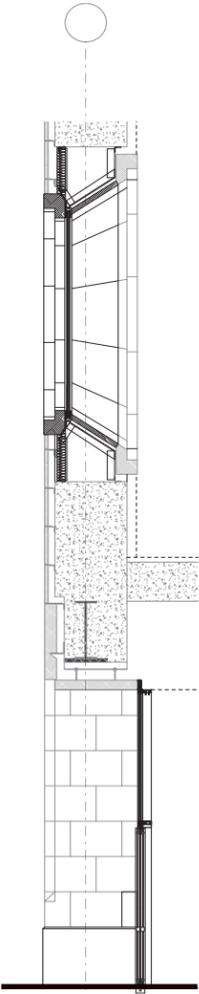
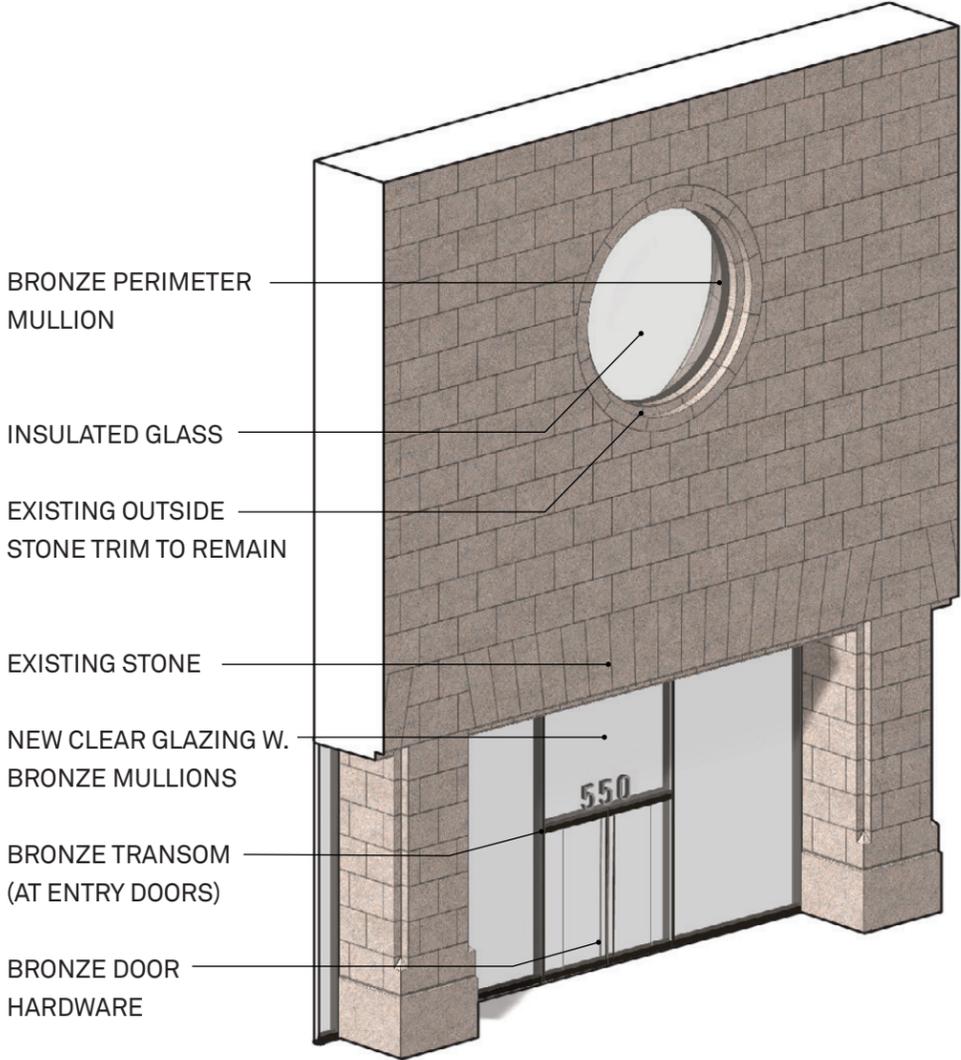


Proposed Site Plan

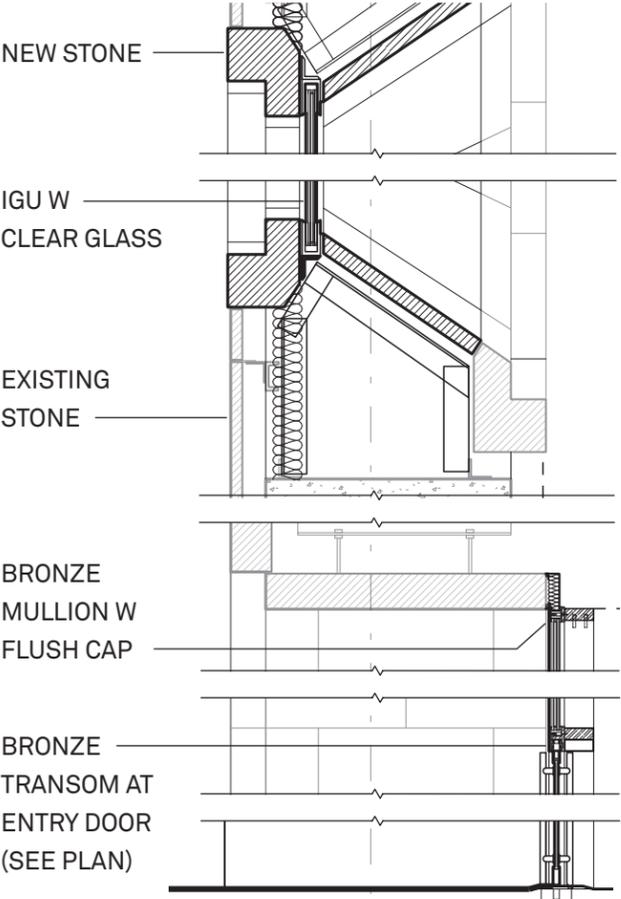


- WATER FEATURE
- WASTE AND RECYCLING RECEPTACLES
- MOVABLE FURNISHINGS
- FIXED FURNISHINGS
- PROPOSED CANOPY COLUMN
- PROPOSED PAVING TYPE 1
- PROPOSED PAVING TYPE 2
- EXISTING SIDEWALK
- EXISTING PAVING
- PROPOSED LANDSCAPE
- EXISTING BUILDING

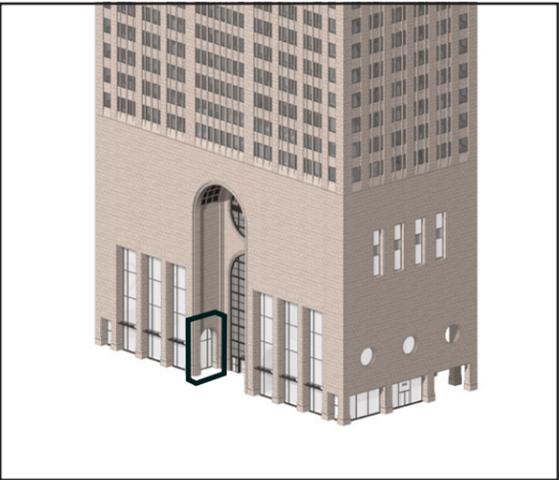
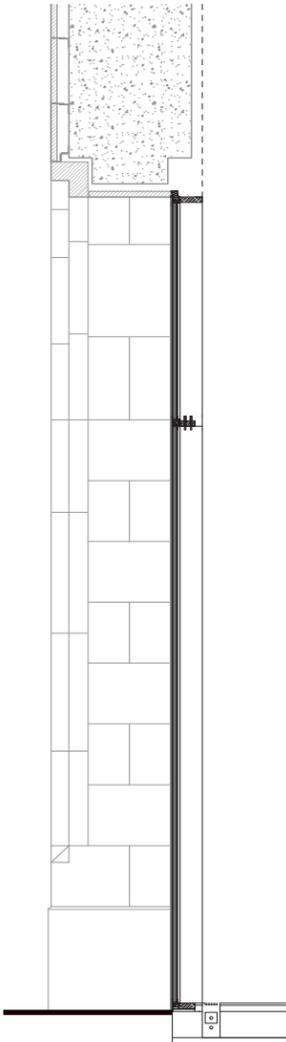
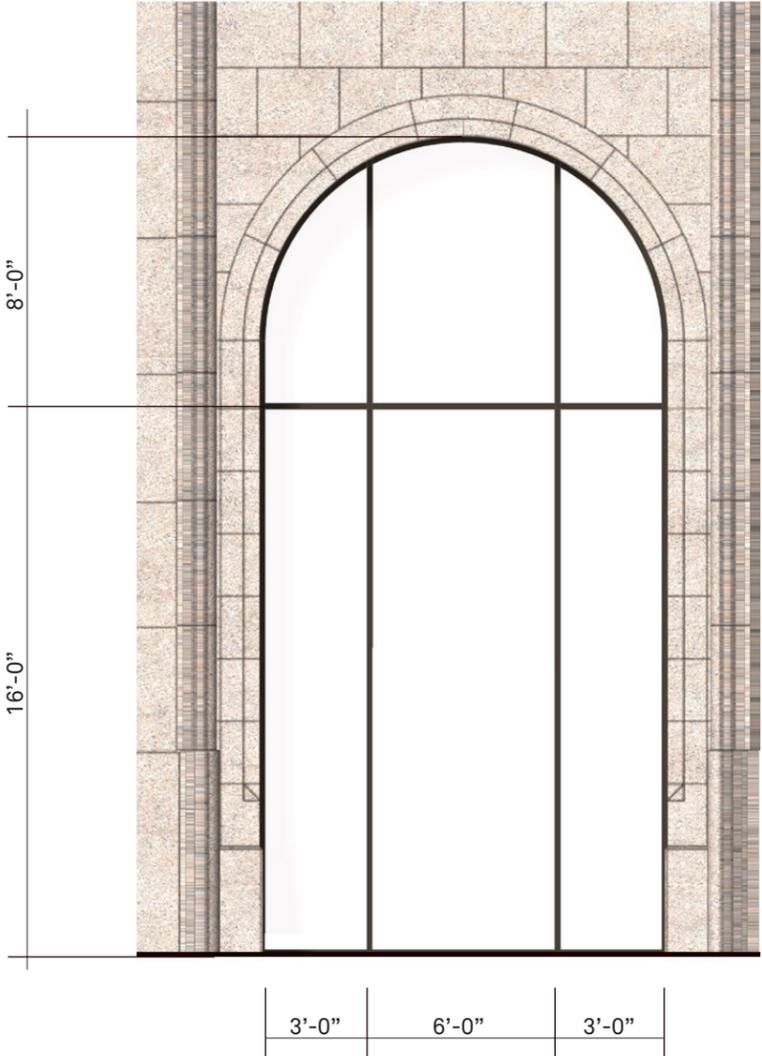
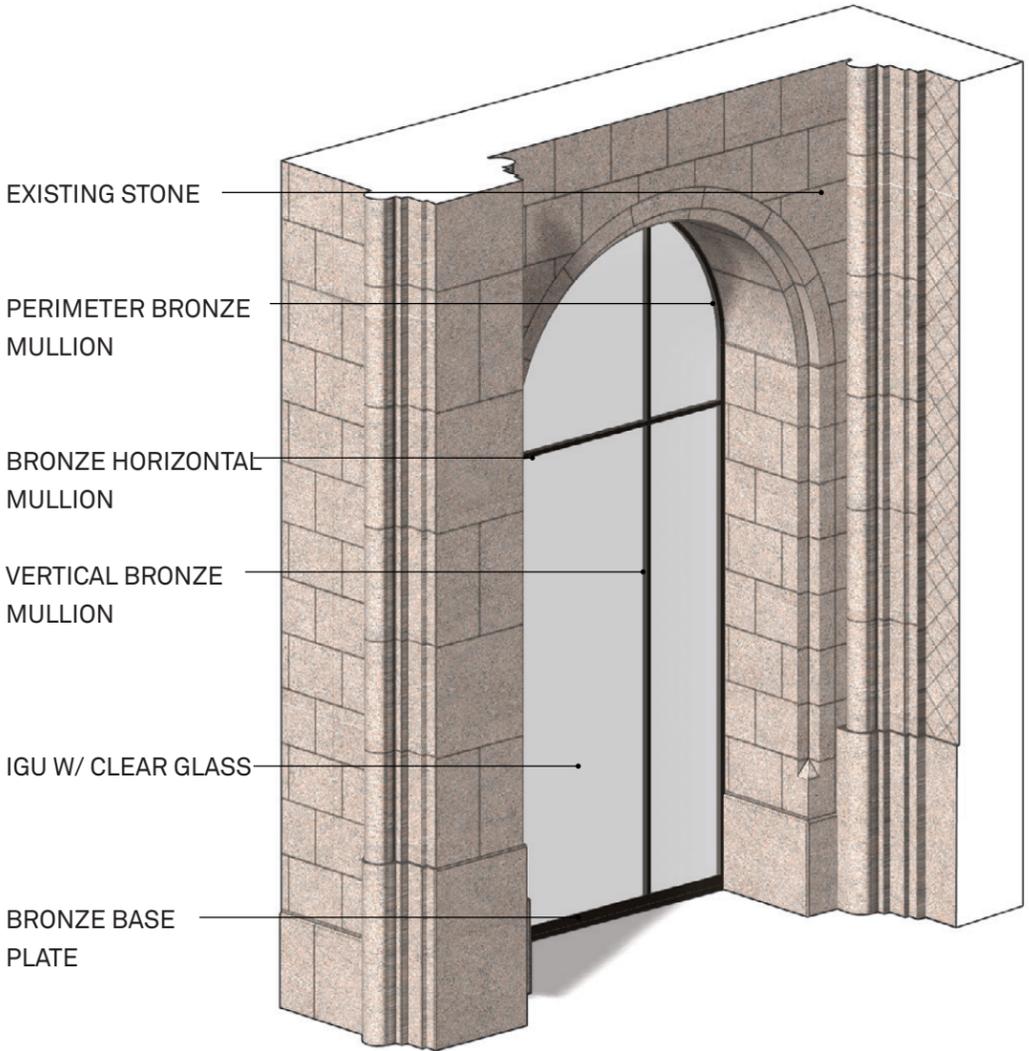
Retail and Porthole Glazing Details



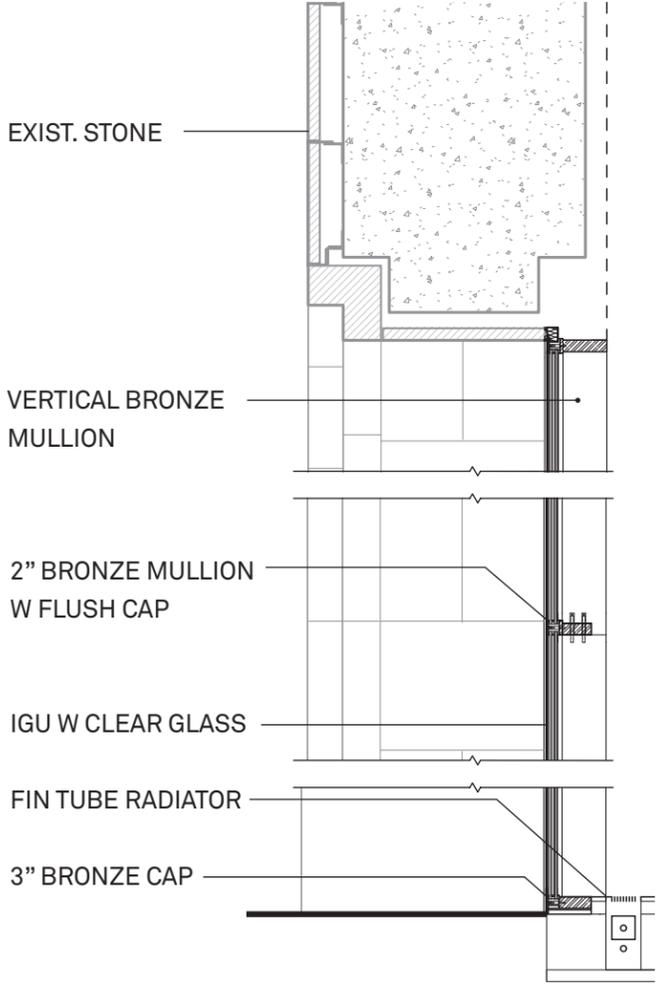
KEY AXON



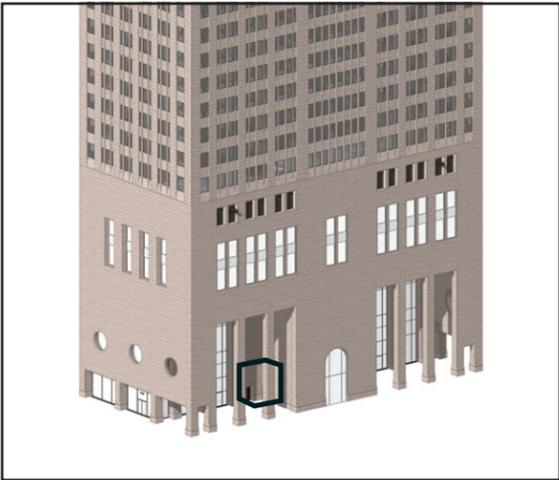
Side Arch Details



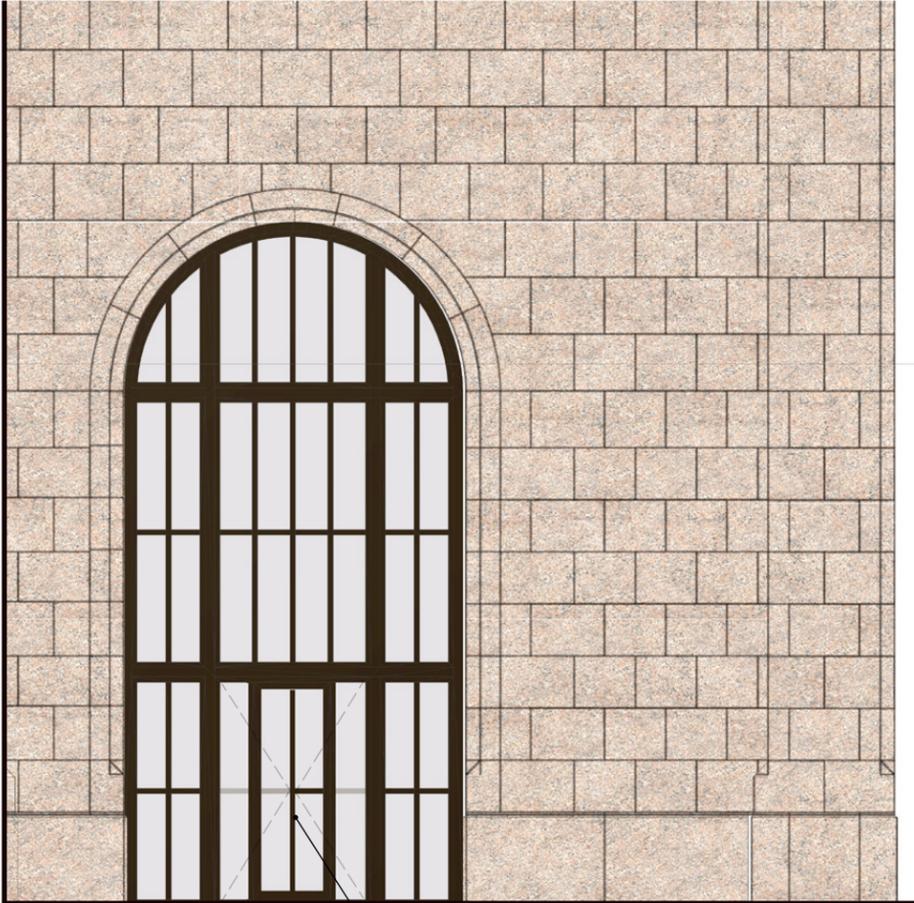
KEY AXON



CPS to Lobby Entry Details

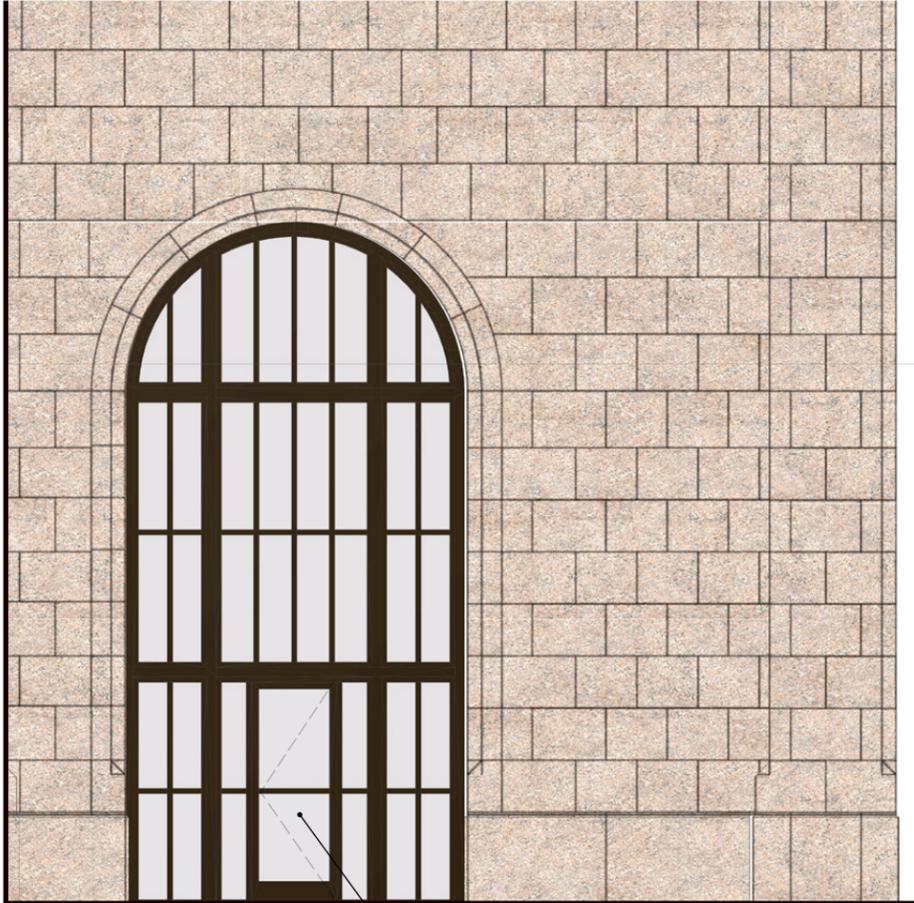


KEY AXON



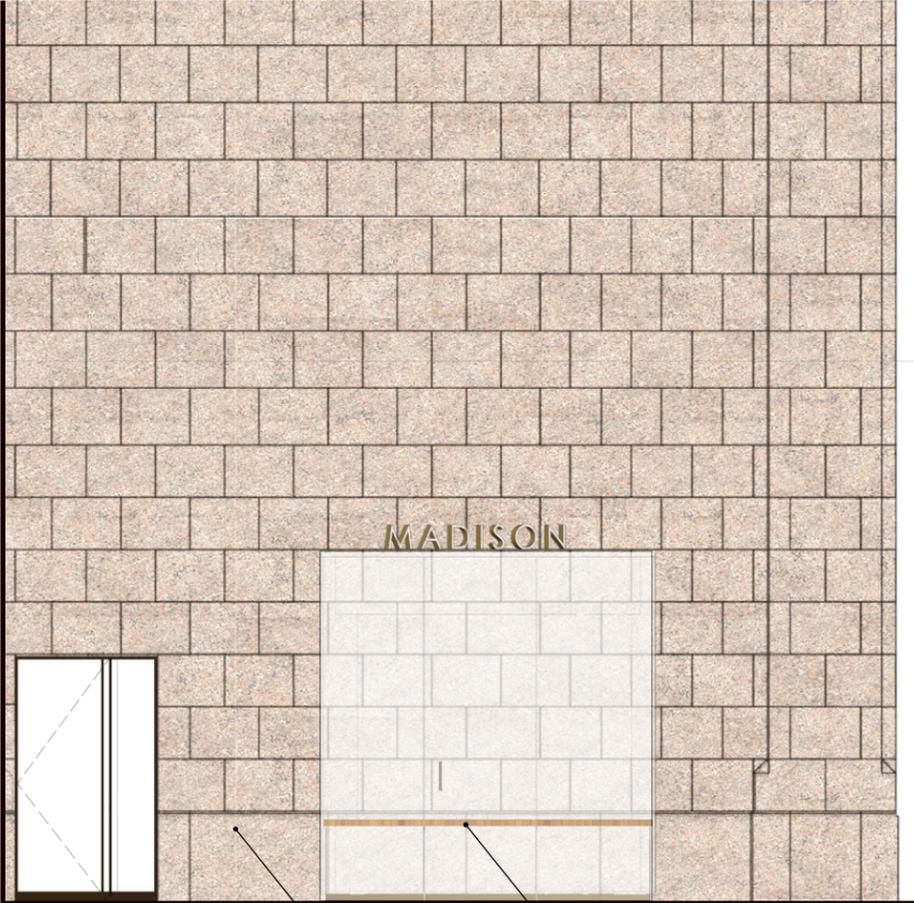
REVOLVING DOOR

ORIGINAL



SWING DOOR

EXISTING

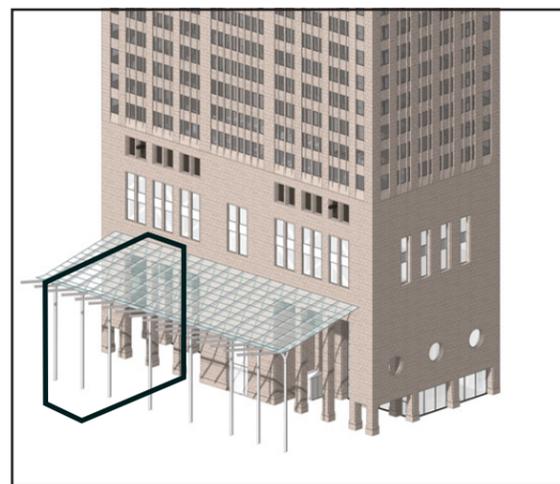
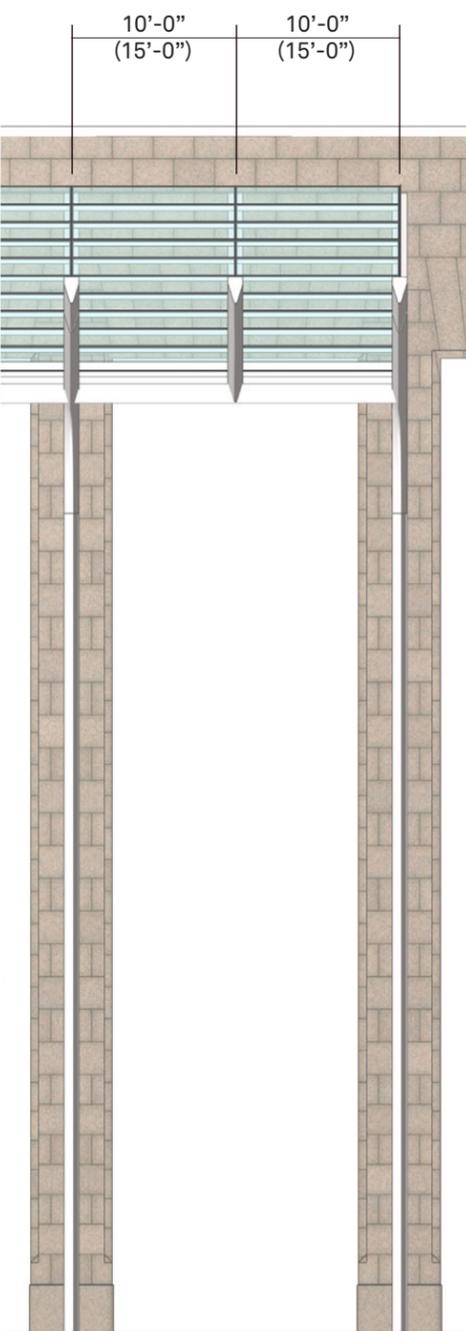
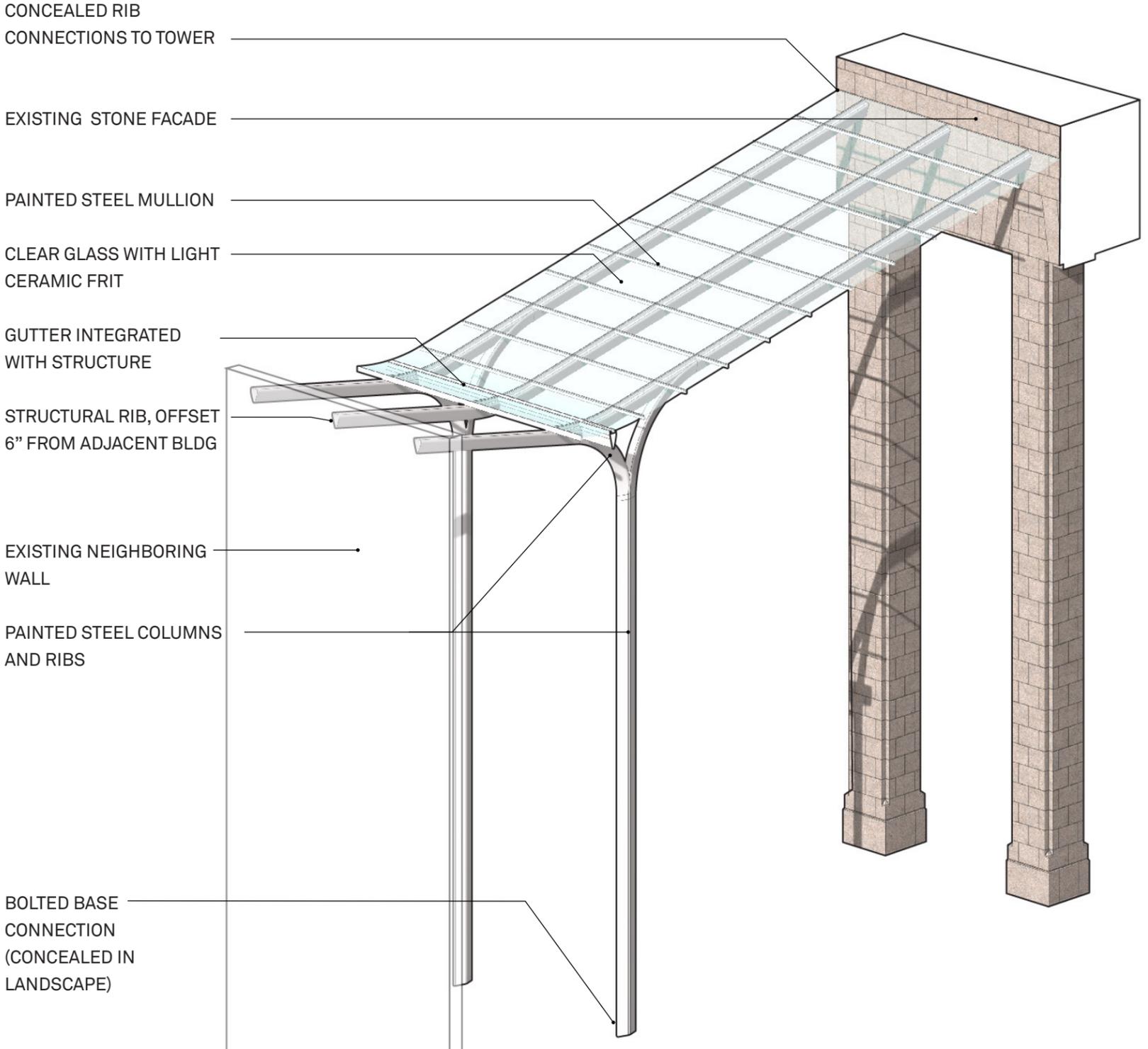


MADISON

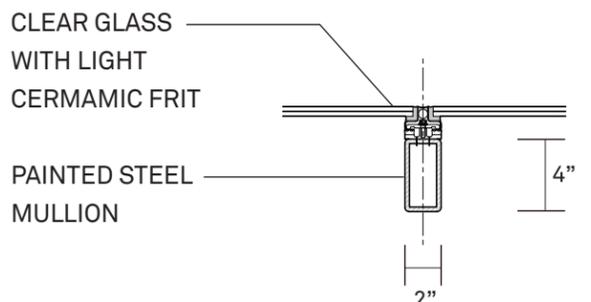
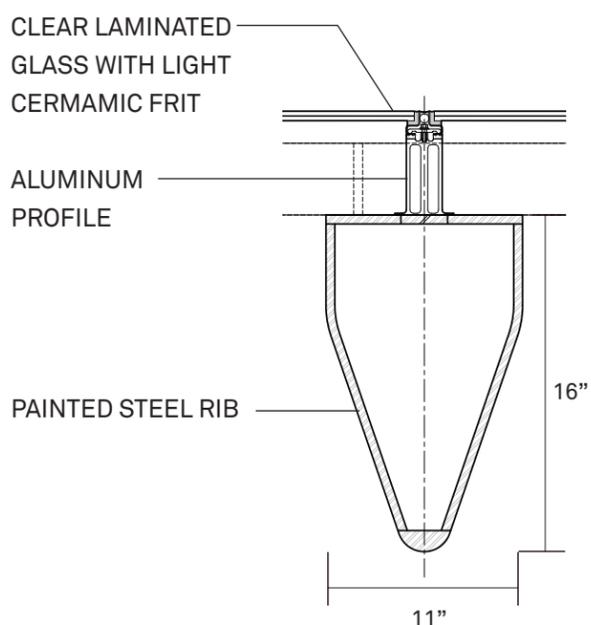
(RETAIL KIOSK)
PATCH INFILL WITH
SALVAGED STONE

PROPOSED

Canopy Details



KEY AXON



Bloom Planting Selection

KEY

 bloom time

INTERPLANTED HIGHLIGHTS



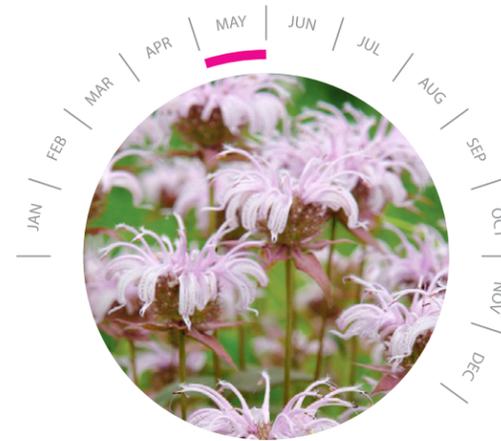
Aster macrophyllus



Allium cernuum



Aquilegia canadensis



Monarda bradburiana



Anemone canadensis

ANNUAL BULBS



Chionodoxa luciliae



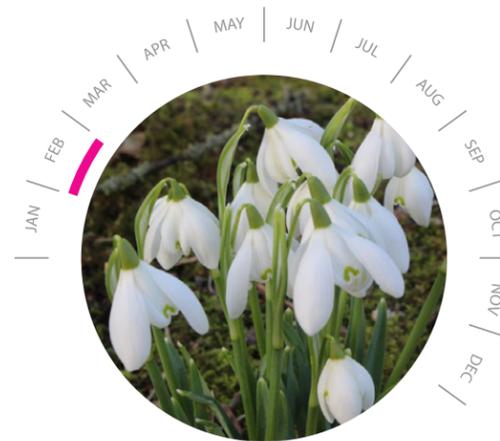
Lilium martagon



Hyacinthoides hispanica



Lycoris squamigera



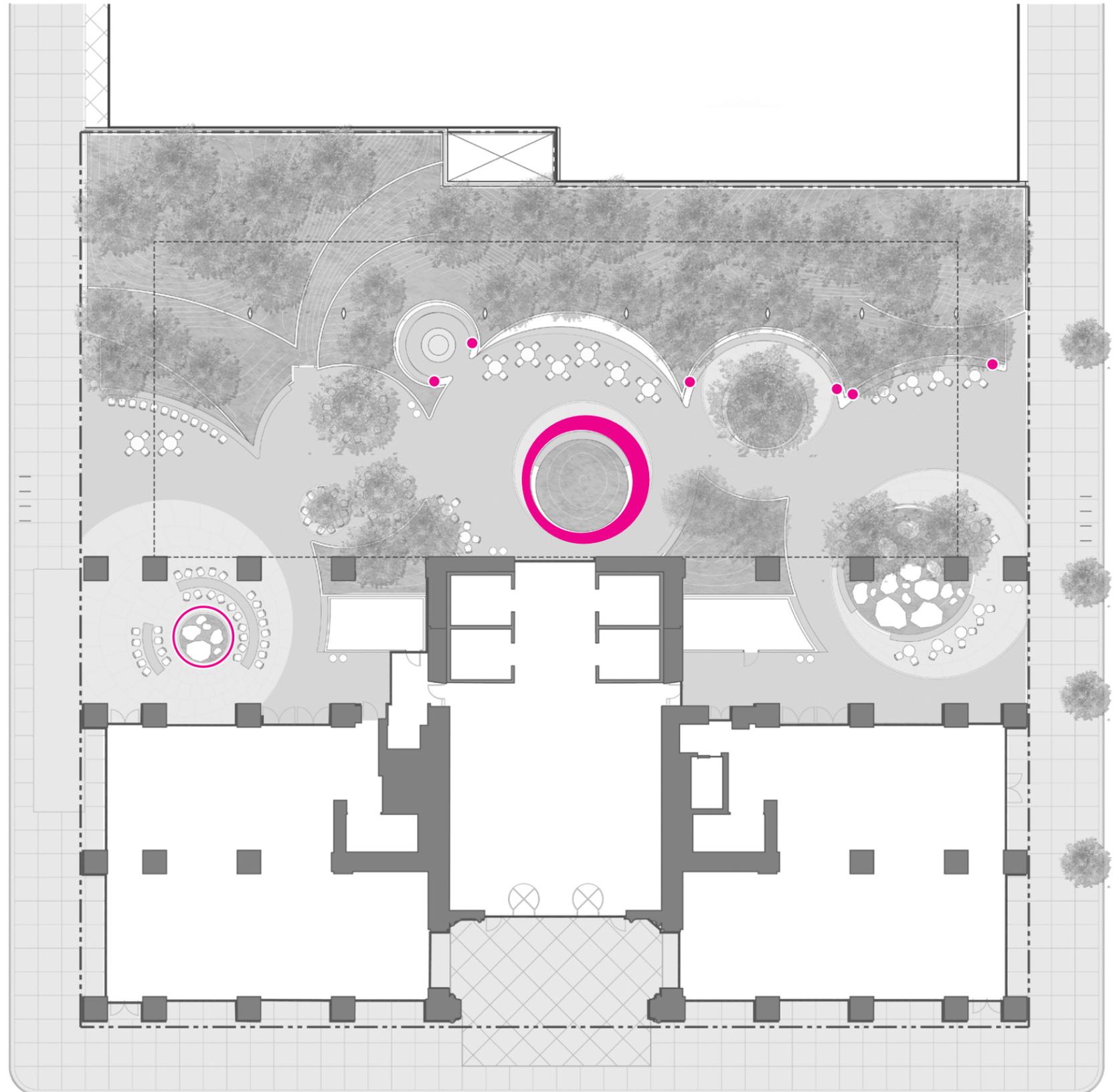
Galanthus nivalis

Educational Component

REVEALING TIME

Converting the public realm from a hermetically sealed atrium and technology museum to an open garden opens up new educational opportunities for this space. The proposal reveals pieces of the site's geological history, solar orientation and seasonality - all seen through the lens of **time**.

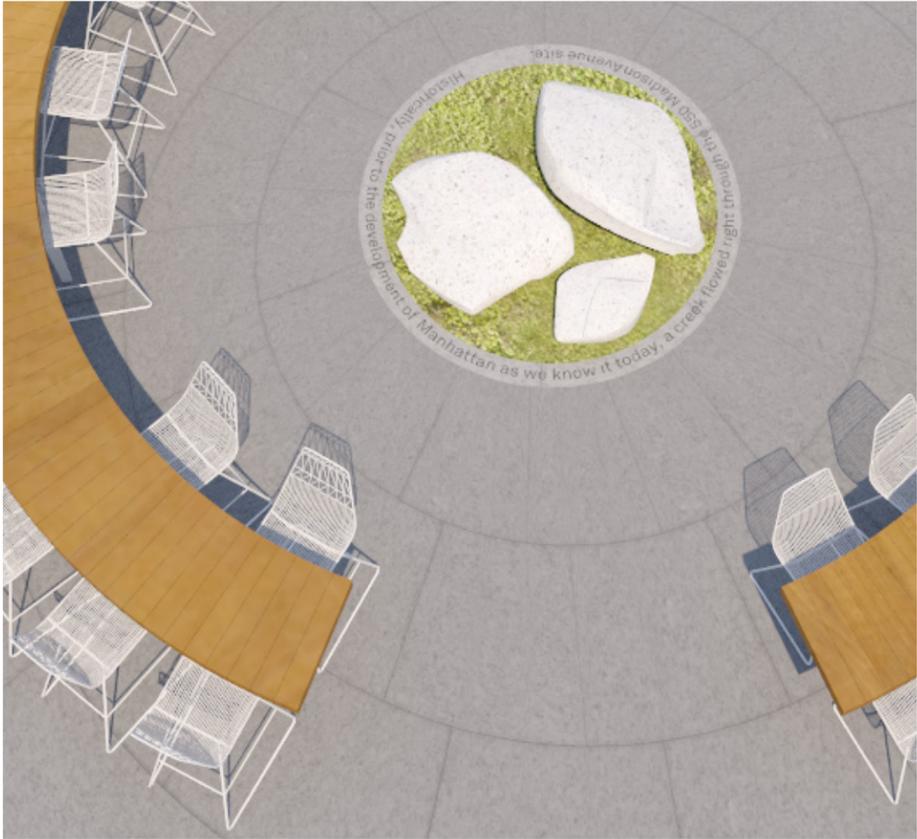
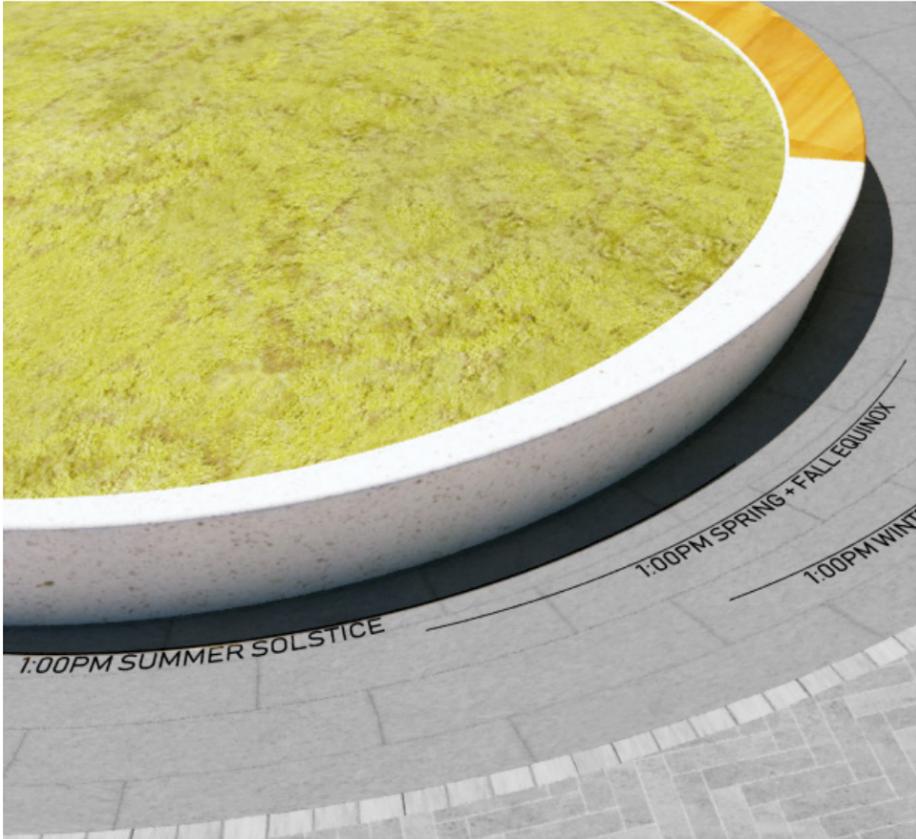
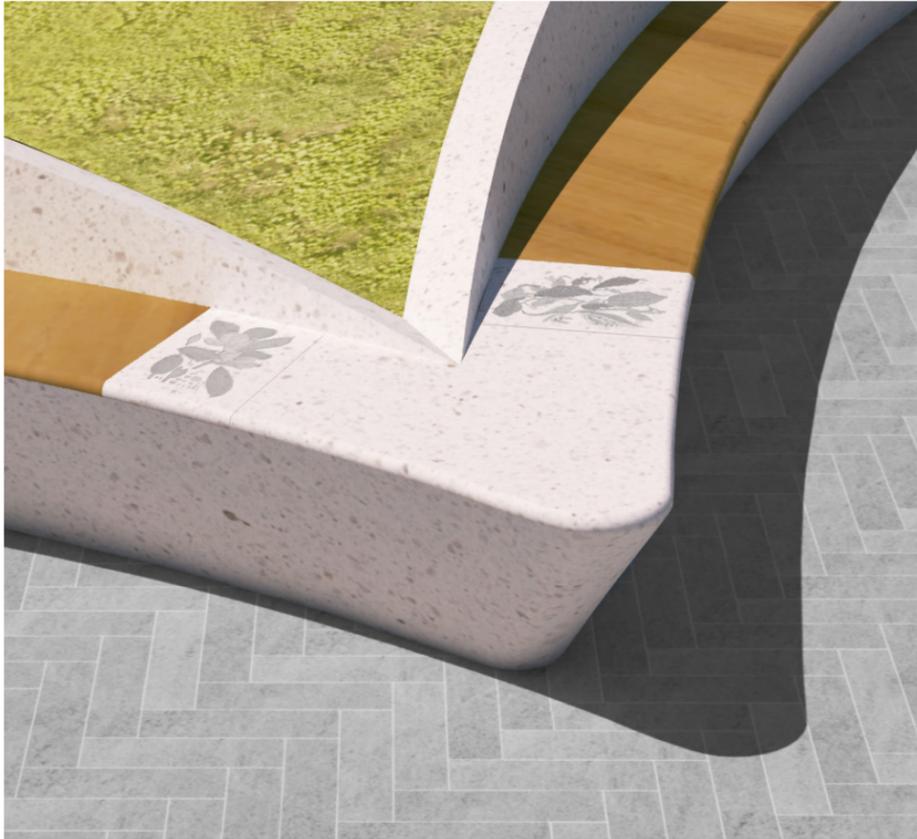
Educational elements are located strategically through the space allowing visitors an opportunity to discover these upon every visit to the space. Information is embedded within the proposed seating and walking surfaces rather than introducing free-standing elements similar to a botanic garden or museum.



KEY

- seasonal time
- cosmic time
- geologic time

Educational Component



seasonal time//**species**



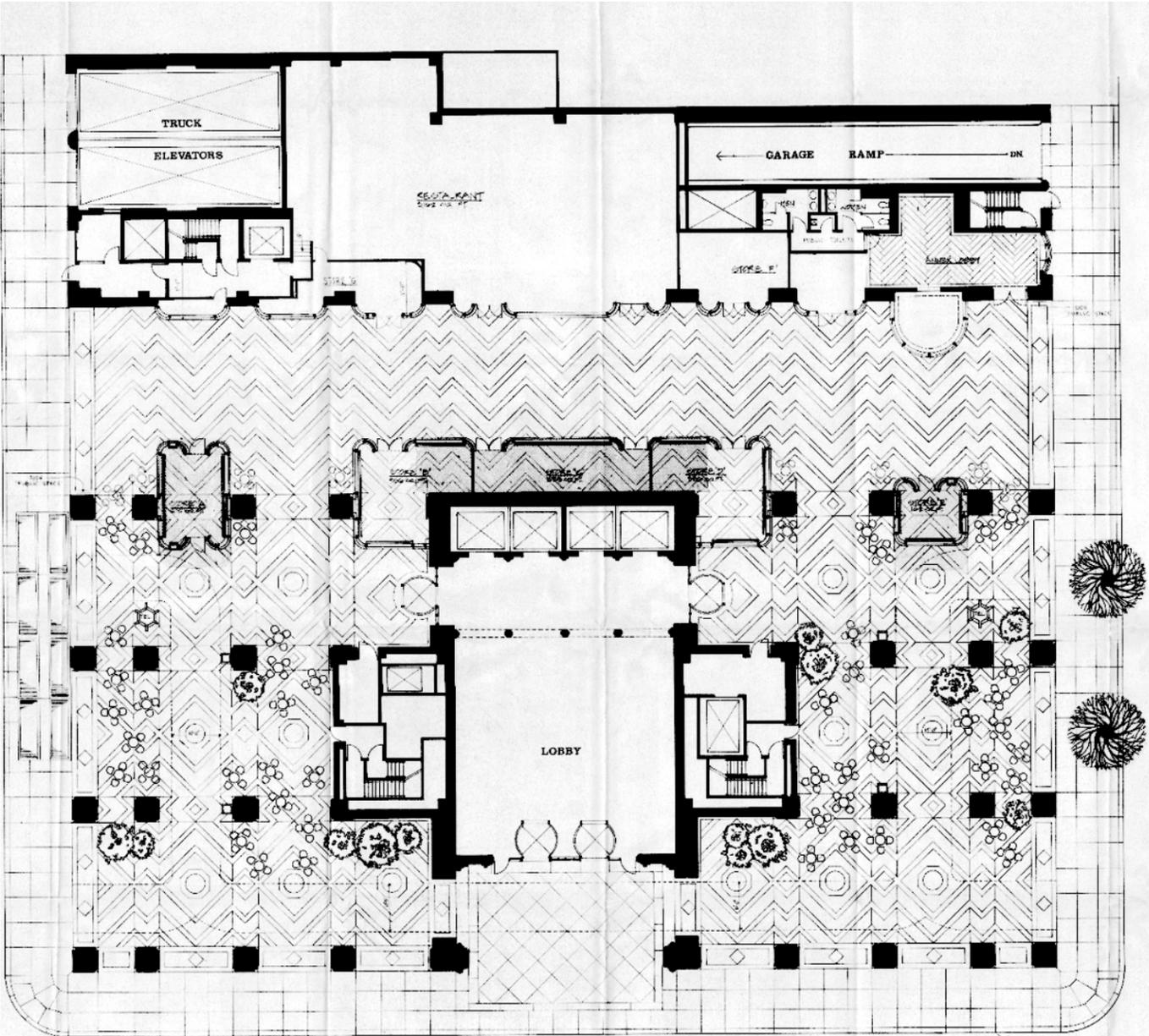
cosmic time//**sun**



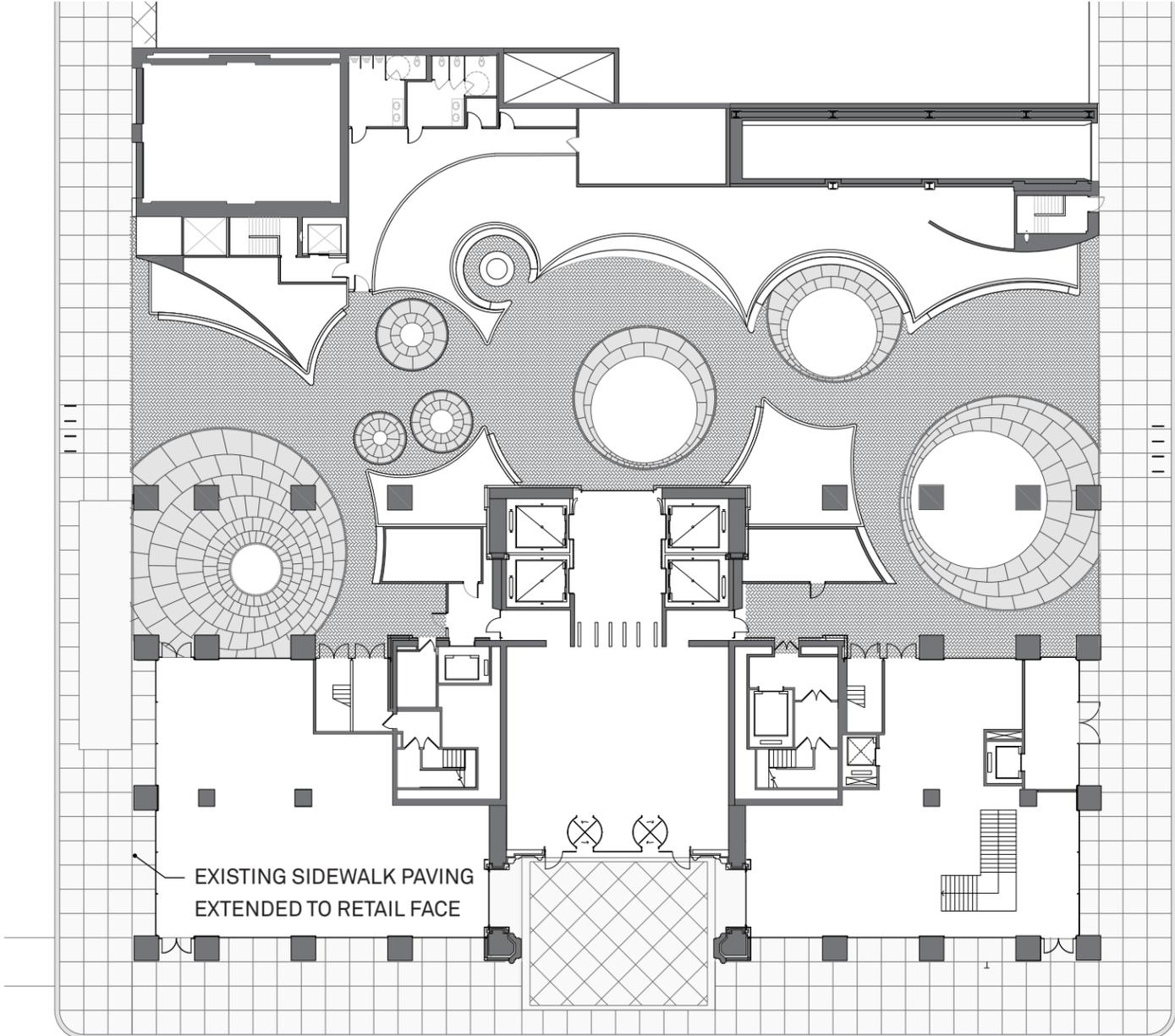
geologic time//**water**



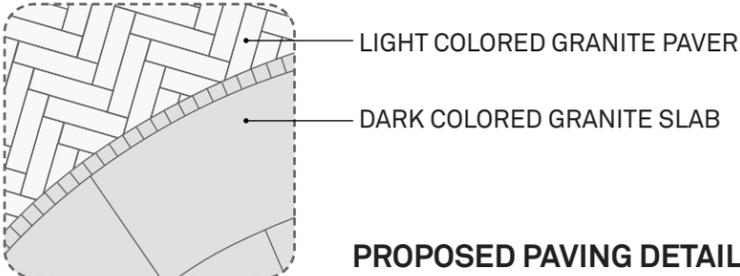
Original and Proposed Paving Plans



ORIGINAL 1984 PAVING DESIGN



PROPOSED PAVING PLAN

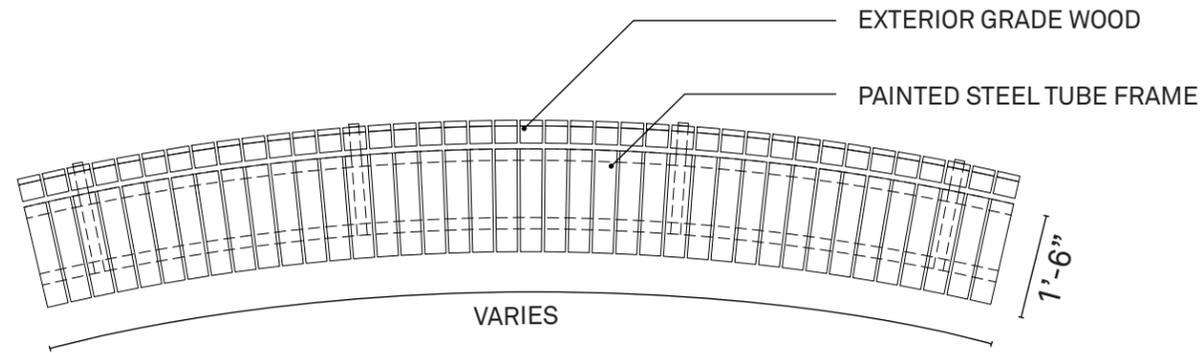


LIGHT COLORED GRANITE PAVER

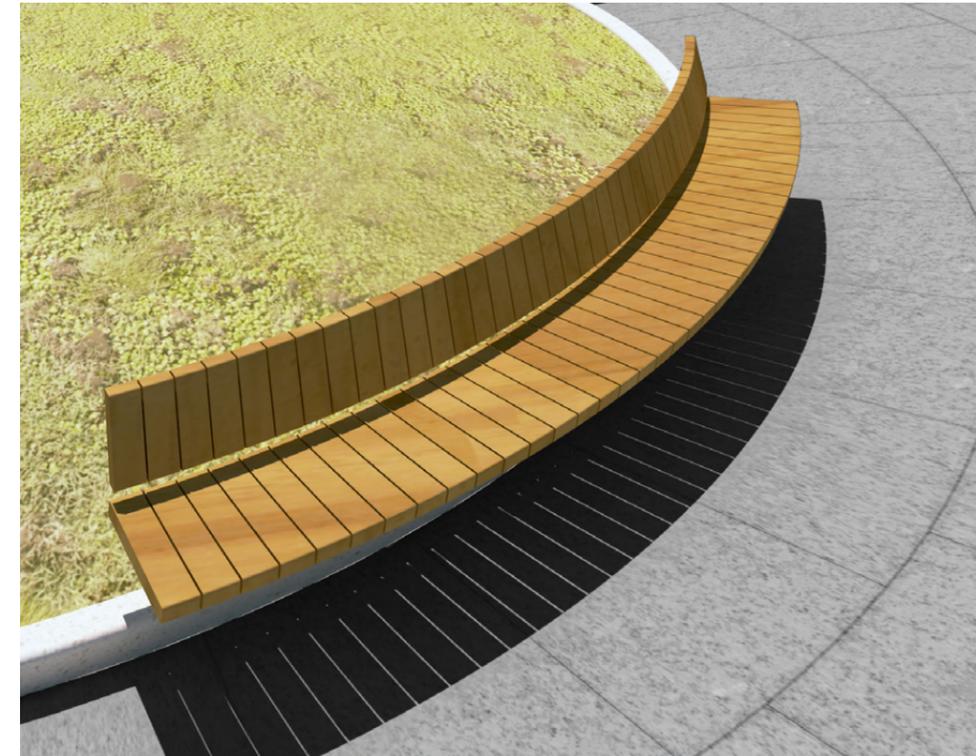
DARK COLORED GRANITE SLAB

PROPOSED PAVING DETAIL

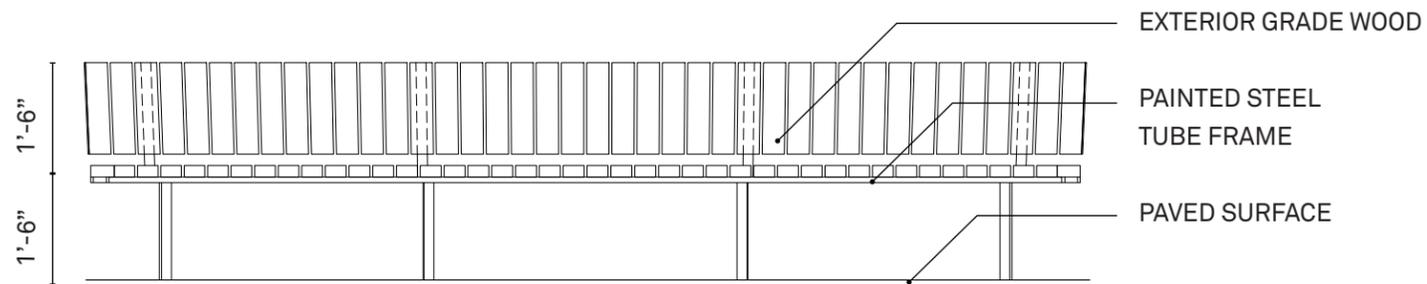
Proposed Freestanding Bench Details



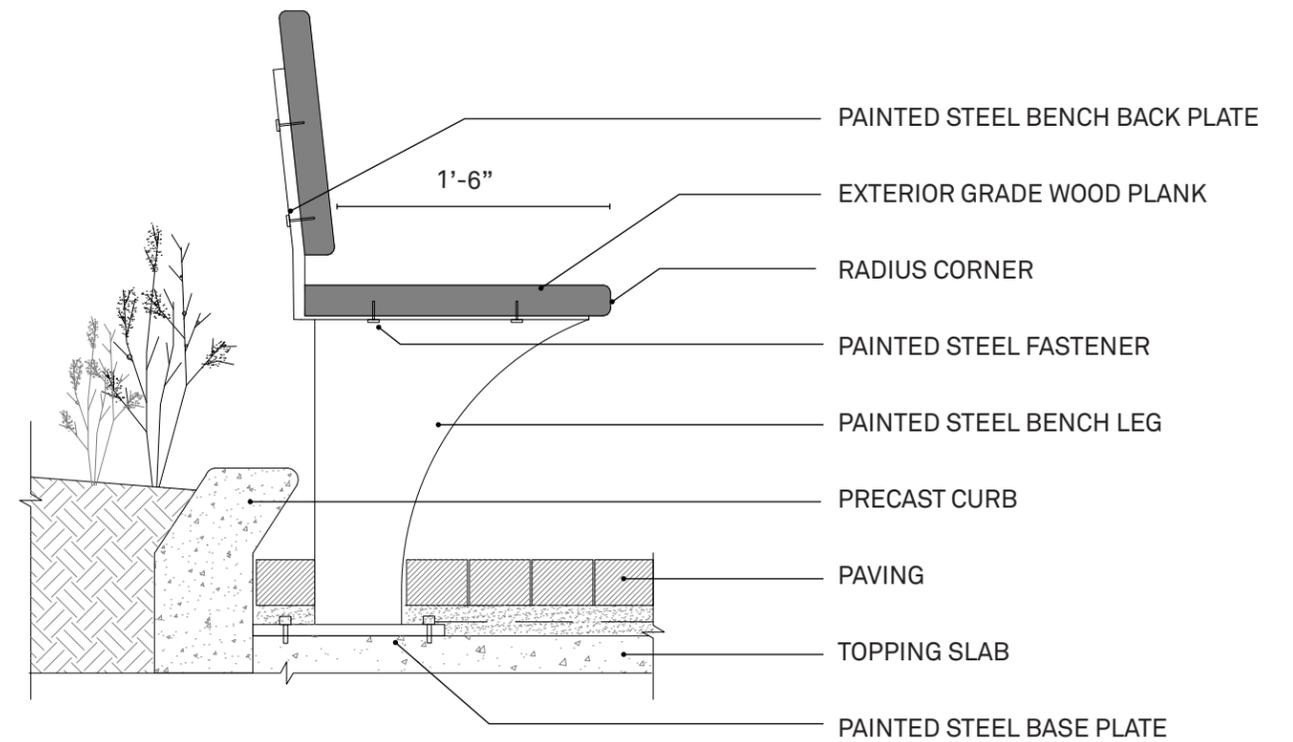
TYPICAL BENCH PLAN



TYPICAL BENCH ASSEMBLY

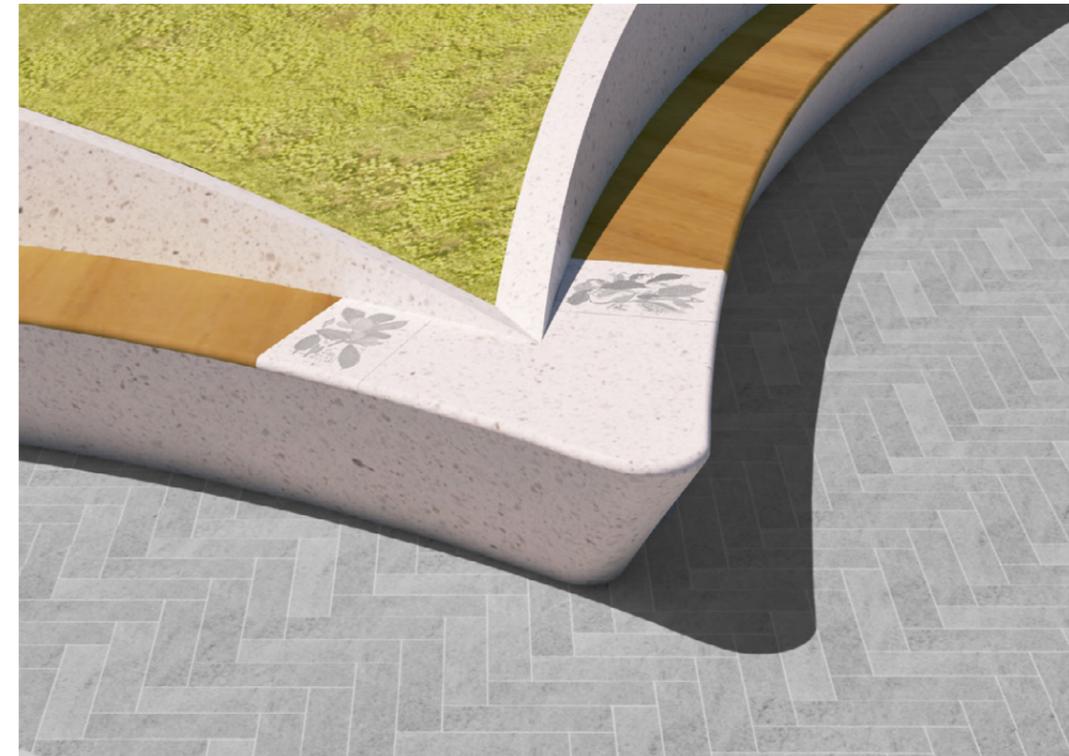
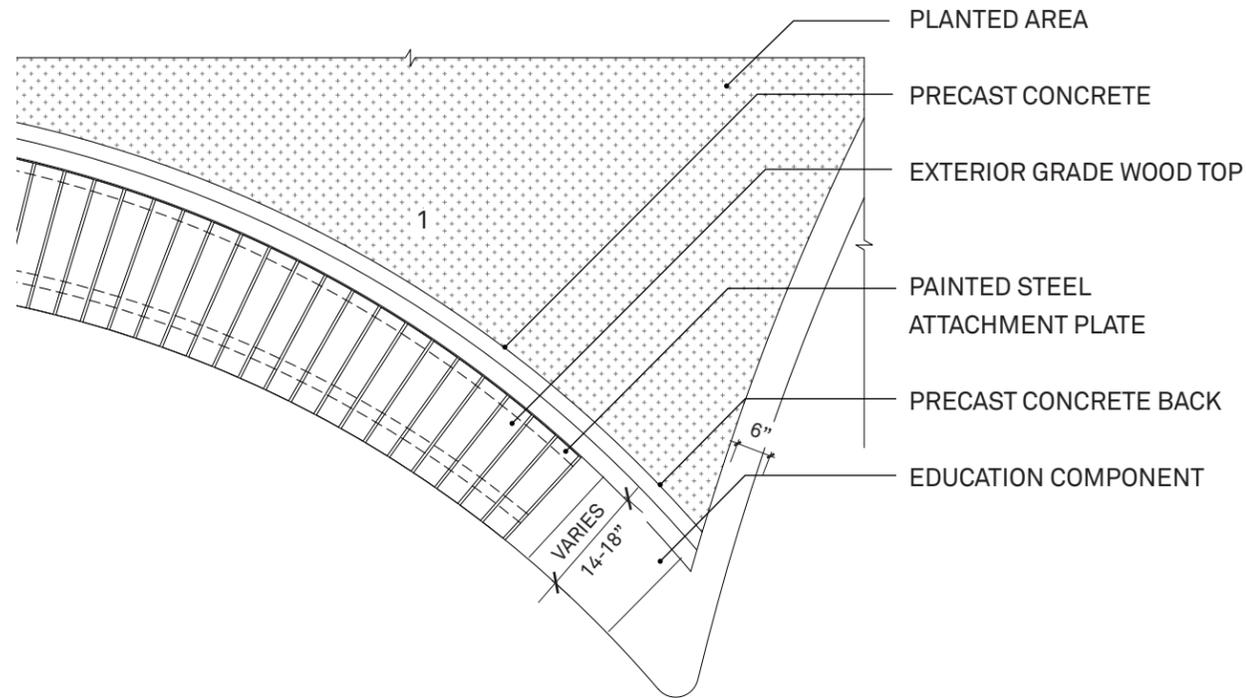


TYPICAL BENCH ELEVATION

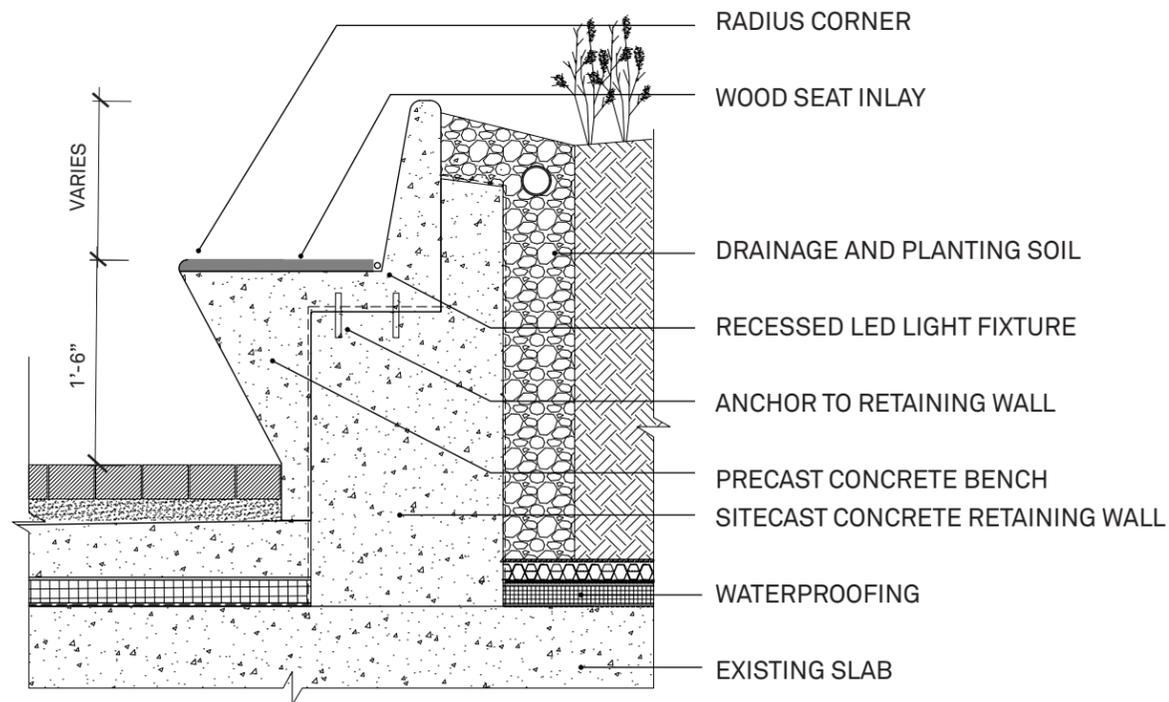


TYPICAL BENCH SECTION

Proposed Fixed Bench Details



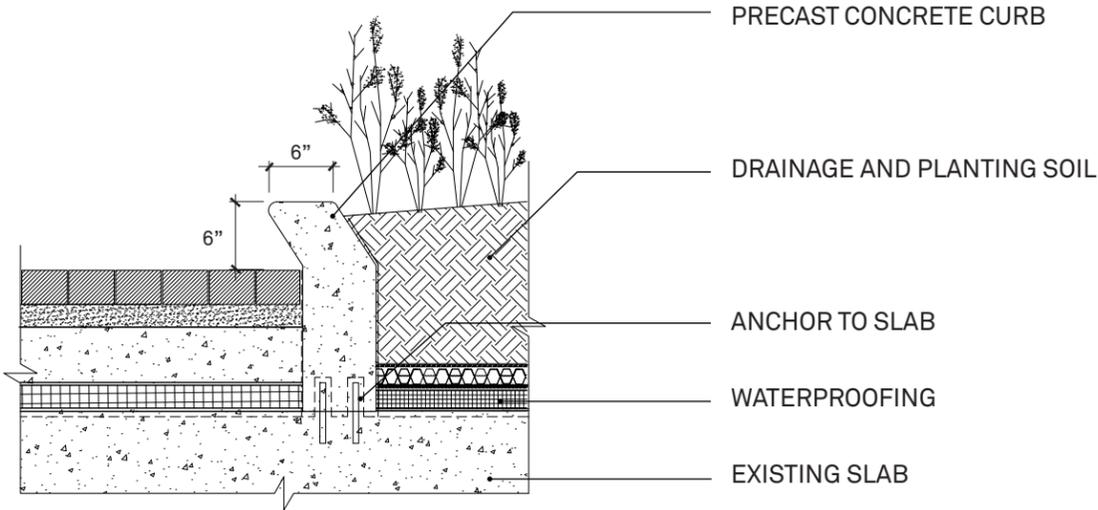
TYPICAL FIXED BENCH PLAN



TYPICAL FIXED BENCH VIEW

TYPICAL FIXED BENCH SECTION

Proposed Curb Details

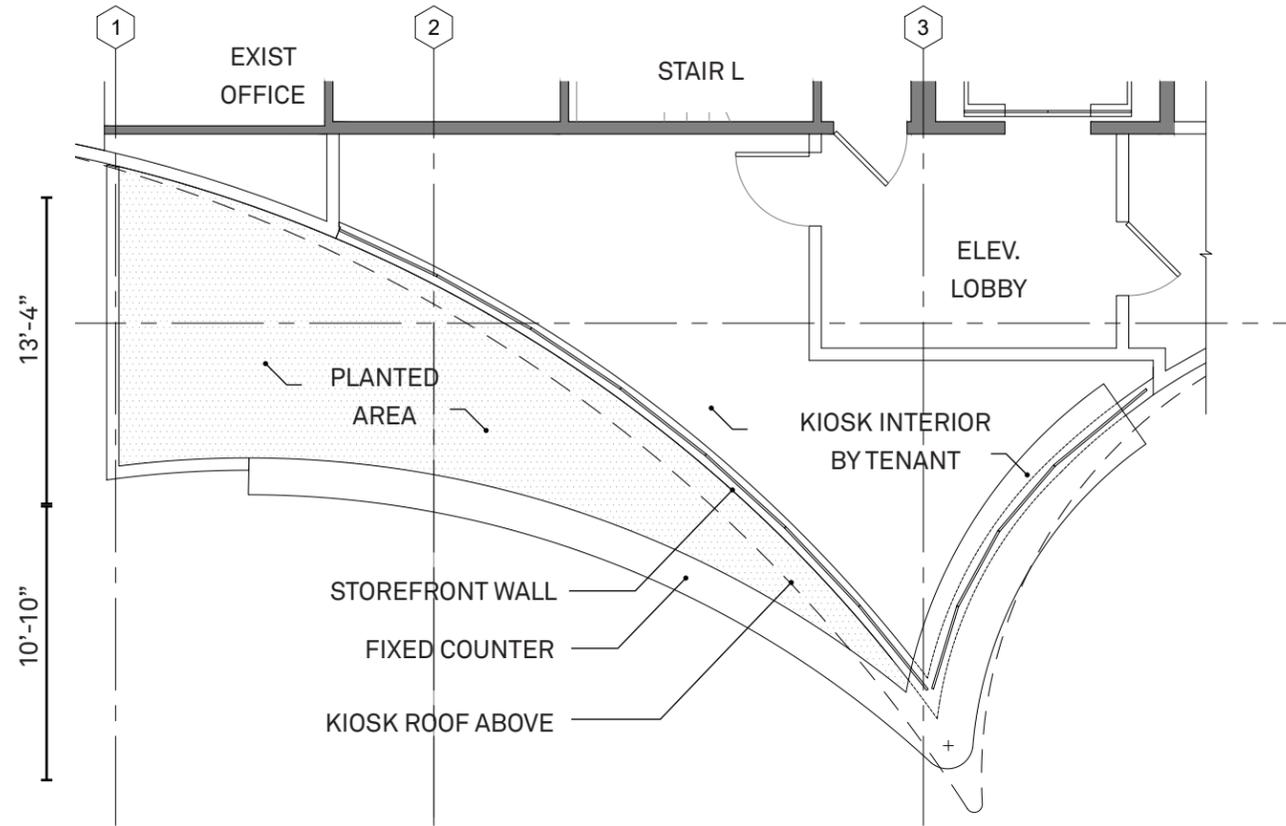


TYPICAL CURB SECTION



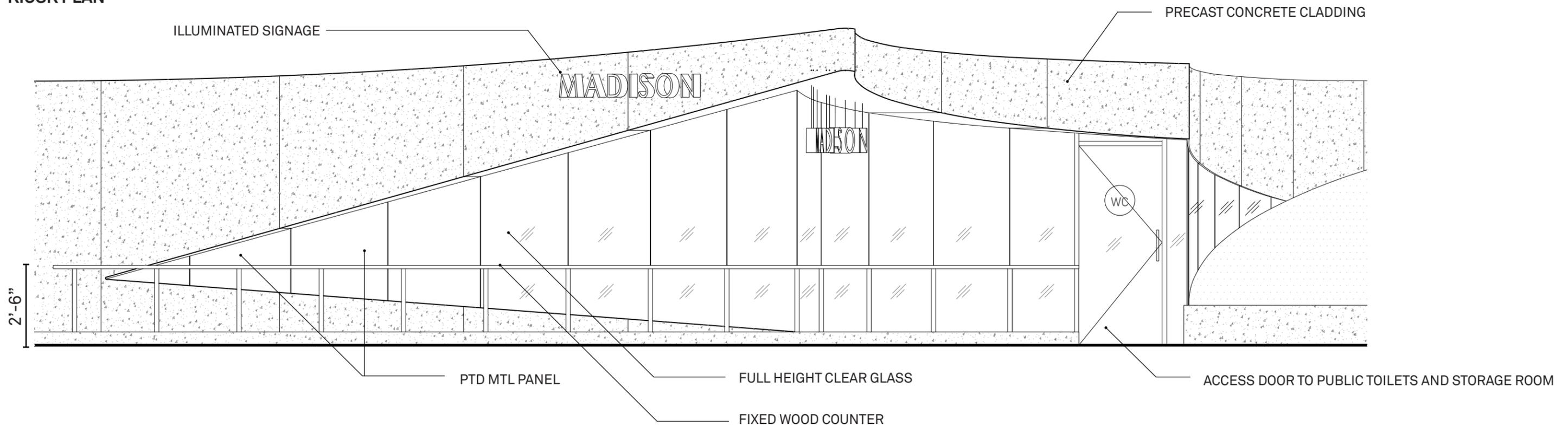
TYPICAL CURB VIEW

Proposed Kiosk Details



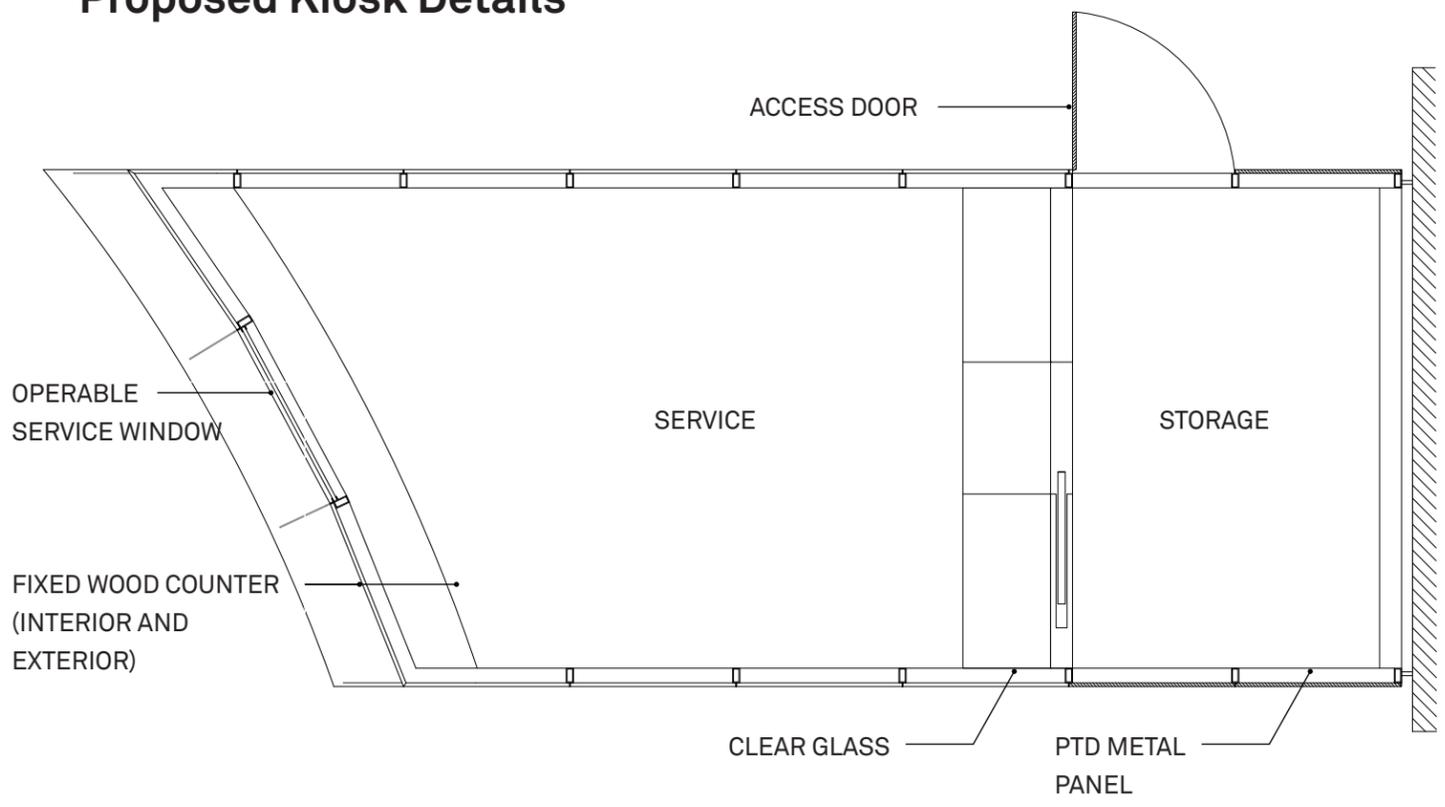
KIOSK VIEW

KIOSK PLAN



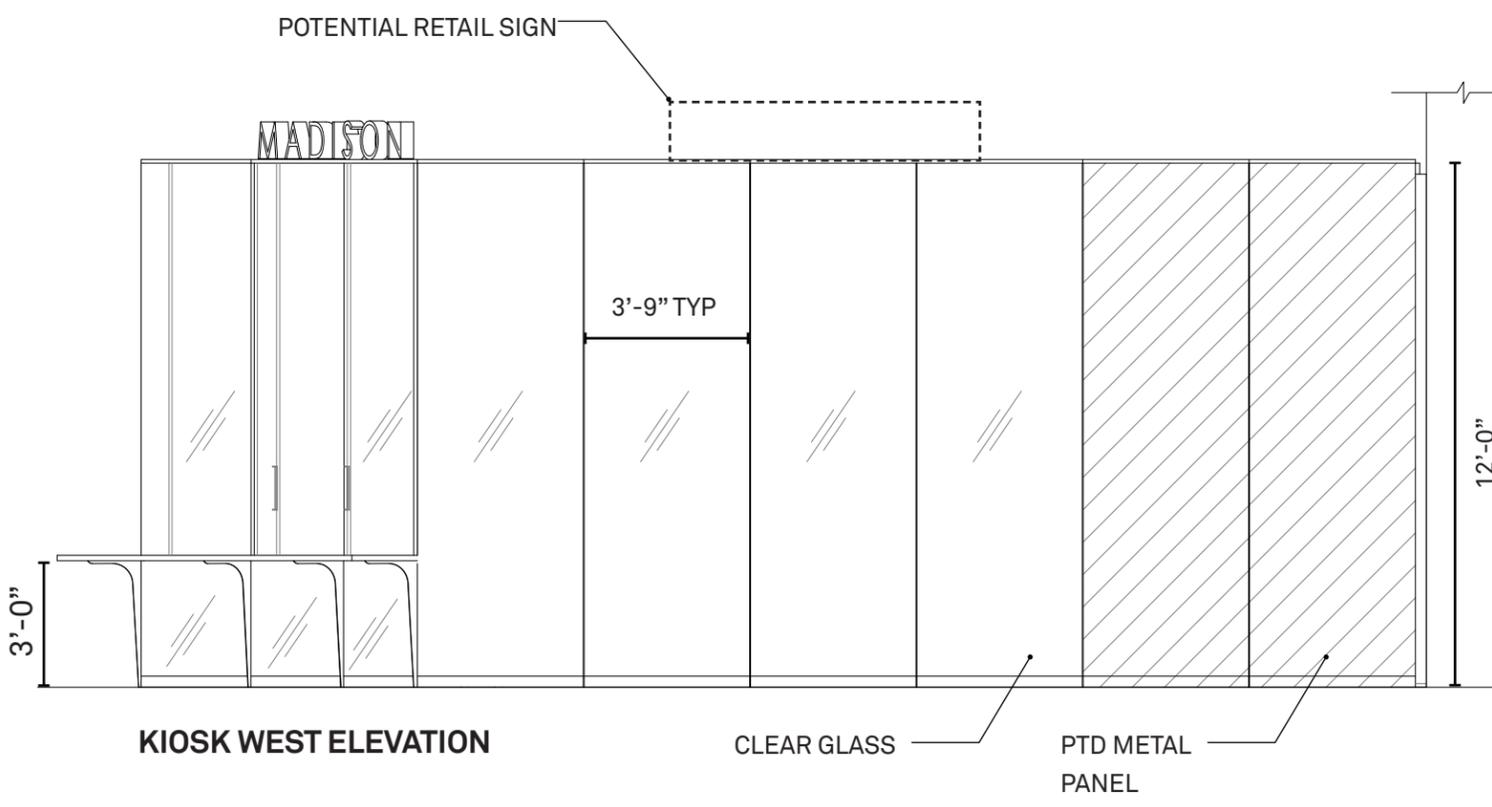
KIOSK WEST ELEVATION

Proposed Kiosk Details

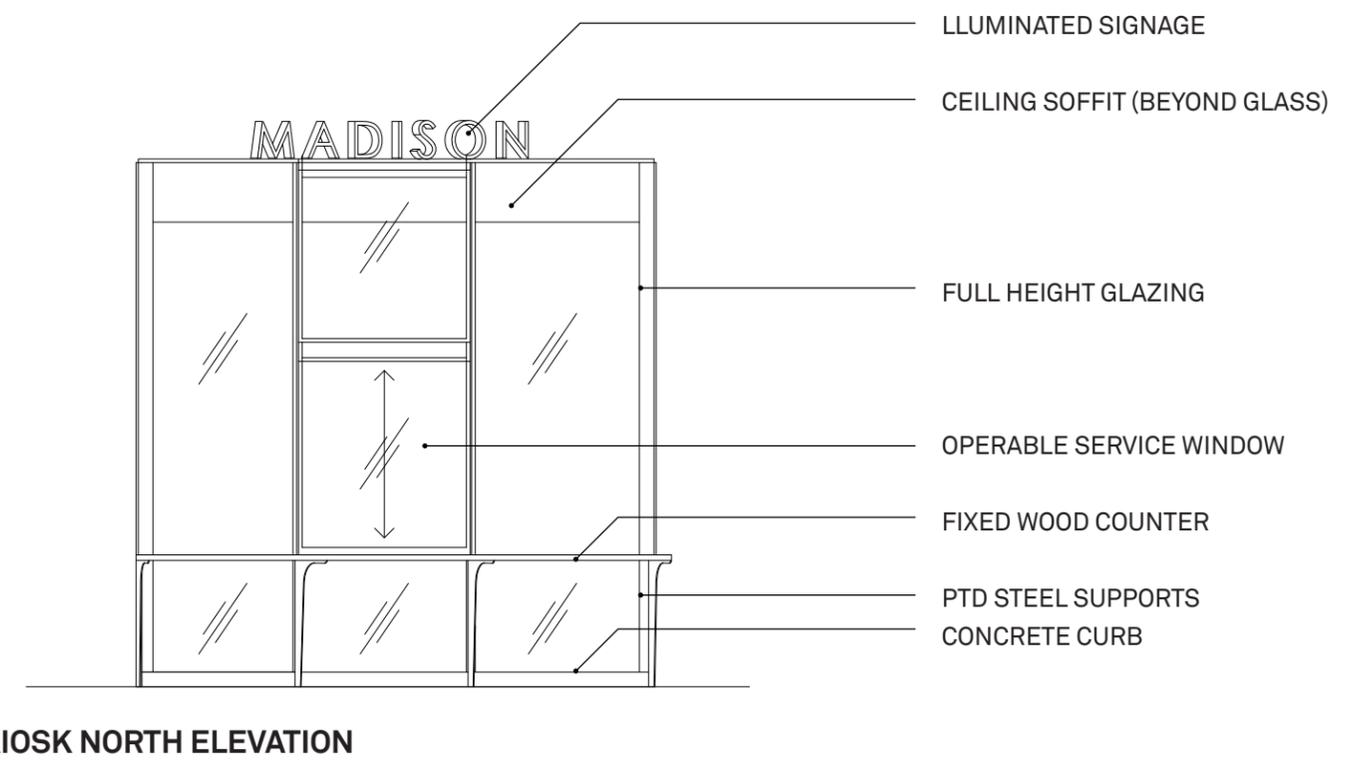


KIOSK PLAN

KIOSK VIEW

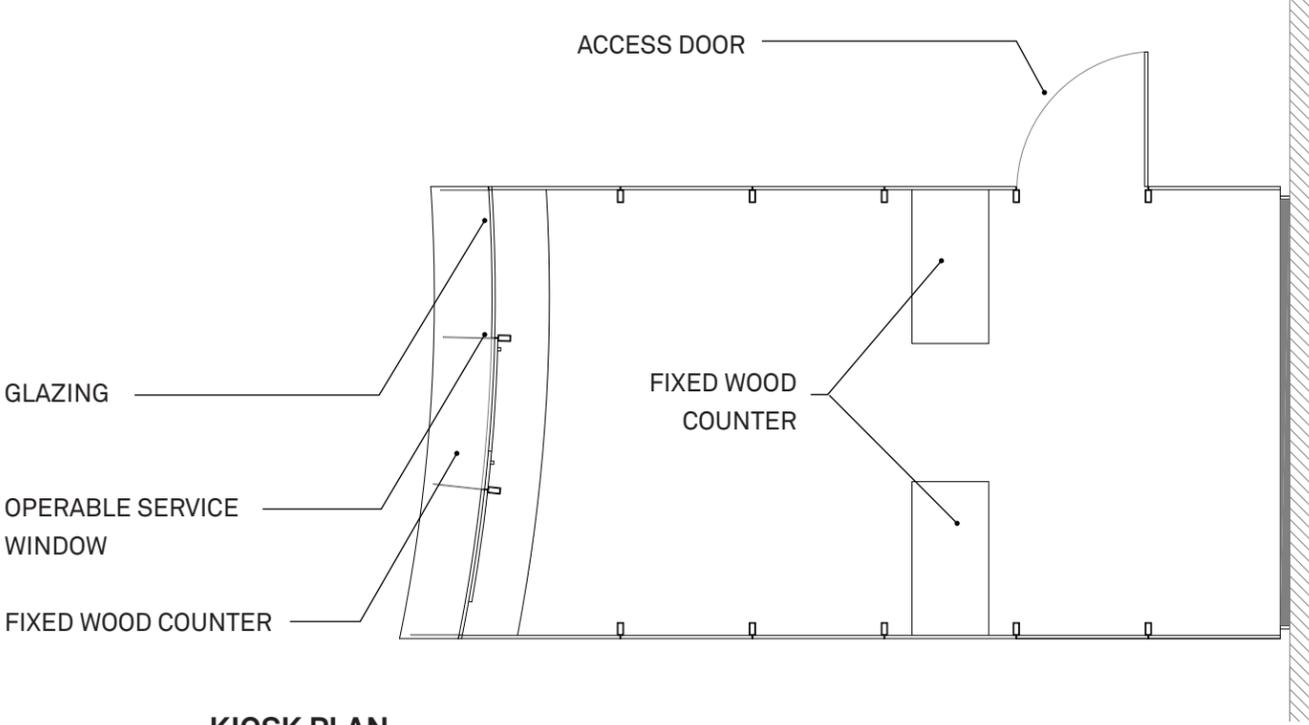


KIOSK WEST ELEVATION



KIOSK NORTH ELEVATION

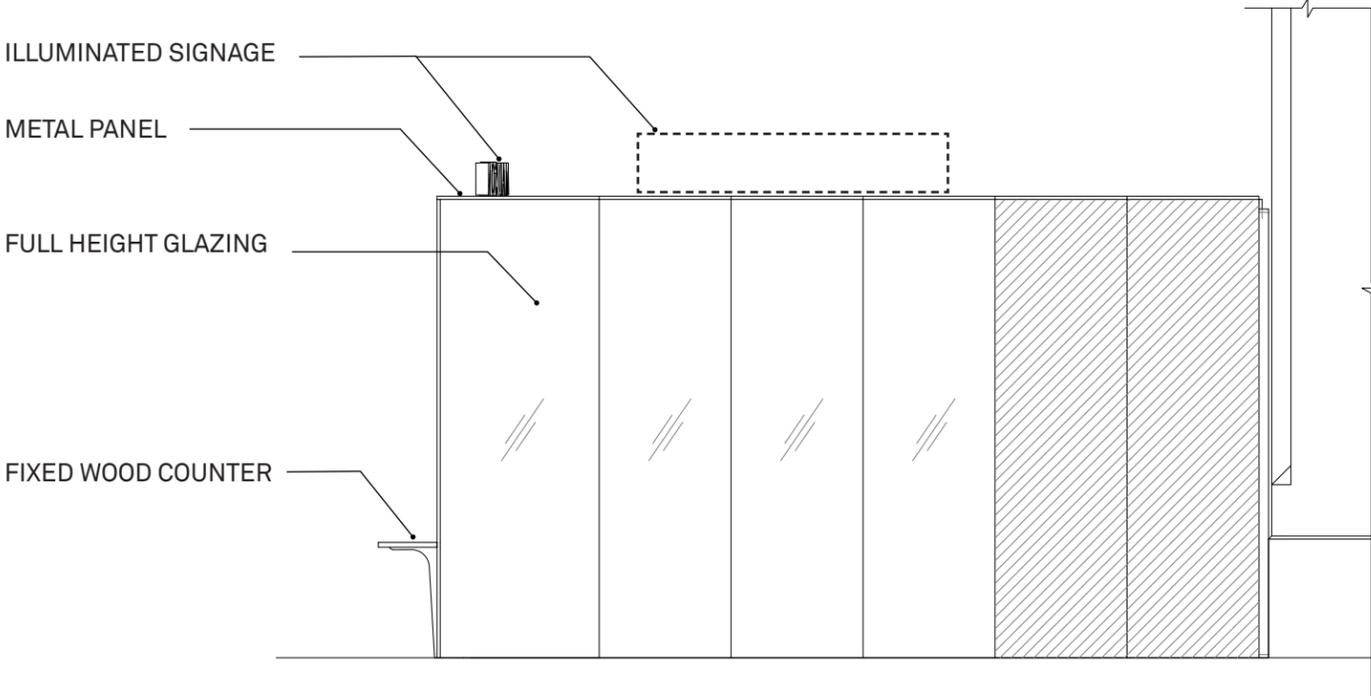
Proposed Kiosk Details



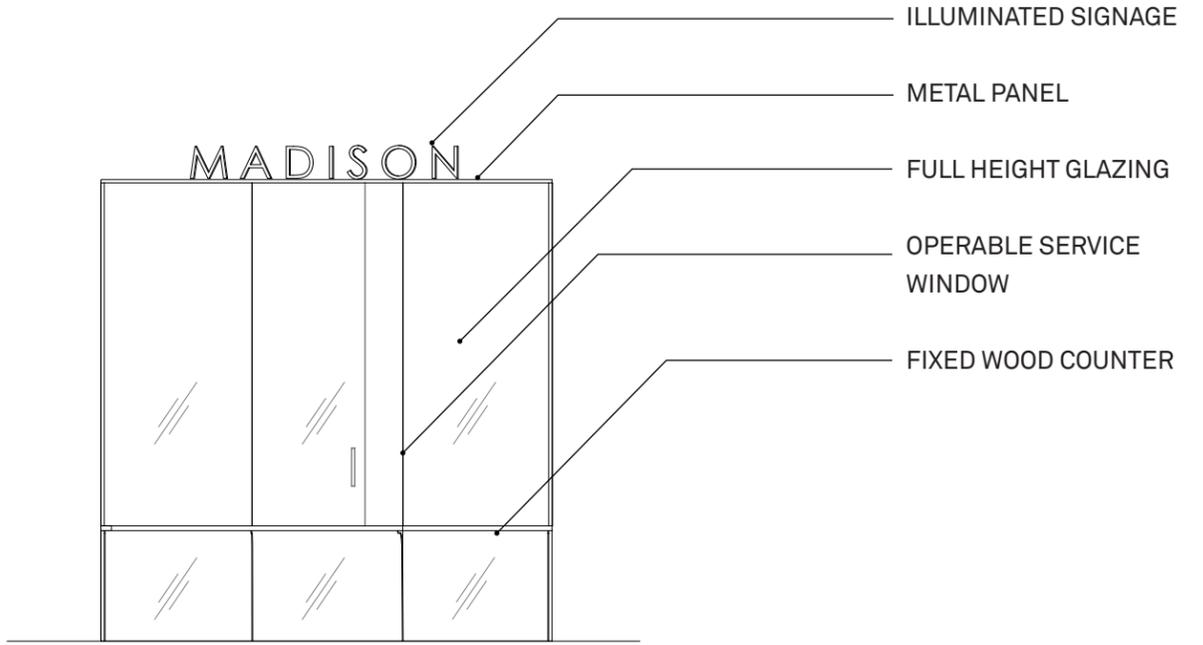
KIOSK PLAN



KIOSK VIEW

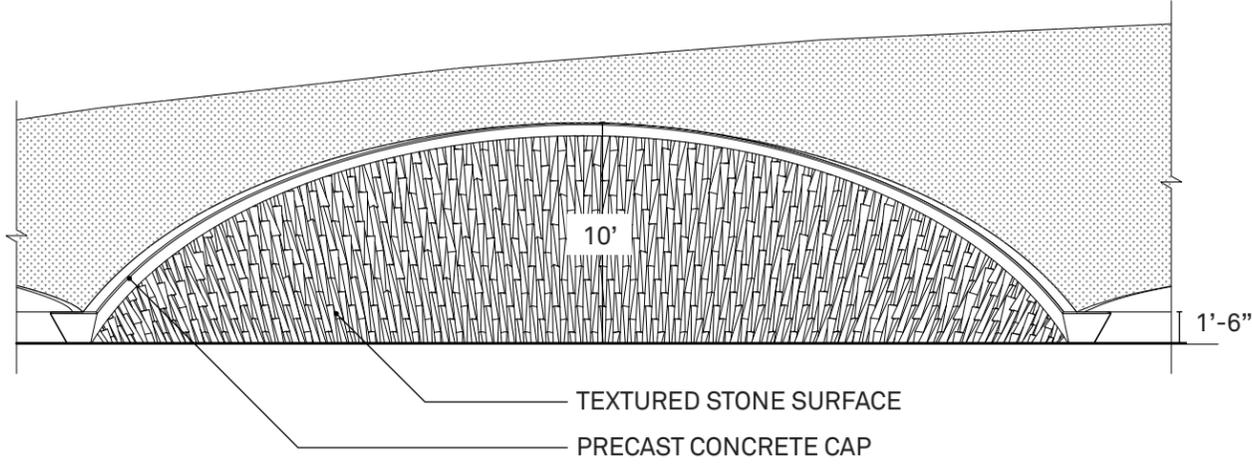


KIOSK WEST ELEVATION



KIOSK SOUTH ELEVATION

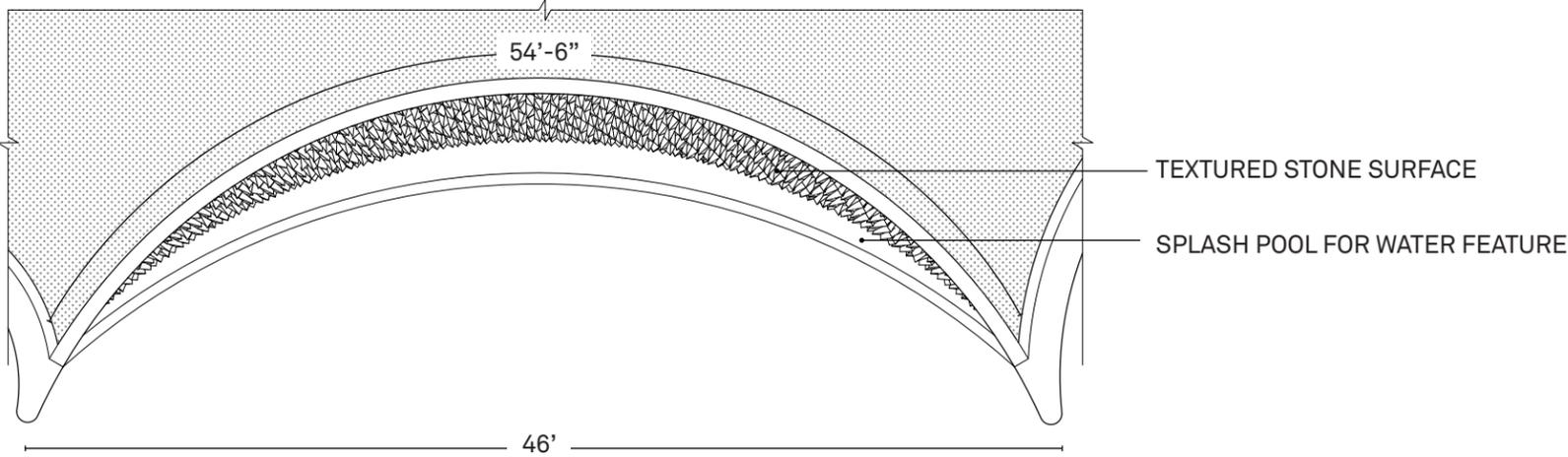
Proposed Water Wall Details



WATER WALL ELEVATION

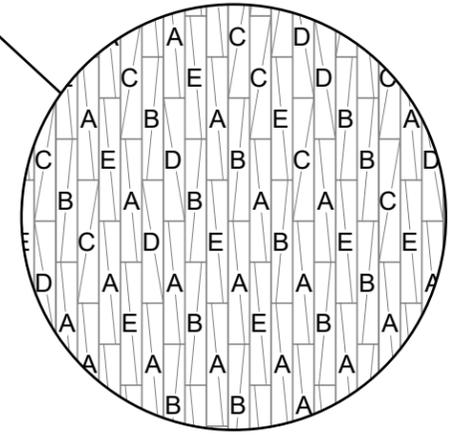
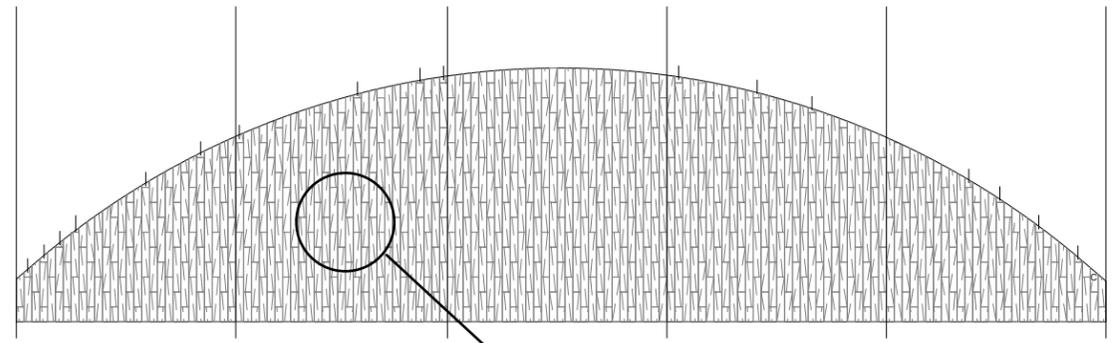
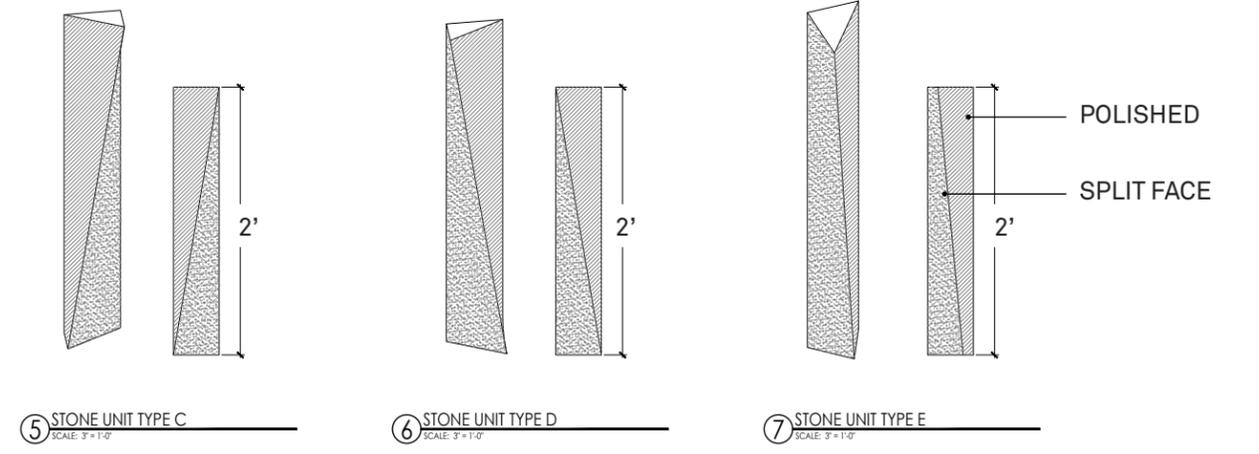
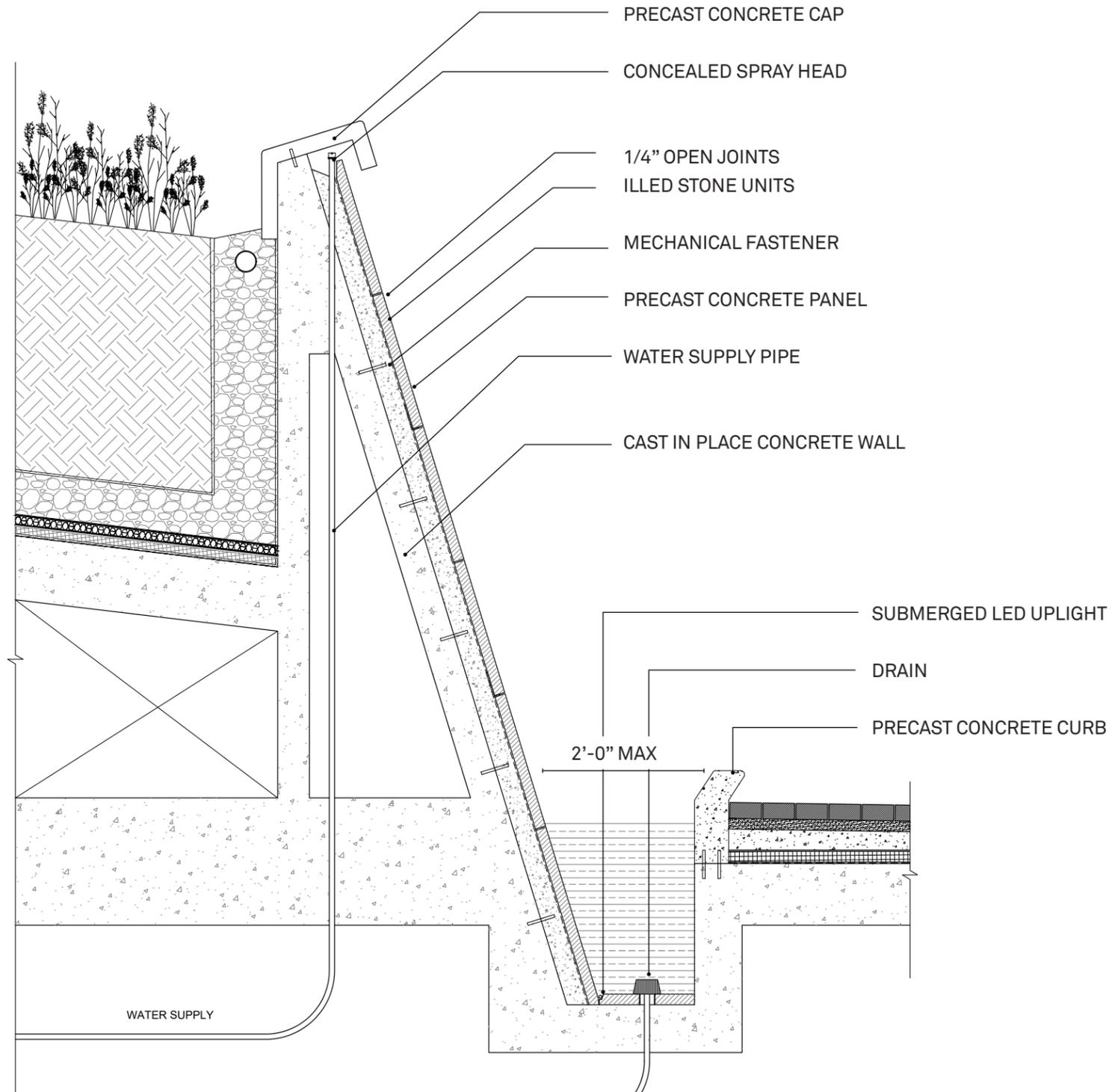


WATER WALL VIEW



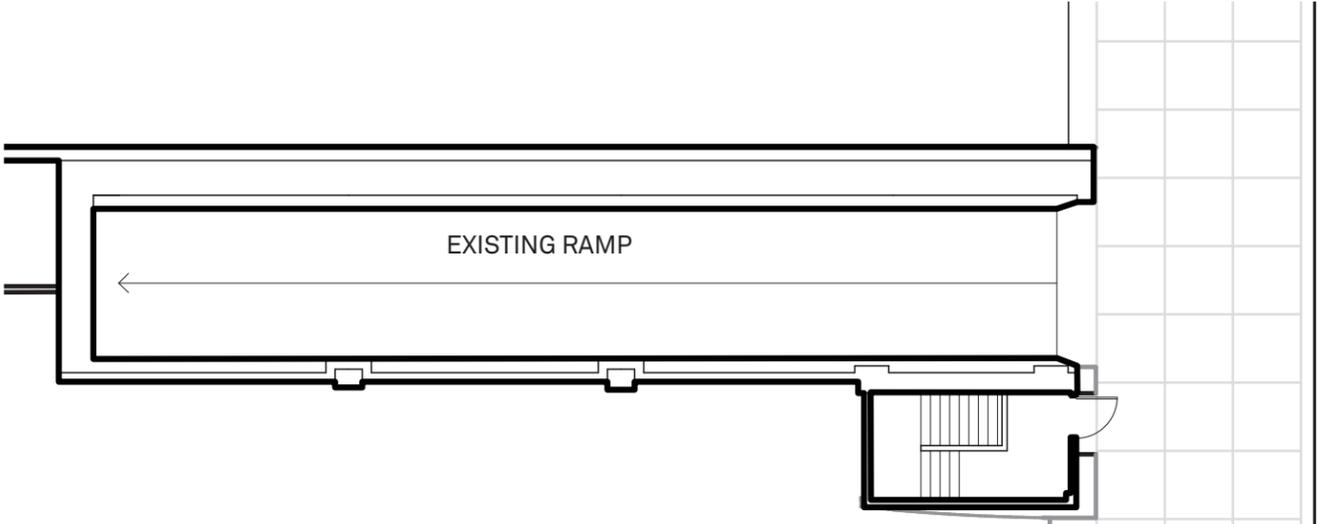
WATER WALL PLAN

Proposed Water Wall Details



WATER WALL SECTION

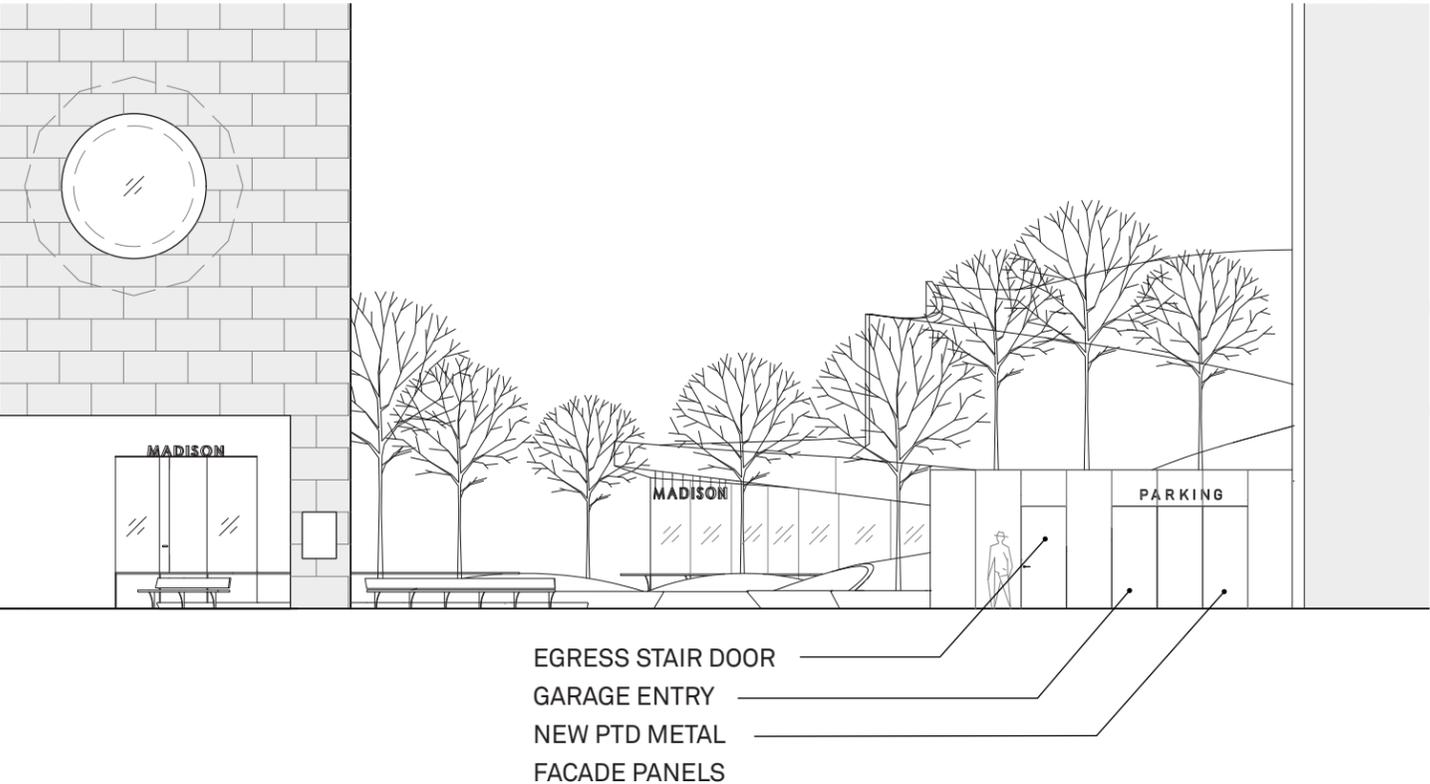
Proposed North Garage Entry Details



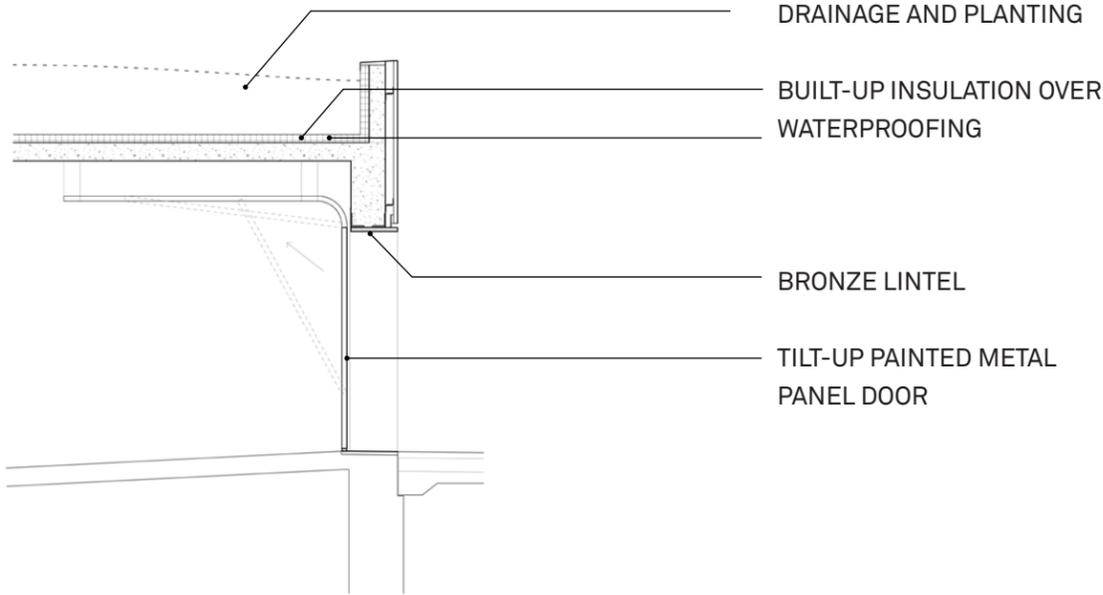
North Garage Plan



NORTH GARAGE VIEW

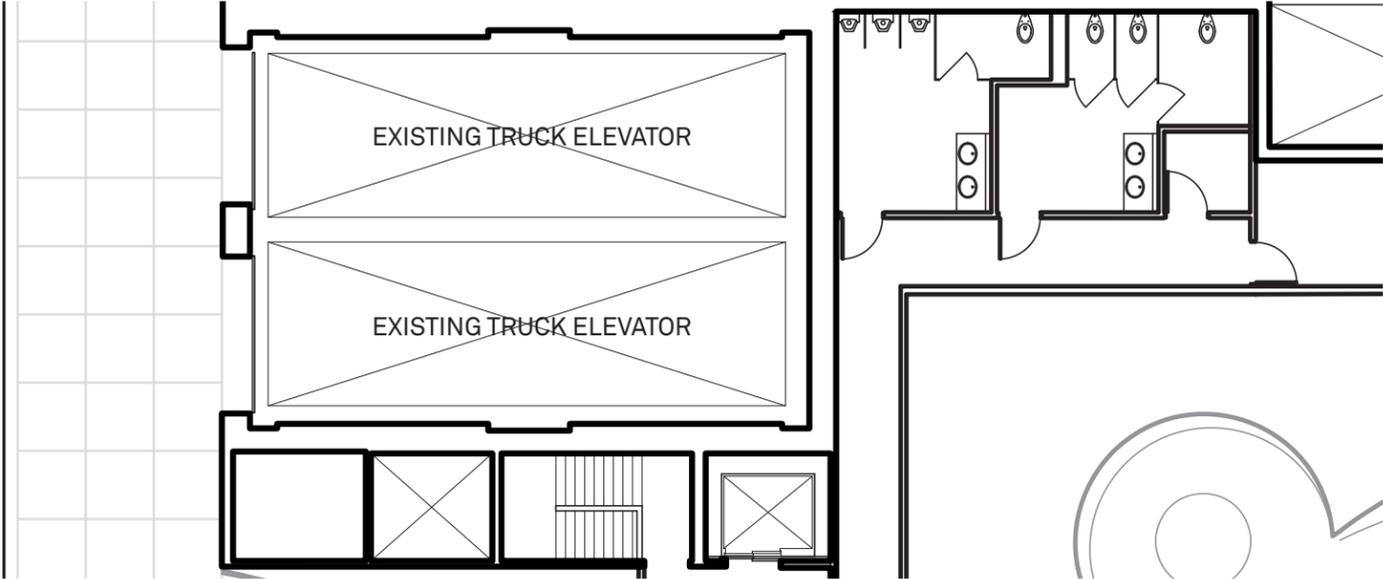


NORTH GARAGE ELEVATION



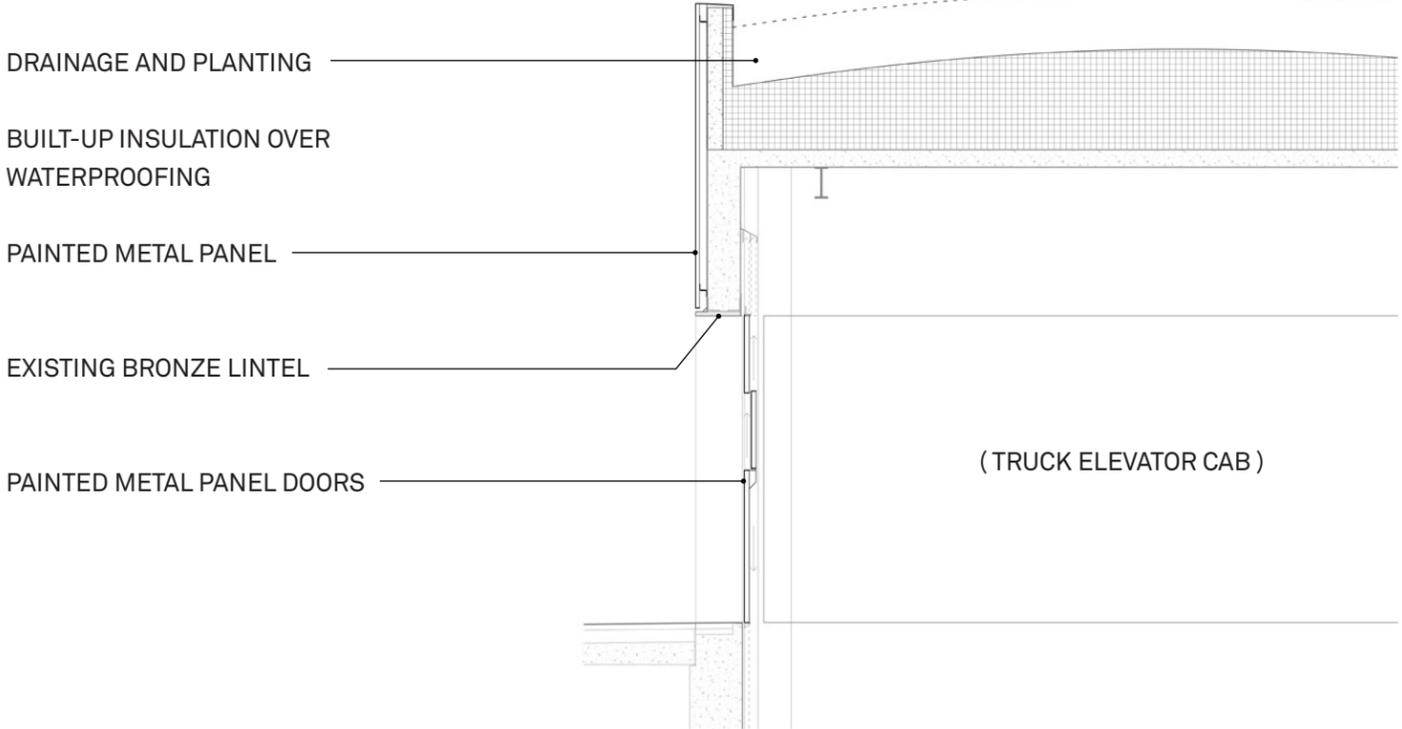
NORTH GARAGE SECTION

Proposed South Garage Entry Details



SOUTH GARAGE VIEW

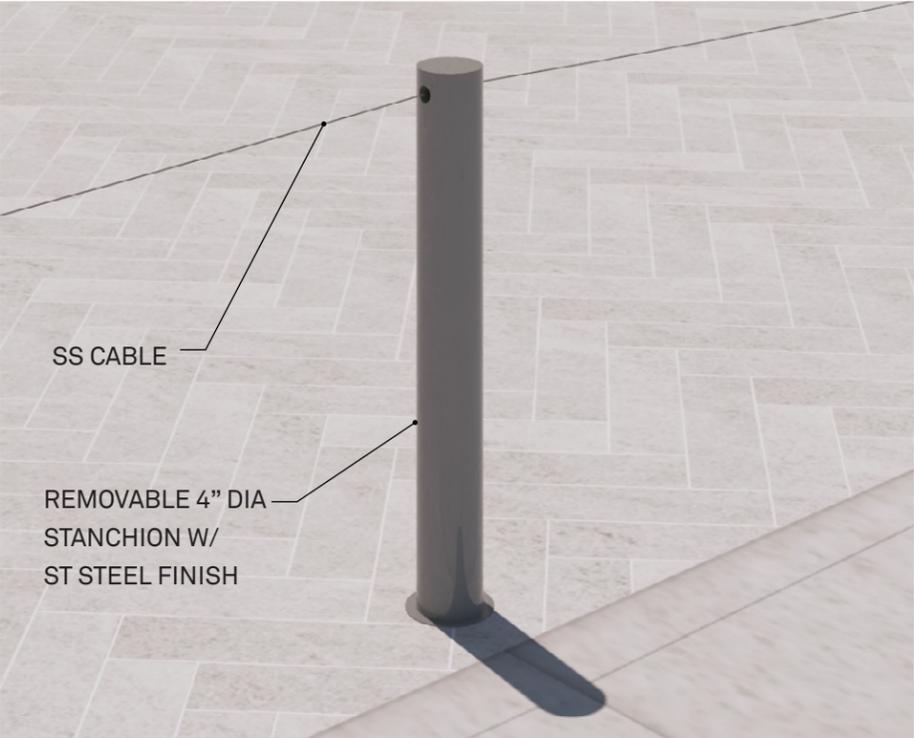
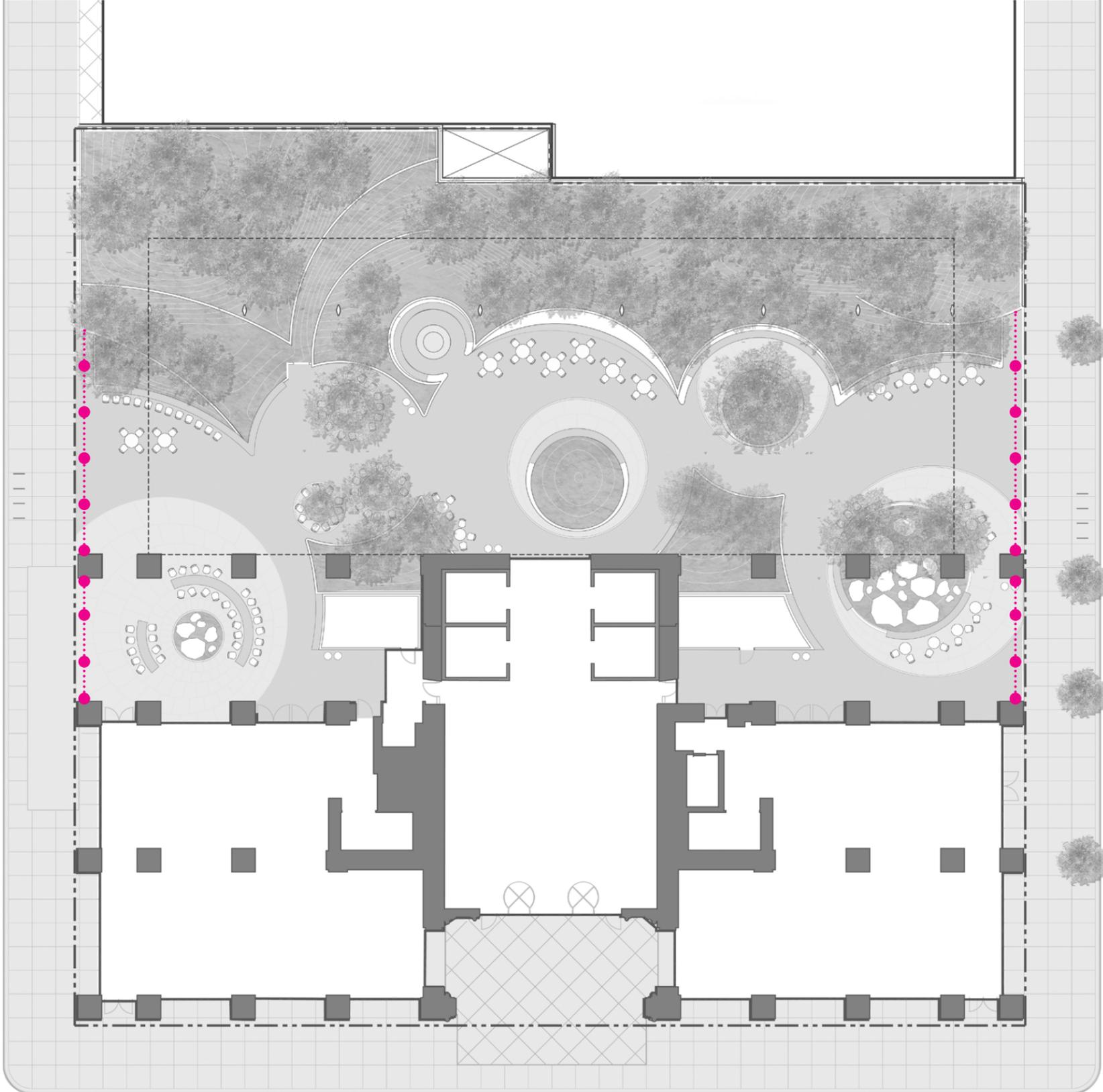
SOUTH GARAGE PLAN



SOUTH GARAGE SECTION

SOUTH GARAGE ELEVATION

CPS Edge Closure (off hours only)



REMOVABLE STANCHION WITH CABLE

DCP Signage Details



OPEN TO PUBLIC:
7:00am - 11:00pm

This public plaza is accessible to persons with disabilities

This public plaza contains:

266 seats	45 trees
241 table/counter spaces	8 bicycle racks
3 kiosks	

Jane Doe Equities Ltd 550 Madison Ave New York, NY 10003 (212) 555-5555 owner@janedoeequities.com	For complaints regarding this public plaza, please call the City of New York at 311 and reference the public plaza at 550 Madison Ave
---	---

INFORMATION PLAQUE REQUIREMENTS



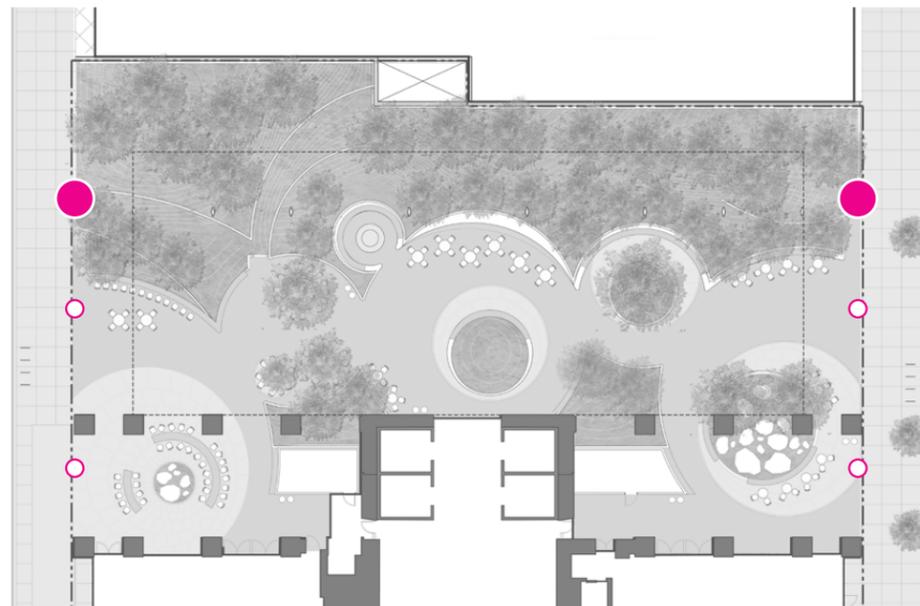
● INFORMATION PLAQUE

Extruded lettering flush with wall surface

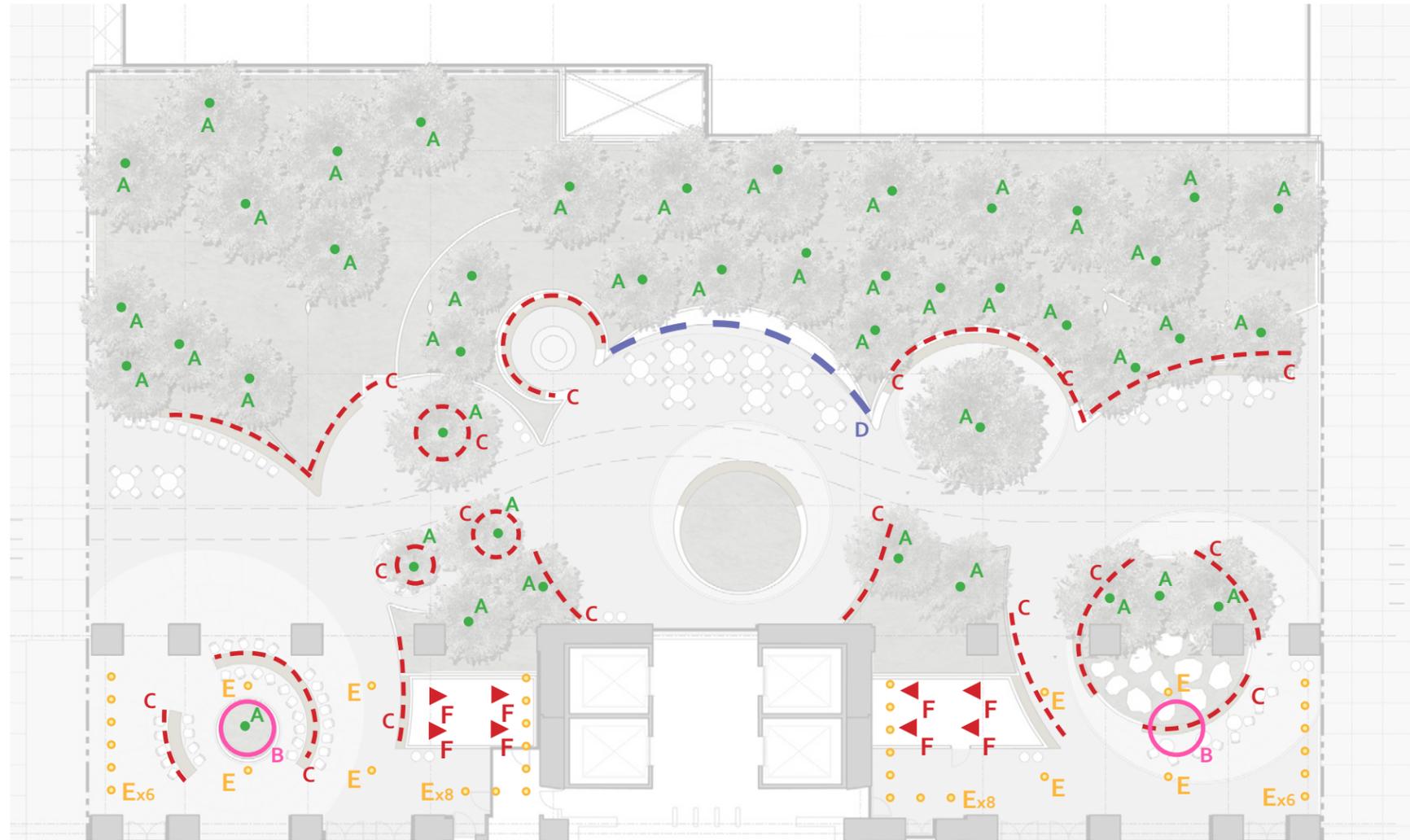


○ HOURS OF ACCESS PLAQUE

Metal plaque with engraved graphics hung onto cable



Proposed Garden Lighting Plan



PRELIMINARY GARDEN LIGHT FIXTURE SELECTION



Type A

BK, LED planter
mount tree uplights
(count 3 per point in
plan)



Type D

DesignPlan
Fountain Linear
LED *IP68



Type E

Existing Downlight



Type B

Decorative Pendant
TBD



Type C

LEDlinear flexible
LED strip *IP68

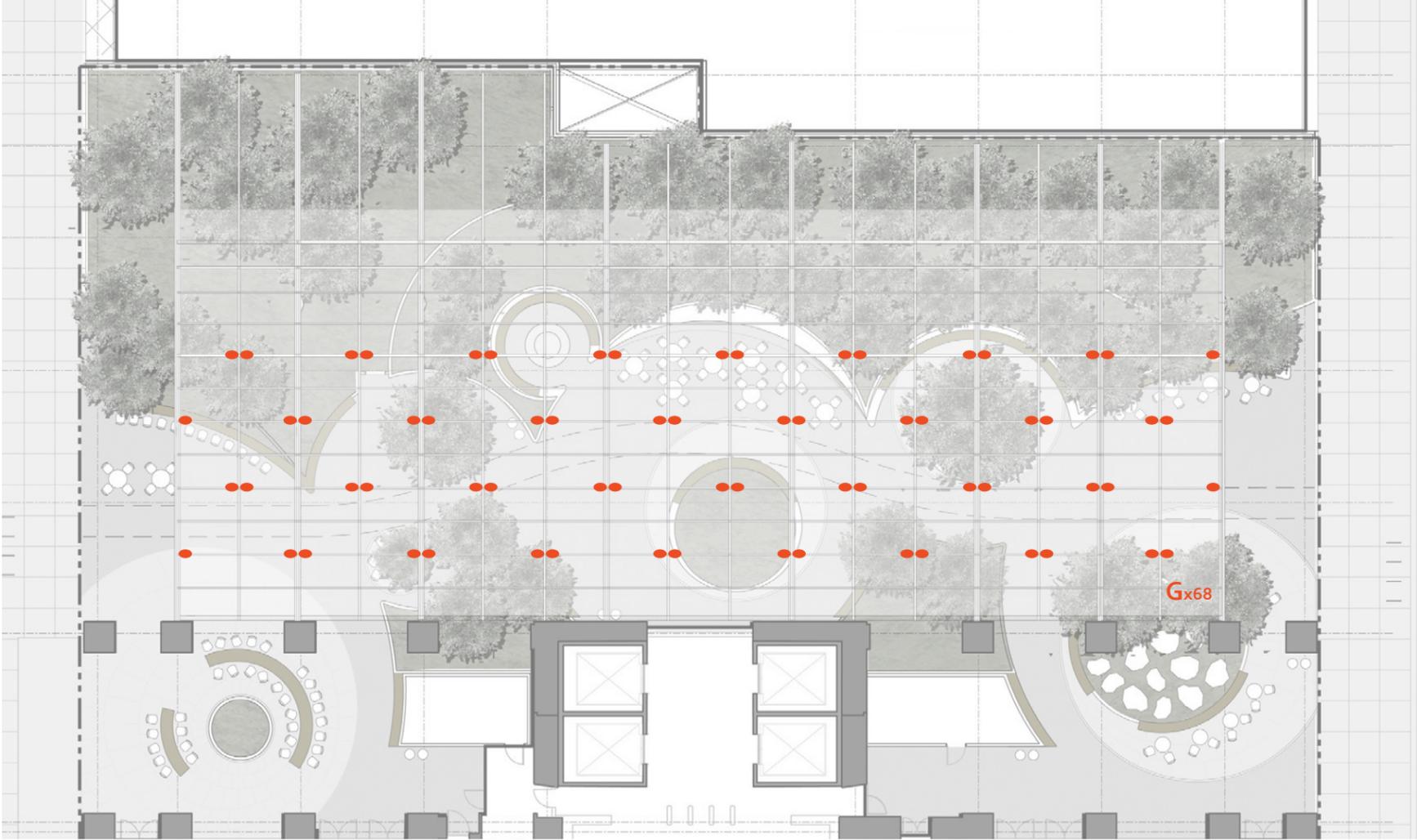


Type F

Lumenpulse,
Lumenbeam Floodlight

Proposed Canopy Lighting Plan

PRELIMINARY CANOPY LIGHT FIXTURE SELECTION

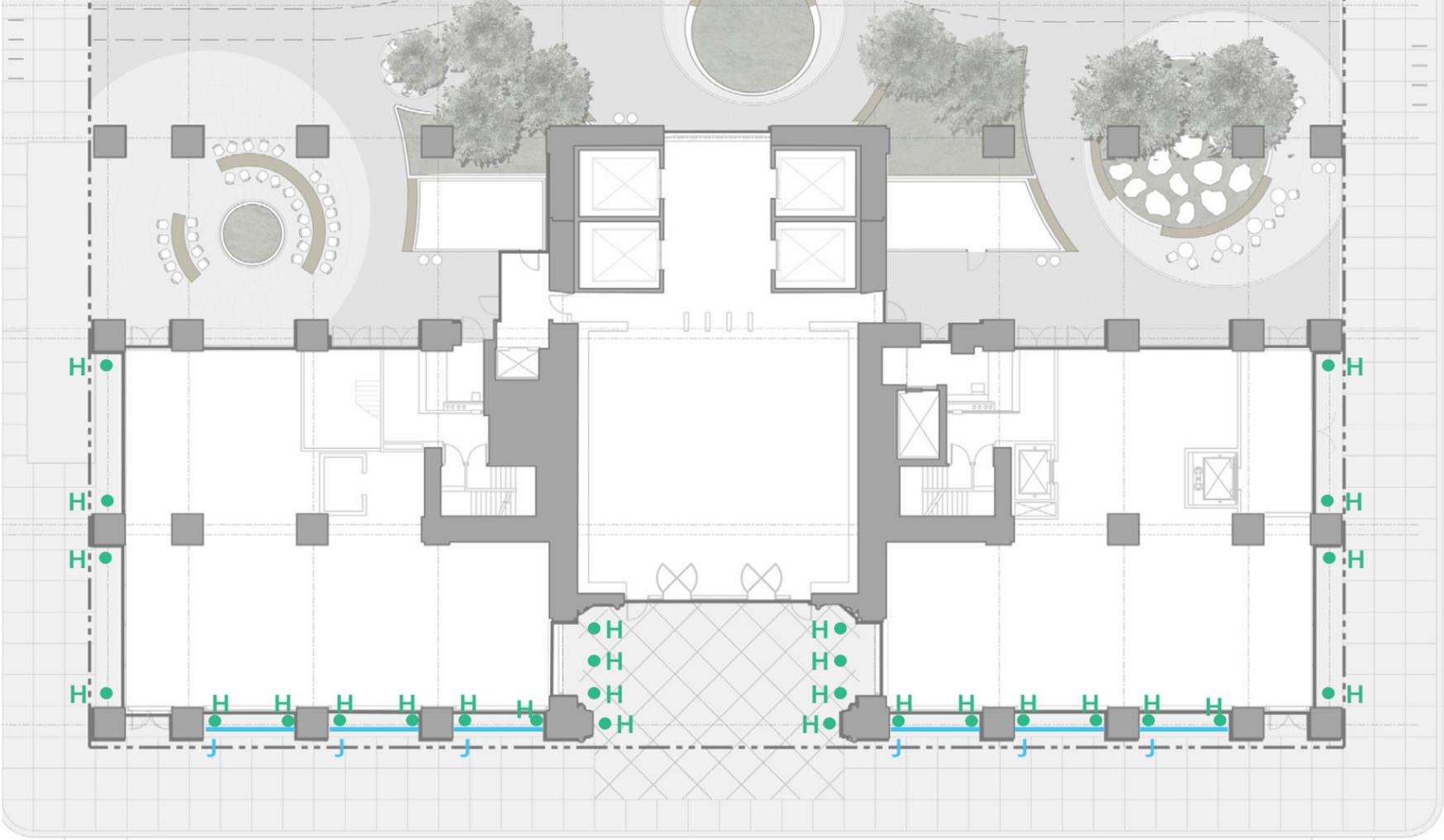


• Type G

Selux Olivio
Piccolo LED,
white finish

Proposed Tower Lighting Plan

PRELIMINARY TOWER LIGHT FIXTURE SELECTION



• Type H

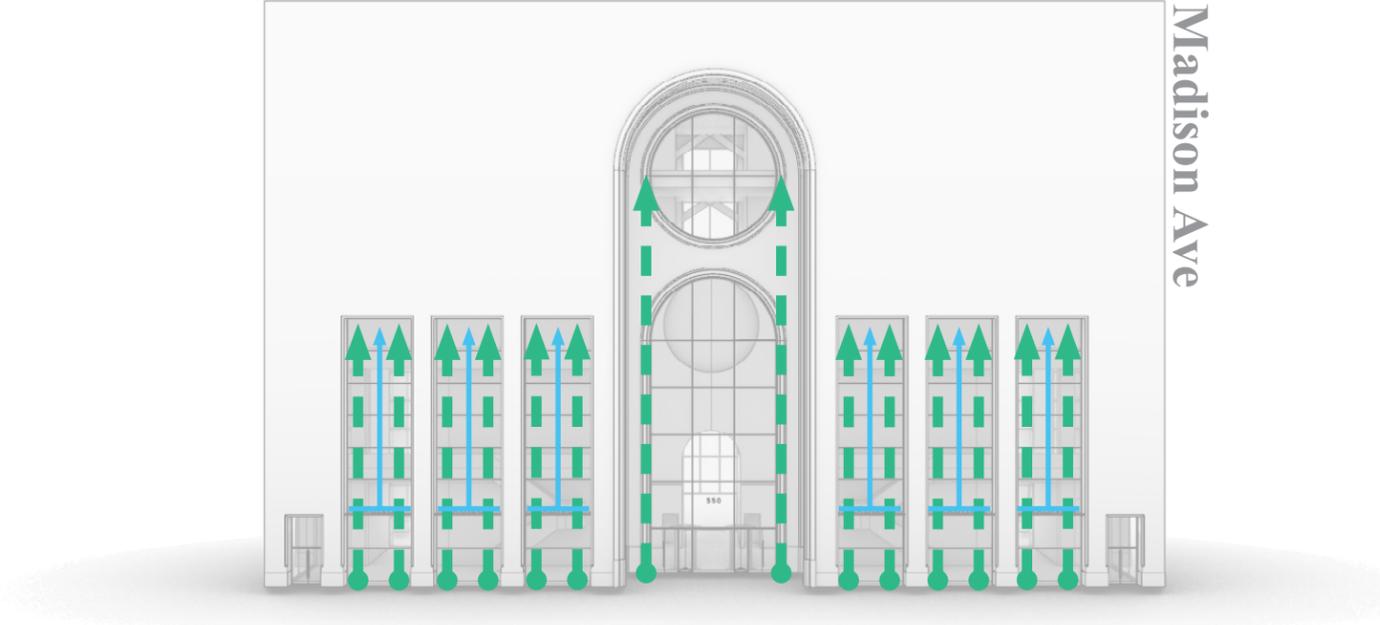
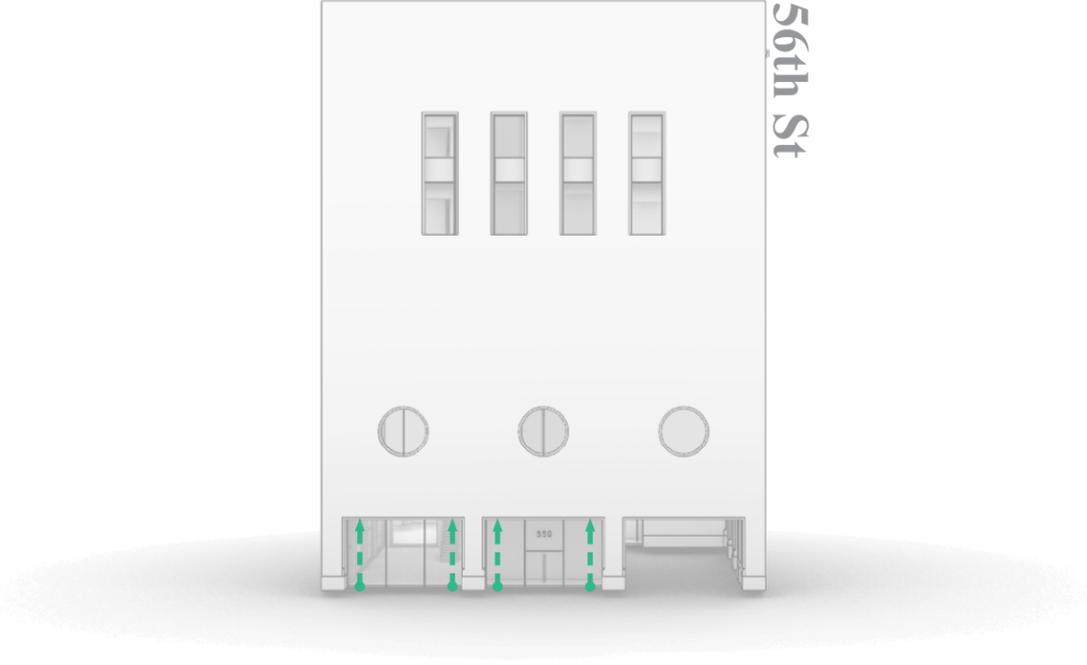
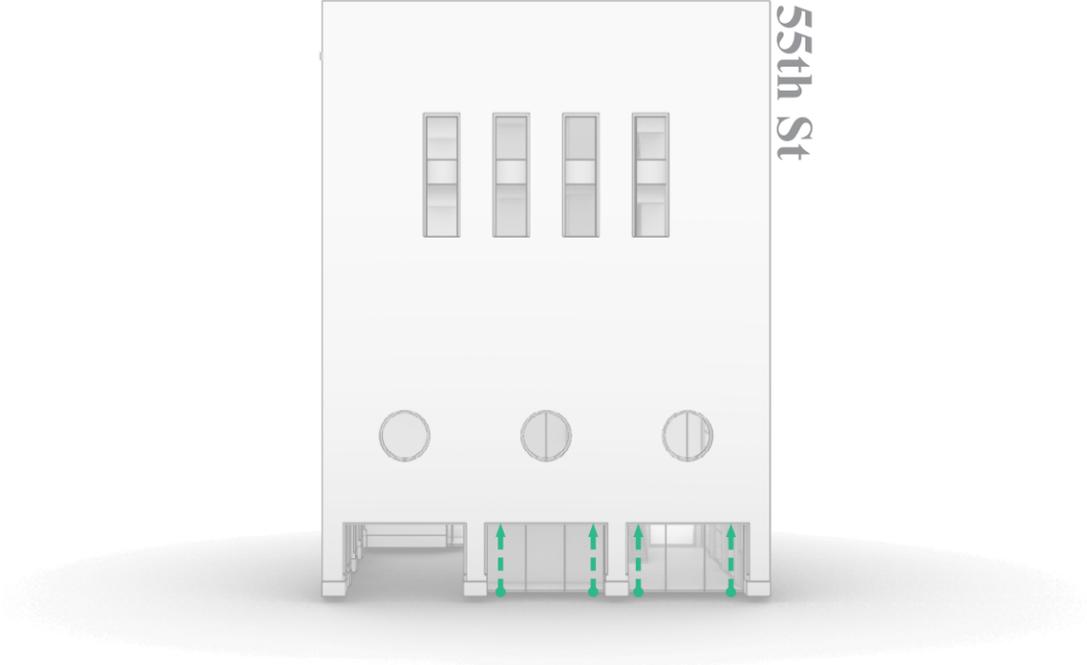
Erco Ingrade Uplight



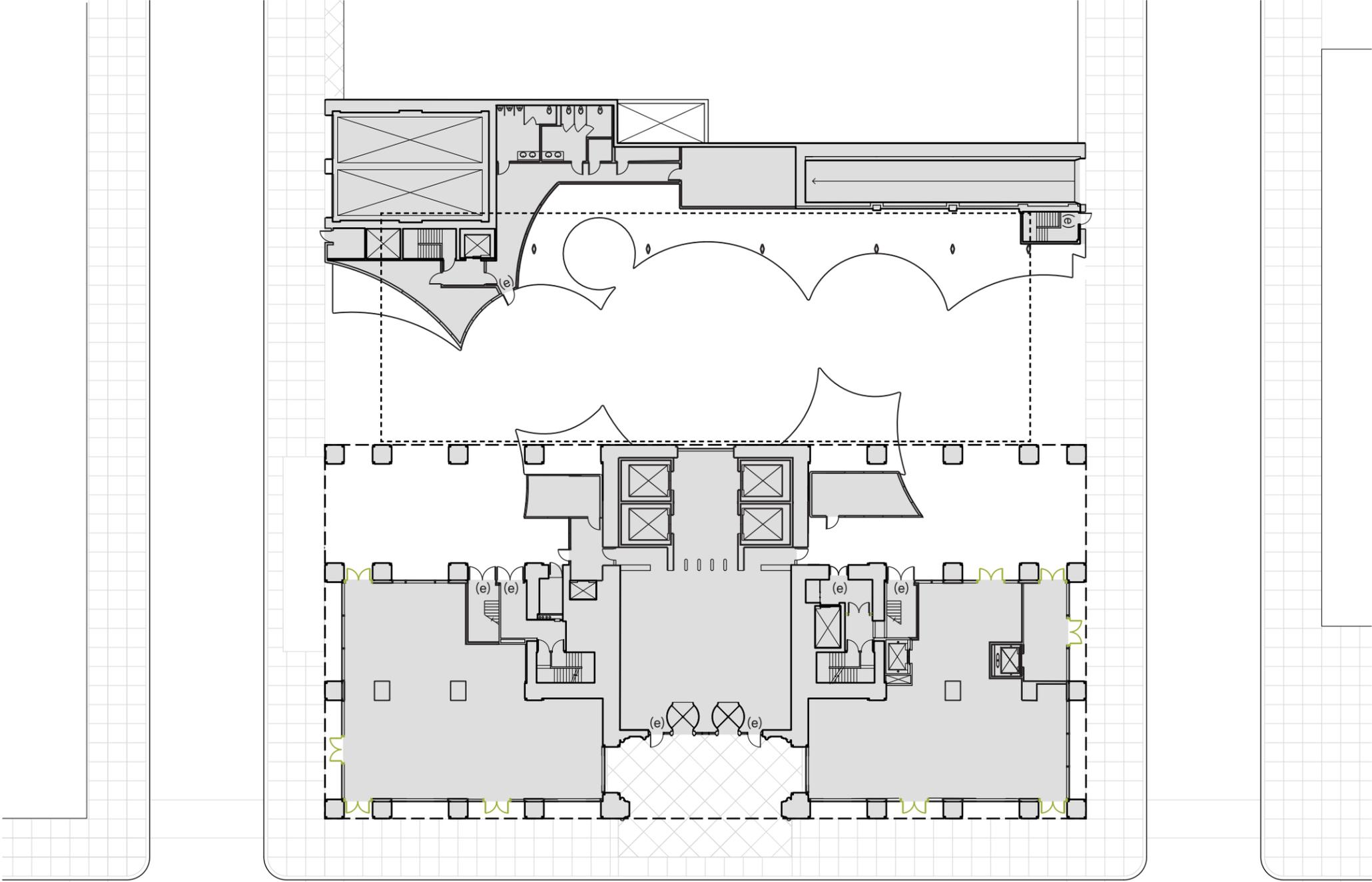
▸ Type J

Ecosense TROV,
mounted to backside
of signage bar

Proposed Tower Lighting Elevations



Ground Floor Entry Masterplan

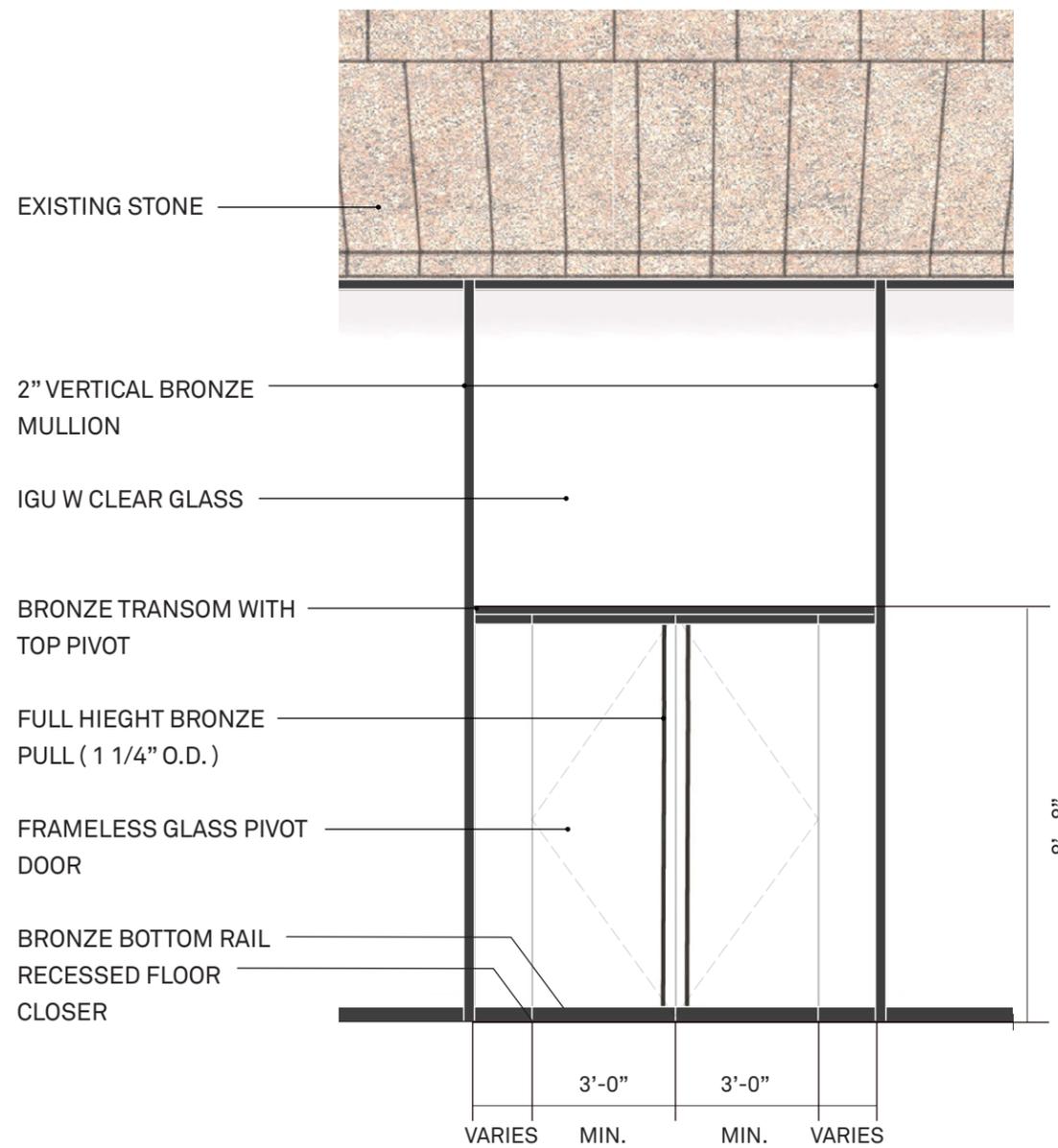


Note: Final Location of Retail Doors Will Depend on Actual Retail Configuration

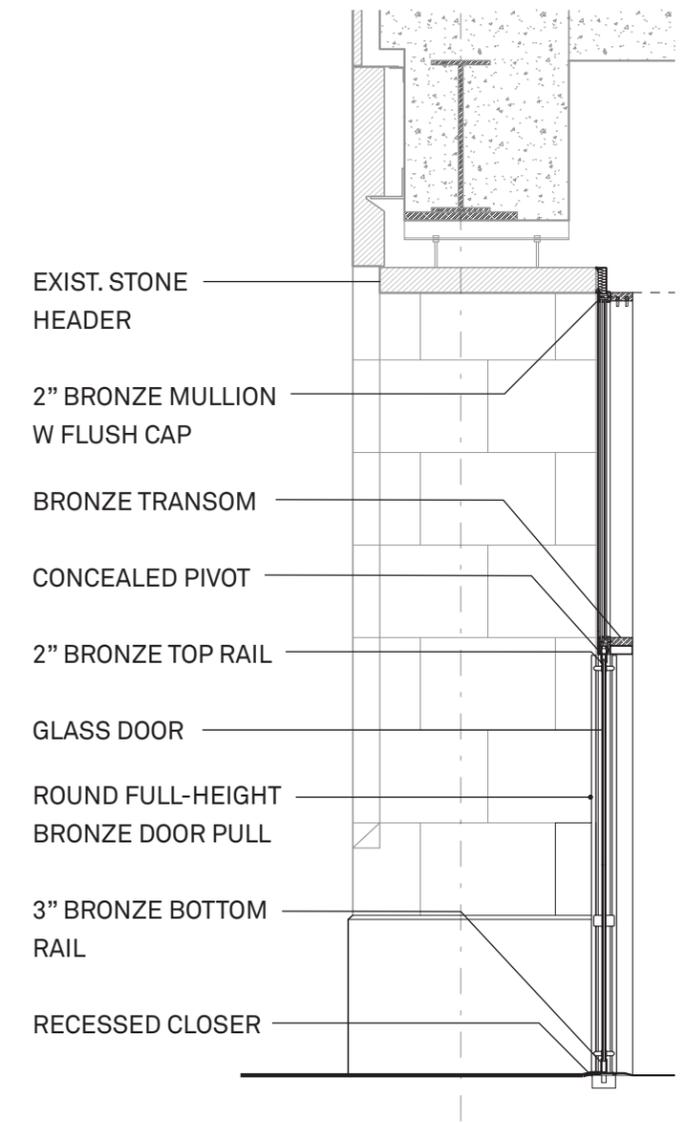
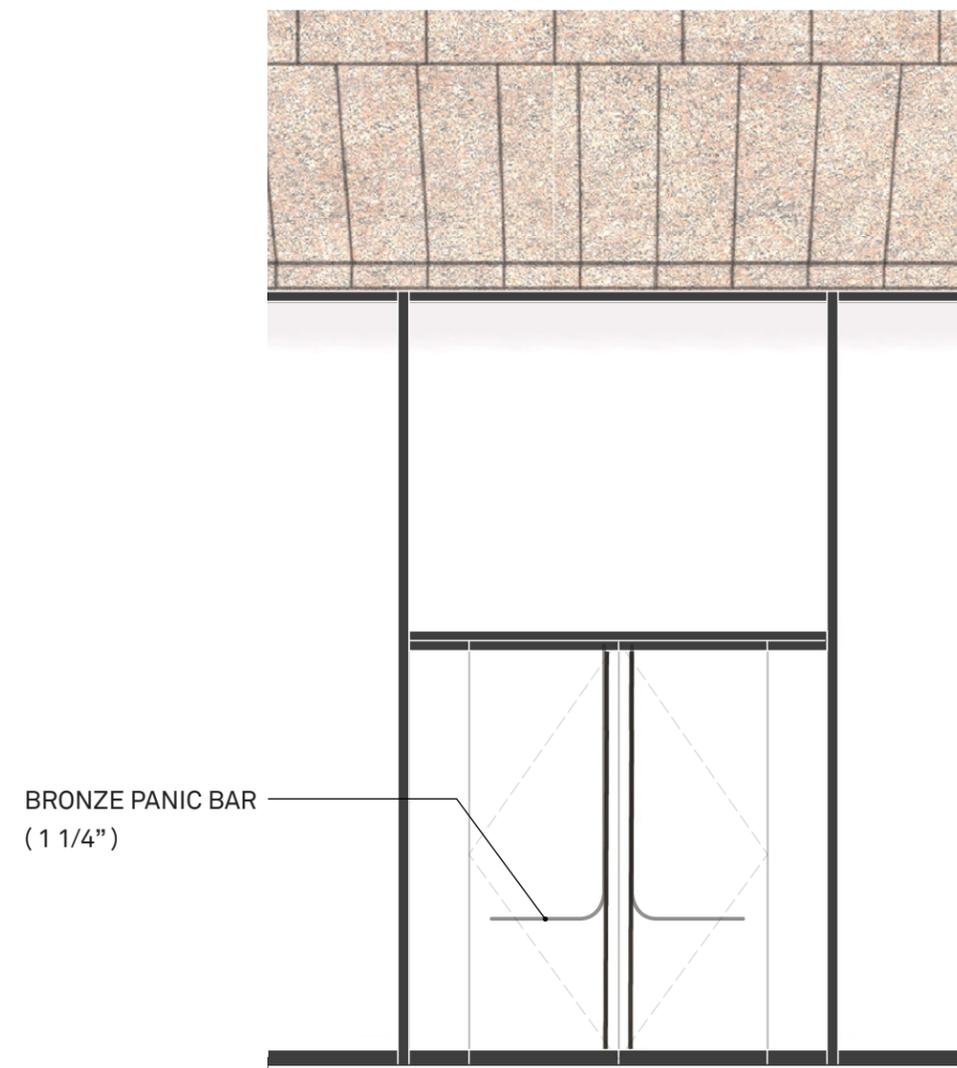
-  EXISTING TO REMAIN
-  PROPOSED DOOR
-  EGRESS

Door Details

TYPICAL DOOR

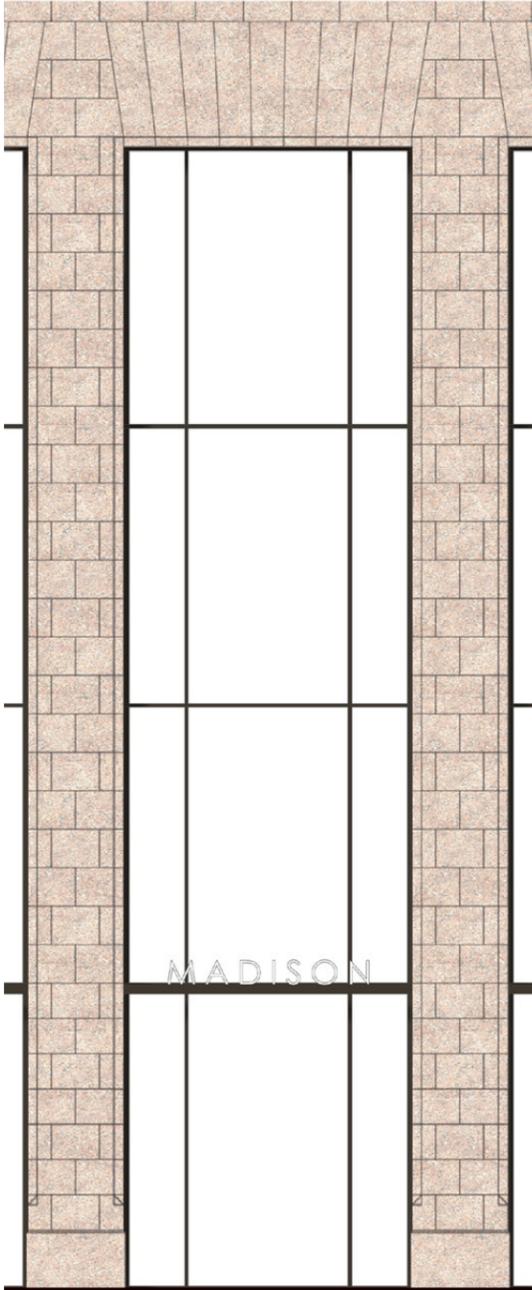


EGRESS DOOR



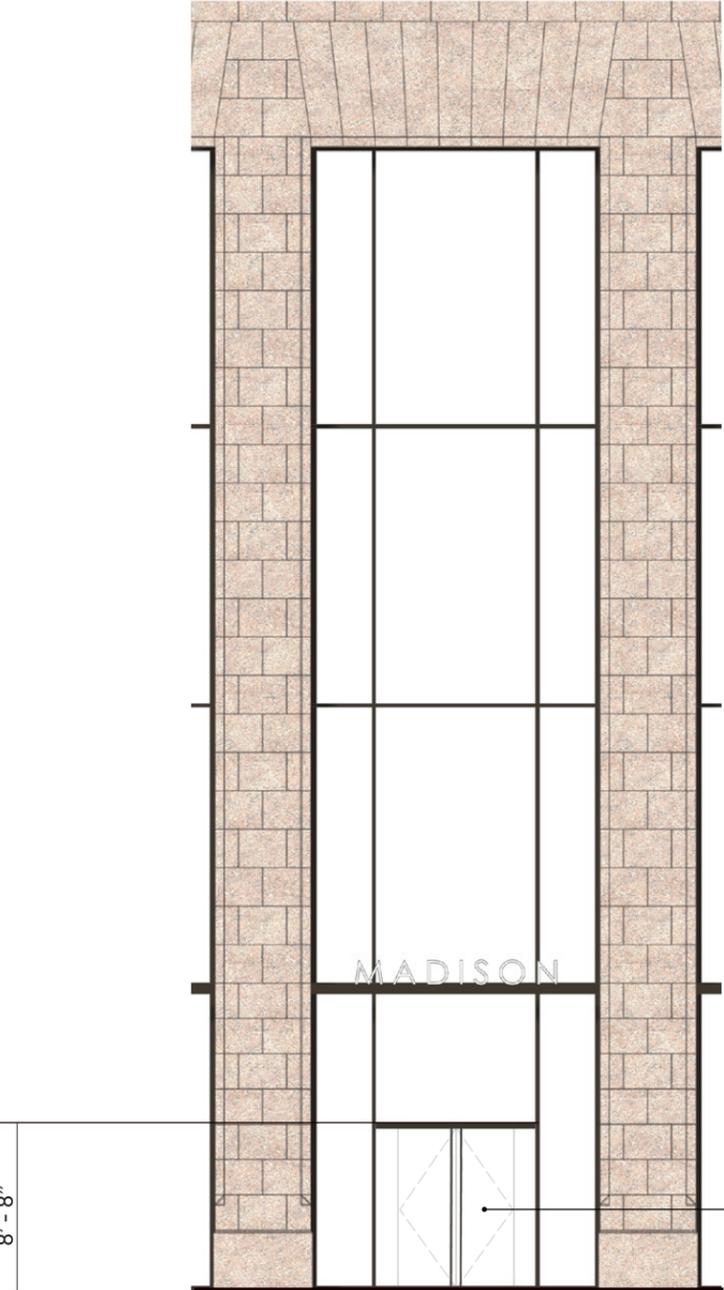
Flat Arch Glazing with Doors

TYPICAL



3'-0" 9'-0" 3'-0"

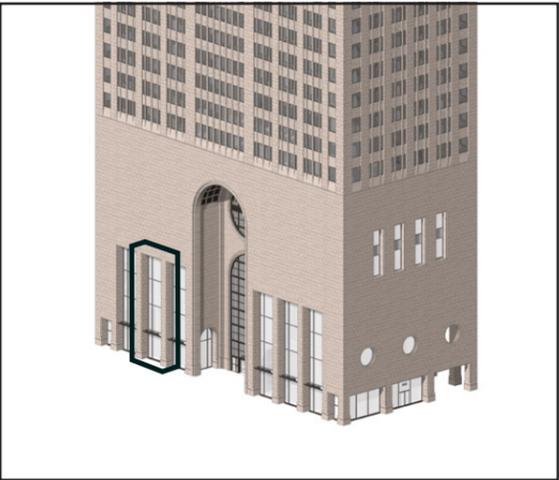
WITH DOORS



8'-8"

1'-6" 3'-0" 3'-0" 1'-6"

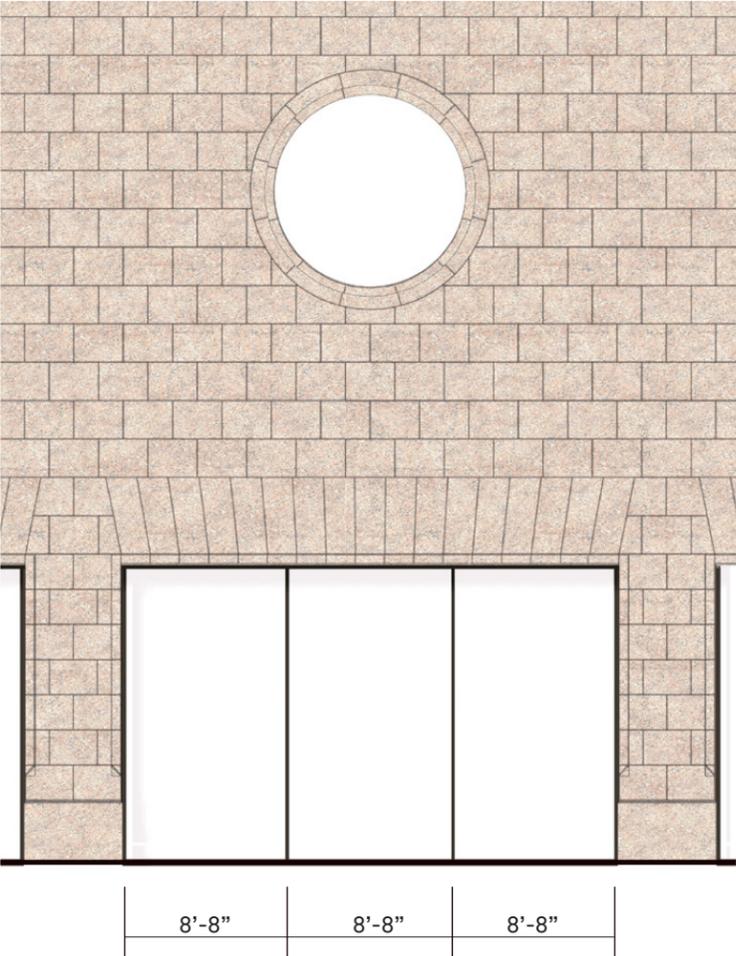
ALL GLASS PIVOT DOOR WITH BRONZE TRANSOM BAR AND HARDWARE



KEY AXON

Retail and Porthole Glazing with Doors

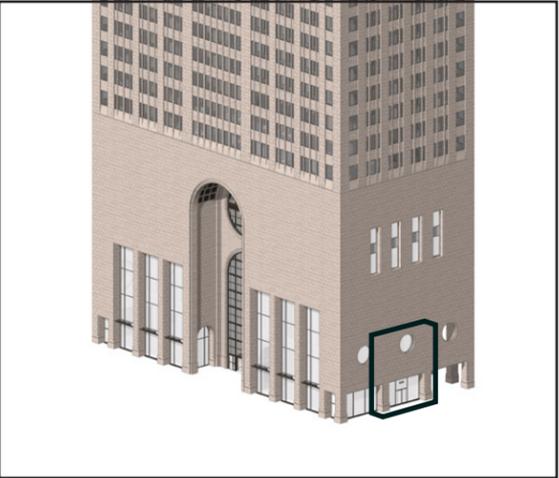
TYPICAL



WITH DOORS

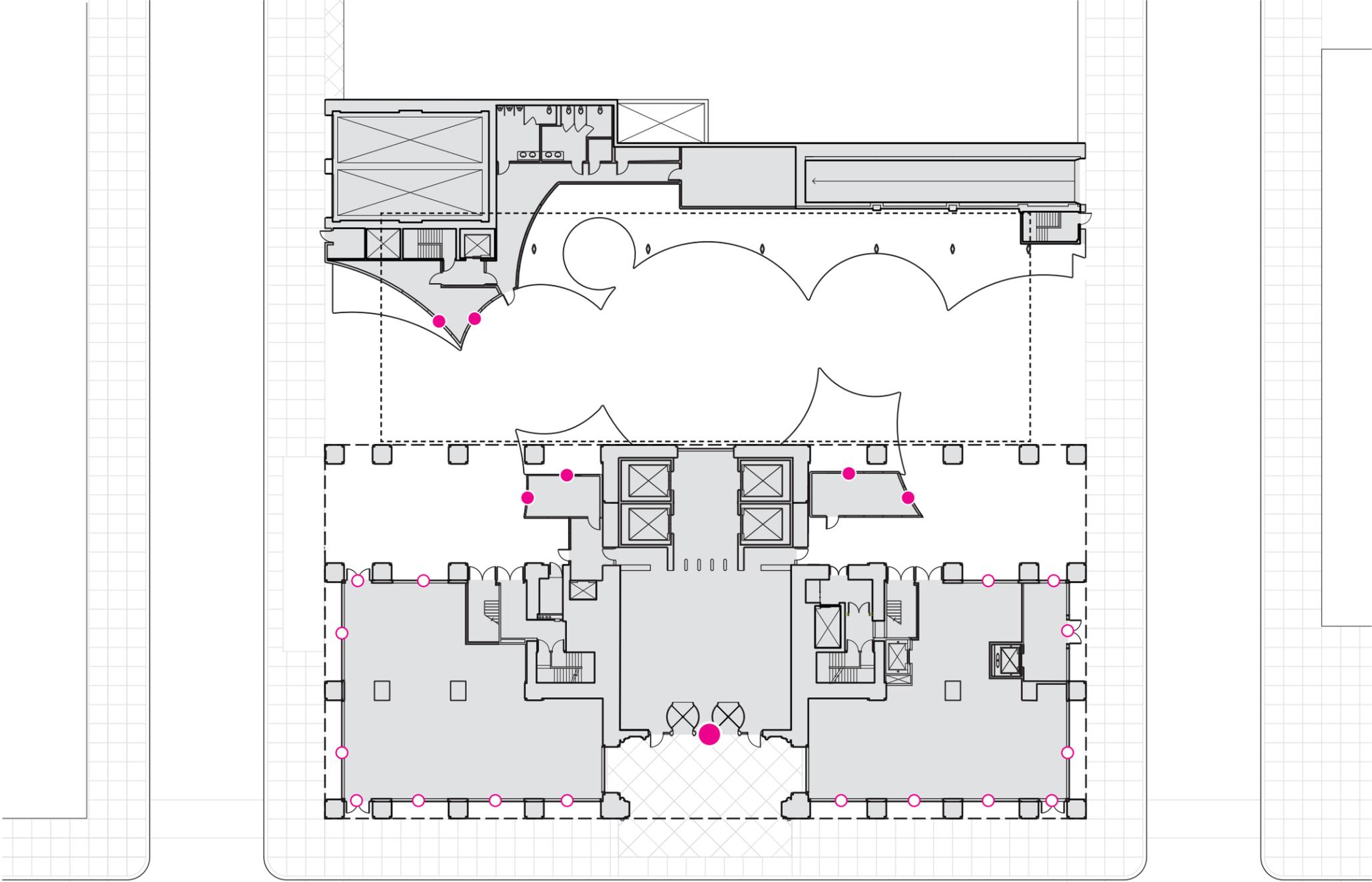


ALL GLASS PIVOT DOOR
WITH BRONZE TRANSOM
BAR AND HARDWARE



KEY AXON

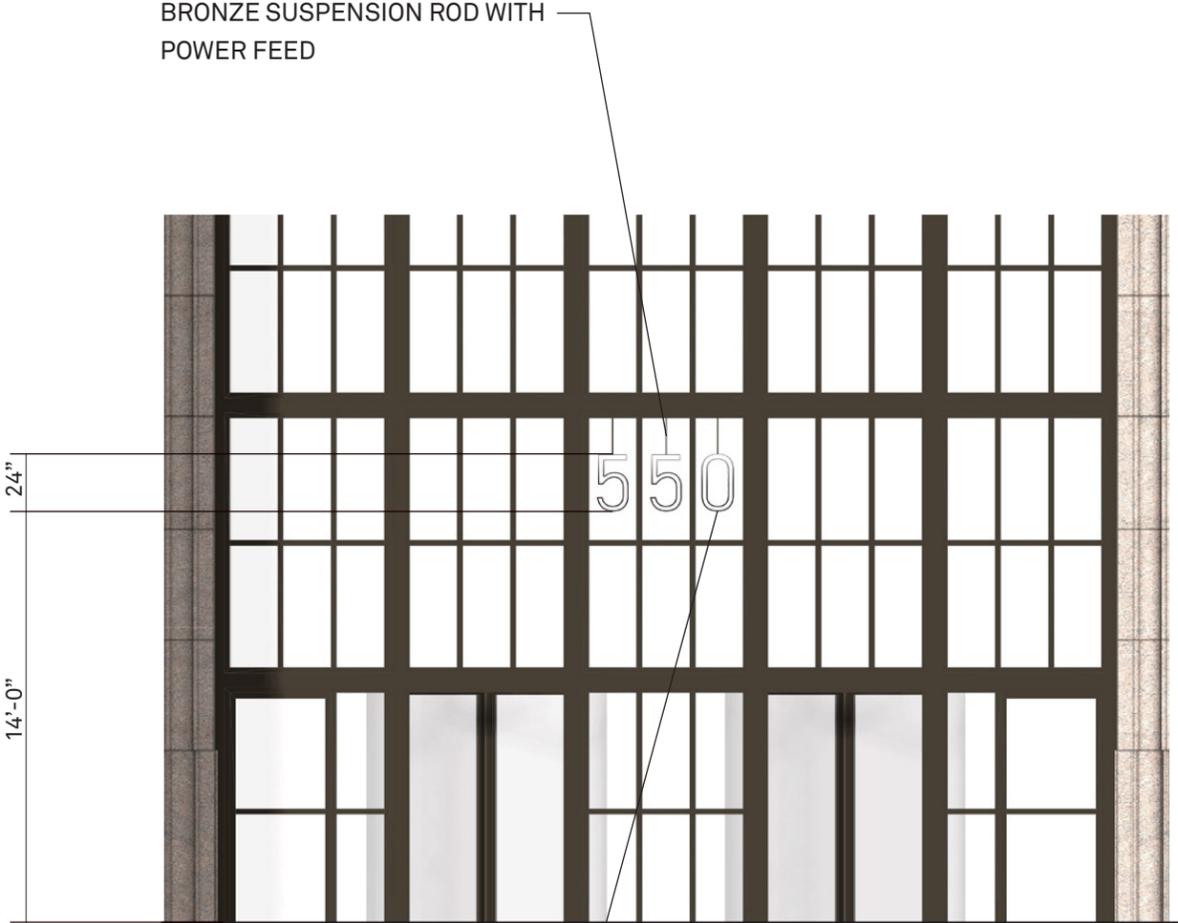
Ground Floor Proposed Office and Retail Signage



Note: See "DCP Signage" for Additional Required Signage

- POTENTIAL RETAIL SIGNAGE
- KIOSK RETAIL SIGNAGE
- ENTRY SIGNAGE

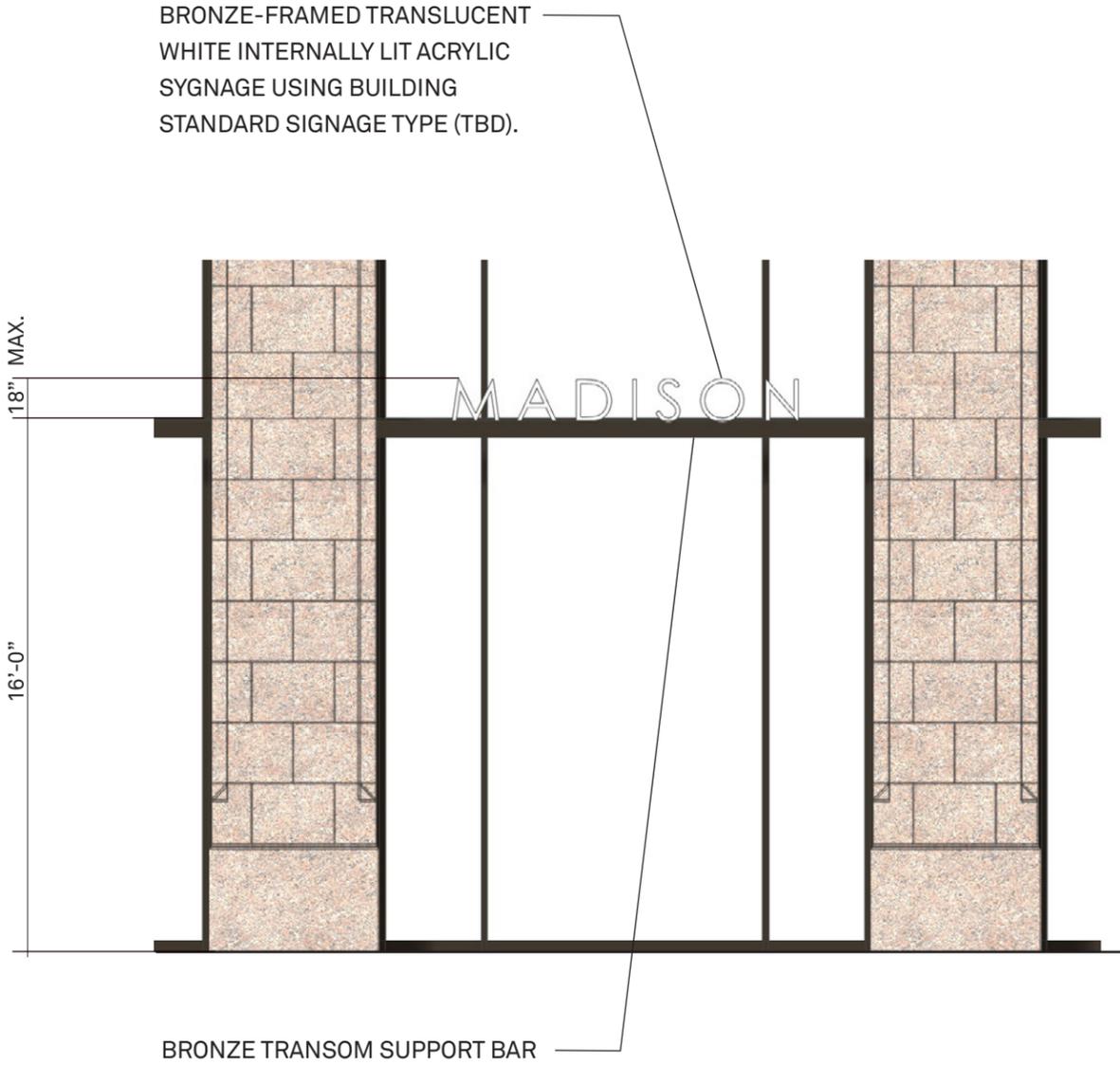
Madison Avenue Entry Arch Signage Details



BRONZE-FRAMED TRANSLUCENT WHITE INTERNALLY LIT ACRYLIC SYGNAGE.

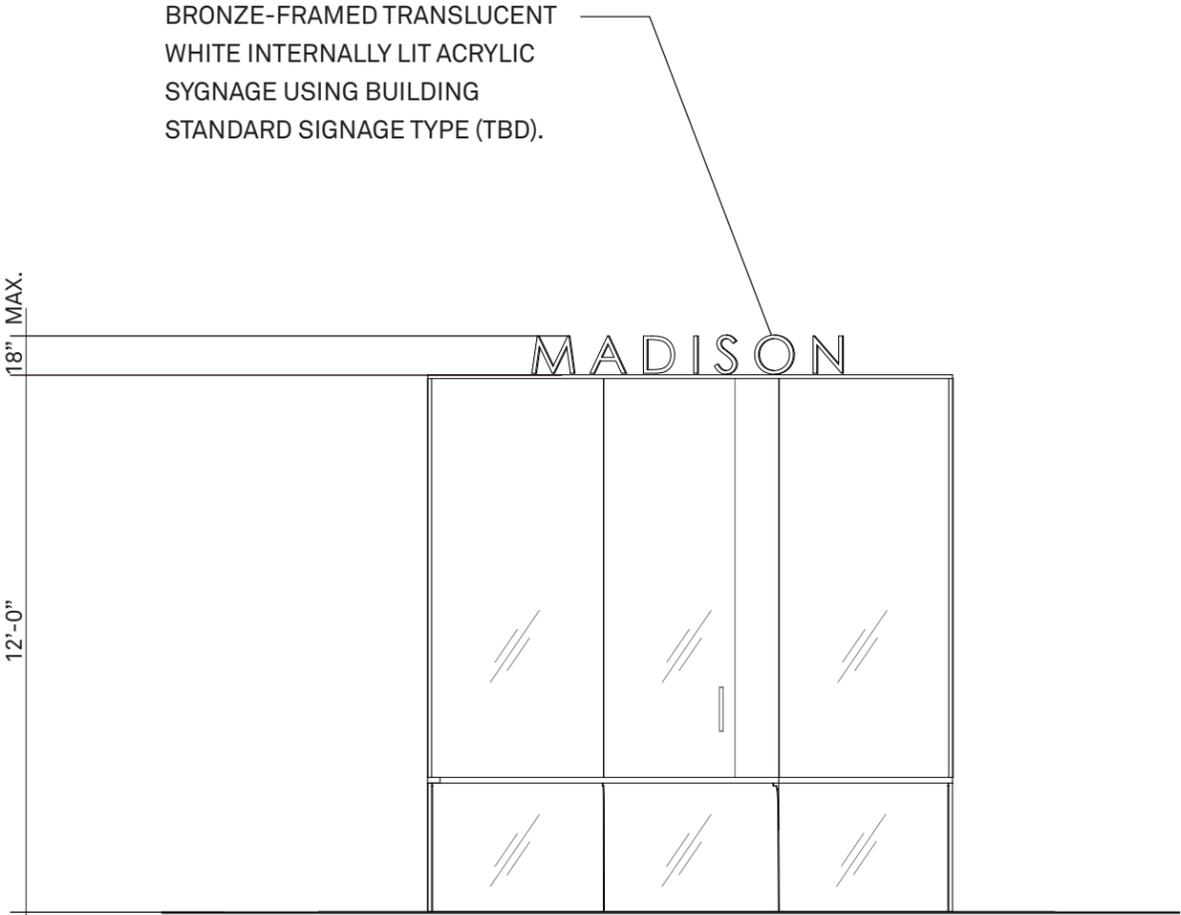
(SEE SIGNAGE PLAN FOR LOCATIONS.)

Flat Arch Signage Details



(SEE SIGNAGE PLAN FOR LOCATIONS.)

Kiosk Signage Details



(SEE SIGNAGE PLAN FOR LOCATIONS.)



END OF DOCUMENT