

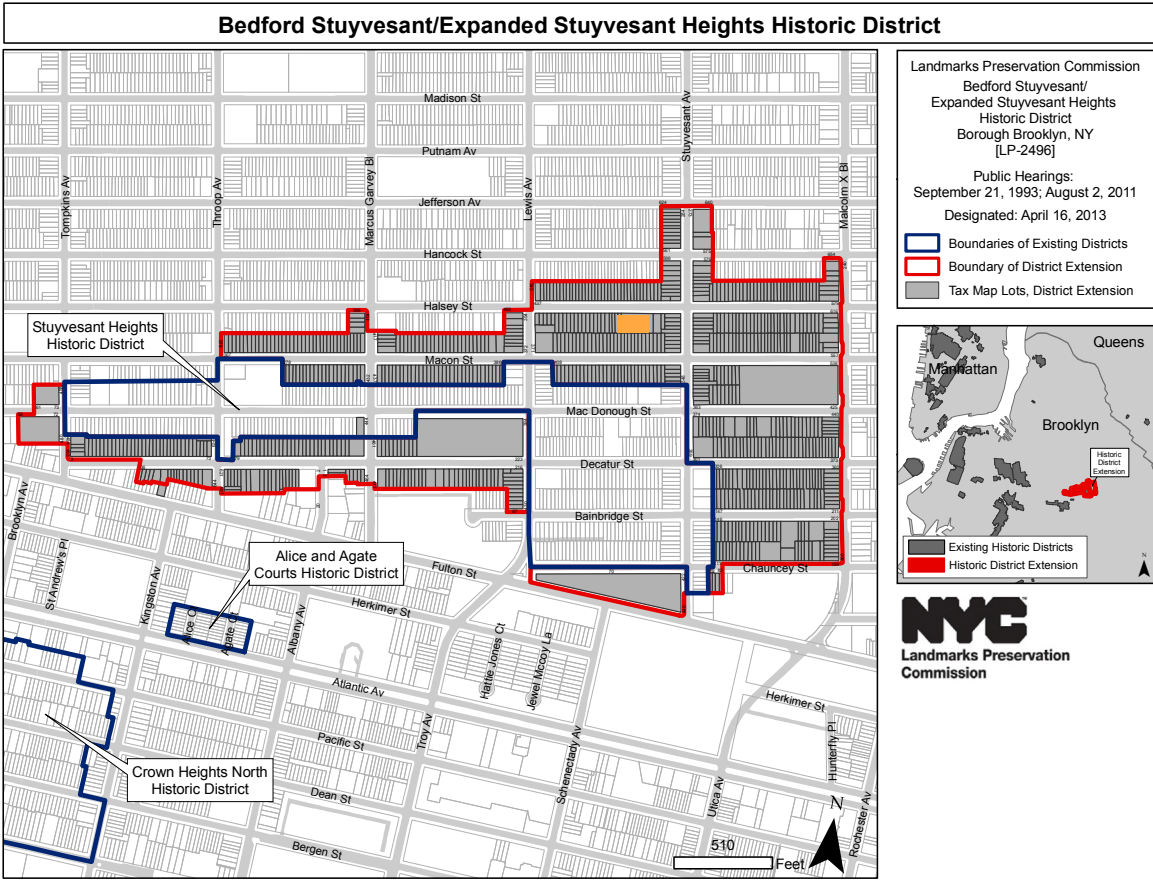


524 HALSEY STREET
BEDFORD STUYVESANT HISTORIC DISTRICT
PRESENTATION FOR LANDMARKS PRESERVATION COMMISSION

03.28.2017



ROART





LOOKING WEST



LOOKING EAST



1930'S HISTORICAL PHOTO



1980'S HISTORICAL PHOTO

- SHELL OF EXISTING ELEVATOR
BULKHEAD TO REMAIN
- EXISTING CORNICE TO BE
EXTENDED
- BROWN PAINT TO BE REMOVED TO
EXPOSE EXISTING BRICK FACADE
- NEW WOOD DOUBLE HUNG
WINDOWS IN EXISTING
OPENINGS
- EXISTING RUSTICATED BASE
TO BE REPAIRED AS NEEDED
AND REPAINTED
- GROUND FLOOR OPENINGS TO
BE INFILLED W/ SANDSTONE
& BROWNSTONE TO MATCH
EXISTING STRIATION.
- NEW WINDOWS AND ENTRY DOORS
INSTALLED IN EXISTING OPENINGS
- NEW STREET TREE PLANTINGS
PER NYC PARKS GUIDELINES





NEW 5 STORY BUILDING

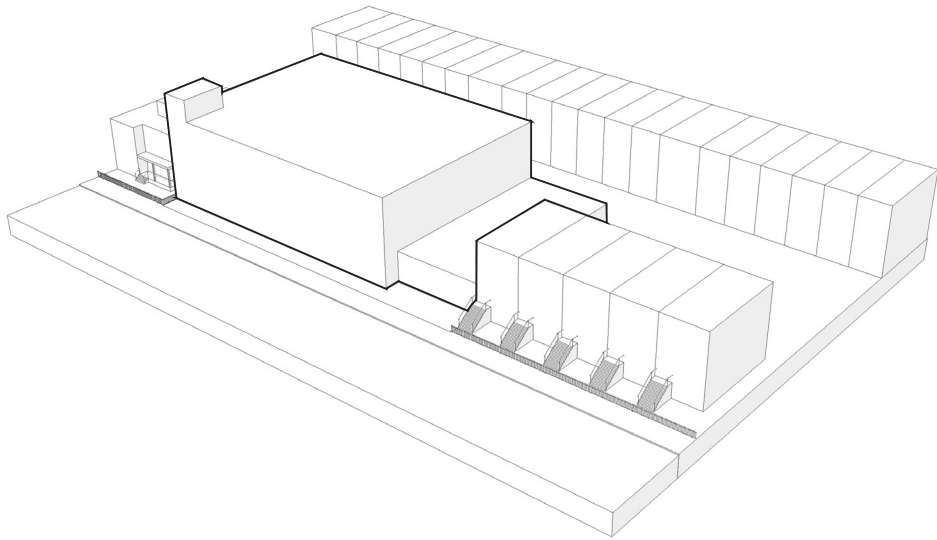
PROPOSED TERRACOTTA RAINSCREEN
FACADE TILES

WINDOW SPACING DIVIDES MASS INTO TWO
TYPICAL ROW HOUSE WIDTH

PROPOSED OPENINGS MATCH WIDTH OF
WINDOWS OF EXISTING BUILDING

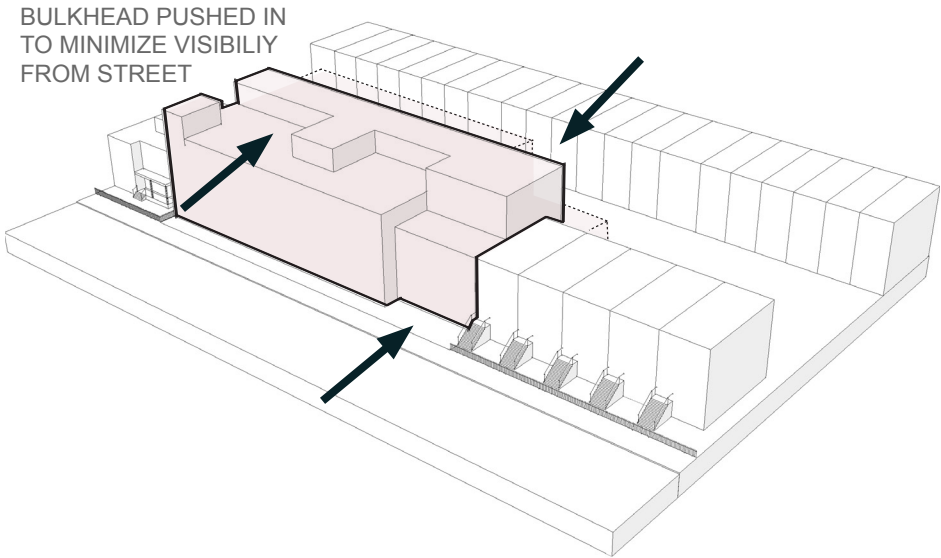
BUILDING VOLUME SET BACK TO ALIGN WITH
BUILDING AT 522 HALSEY ST.

PRIVATE GARDEN AT SIDEWALK LEVEL
CONTRIBUTES TO NEIGHBORHOOD
GREENSCAPE

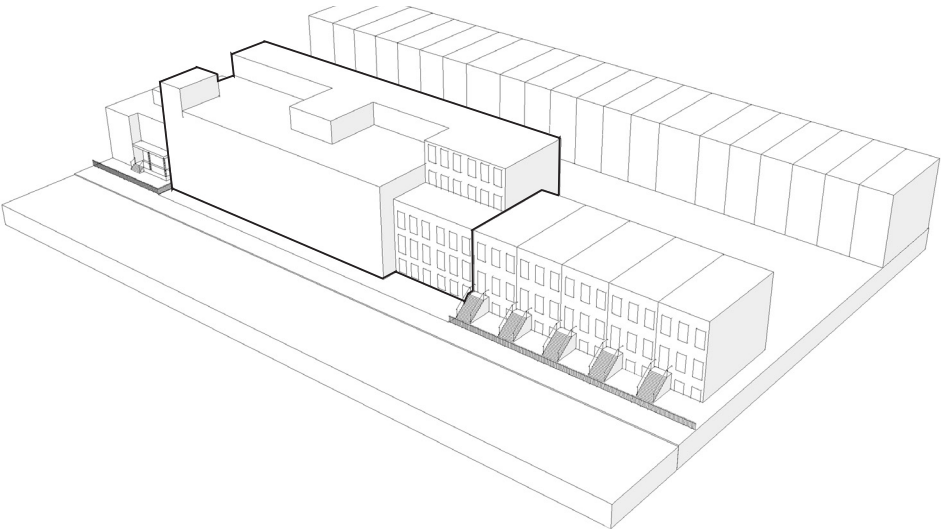


EXISTING ENVELOPE

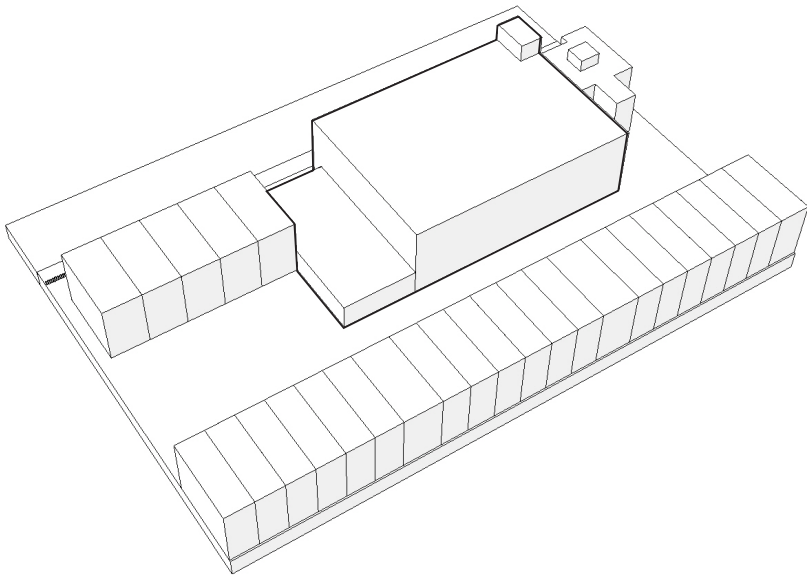
MASSING DIAGRAMS FRONT



PROPOSED 5 STORY BUILDING
TO ALIGN TO NEIGHBOR

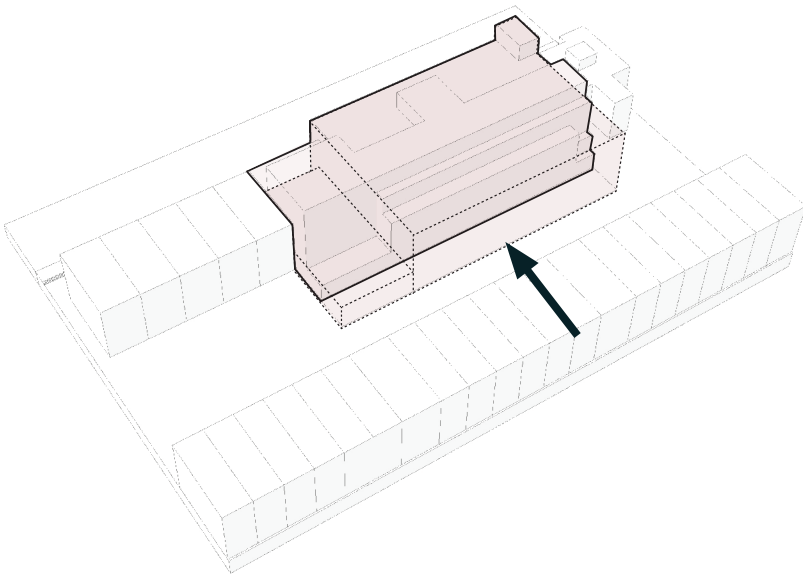


PROPOSED FENESTRATION
MATCHES SCALE & RHYTHM OF
EXISTING STREETScape

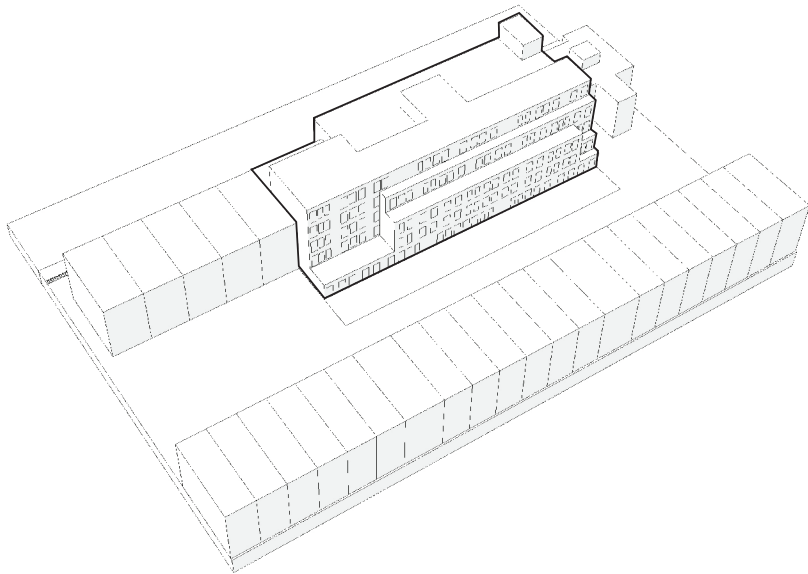


EXISTING ENVELOPE

MASSING DIAGRAMS REAR



NEW MASSING INCREASES REAR YARD
FROM 3'-0" TO 27'-0"



PROPOSED FENESTRATION
MATCHES SCALE & RHYTHM OF
EXISTING REAR FACADES



EXISTING

PROPOSED TERRACOTTA
RAINSCREEN FACADE TILES
AT NEW 4TH FLOOR &
STAIR BULKHEAD

SHELL OF EXISTING
ELEVATOR
BULKHEAD TO
REMAIN

EXISTING CORNICE
TO BE EXTENDED

BROWN PAINT TO
BE REMOVED TO
EXPOSE EXISTING
BRICK FACADE

NEW WOOD DOUBLE
HUNG WINDOWS IN
EXISTING OPENING

EXISTING
RUSTICATED BASE
TO BE REPAIRED
AS NEEDED AND
REPAINTED

NEW WINDOWS
AND ENTRY DOORS
INSTALLED IN
EXISTING OPENINGS

NEW 5 STORY BUILDING

PROPOSED TERRACOTTA
RAINSCREEN FACADE
TILES

WINDOW SPACING DIVIDES
MASS INTO TWO TYPICAL
ROW HOUSE WIDTH

WINDOW SIZES MATCH
WIDTH OF EXISTING
BUILDING

BUILDING'S VOLUME
SET BACK TO ALIGN
WITH BUILDING AT 522
HALSEY ST.

PROPOSED



EXISTING



PROPOSED



HALSEY STREETSCAPE - EXISTING



HALSEY STREETSCAPE - PROPOSED

EXISTING



EXISTING BELGIAN
BLOCK PAVERS

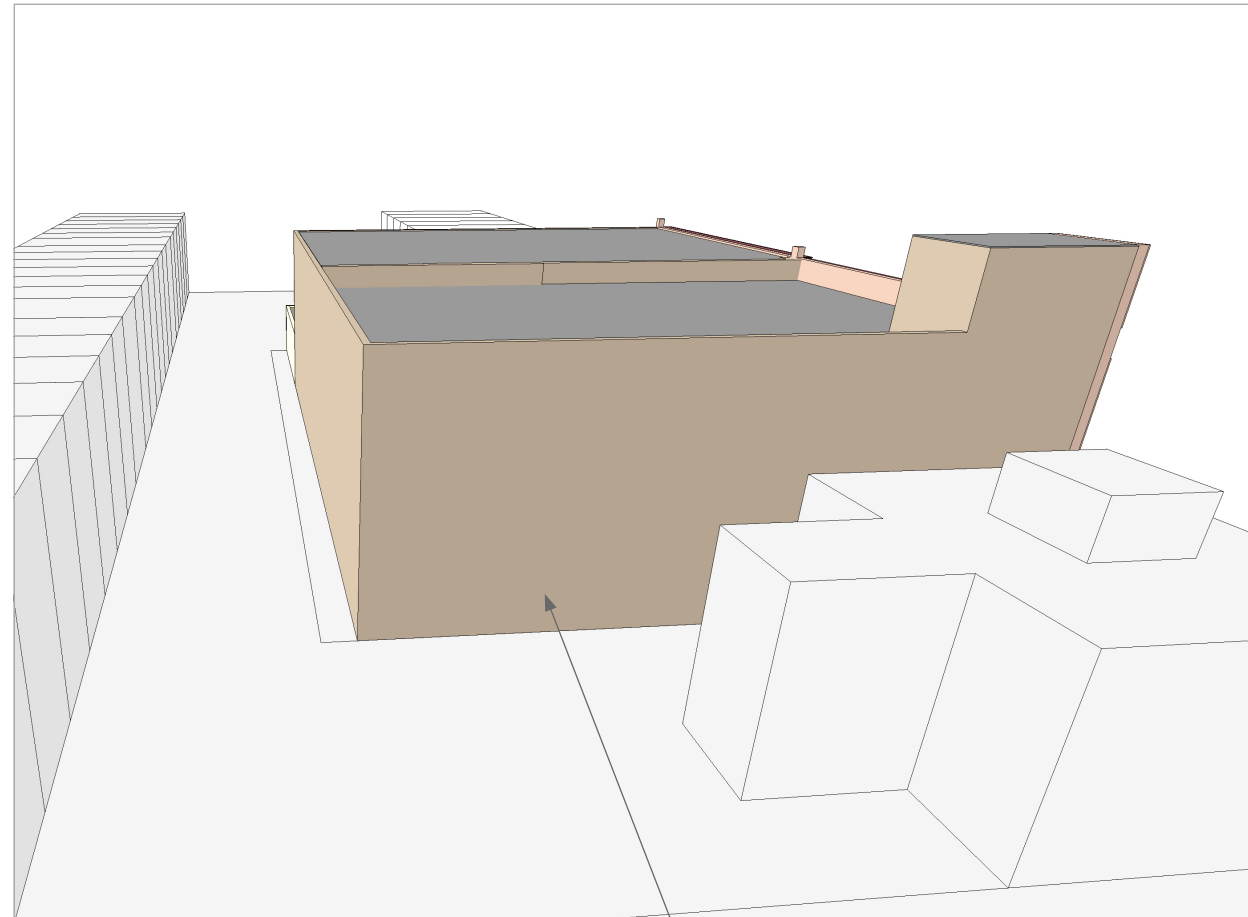
PROPOSED



BELGIAN BLOCK PAVERS
TO BE REINSTALLED AT
PROPOSED FRONT PATIOS

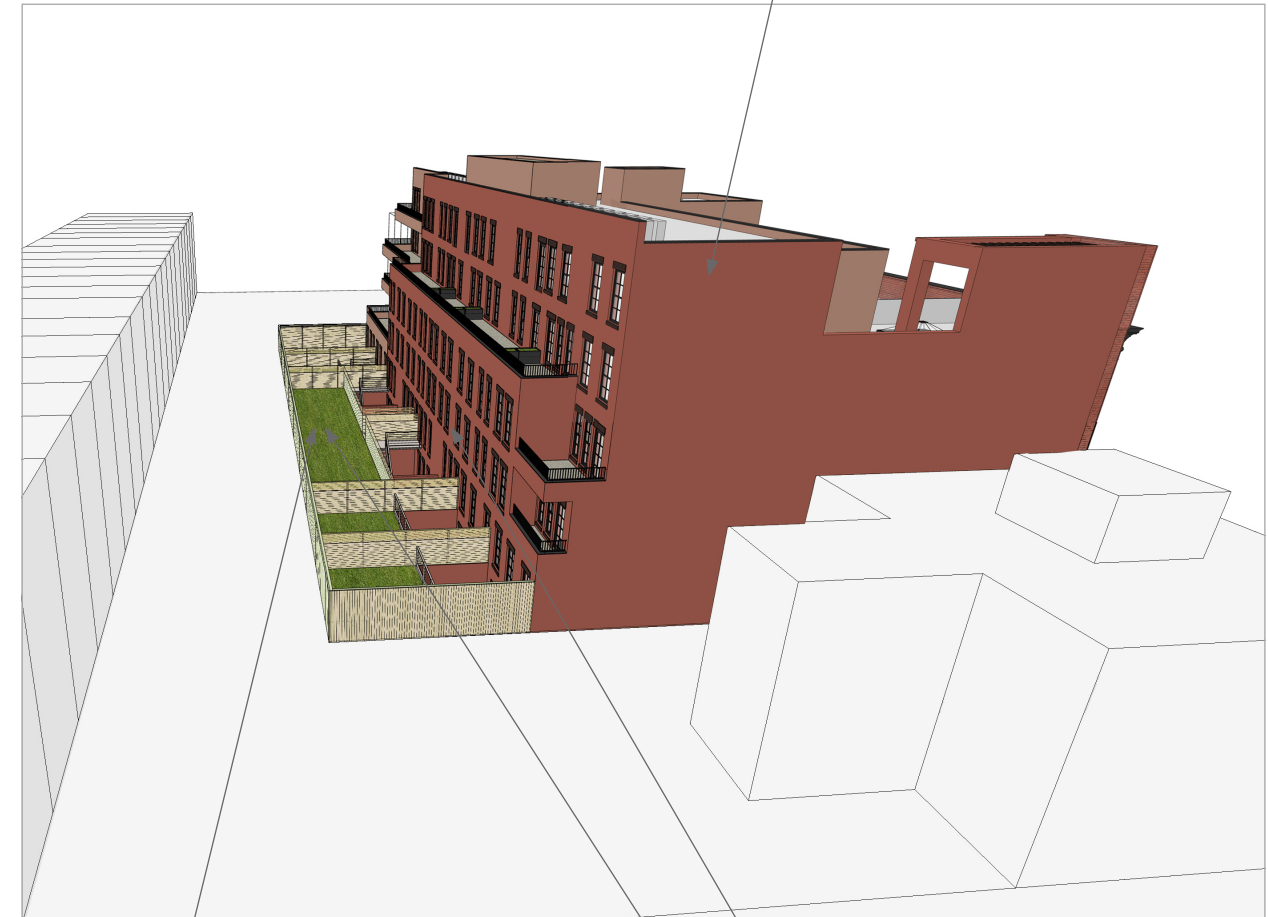
PROPOSED
PRIVATE GARDEN

EXISTING



EXISTING BUILDING
COVERS ENTIRE LOT

PROPOSED



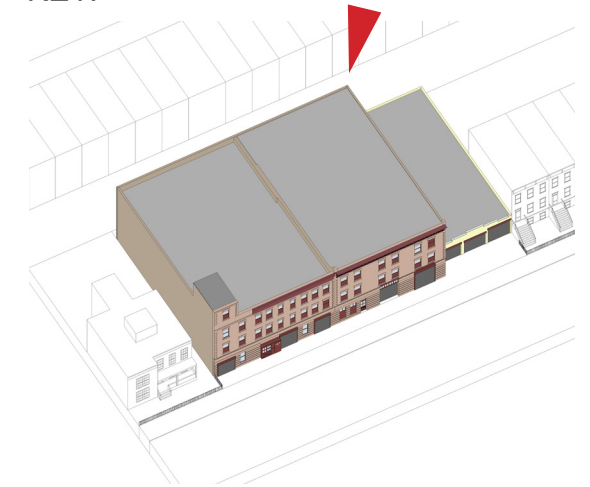
EXISTING BRICK SIDE WALL
TO BE PAINTED

NEW MASSING
INCREASES REAR YARD
FROM 3'-0" TO 27'-0"

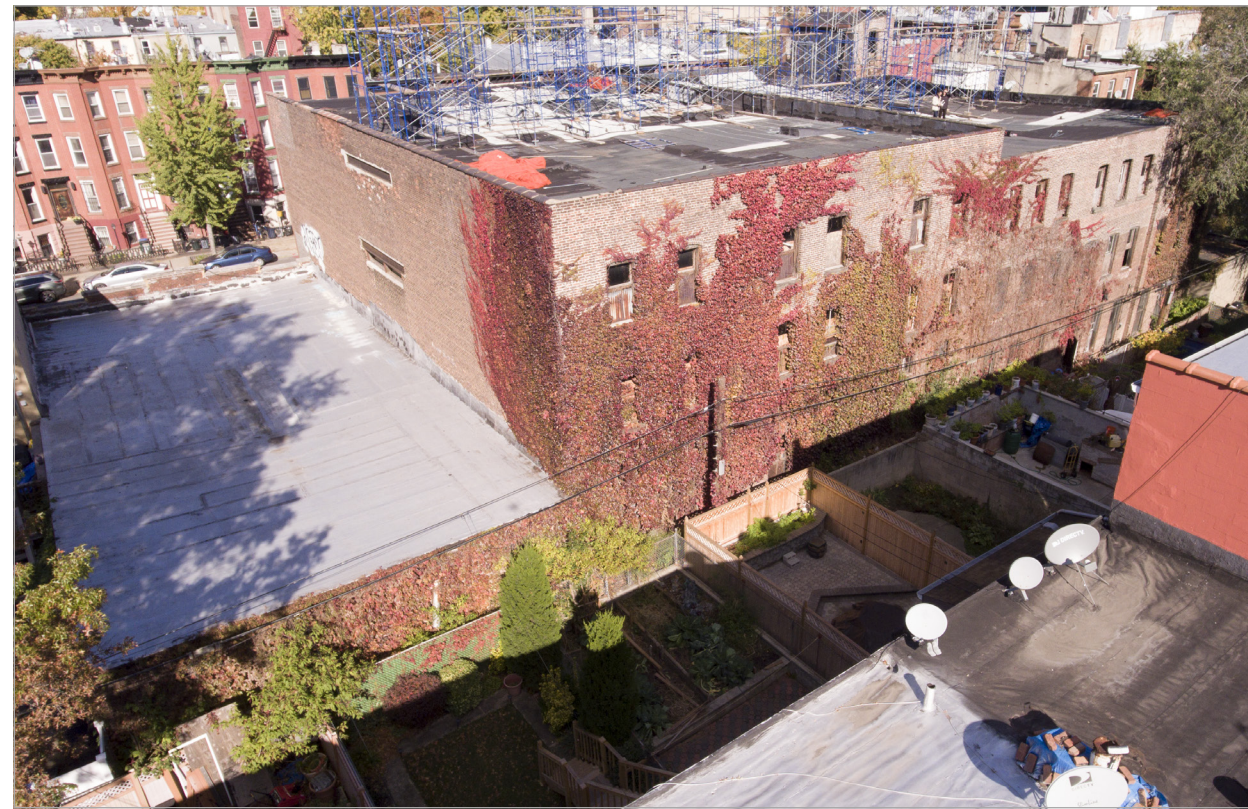
STUCCO FINISH AT
REAR FACADE

PROPOSED PRIVATE
REAR YARDS AND TENANT
RECREATION SPACE

KEY:



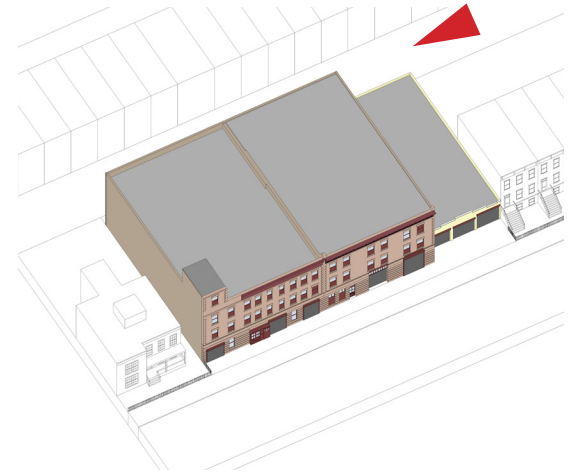
EXISTING



PROPOSED



KEY:

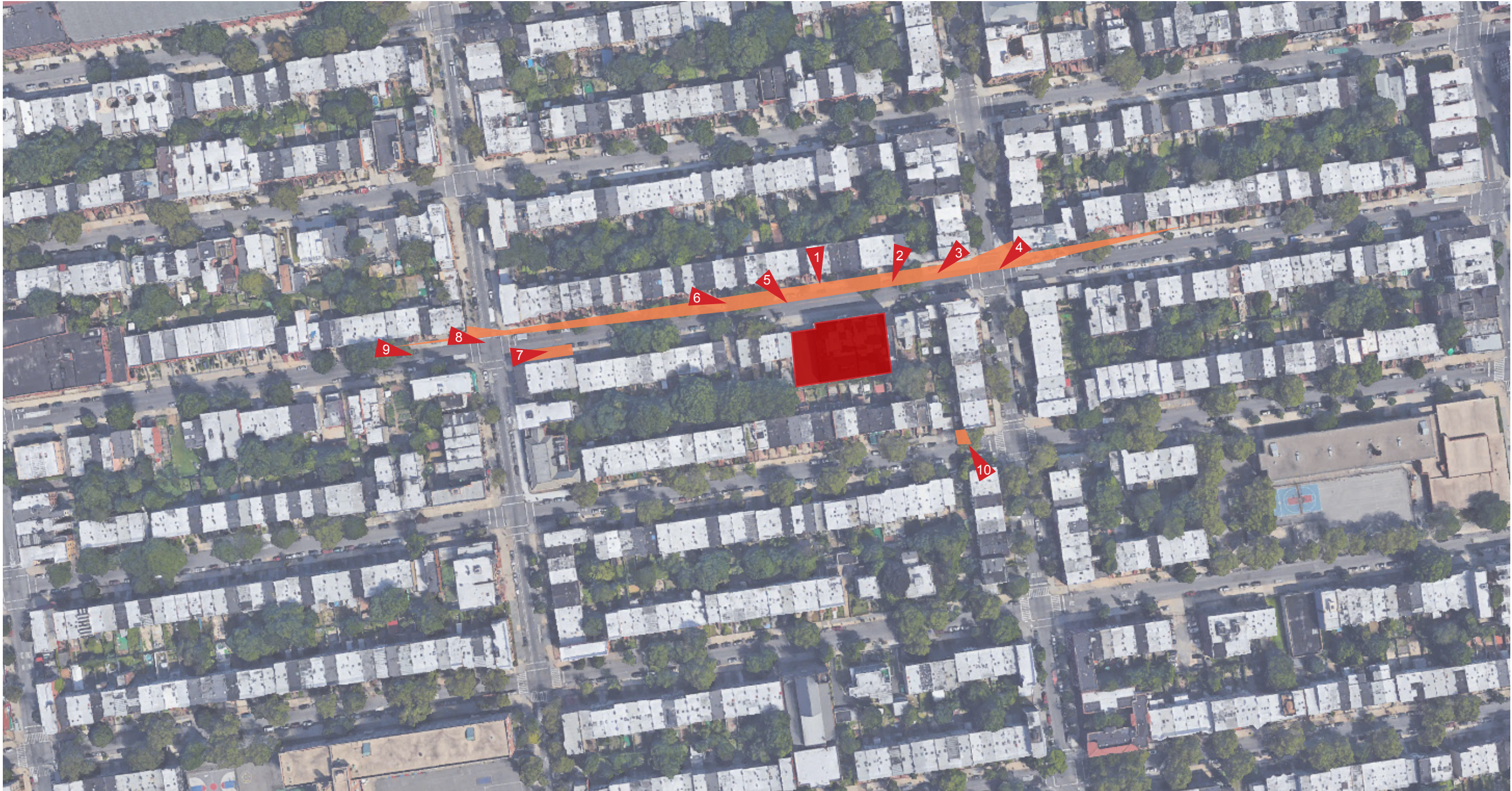


EXISTING



PROPOSED





MOCKUP VISIBILITY PLAN

AREA OF VISIBILITY



1



2



3



4



5



6



7



8



9



10 - MINOR VISIBILITY FROM MACON ST.




EXISTING

 EXISTING GROUND FLOOR OPENINGS

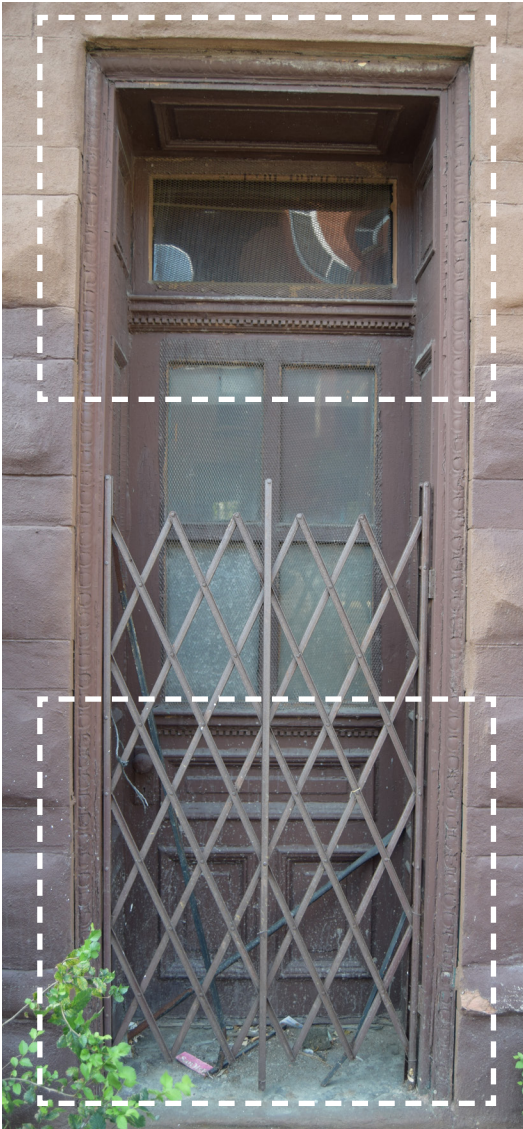


PROPOSED

 EXISTING GROUND FLOOR OPENINGS TO REMAIN

 AREA OF EXISTING GROUND FLOOR OPENINGS TO BE INFILLED

 AREA OF NEW/ ENLARGED GROUND FLOOR OPENINGS



EXISTING ENTRY DOOR



UPPER DETAIL



LOWER DETAIL



PROPOSED ENTRY DOOR

RETURN WOOD PANELS WITH
CONCEALED LIGHTING &
INTERCOM

PROPOSED WOOD WINDOW/
DOOR FRAMES TO MATCH
STYLE & DIMENSIONS OF
EXISTING ENTRY/ OPENINGS

RECESSED ENTRY TAKES
CUES FROM EXISTING ENTRY
DOOR

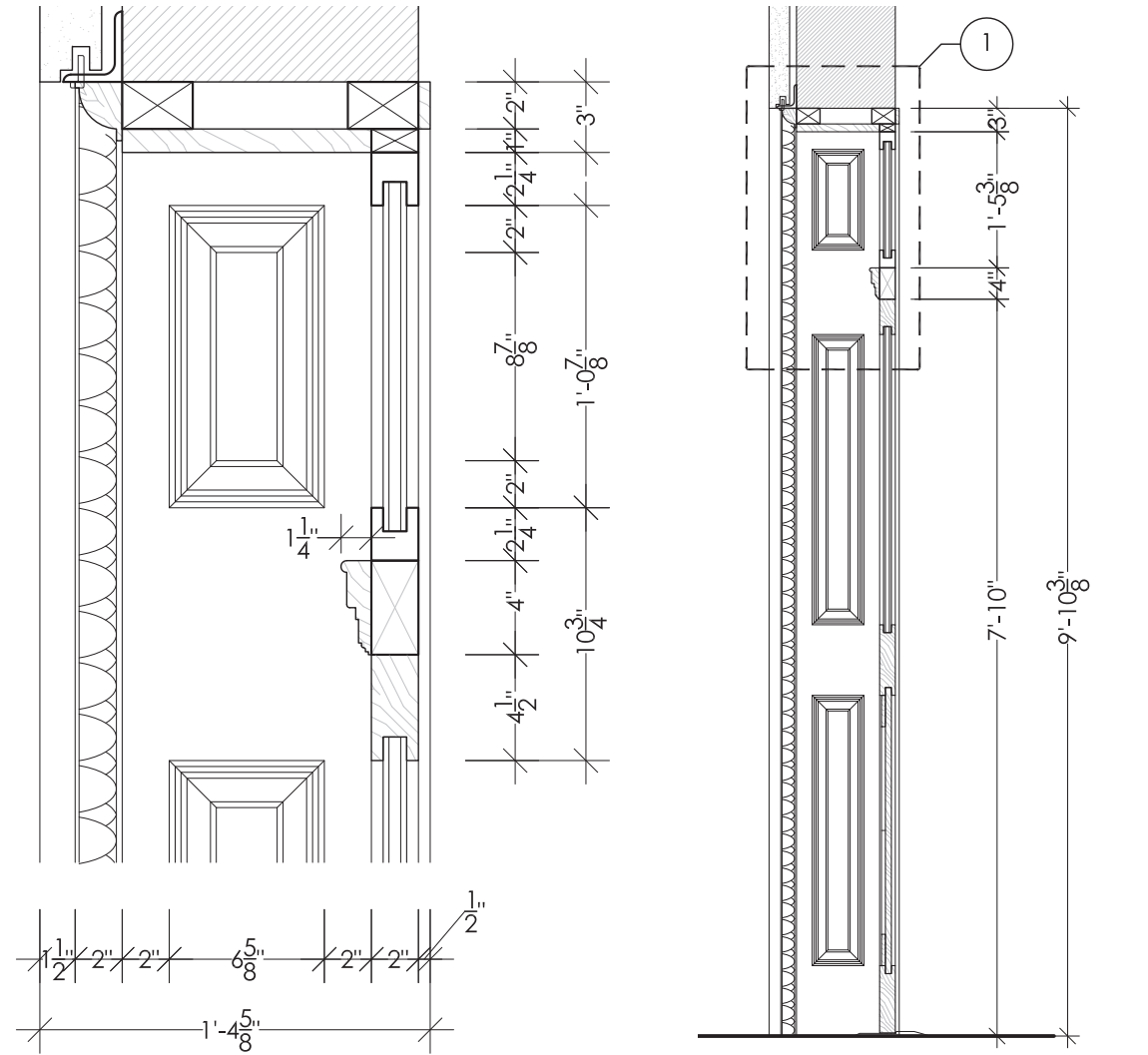
BEADBOARD PANELING TO
MATCH EXISTING



EXISTING AREA OF
PROPOSED ENTRY
DOOR



PROPOSED BUILDING
ENTRY DOOR

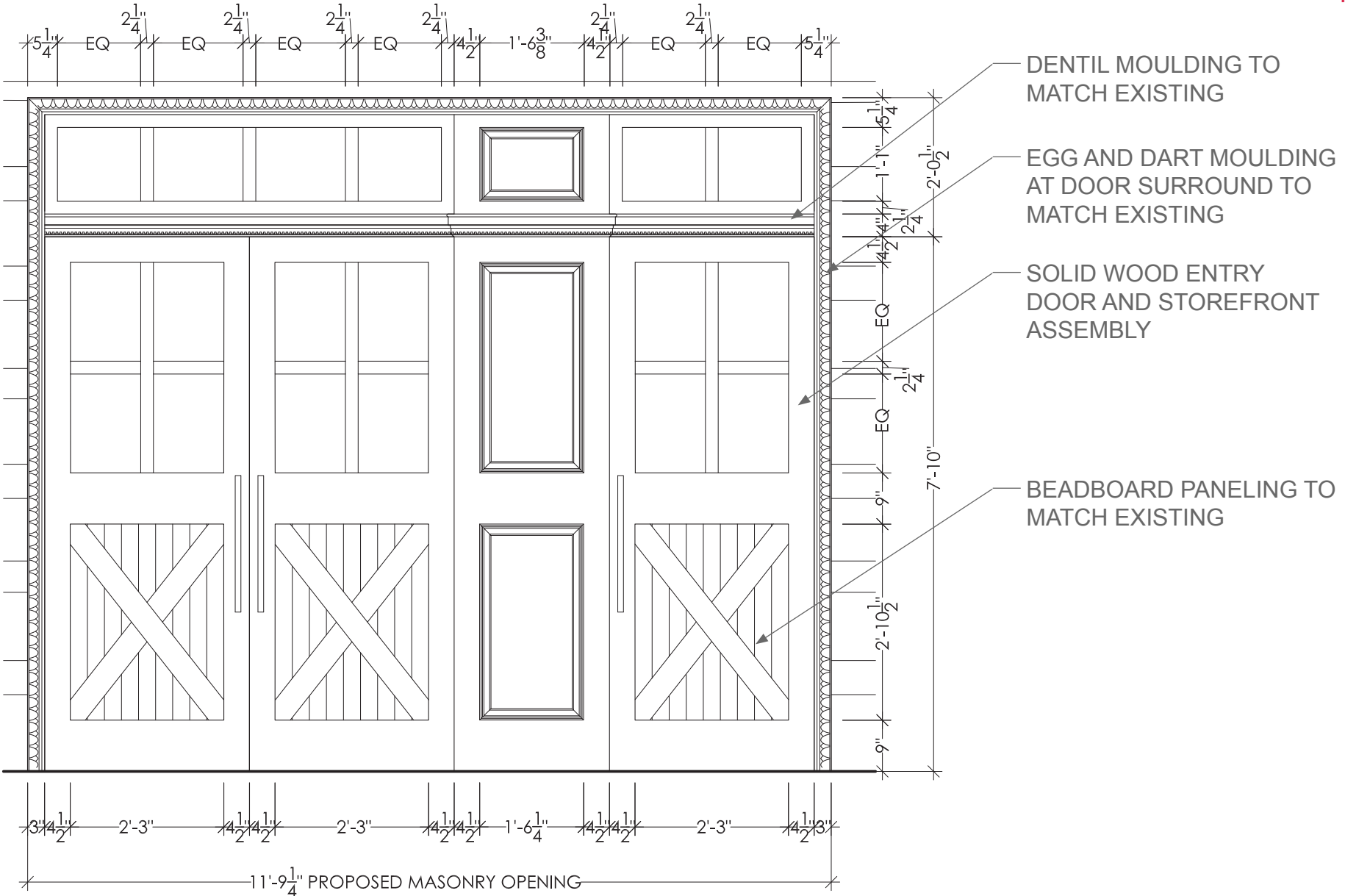


1 DETAIL SECTION

2 SECTION AT DOOR SURROUND



PROPOSED BUILDING
ENTRY DOOR



3 ELEVATION

4 PLAN

5 REFLECTED CEILING PLAN

DENTIL MOULDING TO MATCH EXISTING

EGG AND DART MOULDING AT DOOR SURROUND TO MATCH EXISTING

SOLID WOOD ENTRY DOOR AND STOREFRONT ASSEMBLY

BEADBOARD PANELING TO MATCH EXISTING

EXISTING BRICK WALL

EXISTING BROWNSTONE VENEER



EXISTING ENTRY DOOR

- RETURN WOOD PANELS
OFFER OPPORTUNITY
TO CONCEAL LIGHTS &
INTERCOM
- PROPOSED WOOD
WINDOW/ DOOR FRAMES
TO MATCH STYLE &
DIMENSIONS OF EXISTING
ENTRY/ OPENINGS
- RECESSED ENTRY TAKES
CUES FROM EXISTING
ENTRY DOOR
- BEADBOARD PANELING TO
MATCH EXISTING



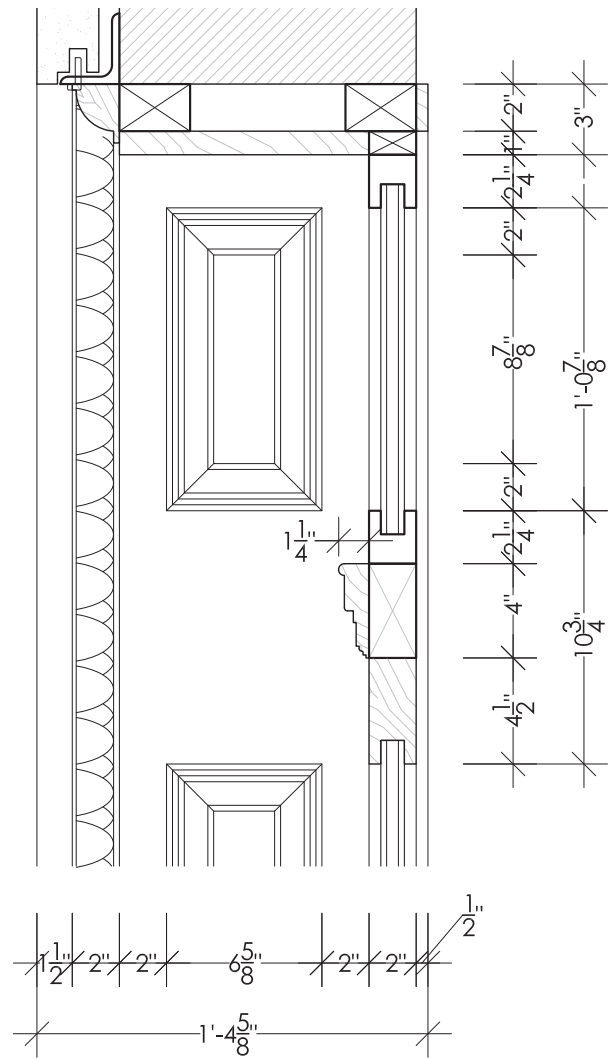
PROPOSED ENTRY DOOR



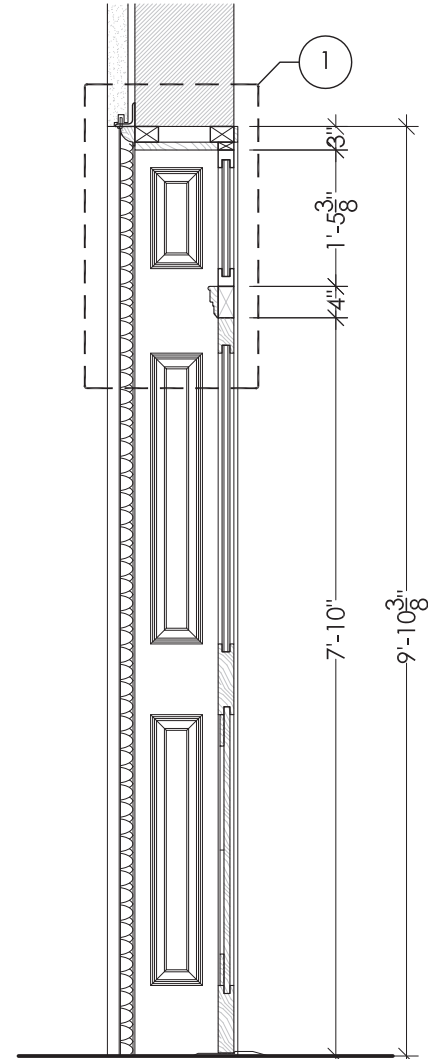
EXISTING AREA OF
PROPOSED ENTRY
DOOR



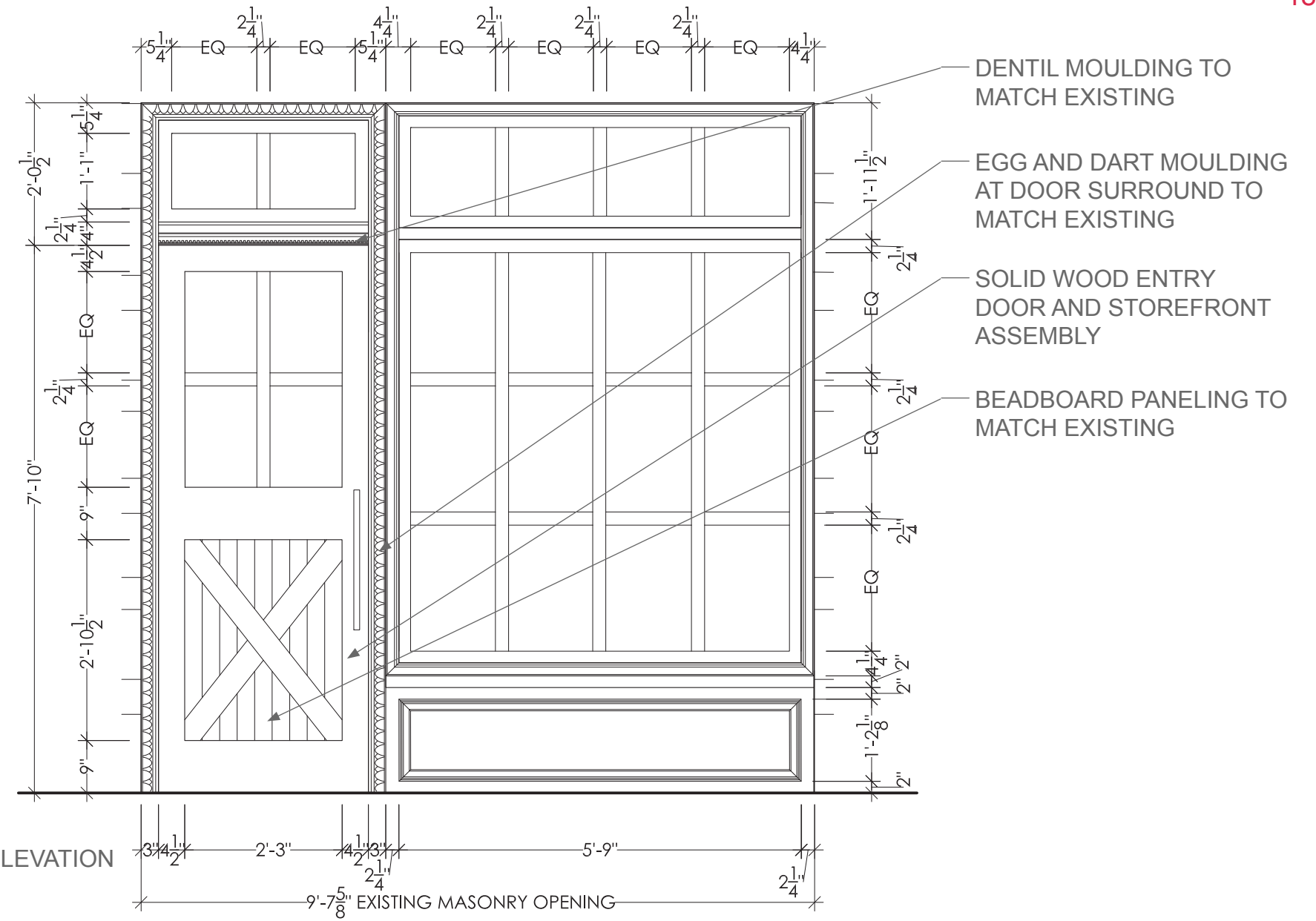
PROPOSED
ENTRY DOOR



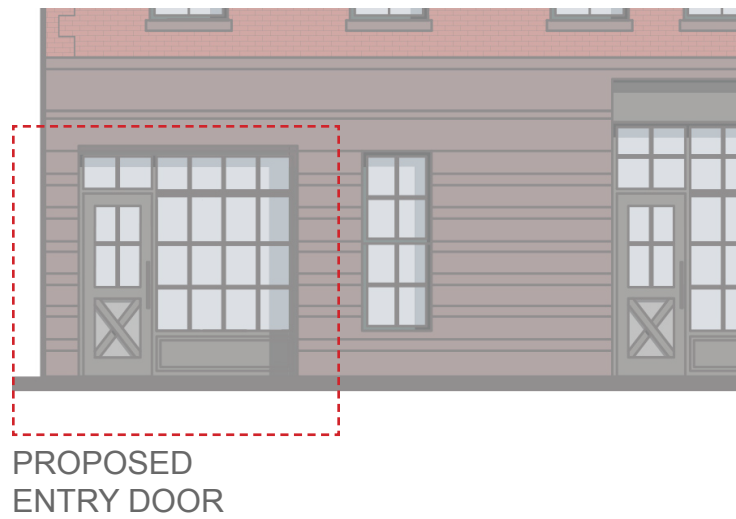
1 DETAIL SECTION



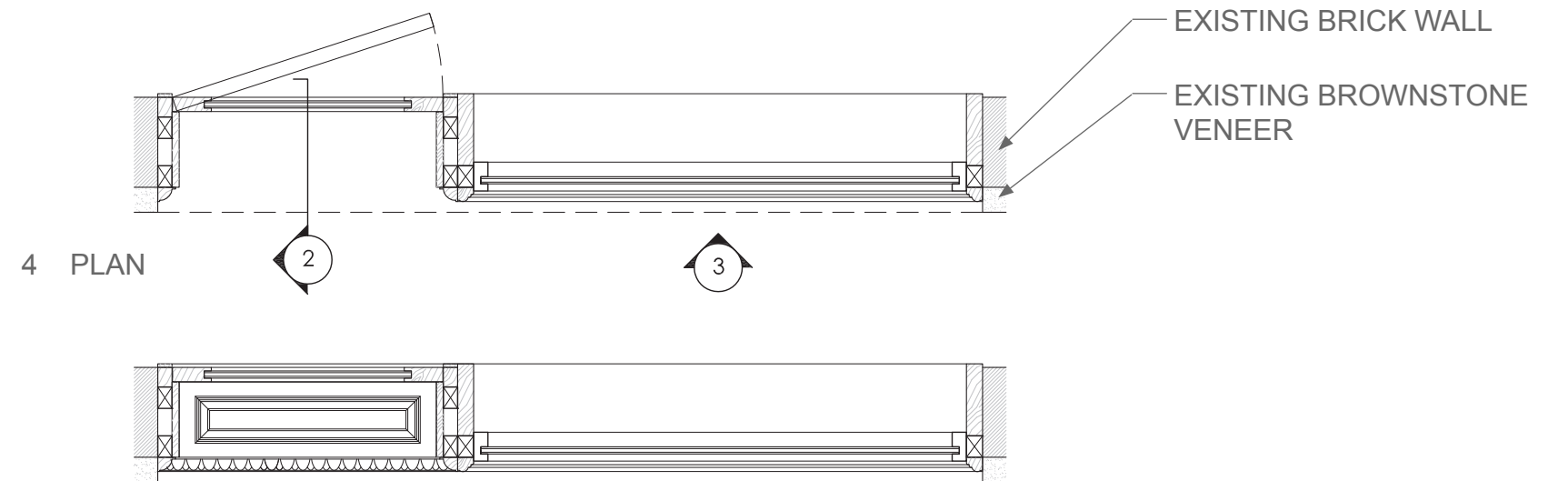
2 SECTION AT DOOR SURROUND



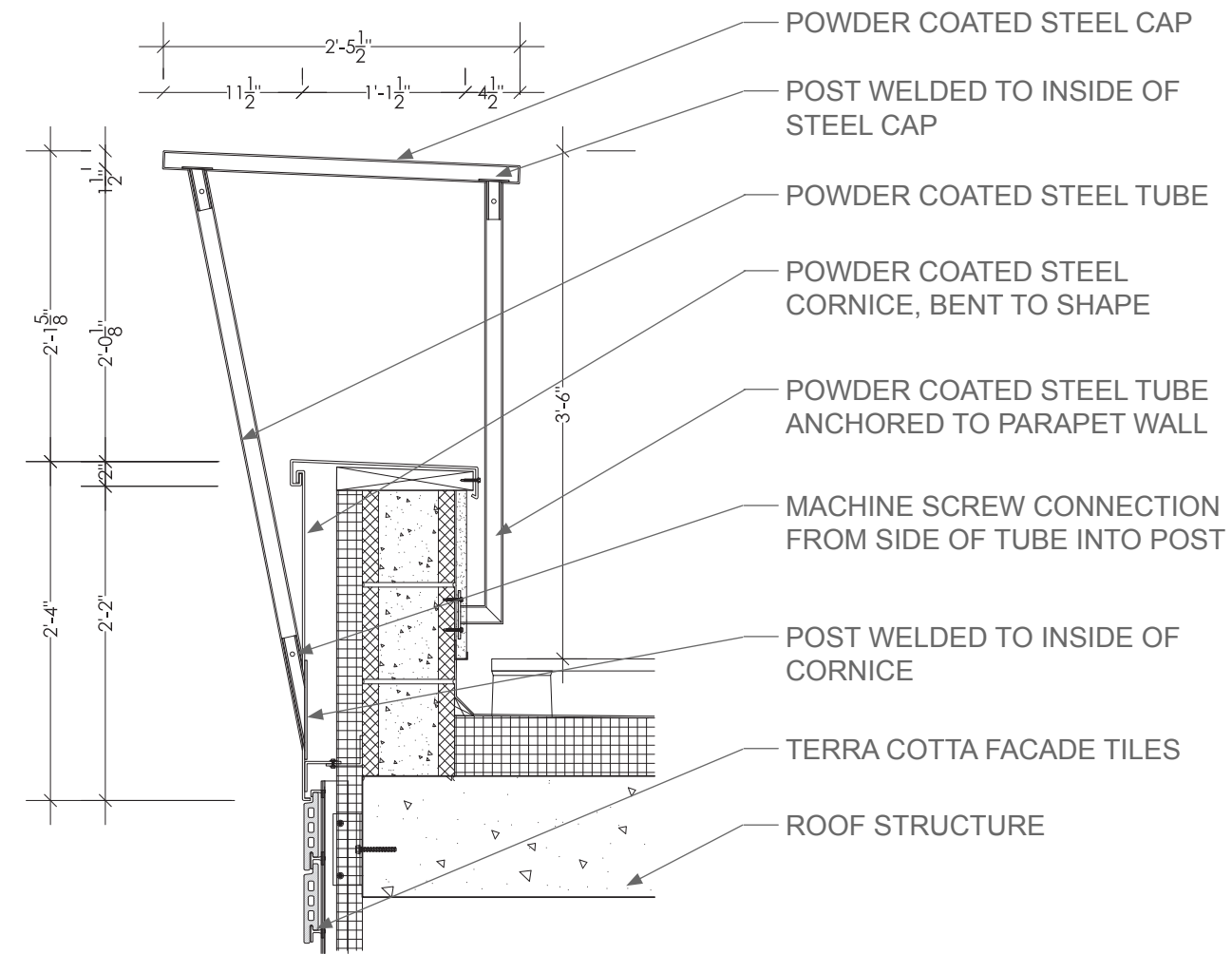
3 ELEVATION



PROPOSED
ENTRY DOOR



5 REFLECTED CEILING PLAN



PROPOSED CORNICE SECTION

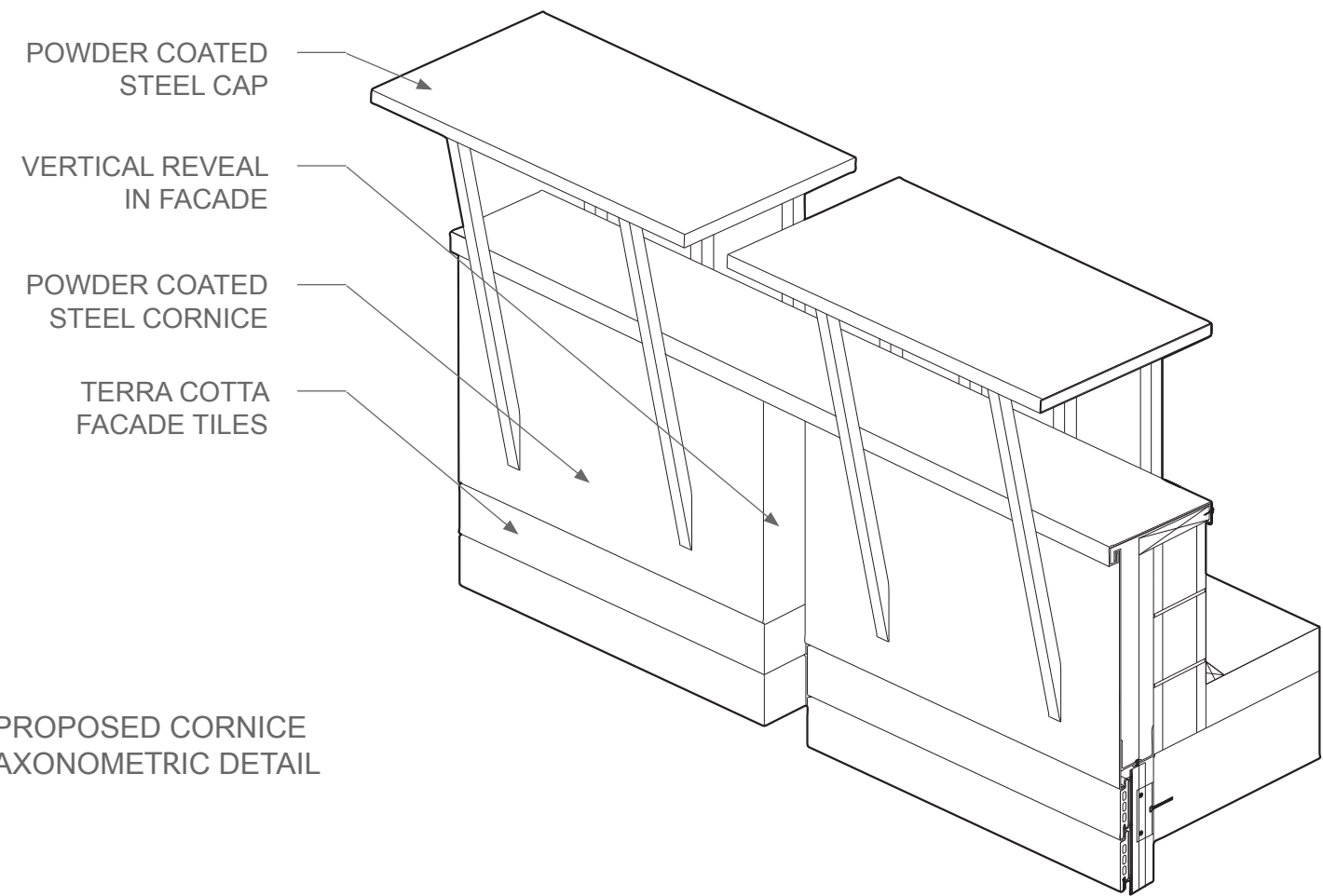


PROPOSED CORNICE

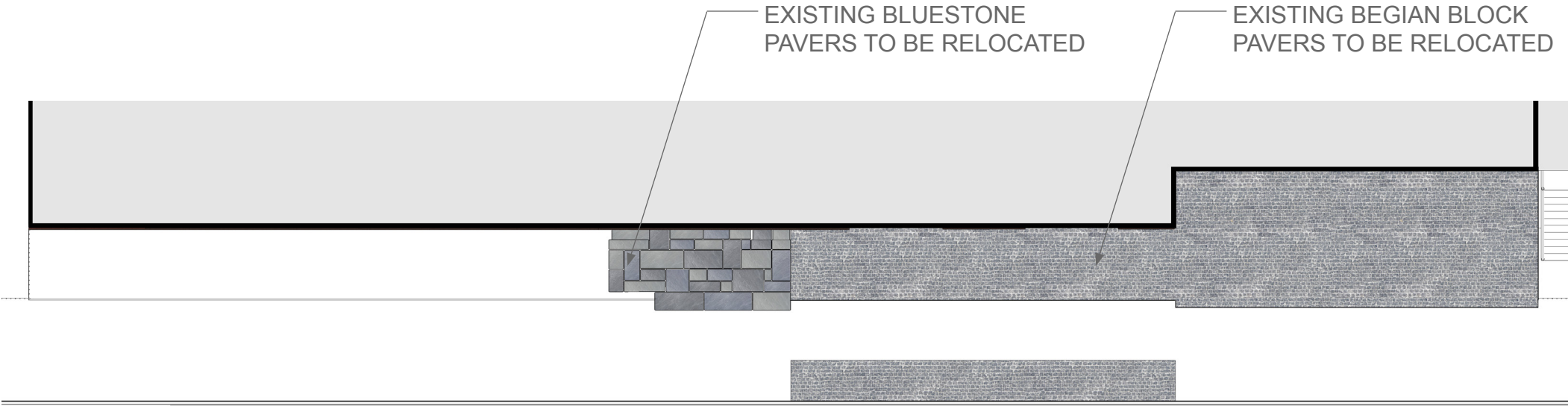


EXISTING CORNICE

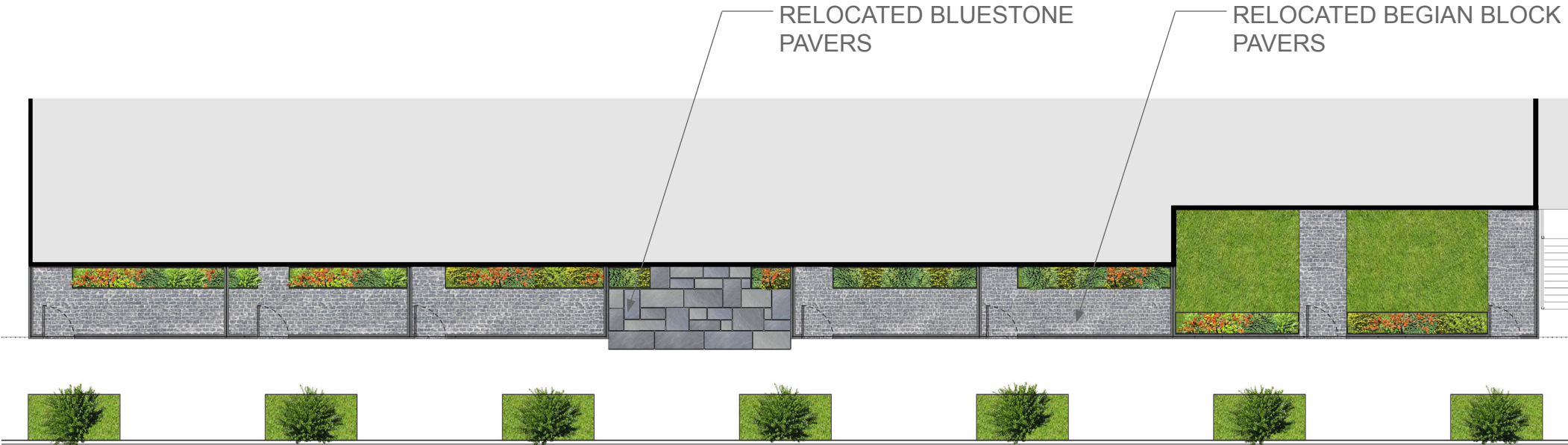
PROPOSED CORNICE



PROPOSED CORNICE
AXONOMETRIC DETAIL



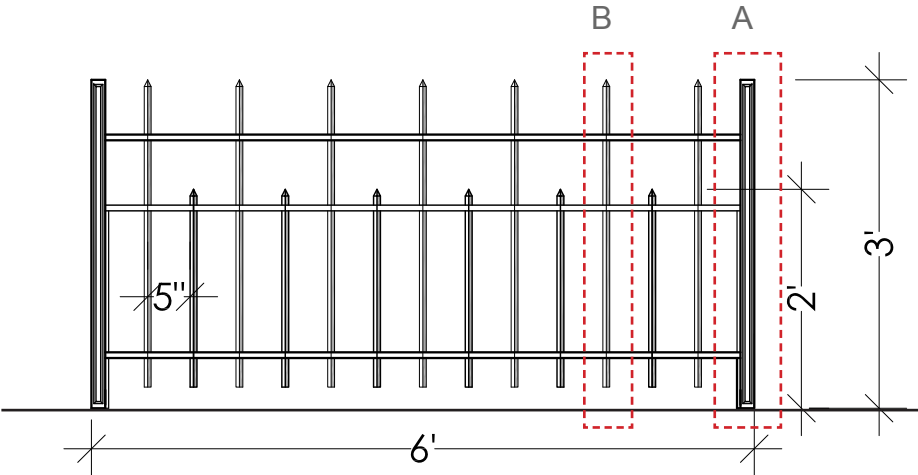
EXISTING FRONT YARD



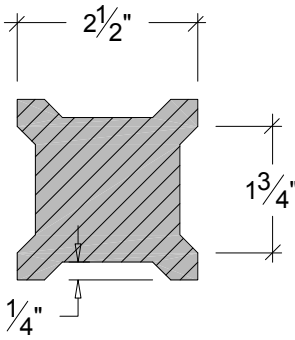
PROPOSED FRONT YARD



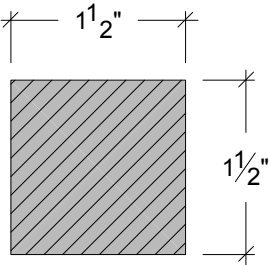
EXISTING BELGIAN BLOCK PAVERS



PROPOSED FENCE DETAIL ELEVATION



POST PLAN A



POST PLAN B



A. PAINTED RUSTICATION AT BASE



B. COURSING & RUSTICATION DETAIL



C. ENTRY DOOR DETAIL



D. GARAGE DOOR & 2-TONE FAÇADE





A. BRICKWORK QUOINING DETAIL



B. WINDOW DETAIL WITH PLYWOOD INFILL



C. GARAGE DOOR & FAÇADE



D. CORNICE DETAIL



A B C D



A. FAÇADE DAMAGE



B. FAÇADE DAMAGE



C. FAÇADE DAMAGE



C. FAÇADE DAMAGE DETAIL



THE EXISTING STRATA OF BROWNSTONE AND SANDSTONE RUSTICATION AT THE BASE OF THE BUILDING HAS BEEN COVERED WITH A THIN LAYER OF STUCCO AND PAINTED. THIS WAS DONE SOME TIME AFTER THE 1980'S HISTORICAL PHOTO WAS TAKEN.

WE ARE CONCERNED THAT ANY ATTEMPT TO REMOVE THE STUCCO LAYER WILL ONLY DAMAGE THE ALREADY FRAGILE UNDERLYING STONE WORK, AS EVIDENCED BY THE PHOTOS ABOVE.

WE THEREFORE PROPOSE TO PATCH AND REPAINT THE STUCCO AT RUSTICATED BASE OF THE BUILDING DURING THE COURSE OF THE RENOVATION.



A. BRICK FAÇADE WITH STUCCO TOP COAT



B. BRICK JAMB DETAIL



C. SANDSTONE SILL DETAIL



THE EXISTING MAIN BRICK FACADE, SANDSTONE SILLS AND BROWNSTONE LINTELS HAVE BEEN PAINTED WITH A BROWN SAND-TEXTURED PAINT.

WE PROPOSE TO REMOVE THE PAINT USING A LOW PRESSURE WASH (500 PSI) WITH PLAIN WATER AND A NON-ABRASIVE CLEANER TO EXPOSE THE UNDERLYING RED FACE BRICK. THE BRICK WILL BE REPOINTED AS REQUIRED WITH RED MORTAR MIX TO MATCH EXISTING.

THE SANDSTONE SILLS AND BROWNSTONE LINTELS WILL BE REPAINTED TO MATCH THE EXISTING DARK BROWN PAINT COLOR AT THE BASE OF THE BUILDING.

FLOORS	GROSS FLOOR AREA	DEDUCTIONS								TOTAL ZONING FLOOR AREA
		SHAFTS	Q.H. DEDUCTIONS		REFUSE COLLECTION	BIKE PARKING	WALLS - ENERGY	FLOOR OPENINGS	STAIR BULKHEADS	
			CORRIDOR DENSITY	CORRIDOR LIGHT						
CEL	10,211.00									
1	11,411.00	152.00	475.00	376.00	12.00	-	99.00	-	-	10,297.00
2	11,046.00	162.00	428.00	332.00	12.00	120.00	61.00	390.00	-	9,541.00
3	11,046.00	118.00	428.00	332.00	12.00	120.00	61.00	390.00	-	9,585.00
4	6,207.00	117.00	312.00	195.00	12.00	-	118.00	-	609.00	4,844.00
5	5,482.00	95.00	319.00	319.00	12.00	-	92.00	-	-	4,645.00
ROOF BH	687.00									
TOTAL	56,090.00	644.00	1,962.00	1,554.00	60.00		431.00	780.00	609.00	38,912.00
CELLAR & ROOF BH AREAS NOT INCLUDED IN ZONING FLOOR AREA										

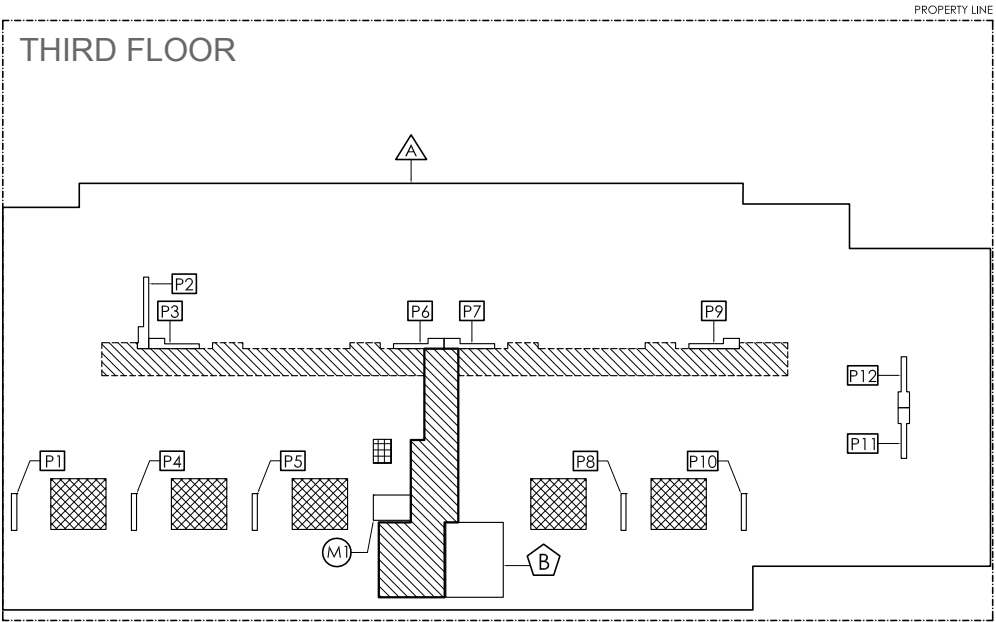
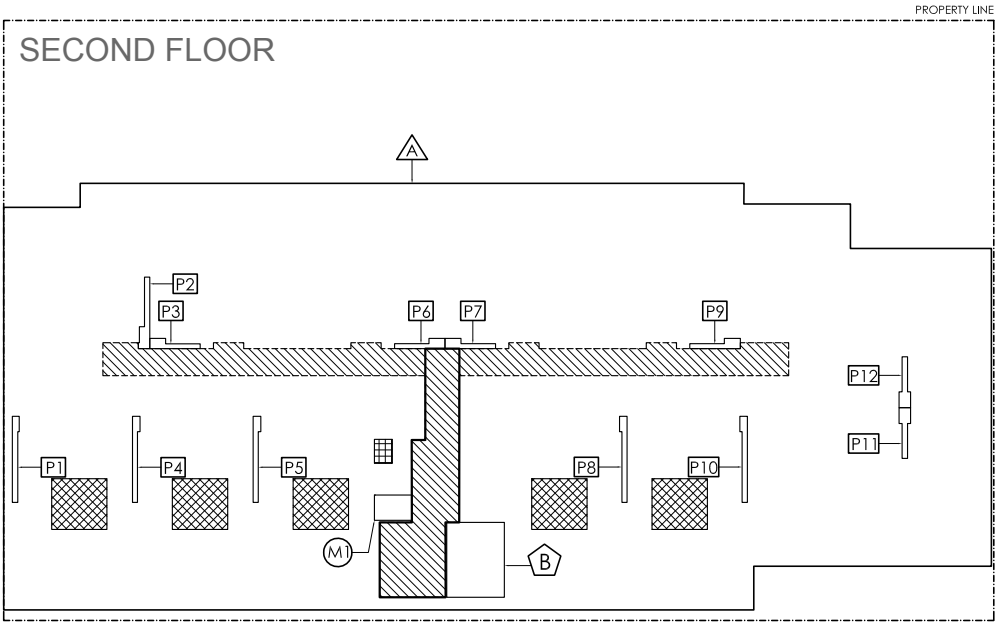
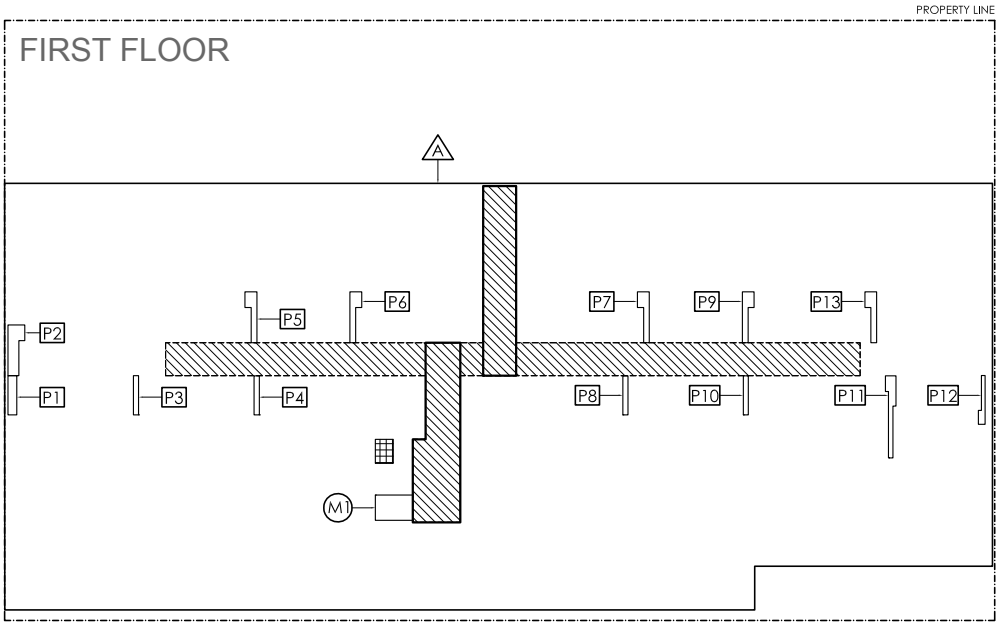
SITE & BUILDING INFORMATION	
ADDRESS	524 HALSEY ST.
BLOCK	1665
LOT	33
ZONE	R6B
ZONING MAP	17A
BROOKLYN COMMUNITY DISTRICT	3
LOT SIZE	16,500 S.F.
PROPOSED CONSTRUCTION CLASSIFICATION	I - B
PROPOSED OCCUPANCY CLASSIFICATION	R-2

FLOOR AREA SUMMARY

	ZR SECTION	PERMITTED/REQUIRED	EXISTING USE GROUP 8 - PUBLIC PARKING GARAGE	PROPOSED USE GROUP 2
USE GROUPS	22-00, 32-00	USE GROUP 2; USE GROUP 8		
RESIDENTIAL FLOOR AREA RATIO	23-153	2.00; 2.00 X 16,500 = 33,000 SF	39,144.6 SF (2.37 FAR)	38,912.0 SF RESIDENTIAL (2.35 FAR) < 39,144.6 SF EXISTING SEE FA DIAGRAMS ON SHEET Z-002. COMPLIES
BALCONIES	23-132	BALCONIES IN R6B; PROJECTING LESS THAN 7'	0 BALCONIES	4 BALCONIES PROJECTING 6' MAX. COMPLIES
DENSITY: MAXIMUM ALLOWABLE # OF DWELLING UNITS	23-22	680 38,815.0 SF / 680 = 57 UNITS MAXIMUM	N/A	40 UNITS COMPLIES
MAXIMUM ALLOWABLE LOT COVERAGE	23-153	60% 16,500 SF X 0.6 = 9,900 SF	15,393 SF	SEE LOT COVERAGE DIAGRAMS, DWG. #5, SHEET Z-001 COMPLIES
MINIMUM LOT AREA	23-32	1,700 S.F.	1,700 S.F.	16,500 S.F. COMPLIES
MINIMUM LOT WIDTH	23-32	18'	165'-0"	165'-0" COMPLIES
REQUIRED FRONT YARD	23-45	NO FRONT YARD REQUIRED	1'-9 ¹ / ₈ " FRONT YARD	1'-9 ¹ / ₈ " FRONT YARD TO REMAIN COMPLIES
REQUIRED SIDE YARD	23-46	NO SIDE YARD REQUIRED	N/A	NO SIDE YARD PROVIDED COMPLIES
REQUIRED REAR YARD	23-47	30' REAR YARD REQUIRED	N/A	35' REAR YARD PROVIDED ABOVE 3RD STORY COMPLIES
REQUIRED REAR YARD SETBACK	23-663 (b)	10' ADDITIONAL REAR YARD SETBACK REQUIRED ABOVE MAX. BASE HEIGHT	N/A	10' REAR YARD SETBACK PROVIDED COMPLIES
MAXIMUM ALLOWABLE BUILDING HEIGHT	23-662(a)	50'	36'-4"	50' COMPLIES
MAXIMUM ALLOWABLE BASE HEIGHT	23-662(a)	40'	40'	36'-4" COMPLIES
MINIMUM ALLOWABLE BASE HEIGHT	23-662(a)	30'	30'	36'-4" COMPLIES
STREET WALL SETBACK - NARROW STREET	23-662 (c)	15' MIN. SETBACK REQUIRED	N/A	15' SETBACK PROVIDED COMPLIES
REQUIRED VEHICULAR PARKING SPACES	25-23	QUALITY HOUSING: 50% OF DWELLING UNITS MIN.	N/A	20 SPACES REQUIRED; WAIVED PER ZR 25-262 COMPLIES
WAIVER VEHICULAR PARKING SPACES BELOW MIN.	25-262	WAIVER FOR SMALL NUMBER OF SPACES IN R6 = 20 SPACES MAX.	N/A	20 SPACES = 20 SPACES MAX. WAIVED COMPLIES
REQUIRED BICYCLE PARKING SPACES	25-80	50% OF DWELLING UNITS MIN.	N/A	20 BICYCLE SPACES PROVIDED IN CELLAR, 2ND & 3RD FLRS. COMPLIES
STREET TREE PLANTING	26-41	1 TREE PLANTED AT EVERY 25' STREET FRONTAGE = 7 TREES TOTAL	0 TREES	7 TREES PROPOSED; SEE PLOT PLAN, SHEET Z-001 COMPLIES

ZONING ANALYSIS





FIRST FLOOR SUMMARY

ITEM	DESCRIPTION	AREA (SF)
△	FLOOR PLATE	11,411 SF
Ⓜ1	MECHANICAL VENT	26 SQ. FT.
P1	PLUMBING CHASE	10 SQ. FT.
P2	PLUMBING CHASE	18 SQ. FT.
P3	PLUMBING CHASE	6 SQ. FT.
P4	PLUMBING CHASE	6 SQ. FT.
P5	PLUMBING CHASE	11 SQ. FT.
P6	PLUMBING CHASE	11 SQ. FT.
P7	PLUMBING CHASE	11 SQ. FT.
P8	PLUMBING CHASE	6 SQ. FT.
P9	PLUMBING CHASE	11 SQ. FT.
P10	PLUMBING CHASE	5 SQ. FT.
P11	PLUMBING CHASE	14 SQ. FT.
P12	PLUMBING CHASE	6 SQ. FT.
P13	PLUMBING CHASE	11 SQ. FT.
▨	Q.H. CORRIDOR DENSITY (50%) PER ZR 28-41	475 SF
□	Q.H. CORRIDOR LIGHT (50%) PER ZR 28-25	376 SF
▤	Q.H. REFUSE ROOM	12 SF
—	EXTERIOR WALL THICKNESS (SEE PG Z-003 FOR SUPPORTING DIAGRAM)	99 SQ. FT.
TOTAL DEDUCTIONS		1,114 SF
1ST FLOOR AREA		10,297 SF

SECOND FLOOR SUMMARY

ITEM	DESCRIPTION	AREA (SF)
△	FLOOR PLATE	11,046 SF
Ⓜ1	MECHANICAL VENT	26 SQ. FT.
P1	PLUMBING CHASE	14 SQ. FT.
P2	PLUMBING CHASE	14 SQ. FT.
P3	PLUMBING CHASE	9 SQ. FT.
P4	PLUMBING CHASE	13 SQ. FT.
P5	PLUMBING CHASE	13 SQ. FT.
P6	PLUMBING CHASE	9 SQ. FT.
P7	PLUMBING CHASE	9 SQ. FT.
P8	PLUMBING CHASE	13 SQ. FT.
P9	PLUMBING CHASE	9 SQ. FT.
P10	PLUMBING CHASE	13 SQ. FT.
P11	PLUMBING CHASE	10 SQ. FT.
P12	PLUMBING CHASE	10 SQ. FT.
▨	Q.H. CORRIDOR DENSITY (50%) PER ZR 28-41	428 SF
□	Q.H. CORRIDOR LIGHT (50%) PER ZR 28-25	332 SF
▤	Q.H. REFUSE ROOM	12 SF
▦	FLOOR OPENINGS	390 SF
Ⓟ	BICYCLE PARKING PER ZR 25-80 & 25-85	120 SF
—	EXTERIOR WALL THICKNESS (SEE PG Z-003 FOR SUPPORTING DIAGRAM)	61 SQ. FT.
TOTAL DEDUCTIONS		1,505 SF
2ND FLOOR AREA		9,541 SF

THIRD FLOOR SUMMARY

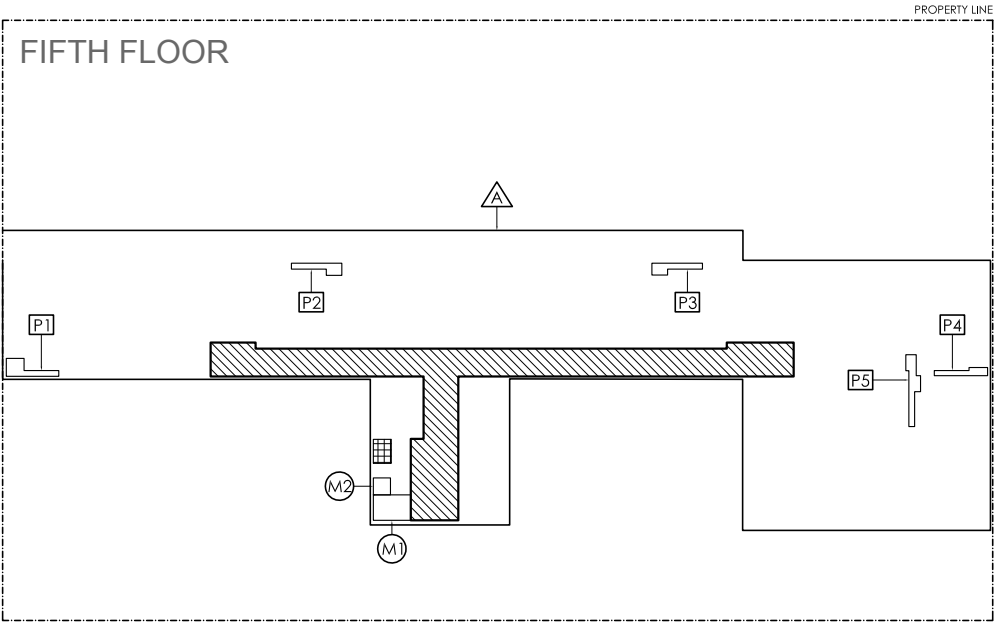
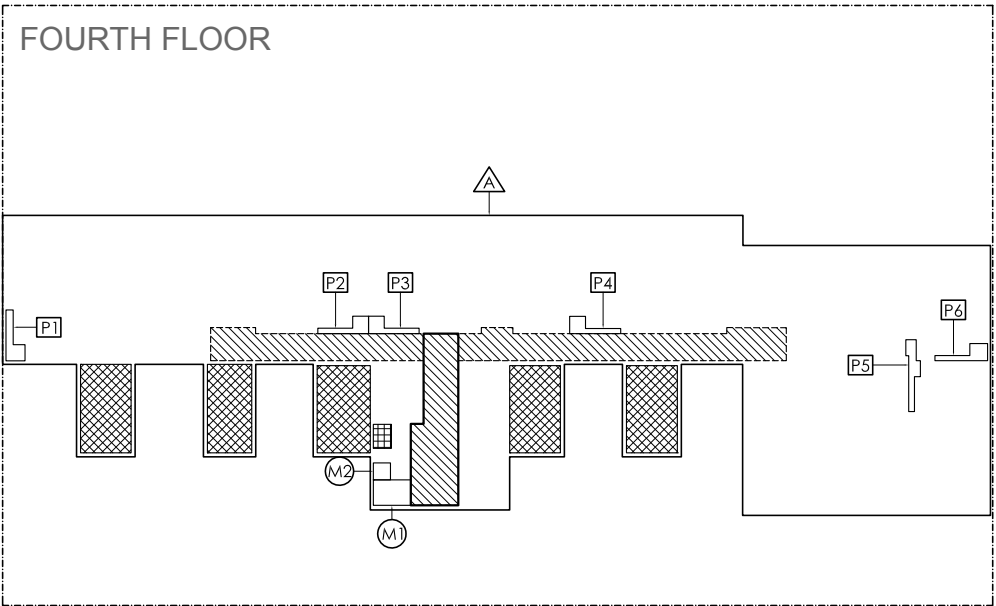
ITEM	DESCRIPTION	AREA (SF)
△	FLOOR PLATE	11,046 SF
Ⓜ1	MECHANICAL VENT	26 SQ. FT.
P1	PLUMBING CHASE	6 SQ. FT.
P2	PLUMBING CHASE	14 SQ. FT.
P3	PLUMBING CHASE	9 SQ. FT.
P4	PLUMBING CHASE	5 SQ. FT.
P5	PLUMBING CHASE	5 SQ. FT.
P6	PLUMBING CHASE	9 SQ. FT.
P7	PLUMBING CHASE	9 SQ. FT.
P8	PLUMBING CHASE	5 SQ. FT.
P9	PLUMBING CHASE	5 SQ. FT.
P10	PLUMBING CHASE	5 SQ. FT.
P11	PLUMBING CHASE	10 SQ. FT.
P12	PLUMBING CHASE	10 SQ. FT.
▨	Q.H. CORRIDOR DENSITY (50%) PER ZR 28-41	428 SF
□	Q.H. CORRIDOR LIGHT (50%) PER ZR 28-25	332 SF
▤	Q.H. REFUSE ROOM	12 SF
▦	FLOOR OPENINGS	390 SF
Ⓟ	BICYCLE PARKING PER ZR 25-80 & 25-85	120 SF
—	EXTERIOR WALL THICKNESS (SEE PG Z-003 FOR SUPPORTING DIAGRAM)	61 SQ. FT.
TOTAL DEDUCTIONS		1,461 SF
3RD FLOOR AREA		9,585 SF

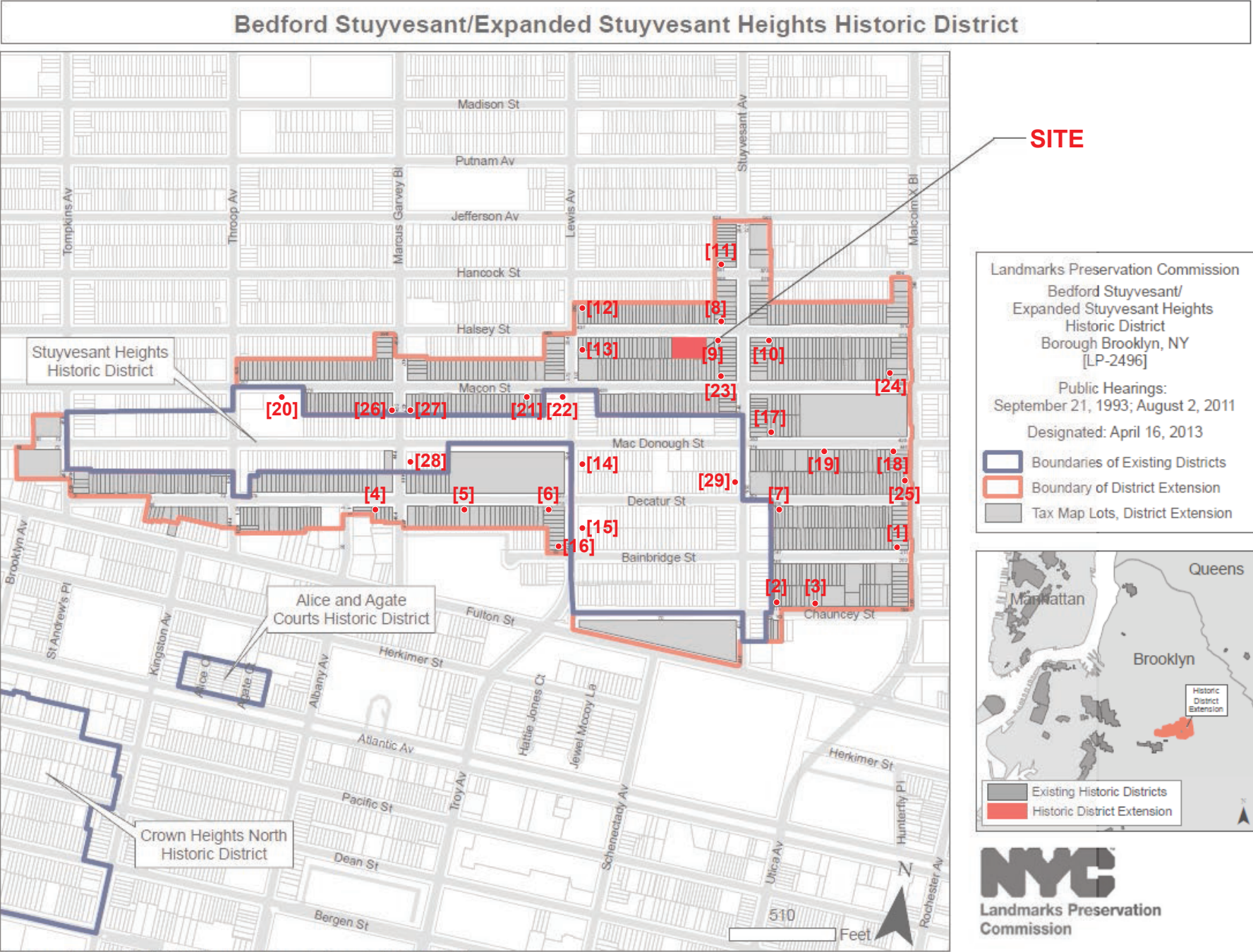
FOURTH FLOOR SUMMARY

ITEM	DESCRIPTION	AREA (SF)
△	FLOOR PLATE	6,207 SF
Ⓜ1	MECHANICAL VENT	26 SQ. FT.
Ⓜ2	MECHANICAL VENT	8 SQ. FT.
P1	PLUMBING CHASE	16 SQ. FT.
P2	PLUMBING CHASE	13 SQ. FT.
P3	PLUMBING CHASE	13 SQ. FT.
P4	PLUMBING CHASE	12 SQ. FT.
P5	PLUMBING CHASE	16 SQ. FT.
P6	PLUMBING CHASE	13 SQ. FT.
▨	Q.H. CORRIDOR DENSITY (50%) PER ZR 28-41	312 SF
□	Q.H. CORRIDOR LIGHT (50%) PER ZR 28-25	195 SF
▤	Q.H. REFUSE ROOM	12 SF
▦	STAIR BULKHEAD DEDUCTIONS	609 SF
—	EXTERIOR WALL THICKNESS (SEE PG Z-003 FOR SUPPORTING DIAGRAM)	118 SQ. FT.
TOTAL DEDUCTIONS		1,363 SF
4TH FLOOR AREA		4,844 SF

FIFTH FLOOR SUMMARY

ITEM	DESCRIPTION	AREA (SF)
△	FLOOR PLATE	5,482 SF
Ⓜ1	MECHANICAL VENT	26 SQ. FT.
Ⓜ2	MECHANICAL VENT	8 SQ. FT.
P1	PLUMBING CHASE	14 SQ. FT.
P2	PLUMBING CHASE	11 SQ. FT.
P3	PLUMBING CHASE	11 SQ. FT.
P4	PLUMBING CHASE	9 SQ. FT.
P5	PLUMBING CHASE	16 SQ. FT.
▨	Q.H. CORRIDOR DENSITY (50%) PER ZR 28-41	319 SF
□	Q.H. CORRIDOR LIGHT (50%) PER ZR 28-25	319 SF
▤	Q.H. REFUSE ROOM	12 SF
—	EXTERIOR WALL THICKNESS (SEE PG Z-003 FOR SUPPORTING DIAGRAM)	92 SF
TOTAL DEDUCTIONS		837 SF
5TH FLOOR AREA		4,645 SF





■ Similar 1-Story Utilitarian Structures

1. 338 Malcolm X Blvd
2. 410 Stuyvesant Avenue
3. 139 Chauncey Street
4. 1 Albany Avenue
5. 172 Decatur Street
6. 416 Lewis Avenue
7. 306 Decatur Street
8. 318 Stuyvesant Avenue
9. 320 Stuyvesant Avenue
10. 562 Halsey Street
11. 300 Stuyvesant Avenue
12. 343 Lewis Ave
13. 478 Halsey Street
14. 405 Lewis Avenue
15. 73 Bainbridge Street
16. 430 Lewis Ave
17. 347 Stuyvesant Avenue
18. 304 Malcolm X Blvd
19. 406 Macdonough Street
20. 262 Macon Street
21. 384 Macon Street
22. 388 Macon Street
23. 338 Stuyvesant Avenue
24. 270 Malcolm X Blvd
25. 373 Decatur Street
26. 434 Marcus Garvey Blvd
27. 439 Marcus Garvey Blvd
28. 455 Marcus Garvey Blvd
29. 368 Stuyvesant Ave



EXISTING 1-STORY UTILITARIAN STRUCTURE AT 524 HALSEY ST. PROPOSED FOR DEMOLITION



1
338 MALCOLM X BLVD
- REAR ONE STORY ADDITION
- REPORT PG. # 515



2
410 STUYVESANT AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



3
139 CHAUNCEY STREET
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



4
1 ALBANY AVENUE
- ONE STORY GARAGE LISTED
- REPORT PG. # 30



5
172 DECATUR STREET
- ALTERED GARAGE
- REPORT PG. # 187



6
416 LEWIS AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



7
306 DECATUR STREET
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



8
318 STUYVESANT AVENUE
- ONE STORY COMMERCIAL EXTENSION
EXTENSION CIRCA 1921
- REPORT PG. # 566



9
320 STUYVESANT AVENUE
- ONE STORY BRICK EXTENSION
- REPORT PG. # 567



10
562 HALSEY STREET
- NEO-GREC. STABLE
- REPORT PG. # 289



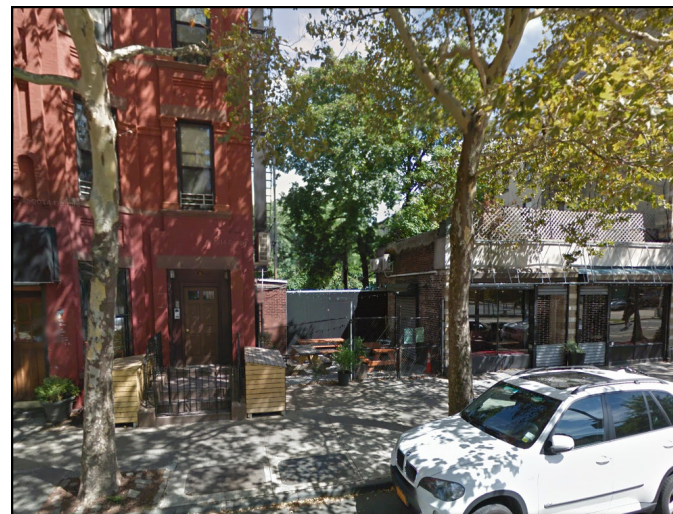
11
300 STUYVESANT AVENUE
- UTILITARIAN STYLE BRICK GARAGE
CIRCA 1925
- REPORT PG. # 560



12
343 LEWIS AVENUE
- ONE STORY REAR EXTENSION CIRCA
1895
- REPORT PG. # 218



13
478 HALSEY STREET
- ONE STORY BRICK EXTENSION CIRCA
1906
- REPORT PG. # 5272



14
405 LEWIS AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



15
73 BAINBRIDGE STREET
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



16
430 LEWIS AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



17
347 STUYVESANT AVENUE
- ONE STORY UTILITARIAN STYLE BRICK
GARAGE 1951
- REPORT PG. # 550



18
304 MALCOLM X BLVD
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



19
406 MACDONOUGH STREET
- UTILITARIAN STYLE GARAGE CIRCA
1916



20
262 MACON STREET
- CHURCH BLDG



21
384 MACON STREET
- UTILITARIAN GARAGE
- REPORT PG. # 469



22
388 MACON STREET
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



23
338 STUYVESANT AVENUE
- GARAGE ON MACON ST
- REPORT PG. # 574



24
270 MALCOLM X BLVD
- STABLE CONVERTED TO GARAGE
- REPORT PG. # 504



25
373 DECATUR STREET
- ONE STORY ADDITION
- REPORT PG. # 152



26
434 MARCUS GARVEY AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



27
439 MARCUS GARVEY AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



28
455 MARCUS GARVEY AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT



29
368 STUYVESANT AVENUE
- NO MENTION OF STRUCTURE IN
HISTORIC DESIGNATION REPORT