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THE CITY RECORD

ERIC L. ADAMS
Mayor

LOUIS A. MOLINA
Commissioner, Department of
Citywide Administrative Services

JANAE C. FERREIRA
Editor, The City Record

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PUBLIC HEARINGS AND MEETINGS

See Also: Procurement; Agency Rules

BOROUGH PRESIDENT - MANHATTAN

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN for a Public Hearing and Vote on a Resolution regarding the Mayoral Charter Revision Commission that will take place on Thursday, June 26, 2025, at 8:30 A.M. via Zoom and 1 Centre Street, 22nd Floor.



When: Jun 26, 2025, 8:30 A.M. Eastern Time (US and Canada)
Topic: Manhattan Borough Board
Register in advance for this webinar:
https://www.zoomgov.com/webinar/register/WN_0CA3T5EuRMuvzh9wAycVuQ
After registering, you will receive a confirmation email containing information about joining the webinar.

j24-26

BOROUGH PRESIDENT - QUEENS

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Virtual Public Hearing will be held by the Borough President of Queens, Donovan Richards, on **Thursday, June 26, 2025** starting at 9:30 A.M. The public hearing will be virtually streamed live at <https://www.youtube.com/@queensbp> and held in-person in the **Helen Marshall Cultural Center** located at 120-55 Queens Boulevard, Kew Gardens, New York 11424.

Those who wish to testify virtually may preregister for speaking time by visiting <https://www.queensbp.nyc.gov/> and submitting your contact information through the Zoom pre-registration link. After pre-registering, you will receive a Zoom confirmation e-mail with instructions on how to participate in the virtual public hearing. Preregistration for speaking time can also be arranged by calling (718) 286-2922 between 9:00 A.M. to 5:00 P.M. prior to the date of the hearing. Members of the public may also attend the hearing at the above address and publicly testify in the Conference Room.

Written testimony is welcome from those who are unable to testify virtually. All written testimony must be received by 5:00 P.M. on **Thursday, June 26, 2025** and may be submitted by e-mail to planning2@queensbp.nyc.gov or by conventional mail sent to the Office of the Queens Borough President at 120-55 Queens Boulevard, Room 226, Kew Gardens, NY 11424.

PLEASE NOTE: Individuals requesting Sign Language Interpreters and/or ADA Accessibility Accommodations should contact the Borough President's Office at (718) 286-2860 or email planning2@queensbp.nyc.gov no later than **THREE (3) BUSINESS DAYS PRIOR TO THE PUBLIC HEARING.**

The Public Hearing will include the following item(s):

CD 2 – ULURP # 250175 HAQ – IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD)

1. pursuant to Article 16 of the General Municipal Law of New York State for:
 - a. the designation of property located at Block 24, Lot 7. on a block bounded by Vernon Boulevard, 45th Avenue, 5th Street, and 44th Drive (Block 24, Lot 7) as an Urban Development Action Area; and
 - b. an Urban Development Action Area Project for such area; and
2. pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer to be selected by HPD; to facilitate the development of a mixed-use building containing approximately 320 income-restricted units, community facility and commercial space,

Borough of Queens, Community District 2.

CDs 1 & 2 – ULURP #250176 ZMQ – IN THE MATTER OF an application submitted by the NYC Department of City Planning - Queens Borough Office pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section Nos. 8d and 9b:

1. eliminating from within an existing R6A District a C1-5 District bounded by a line 75 feet northerly of 46th Avenue, a line 100 feet easterly of Vernon boulevard, 46th Road, and a line 100 feet westerly of Vernon Boulevard;
2. eliminating from within an existing R7A District a C2-5 District bounded by a line 900 feet southwesterly of 43rd Avenue, Vernon Boulevard, the northerly street line of former 44th Road, and a line 100 feet westerly of Vernon Boulevard;
3. eliminating a Special Mixed-Use District (MX-9) bounded by the southwesterly boundary line of Queens Bridge Park and its southeasterly prolongation, Vernon Boulevard, 43rd Avenue, and the U.S. Pierhead and Bulkhead Line;
4. changing from an M1-3 District to an M1-4A District property bounded by a line 225 feet northeasterly of 40th Avenue, 23rd Street, a line 100 feet northeasterly of 41st Avenue, and a line midway between 22nd Street and 23rd Street;
5. changing from an M1-4 District to an M1-4A District property bounded by 43rd Avenue, 13th Street, 44th Avenue, a line 100 feet northwesterly and westerly of 21st Street, a line 100 feet northerly of 44th Drive, Vernon Boulevard, 44th Road, and 9th Street;
6. changing from an M1-3 District to an M1-5A District property bounded by a line 225 feet northeasterly of 40th Avenue, a line midway between 22nd Street and 23rd Street, a line 100 feet northeasterly of 41st Avenue, 23rd Street, 41st Avenue, and 21st Street;
7. changing from an M1-4 District to an M1-5A District property bounded by:
 - a. Queens Plaza South, 13th Street, 43rd Avenue, 9th Street, 44th Road, and Vernon Boulevard; and
 - b. a line 190 feet southwesterly of 43rd Avenue, 22nd Street, 44th Avenue, a line 100 feet westerly of 23rd Street and its northerly prolongation, a line 100 feet northerly of 44th Drive, a line 130 feet easterly of 21st Street, and a line 120 feet northwesterly of 22nd Street and its southwesterly prolongation;
8. changing from an M1-4 District to an M1-6A District property bounded by Queens Plaza South, 21st Street, 43rd Avenue, 23rd Street, a line 100 feet northerly of 44th Drive, a line 100 feet westerly of 23rd Street and its northerly prolongation, 44th Avenue, 22nd Street, a line 190 feet southwesterly of 43rd Avenue, a line 120 feet northwesterly of 22nd Street and its southwesterly prolongation, a line 130 feet easterly of 21st Street, a line 100 feet northerly of 44th Drive, a line 100 feet westerly and northwesterly of 21st Street, 44th Avenue, and 13th Street;
9. changing an M1-5 District to an M1-6A District property bounded by Queens Plaza South, 23rd Street, 43rd Avenue, and 21st Street;
10. changing from an M1-4 District to an M1-2A/R6A District property bounded by a line midway between 44th Drive and 45th Avenue, a line 100 feet westerly of 11th Street, 46th Road, a line 100 feet easterly of Vernon Boulevard, and a line 100 feet easterly of 10th Street;
11. changing from an R6A District to an M1-3A/R7A District property bounded by a line 75 feet northerly of 46th Avenue, a line 100 feet easterly of Vernon boulevard, 46th Road, and a line 100 feet westerly of Vernon Boulevard;
12. changing from an M1-4 District to an M1-3A/R7A District property bounded by 45th Road, a line 100 feet easterly of Vernon Boulevard, a line 75 feet northerly of 46th Avenue, and Vernon Boulevard;
13. changing from an M1-4 District to an M1-3A/R7X District property bounded by:
 - a. 45th Avenue, a line 100 feet easterly of Vernon Boulevard, 45th Road, and Vernon Boulevard; and
 - b. 46th Road, a line 100 feet westerly of Vernon Boulevard, 47th Avenue, and a line 100 feet easterly of 5th Street;
14. changing from an R6B District to an M1-4A/R8A property bounded by 44th Drive, 23rd Street, a line midway between 44th Drive and 45th Avenue, and a line 45 feet westerly of 23rd Street;
15. changing from an M1-4 District to an M1-4A/R8A District property bounded by a line 100 feet northerly of 44th Drive, a line 100 feet westerly of 11th Street, a line midway between 44th Drive and 45th Avenue, a line 100 feet southeasterly of 10th Street, 45th Avenue, and Vernon Boulevard;
16. changing from an M1-4/R7A District to an M1-4A/R8A District property bounded by a line 100 feet northerly of 44th Drive, 23rd Street, 44th Drive, a line 45 feet westerly of 23rd Street, a line midway between 44th Drive and 45th Avenue, and a line 100 feet westerly of 11th Street;
17. changing from an M1-4 District to an M1-5A/R8 District property bounded by:
 - a. a line 150 feet southerly of former southerly terminus of 44th Avenue and its easterly prolongation, the northerly street line of 44th Road and its easterly prolongation, Vernon Boulevard, 45th Avenue, 5th Street, the westerly centerline prolongation of 44th Drive, and the U.S. Pierhead and Bulkhead Line; and
 - b. 46th Avenue, a line 100 feet westerly of Vernon Boulevard, 46th Road, and a line 100 feet easterly of 5th Street;
18. changing from an M1-4/R6A District to an M1-5A/R8 District property bounded by 46th Avenue, a line 100 feet easterly of 5th Street, 47th Avenue, and 5th Street;
19. changing from an M1-5/R9 District to an M1-6/R9 District property bounded by Queens Plaza South, a line 100 feet northwesterly of Crescent Street, 42nd Road, and 24th Street;
20. changing from an M1-5/R9 District to an M1-6/R10 District property bounded by 42nd Road, a line 100 feet northwesterly of Crescent Street, 43rd Avenue, and 23rd Street;
21. changing an R7A District to an M1-6A/R9 District property bounded by a line 900 feet southwesterly of 43rd Avenue, Vernon Boulevard, the northerly street line of 44th Road and its easterly prolongation, a line 150 feet southerly of former southerly terminus of 44th Avenue and its easterly prolongation, and a line 135 feet easterly of former westerly terminus of 44th Avenue and its northerly and southerly prolongations;
22. changing an M1-4 District to an M1-6A/R9 District property bounded by 44th Drive and its westerly centerline prolongation, 5th Street, 45th Avenue, Vernon Boulevard, a line 75 feet northerly of 46th Avenue, a line 100 feet westerly of Vernon Boulevard, 46th Avenue, 5th Street and its northerly centerline prolongation, the northeasterly boundary line of Canal, and the U.S. Pierhead and Bulkhead Line;
23. changing an M3-1 District to an M1-6A/R9 District property bounded by the northeasterly boundary line of Canal, the northerly centerline prolongation of 5th Street, the

northeasterly boundary line of a Park, and the U.S. Pierhead and Bulkhead Line;

- 24. changing an M1-5 District to an M1-6A/R10 District property bounded by 41st Avenue, 23rd Street, Queens Plaza North, and 21st Street; and
- 25. establishing a Special Long Island City District (LIC) bounded by:
 - a. a line 225 feet northeasterly of 40th Avenue, 23rd Street, Queens Plaza South, and 21st Street; and
 - b. the southwesterly boundary line of Queens Bridge Park, Vernon Boulevard, Queens Plaza South, 21st Street, 43rd Avenue, 23rd Street, a line 100 feet northerly of 44th Drive, a line 100 feet westerly of 11th Street, 46th Road, a line 100 feet easterly of Vernon Boulevard, a line 75 feet northerly of 46th Avenue, a line 100 feet westerly of Vernon Boulevard, 47th Avenue, a line 100 feet easterly of 5th Street, 46th Avenue, 5th Street and its northerly centerline prolongation, the northeasterly boundary line of a Park, and the U.S. Pierhead and Bulkhead Line;

Borough of Queens, Community Districts 1 and 2, as shown on a diagram (for illustrative purposes only) dated April 21, 2025, and subject to the conditions of CEQR Declaration E-848.

CDs 1 & 2 – ULURP #N250177 ZRQ – IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter for zoning text amendment to designate the Project Area as a Mandatory Inclusionary Housing (“MIH”) area, Borough of Queens, Community Districts 1 and 2, as shown on a diagram (for illustrative purposes only) dated April 21, 2025, and subject to the conditions of CEQR Declaration E-848.

CD 2 – ULURP #250178 PCQ – IN THE MATTER OF an application submitted by the Department of Citywide Administrative Services (DCAS) and the New York City Economic Development Corporation (EDC) pursuant to Section 197-c of the New York City Charter, for the acquisition of property located on the east side of Vernon Boulevard between 43rd and 44th avenues (Block 488, p/o Lot 114) Borough of Queens, Community District 2, and for site selection of such property for use as publicly accessible open space.

CD 2 – ULURP #250179 PPQ – IN THE MATTER OF an application submitted by the Department of Citywide Administrative Services (DCAS) pursuant to Section 197-c of the New York City Charter, for the disposition of City-owned property located on the east side of Vernon Boulevard between 44th Drive and 44th Avenue (Block 488, Lots 11 and 15, and Block 489, Lots 1 and 23) pursuant to zoning, Borough of Queens, Community District 2.

CDs 1 & 2 – ULURP #250180 PPQ – IN THE MATTER OF an application submitted by the Department of Citywide Administrative Services (DCAS) pursuant to Section 197-c of the New York City Charter, for the disposition of City-owned property generally bounded by 42nd Road to the north, 24th Street to the east, 43rd Avenue to the south and 23rd Street to the west, (Block 428, Lots 12, 13, and 16) and generally bounded by 42nd Road to the north, Crescent Street to the east, 43rd Avenue to the south and 24th Street to the west (Block 429, Lots 13, 15 and 29), Borough of Queens, Community District 2, pursuant to zoning.

Accessibility questions: vigarvey@queensbp.nyc.gov, by: Tuesday, June 24, 2025, 12:00 P.M.



j20-26

BUSINESS INTEGRITY COMMISSION

■ MEETING

Pursuant to Section 104 of the Public Officers Law, **NOTICE IS HEREBY GIVEN** of an open meeting of the Commissioners of the New York City Business Integrity Commission. The meeting will be held on **Tuesday, July 1, 2025, at 11:00 A.M.** at the office of the Commission at 100 Church Street, 20th Floor. The meeting will also be accessible remotely via Microsoft Teams. The Teams meeting information is as follows:

Microsoft Teams
Join on your computer, mobile app, or room device
Join the meeting now

https://teams.microsoft.com/l/meetup-join/19%3ameeting_ZjY2NGEYmzEtMWIwOC00OGZILtK4MWMtODU5Y2M3ZWYwNjM2%40thread.

v2/0?context=%7b%22Tid%22%3a%2232f56fc7-5f81-4e22-a95b-15da66513bef%22%2c%22Oid%22%3a%228dc2abca-e6cd-48cb-a5b6-538158f02766%22%7d

Meeting ID: 234 012 194 206
Passcode: Y9RR3yv6

Or call in (audio only)
+1 646-893-7101, 482919558# United States, New York City
Phone conference ID: 482 919 558#

NOTE: You must contact the Commission if you need a reasonable accommodation of a disability at the hearing. You must tell us if you need a sign language interpreter. You can tell us by telephone at (212) 437-0563 or by e-mail at mfinkel@bic.nyc.gov. Advance notice is requested to allow sufficient time to arrange the accommodation. Please tell us by Friday, June 27, 2025.

Accessibility questions: Matthew Finkel, (212) 437-0563, mfinkel@bic.nyc.gov, by: Friday, June 27, 2025, 5:00 P.M.



◀ j26

CITY COUNCIL

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN THAT the Council has scheduled the following public hearing on the matters indicated below:

The Subcommittee on Zoning and Franchises will hold a public hearing, accessible remotely and in person in the City Hall Chambers, City Hall, New York, NY 10007, on the following matters commencing at 10:00 A.M. on July 1, 2025. The hearing will be live-streamed on the Council’s website at <https://council.nyc.gov/live/>. Please visit <https://council.nyc.gov/land-use/> in advance for information about how to testify and how to submit written testimony.

**BALLY’S FERRY POINT MAP AMENDMENT
BRONX CB – 10 C 250086 ZMX**

Application submitted by Bally’s New York Operating Company, LLC pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 7a, by establishing a C8-4 district on property* bounded by a line 2,870 feet northwesterly of the U.S. Pierhead and Bulkhead Line, a line 950 feet southwesterly of Emerson Avenue, a line 1,390 feet northwesterly of the U.S. Pierhead and Bulkhead Line, a line 2,250 feet southwesterly of Emerson Avenue and it’s southeasterly prolongation, and the easterly street line of Ring Road*, as shown on a diagram (for illustrative purposes only) dated January 21, 2025.

*Parkland is proposed to be eliminated from the City Map and Ring Road is proposed to be established on the City Map in a related application (C 250085 MMX).

**BALLY’S FERRY POINT MAP AMENDMENT
BRONX CB – 10 C 250085 MMX**

Application submitted by Bally’s New York Operating Company, LLC and the New York City Department of Parks and Recreation, pursuant to Sections 197-c and 199 of the New York City Charter for an amendment to the City Map involving:

- 1. the establishment of Ring Road; and
- 2. the elimination of Park south of Schley Avenue; and
- 3. the adjustment of grades and block dimensions necessitated thereby;

including authorization for any acquisition or disposition of real property related thereto, in Community District 10, Borough of the Bronx, in accordance with Map No. 13154 dated January 15, 2025 and signed by the Borough President.

**BALLY’S FERRY POINT MAP AMENDMENT
BRONX CB – 10 C 250093 PPX**

Application submitted by the Department of Citywide Administrative Services (DCAS), pursuant to Section 197-c of the New York City Charter, for the disposition of property located at Ferry Point Park (Block 5622, p/o Lot 1) for a non-exclusive access easement over a waterfront access roadway, Borough of the Bronx, Community District 10.

**MIDTOWN SOUTH MIXED-USE PLAN (MSMX)
MANHATTAN CBs – 4 & 5 C 250185 ZMM**

Application submitted by the New York City Department of City Planning, Manhattan Borough Office pursuant to Sections 197-c and

201 of the New York City Charter for an amendment of the Zoning Map, Section No. 8d:

1. eliminating a Special Midtown District (MiD) bounded by a line midway between West 41st Street and West 40th Street, 7th Avenue - Fashion Avenue, West 40th Street, and Eighth Avenue;
2. eliminating a Special Garment Center District (GC) bounded by West 40th Street, 7th Avenue - Fashion Avenue, West 38th Street, Broadway, West 35th Street, 7th Avenue - Fashion Avenue, a line midway between West 35th Street and West 34th Street, Eighth Avenue, West 35th Street, a line 100 feet easterly of Ninth Avenue, West 39th Street, and Eighth Avenue;
3. changing from an M1-6 District to an M1-8A/R11 District property bounded by West 29th Street, a line 125 feet westerly of Avenue of the Americas, a line midway between West 24th Street and West Twenty-Third Street, a line 100 feet easterly of Seventh Avenue, West 25th Street, Seventh Avenue, and 7th Avenue - Fashion Avenue;
4. changing from an M1-6 District to an M1-8A/R12 District property bounded by:
 - a. West 31st Street, a line 100 feet westerly of Fifth Avenue, West 26th Street, a line 100 feet southwesterly of Broadway, West 25th Street, a line 275 feet westerly of Fifth Avenue, West Twenty-Third Street, a line 100 feet easterly of Avenue of the Americas, a line midway between West 24th Street and West Twenty-Third Street, a line 150 feet easterly of Avenue of the Americas, West 28th Street, and a line 125 feet easterly of Avenue of the Americas;
 - b. West 29th Street, 7th Avenue - Fashion Avenue, West 28th Street, and a line 100 feet westerly of 7th Avenue - Fashion Avenue;
5. changing from an M1-6 District to an M1-9A/R12 District property bounded by:
 - a. a line midway between West 41st Street and West 40th Street, 7th Avenue - Fashion Avenue, West 38th Street, Broadway, West 35th Street, 7th Avenue - Fashion Avenue, a line midway between West 35th Street and West 34th Street, Eighth Avenue, West 35th Street, a line 100 feet westerly of Eighth Avenue, West 39th Street, and Eighth Avenue;
 - b. a line midway between West 40th Street and West 39th Street, a line 200 feet westerly of Fifth Avenue, West 39th Street, a line 150 feet westerly of Fifth Avenue, West 35th Street, and a line 150 feet easterly of Avenue of the Americas; and
 - c. West 31st Street, a line 125 feet westerly of Avenue of the Americas, West 29th Street, a line 100 feet westerly of 7th Avenue - Fashion Avenue, West 30th Street, and a line 225 feet easterly of 7th Avenue - Fashion Avenue;
6. changing from an M1-6D District to an M1-8A/R12 District property bounded by West 29th Street, a line 100 feet westerly of 7th Avenue - Fashion Avenue, West 28th Street, and a line 100 feet easterly of Eighth Avenue;
7. changing from an M1-6D District to an M1-9A/R12 District property bounded by West 30th Street, a line 100 feet westerly of 7th Avenue - Fashion Avenue, West 29th Street, and a line 100 feet easterly of Eighth Avenue;
8. establishing a Special Hudson Yards District (HY) bounded by West 39th Street, a line 100 feet westerly of Eighth Avenue, West 35th Street, and a line 100 feet easterly of Ninth Avenue; and
9. establishing a Special Midtown South Mixed-Use District (MSMX) bounded by:
 - a. a line midway between West 41st Street and West 40th Street, 7th Avenue - Fashion Avenue, West 38th Street, Broadway, West 35th Street, 7th Avenue - Fashion Avenue, a line midway between West 35th Street and West 34th Street, Eighth Avenue, West 35th Street, a line 100 feet westerly of Eighth Avenue, West 39th Street, and Eighth Avenue;
 - b. a line midway between West 40th Street and West 39th Street, a line 200 feet westerly of Fifth Avenue, West 39th Street, a line 150 feet westerly of Fifth Avenue, West 35th Street, and a line 150 feet easterly of Avenue of the Americas;
 - c. West 31st Street, a line 125 feet westerly of Avenue of the Americas, a line midway between West 24th Street and West Twenty-Third Street, a line 100 feet easterly of Seventh Avenue, West 25th Street, Seventh Avenue, 7th Avenue - Fashion Avenue, West 28th Street, a line 100 feet

easterly of Eighth Avenue, West 30th Street, and a line 225 feet easterly of 7th Avenue - Fashion Avenue; and

- d. West 31st Street, a line 100 feet westerly of Fifth Avenue, West 26th Street, a line 100 feet southwesterly of Broadway, West 25th Street, a line 275 feet westerly of Fifth Avenue, West Twenty-Third Street, a line 100 feet easterly of Avenue of the Americas, a line midway between West 24th Street and West Twenty-Third Street, a line 150 feet easterly of Avenue of the Americas, West 28th Street, and a line 125 feet easterly of Avenue of the Americas;

Borough of Manhattan, Community Districts 4 and 5, subject to the conditions of CEQR Declaration E-830.

**MIDTOWN SOUTH MIXED-USE PLAN (MSMX)
MANHATTAN CBs - 4 & 5 N 250186 ZRM**

Application submitted by NYC Department of City Planning, pursuant to Section 201 of the New York City Charter, to amend various sections of the Zoning Resolution of the City of New York relating to the establishment of the Special Midtown South Mixed Use District (Article XII, Chapter 1), the elimination of the Special Garment Center District (Article XII, Chapter 1) and amending other related provisions, including APPENDIX F, for the purpose of establishing a Mandatory Inclusionary Housing area.

To view the proposed text amendment, please refer to the public documents associated with this application that are accessible through the Zoning Application Portal maintained by the Department of City Planning, which can be accessed at the following website: zap.planning.nyc.gov/projects.

For questions about accessibility and requests for additional accommodations, including language access services, please contact swerts@council.nyc.gov or nbenjamin@council.nyc.gov or (212) 788-6936 at least three (3) business days before the hearing.

Accessibility questions: Kaitlin Greer, kgreer@council.nyc.gov, by: Thursday, June 26, 2025, 3:00 P.M.



j25-yy1

NOTICE IS HEREBY GIVEN that the Council has scheduled the following public hearing on the matters indicated below:

The Subcommittee on Landmarks, Public Sitings, and Dispositions will hold a public hearing, accessible remotely and in person, in the 16th Floor Committee Room, 250 Broadway, New York, NY 10007, on the following matters commencing at 10:00 A.M. on June 26, 2025. The hearing will be live-streamed on the Council's website at <https://council.nyc.gov/live/>. Please visit <https://council.nyc.gov/land-use/> in advance for information about how to testify and how to submit written testimony.

547 TO 754-SEAT PRIMARY/INTERMEDIATE SCHOOL FACILITY

QUEENS CB - 1

G 250077 SCQ

Application pursuant to Section 1732 of the New York School Construction Authority Act, concerning the proposed site selection for a new, approximately 547 to 754-seat primary/intermediate school facility, located in Halletts Point, south of Astoria Boulevard and east of Halletts Point Playground (Block 490, Lot 102), Borough of Queens, Council District 22, Community School District 30.

For questions about accessibility and requests for additional accommodations, including language access services, please contact swerts@council.nyc.gov or nbenjamin@council.nyc.gov or (212) 788-6936 at least three (3) business days before the hearing.

Accessibility questions: Kaitlin Greer, kgreer@council.nyc.gov, by: Monday, June 23, 2025, 3:00 P.M.



j20-26

CITY PLANNING COMMISSION

■ PUBLIC HEARINGS

The City Planning Commission will hold a public hearing accessible both in-person and remotely via the teleconferencing application Zoom, at 10 AM Eastern Daylight Time, on Wednesday, July 2, 2025, regarding the calendar items listed below. The public hearing will be held in person in the NYC City Planning Commission Hearing Room, Lower Concourse, 120 Broadway, New York, NY. Anyone attending the meeting in-person is encouraged to wear a mask.

The meeting will be live streamed through Department of City Planning's (DCP's) website and accessible from the following webpage, which contains specific instructions on how to observe and participate, as well as materials relating to the meeting: <https://www.nyc.gov/site/nycengage/events/city-planning-commission-public-meeting/481556/1>

Members of the public attending remotely should observe the meeting through DCP's website. Testimony can be provided verbally by joining the meeting using either Zoom or by calling the following number and entering the information listed below:

877 853 5247 US Toll-free
 888 788 0099 US Toll-free
 253 215 8782 US Toll Number
 213 338 8477 US Toll Number

Meeting ID: **618 237 7396**
 [Press # to skip the Participation ID]
 Password: 1

To provide verbal testimony via Zoom please follow the instructions available through the above webpage (link above).

Written comments will also be accepted until 11:59 P.M., one week before the date of the vote. Please use the CPC Comments form that is accessible through the above webpage.

Please inform the Department of City Planning if you need a reasonable accommodation, such as a sign language interpreter, in order to participate in the meeting. The submission of testimony, verbal or written, in a language other than English, will be accepted, and real time interpretation services will be provided based on available resources. Requests for a reasonable accommodation or foreign language assistance during the meeting should be emailed to [AccessibilityInfo@planning.nyc.gov] or made by calling 212-720-3366. Requests must be submitted at least five business days before the meeting.

BOROUGH OF BROOKLYN

No. 1

BROADWAY JUNCTION STATION CITY MAP AMENDMENT CD 16 C 230375 MMK

IN THE MATTER OF an application submitted by the Metropolitan Transportation Authority and the New York City Department of Parks and Recreation pursuant to Sections 197-c and 199 of the New York City Charter and Section 5-430 *et seq.* of the New York City Administrative Code for an amendment to the City Map involving:

1. the elimination, discontinuance, and closing of a portion of Sackman Street between Truxton Street and Fulton Street; and
2. the establishment of a park addition within the former portion of Sackman Street (discontinued and closed); and
3. the elimination of a portion of public park within the area bounded by Truxton Street, Van Sinderen Avenue, Fulton Street, and Eastern Parkway; and
4. the adjustment of grades and block dimensions necessitated thereby;

including authorization for any acquisition or disposition of real property related thereto, in Community District 16, Borough of Brooklyn, in accordance with Map Nos. N-2771 and N-2772 dated February 20, 2025, and signed by the Borough President.

BOROUGH OF QUEENS

Nos. 2 - 5

JAMAICA NEIGHBORHOOD PLAN and STATION PLAZA JAMAICA CITY MAP CHANGES

No. 2

CDs 8 & 12 C 250172 ZMQ

IN THE MATTER OF an application submitted by Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section Nos. 14d, 15b, 18c, and 19a:

1. eliminating from within an existing R7A District a C1-2 District bounded by a line 100 feet southeasterly of Hillside Avenue, Parsons Boulevard, 88th Avenue, and a line 135 feet northeasterly of 153rd Street;
2. eliminating from within an existing R4 District a C1-3 District bounded by 109 Avenue, Guy R. Brewer Boulevard, a line 110 feet southeasterly of 109th Avenue, and a line 100 feet southwesterly of Guy R. Brewer Boulevard;
3. eliminating from within an existing R5D District a C1-3 District bounded by 110th Road, the southeasterly centerline prolongation of 171st Place, the southeasterly street line of 110th Road and its northeasterly prolongation, a line 90 feet southwesterly from 172nd

Street, 111th Avenue, 172nd Street, 111th Road, and Merrick Boulevard;

4. eliminating from within an existing R5D District a C1-4 District bounded by:
 - a. Tuskegee Airman Way, Union Hall Street, a line 100 feet southeasterly of Tuskegee Airman Way, and 160th Street; and
 - b. a line 100 feet southeasterly of Tuskegee Airman Way, Guy R. Brewer Boulevard, a line perpendicular to the northeasterly street line of Guy R. Brewer Boulevard distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and northeasterly street line of Guy R. Brewer Boulevard, a line midway between Guy R. Brewer Boulevard and 164th Street, 109th Avenue, Union Hall Street, a line 100 feet northwesterly of 109th Avenue, and a line midway between Union Hall Street and Guy R. Brewer Boulevard;
5. eliminating from within an existing R7A District a C1-4 District bounded by Tuskegee Airman Way, a line midway between Guy R. Brewer Boulevard and 164th Street, a line perpendicular to the northeasterly street line of Guy R. Brewer Boulevard distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and northeasterly street line of Guy R. Brewer Boulevard, a line 100 feet southeasterly of Tuskegee Airmen Way, a line midway between Union Hall Street and Guy R. Brewer Boulevard, a line 125 feet southeasterly of Tuskegee Airmen Way, and Union Hall Street;
6. eliminating from within an existing R3-2 District a C2-3 District bounded by 112th Road, Guy R. Brewer Boulevard, Phroane Avenue, a line 100 feet northeasterly of Guy R. Brewer Boulevard, Sayres Avenue, Guy R. Brewer Boulevard, Linden Boulevard, and a line 100 feet southwesterly from Guy R. Brewer Boulevard;
7. eliminating from within an existing R5B District a C2-3 District bounded by Linden Boulevard, 173rd Street, a line 100 feet southeasterly of Linden Boulevard, a line midway between Merrick Boulevard and 172nd Street, 115th Avenue, a line 75 feet southwesterly of 172nd Street, a line 240 feet southeasterly of 115th Avenue, 172nd Street, 116th Avenue, a line 100 feet southwesterly of Merrick Boulevard, a line 200 feet southeasterly of Linden Boulevard, and 170th Street;
8. eliminating from within an existing R5D District a C2-3 District bounded by:
 - a. 108th Avenue, Sutphin Boulevard, 108th Avenue, a line 100 feet northeasterly of Sutphin Boulevard, 109th Avenue, Sutphin Boulevard, Ferndale Avenue, and a line 100 feet southwesterly of Sutphin Boulevard; and
 - b. 113th Avenue, Merrick Boulevard, the southeasterly boundary of St. Albans Memorial Park and its southwesterly prolongation, a line perpendicular to northwesterly street line of Linden Boulevard distant 276 feet northeasterly (as measured along the street line) from the point of intersection of the northwesterly street line of the Linden Boulevard and northeasterly street line of Merrick Boulevard, Linden Boulevard, and a line 130 feet southwesterly of Merrick Boulevard;
9. eliminating from within an existing R6A District a C2-3 District bounded by Liberty Avenue, a line 150 feet northeasterly of Sutphin Boulevard, Tuskegee Airmen Way, and Sutphin Boulevard;
10. eliminating from within an existing R7A District a C2-3 District bounded by Hillside Avenue, a line 100 feet northeasterly of 163rd Street, a line 150 feet southeasterly of Hillside Avenue, 163rd Street, a line 135 feet southeasterly of Hillside Avenue, 161st Street, a line 100 feet southeasterly of Hillside Avenue, Parsons Boulevard, a line midway between Hillside Avenue and 88th Avenue, and 148th Street;
11. eliminating from within an existing R6A District a C2-4 District bounded by:
 - a. a line 100 feet northwesterly of Hillside Avenue, 146th Street and its northwesterly centerline prolongation, a line 100 feet southeasterly of Hillside Avenue, and 139th Street;
 - b. a line 100 feet northwesterly of Hillside Avenue, a line perpendicular to the northwesterly street line of Hillside Avenue distant 330 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of Hillside Avenue and southwesterly street line of Kingston Place, Hillside Avenue, and 167th Street;

- c. a line 100 feet northeasterly of Jamaica Avenue, a line midway between 146th Street and Sutphin Boulevard, Jamaica Avenue, and 146th Street; and
- d. a line 100 feet southerly of Jamaica Avenue, a line 80 feet westerly of 146th Street, a line 145 feet southerly of Jamaica Avenue, 146th Street, 91st Avenue, a line 100 feet northeasterly of 144th Place, a line 200 feet northwesterly of 91st Avenue, and 144th Place;
- 12. eliminating from within an existing R7A District a C2-4 District bounded by:
 - a. a line 100 feet northwesterly of Hillside Avenue, 167th Street, Hillside Avenue, and the northwesterly center line prolongation of 146th Street; and
 - b. a line 100 feet southeasterly of Hillside Avenue, 100 feet northeasterly of Parsons Boulevard, 88th Avenue, and Parsons Boulevard;
- 13. eliminating from within an existing R7X District a C2-4 District bounded by Hillside Avenue, 168th Street, a line 100 feet southeasterly of Hillside Avenue, and a line 200 feet northeasterly of Merrick Boulevard;
- 14. changing from an R3-2 District to an R6A District property bounded by a line 125 feet northwesterly from 111th Avenue, 172nd Street, 111th Avenue, and a line 90 feet southwesterly from 172nd Street;
- 15. changing from an R4-1 District to an R6A District property bounded by Hendrickson Place, a line 100 feet southwesterly of Merrick Boulevard, 108th Avenue, and 166th Street;
- 16. changing from an R5 District to an R6A District property bounded by:
 - a. a line 100 feet northwesterly of 87th Road, 164th Street, a line 100 feet northwesterly of Hillside Avenue, and 162nd Street; and
 - b. 97th Avenue, 148th Street, a line 100 feet northwesterly of Liberty Avenue, and 147th Place;
- 17. changing from an R5D District to an R6A District property bounded by:
 - a. 108th Avenue, a line 100 feet southwesterly of Merrick Boulevard, 108th Road, and 167th Street; and
 - b. a line 200 feet northwesterly of 110th Avenue/Brinkerhoff Avenue, 172nd Street, 110th Avenue/Brinkerhoff Avenue, and a line 100 feet northeasterly from Merrick Boulevard;
- 18. changing from an M1-1 District to an R6A District property bounded by a line 150 feet southeasterly of Atlantic Avenue, 148th Street, 97th Avenue, and 147th Place;
- 19. changing from an R3A District to an R6D District property bounded by 110th Road, a line 250 feet northeasterly from Guy R. Brewer Boulevard, a line perpendicular to the northwesterly street line of Claude Avenue distance 300 feet northeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Guy R. Brewer Boulevard and northwesterly street line of Claude Avenue, a line perpendicular to the southeasterly street line of Claude Avenue distance 220 feet northeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Guy R. Brewer Boulevard and southeasterly street line of Claude Avenue, Mathias Avenue, and a line 100 feet northeasterly from Guy R. Brewer Boulevard;
- 20. changing from an R4 District to an R6D District property bounded by:
 - a. a line 190 feet northwesterly of 109th Avenue, a line midway between Union Hall Street and Guy R. Brewer Boulevard; a line 100 feet northwesterly from 109th Avenue and Union Hall Street;
 - b. 109th Avenue, a line 100 feet southwesterly of Guy R. Brewer Boulevard, a line 120 feet southeasterly of 109th Avenue, a line 115 feet southwesterly of Guy R. Brewer Boulevard, 110th Avenue/Brinker, and Union Hall Street;
- 21. changing from an R5D District to an R6D District property bounded by a line 100 feet northwesterly of 109th Avenue, a line midway between Union Hall Street and Guy R. Brewer Boulevard; 109th Avenue, and Union Hall Street;
- 22. changing from an R3-2 District to an R7A District property bounded by 110th Avenue/Brinker, a line midway between Guy R. Brewer Boulevard and 164th Street, 110th Road, a line 100 feet northeasterly of Guy R. Brewer Boulevard, Sayres Avenue, Guy R. Brewer Boulevard, the southwesterly boundary line of the Long Island Railroad Right-Of-Way (Southern Division), Linden Boulevard, a line 100 feet southwesterly of Guy R. Brewer Boulevard, Mathias Avenue, Guy R. Brewer Boulevard, Claude Avenue, a line perpendicular to the northwesterly street line of Claude Avenue distance 115 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of Claude Avenue and the southwesterly street line of Guy R. Brewer Boulevard, 111th Avenue, and a line midway between Union Hall Street and Guy R. Brewer Boulevard;
- 23. changing from an R4 District to an R7A District property bounded by 109th Avenue, a line midway between Guy R. Brewer Boulevard and 164th Street, 110 Avenue, a line 115 feet southwesterly from Guy R. Brewer Boulevard, a line 120 feet southeasterly of 109th Avenue, and a line 100 feet southwesterly from Guy R. Brewer Boulevard;
- 24. changing from an R5 District to an R7A District property bounded by Claude Avenue, Guy R. Brewer Boulevard, Mathias Avenue, and a line 100 feet northeasterly of Dillon Street;
- 25. changing from an R5B District to an R7A District property bounded by:
 - a. Liberty Avenue, 172nd Street, a line 100 feet southeasterly of Liberty Avenue, and 168th Place;
 - b. Linden Boulevard, 173rd Street, a line 100 feet southeasterly of Linden Boulevard, a line midway between 172nd Street and Merrick Boulevard, 115th Avenue, a line 75 feet southwesterly of 172nd Street, a line 240 feet southeasterly of 115th Avenue, 172nd Street, 116th Avenue, a line 100 feet southwesterly of Merrick Boulevard, a line 200 feet southeasterly of Linden Boulevard, and 170th Street;
- 26. changing from an R5D District to an R7A District property bounded by:
 - a. Tuskegee Airmen Way, 150th Street, 107th Avenue, a line 100 feet northeasterly of 150th Street, a line 100 feet northeasterly of Sutphin Boulevard, a line 100 feet southeasterly of Yates Road, Sutphin Boulevard, 108th Avenue, a line 100 feet northeasterly of Sutphin Boulevard, 109th Avenue, Sutphin Boulevard, Ferndale Avenue, a line 100 feet southwesterly of Sutphin Boulevard, a line midway between 108th Avenue and Lakewood Avenue, a line 150 feet southwesterly of Sutphin Boulevard, Lakewood Avenue, and a line 100 feet southwesterly of Sutphin Boulevard;
 - b. Tuskegee Airmen Way, Union Hall Street, a line 100 feet southeasterly Tuskegee Airmen Way, and 160th Street;
 - c. Tuskegee Airmen Way, a line 100 feet northeasterly of 165th Street, a line perpendicular to the northeasterly street line of 165th Street distant 155 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and northeasterly street line of 165th Street, 165th Street, a line perpendicular to the southwesterly street line of 165th Street distant 150 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and southwesterly street line of 165th Street, a line 100 feet southwesterly of 165th Street, a line 100 feet northwesterly of 104th Road, a line 95 feet northeasterly of 164th Street, a line 60 feet northwesterly of 104th Road, 164th Street, a line perpendicular to the southwesterly street line of 164th Street distant 70 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and southwesterly street line of 164th Street, and a line 105 feet northeasterly of Guy R. Brewer Boulevard;
 - d. a line 100 feet southeasterly from Tuskegee Airmen Way, Guy R. Brewer Boulevard, a line perpendicular to northeasterly street line of Guy R. Brewer Boulevard distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and northeasterly street line of Guy R. Brewer Boulevard, a line midway between Guy R. Brewer Boulevard and 164th Street, 109th Avenue, and a line midway between Union Hall Street and Guy R. Brewer Boulevard;
 - e. Liberty Avenue, 168th Place, a line 100 feet southeasterly of Liberty Avenue, a line 100 feet southwesterly of 168th Place, 104th Avenue, a line 150 feet northeasterly from Merrick Boulevard, 105th Avenue, a line 100 feet northwesterly of Merrick Boulevard, a line 100 feet northwesterly of 108th Avenue, 170th Street, 108th Avenue, a line 100 feet northeasterly of Merrick Boulevard, 171st Street, 109th Avenue, a line 100 feet northeasterly of Merrick Boulevard,

- 110th Avenue/Brinkerhoff Avenue, 171st Place and its southeasterly centerline prolongation, the southeasterly street line of 110th Road and its northeasterly prolongation, a line 90 feet southwesterly of 172nd Street, 111th Avenue, 172nd Street, 111th Road, Merrick Boulevard, Sayres Avenue, 170th Street, 111th Avenue, a line 100 feet southwesterly of Merrick Boulevard, 108th Drive, a line passing through two points: the first on the northwesterly street line of 108th Drive distant 141 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 108th Drive and the southwesterly street line of 169th Place, and the second on the southerly street line of Merrick Boulevard distant 100 feet westerly (as measured along the street line) from the point of intersection of the southerly street line of Merrick Boulevard and the southwesterly street line of 169th Place, 108th Road, a line 100 feet southwesterly of Merrick Boulevard, Hendrickson Place, and Merrick Boulevard; and
- f. 113th Avenue, Merrick Boulevard, the southeasterly boundary line of St. Albans Memorial Park and its southwesterly and northeasterly prolongation, Marne Place, Linden Boulevard, and a line 130 feet southwesterly of Merrick Boulevard;
27. changing from an R6A District to an R7A District property bounded by Hillside Avenue, 138th Street and its northwesterly centerline prolongation, a line 125 feet southerly and southeasterly of Hillside Avenue, a line midway between 139th Street and Queens Boulevard, a line perpendicular to the northeasterly street line of Queens Boulevard distant 100 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of Queens Boulevard and northerly street line of Jamaica Avenue, Queens Boulevard, a line 100 feet northerly of Jamaica Avenue, 138th Street, Jamaica Avenue, a line 75 feet southwesterly of 138th Street, a line 100 feet southerly of Jamaica Avenue, and Van Wyck Expressway;
28. changing from an M1-1 District to an R7A District property bounded by Atlantic Avenue, 94th Avenue, 138th Place, Atlantic Avenue, 95th Avenue, and Van Wyck Expressway;
29. changing from an R4 District to an R7X District property bounded by 102nd Avenue, Allendale Street, Liberty Avenue, Lloyd Road, and a line perpendicular to the southeasterly street line of 102nd Avenue distant 100 feet southwesterly (as measured along the street line) from the point of intersection of the southeasterly street line of 102nd Avenue and the southwesterly street line of Brisbin Street;
30. changing from an R6 District to an R7X District property bounded by 88th Avenue, 153rd Street, 89th Avenue, and 150th Street;
31. changing from an R6A District to an R7X District property bounded by:
- a line 100 feet northeasterly of Jamaica Avenue, Queens Boulevard, a line perpendicular to the northeasterly street line of Queens Boulevard distant 100 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of Queens Boulevard and the northerly street line of Jamaica Avenue, a line midway between Queens Boulevard and 139th Street, a line perpendicular to the southwesterly street line of 139th Street distant 150 feet northwesterly (as measured along the street line) from the point of intersection of the northerly street line of Jamaica Avenue and southwesterly street line of 139th Street, 139th Street, a line midway between 89th Avenue and 88th Road, a line 100 feet northeasterly of 139th Street, 89th Avenue, 144th Street, a line 100 feet northeasterly of Jamaica Avenue, 146th Street, Jamaica Avenue, 146th Street, a line 145 feet southwesterly of Jamaica Avenue, a line 80 feet southwesterly of 146th Street, a line 100 feet southwesterly and southerly of Jamaica Avenue, a line 75 feet southwesterly of 138th Street, Jamaica Avenue, and 138th Street;
 - a line 100 feet northwesterly from Liberty Avenue, a line 100 feet northeasterly of Remington Street, Lloyd Road, Liberty Avenue, Allendale Street, 101st Avenue and its northeasterly centerline prolongation, a line 100 feet southwesterly of Sutphin Boulevard, a line 100 feet southeasterly of Liberty Avenue, Remington Street, Liberty Street, and Van Wyck Expressway; and
 - a line 100 feet southeasterly from Liberty Avenue, a line midway between 148th Street and Sutphin Boulevard, Tuskegee Airmen Way, and a line 100 feet southwesterly of Sutphin Boulevard;
32. changing from an R7A District to an R7X District property bounded by:
- a line midway between Hillside Avenue and 88th Avenue, a line 100 feet southwesterly from Parsons Boulevard, 89th Avenue, a line 125 feet northeasterly of 153rd Street, 90th Avenue, Grace Court, 90th Road, 153rd Street, Jamaica Avenue, 150th Street, a line 100 feet northwesterly and northerly of Jamaica Avenue, a line 100 feet northeasterly of Sutphin Boulevard, 90th Avenue, 148th Street, a line 130 feet southeasterly of 89th Avenue, a line 110 feet southwesterly of 148th Street, 89th Avenue, and 148th Street, and excluding the area bounded by 88th Avenue, 153rd Street, 89th Avenue and 150th Street; and
 - a line 100 feet southeasterly from Hillside Avenue, 161st Street, a line 135 feet southeasterly from Hillside Avenue, 163rd Street, a line 100 feet southeasterly of Hillside Avenue, a line 100 feet northeasterly of 163rd Street, 89th Avenue, 161st Street, a line 150 feet northwesterly of 89th Avenue, and a line 100 feet northeasterly Parsons Boulevard;
33. changing from an M1-4 District to an R8A District property bounded by 97th Avenue, a line 235 feet northeasterly of 148th Street, a line 100 feet southeasterly of 97th Avenue, 150th Street, Liberty Avenue, and 148th Street;
34. changing from an R6A District to an R8X District property bounded by Liberty Avenue, 147th Place, a line 100 feet northwesterly from Liberty Avenue, 148th Street, Liberty Avenue, a line midway between Sutphin Boulevard and 148th Street, a line 100 feet southeasterly from Liberty Avenue, and a line 100 feet southwesterly from Sutphin Boulevard;
35. changing from an R6 District to a C4-4 District property bounded by a line 200 feet northwesterly of Liberty Avenue, 160th Street, Liberty Avenue, and 159th Street;
36. changing from an R6A District to a C4-4D District property bounded by:
- a line 100 feet northwesterly of Hillside Avenue, 146th Street and its northwesterly center line prolongation, a line 100 feet southeasterly of Hillside Avenue, and 139th Street;
 - a line 100 feet northwesterly of Hillside Avenue, a line perpendicular to the northwesterly street line of Hillside Avenue distant 330 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of Hillside Avenue and the southwesterly street line of Kingston Place, Hillside Avenue, and 167th Street; and
 - 89th Avenue, 168th Street, 90th Avenue, and a line 100 feet southwesterly of 168th Street;
37. changing from an R7A District to a C4-4D District property bounded by a line 100 feet northwesterly of Hillside Avenue, 167th Street, Hillside Avenue, a line 100 feet northeasterly of 163rd Street, a line 100 feet southeasterly of Hillside Avenue, 163rd Street, a line 135 feet southeasterly of Hillside Avenue, 161st Street, a line 100 feet southeasterly of Hillside Avenue, a line 100 feet northeasterly of Parsons Boulevard, a line 150 feet northwesterly of 89th Avenue, Parsons Boulevard, 89th Avenue, a line 100 feet southwesterly of Parsons Boulevard, a line midway between Hillside Avenue and 88th Avenue, 148th Street, Hillside Avenue, and the northwesterly center line prolongation of 146th Street;
38. changing from an R7X District to a C4-4D District property bounded by Hillside Avenue, 168th Street, a line 100 feet southeasterly of Hillside Avenue, and a line 200 feet northeasterly from Merrick Boulevard;
39. changing from a C4-3A District to a C4-4D District property bounded by 86th Avenue, Queens Boulevard, 87th Avenue, 139th Street, a line 125 feet southeasterly and southerly of Hillside Avenue, and northeasterly service road of the Van Wyck Expressway;
40. changing from a C4-4A District to a C4-4D District property bounded by Hillside Avenue, 148th Street, 88th Avenue, Sutphin Boulevard, 90th Avenue, a line 100 feet northeasterly of Sutphin Boulevard, a line 100 feet northeasterly of Jamaica Avenue, a line midway between Sutphin Boulevard and 146th Street, a line 100 feet southeasterly of Hillside Avenue, and 146th Street;
41. changing from a C4-5X District to a C4-4D District property bounded by a line 150 feet northwesterly of 89th Avenue, 161st Street, 89th Avenue, a line 100 feet northeasterly of 163rd Street, Hillside Avenue, a line 200 feet northeasterly of Merrick Boulevard, a line 100 feet southeasterly of Hillside Avenue, a line 100 feet northeasterly of Merrick Boulevard, 89th Avenue, a line 100 feet southwesterly of 168th Street, 90th Avenue, 168th Street, a line 150 feet northwesterly of Jamaica Avenue, and Parsons Boulevard;

42. changing from a C4-4A District to a C6-2 District property bounded by 88th Avenue, 148th Street, 89th Avenue, a line 110 feet southwesterly of 148th Street, a line 130 feet southeasterly of 89th Avenue, 148th Street, 90th Avenue, and Sutphin Boulevard;
43. changing from an R6A District to a C6-3 District property bounded by:
- a line 100 feet northeasterly of Jamaica Avenue, a line midway between Sutphin Boulevard and 146th Street, Jamaica Avenue, and 146th Street; and
 - Sutphin Boulevard, Liberty Avenue, a line 100 feet southwesterly of Sutphin Boulevard, the northeasterly centerline prolongation 101st Avenue, and 146th Street;
44. changing from a C4-4A District to a C6-3 District property bounded by:
- a line 100 feet northerly of Jamaica Avenue, 150th Street, Jamaica Avenue, and a line midway between Sutphin Boulevard and 146th Street; and
 - a line 100 feet southeasterly of 91st Avenue, 144th Place, Archer Avenue, and 139th Street;
45. changing from a C4-5X District to a C6-3 District property bounded by:
- 94th Avenue, Liverpool Street, Atlantic Avenue, and 138th Place;
 - a line 100 feet southeasterly of 97th Avenue, Sutphin Boulevard, 146th Street, 101st Avenue, and Waltham Street; and
 - Atlantic Avenue, 147th Place, Liberty Avenue, and Sutphin Avenue;
46. changing from a C6-2 District to a C6-3 District property bounded by a line 150 feet northwesterly from Jamaica Avenue, 168th Street, Jamaica Avenue, 165th Street, 92nd Road and its northeasterly centerline prolongation, and 164th Street and its southeasterly center line prolongation;
47. changing from a C4-5X District to a C6-3A District property bounded by 89th Avenue, Parsons Boulevard, 90th Road and its northeasterly centerline prolongation, Grace Court, 90th Avenue, and a line 125 feet northeasterly of 153rd Street;
48. changing from an R6A District to a C6-4 District property bounded by a line 100 feet southwesterly of Jamaica Avenue, a line 80 feet northwesterly of 146th Street, a line 145 feet southwesterly of Jamaica Avenue, 146th Street, 91st Avenue, a line 100 feet northeasterly of 144th Place, a line 200 feet northwesterly of 91st Avenue, and 144th Place;
49. changing from a C4-4A District to a C6-4 District property bounded by 91st Avenue, 146th Street, Archer Avenue, and 144th Place;
50. changing from a C6-2 District to a C6-4 District property bounded by Jamaica Avenue, 147th Place, Archer Avenue, Sutphin Boulevard, the northerly boundary line of the Long Island Railroad Right-Of-Way (Montauk Division), and 146th Street and its southerly centerline prolongation;
51. changing from a C6-3 District to a C6-4 District property bounded by:
- Jamaica Avenue, 153rd Street, 90th Road and its northeasterly centerline prolongation, Parsons Boulevard, a line 150 feet northwesterly of Jamaica Avenue, 160th Street, Archer Avenue, 158th Street, the centerline of the Long Island Railroad Right-Of-Way (Montauk Division), 150th Street, a line 100 feet southeasterly of Archer Avenue, a line 420 feet northeasterly of Sutphin Boulevard, Archer Avenue, and 147th Place; and
 - 94th Avenue, Sutphin Boulevard, Atlantic Avenue, and Liverpool Street;
52. changing from an M1-4 District to a C6-4 District property bounded by a line 100 feet southeasterly of Archer Avenue, 150th Street, Atlantic Avenue, a line 50 feet northeasterly from 148th Street, 94th Avenue, and a line 420 feet northeasterly of Sutphin Boulevard;
53. changing from an M1-1 District to an M1-2A District property bounded by:
- Liberty Avenue, Merrick Boulevard, 107th Avenue, a line 100 feet northeasterly of 165th Street, Tuskegee Airmen Way, and 165th Street;
 - Liberty Avenue, 177th Street, the center line of the Long Island Railroad Right-Of-Way (Montauk Division), Liberty Avenue, Dunkirk Street, a line 485 feet northwesterly of Murdock Avenue, the southwesterly boundary line of the Long Island Railroad Right-Of-Way (Montauk Division), Brinkerhoff Avenue, 180th Street, a line midway between 104th Avenue and 105th Avenue, a line 100 feet northeasterly of 177th Street, a line perpendicular to northeasterly street line of 177th Street distant 170 feet southeasterly (as measured along the street line) from the point of intersection of the southerly street line of Liberty Avenue and northeasterly of 177th Street, 177th Street, a line midway between 103rd Road and Liberty Avenue, and 173rd Street; and
 - the southeasterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), 189th Street and its northwesterly centerline prolongation, Henderson Avenue, and a line 500 feet southwesterly of 189th Street;
54. changing from an M1-4 District to an M1-2A District property bounded by Liberty Avenue, the northeasterly boundary line of the Long Island Railroad Right-Of-Way (Old Southern Division), Tuskegee Airmen Way, the southwesterly boundary line of the Long Island Railroad Right-Of-Way (Old Southern Division), 107th Avenue and its northeasterly centerline prolongation, a line midway between 156th Street and 157th Street, a line 125 feet southeasterly of Tuskegee Airmen Way, 157th Street, Tuskegee Airmen Way, and a line midway between Sutphin Boulevard and 148th Street;
55. changing from an M1-1 District to an M2-3A District property bounded by:
- Archer Avenue, 165th Street, the northwesterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), 177th Street, Liberty Avenue, 165th Street, the southeasterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), and 158th Street; and
 - Jamaica Avenue, Hollis Avenue, the northwesterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), and the southeasterly centerline prolongation of 187th Street;
56. changing from an M1-2 District to an M2-3A District property bounded by Jamaica Avenue, the southeasterly centerline prolongation of 187th Street, the northwesterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), and 179th Place and its southeasterly centerline prolongation;
57. changing from an M1-1 District to an M3-2A District property bounded by the northwesterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), Hollis Avenue, 99th Avenue, 189th Street and its northerly centerline prolongation, the southerly and southeasterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), Liberty Avenue, the centerline of the Long Island Railroad Right-Of-Way (Montauk Division), and 177th Street;
58. changing from an M1-1 District to an M1-2A/R7A District property bounded by 91st Avenue, 138th Place, a line 100 feet southeasterly of 91st Avenue, a line midway between 138th Place and 139th Street, a line 100 feet northwesterly of Archer Avenue, 139th Street, Archer Avenue, and Van Wyck Expressway;
59. changing from an M1-4 District to an M1-2A/R7-2 District property bounded by the centerline of the Long Island Railroad Right-Of-Way (Main Line), 158th Street, the southerly boundary lines of Prospect Cemetery and its southwesterly prolongation, a line 120 feet southwesterly of 159th Street, a line 65 feet northwesterly of Liberty Avenue, 159th Street, Liberty Avenue, 157th Street, a line 100 feet northwesterly of Liberty Avenue, and 150th Street;
60. changing from an M1-1 District to an M1-3A/R7X District property bounded by Atlantic Avenue, 148th Street, a line 150 feet southeasterly of Atlantic Avenue, and 147th Place;
61. changing from an M1-4 District to an M1-3A/R7X District property bounded by 97th Avenue, 150th Street, a line 100 feet northwesterly of Liberty Avenue, 157th Street, Liberty Avenue, 150th Street, a line 100 feet southeasterly of 97th Avenue, and a line 235 feet northeasterly of 148th Street;
62. changing from an M1-4 District to an M1-6A/R9A District property bounded by a line midway between Atlantic Avenue and 97th Avenue, 150th Street, 97th Avenue, and 148th Street;
63. changing from an M1-4 District to an M1-8A/R9X property bounded by Atlantic Avenue, 150th Street, a line midway between Atlantic Avenue and 97th Avenue, and 148th Street;
64. establishing within an existing R5D District a C2-4 District bounded by a line perpendicular to the southwesterly street line of 164th Street distant 70 feet southeasterly (as measured along the street line) from the point of intersection of southeasterly street line of Tuskegee Airmen Way and the southwesterly street line of

- 164th Street, 164th Street, the southwesterly center line prolongation of 104th Road, and a line midway between Guy R. Brewer Boulevard and 164th Street;
65. establishing within a proposed R6D District a C2-4 District bounded by a line 100 feet northwesterly of 109th Avenue, a line midway between Union Hall Street and Guy R. Brewer Boulevard, 109th Avenue, and Union Hall Street;
66. establishing within an existing R7A District a C2-4 District bounded by Tuskegee Airmen Way, a line 105 feet northeasterly of a Guy R. Brewer Boulevard, the southwesterly centerline of 104th Road, a line midway between Guy R. Brewer Boulevard and 164th Street, a line perpendicular to the northeasterly street line of Guy R. Brewer Boulevard distant 100 feet southeasterly (as measured from along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and the northeasterly street line of Guy R. Brewer Boulevard, Guy R. Brewer Boulevard, a line 100 feet southeasterly of Tuskegee Airmen Way, a line midway between Union Hall Street and Guy R. Brewer Boulevard, a line 125 feet southeasterly of Tuskegee Airmen Way, and Union Hall Street;
67. establishing within a proposed R7A District a C2-4 District bounded by:
- Tuskegee Airmen Way, Union Hall, a line 100 feet southeasterly of Tuskegee Airmen Way, and 160th Street;
 - Tuskegee Airmen Way, 164th Street, a line perpendicular to the southwesterly street line of 164th Street distant 70 feet southeasterly (as measured along the street line) from the point of intersection of southeasterly street line of Tuskegee Airmen Way and southwesterly street line of 164th Street, and a line 105 feet northeasterly of Guy R. Brewer Boulevard;
 - a line 100 feet southeasterly of Tuskegee Airmen Way, Guy R. Brewer Boulevard, a line perpendicular to the northeasterly street line of Guy R. Brewer Boulevard distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and northeasterly street line of Guy R. Brewer Boulevard, a line midway between Guy R. Brewer Boulevard and 164th Street, 109th Avenue, Guy R. Brewer Boulevard, a line 120 feet southeasterly of 109th Avenue, a line 100 feet southwesterly of Guy R. Brewer Boulevard, 109th Avenue, and a line midway between Union Hall Street and Guy R. Brewer Boulevard;
 - 108th Avenue, Sutphin Boulevard, 108th Avenue, a line 100 feet northeasterly of Sutphin Boulevard, 109th Avenue, Sutphin Boulevard, Ferndale Avenue, and a line 100 feet southwesterly of Sutphin Boulevard;
 - 112th Road, Guy R. Brewer Boulevard, Phroane Avenue, a line 100 feet northeasterly of Guy R. Brewer Boulevard, Sayres Avenue, Guy R. Brewer Boulevard, Linden Boulevard, and a line 100 feet southwesterly of Guy R. Brewer Boulevard;
 - 110th Road, the southeasterly centerline prolongation of 171st Place, the southeasterly street line 110th Road and its northeasterly prolongation, a line 90 feet southwesterly of 172nd Street, 111th Avenue, 172nd Street, 111th Road, and Merrick Boulevard; and
 - 113th Avenue, Merrick Boulevard, a southeasterly boundary line of St. Albans Memorial Park and its southwesterly prolongation, a line perpendicular to the northwesterly street line of Linden Boulevard distant 276 feet northeasterly (as measured along the street line) from the point of intersection of the northwesterly street line of Linden Boulevard and northeasterly street line of Merrick Boulevard, Linden Boulevard, 173rd Street, a line 100 feet southeasterly of Linden Boulevard, a line midway between Merrick Boulevard and 172nd Street, 115th Street, a line 75 feet southwesterly of 172nd Street, a line 240 feet southeasterly of 115th Avenue, 172nd Street, 116th Avenue, a line 100 feet southwesterly of Merrick Boulevard, a line 200 feet southeasterly of Linden Boulevard, 170th Street, Linden Boulevard, and a line 130 feet southeasterly of Merrick Boulevard;
68. establishing within a proposed R7X District a C2-4 District bounded by:
- 102nd Avenue, Allendale Street, Liberty Avenue, Lloyd Road, a line perpendicular to the southeasterly street line of 102nd Avenue distant 100 feet southwesterly (as measured along the street line) from the point of intersection of the southeasterly street line of 102nd Avenue and the southwesterly street line of Brisbin Street, a line 100 feet southeasterly of 102nd Avenue, Brisbin Street, a line 50 feet southeasterly of 102nd Avenue, and a line perpendicular to the southeasterly street line of 102nd Avenue distant 90 feet southwesterly (as measured along the street line) from the point of intersection of the southeasterly street line of 102nd Street and the southwesterly street line of Allendale Street; and
 - a line 100 feet southeasterly of Liberty Avenue, a line midway between Sutphin Boulevard and 148th Street, Tuskegee Airman Way, and Sutphin Boulevard;
69. establishing within a proposed R8X District a C2-4 District bounded by Liberty Avenue, a line midway between Sutphin Boulevard and 148th Street, a line 100 feet southeasterly of Liberty Avenue, and Sutphin Boulevard; and
70. establishing a Special Downtown Jamaica District (DJ) bounded by:
- 86 Avenue, Queens Boulevard, 87th Avenue, 139th Street, a line 125 feet southeasterly of Hillside Avenue, a line midway between Queens Boulevard and 139th Street, a line perpendicular to the southwesterly street line of 139th Street distant 150 feet northwesterly (as measured along the street line) from the point of intersection of the northerly street line of Jamaica Avenue and southwesterly street line of 139th Street, 139th Street, a line midway between 89th Avenue and 88th Road, a line 100 feet northeasterly of 139th Street, 89th Avenue, 144th Street, a line 100 feet northeasterly of Jamaica Avenue, a line midway between 146th Street and Sutphin Boulevard, Jamaica Avenue, 146th Street, 91st Avenue, a line 100 feet northeasterly of 144th Place, a line 200 feet northwesterly of 91st Avenue, 144th Place, a line 100 feet southwesterly of Jamaica Avenue, Van Wyck Expressway, Hillside Avenue, and northeasterly service road of the Van Wyck Expressway;
 - 88th Avenue, 153rd Street, 89th Avenue, and 150th Street;
 - a line 100 feet northwesterly of 87th Road, 164th Street, a line 100 feet northwesterly of Hillside Avenue, and 162nd Street;
 - 89th Avenue, 168th Street, 90th Avenue, and a line 100 feet southwesterly of 168th Street;
 - 91st Avenue, 138th Place, a line 100 feet southeasterly of 91st Avenue, a line midway between 138th Place and 139th Street, a line 100 feet northwesterly of Archer Avenue, 139th Street, Archer Avenue, and Van Wyck Expressway;
 - Atlantic Avenue, 94th Avenue, 138th Place, Atlantic Avenue, 95th Avenue, and Van Wyck Expressway;
 - a line 100 feet northwesterly of Liberty Avenue, a line 100 feet northeasterly of Remington Street, Lloyd Road, a line 100 feet southwesterly of Brisbin Street, 102nd Avenue, Allendale Street, 101st Avenue, 146th Street, Sutphin Boulevard, Liberty Avenue, 147th Place, Atlantic Avenue, 148th Street, Liberty Avenue, the centerline of the Long Island Railroad Right-Of-Way (Old Southern Division), 107th Avenue and its northeasterly centerline prolongation, a line midway between 156th Street and 157th Street, a line 125 feet southeasterly of Tuskegee Airmen Way, 157th Street, Tuskegee Airmen Way, 150th Street, 107th Avenue, a line 100 feet northeasterly of 150th Street, a line 100 feet northeasterly of Sutphin Boulevard, a line 100 feet southeasterly of Yates Road, Sutphin Boulevard, 108th Avenue, a line 100 feet northeasterly of Sutphin Boulevard, 109 Avenue, Sutphin Boulevard, Ferndale Avenue, a line 100 feet southwesterly of Sutphin Boulevard, a line midway between 108th Avenue and Lakewood Avenue, a line 150 feet southwesterly of Sutphin Boulevard, Lakewood Avenue, a line 100 feet southwesterly of Sutphin Boulevard, a line 100 feet southeasterly of Liberty Avenue, Remington Street, Liberty Avenue, and Van Wyck Expressway;
 - a line 200 feet northwesterly of Liberty Avenue, 160th Street, Liberty Avenue, and 159th Street;
 - Archer Avenue, 165th Street, the northwesterly boundary line of the Long Island Railroad Right-Of-Way (Main Line), 179th Place, Jamaica Avenue, Hollis Avenue, 99th Avenue, 189th Street, Henderson Avenue, a line 500 feet southwesterly from 189th Street, the southerly and southeasterly boundary line of the Long Island Railroad Right-Of Way (Main Line), Liberty Avenue, Dunkirk Street, a line 485 feet northwesterly of Murdock Avenue, the southwesterly boundary line of the Long Island Railroad Right-Of-Way (Montauk Division), Brinkerhoff Avenue, 180th Street, a line midway between 104th Avenue and 105th Avenue, a line 100 feet northeasterly of 177th Street, a line perpendicular to northeasterly street line of 177th Street distant 170 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Liberty Avenue and northeasterly of 177th Street, 177th Street, a line midway between 103rd Road

and Liberty Avenue, 173rd Street, Liberty Avenue, 172nd Street, a line 100 feet southeasterly of Liberty Avenue, a line 100 feet southeasterly of Merrick Boulevard, a line 100 feet southwesterly of 168th Place, 104th Avenue, a line 150 feet northeasterly from Merrick Boulevard, 105th Avenue, a line 100 feet northeasterly of Merrick Boulevard, a line 100 feet northerly of 108th Avenue, 170th Street, 108 Avenue, a line 100 feet northeasterly of Merrick Boulevard, 171st Street, 109th Avenue, a line 100 feet northeasterly of Merrick Boulevard, a line 200 feet northwesterly of 110th Avenue/Brinkerhoff Avenue, 172nd Street, 110th Avenue/Brinkerhoff Avenue, 171st Place and its southeasterly centerline prolongation, the southeasterly street line of 110th Road and its northeasterly prolongation, a line 90 feet southwesterly of 172nd Street, a line 125 feet northwesterly of 111th Avenue, 172nd Street, 111th Road, Merrick Boulevard, Sayres Avenue, 170th Street, 111th Avenue, a line 100 feet southwesterly of Merrick Boulevard, 108th Drive, a line passing through two points: the first on the northwesterly street line of 108th Drive distant 141 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 108th Drive and the southwesterly street line of 169th Place, and the second on the southerly street line of Merrick Boulevard distant 100 feet westerly (as measured along the street line) from the point of intersection of the southerly street line of Merrick Boulevard and the southwesterly street line of 169th Place, 108th Road, 167th Street, 108th Avenue, 166th Street, Hendrickson Place, Merrick Boulevard, 107th Avenue, a line 100 feet northeasterly of 165th Street, a line perpendicular to the northeasterly street line of 165th Street distant 155 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and northeasterly street line of 165th Street, 165th Street, a line perpendicular to the southwesterly street line of 165th Street distant 150 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and southwesterly street line of 165th Street, a line 100 feet southwesterly of 165th Street, a line 100 feet northwesterly of 104 Road, a line 95 feet northeasterly of 164th Street, a line 60 feet northwesterly of 104 Road, 164th Street, a line perpendicular to the southwesterly street line of 164th Street distant 70 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of Tuskegee Airmen Way and southwesterly street line of 164th Street, a line midway between Guy R. Brewer Boulevard and 164th Street, 110th Road, a line 250 feet northeasterly from Guy R. Brewer Boulevard, a line perpendicular to the northwesterly street line of Claude Avenue distant 300 feet northeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Guy R. Brewer Boulevard and northwesterly street line of Claude Avenue, Claude Avenue, a line perpendicular to the southeasterly street line of Claude Avenue distance 220 feet northeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Guy R. Brewer Boulevard and southeasterly street line of Claude Avenue, Mathias Avenue, a line 100 feet northeasterly of Guy R. Brewer Boulevard, Sayres Avenue, Guy R. Brewer Boulevard, the southwesterly boundary line of the Long Island Railroad Right-Of-Way (Southern Division), Linden Boulevard, a line 100 feet southwesterly of Guy R. Brewer Boulevard, Mathias Avenue, a line 100 feet northeasterly of Dillon Street, Claude Avenue, a line perpendicular to the northwesterly street line of Claude Avenue distant 115 feet southwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of Guy R. Brewer Boulevard and northwesterly street line of Claude Avenue, 111th Avenue, a line midway between Union Hall Street and Guy R. Brewer Boulevard, 110th Avenue, Union Hall Street, a line 190 feet northwesterly of 109th Avenue, a line midway between Union Hall Street and Guy R. Brewer Boulevard, a line 125 feet southeasterly of Tuskegee Airmen Way, Union Hall Street, a line 100 feet southeasterly of Tuskegee Airmen Way, and 160th Street, Tuskegee Airmen Way, 165th Street, the southeasterly boundary line of the Long Island Railroad Right-Of-Way (Montauk Division), and 158th Street; and

j. 113th Avenue, Merrick Boulevard, the southeasterly boundary line of St. Albans Memorial Park and its southwesterly and northeasterly prolongation, Marne Place, 173rd Street, a line 100 feet southeasterly of Linden Boulevard, a line midway between 172nd Street and Merrick Boulevard, 115th Avenue, a line 75 feet southwesterly of 172nd Street, a line 240 feet southeasterly of 115th Avenue, 172nd Street, 116th Avenue, a line 100 feet southwesterly of Merrick Boulevard, a line 200

feet southeasterly of Linden Boulevard, 170th Street, Linden Boulevard, and a line 130 feet southwesterly of Merrick Boulevard;

Borough of Queens, Community Districts 8 and 12 as shown on a diagram (for illustrative purposes only) dated February 11, 2025, and subject to the conditions of CEQR Declaration E-842.

No. 3

CD 8, 12 **N 250173 ZRQ**
IN THE MATTER OF an application submitted by NYC Department of City Planning and Department of Housing Preservation and Development pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning resolution of the City of New York, amending Article XI, Chapter 5 (Special Downtown Jamaica District), and related Sections, and APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;
 Matter ~~struck out~~ is to be deleted;
 Matter within # # is defined in Section 12-10;
 * * * indicates where unchanged text appears in the Zoning Resolution.

**ARTICLE I
 GENERAL PROVISIONS**

Chapter 1

Title, Establishment of Controls and Interpretation of Regulations

* * *

**11-10
 ESTABLISHMENT AND SCOPE OF CONTROLS, ESTABLISHMENT OF DISTRICTS, AND INCORPORATION OF MAPS**

* * *

11-15

Environmental Requirements

* * *

11-151

Special requirements for properties in the Borough of Queens

- (a) Block 9898, Lots 1 and 117, in the Borough of Queens, shall be subject to the provisions of Section 11-15 (Environmental Requirements) governing (E) designations. The City Environmental Quality Review (CEQR) Declarations for these sites shall be listed in APPENDIX C (City Environmental Quality Review (CEQR) Environmental Requirements) of the Zoning Resolution.
- (b) The following special requirements shall apply to a #development#, #enlargement# or change of #use# for properties in the Borough of Queens located within the areas described in paragraphs (1) through (5)(4) of this paragraph, (b).
 - (1) The regulations of an R4 District shall apply within an area bounded by Liberty Avenue, 170th Street, a line 100 feet southeasterly of Liberty Avenue, and a line 100 feet southwesterly of 168th Place.
 - (2) The regulations of a C8-1 District shall apply within an area bounded by Liberty Avenue, a line 100 feet southwesterly of 168th Place, a line 150 feet northwesterly of 104th Avenue, and Merrick Boulevard.
 - (3) The regulations of an M1-1 District shall apply within an area bounded by Liberty Avenue, Sutphin Boulevard, 105th Avenue, a line 50 feet southwesterly of 148th Street, a line 100 feet northwesterly of 105th Avenue, and a line 150 feet northeasterly of Sutphin Boulevard.
 - (4) The regulations of an R6 District with a C2-2 District overlay shall apply within an area bounded by 163rd Street, a line perpendicular to 163rd Street passing through a point distant 109.42 feet as measured along the easterly #street line# of 163rd Street from the intersection of the southeasterly line of Hillside Avenue and the northeasterly line of 163rd Street, a line 86 feet northeasterly of 163rd Street, a line perpendicular to 163rd Street passing through a point 146.92 feet distant as measured along the easterly #street line# of 163rd Street from the intersection of the southeasterly line of Hillside Avenue and the northeasterly line of 163rd Street.
 - (5) The regulations of a C8-1 District shall apply within an area bounded by Hillside Avenue, a line 388 feet westerly of 144th

Street, a line 100 feet northwesterly of 88th Avenue, a line 100 feet northeasterly of 139th Street, a line 120 feet northwesterly of 88th Avenue, a line 60 feet northeasterly of 139th Street, a line 70 feet southeasterly of Hillside Avenue, and 139th Street; and within an area bounded by Queens Boulevard, Hillside Avenue, 139th Street, a line 100 feet southeasterly of Hillside Avenue, a line midblock between 139th Street and Queens Boulevard, a line perpendicular to Queens Boulevard passing through a point distant 140 feet as measured along the northeasterly #street line# of Queens Boulevard from the intersection of the southeasterly line of Hillside Avenue and the northeasterly line of Queens Boulevard.

However, in the event that the Chairperson of the City Planning Commission, based on consultation with the Department of Environmental Protection of the City of New York, provides a certificate of no effect to the Department of Buildings with regard to industrial air emissions for an area described in paragraph (b) of this Section, the regulations of the zoning districts designated on the #zoning map# shall apply to any #development#, #enlargement# or change of #use# within such area, to the extent permitted under the terms of the certificate of no effect.

**ARTICLE XI
SPECIAL PURPOSE DISTRICTS**

**Chapter 5
Special Downtown Jamaica District**

**115-00
GENERAL PURPOSES**

The "Special Downtown Jamaica District" established in this Resolution is designed to promote and protect the public health, safety and general welfare of the Downtown Jamaica community. These general goals include, among others, the following specific purposes:

- (a) to strengthen the business core of Downtown Jamaica by improving the working and living environments;
 - (b) to foster development in Downtown Jamaica and provide direction and incentives for further growth where appropriate;
 - (c) to encourage the development of affordable housing;
 - (d) to expand the retail, entertainment and commercial character of the area around the transit center and to enhance the area's role as a major transportation hub in the City;
 - (e) to provide transitions between the downtown commercial core, the lower-scale residential communities and the transportation hub;
 - (f) to improve the quality of development in Downtown Jamaica by requiring the provision of specified public amenities in appropriate locations;
 - (g) to encourage the design of new buildings that are in character with the area;
 - (h) to enhance the pedestrian environment by relieving sidewalk congestion and providing pedestrian amenities; and
 - (i) to promote the most desirable use of land and thus conserve and enhance the value of land and buildings, and thereby protect the City's tax revenues.
- (a) to strengthen Downtown Jamaica and its nearby major corridors by promoting the establishment of mixed-use, transit-oriented growth hubs;
 - (b) to enhance neighborhood economic diversity by broadening the range of housing choices at varied incomes;
 - (c) to create a lively and attractive built environment that will provide amenities and services for the use and enjoyment of area residents, workers and visitors;
 - (d) to encourage designs of new buildings that support the neighborhood's character;
 - (e) to establish walkable retail corridors in the neighborhood;
 - (f) to support industrial growth in manufacturing districts that are appropriate near certain residential districts; and
 - (g) to promote the most desirable use of land and thus conserve and enhance the value of land and buildings, and thereby protect the City's tax revenues.

**115-01
General Provisions**

In harmony with the general purposes and content of this Resolution and the general purposes of the #Special Downtown Jamaica District#, the regulations of this Chapter shall apply within the #Special

Downtown Jamaica District#. The regulations of all other chapters of this Resolution are applicable except as modified, supplemented or superseded by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control. However, for #transit-adjacent sites# or #qualifying transit improvement sites#, in the event of a conflict between the provisions of this Chapter and the provisions of Article VI, Chapter 6 (Special Regulations Applying Around Mass Transit Stations), the provisions of Article VI, Chapter 6 shall control. For the purposes of this paragraph, defined terms additionally include those in Section 66-11 (Definitions):

Any special permit granted by the City Planning Commission before September 10, 2007, may be started or continued, in accordance with the terms thereof, or as such terms may be subsequently modified, pursuant to the regulations in effect at the time such special permit was granted, subject to the provisions of Sections 11-42 (Lapse of Authorization or Special Permit Granted by the City Planning Commission Pursuant to the 1961 Zoning Resolution) and 11-43 (Renewal of Authorization or Special Permit):

115-02

Definitions

For the purposes of this Chapter, matters in italics are defined in Sections 12-10 (DEFINITIONS), 32-301 (Definitions), and 66-11 (Definitions), except where explicitly stated otherwise in individual provisions in this Chapter.

115-03

District Plan and Maps

The regulations of this Chapter implement the #Special Downtown Jamaica District# Plan.

The District Plan includes the following maps in the Appendix to this Chapter:

Map 1	Special Downtown Jamaica District
Map 2	Ground Floor Use and Transparency and Curb Cut Restrictions Streetscape Regulations
Map 3	Street Wall Location
Map 4	Maximum Building Height
Map 5 Map 3	Sidewalk Widening

The maps are hereby incorporated and made part of this Resolution for the purpose of specifying locations where the special regulations and requirements set forth in the text of this Chapter apply.

**115-04
Subdistricts**

To carry out the provisions of this Chapter, the Core Subdistrict is established. The location and boundaries of this Subdistrict is shown on Map 1 (Special Downtown Jamaica District) in the Appendix to this Chapter.

115-03

**115-05
Applicability of the Mandatory Inclusionary Housing Program**

For the purposes of applying the Inclusionary Housing Program provisions set forth in Section 27-10 (ADMINISTRATION OF AFFORDABLE HOUSING), inclusive, #Mandatory Inclusionary Housing areas# within the #Special Downtown Jamaica District# are shown on the maps in APPENDIX F of this Resolution.

**115-06
Applicability of Article XII, Chapter 3**

In the #Special Downtown Jamaica District#, M1 Districts are paired with a #Residence District#. In paired districts, the special #use#, #bulk#, and parking and loading provisions of Article XII, Chapter 3 (Special Mixed Use District) shall apply, except where modified by the provisions of this Chapter.

Notwithstanding the provisions of Section 123-10 (GENERAL PROVISIONS), in the event of a conflict between the provisions of this Chapter and the provisions of Article XII, Chapter 3, the provisions of this Chapter shall control.

**115-10
SPECIAL USE REGULATIONS**

[RELOCATING TEXT TO SECTION 115-12, AND MODIFYING]

In the #Special Downtown Jamaica District#, the #use# regulations of the underlying district shall apply except as modified in this Section, inclusive. The #use# regulations of the underlying C4-5X, C6 and M1-4

Districts relating to #public parking garages# are modified in Section 115-11. The #use# regulations of the underlying C6-4 District relating to Use Group IX are modified in Section 115-12. Special streetscape regulations shall apply pursuant to Section 115-14. The #use# regulations of the underlying M1-4 District are modified as specified in Section 115-13.

In addition, the provisions of paragraph (d) of Section 32-422 (Location of floors occupied by commercial uses) shall be modified such that eating or drinking establishments listed under Use Group VI shall be permitted on a #story# above #dwelling units#.

**115-11
Public Parking Garages**

In the #Special Downtown Jamaica District#, the #use# regulations of the underlying C4-5X, C6-2, C6-3, C6-4 and M1-4 Districts shall be modified to permit #public parking garages# with a capacity of 150 spaces or less, as-of-right, subject to the provisions set forth for #accessory# off-street parking spaces in Sections 36-53 (Width of Curb Cuts and Location of Access to the Street), 36-55 (Surfacing) and 36-56 (Screening). #Public parking garages# may be open or enclosed, provided that no portion of such #use# shall be located on a roof other than a roof which is immediately above a #cellar# or #basement#, except as provided by the special permit provisions of Section 74-194 (Parking garages or public parking lots in high density central areas).

**115-12
Use Group IX in C6-4 Districts**

In C6-4 Districts, the size limitations applicable to wholesale establishments listed under Use Group IX(A), as set forth in paragraph (e)(2) of Section 32-193 (Use Group IX – uses subject to size limitations) shall not apply.

**115-13
Modification of Use Regulations in M1-4 Districts**

The #use# regulations of the underlying M1-4 District shall apply, except as follows:

- (a) all #uses# listed under Use Group III(B) shall be permitted;
- (b) #uses# listed under Use Group VI with a size limitation, as denoted with an “S” in the Use Group tables set forth in Section 42-16 (Use Group VI – Retail and Services), shall be permitted without size limitation;
- (c) #uses# listed under Use Groups IV(B), IX and X shall be limited to those permitted within M1 Districts in #Special Mixed Use REGULATIONS#, inclusive; and
- (d) such permitted #uses# listed under Use Groups IV(B), IX and X, along with #uses# in Use Group VI that are listed in paragraph (c) of Section 42-163 (Use Group VI – uses subject to additional conditions) shall be located within a #completely enclosed building#.

**115-11
Modifications to Permitted Uses**

[CONSOLIDATING AND CLARIFYING SECTIONS 115-11 THROUGH 115-13]

The underlying #use# regulations shall be modified as follows:

- (a) in M1 Districts paired with a #Residence District#, #uses# listed under Use Group VI with a size limitation, as denoted with an “S” in the Use Group tables set forth in Section 42-16 (Use Group VI – Retail and Services), shall be permitted without size limitation;
- (b) in M2 Districts, no associated size limitations shall apply to grocery and convenience retailers and specialty food retailers, as listed under Use Group VI;
- (c) in C4, C6, M1 Districts paired with a #Residence District# and all #Manufacturing Districts#, #public parking garages#, as listed in Use Group IX, with a capacity of 150 spaces or less, shall be permitted as-of-right; and
- (d) in M1 and M2 Districts, #uses# listed under Use Groups IV(B), IX and X, along with #uses# in Use Group VI that are listed in paragraph (c) of Section 42-163 (Use Group VI – uses subject to additional conditions) shall be located within a #completely enclosed building#.

**115-12
Location of Uses**

[RELOCATING FROM SECTION 115-10, AND MODIFYING]

In C4 and C6 Districts, the provisions of paragraph (d) of Section 32-422 (Location of floors occupied by commercial uses) shall be modified such that eating or drinking establishments listed under Use Group VI shall be permitted on a #story# above #dwelling units#.

**115-14
115-13
Streetscape Regulations**

The underlying #ground floor level# streetscape provisions set forth in Section 32-30 (STREETSCAPE REGULATIONS), inclusive, shall apply, except that #ground floor level# #street# frontages along #streets#, or portions thereof, designated on Map 2 (Ground-Floor Use and Transparency and Curb-Cut Restrictions Streetscape Regulations) in Appendix A of this Chapter shall be considered #Tier C street frontages#, and all other frontages in applicable #Commercial Districts# or in M1 Districts paired with a #Residence District# shall be considered #Tier B street frontages#. In addition to the underlying provisions, #ground floor level# frontages on #Tier C street frontages# shall provide a major #building# entrance onto such #street#, except that where #zoning lot# has frontage on more than one #Tier C street frontage#, a major #building# entrance need only be located on one #street# frontage.

Defined terms in this Section include those in Sections 12-10 and 32-301.

**115-20
SPECIAL BULK REGULATIONS**

The underlying #bulk# provisions shall apply except as modified in this Section, inclusive.

For the purposes of applying the provisions of this Section, the #residential equivalent# for a C6-3 District shall be an R9-1 District in the Core Subdistrict.

**115-21
Floor Area Ratio**

- (a) Maximum #floor area ratio# for #zoning lots# containing non-#residential uses#

In C6-2 and C6-3 Districts, the maximum #floor area ratio# permitted for #commercial# and #community facility uses#, separately or in combination, shall not exceed 6.0 in C6-2 Districts and 8.0 in C6-3 Districts.

In C6-4 Districts, for #commercial uses#, the maximum #floor area ratio# shall be 12.0.

In M1-4 Districts, the maximum #floor area ratio# permitted for #commercial#, #community facility# or #manufacturing uses#, separately or in combination, shall be 2.0.

- (b) Maximum #floor area ratio# for #zoning lots# containing #residential uses#

The maximum #residential# #floor area ratio# shall be as set forth by the underlying district regulations. However, #sky exposure plane buildings# shall not be permitted.

- (c) #Floor area# bonus

For #developments# or #enlargements# on #qualifying transit improvement sites#, a #floor area# bonus for #mass transit station# improvements may be granted by the City Planning Commission pursuant to the provisions of Section 66-51 (Additional Floor Area for Mass Transit Station Improvements). No other #floor area# bonuses shall apply. For the purposes of this paragraph, defined terms additionally include those in Section 66-11 (Definitions).

The underlying #floor area# regulations shall be modified as follows:

- (a) the maximum #floor area ratio# permitted for #commercial# #uses# shall be 8.0 in C6-3 Districts and 12.0 in C6-4 Districts;
- (b) in all Districts, the maximum #floor area ratio# permitted for #residential uses# shall be as set forth pursuant to the underlying district regulations, except that #sky exposure plane buildings# shall not be permitted;
- (c) the maximum #floor area ratios# may only be exceeded where:
 - (1) a #floor area# bonus for #mass transit station# improvements is granted by the City Planning Commission pursuant to the provisions of Section 66-51 (Additional Floor Area for Mass Transit Station Improvements); or
 - (2) a #floor area# bonus for a #public plaza# is granted by the City Planning Commission in accordance with the provisions of Section 115-52 (Authorization for a Public Plaza); and
- (d) for #zoning lots# with a #lot area# of at least 20,000 square feet, up to 150,000 square feet of floor space within a public #school# constructed in whole or in part pursuant to a written agreement with the New York City School Construction Authority and subject to the jurisdiction of the Department of Education shall be exempt from the definition of #floor area#.

115-22**Modification of Rear Yard Regulations**

#Rear yard# requirements shall not apply to non-#residential uses# along such portion of a #lot line# that coincides with a boundary of a railroad right-of-way; or in any portion of a C6-4 District.

115-23**Height and Setback Regulations**

The underlying height and setback regulations shall apply except as modified by the provisions of this Section, inclusive.

For #zoning lots# subject to the sidewalk widening requirements of Section 115-31, the boundary of the sidewalk widening furthest from the #street line# shall be considered the #street line# for the purposes of applying all height and setback regulations.

All heights shall be measured from the #base plane#.

115-231**Permitted obstructions**

The provisions of Section 33-42 (Permitted Obstructions) shall apply to all #buildings# within the #Special Downtown Jamaica District#, except that dormers may penetrate a maximum base height in accordance with the provisions of paragraph (b)(1) of Section 23-413 (Permitted obstructions in certain districts).

115-232**Street wall location**

C4-C6

In the districts indicated, #street walls# shall be provided in accordance with the provisions of this Section.

- (a) For #zoning lot# frontages designated on Map 3 (Street Wall Location) in Appendix A of this Chapter the #street wall# location provisions of paragraph (a) of Section 35-631 shall apply. For the purposes of applying the #street wall# location provisions of this Section, all #streets# shall be considered as #wide street#; and
- (b) For all other #zoning lot# frontages, the #street wall# location provisions of paragraph (b) of Section 35-631 shall apply.

However, such #street walls# need only extend to a minimum base height of 40 feet.

No #street wall# location requirements shall apply to any open space fronting on Sutphin Boulevard between 94th and 95th Avenues provided pursuant to the Jamaica Gateway Urban Renewal Plan, as shown on Map 3.

For #building# walls facing Archer Avenue on Blocks 9988 and 9994, the #street walls# required pursuant to this paragraph (b) shall not be located along the Archer Avenue #street line#, but shall instead be located along the northern boundary of the Public Place mapped on each such block. However, if the Public Place is not mapped on Block 9994, then the #street wall# shall be located on a line perpendicular to 147th Place and passing through a point 51.77 feet distant (as measured along the southwesterly #street line# of 147th Place) from the corner of the northeasterly #street line# of Archer Avenue and the southwesterly #street line# of 147th Place. To accommodate the #development# of a one #story# #building# which may be located within each Public Place, such #street walls# shall have no #building# entrances or windows up to a height of 30 feet within 100 feet of 147th Place on Block 9994 and within 100 feet of 146th Street on Block 9988.

In #Residence Districts#, #Commercial Districts# and M1 Districts paired with a #Residence District#, the underlying #street wall# location provisions shall be modified as follows:

- (a) along Jamaica Avenue, the #street wall# location provisions of paragraph (a) of Section 35-631 shall apply;
- (b) along all other #zoning lot# frontages, the #street wall# location provisions of paragraph (b) of Section 35-631 shall apply. However, for #zoning lots# fronting along 164th Street between Jamaica Avenue and Archer Avenue, or 92nd Road between 164th Street and 165th Street, such #street wall# location provisions need not apply;
- (c) for all Districts, such #street walls# need only extend to a minimum base height of 40 feet; and
- (d) along the following #street# frontages, for #developments# with #building# widths exceeding 100 feet, a minimum of 20 percent of the surface area of such #street walls# above the level of the #second story#, or a height of 30 feet, whichever is lower, shall either recess or project a minimum of three feet from the remaining surface of the #street wall#:
 - (1) Hillside Avenue, between the Van Wyck Expressway and Parsons Boulevard;

- (2) Archer Avenue, between the Van Wyck Expressway and Parsons Boulevard;
- (3) Sutphin Boulevard, between Hillside Avenue and Liberty Avenue; and
- (4) 150th Street, between Hillside Avenue and Liberty Avenue.

115-233**Maximum building height**

C4-C6

The maximum base height for #buildings# shall be provided in accordance with the provisions of Section 23-43, inclusive, for the applicable #residential equivalent#, except that the minimum base height shall be 40 feet. At a height not lower than the minimum base height or higher than the maximum base height specified for the applicable district, a setback shall be provided in accordance with the provisions of Section 23-433 (Standard setback regulations).

After setback, the maximum #building# heights shall as set forth in Section 23-43, inclusive, for the applicable #residential equivalent#, except that:

- (a) in C6-2 and C6-3 Districts, no #building or other structure# shall exceed a height of 250 feet. However, no maximum #building# height limitation shall apply on Block 9993, shown on Map 4 (Maximum Building Height) in Appendix A of this Chapter, if such #block# is #developed# or if a #building# on such #block# is #enlarged#, pursuant to the Jamaica Gateway Urban Renewal Plan; and
- (b) in C6-4 Districts, no #building or other structure# shall exceed a height of 290 feet.

The underlying height and setback provisions shall be modified as follows:

In #Residence# and #Commercial Districts#, all #buildings# shall follow the applicable height and setback regulations for #residences# set forth in Section 23-43 (Height and Setback Requirements in R6 Through R12 Districts), inclusive, in accordance with the applicable #residential equivalent, except that in C6 Districts without a letter suffix, the height and setback provisions of paragraph (b) of Section 123-652 (Special base and building heights) may be applied for the applicable #residential equivalent# in lieu of the provisions of Section 23-434 (Height and setback modifications for eligible sites).

115-30**MANDATORY IMPROVEMENTS****115-31****Sidewalk Widening**

The provisions of this Section shall apply to all #developments# fronting upon locations requiring sidewalk widenings as shown on Map 6 Map 3 (Sidewalk Widening) in Appendix A of this Chapter. A sidewalk widening is a continuous, paved open area along the #street line# of a #zoning lot# having a depth of two feet or five feet, as set forth on Map 6 Map 3. Such depth shall be measured perpendicular to the #street line#. Sidewalk widenings shall be improved as sidewalks to Department of Transportation standards, at the same level as the adjoining public sidewalk and directly accessible to the public at all times. No #enlargement# shall be permitted to decrease the depth of such sidewalk to less than such minimum required total sidewalk depth.

All mandatory sidewalk widenings must provide lighting in accordance with the requirements of Section 37-743, except that the minimum level of illumination shall be not less than two horizontal foot candles throughout the entire mandatory sidewalk widening.

115-40**SPECIAL OFF-STREET PARKING AND OFF-STREET LOADING REGULATIONS**

The underlying off-street parking and loading provisions shall apply except as modified in this Section, inclusive.

115-41**Parking and Loading Regulations**

Within the #Special Downtown Jamaica District#, the underlying off-street parking and loading regulations shall be modified, as follows:

- (a) #Commercial# and #manufacturing uses#.

In C4, C6 and M1 Districts, the off-street parking and loading regulations of a C4-4 District shall apply, except as modified in this Section.

 - (1) For any #use# that is not allowed in a C4 District, the underlying off-street parking requirements of the applicable C6-2, C6-3, C6-4 or M1-4 District shall apply.
 - (2) In C4, C6 and M1 Districts, the provisions of Sections 36-12 and 44-12 (Maximum Size of Accessory Group Parking

Facilities) shall be modified to permit an #accessory# #group parking facility# to contain up to 300 off-street parking spaces. Pursuant to the provisions of Sections 36-13 and 46-13 (Modification of Maximum Size of Accessory Group Parking Facilities), the Commissioner of Buildings may permit such #group parking facility# to contain up to 150 additional spaces.

(3) In C4, C6 and M1 Districts, the provisions of Section 36-21 (General Provisions) pertaining to #accessory# off-street parking spaces for #commercial# or #community facility uses# shall be modified as follows: #uses# in listed under Use Groups VII and IX, with parking requirement category A3, shall be required to provide one parking space per 2,000 square feet of #floor area#.

(4) Modification of Waiver of Parking Requirements

(i) In C4, C6 and M1 Districts, the provisions of Sections 36-23 (Waiver of Requirements for Spaces Below Minimum Number) and 44-23 (Waiver of Requirements for Spaces Below Minimum Number or Certain Small Zoning Lots, Developments or Enlargements) shall only apply to #zoning lots# existing both on September 10, 2007 and on the date of application for a building permit.

(ii) In C4, C6 and M1 Districts, for any #commercial# #use# permitted in a C4 or C6 District, the waiver provisions for a C4-4 District set forth in Section 36-232 (In districts with very low parking requirements) shall not apply. In lieu thereof, the maximum number of #accessory# off-street parking spaces for which requirements are waived shall be 15 spaces, pursuant to the waiver provisions for a C4-2 District set forth in Section 36-231 (In districts with high, medium or low parking requirements).

(b) #Residential uses#

(1) The provisions of Section 25-12 (Maximum Size of Accessory Group Parking Facilities) shall be modified to permit an #accessory# #group parking facility# to contain up to 300 off-street parking spaces. Pursuant to the provisions of Section 25-13 (Modification of Maximum Size of Accessory Group Parking Facilities), the Commissioner of Buildings may permit such #group parking facility# to contain up to 150 additional spaces.

(2) The provisions of Sections 25-52 (Off-site Spaces for Residences) and 25-521 (Maximum distance from zoning lot) shall be modified to permit the location of off-street parking spaces #accessory# to #residences# on a #zoning lot# other than the same #zoning lot# as the #residences# to which such spaces are #accessory#, provided that such #zoning lot# is no more than 1,500 feet from the nearest boundary of the #zoning lot# occupied by the #residences# to which they are #accessory#.

(3) The provisions of Section 36-42 (Off-site Spaces for Residences) and 36-421 (Maximum distance from zoning lot) shall be modified to permit the location of off-street parking spaces #accessory# to #residences# on a #zoning lot# other than the same #zoning lot# as the #residences# to which such spaces are #accessory#, provided that such #zoning lot# is no more than 1,500 feet from the nearest boundary of the #zoning lot# occupied by the #residences# to which they are #accessory#.

The underlying parking and loading provisions shall be modified as follows:

(a) permitted or required off-street parking spaces #accessory# to #residences# may be provided on a #zoning lot# other than the same #zoning lot# as the #residences# to which such spaces are #accessory#, provided that such #zoning lot# is no more than 1,500 feet from the nearest boundary of the #zoning lot# occupied by the #residences# to which they are #accessory#; and

(b) along #Tier C street frontages#, as shown on Map 2 in the Appendix to this Chapter, all curb cuts accessing off-street parking or loading spaces shall be subject to the provisions for R8 Districts set forth in Section 25-631 (Location and width of curb cuts in certain districts).

115-42 Location of Access to the Street

Curb cuts shall be prohibited at locations specified as #Tier C street frontages# on Map 2 (Ground Floor Use and Transparency and Curb Cut Restrictions) in Appendix A of this Chapter.

However, where permitted or required #accessory# off-street parking and loading requirements apply in a location where such curb cuts are prohibited, a curb cut may be allowed, provided that the City Planning

Commission certifies to the Commissioner of Buildings that such #zoning lot# has access only to such prohibited location and that such curb cut shall be no greater than 20 feet in width.

An application to the City Planning Commission for certification respecting such curb cut shall be accompanied by a site plan drawn to a scale of at least one sixteenth inch to a foot, showing the size and location of the proposed curb cut.

The waiver provisions of Article III, Chapter 6 (Accessory Off-street Parking and Loading Regulations), shall not apply to the special location of access requirements of this Section.

115-43 Authorization for Curb Cut

Between 160th Street and a point 205 feet east of 160th Street along Archer Avenue, The City Planning Commission may authorize, subject to the applicable zoning district regulations, curb cuts that are prohibited by Section 115-42 (Location of Access to the Street), provided the Commission finds that a curb cut at such location:

- (a) is not hazardous to traffic safety;
- (b) will not create or contribute to serious traffic congestion, or unduly inhibit vehicular movement;
- (c) will not adversely affect pedestrian movement;
- (d) will not interfere with the efficient functioning of bus lanes, specially designated #streets# and public transit facilities; and
- (e) will not be inconsistent with the character of the existing streetscape.

The Commission may prescribe appropriate conditions and safeguards to minimize adverse effects on the character of the surrounding area.

115-50 SPECIAL PERMIT TO MODIFY USE OR BULK REGULATIONS SPECIAL APPROVALS

115-51 Special Permit to Modify Use or Bulk Regulations

For any #zoning lot# within the #Special Downtown Jamaica District#, the City Planning Commission may permit modification of the #use# or #bulk# regulations, except #floor area ratio# provisions, provided the Commission shall find that such:

- (a) #use# or #bulk# modification will aid in achieving the general purposes and intent of the Special District;
- (b) #use# modification will encourage a lively pedestrian environment along the #street# or mandatory sidewalk widening, or is necessary for, and the only practicable way to achieve, the programmatic requirements of the development;
- (c) #bulk# modifications will enhance the distribution of #bulk# on the #zoning lot#;
- (d) #bulk# modifications will permit adequate access of light and air to surrounding #streets# and properties; and
- (e) #use# or #bulk# modification will relate harmoniously to the character of the surrounding area.

The Commission may prescribe appropriate conditions and safeguards to minimize adverse effects on the character of the surrounding area.

115-52 Authorization for a Public Plaza

In #Commercial Districts# with a #residential equivalent# of an R9 or R10 District, or in M1 Districts paired with an R9 or R10 District, for #zoning lots# with a #lot area# of at least 25,000 square feet, the City Planning Commission may authorize an increase in the maximum #floor area ratio# where a #public plaza# is provided on the #zoning lot# in accordance with the provisions of Section 37-70 (PUBLIC PLAZAS), inclusive.

In conjunction with such #floor area# bonus, the Commission may authorize modifications to the applicable #bulk# regulations of this Resolution, or to the regulations governing #public plazas# in Section 37-70, inclusive.

In order to grant such authorization, the Commission shall determine that the conditions and limitations of paragraph (a) and the findings of paragraph (b) are met.

(a) Conditions and limitations

The following conditions and limitations shall apply:

- (1) For the purposes of determining the bonus ratio to follow:
 - (i) For #Commercial Districts# with a #residential equivalent# of an R9 District, or M1 Districts paired with an R9 District, the underlying bonus ratio for a C6-3 District shall apply; and

- (ii) For #Commercial Districts# with a #residential equivalent# of an R10 District, or M1 Districts paired with an R10 District, the underlying bonus ratio for a C6-4 District shall apply.

The #floor area# bonus resulting from applying such ratio shall not exceed 20 percent of the maximum #floor area ratio# otherwise permitted by the applicable district regulations.

- (2) Modifications to the maximum permitted #building# height shall not result in an increase that exceeds 25 percent of the maximum #building# height otherwise permitted by the applicable district regulations; and
- (3) Modifications to the regulations governing #public plazas# shall be limited to:
 - (i) the basic design criteria set forth in Section 37-71, inclusive, other than the area dimensions of Section 37-712;
 - (ii) the access and circulation provisions set forth in Section 37-72, inclusive, other than hours of access set forth in Section 37-727; and
 - (iii) the types and standards for amenities, set forth in Section 37-74, inclusive.

(b) Findings

The Commission shall find that:

- (1) the public benefit derived from the #public plaza# merits the amount of additional #floor area# being granted pursuant to this Section;
- (2) the #public plaza# will be well-integrated with the overall pedestrian circulation network and contribute to an enhanced streetscape;
- (3) any modification to #bulk# regulations are the minimum extent necessary to reasonably accommodate the #public plaza# and the additional #floor area# granted pursuant to this Section and will not unduly obstruct access to light and air to surrounding #streets# and properties; and
- (4) any modification to #public plaza# regulations are the minimum extent necessary, and will better align such #public plaza# regulations with unique site configurations or with the mixed-use character of the neighborhood.

The Commission may prescribe additional appropriate conditions and safeguards to minimize adverse effects on the character of the surrounding area.

115-53

Authorization for Sites Containing Schools

For zoning lots containing #schools#, the City Planning Commission may authorize the modification of any #bulk# regulation, other than #floor area ratio#, provided that the conditions in paragraph (a) and the findings in paragraph (b) are met.

(a) Conditions

Where maximum height limitations apply, modifications to maximum #building# height limits shall not exceed 30 feet.

(b) Findings

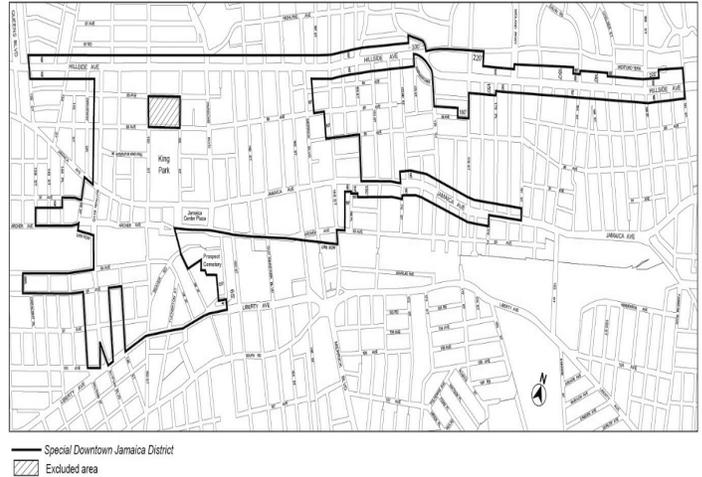
The Commission shall find that:

- (1) such #bulk# modifications are the minimum extent necessary to reasonably accommodate the #school# and other #buildings# on the #zoning lot#;
- (2) the proposed modification does not impair the essential character of the surrounding area; and
- (3) the proposed modification will not unduly obstruct access of light and air to surrounding #streets# or properties.

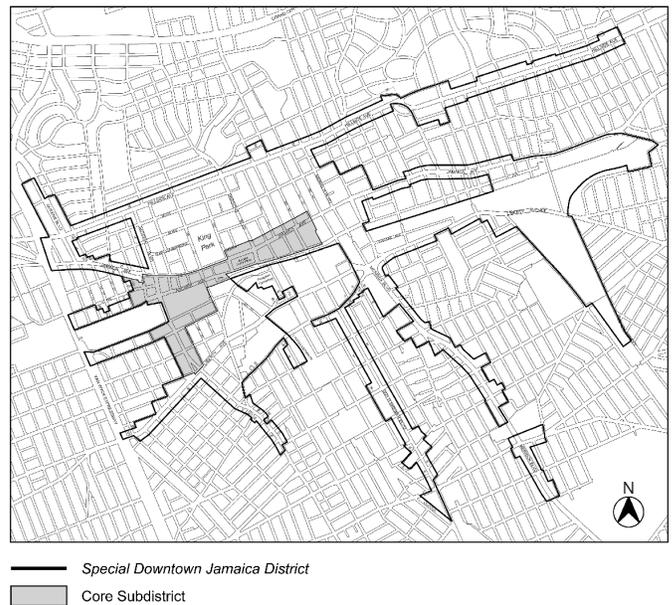
**Appendix A
Special Downtown Jamaica District Maps**

Map 1 — Special Downtown Jamaica District

[EXISTING MAP]

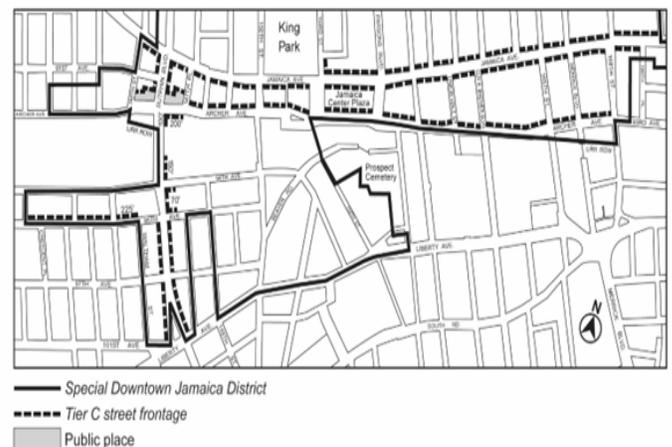


[PROPOSED MAP]



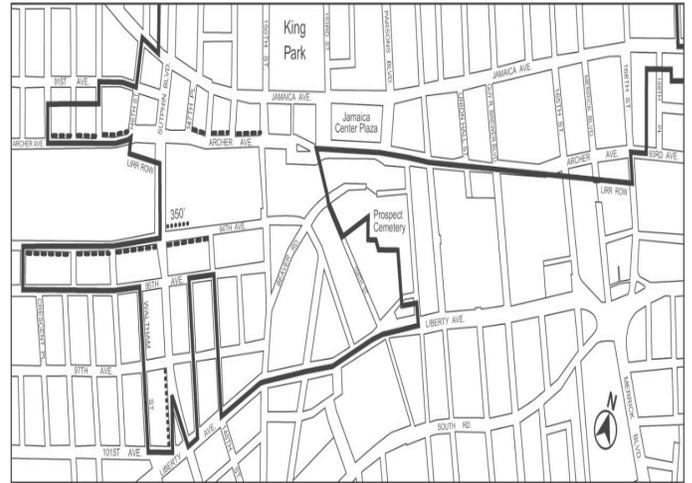
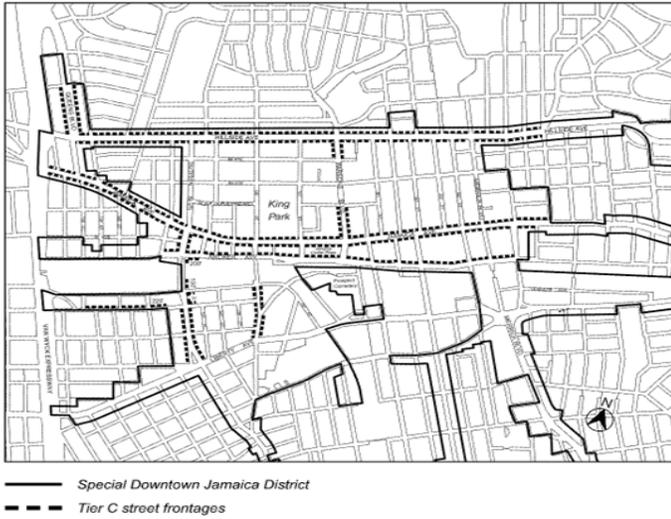
Map 2 — Ground Floor Use and Transparency and Curb-Cut Restrictions Streetscape Regulations

[EXISTING MAP]



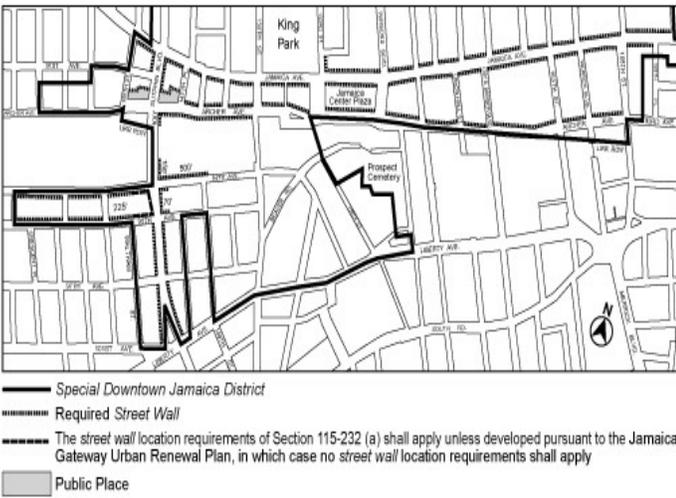
[PROPOSED MAP]

[EXISTING MAP]



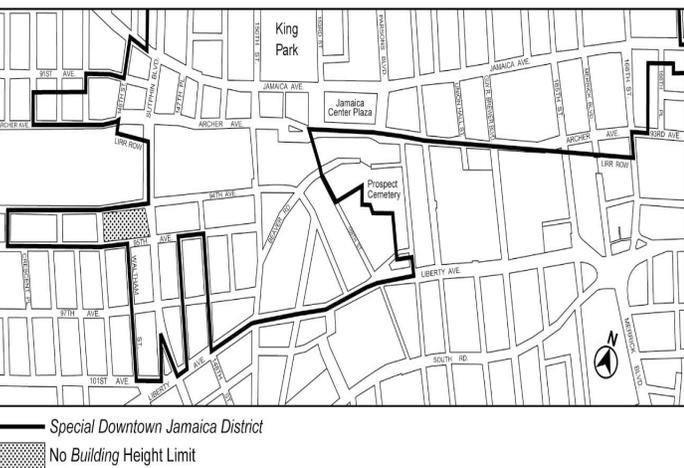
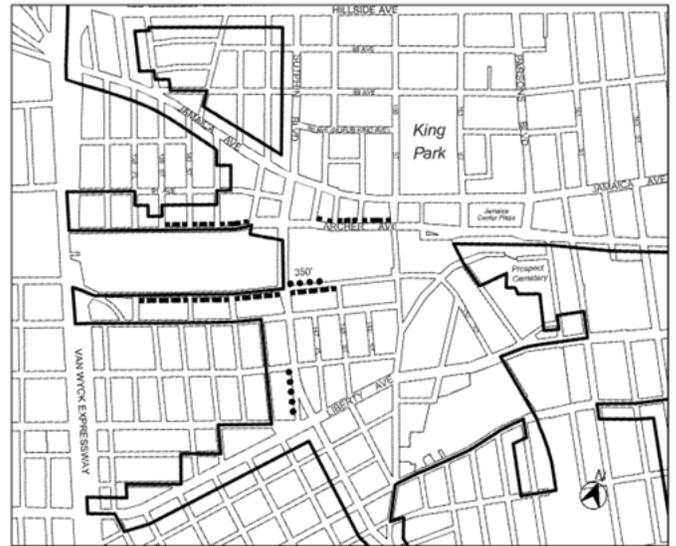
Map 3 — Street Wall Location
[EXISTING MAP]

Special Downtown Jamaica District
 2' Sidewalk Widening
 - - - - - 5' Sidewalk Widening



Map 4 — Maximum Building Height
[EXISTING MAP]

[PROPOSED MAP]



Map 5 Map 3 — Sidewalk Widening

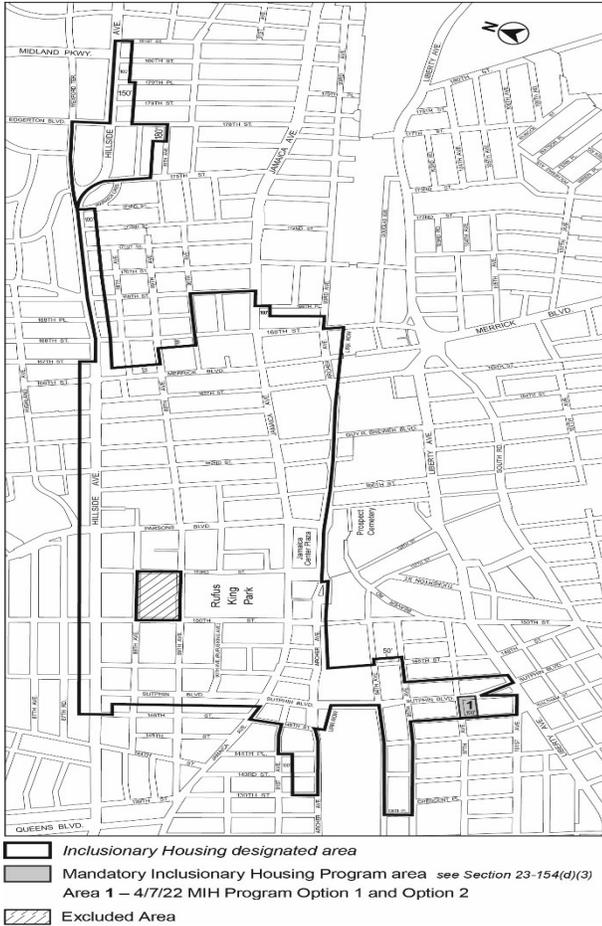
APPENDIX F
Mandatory Inclusionary Housing Areas and former
Inclusionary Housing Designated Areas

QUEENS

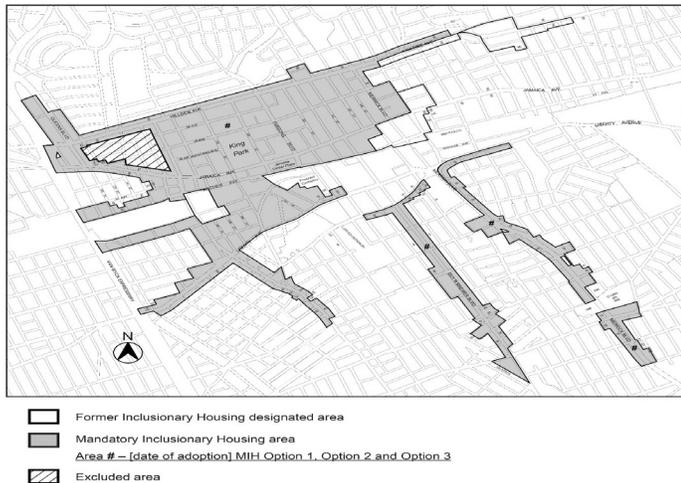
Queens Community Districts 8 and 12

Map 1 - [date of adoption]

[EXISTING MAP]



[PROPOSED MAP]



Portion of Community Districts 8 and 12, Queens

* * *

No. 4

CD 12 **C 250171 HAQ**
IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD)

1. pursuant to Article 16 of the General Municipal Law of New York State for:

- a. the designation of property located at 108-41-108-51 Union Hall Street (Block 10150, Lots 6, 7, 8, 10), 108-32 - 108-34 Guy R Brewer Boulevard (Block 10150 Lots 51, 52), 108-38 Guy R Brewer Boulevard (Block 10150, Lot 54), 108-44 Guy R Brewer Boulevard (Block 10150, Lot 57), 109-43 - 109-47 Union Hall Street (Block 12152, Lots 8, 9, 10, 11) as an Urban Development Action Area; and
 - b. an Urban Development Area Project for such area; and
2. pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer to be selected by HPD;

to facilitate the development of income restricted housing units pursuant to zoning, Borough of Queens, Community District 12.

No. 5

CD 12 **C 250187 MMQ**
IN THE MATTER OF an application submitted by the New York City Department of Transportation and the New York City Economic Development Corporation pursuant to Sections 197-c and 199 of the New York City Charter and Section 5-430 et seq. of the New York City Administrative Code for an amendment to the City Map involving: 1. the narrowing and re-alignment of Archer Avenue between 144th Place and 147th Place; and 2. the discontinuance and closing of a portion of Archer Avenue between 144th Place and 146th Street; and 3. the establishment and elimination of public places along Archer Avenue between 144th Place and 147th Place; and 4. the adjustment of grades and block dimensions necessitated thereby; including authorization for any acquisition or disposition of real property related thereto, in Community District 12, Borough of Queens, in accordance with Map No. 5048 dated April 1, 2025, and signed by the Borough President.

NOTICE

On Wednesday, July 2, 2025, a public hearing is being held by the City Planning Commission (CPC), accessible in-person and remotely, in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS) concerning an application by The City of New York. The City of New York, acting through the Department of City Planning (DCP), is proposing a series of land use actions - including zoning map amendments, zoning text amendments, City Map amendments, designations of Urban Development Action Areas (UDAA), approval of an Urban Development Action Area Project (UDAAP), and disposition of city-owned property - to implement land use and zoning recommendations in the Jamaica neighborhood. The Proposed Actions would affect an approximately 230-block area focused around Downtown Jamaica (also commonly referred to as Jamaica Center), the industrial districts to the south and east, and portions of Jamaica's key corridors including Hillside Avenue, Jamaica Avenue, Liberty Avenue, Sutphin Boulevard, Guy R. Brewer Boulevard, and Merrick Boulevard. The Project Area is generally bounded by Hillside Avenue to the north, the Van Wyck Expressway Service Road to the west, 109th Avenue, 115th Avenue, and 116th Avenue to the south; and 191st Street and Farmers Boulevard to the east. The majority of the Project Area is located in Queens Community District 12, with a portion along Hillside Avenue and Queens Boulevard located in Community District 8. Overall, the Proposed Actions are expected to facilitate development on 103 projected development sites, resulting in a net increase of approximately 12,235,310 gross square feet (gsf) of residential floor area (12,319 dwelling units), including approximately 2,500 - 3,7441 permanently income-restricted homes, 1,476,220 gsf of commercial space, 836,034 gsf of community facility space, 24,818 gsf of industrial space, and 1,994,252 gsf of warehouse space and a net decrease of approximately 24,193 gsf of auto-related uses and 72 accessory parking spaces. It is expected that the projected development included in the Reasonable Worst Case Development Scenario (RWCDs) would be built by 2040, following approval of the proposed actions.

Written comments on the DEIS are requested and will be received and considered by the Lead Agency through 5pm on Monday, July 14, 2025.

For instructions on how to submit comments and participate, both in-person and remotely, please refer to the instructions at the beginning of this agenda.

This hearing is being held pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 24DCP132Q.

**BOROUGH OF STATEN ISLAND
No. 6
THE HILLSIDE SWIMMING CLUB, INC.**

CD 2 C 250061 ZSR
IN THE MATTER OF an application submitted by Hillside Swimming Club, Inc. pursuant to Sections 197-c and 201 of the New York City Charter for the grant of a special permit pursuant to Section 74-133 of the Zoning Resolution to allow a non-commercial club with swimming pools located less than 500 feet from any lot line, on property located at 151 Signs Road (Block 2145, Lot 25), in an R3X District.

Plans for this proposal are on file with the City Planning Commission and may be seen on the Zoning Application Portal at <https://zap.planning.nyc.gov/projects/2022R0315> or the Department of City Planning at 120 Broadway, 31st Floor, New York, NY 10271-0001.

Sara Avila, Calendar Officer
City Planning Commission
120 Broadway, 31st Floor, New York, NY 10271
Telephone (212) 720-3366

Accessibility questions: AccessibilityInfo@planning.nyc.gov, 212-720-3366, by: Thursday, June 26, 2025 5:00 P.M.



j17-2

**COMMISSION TO STRENGTHEN LOCAL
DEMOCRACY**

■ PUBLIC HEARINGS

Please be advised that the New York City Commission to Strengthen Local Democracy will hold a public hearing on Land Use:

**Thursday, June 26th
5:00 - 7:00 P.M.
Sunset Park Library, Community Rooms 1/2
5108 4th Avenue, Brooklyn**

This meeting is open to the public and centers on Land Use (Fair Housing, Community Planning, ULURP, Leasing Fraud Prevention and more). **In order to testify in person or via zoom you must register** (<https://forms.office.com/g/aG6qaQ8AVs>). We ask that you register 24 hours prior to the public hearing but will accept registrations up to and during the first 30 minutes of the hearing. Each member of the public will be given three (3) minutes to testify. If possible, **we request written testimony be submitted to** info@thecommission.nyc.

Public testimony will be accepted in person or via Zoom until 7:00 P.M. If you are unable to testify due to time constraints, written testimony of any length will continue to be accepted for the public record up to 72 hours after the meeting ends. If you're testifying remotely, you will receive an email prior to the start of the hearing with information on how to join the hearing via Zoom.

The public can watch the hearing via Zoom. (<https://us06web.zoom.us/j/84552354250>)

What if I need assistance to observe the meeting?

This location is accessible to individuals using wheelchairs or other mobility devices. With advance notice, American Sign Language interpreters will be available, and members of the public may request induction loop devices and language translation services. Please make induction loop, language translation or additional accessibility requests by Thursday, June 19th at 5:00 P.M. by indicating on your registration or emailing the Commission at info@thecommission.nyc. All requests will be accommodated to the extent possible.

j20-26

Please be advised that the New York City Commission to Strengthen Local Democracy will hold a public hearing on recommendations for amending the Charter:

**Tuesday, July 1st
5:00 - 7:00 P.M.
Queens Public Library, Central Branch, Auditorium
89-11 Merrick Boulevard, Jamaica**

This meeting is open to the public and will hear testimony on proposed amendments to the City Charter. **In order to testify in person or via zoom you must register** (<https://forms.office.com/g/R2EAnEzdnW>). We ask that you register 24 hours prior to the public

hearing but will accept registrations up to and during the first 30 minutes of the hearing. Each member of the public will be given three (3) minutes to testify. If possible, **we request written testimony be submitted to** info@thecommission.nyc.

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The public can watch the hearing via Zoom. (<https://us06web.zoom.us/j/87698544274>)

What if I need assistance to observe the meeting?

This location is accessible to individuals using wheelchairs or other mobility devices. With advance notice, American Sign Language interpreters will be available, and members of the public may request induction loop devices and language translation services. Please make induction loop, language translation or additional accessibility requests by Thursday, June 25th at 5:00 P.M. by indicating on your registration or emailing the Commission at info@thecommission.nyc. All requests will be accommodated to the extent possible.

j25-2

LANDMARKS PRESERVATION COMMISSION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that pursuant to the provisions of Title 25, Chapter 3 of the Administrative Code of the City of New York (Sections 25-303, 25-307, 25-308, 25-309, 25-313, 25-318, 25-320) on Tuesday, July 8, 2025, at 9:30 A.M., a public hearing will be held in the public hearing room at 253 Broadway, 2nd Floor, Borough of Manhattan, with respect to the following properties, and then followed by a public meeting. Participation by video conference may be available as well. Please check the hearing page on LPC's website (<https://www.nyc.gov/site/lpc/hearings/hearings.page>) for updated hearing information.

The final order and estimated times for each application will be posted on the Landmarks Preservation Commission website the Friday before the hearing. Please note that the order and estimated times are subject to change. An overflow room is located outside of the primary doors of the public hearing room. Any person requiring reasonable accommodation in order to participate in the hearing or attend the meeting should contact Steven Thomson, Director of Community and Intergovernmental Affairs, at sthomson@lpc.nyc.gov or 212-669-7923 no later than five (5) business days before the hearing or meeting. Members of the public not attending in person can observe the meeting on LPC's YouTube channel at www.youtube.com/nyclpc and may testify on particular matters by joining the meeting using either the Zoom app or by calling in from any phone. Specific instructions on how to observe and testify, including the meeting ID and password, and the call-in number, will be posted on the agency's website, on the Monday before the public hearing.

**4695 Independence Avenue - Individual Landmark
LPC-25-09048 - Block 5924 - Lot 480 - Zoning: R-11
CERTIFICATE OF APPROPRIATENESS**

A Picturesque style cottage attributed to James Renwick Jr. and Joseph Sands and built in 1863-68. Application is to construct an addition and replace roofing materials.

**126 Pierrepont Street - Brooklyn Heights Historic District
LPC-25-10609 - Block 243 - Lot 46 - Zoning: C5-2A, DB
CERTIFICATE OF APPROPRIATENESS**

An Anglo-Italianate style rowhouse built in 1860. Application is to install a balcony at the rear façade.

**1 Main Street - DUMBO Historic District
LPC-25-07440 - Block 27 - Lot 7501 - Zoning: C6-2A
CERTIFICATE OF APPROPRIATENESS**

An Industrial Neo-Classical style factory building designed by William Higginson and built in 1914. Application is to establish a master plan governing the future installation of windows.

**Eastern Parkway - Multiple
LPC-25-11028 - Block 0 - Lot 0 - Zoning: Parkland
BINDING REPORT**

A parkway designed by Frederick Law Olmsted and Calvert Vaux and built in 1870-74. Application is to install signs and paving.

**30 Sterling Place - Park Slope Historic District Extension II
LPC-25-12058 - Block 944 - Lot 21 - Zoning: R6B**

CERTIFICATE OF APPROPRIATENESS

An Italianate style rowhouse built in 1874. Application is to construct a rear yard addition with an elevated rear deck.

491 East 17th Street - Ditmas Park Historic District
LPC-25-04592 - Block 5181 - Lot 64 - **Zoning:** R1-2

CERTIFICATE OF APPROPRIATENESS

A Colonial Revival style freestanding house designed by Seth H. Cutting and built in 1920. Application is to modify the driveway.

1123 Albemarle Road - Prospect Park South Historic District
LPC-25-05796 - Block 5092 - Lot 22 - **Zoning:** R1-2

CERTIFICATE OF APPROPRIATENESS

A house designed by Carroll H. Pratt and built in 1902 and later altered by the mid-20th century. Application is to alter the façade and construct a porch.

140 West Street - Individual and Interior Landmark
LPC-25-07942 - Block 84 - Lot 7501 - **Zoning:** C6-4, LM

CERTIFICATE OF APPROPRIATENESS

An American Art Deco style skyscraper designed by Ralph Walker and built in 1923-27. Application is to modify window assemblies and install balconies.

344 Bowery - NoHo Historic District Extension
LPC-25-09497 - Block 530 - Lot 7506 - **Zoning:** C6-1

CERTIFICATE OF APPROPRIATENESS

A Renaissance Revival style store and loft building designed by Frank Wennemer and built in 1892-93. Application is to install a painted wall mural.

465 6th Avenue, aka 101 West 11th Street - Greenwich Village Historic District
LPC-25-04392 - Block 607 - Lot 47 - **Zoning:** C1-6

CERTIFICATE OF APPROPRIATENESS

A Greek Revival style rowhouse built in 1842 and later altered with an additional story. Application is to legalize the installation of storefront infill without Landmarks Preservation Commission permit(s) and install signage and awnings.

94 Bank Street - Greenwich Village Historic District
LPC-25-00834 - Block 634 - Lot 58 - **Zoning:** C1-6

CERTIFICATE OF APPROPRIATENESS

A Greek Revival style rowhouse built in 1838-39. Application is to construct rooftop and rear yard additions, replace windows and excavate the rear yard.

521 West 25th Street - West Chelsea Historic District
LPC-25-11234 - Block 697 - Lot 13 - **Zoning:** M1-5, WCH

CERTIFICATE OF APPROPRIATENESS

A Factory style building designed by Schickel & Ditmars and built in 1900-1901. Application is to modify masonry openings and install storefront infill and signage.

2-6 East 66th Street - Upper East Side Historic District
LPC-25-11656 - Block 1380 - Lot 69 - **Zoning:** R10R8B/P1

CERTIFICATE OF APPROPRIATENESS

A Neo-Italian Renaissance style apartment building designed J.E.R. Carpenter and built in 1919-20. Application is to modify window openings and install balconies.

j24-jy8

RENT GUIDELINES BOARD

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN THAT THE NEW YORK CITY RENT GUIDELINES BOARD (RGB) will hold a public hearing on **June 27, 2025** at the NYC Department of Health, 125 Worth Street, 2nd Floor Auditorium, New York, NY 10007 from 10:00 A.M. to 12:00 P.M. to consider public comments concerning proposed rent adjustments on leases for apartments, lofts, hotels (including class A and class B hotels, SROs, rooming houses and lodging houses) and other housing units subject to the Rent Stabilization Law of 1969 and the Emergency Tenant Protection Act of 1974. These adjustments will affect leases commencing between October 1, 2025 through September 30, 2026.

Anyone who wants to comment on the proposed rule at a public hearing must sign up to speak. People wishing to speak at the public hearings can pre-register in advance. Pre-registration of speakers is advised. You can pre-register online through our website, nyc.gov/rgb, or you can sign up to speak by calling 212-669-7480 from 9:00 A.M. till 5:00 P.M., Monday through Friday. Pre-registration requests for the hearing must be received before 12:00 P.M. one business day prior to the public hearing date. For those who do not pre-register, registration is also available at the public hearings. You can register in-person from

10:00 A.M. to 12:00 P.M. on June 27. You will have two minutes to speak. For further information and to pre-register for a public hearing, call the RGB at (212) 669-7480.

Written requests for pre-registration must be received at the office of the Board at 1 Centre Street, Suite 2210, New York, NY 10007 by 12:00 P.M. on the business day prior to the public hearing date. Written requests for registration can be emailed to csuperville@rgb.nyc.gov or mailed to the Rent Guidelines Board at the address listed above.

This hearing is wheelchair accessible and Spanish interpretation will be provided. Persons who request that a language interpreter, other than Spanish, or a sign language interpreter or other form of reasonable accommodation for a disability be provided at any of the scheduled hearings must notify Ms. Charmaine Superville at the NYC Rent Guidelines Board at (212) 669-7480 or via email at csuperville@rgb.nyc.gov by June 16, 2025 no later than 4:30 P.M. to ensure that accommodations can be made.

The public is invited to observe all public meetings and public hearings but is invited to speak only at the public hearings. All public hearings may be livestreamed from YouTube at: <https://www.youtube.com/RentGuidelinesBoard>. Members of the public must be present at the public hearing location in order to testify.

In addition to in-person testimony, the RGB is providing platforms for submitting both audio and video comments. Audio and video comments must be received by Tuesday, June 27, 2025, to be considered before the final vote. Audio comments can be recorded via voicemail by dialing 929-256-5472. When prompted, you will have up to two minutes to speak. You can also submit prerecorded audio and video comments of up to two minutes in length. Instructions for how to submit these prerecorded comments are available on the Board's website at <https://rentguidelinesboard.cityofnewyork.us/testimony/>.

Proposed rent guidelines for all of the above classes of stabilized housing units were adopted on **May 27, 2025**. Copies of the proposed guidelines are available from the NYC Rent Guidelines Board office at the above listed address, at the Board's website nyc.gov/rgb, or at rules.cityofnewyork.us.

j16-26

TEACHERS' RETIREMENT SYSTEM

■ MEETING

Please be advised that the next Board Meeting of the Teachers' Retirement System of the City of New York (TRS) has been scheduled for Thursday, June 26, 2025 at 3:30 P.M.

The meeting will be held at the Teachers' Retirement System, 55 Water Street, 16th Floor, Boardroom, New York, NY 10041.

The meeting is open to the public. However, portions of the meeting, where permitted by law, may be held in executive session.

The remote Zoom meeting link, meeting ID, and phone number will be available approximately one hour before the start of the meeting at: <https://www.trsnyc.org/memberportal/About-Us/ourRetirementBoard>

Learn how to attend TRS meetings online or in person: <https://www.trsnyc.org/memberportal/About-Us/ourRetirementBoard/AttendingTRSM Meetings>

j20-26

PROCUREMENT

"Compete To Win" More Contracts!

Thanks to a new City initiative - "Compete To Win" - the NYC Department of Small Business Services offers a new set of FREE services to help create more opportunities for minority and Women-Owned Businesses to compete, connect and grow their business with the City. With NYC Construction Loan, Technical Assistance, NYC Construction Mentorship, Bond Readiness, and NYC Teaming services, the City will be able to help even more small businesses than before.

● Win More Contracts, at nyc.gov/competetowin

“The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed, to the City’s prestige as a global destination. The contracting opportunities for construction/construction services and construction-related services that appear in the individual agency listings below reflect that commitment to excellence.”

HHS ACCELERATOR PREQUALIFICATION

To respond to human services Requests for Proposals (RFPs), in accordance with Section 3-16 of the Procurement Policy Board Rules of the City of New York (“PPB Rules”), vendors must first complete and submit an electronic HHS Accelerator Prequalification Application using the City’s PASSPort system. The PASSPort system is a web-based system maintained by the City of New York for use by its Mayoral Agencies to manage procurement. Important business information collected in the Prequalification Application is required every three years. Documents related to annual corporate filings must be submitted on an annual basis to remain eligible to compete. Prequalification applications will be reviewed to validate compliance with corporate filings and organizational capacity. Approved organizations will be eligible to compete and would submit electronic proposals through the PASSPort system. The PASSPort Public Portal, which lists all RFPs, including HHS RFPs that require HHS Accelerator Prequalification, may be viewed, at https://passport.cityofnewyork.us/page.aspx/en/rfp/request_browse_public

All current and prospective vendors should frequently review information listed on roadmap to take full advantage of upcoming opportunities for funding. For additional information about HHS Accelerator Prequalification and PASSPort, including background materials, user guides and video tutorials, please visit <https://www.nyc.gov/site/mocs/hhsa/hhs-accelerator-guides.page>

ADMINISTRATION FOR CHILDREN’S SERVICES

OFFICE OF INFORMATION TECHNOLOGY

■ AWARD

Services (other than human services)

IT PRODUCTION SUPPORT - DEVOPS ENGINEER - M/WBE
Noncompetitive Small Purchase - PIN# 06825W0049001 - AMT: \$198,913.00 - TO: Innovee Consulting LLC, 1345 Avenue of the Americas, 2nd Floor, New York, NY 10105.

• j26

TEAMVIEWER - M/WBE Noncompetitive Small Purchase - PIN# 06825W0048001 - AMT: \$46,550.00 - TO: NYC IT Inc., 110 Avoca Avenue, Massapequa Park, NY 11762.

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CITYWIDE ADMINISTRATIVE SERVICES

DIVISION OF MUNICIPAL SUPPLY SERVICE

■ SOLICITATION

Goods

85725B0104-2500076-MOBILE LIFT SYSTEM (FOUR POST) - DSNY - Competitive Sealed Bids - PIN# 85725B0104 - Due 7-29-25 at 10:30 A.M.

The New York City Department of Citywide Administrative Services (“DCAS”) is issuing a solicitation to obtain bids for the procurement Mobile Lift System (Four Post) - DSNY. Please see the solicitation documents for additional details. Please submit your proposals by both acknowledging the receipt of the RFx in the Acknowledgement tab and completing your response in the Manage Responses tab. Vendor resources and materials can be found at the link below under the Finding and Responding to RFx heading. If you need additional assistance with PASSPort, please contact the MOCS Service Desk at <https://mocssupport.atlassian.net/servicedesk/customer/portal/8> Link: <https://www1.nyc.gov/site/mocs/systems/passport-user-materials.page> For Virtual Bid Opening, please use the following Meeting ID: 290 016 451 1390 Passcode: EC3EA3iu Dial in by phone +1 646-893-7101: United States, New York City Find a local number Phone conference

ID:205 293 751 Join on a video conferencing device Tenant key: cityofnewyork@m.webex.com Video ID: 118 918 1180.

Bid opening Location - 1 Centre Street, New York, NY 10007.

• j26

EMERGENCY MANAGEMENT

■ SOLICITATION

Services (other than human services)

NOTIFY NYC OUTREACH TO IMMIGRANT NEW YORKERS

- Competitive Sealed Proposals - Other - PIN# 01725P0002 - Due 7-23-25 at 4:00 P.M.

New York City Emergency Management is seeking up to five contractors that can create original art and graphic designs to conduct targeted and culturally competent engagement. The goal of this initiative is to increase subscriptions to Notify NYC among New Yorkers with limited English proficiency in the following languages, Spanish, Chinese (Notify alerts are currently issued in Traditional Chinese) Russian, Bengali, and French.

Responses to this CSP must be submitted via PASSPort. To access the solicitation, vendors should visit the PASSPort Public Portal at the following website: <https://a0333-passportpublic.nyc.gov/rfx.html>

To locate this project, please enter EPIN **01725P0002** into the “KEYWORD” field and select **Office of Emergency Management** from the “AGENCY” field drop down.

If you had any issues or questions locating this project please reach out to procurement@oem.nyc.gov

• j26

HOUSING AUTHORITY

CONSTRUCTION

■ SOLICITATION

Goods and Services

GRAFFITI REMOVAL (INCLUDING PAINTING AND DEBRIS REMOVAL) INTERIOR & EXTERNAL CITYWIDE - Competitive Sealed Bids - Due 7-24-25 at 10:00 A.M.

- 514481 - Bronx
- 514482 - Brooklyn
- 514483 - Manhattan
- 514484 - Queens/Staten Island

SCOPE OF WORK

A. Perform all graffiti removal work with qualified and trained staff in a professional manner. For this service, graffiti is defined as the unauthorized drawing or marking on surfaces of City property, including placement of adhesive stickers.

B. Furnish all labor, material, equipment, vehicles, tools, supplies, insurance(s), permits and manufactured articles including but not limited to pressure washer, digital camera, paint, and graffiti removal products as well as furnishing all transportation including fuel, power, water, and essential communications for the performance of the Work.

PROCEDURES

A. Prior to the commencement of the Work, attend a pre-start meeting with Borough and Development Representatives at a scheduled location. Begin Work at each location only after receiving a “Work Authorization” form which will be faxed or emailed to the Contractor by the Development where the Work will be performed.

B. The Development Property Maintenance Supervisor (PMS) shall then arrange a start date with the Contractor. Once Work is started at a Development said Work shall continue on a regular basis until all authorized Work is completed. If the Contractor does not respond within a timely fashion, the Authority reserves the right to obtain services of others and back charge the Contractor for all damages and costs incurred.

C. Complete Work on each Work Authorization the same day on which the request for service was received. Work shall be performed between the hours of 8:00 A.M. to 4:00 P.M. Authorization for Work other than during normal working hours shall come only from the Property Maintenance Supervisor or the Borough Management’s office.

D. Upon arrival at the Development, the Contractor shall sign the Contractor's logbook located in the Maintenance Office and obtain the exact location of the Work scheduled. **NOTE IN THE LOGBOOK THE FOLLOWING INFORMATION: DATE, CONTRACTOR'S NAME, CONTRACT NUMBER, AUTHORIZATION NUMBER, FOREMAN'S NAME, WORK LOCATION AND THE NUMBER OF WORKERS ASSIGNED TO THE WORK SITE FOR THAT DAY.**

E. In performing the Work, the Contractor shall ensure there is minimal interruption to building services and utilities. Whenever possible, perform Work so that the building services can be continuously provided.

F. Bidders are encouraged to visit the Developments covered in this contract to ascertain the various types of graffiti that shall be removed from building structures and/or grounds. Contractors may gain entry to the Work areas for inspection purposes by visiting the Development's Property Management Office as indicated in the contract.

G. Before removing graffiti, the Contractor shall photograph graffiti area(s) and again after graffiti removal for documentation purposes (before and after photos). Digital photographs shall be saved with the date, name of the assigned Development and location address of each job task. Digital photos of the abated sites and an accompanying photo disk shall be provided along with each monthly payment package.

CLEANING MATERIALS/EQUIPMENT

1. The Contractor shall use only cleaning materials recommended by the manufacturer of surface to be cleaned. If no cleaning instructions exist, the Contractor shall use cleaning material for the type of surface being cleaned such as wood, metal, plastic, cleaning solutions for a particular surface.

2. Each type of cleaning material shall be used on only those surfaces recommended by the cleaning material manufacturer.

3. Contractor shall provide all products and supplies necessary to complete the services detailed in this specification. Cleaning materials shall be inspected by the NYCHA Property Management Representative prior to start of cleaning operation for acceptance of cleaning material for use at the development.

4. Storage areas of differing size shall be made available at each site for storing such supplies and equipment.

5. All Work shall be performed in accordance with established practices, using modern techniques accepted by the industry.

GRAFFITI REMOVAL MATERIALS

1. All graffiti removal materials and methods employed must meet EPA Design for the Environment Program, Federal and New York State Executive Orders.

2. The graffiti removal chemical/cleanser shall be citrus based for use on all "unpaintable" surfaces such as brick, cinderblock, cement and stone. For all interior and presently painted surfaces, a soy-based removal chemical/cleanser shall be utilized. All products shall be used in strict accordance with the manufacturers' instructions.

GRAFFITI REMOVAL PROCESS

1. Graffiti removal shall be from the interior and exterior of any building(s) and structure(s) and throughout the grounds of any Development(s) covered under this Contract using the following approved methods in accordance with best trade practices and is inclusive of but not limited to the following unpainted surfaces and substrates:

- Unpainted brick, concrete and other masonry surfaces and structures.
- Stainless Steel, Aluminum, Galvanized and Anodized Metal surfaces.
- Factory finished surfaces.
- Glass surfaces.
- Tile surfaces.

2. For presently painted surfaces (on a case-by-case basis - only those surfaces that will be undamaged by treatment), the Contractor must first test a small inconspicuous area prior to beginning treatment.

3. The Contractor shall supply all water required for the removal of graffiti. The Contractor may make a request of the Authority to supply water at any one Development; however, the Authority shall not be obligated to approve such request.

4. The Contractor shall contain all water used during the graffiti removal process from leaking onto floors within residential buildings. Each time Work is completed, the Contractor is responsible for cleaning and removing from each Work area, all debris, materials and equipment associated with the Work performed.

5. Power washing may be required for some surfaces; in such case it is the Contractor's responsibility to ensure that the disposal of all wastewater and debris is conducted in accordance with all existing federal, state, and local regulations. Wastewater shall not contaminate any potable water sites and shall use drains that do not empty directly into any outlet leading directly to any river, stream or bay without NYSDEC approval.

6. Contractor shall furnish at his/her own expense, all labor, equipment and materials necessary for the satisfactory performance of graffiti removal as set forth herein. Contractor shall remove graffiti from all residential and commercial structures/grounds. Methods of removal may include chemical removal, water blasting or other pressurized removal systems, or other eradication procedures as approved by the Administrator of this contract.

7. The Contractor shall determine the most effective method(s) for removal of graffiti at each location. The method(s) of removal shall vary depending upon the type of graffiti and condition of the surface. Contractor shall use care to avoid damage(s) to existing improvements (e.g., windows, doors, walls etc.). Existing improvements damaged by the Contractor shall be repaired/replaced by the Contractor at the Contractor's full expense to the satisfaction of NYCHA. NYCHA shall not incur any of such costs.

8. The Contractor shall properly prepare all stucco, masonry, metal, wood, or other exterior/interior surfaces in a manner that will result in an acceptable bonding of the applied paint and deter visibility of graffiti; **(no lead-based-paints shall be used).**

9. All applicable material shall be applied in such a manner as will ensure smooth, even, uniform coats free of dirt, drips, ridges, waves, drops, runs, brush marks, sags and laps. If any of these existed before, they shall be properly corrected and prepared prior to painting. Once completed, the task shall represent a first-class workmanlike appearance.

10. Paint shall be applied under dry, dust-free conditions and shall not be applied when the temperature is below forty (40) degrees Fahrenheit. All primer and intermediate coats of paint shall be unscarred and completely integral as well as completely dry at the time of the application or each secondary coat of paint.

11. All new paint must match the form and type and color of the old paint; i.e. flame retardant paint with graffiti on it, must be painted over with flame retardant paint and so on.

12. The cleaning products to be used shall be submitted. The pre-abatement pictures shall need to be reviewed to determine that the graffiti is not an elevation higher than ten (10) feet above ground level.

13. The bidder must show proof that the proposed product has been successfully utilized. The proof shall be in the form of letter from an agency or an owner of residential or commercial buildings stating the following:

- Addresses of buildings and properties where the material was used.
- Telephone number of a managing agent or owner of such buildings and properties.
- A statement by the managing agent or owner verifying that the material performed satisfactorily.

TERM: 3 years plus two one-year extensions (at the discretion of NYCHA).

Section 3 and M/WBE: Please be advised that the Section 3 REO & OEO Plans and the M/WBE Utilization Plan & Waiver and other related documentation must be uploaded via eComply, <https://nycha.ecomply.us/>. Do not include Section 3 or M/WBE documentation within your bid submission via iSupplier. For assistance with eComply log-in, please contact eComply Tech support at support@ecomplysolutions.com. For assistance with M/WBE Utilization Plan and Section 3 REO/OEO Plan submission in eComply, please contact NYCHA's SMP Vendor Diversity team at eComply.support@nycha.nyc.gov.

Pre-Bid Conference. A non-mandatory virtual Pre-Bid Conference will be held on **July 1st, 2025 at 10:30 A.M.** and will be conducted remotely via Microsoft Teams meeting. Although attendance is not mandatory at the Pre-Bid Conference, it is strongly recommended that all interested Bidders attend, and that Bidders thoroughly review bid documents in advance of the meeting.

To participate in the Pre-Bid Conference, please follow the instructions below:

Microsoft Teams Meeting

Join on your computer or mobile app: click to join meeting

Option 1: Copy and paste the below in browser:

https://teams.microsoft.com/l/meetup-join/19%3ameeting_MzZIMDgwNDAZWMxNS00MTcLTg4NjgtZDcxNzc1Y2E5N2Ez%40thread.v2/0?co

ntext=%7b%22Tid%22%3a%22709ab558-a73c-4f8f-98ad-20bb096cd0f8%22%2c%22Oid%22%3a%22d3ad4d7d-b23c-46b6-a970-2e5863640413%22%7d

Meeting ID: 239 532 455 955

Passcode: gy2Tq9RD

Option 2: Call in (audio only) +1646-838-1534,,173964747# United States, New York City

Phone conference ID: 173 964 747#

RFQ Timeline:

RFQ Question Submission Deadline 7/3/25 at 2:00 P.M.

Question and Answer Release Date 7/11/25 at 2:00 P.M.

Interested vendors are invited to obtain a copy of the opportunity at NYCHA's website by going to http://www.nyc.gov/nychabusiness. On the left side, click on "iSupplier Vendor Registration/Login" link. (1) If you have an iSupplier account, then click on the "Login for registered vendors" link and sign into your iSupplier account. (2) If you do not have an iSupplier account you can request an account by clicking on "New suppliers register in iSupplier" to apply for log-in credentials. Once you have accessed your iSupplier account, log into your account, then choose under the Oracle Financials home page, the menu option "Sourcing Supplier", then choose "Sourcing", then choose Sourcing Homepage"; and conduct a search in the "Search Open Negotiations" box for RFQ Number 511440.

Note: We are only accepting electronic bids submitted online via iSupplier. Paper bids will not be accepted or considered. Please contact NYCHA Procurement at procurement@nycha.nyc.gov for assistance.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Housing Authority, 90 Church Street, 6th Floor, New York, NY 10007. Joseph Schmidt (212) 306-4713; Joseph.Schmidt2@nycha.nyc.gov

☛ j26

CONTRACT AWARD HEARINGS

CHIEF MEDICAL EXAMINER

■ PUBLIC COMMENT

This is a notice that the NYC Office of Chief Medical Examiner is seeking comments from the public about the proposed contract below.

Contract Type: Contract

Contractor: Illumina, Inc

Contractor Address: 5200 Illumina Way, San Diego, CA 92122

Scope of Services: Repair and preventative maintenance services inclusive of parts, labor and travel on the NextSeq Serial #NB501944, Part Number 20019986.

Maximum Value: \$120,695.64

Term (Start and End Dates): August 1, 2025 to July 31, 2028

Renewal Clauses: Seventeen (17) months from August 1, 2028 to December 31, 2029

E-PIN: 81625S0014001

Procurement Method: Sole Source

Procurement Policy Board Rule: Section 3-05

How can I comment on this proposed contract award?

Please submit your comments to OCMEPublicComments@ocme.nyc.gov. Be sure to include the E-PIN above in your message.

Comments must be submitted before 2:00 P.M. on Wednesday, July 2, 2025

☛ j26

ENVIRONMENTAL PROTECTION

■ PUBLIC COMMENT

This is a notice that the NYC Department of Environmental Protection is seeking comments from the public about the proposed contract below.

Contract Type: Requirements-Goods

Contractor: Veolia WTS Services USA Inc.

Contractor Address: 4545 Patent Road, Norfolk, VA 23502

Scope of Services: The climber screens, and parts are needed to replace those that are depleted and worn-out to ensure proper maintenance and operation of the process climber bar screen systems.

Maximum Value: \$ 8,495,122.42

Term (Start and End Dates): 1825 consecutive calendar days

EPIN: 82625S0013001

Procurement Method: Sole Source

Procurement Policy Board Rule: Section 3-05(a)

How can I comment on this proposed contract award?

Please submit your comment to https://forms.office.com/g/EukCxmU5. Please be sure to include the EPIN above in your message.

Comments must be submitted before 4:30 P.M. on July 8, 2025.

☛ j26

FIRE DEPARTMENT

■ PUBLIC COMMENT

This is a notice that the NYC Fire Department is seeking comments from the public about the proposed contract below.

Contract Type: Purchase Order

Contractor: B.J. Laura & Sons Inc.

Contractor Address: 45-58 162nd Street, Flushing, NY 11358

Scope of Services: The Fire Department of the City of New York seeks the services of a qualified Contractor to provide repair services for overhead doors at Fire Department facilities located in the borough of Queens.

Maximum Value: \$1,500,000.00

Term (Start and End Dates): August 1, 2025 through July 31, 2027.

E-PIN: 05725W0067001

Procurement Method: MWBE Small Purchase

Procurement Policy Board Rule: Section 3-08(c)(1)(iv)

How can I comment on this proposed contract award?

Please submit your comments to https://forms.office.com/g/4Nk7PsNUzM. Be sure to include the E-PIN above in your message.

Comments must be submitted before 2:00 P.M. on Monday, July 7, 2025

☛ j26

MAYOR'S OFFICE OF CRIMINAL JUSTICE

■ PUBLIC COMMENT

This is a notice that the NYC Mayor's Office of Criminal Justice is seeking comments from the public about the proposed contract below.

Contract Type: General Contract (CT1)

Contractor: The Fortune Society Inc

Contractor Address: 29-76 Northern Boulevard, Long Island City, NY, 11101-2822

Scope of Services: The scope of services for this contract is to deliver abusive partner intervention programming (APIP) at no cost to intimate partner violence defendants in the City's criminal courts in each of the five boroughs: Manhattan, Brooklyn, Queens, the Bronx, and Staten Island. It is anticipated that there will be multiple contracted providers across all five boroughs. The goal of the program is to educate participants about the dynamics and effects of intimate partner violence and move participants toward more pro-social and less abusive behaviors, ultimately reducing recidivism among participants. APIP utilizes two evidence-based curricula: Dignity and Respect for male-identified individuals and Turning Points for female-identified individuals, which are tailored to flexible 26-week or 16-week sessions. These curricula integrate cognitive behavioral strategies to help participants identify and address harmful thoughts, beliefs, actions, and values, fostering essential life skills and promoting healthier relationships. The program focuses on four key areas of accountability and change: self, intimate partner relationships, family, and community.

Maximum Value: \$ 1,589,411.55

Term (Start and End Dates): 7/1/2025 through 6/30/2028

Renewal Clauses: Two three-year renewal options. The renewal periods are from July 1, 2028 through June 30, 2031 and from July 1, 2031 through June 2034.

E-PIN: 12825P0002004

Procurement Method: Competitive Sealed Proposal (RFP)
Procurement Policy Board Rule: Section 3-03

How can I comment on this proposed contract award?

Please submit your comment to <https://forms.office.com/g/g0WsfexQhL>.
 Be sure to include the E-PIN above in your response.

Comments must be submitted before 12:00 P.M. on Thursday, June 26, 2025.

← j26



CHANGES IN PERSONNEL

DEPARTMENT OF EDUCATION ADMIN
 FOR PERIOD ENDING 04/25/25

TITLE		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
WILLIAMS	LASTACY	56058	\$69844.0000	APPOINTED	YES	04/01/25	740
WORRELL	TENIRA C	56058	\$69844.0000	APPOINTED	YES	04/01/25	740
WU	SISI	80087	\$109000.0000	APPOINTED	YES	04/13/25	740
YASIN	HAYDER	34202	\$99615.0000	INCREASE	NO	10/15/24	740
YEUNG	HEI MING	51221	\$80200.0000	APPOINTED	YES	03/16/25	740
ZORRILLA	SANTA	54512	\$37943.0000	APPOINTED	YES	03/14/25	740

DEPARTMENT OF PROBATION
 FOR PERIOD ENDING 04/25/25

TITLE		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
AKTER	ESHETA	51810	\$61386.0000	RESIGNED	YES	04/17/25	781
BAUTISTA	TAHIZ	51810	\$61386.0000	INCREASE	YES	04/06/25	781
BEHARRY	FENTON K	51810	\$61386.0000	APPOINTED	YES	04/06/25	781
BROWN	SHAKITA G	51810	\$61386.0000	RESIGNED	YES	04/15/25	781
BROWNE	AALIYAH E	51810	\$61386.0000	APPOINTED	NO	03/30/25	781
CAMERON	JERMAINE O	10124	\$75971.0000	RESIGNED	NO	04/06/25	781
CAPPIELLO	CHRISTIN L	51810	\$61386.0000	RESIGNED	NO	04/13/25	781
CARTY	KAYLA G	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
CASSELL	SAVANNAH J	51810	\$61386.0000	APPOINTED	YES	04/13/25	781
CLOTTER	KAYLA	51810	\$61386.0000	APPOINTED	YES	04/13/25	781
CORTES	CHRISTOP	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
DASENT	BRITTANY B	51810	\$47163.0000	INCREASE	NO	09/08/24	781
DOWDRIDGE	JUDITH A	10124	\$62089.0000	RETIRED	NO	03/27/25	781
DURAN	ARIANNI J	51810	\$61386.0000	INCREASE	YES	04/06/25	781
EVANS	WAYNE N	51810	\$61386.0000	RESIGNED	YES	04/06/25	781
FRANCIS DOUGLAS	KEBEL K	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
GILKES	KENTISHA T	51810	\$61386.0000	APPOINTED	YES	04/13/25	781
GRILLO	RICHARD W	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
HERNANDEZ PAULI	LISA M	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
JEAN BAPTISTE	RIJKAARD L	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
KATYAL	MADHUR	51872	\$160000.0000	APPOINTED	YES	04/13/25	781
LAVANY	WANDA J	51810	\$61386.0000	APPOINTED	NO	04/13/25	781
MAGWOOD	SHARON	10251	\$47566.0000	RETIRED	NO	04/15/25	781
MAHARAJ	PREMATIE	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
MCNIFF	JOHN	30087	\$137653.0000	APPOINTED	YES	04/06/25	781
MITCHELL	MELISSA C	10124	\$80856.0000	APPOINTED	YES	04/06/25	781
MOSTAFA	MUHAMMAD G	51810	\$61386.0000	APPOINTED	YES	04/13/25	781
O'HARA	TIMOTHY F	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
OLIVER	DOMINIQUE	51801	\$61386.0000	RESIGNED	YES	04/06/25	781
PAYANO	DENISE	51810	\$52824.0000	RESIGNED	NO	10/17/19	781
PEDIFORD	LEIALONI D	51810	\$61386.0000	INCREASE	YES	04/06/25	781
RAHMAN	MD TARIQ	51810	\$61386.0000	RESIGNED	YES	04/09/25	781
ROBINSON-SESSOM	NISHA J	10024	\$118600.0000	APPOINTED	YES	04/06/25	781
RODRIGUEZ-LESLI	JOHNATHA	51810	\$61386.0000	APPOINTED	YES	04/13/25	781
SERKI	MONDIAT	51810	\$85280.0000	RETIRED	NO	04/12/25	781
ST JOHN	SHAKHARA T	51810	\$61386.0000	APPOINTED	YES	04/13/25	781
SUQUI-RODRIGUEZ	CHRISTIA F	51810	\$63386.0000	RESIGNED	NO	04/04/25	781
THOMAS	DELORES M	51810	\$90089.0000	RETIRED	NO	04/12/25	781
WHITEHEAD	ANDRE D	56056	\$42092.0000	DISMISSED	YES	04/04/25	781
YOUNG	DELLISA D	51860	\$89700.0000	RESIGNED	NO	04/08/25	781
ZAVULUNOVA	ANGELA	12626	\$80856.0000	APPOINTED	YES	04/13/25	781

DEPARTMENT OF BUSINESS SERV.
 FOR PERIOD ENDING 04/25/25

TITLE		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
APOSTOL	CECIL M	22503	\$115000.0000	APPOINTED	YES	04/06/25	801
CHAN	KATLYN	56057	\$55723.0000	RESIGNED	YES	04/03/25	801

HOUSING PRESERVATION & DVLPMNT
 FOR PERIOD ENDING 04/25/25

TITLE		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
ALEXANDRAKI	MARIANNA	56057	\$49615.0000	RESIGNED	YES	02/21/25	806
BARANNIK	ANTHONY	10124	\$61376.0000	RESIGNED	NO	04/05/25	806
BASDEO	BHEESHAM	56058	\$70022.0000	APPOINTED	YES	04/13/25	806
BELL	CHAMTEL R	56058	\$70022.0000	INCREASE	YES	04/06/25	806
EDWARDS	DEIDRE T	56058	\$70022.0000	APPOINTED	YES	04/13/25	806
EWING	RACHEIDA	56058	\$70022.0000	APPOINTED	YES	04/13/25	806
FUMERELLE JR	LOUIS A	56058	\$70022.0000	RESIGNED	YES	09/30/24	806
HACKEL	CASSIE R	22507	\$85714.0000	DECREASE	NO	07/05/22	806
JOHNSON	STACEY P	56058	\$70022.0000	RESIGNED	YES	04/13/25	806
LEHMAN	EMILY J	83006	\$202344.0000	RESIGNED	NO	07/17/24	806
MAHBOOB	RUBAIYAT	30087	\$131771.0000	RESIGNED	YES	04/03/25	806
MILES	PAULETTE	56057	\$49615.0000	RESIGNED	YES	02/13/25	806
MORRIS	THOMAS B	34202	\$73878.0000	APPOINTED	YES	04/06/25	806
O'HALLORAN-VEAZ	LIAM K	30087	\$92446.0000	APPOINTED	YES	04/13/25	806
PENDER	ALBERTHA	56057	\$68672.0000	RETIRED	YES	02/18/25	806
PHAGOO	PRIYANKA	56058	\$70022.0000	APPOINTED	YES	04/13/25	806
POLLARD	CARL A	31670	\$69328.0000	RESIGNED	YES	04/06/25	806
RAMIREZ	CHAINED	1000B	\$71246.0000	APPOINTED	NO	04/06/25	806
ROBINSON-SESSOM	NISHA J	1002C	\$94929.0000	RESIGNED	NO	04/06/25	806
RUIZ	CRYSTAL	1002C	\$115000.0000	INCREASE	NO	04/06/25	806
RUIZ	EVELYN	10025	\$152440.0000	RETIRED	NO	05/01/24	806
SAWERES	SAMUEL	31670	\$72946.0000	APPOINTED	YES	04/06/25	806
SMALL-RIVERS	QUE'KENY N	56058	\$70022.0000	INCREASE	YES	03/23/25	806
SMITH	MASON C	30087	\$92446.0000	APPOINTED	YES	04/13/25	806
TANG	WING CHE	31670	\$75016.0000	RETIRED	NO	04/09/25	806
THOMAS	MICHAEL A	56058	\$60889.0000	APPOINTED	YES	04/13/25	806
TURZILLO	EMMA N	56058	\$73000.0000	APPOINTED	YES	04/06/25	806
ZIELNIK	PAWEL	83008	\$130098.0000	INCREASE	NO	02/23/25	806

DEPARTMENT OF BUILDINGS
 FOR PERIOD ENDING 04/25/25

TITLE		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
AFSARI	MAHZABIN	12626	\$69631.0000	APPOINTED	NO	03/23/25	810
AMBROISE	DIMITRI T	12626	\$60889.0000	APPOINTED	NO	03/16/25	810
CAMPBELL	JONATHAN M	12626	\$69631.0000	APPOINTED	NO	03/16/25	810
CHALTOO	NAVENA F	12626	\$69631.0000	APPOINTED	NO	03/16/25	810
CHOWDHURY	MAKRUMA	12626	\$70310.0000	RESIGNED	NO	02/21/25	810
DALMAZIO	ALFREDO	31622	\$71581.0000	APPOINTED	YES	04/13/25	810
DIAM	MAKHOU	31622	\$71581.0000	APPOINTED	YES	04/13/25	810
FAUNTLEROY	LAVERNE	10251	\$47100.0000	APPOINTED	YES	04/13/25	810
GRUNDE	ALEXANDE W	1002A	\$95051.0000	APPOINTED	NO	04/06/25	810
HALL	DESTYN E	31622	\$71581.0000	APPOINTED	YES	04/06/25	810
JABER	LINDA	12626	\$69631.0000	APPOINTED	NO	03/16/25	810
LAMBERTI	DEANNA M	30087	\$81838.0000	INCREASE	YES	04/13/25	810
LENDORE	JASON A	31622	\$79032.0000	RESIGNED	NO	04/17/25	810
LUNG	JOHN	31622	\$84109.0000	RETIRED	NO	04/06/25	810
MARESCA	ADAM M	10251	\$40957.0000	APPOINTED	NO	04/13/25	810
MCBERNAN	STEPHEN A	31622	\$71581.0000	APPOINTED	YES	04/13/25	810
MILLER	MEKEDA	1002C	\$85903.0000	DECREASED	NO	04/14/25	810
MONOPOLI	RYAN L	31624	\$71581.0000	APPOINTED	YES	04/13/25	810
MORRISON	JASON M	12626	\$69631.0000	APPOINTED	NO	03/23/25	810
NOLL	PHILIP D	10015	\$158683.0000	INCREASE	NO	04/13/25	810
POLLARD	CARL A	31622	\$71581.0000	APPOINTED	YES	04/06/25	810
ROBINSON	KEA'SHAN S	10251	\$47100.0000	APPOINTED	YES	04/06/25	810
ROMERO	IVAN A	31622	\$71581.0000	APPOINTED	YES	04/13/25	810
SANTIAGO	DANIEL F	31627	\$86347.0000	APPOINTED	YES	04/06/25	810
SAWERES	SAMUEL	31622	\$69614.0000	RESIGNED	NO	04/06/25	810
SWINTON	JASON D	31629	\$71581.0000	APPOINTED	YES	04/13/25	810
TANG	JESSICA	12626	\$69631.0000	APPOINTED	NO	03/16/25	810
UMANA	EVER M	10004	\$135324.0000	INCREASE	NO	04/13/25	810
VASILYEV	ANDRE	12626	\$69631.0000	APPOINTED	NO	03/16/25	810
VAZQUEZ	YVETTE M	10251	\$47100.0000	APPOINTED	YES	04/13/25	810
ZAPALAC	KRISTEN K	30087	\$103055.0000	INCREASE	YES	04/13/25	810

DEPT OF HEALTH/MENTAL HYGIENE
 FOR PERIOD ENDING 04/25/25

TITLE		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
ACEVEDO JR	WILLIAM	91212	\$51726.0000	RESIGNED	NO	03/26/25	816
AHMED	SARAH P	21744	\$106146.0000	INCREASE	YES	03/10/24	816
ALLMAN	MICHELE A	21744	\$97728.0000	RESIGNED	YES	04/13/25	816
AMOAKO	EDWARD D	22430	\$87701.0000	APPOINTED	YES	04/06/25	816
BAJRAKTARI	LINDA L	21744	\$109330.0000	INCREASE	YES	07/28/24	816
BERDAN	CARLY	2184C	\$145024.0000	INCREASE	YES	03/02/25	816
BERNAS	MARIETTA B	51022	\$39.4200	RETIRED	NO	03/07/25	816
BISSETTE-DOLOR	NADIA C	60888	\$72410.0000	INCREASE	NO	02/23/25	816
BUJAJ	ANGELA A	30087	\$92446.0000	APPOINTED	YES	04/13/25	816
CHAN	CHOI	10251	\$51796.0000	APPOINTED	YES	04/06/25	816

DURANT	PATRICIA	13611	\$95142.0000	INCREASE	NO	04/06/25	816
ENEKWECHI	CHUKWUDI C	31220	\$78226.0000	PROMOTED	NO	04/06/25	816
GAYLE	DELOY A	31215	\$70381.0000	RESIGNED	YES	04/02/25	816
GILKES	KENISHA T	51195	\$27.7100	RESIGNED	YES	04/13/25	816
GLADDEN	CHINNIE H	51310	\$67882.0000	RESIGNED	YES	03/09/25	816
HUTSON	SHIVONNE A	95497	\$200000.0000	INCREASE	YES	03/02/25	816
ISAAC BARROW	THAMICHA S	51191	\$61035.0000	APPOINTED	YES	04/06/25	816
JAHANGIR	MISHAH	2184C	\$111842.0000	INCREASE	YES	09/01/24	816
JEAN-PHILLIPE	MARISE	51195	\$27.7100	RETIRED	NO	04/01/25	816
KALENDAREVA	YELIZAVE	51011	\$92064.0000	RESIGNED	NO	04/07/24	816
KHAN	MOHAMMAD Z	90510	\$46638.0000	TRANSFER	NO	04/06/25	816
LIU	ANDREW	31220	\$78226.0000	PROMOTED	NO	04/06/25	816
LOPEZ	CAROLINA	56058	\$93338.0000	RESIGNED	YES	04/06/25	816
MACIAS	SCARLETT	21744	\$125256.0000	INCREASE	YES	04/13/25	816
MAJID	NOORA F	21744	\$109330.0000	INCREASE	YES	04/13/25	816
MALLIKA KHANNA	FNU	10209	\$19.9000	RESIGNED	YES	03/16/25	816
MANZI	SOFIA G	06853	\$77622.0000	INCREASE	YES	04/06/25	816
MCHALE	IAN J	21744	\$122034.0000	INCREASE	YES	09/08/24	816
MERCADO-FORD	EARLINE F	10237	\$16.0000	RESIGNED	YES	03/12/25	816
ORTIZ	JOHN G	90643	\$43731.0000	RETIRED	YES	09/09/24	816
PENA	RAWLISHA G	10209	\$10.2600	RESIGNED	YES	08/17/08	816
PERKINS	KYARA L	56057	\$49615.0000	APPOINTED	YES	04/06/25	816
PHILLIPS	GINA D	1003C	\$103000.0000	RESIGNED	YES	04/16/25	816
PIERROT-COX	ANNOT S	51191	\$67889.0000	RETIRED	NO	04/08/25	816
RAMOS	YASMIN	51193	\$80762.0000	RETIRED	NO	04/10/25	816
RAMOS	YASMIN	51191	\$54285.0000	RETIRED	NO	04/10/25	816
RIVERS-SCOTT	IVORY	10124	\$94436.0000	RETIRED	NO	04/02/25	816
RODRIGUEZ	VERONICA	51193	\$70242.0000	PROMOTED	NO	04/13/25	816
RUGGIERO	VINCENT L	95664	\$200000.0000	INCREASE	YES	03/02/25	816
RUPNARINE	RAUEL R	31220	\$78226.0000	PROMOTED	NO	04/06/25	816
SAMUEL	MASSALLA S	31215	\$51460.0000	RESIGNED	YES	03/10/25	816
SANDERS	ARIEL AL	40561	\$82908.0000	INCREASE	NO	04/06/25	816
SHYAMKUL	NEHA A	10209	\$18.3000	RESIGNED	YES	04/16/25	816
SMARTT	SANDRA J	1002C	\$74079.0000	PROMOTED	NO	11/12/23	816
TATE	DIADREA	56057	\$49615.0000	APPOINTED	YES	04/06/25	816
TAYLOR	QUINN T	60216	\$33.3300	INCREASE	YES	03/02/25	816
TICE	HANNAH R	06853	\$77622.0000	APPOINTED	YES	04/13/25	816
TILSON	ANDREW C	21744	\$97728.0000	APPOINTED	YES	04/13/25	816
TOUSSAINT	MELISSA L	56058	\$72100.0000	RESIGNED	YES	04/10/25	816
TRASMUNDI	DANIEL	30087	\$85490.0000	RESIGNED	YES	03/06/25	816
URDANG	KENDRA B	1003C	\$135000.0000	APPOINTED	YES	04/06/25	816
VASQUEZ	TIFFANY L	2184C	\$179580.0000	INCREASE	YES	03/09/25	816
VAZQUEZ	MYA L	51191	\$53074.0000	APPOINTED	YES	04/06/25	816

DEPT OF HEALTH/MENTAL HYGIENE
FOR PERIOD ENDING 04/25/25

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
VAZQUEZ	YVETTE M	56057	\$54000.0000	RESIGNED	YES	04/13/25	816
VITERI	JOFFRE R	70817	\$61033.0000	INCREASE	YES	04/13/25	816
WATSON	DARSHAN R	70817	\$70142.0000	INCREASE	NO	04/06/25	816

ADMIN TRIALS AND HEARINGS
FOR PERIOD ENDING 04/25/25

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
ARAH	TAUHID M	56057	\$49615.0000	RESIGNED	YES	04/03/25	820
CHAN	HEI YING	95005	\$115000.0000	APPOINTED	YES	04/13/25	820
HAMILTON-WARMIN	KAREN	56058	\$92315.0000	INCREASE	YES	03/23/25	820
RAEVSKY	IRENE	95005	\$148000.0000	INCREASE	YES	04/06/25	820
RAHMAN	MUMINUR	95937	\$63.3700	RESIGNED	YES	04/06/25	820
VIRA	ANNA E	30087	\$103055.0000	APPOINTED	YES	04/06/25	820

DEPT OF ENVIRONMENT PROTECTION
FOR PERIOD ENDING 04/25/25

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
ABBAS	AHMED T	21538	\$59574.0000	APPOINTED	YES	04/13/25	826
AREFIN	AFM A	20113	\$47400.0000	APPOINTED	YES	04/13/25	826
BARRY	ISMATOU	21822	\$67753.0000	APPOINTED	YES	04/06/25	826
CAMPBELL	ZACHARY	06804	\$142700.0000	RESIGNED	NO	03/16/25	826
CHEN	HONGZHEN	22425	\$66703.0000	INCREASE	YES	02/23/25	826
CHEN	XIAO M	21514	\$74900.0000	APPOINTED	NO	01/12/25	826
CHETBI	ZAHRA	21514	\$74900.0000	APPOINTED	NO	03/09/25	826
COLBERT	ANTONIO J	91011	\$46183.0000	RESIGNED	YES	02/14/25	826
COLBERT	TIJUAN K	90641	\$39074.0000	APPOINTED	YES	04/13/25	826
DAUGHTRY	CATHY R	10251	\$51869.0000	DECEASED	NO	03/12/25	826
DEKINAMAN	VIJAY	92611	\$317.0400	APPOINTED	YES	04/13/25	826
GONZALEZ	YAHAIIRA M	10251	\$28.3500	RESIGNED	NO	02/26/25	826
HARDEE	CHRISTIN G	21514	\$69893.0000	APPOINTED	NO	03/09/25	826
HARRIS	BRANDON A	90641	\$39074.0000	APPOINTED	YES	04/13/25	826
JEAN-GEFFRARD	TANIA H	21514	\$90400.0000	APPOINTED	NO	03/09/25	826
JUCHEM	NICHOLAS F	90739	\$404.9600	RESIGNED	NO	04/09/25	826
KANE	SAMANTHA L	10124	\$66062.0000	APPOINTED	YES	04/13/25	826
KAUNG	PAING H	20210	\$73878.0000	APPOINTED	YES	04/13/25	826
KEANE	STEPHEN	10124	\$62089.0000	RETIRED	NO	04/18/25	826
KELLY	MARILENE D	10124	\$93711.0000	RESIGNED	NO	01/26/25	826
KOPPING	ERIK J	21514	\$91587.0000	APPOINTED	NO	03/09/25	826
KRESSER	WILLIAM R	70811	\$77861.0000	DECEASED	NO	03/26/25	826

DEPT OF ENVIRONMENT PROTECTION
FOR PERIOD ENDING 04/25/25

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
LAPOMPE JR	RAINIER A	90641	\$39074.0000	APPOINTED	YES	04/13/25	826
LASHER	DAMIAN	21822	\$50865.0000	APPOINTED	YES	04/13/25	826

LUCCHESI	VINCENT A	91011	\$44838.0000	APPOINTED	NO	10/27/24	826
MACK	DELVON L	90767	\$446.1600	PROMOTED	NO	02/09/25	826
MAGBIE	CASSANDR L	95292	\$53572.0000	APPOINTED	YES	04/13/25	826
MONELL	LAURA E	91011	\$46183.0000	APPOINTED	YES	04/13/25	826
MUSTETICH	MATTHEW R	20617	\$73878.0000	INCREASE	YES	04/06/25	826
OSHEROVA	SOFIYA	20310	\$75214.0000	RETIRED	NO	04/11/25	826
PANAYIOTOU	PETROS	20618	\$87701.0000	PROMOTED	NO	03/16/25	826
PERALTA	OSIRIS	20617	\$73878.0000	RESIGNED	YES	04/18/25	826
SANFORD-FELDNER	CHRISTOP R	91011	\$58249.0000	RESIGNED	YES	04/18/25	826
SFORZA	MICHAEL	91717	\$480.9700	RESIGNED	NO	04/18/25	826
THOMPSON	LLOYD H	90641	\$39074.0000	APPOINTED	YES	04/13/25	826
THOMPSON	TYREN J	21744	\$72190.0000	APPOINTED	YES	04/13/25	826
ZHAO	SUN HUNG	20616	\$66546.0000	APPOINTED	YES	04/13/25	826

DEPARTMENT OF SANITATION
FOR PERIOD ENDING 04/25/25

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
AVERY	NICHOLAS P	92510	\$41.9600	APPOINTED	YES	04/06/25	827
BATTLE	ALEXIS T	80633	\$18.5400	RESIGNED	YES	04/07/25	827
CANELA	ALIS	90736	\$271.0400	APPOINTED	NO	04/13/25	827
DAWSON	DAYMOND R	70112	\$92093.0000	DISMISSED	NO	02/19/25	827
FERNANDEZ	JUAN V	92510	\$390.7200	RESIGNED	NO	02/16/25	827
FORD	JEVAUGHN A	90647	\$42054.0000	RESIGNED	YES	03/30/25	827
KURYS	NICHOLAS D	70112	\$92093.0000	RESIGNED	NO	04/08/25	827
MCKEON	JEFFERY P	70112	\$92093.0000	RETIRED	NO	04/10/25	827
MIRANDA	MANNY O	70112	\$48619.0000	RESIGNED	NO	04/17/25	827
PLOTNICK	MATTHEW J	92508	\$48072.0000	RESIGNED	NO	03/30/25	827
RYDER	DOLORES A	50910	\$111026.0000	RETIRED	YES	04/06/25	827
SMITH	DASHAWN G	80633	\$18.5400	RESIGNED	YES	04/11/25	827
VURCKIO	JOSEPH V	7019B	\$172126.0000	INCREASE	NO	04/13/25	827

DEPARTMENT OF FINANCE
FOR PERIOD ENDING 04/25/25

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
AMANI	ERFAN	10124	\$53370.0000	APPOINTED	YES	04/13/25	836
BOGUSZIEWSKI	TOMASZ S	13633	\$120000.0000	APPOINTED	YES	04/06/25	836
CHENG	SWAN	40523	\$91988.0000	INCREASE	NO	06/09/24	836
HARPER	CONNOR C	95710	\$123600.0000	RESIGNED	YES	04/06/25	836
JOHNSON-CURRY	ANDREA	0667A	\$63.3700	APPOINTED	YES	04/07/25	836
KENNEDY	EDWARD J	0667A	\$63.3700	APPOINTED	YES	04/07/25	836
KERR	BRIAN T	0667A	\$63.3700	APPOINTED	YES	04/07/25	836
MANSFIELD	MATTHEW S	0667A	\$63.3700	APPOINTED	YES	04/07/25	836
ROSS	DIEDRE S	40202	\$117187.0000	RETIRED	NO	04/08/25	836
TORRES	GRACIELA	10124	\$75575.0000	INCREASE	NO	03/23/25	836

DEPARTMENT OF TRANSPORTATION
FOR PERIOD ENDING 04/25/25

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
ADORNO	CHRISTOP	22426	\$73878.0000	INCREASE	YES	02/16/25	841
AHMAD	MD P	20310	\$73878.0000	APPOINTED	NO	04/13/25	841
ALI	MUNEEB	22316	\$87701.0000	INCREASE	NO	07/28/24	841
BALDASSANO	NATALIE J	1002A	\$100721.0000	APPOINTED	YES	04/06/25	841
BATTIANCELA	RALPH	91616	\$623.6600	RETIRED	NO	04/15/25	841
BOZOK	JANE	10251	\$28.3500	RESIGNED	YES	04/06/25	841
BURRUS	MATTHEW S	10251	\$36390.0000	TERMINATED	NO	09/03/23	841
CHEN	MEAGAN P	95005	\$190000.0000	DECREASE	YES	04/13/25	841
CHOW	YVONNE O	91415	\$76158.0000	INCREASE	YES	04/13/25	841
COCA	JULIAN M	1002A	\$123120.0000	APPOINTED	NO	04/13/25	841
DUNN	PATRICK J	91769	\$518.0000	RESIGNED	NO	04/15/25	841
ESPOSITO	ADOLFO	91925	\$430.5000	APPOINTED	NO	04/06/25	841
FREDA	CARMELO A	21744	\$122034.0000	RESIGNED	YES	04/01/25	841
GATLING	JESSICA	35007	\$36081.0000	APPOINTED	YES	04/06/25	841
GOLDMAN	EVELYN	56058	\$80000.0000	APPOINTED	YES	04/06/25	841
HARVEY	SHERELL C	10124	\$59588.0000	PROMOTED	NO	04/13/25	841
HAWKINS	ANTIGONE Z	1020C	\$52.9400	INCREASE	NO	03/23/25	841
HUBBARD	BRIDGETT D	10251	\$28.3600	RESIGNED	NO	04/13/25	841
JACKSON	ALVIN E	90910	\$75459.0000	DISMISSED	NO	03/27/25	841
JEDERLINIC	DANIEL	92310	\$439.6000	RETIRED	NO	04/16/25	841
LOGAN	EMANUEL	90910	\$75483.0000	RETIRED	NO	03/29/25	841
LOPEZ	JOSE A	22122	\$133551.0000	APPOINTED	YES	04/06/25	841
MASSIAH	IMRAN Y	91925	\$430.5000	APPOINTED	NO	04/06/25	841
PIZZUTO	DONATO A	90910	\$73261.0000	DISMISSED	NO	08/04/23	841