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THE CITY RECORD

BILL DE BLASIO
Mayor

LISETTE CAMILO
Commissioner, Department of Citywide
Administrative Services

ELI BLACHMAN
Editor, The City Record

JANAE C. FERREIRA
Assistant Editor, The City Record

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PUBLIC HEARINGS AND MEETINGS

See Also: Procurement; Agency Rules

CITY PLANNING COMMISSION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that resolutions have been adopted by the City Planning Commission, scheduling a public hearing on the following matters to be held at NYC City Planning Commission Hearing Room, Lower Concourse, 120 Broadway, New York, NY, on Wednesday, February 27, 2019, at 10:00 A.M.



BOROUGH OF THE BRONX

Nos. 1 & 2

2069 BRUCKNER BOULEVARD REZONING

No. 1

CD 9 C 190102 ZMX

IN THE MATTER OF an application submitted by Azimuth Development Group LLC, pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section Nos. 4b & 7a:

- changing from an R5 District to an R7A District property bounded by Chatterton Avenue, Olmstead Avenue, Bruckner Expressway, and a line 300 feet westerly of Olmstead Avenue; and
- establishing within the R7A District a C2-4 District bounded by Chatterton Avenue, Olmstead Avenue, Bruckner Expressway, a line 300 feet westerly of Olmstead Avenue, a line midway between Chatterton Avenue and Bruckner Boulevard (northerly portion), and a line 100 feet westerly of Olmstead Avenue;

as shown on a diagram (for illustrative purposes only) dated January 7, 2019, and subject to the conditions of CEQR Declaration E-515.

No. 2

N 190103 ZRX

IN THE MATTER OF an application submitted by Azimuth Development Group LLC, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying Appendix F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;
Matter ~~struck out~~ is to be deleted;
Matter within # # is defined in Section 12-10;
* * * indicates where unchanged text appears in the Zoning Resolution.

* * *

APPENDIX F Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

* * *

THE BRONX

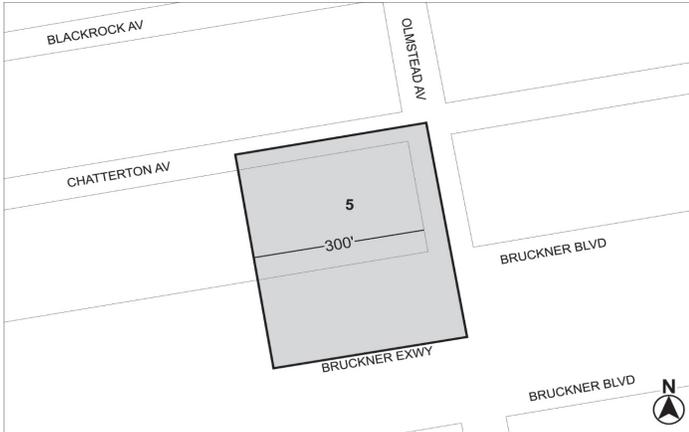
* * *

The Bronx Community District 9

* * *

Map 5 - [date of adoption]

[PROPOSED MAP]



█ Mandatory Inclusionary Housing Area *see Section 23-154(d)(3)*

Area 5 — [date of adoption] — MIH Program Option 1

Portion of Community District 9, The Bronx

BOROUGH OF BROOKLYN
Nos. 3-6
1921 ATLANTIC AVENUE
No. 3

CD 3 C 190160 HAK

IN THE MATTER OF an application submitted by the NYC Department of Housing Preservation and Development (HPD)

1. pursuant to Article 16 of the General Municipal Law of New York State for:
 - a) the designation of properties located at 17-23 Prescott Place, 18-22 Bancroft Place and 1911-1923 Atlantic Avenue (Block 1557, Lots 1, 2, 3, 4, 23, 26, 28, 31, 32, 33, 34, 35, 36, 37 and 38) as an Urban Development Action Area; and
 - b) an Urban Development Action Area Project for such area; and
2. pursuant to Section 197-c of the New York City Charter for the disposition of properties located at Block 1557, Lots 3, 4, 23, 26, 28, 31, 32, 33, 34, 35, 36 and 37 to a developer to be selected by HPD;

to facilitate a mixed-use development containing approximately 235 affordable housing units, commercial and community facility space.

No. 4

CD 3 C 190161 ZMK

IN THE MATTER OF an application submitted by NYC Department of Housing Preservation and Development and DTF Atlantic, LLC, pursuant to Sections 197-c and 201 of the New York City Charter for the amendment of the Zoning Map, Section No. 17a:

1. eliminating a Special Mixed Use District (MX-10) bounded by a line midway between Herkimer Street and Atlantic Avenue, Bancroft Place, the northerly boundary line of the Long Island Railroad Right-Of-Way (Atlantic Division), and Prescott Place;
2. changing an M1-1/R7D District to an R8A District property bounded by a line midway between Herkimer Street and Atlantic Avenue, Bancroft Place, the northerly boundary line of the Long Island Railroad Right-Of-Way (Atlantic Division), and Prescott Place; and
3. establishing within the proposed R8A District a C2-4 District bounded by a line 100 feet northerly of Atlantic Avenue, Bancroft Place, the northerly boundary line of the Long Island Railroad Right-Of-Way (Atlantic Division), and Prescott Place;

as shown on a diagram (for illustrative purposes only) dated November 13, 2018.

No. 5

CDs 3 N 190162 ZRK

IN THE MATTER OF an application submitted by NYC Department

of Housing Preservation and Development and DTF Atlantic, LLC, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area.

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Matter ~~struck out~~ is to be deleted;

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* * * indicates where unchanged text appears in the Zoning Resolution.

* * *

APPENDIX F

Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

* * *

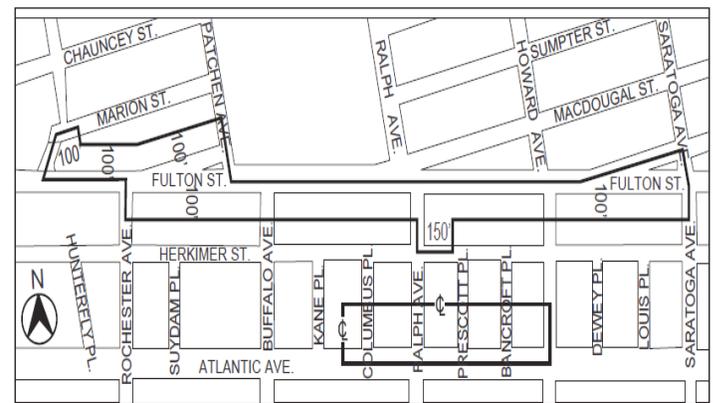
BROOKLYN

* * *

Brooklyn Community District 3

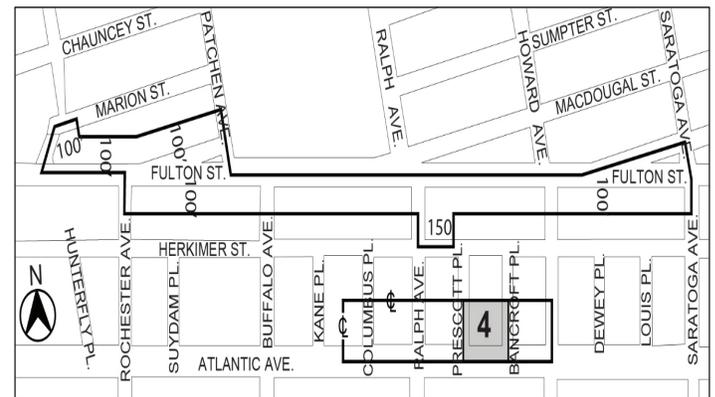
[EXISTING MAP]

Map 2 – (10/29/07)



[PROPOSED MAP]

Map 2 – [date of adoption]



█ Inclusionary Housing designated area

█ Mandatory Inclusionary Housing Program Area *see Section 23-154 (d) (3)*

Area 4 [date of adoption] – MIH Program Option 1

Portion of Community District 3, Borough of Brooklyn

No. 6

CDs 3 & 16 C 190163 HUK

IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD) pursuant to Section 505 of Article 15 of the General Municipal (Urban Renewal) Law of New York State and Section 197-c of the New York City Charter, for the first amendment to the Saratoga Square Urban Renewal Plan for the Saratoga Square Urban Renewal Area.

No. 7

813 STERLING PLACE

CD 8

IN THE MATTER OF an application submitted by the Administration

C 190181 PQK

for Children's Services and the Department of Citywide Administrative Services, pursuant to Section 197-c of the New York City Charter, for the acquisition of property located at 813 Sterling Place (Block 1240, Lot 56) for continued use as a child care center.

No. 8
370 NEW LOTS AVENUE

CD 5 C 190182 PQQ
IN THE MATTER OF an application submitted by the Administration for Children's Services and the Department of Citywide Administrative Services, pursuant to Section 197-c of the New York City Charter, for the acquisition of property located at 370 New Lots Avenue (Block 4298, Lot 7) for continued use as a child care center.

BOROUGH OF QUEENS
Nos. 9 & 10
47-15 34TH AVENUE REZONING
No. 9

CD 1 C 180530 ZMQ
IN THE MATTER OF an application submitted by Ashley Young LLC and John Young Associates LLC pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 9b:

- 1. changing from an R5 District to an R6B District property bounded by a line 150 feet northeasterly of 34th Avenue, 47th Street, a line 140 feet northeasterly of 34th Avenue, and a line midway between 46th Street and 47th Street;
2. changing from a C8-1 District to an R6B District property bounded by a line 140 feet northeasterly of 34th Avenue, 47th Street, 34th Avenue, a line 50 feet northwesterly of 47th Street, a line 100 feet northeasterly of 34th Avenue, and a line midway between 46th Street and 47th Street;
3. changing from an R5 District to an R7X District property bounded by a line 150 feet northeasterly of 34th Avenue, 48th Street, a line 140 feet northeasterly of 34th Avenue, and 47th Street;
4. changing from a C8-1 District to an R7X District property bounded by a line 140 feet northeasterly of 34th Avenue, 48th Street, 34th Avenue, and 47th Street;
5. establishing within existing and proposed R6B Districts a C2-4 district bounded by a line 150 feet northeasterly of 34th Avenue, 47th Street, 34th Avenue, and a line midway between 46th Street and 47th Street; and,
6. establishing within a proposed R7X District a C2-4 District bounded by a line 150 feet northeasterly of 34th Avenue, 48th Street, 34th Avenue, and 47th Street;

as shown on a diagram (for illustrative purposes only) dated November 13, 2018, and subject to the conditions of CEQR Declaration E-509.

No. 10

CD 1 N 180529 ZRQ
IN THE MATTER OF an application submitted by Ashley Young LLC and John Young Associates LLC pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying Appendix F for the purpose of establishing a Mandatory Inclusionary Housing area.

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Matter struck out is to be deleted;
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* * *

APPENDIX F
Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

* * *

QUEENS

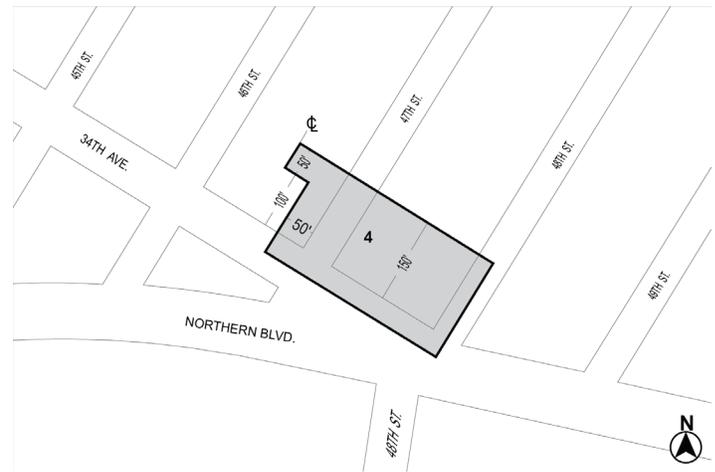
* * *

Queens Community District 1

* * *

Map 5 - [date of adoption]

[PROPOSED MAP]



Mandatory Inclusionary Housing Area (see Section 23-154(d)(3))

Area 4 — [date of adoption] — MIH Program Option 2

Portion of Community District 1, Queens

BOROUGH OF STATEN ISLAND
Nos. 11-16
SPECIAL BAY STREET CORRIDOR DISTRICT
No. 11

CD 1 C 190113 ZMR
IN THE MATTER OF an application submitted by the NYC Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter for the amendment of the Zoning Map, Section Nos. 21c and 21d:

- 1. eliminating from within an existing R3-2 District a C2-2 District bounded by a line 150 feet northwesterly of Canal Street, a line 700 feet southwesterly of Wright Street, a line 125 feet northwesterly of Canal Street, a line 200 feet southwesterly of Wright Street, Canal Street, Broad Street, and Cedar Street;
2. eliminating from within an existing R4 District a C2-2 District bounded by Canal Street, Wright Street, and Broad Street;
3. changing from an R3X District to an R6 District property bounded by a line 130 feet northwesterly of Bay Street, a line 105 feet northeasterly of Baltic Street, a line 100 feet northwesterly of Bay Street, and Baltic Street;
4. changing from an M1-1 District to an R6 District property bounded by Bay Street (easterly portion), the southerly street line of Victory Boulevard, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, Sands Street, Bay Street, Sands Street, a line 100 feet westerly of Bay Street, Congress Street, a line 100 feet southeasterly of Van Duzer Street, Baltic Street, a line 100 feet northwesterly of Bay Street, Clinton Street, a line 100 feet southeasterly of Van Duzer Street, St. Julian Place, Van Duzer Street extension, Swan Street, a line 100 feet northeasterly of Van Duzer Street, Hannah Street, a line midway between Van Duzer Street and Bay Street, and the southwesterly centerline prolongation of Minsthorne Street;
5. changing from an R3-2 District to an R6B District property bounded by a line 150 feet northwesterly of Canal Street, a line 700 feet southwesterly of Wright Street, a line 125 feet northwesterly of Canal Street, a line 200 feet southwesterly of Wright Street, Canal Street, Broad Street, and Cedar Street;
6. changing from an R3X District to an R6B District property bounded by Van Duzer Street, Baltic Street, a line 100 feet southeasterly of Van Duzer Street, and a line 100 feet northeasterly of Congress Street;
7. changing from an R4 District to an R6B District property bounded by Canal Street, Wright Street, and Broad Street;
8. changing from an M1-1 District to an R6B District property bounded by Van Duzer Street, a line 150 feet northwesterly of Hannah Street, a line midway between Van Duzer Street and Bay Street, Hannah Street, a line 100 feet northeasterly of Van Duzer Street, Swan Street, Van Duzer Street Extension, St. Julian Place, a line 100 feet southeasterly of Van Duzer Street, and Grant Street;
9. establishing within a proposed R6 District a C2-3 District bounded by a line midway between Van Duzer Street and Bay Street, the southwesterly centerline prolongation Minsthorne Street, Bay Street, the easterly centerline prolongation Swan

Street, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, Sands Street, Bay Street, Sands Street, a line 100 feet easterly of Bay Street, Congress Street, a line 100 feet southeasterly of Van Duzer Street, Baltic Street, a line 130 feet northwesterly of Bay Street, a line 105 feet northeasterly of Baltic Street, a line 100 feet northwesterly of Bay Street, Clinton Street, a line 100 feet southeasterly of Van Duzer Street, St. Julian Place, Van Duzer Street Extension, Swan Street, a line 100 feet northeasterly of Van Duzer Street, and Hannah Street;

- 10. establishing within a proposed R6B District a C2-3 District bounded by:
a. Van Duzer Street, a line 150 feet northwesterly of Hannah Street, a line midway between Van Duzer Street and Bay Street, Hannah Street, a line 100 feet northeasterly of Van Duzer Street, Swan Street, Van Duzer Street Extension, St. Julian Place, a line 100 feet southeasterly of Van Duzer Street, and Grant Street; and
b. a line 150 feet northwesterly of Canal Street, a line 700 feet southwesterly of Wright Street, a line 125 feet northwesterly of Canal Street, a line 200 feet southwesterly of Wright Street, Canal Street, Wright Street, Broad Street, and Cedar Street;
11. establishing within a proposed R6 District a C2-4 District bounded by Bay Street (easterly portion), the southerly street line of Victory Boulevard, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, the easterly centerline prolongation of Swan Street, and Bay Street; and
12. establishing a Special Bay Street Corridor District (BSC) bounded by Bay Street (easterly portion), the southerly street line of Victory Boulevard, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, Sands Street, Bay Street, Sands Street, a line 100 feet westerly of Bay Street, Congress Street, a line 100 feet southeasterly of Van Duzer Street, a line 100 feet northeasterly of Congress Street, Van Duzer Street, Baltic Street, a line 130 feet northwesterly of Bay Street, a line 105 feet northeasterly of Baltic Street, a line 100 feet northwesterly of Bay Street, Clinton Street, a line 100 feet southeasterly of Van Duzer Street, Grant Street, Van Duzer Street, a line 150 feet northwesterly of Hannah Street, a line midway between Van Duzer Street and Bay Street, and the southwesterly centerline prolongation of Minsthorne Street;

as shown on a diagram (for illustrative purposes only) dated May 22, 2017, and subject to the conditions of CEQR Declaration E-429.

No. 12

CD 1 N 190114 ZRR

IN THE MATTER OF an application submitted by New York City Department of City Planning, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York establishing the Special Bay Street Corridor District (Article XIII, Chapter 5) and modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area, and modifying related Sections.

Matter underlined is new, to be added;
Matter ~~struck out~~ is to be deleted;
Matter within # # is defined in Section 12-10;
* * * indicates where unchanged text appears in the Zoning Resolution.

ARTICLE I
GENERAL PROVISIONS

Chapter 1
Title, Establishment of Controls and Interpretations of Regulations

* * *

11-122
Districts established

* * *

Establishment of the Special Bay Ridge District

In order to carry out the special purposes of this Resolution as set forth in Article XI, Chapter 4, the #Special Bay Ridge District# is hereby established.

Establishment of the Special Bay Street Corridor District

In order to carry out the special purposes of this Resolution as set forth in Article XIII, Chapter 5, the #Special Bay Street Corridor District# is hereby established.

Establishment of the Special City Island District

* * *

Chapter 2
Construction of Language and Definitions

* * *

12-10
DEFINITIONS

* * *

Special Bay Ridge District

The "Special Bay Ridge District" is a Special Purpose District designated by the letters "BR" in which special regulations set forth in Article XI, Chapter 4, apply.

Special Bay Street Corridor District

The "Special Bay Street Corridor District" is a Special Purpose District designated by the letters "BSC" in which special regulations set forth in Article XIII, Chapter 5, apply.

Special City Island District

* * *

Chapter 4
Sidewalk Cafe Regulations

* * *

14-44
Special Zoning Districts Where Certain Sidewalk Cafes Are Permitted

* * *

Table with 3 columns: Staten Island, #Enclosed Sidewalk Cafe#, #Unenclosed Sidewalk Cafe#. Rows include Bay Street Corridor District, South Richmond Development District, St. George District, Stapleton Waterfront District.

ARTICLE II
RESIDENCE DISTRICT REGULATIONS

Chapter 3
Residential Bulk Regulations in Residence Districts

* * *

23-011
Quality Housing Program

* * *

(c) In the districts indicated without a letter suffix, the optional Quality Housing #bulk# regulations permitted as an alternative, pursuant to paragraph (b) of this Section, shall not apply to:

* * *

(2) Special Purpose Districts

However, such optional Quality Housing #bulk# regulations are permitted as an alternative to apply in the following Special Purpose Districts:

- #Special 125th Street District#;
#Special Bay Street Corridor District#;
#Special Downtown Brooklyn District#;

* * *

23-03
Street Tree Planting in Residence Districts

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

* * *

(b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:

- #Special Bay Ridge District#;
#Special Bay Street Corridor District#;
#Special Clinton District#;

* * *

ARTICLE III
COMMERCIAL DISTRICT REGULATIONS

Chapter 3
Bulk Regulations for Commercial or Community Facility
Buildings in Commercial Districts

* * *

33-03
Street Tree Planting in Commercial Districts

C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

* * *

- (b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:
#Special Bay Ridge District#;
#Special Bay Street Corridor District#;
#Special Clinton District#;

* * *

ARTICLE XI
SPECIAL PURPOSE DISTRICTS

Chapter 6
Special Stapleton Waterfront District

* * *

116-20
SPECIAL BULK REGULATIONS

* * *

116-23
Special Height and Setback Regulations

The special height and setback regulations set forth in this Section shall apply.

* * *

116-232
Street wall location

Within the #Special Stapleton Waterfront District#, the #street wall# location regulations shall be modified as follows:

(a) Subareas A and B1

In Subareas A and B1, the underlying #street wall# location regulations shall apply, except that the provisions of paragraph (a)(1) of Section 35-651 (Street wall location) shall be modified to require at least 70 percent of the #aggregate width of street wall# be located with 15 feet of the #street line# and extend to the minimum base heights specified in Section 116-233 (Height and setback), or the height of the #building#, whichever is less.

(b) Subareas B2 through B5 and C

In Subareas B B2 through B5 and C, the underlying #street wall# location regulations of a C4-2A District or an R6B District, as applicable, shall be modified as set forth in this Section. Map 3 (Mandatory Front Building Wall Lines) in the Appendix to this Chapter, specifies locations in Subareas B B2 through B5 and C where #mandatory front building wall# requirements apply as follows:

- (a)(1) Type 1: Front #building# walls shall be coincident with and extend along the entire length of the #mandatory front building wall line#, except, to allow articulation at the intersection of two such lines, the front #building# wall may be located anywhere within 15 feet of their point of intersection.
(b)(2) Type 2: Front #building# walls shall be located within eight feet of and extend along at least 70 percent of the length of the #mandatory front building wall line#. For phased #development#, this requirement may be satisfied by more than one #building#, provided that upon completion 70 percent of the length of the #mandatory front building wall line# is occupied by such front #building# walls.
(c)(3) Wherever Map 3 does not indicate a #mandatory front building wall line#, the underlying #street wall# location rules shall apply.

If more than one #building# is #developed# in Subareas B1, B2, B3 or B4, the first #building# shall be located along a Type 1 #mandatory front building wall line#. Subsequent #buildings# shall locate along a Type 2 #mandatory front building wall line# until 70 percent of the length of the #mandatory front building wall line# is occupied.

[MOVED HEIGHT AND SETBACK PROVISIONS TO 116-233]

All #mandatory front building walls# shall rise without setback to a maximum height of 40 feet the minimum base height specified in Section 116-233, or the height of the #building#, whichever is less. A #building# may exceed a height of 40 feet, up to the maximum #building# height specified in Section 116-233, if a setback is provided at a minimum height of 35 feet. Such setback shall have a minimum depth of 10 feet and shall be measured from the front #building# wall. Recesses shall be permitted on the ground floor where required to provide access to the #building#. Above the ground floor, up to 30 percent of the aggregate width of the front #building# wall may be recessed.

However, in Subarea B2, the #mandatory front building wall# may rise without setback to the permitted maximum height of the #building#.

116-233
Maximum building height Height and setback

Within the #Special Stapleton Waterfront District#, the underlying height and setback regulations shall be modified as follows:

(a) Subareas A and B1

(1) Base heights and maximum #building# heights

Table 1 below sets forth the minimum and maximum base height, the maximum transition height, the maximum height of a #building or other structure#, and the maximum number of #stories# for #buildings# in Subareas A and B1. The maximum #building# height set forth in the table shall only be permitted in locations where the maximum #street wall# width of a #building# above the transition height, or, where applicable, the maximum base height, does not exceed 100 feet. At least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

A setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the Subarea, and shall be provided in accordance with paragraph (a)(2) of this Section.

Table 1
Maximum base heights and maximum #building# heights for Subareas A and B1

Table with 5 columns: Minimum Base Height (in feet), Maximum Base Height (in feet), Maximum Transition Height (in feet), Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet), Maximum Number of #Stories#. Values: 40, 65, 85, 125, 12

(2) Required setbacks

At a height not lower than the minimum base height or higher than the maximum base height specified for the Subarea in the table in paragraph (a)(1) of this Section, a setback with a depth of at least 10 feet shall be provided from the front #building# wall.

In addition, the underlying provisions of paragraphs (c) (2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

(3) Dormer provisions

The underlying dormer provisions of paragraph (c) of Section 23-621 shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is less.

(b) Subarea B2

Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

(c) Subareas B3 through B5 and C

In Subareas B3 through B5, and C, the minimum base height shall be 35 feet and the maximum base height shall be 40 feet. At a height not lower than the minimum base height or higher than the maximum base height, a setback with a depth of at least 10 feet shall be provided, as measured from the front #building# wall.

Within the #Special Stapleton Waterfront District#, the #The maximum height of a #building or other structure# outside of Subarea B2 shall not exceed 50 feet. However, where the ground floor level of a #building# provides a #qualifying ground

floor# in accordance with the supplemental provisions set forth in paragraph (b) of Section 35-652, the maximum height of a #building or other structure# may be increased to 55 feet.

Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

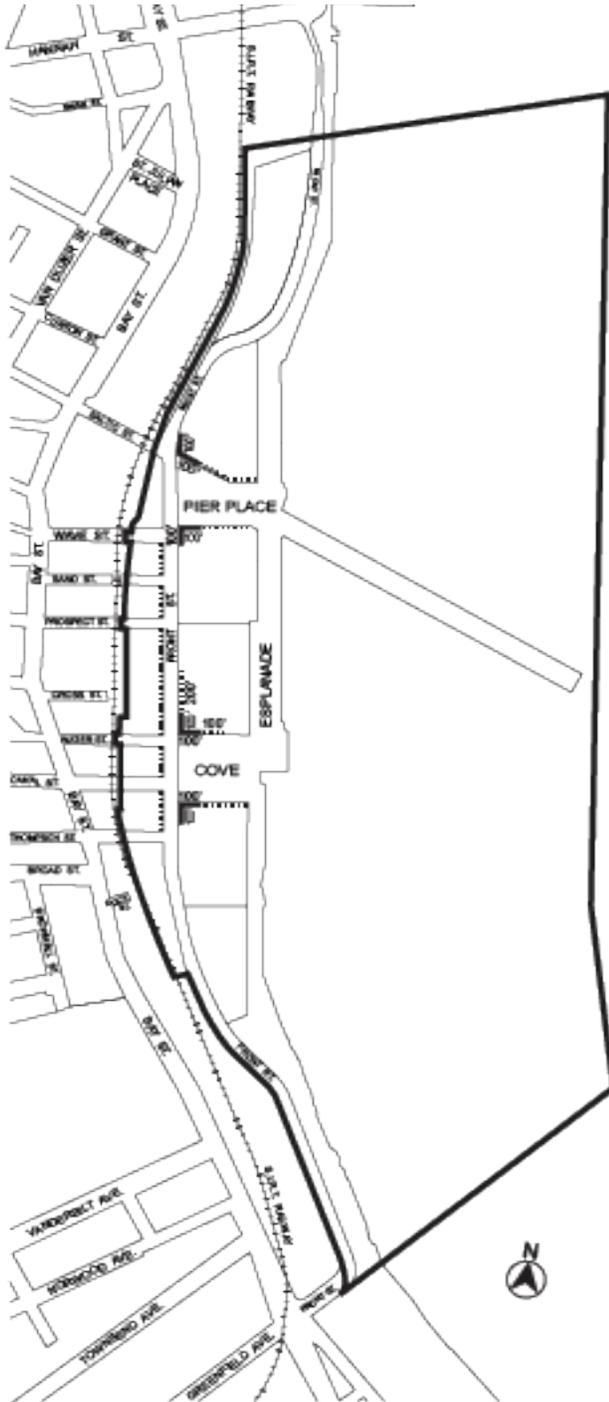
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Appendix A
Stapleton Waterfront District Plan

* * *

Map 3. Mandatory Front Building Wall Lines

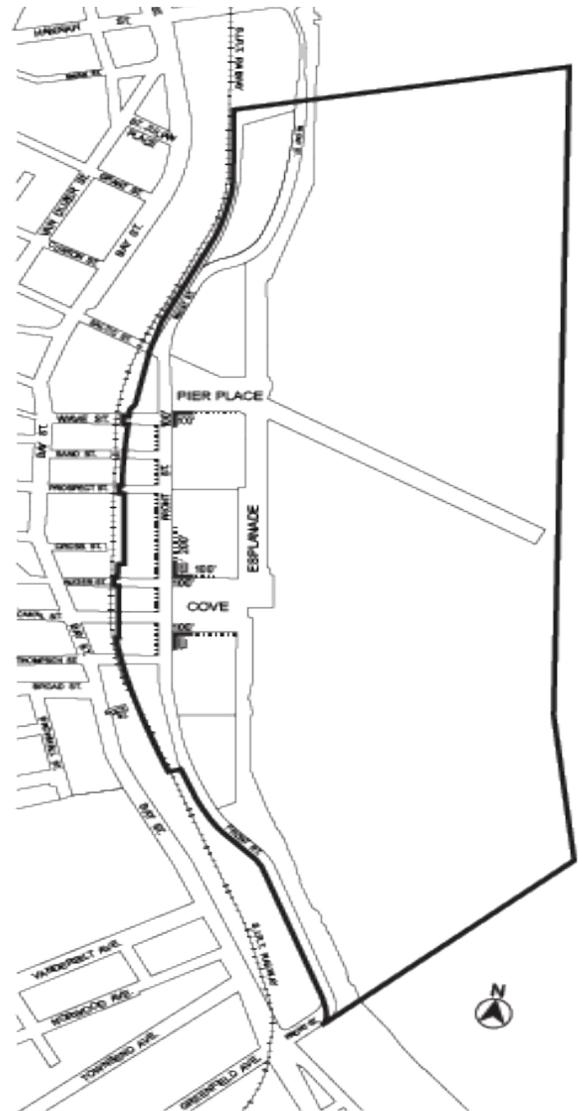
[EXISTING MAP]



———— Special Stapleton Waterfront District
———— Type 1 Mandatory Front Building Wall Line
..... Type 2 Mandatory Front Building Wall Line

[PROPOSED MAP]

Type 1 and Type 2 Mandatory Front Building Wall Lines to be removed from Subarea B1]



———— Special Stapleton Waterfront District
———— Type 1 Mandatory Front Building Wall Line
..... Type 2 Mandatory Front Building Wall Line

* * *

ARTICLE XIII
SPECIAL PURPOSE DISTRICTS

Chapter 5
Special Bay Street Corridor District

135-00
GENERAL PURPOSES

The "Special Bay Street Corridor District" established in this Resolution is designed to promote and protect public health, safety and general welfare. These general goals include, among others, the following specific purposes:

- (a) to encourage well-designed buildings that complement the built character of the St. George, Stapleton and Tompkinsville neighborhoods;
- (b) to achieve a harmonious visual and functional relationship with the adjacent neighborhoods;
- (c) to maintain and reestablish physical and visual public access to the Stapleton neighborhood and to the waterfront;
- (d) to enhance neighborhood economic diversity by broadening the range of housing choices for residents at varied incomes;

- (e) to provide flexibility to attract new commercial and retail uses and support the existing businesses that define the area;
- (f) to create a livable community combining housing, retail and other uses throughout the district;
- (g) to create a walkable, urban streetscape environment through a mix of ground floor uses that connect the town centers of St George and Stapleton;
- (h) to create a lively and attractive built environment that will provide daily amenities and services for the use and enjoyment of area residents, workers and visitors;
- (i) to provide flexibility of architectural design within limits established to assure adequate access of light and air to the street, and thus to encourage more attractive and economic building forms; and
- (j) to promote the most desirable use of land in accordance with a well-considered plan and thus conserve the value of land and buildings, and thereby protect the City's tax revenues.

135-01 General Provisions

The provisions of this Chapter shall apply within the #Special Bay Street Corridor District#. The regulations of all other Chapters of this Resolution are applicable, except as superseded, supplemented or modified by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control.

135-02 District Plan and Maps

District maps are located in Appendix A of this Chapter and are hereby incorporated and made an integral part of this Resolution. They are incorporated for the purpose of specifying locations where special regulations and requirements, as set forth in the text of this Chapter, apply.

Map 1 Special Bay Street Corridor District and Subdistricts

Map 2 Location of visual corridors

135-03 Subdistricts

In order to carry out the purposes and provisions of this Chapter, five subdistricts are established, as follows:

- Subdistrict A
- Subdistrict B, which is comprised of Subdistricts B1 and B2
- Subdistrict C
- Subdistrict D
- Subdistrict E

The location and boundaries of these subdistricts are shown on Map 1 (Special Bay Street Corridor District and Subdistricts), in Appendix A of this Chapter.

135-04 Applicability

135-041 Applicability of Article I, Chapter 2

The definition of "lower density growth management area" in Section 12-10 shall be modified to exclude all districts within the #Special Bay Street Corridor District#.

135-042 Applicability of the Quality Housing Program

Any #building# containing #residences#, #long-term care facilities# or philanthropic or non-profit institutions with sleeping accommodations that is constructed in accordance with the #bulk# regulations of this Chapter shall be considered a #Quality Housing building#, and shall comply with the provisions of Article II, Chapter 8.

135-043 Applicability of the Inclusionary Housing Program

For the purposes of applying the Inclusionary Housing Program set forth in Section 23-90, the #Special Bay Street Corridor District# shall be a #Mandatory Inclusionary Housing area#.

135-044 Applicability of Article VI, Chapter 4

Notwithstanding the provisions of Section 135-01, in #flood zones#, in the event of a conflict between the provisions of this Chapter and the provisions of Article VI, Chapter 4 (Special Regulations Applying in Flood Hazard Areas), the provisions of Article VI, Chapter 4, shall control.

135-045 Applicability of this Chapter to certain zoning lots in Subdistrict D

For #zoning lots# in Subdistrict D containing a Use Group 16 or 17 #use# operated in support of a public service or transportation facility and existing on [date of enactment], the provisions of this Chapter shall not apply. In lieu thereof, the provisions of an M1-1 District shall apply.

135-10 SPECIAL USE REGULATIONS

The underlying #use# regulations are modified by the provisions of this Section, inclusive.

135-11 Ground Floor Use Regulations

For the purposes of applying the special #ground floor level# streetscape provisions set forth in Section 37-30 to this Chapter, any portion of a #ground floor level street# frontage along Bay Street, as well as any #street# frontage within 50 feet of Bay Street, shall be considered a #primary street frontage#. A #ground floor level street# frontage along any other #street# shall be considered a #secondary street frontage#. For the purposes of this Section, defined terms shall include those in Section 12-10 and Section 37-311.

The provisions of this Section shall apply to #developments# or ground floor level #enlargements#.

(a) Along #primary street frontages#

For #buildings#, or portions thereof, with #primary street frontage#, #uses# on the #ground floor level#, to the minimum depth set forth in Section 37-32 (Ground Floor Depth Requirements for Certain Uses), shall be limited to non-#residential uses#, except for Type 1 lobbies and entrances and exits to #accessory# parking spaces provided in accordance with the applicable provisions of Section 37-33 (Maximum Width of Certain Uses). #Group parking facilities# located on the #ground floor level# shall be wrapped by #floor area# in accordance with the provisions of paragraph (a) of Section 37-35 (Parking Wrap and Screening Requirements). #Ground floor level street walls# shall be glazed in accordance with the provisions set forth in Section 37-34 (Minimum Transparency Requirements).

For #zoning lots# with a #lot area# of less than 5,000 square feet existing both on [date of adoption] and on the date of application for a building permit, the provisions of this paragraph shall not apply. In lieu thereof, the provisions of paragraph (b) of this Section shall apply.

In #flood zones#, where no transparent materials or #building# entrances or exits are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk for a continuous width of at least 15 feet, visual mitigation elements shall be provided in accordance with Section 135-12 for such blank wall.

(b) Along #secondary street frontages#

For #buildings#, or portions thereof, with #secondary street frontage#, all #uses# permitted by the underlying district shall be permitted on the #ground floor level#, provided that any #accessory# off-street parking spaces on the #ground floor level# shall be wrapped or screened in accordance with Section 37-35.

The level of the finished floor of such ground floor shall be located not higher than five feet above nor lower than five feet below the as-built level of the adjoining #street#.

135-12 Special Streetscape Provisions for Blank Walls

Where visual mitigation elements are required on a blank wall along the #ground floor level street wall# pursuant to the provisions of Section 135-11 (Ground Floor Use Regulations), at least 75 percent of the linear footage of any such blank wall shall be treated by one or more of the following visual mitigation elements.

(a) Planting

Where utilized as a visual mitigation element, any combination of perennials, annuals, decorative grasses or shrubs shall be provided in planting beds, raised planting beds or planter boxes in front of the #street wall#. Each foot in width of a planting bed, raised planting bed or planter box, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Such planting bed shall extend to a depth of at least three feet, inclusive of any structure containing the planted material. Any individual planted area shall have a width of at least five feet, and the height of such planting, inclusive of any structure containing the planted materials, shall be at least three feet.

Where a blank wall exceeds a #street wall# width of 50 feet, at least 25 percent of such #street wall# width shall be planted in accordance with the provisions of this paragraph.

(b) Benches

Where utilized as a visual mitigation element, fixed benches with or without backs shall be provided in front of the #street wall#. Unobstructed access shall be provided between such benches and an adjoining sidewalk or required circulation paths. Each linear foot of bench, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Any individual bench shall have a width of at least five feet, and no more than 20 feet of benches may be used to fulfill such requirement per 50 feet of frontage.

(c) **Bicycle racks**

Where utilized as a visual mitigation element, bicycle racks, sufficient to accommodate at least two bicycles, shall be provided in front of the #street wall#, and oriented so that the bicycles are placed parallel to the #street wall#. Each bicycle rack so provided shall satisfy five linear feet of frontage mitigation requirement. No more than three bicycle racks may be used to fulfill such requirement per 50 feet of frontage.

(d) **Tables and chairs**

Where utilized as a visual mitigation element, fixed tables and chairs shall be provided in front of the #street wall#. Each table shall have a minimum diameter of two feet, and have a minimum of two chairs associated with it. Each table and chair set so provided shall satisfy five linear feet of frontage mitigation requirement.

(e) **Wall treatment**

Where utilized as a visual mitigation element, wall treatment, in the form of permitted #signs#, graphic or sculptural art, rustication, decorative screening or latticework, or living plant material, shall be provided along the #street wall#. Each linear foot of wall treatment shall constitute one linear foot of frontage mitigation requirement. Such wall treatment shall extend to a height of at least 10 feet, as measured from the level of the adjoining sidewalk or grade, and have a minimum width of 10 feet, as measured parallel to the #street wall#.

All visual mitigation elements shall be provided on the #zoning lot#, except where such elements are permitted within the #street# under other applicable laws or regulations.

135-13 Physical Culture or Health Establishments

Within the #Special Bay Street Corridor District#, a #physical culture or health establishment# shall be permitted as-of-right in #Commercial Districts#. For the purposes of applying the underlying regulations to such #use#, a #physical culture or health establishment# shall be considered a Use Group 9 #use# and shall be within parking requirement category B.

135-14 Modification of Supplemental Use Provisions

In Subdistricts A, B and C, the underlying provisions of Section 32-421 (Limitation on floors occupied by commercial uses) shall be modified as follows:

- (a) For #mixed buildings#, offices, as listed in Use Group 6B, shall be permitted on the lowest two #stories# of a #building#, provided that no access exists between such offices and any #residential uses#; and
- (b) For #commercial buildings#, the provisions restricting the location of #uses# listed in Use Group 6A, 6B, 6C, 6F, 7, 8, 9 or 14 to two #stories#, shall not apply.

135-15 Enlargement of Certain Non-conforming Uses

For #zoning lots# containing alcoholic beverage manufacturing establishments, or breweries, as listed in Use Group 18, the provisions of Section 52-40 (ENLARGEMENTS OR EXTENSIONS) shall be modified to permit an #enlargement# or #extension# of such #use# after [date of adoption], provided that:

- (a) the performance standards for M1 Districts set forth in Section 42-20, inclusive, shall apply to the #enlarged# or #extended# portion;
- (b) the #enlarged# or #extended# area does not exceed 15,000 square feet;
- (c) such #enlargement# or #extension# is located within a #completely enclosed building#; and
- (d) all construction has been completed prior to [15 years after date of adoption].

135-20 SPECIAL BULK REGULATIONS

The underlying #floor area#, #yard#, #street wall# location and height and setback regulations are modified by the provisions of this Section.

135-21 Special Floor Area Regulations

The underlying #floor area# regulations are modified by the provisions of this Section. For the purpose of this Section, defined terms include those set forth in Sections 12-10 and 23-911.

Table 1 below sets forth the maximum #floor area ratio# of a #zoning lot# for each Subdistrict. Column 1 sets forth the maximum #floor area ratio# for #commercial uses# other than offices, as listed in Use Group 6B, and Column 2 sets forth the maximum #floor area ratio# for offices. Column 3 sets forth the maximum #floor area ratio# for #residences#, other than #MIH sites# and #affordable independent residences for seniors#, that are subject to the provisions of paragraph (d)(4)(i) or (d)(4)(iii) of Section 23-154 (Inclusionary Housing). Column 4 sets forth the maximum #residential floor area ratio# for #MIH sites# where either #affordable floor area# is provided in accordance with the provisions of paragraphs (d)(3)(i) through (d)(3)(iv) or paragraph (d)(5) of Section 23-154, or where a contribution to the #affordable housing fund# is made in accordance with paragraph (d)(3)(v) of such Section. Column 4 also sets forth the maximum #floor area ratio# for #community facility uses#, other than #long-term care facilities#. Column 5 sets forth the maximum #floor area ratio# for #zoning lots# containing #affordable independent residences for seniors# or #long-term care facilities#.

For #zoning lots# with #buildings# containing multiple #uses# or for #zoning lots# with multiple #buildings# containing different #uses#, the maximum #floor area ratio# for each #use# shall be as set forth in the table, and the maximum #floor area ratio# for the #zoning lot# shall not exceed the greatest #floor area ratio# permitted for any such #use# on the #zoning lot#.

**Table 1
Maximum #floor area ratio#**

Subdistrict	Column 1 For #commercial uses# other than offices	Column 2 For offices	Column 3 For #residences# other than #MIH sites# and #affordable independent residences for seniors#	Column 4 For #MIH sites# and #community facility uses# other than #long-term care facilities#	Column 5 For #affordable independent residences for seniors# or #long-term care facilities#
A	2.0	4.60	4.00	4.60	5.01
B	2.0	3.60	3.00	3.60	3.90
C	2.0	3.00	2.50	3.00	3.25
D	2.0	2.00	2.50	3.00	3.25
E	2.0	2.00	2.00	2.20	2.20

135-22 Special Lot Coverage Regulations

The underlying #lot coverage# regulations are modified by the provisions of this Section.

The maximum #residential lot coverage# for interior lots# or #through lots# shall be 65 percent, and the maximum #residential lot coverage# for #corner lots# shall be 100 percent.

135-23 Special Yard Regulations

The underlying #yard# regulations are modified by the provisions of this Section.

In Subdistrict A, no #rear yard# or #rear yard equivalent# need be provided for #commercial buildings#, #community facility buildings#, or the portion of a #mixed building# containing #commercial# or #community facility uses#.

135-24 Special Street Wall Location Regulations

The underlying #street wall# location provisions are modified by the provisions of this Section.

(a) **Along Bay Street**

Along Bay Street and along #streets# within 50 feet of their intersection with Bay Street, the following #street wall# regulations shall apply:

- (1) At least 70 percent of the #aggregate width of street walls# of a #building# shall be located within eight feet of the #street line#, and shall rise without setback up to at least the minimum base height specified in Section 135-25 (Special Height and Setback Regulations), or the height of

the #building#, whichever is less. Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#.

- (2) For #developments# or horizontal #enlargements# of #buildings# within the #flood zone#, or portions thereof, where no transparent materials are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk pursuant to the provisions of Section 135-11 (Ground Floor Use Regulations) and Section 37-34 (Minimum Transparency Requirements) for a continuous distance of more than 25 feet, such #street wall# shall be located at least three feet beyond the #street line#. Such #street wall# shall not be located beyond five feet of the #street line#, except as permitted pursuant to Section 64-333 (Street wall location in certain districts). Such #street wall# shall provide visual mitigation elements in accordance with the provisions of Section 135-12 (Special Streetscape Provisions for Blank Walls), and any area between the #street wall# and the sidewalk that does not contain any planting material pursuant to the provisions of paragraph (a) of Section 135-12 shall be improved to Department of Transportation standards for sidewalks.

- (3) A minimum of 20 percent of the surface area of such #street walls# above the level of the first #story# shall be recessed a minimum of three feet. In addition, up to 30 percent of such #street wall# may be recessed at any level, provided that any recesses deeper than 10 feet are located within an #outer court#. Furthermore, no recesses greater than three feet shall be permitted within 30 feet of the intersection of two #street lines#.

(b) Along Van Duzer Street

Along Van Duzer Street, and along #streets# within 50 feet of their intersection with Van Duzer Street, the underlying #street wall# location regulations shall apply.

(c) Along all other #streets#

Along all #streets# that are not subject to paragraphs (a) or (b) of this Section, at least 50 percent of the #aggregate width of street walls# shall be located within 15 feet of the #street line#. The remaining #aggregate width of street walls# may be recessed beyond 15 feet of the #street line#, provided that any such recesses deeper than 10 feet are located within an #outer court#. Where the #street wall# of a #building#, or an individual segment thereof, exceeds the maximum base height established in Section 135-25, such #street wall# shall rise without setback to at least the minimum base height specified in Section 135-25.

The underlying allowances for #street wall# articulation, set forth in paragraph (d) of Section 23-661 or paragraph (e) of Section 35-651, as applicable, shall be permitted to project or recess beyond the #street wall# locations established in paragraphs (a), (b), or (c) of this Section.

**135-25
Special Height and Setback Regulations**

The underlying height and setback provisions are modified by the provisions of this Section.

Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#. Such visual corridors shall be considered #wide streets# for the purposes of applying the height and setback regulations of this Section.

(a) Base heights and maximum #building# heights

Table 1 below sets forth the minimum and maximum base height, the maximum transition height, where applicable, the maximum height of a #building or other structure#, and the maximum number of #stories# for #buildings# in the #Special Bay Street Corridor District#.

In all Subdistricts, a setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the Subdistrict, and shall be provided in accordance with paragraph (b) of this Section.

In Subdistrict A and B1, any portion of a #building# located above the maximum transition height, and in Subdistrict B2 and C, any portion of a #building# located above the maximum base height, shall be subject to the maximum #street wall# width restrictions set forth in paragraph (c) of this Section.

**Table 1
Maximum Base Heights and Maximum #Building# Heights**

Subdistrict	Minimum Base Height (in feet)	Maximum Base Height (in feet)	Maximum Transition Height (in feet)	Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet)	Maximum Number of #Stories#
A	40	65	85	145	14
B1	40	65	85	125	12
B2	40	65	N/A	125	12
C	40	65	N/A	85	8
D	40	65	N/A	75	7
E	30	45	N/A	55	5

(b) Required setbacks

At a height not lower than the minimum base height or higher than the maximum base height specified for the subdistrict in Table 1 in paragraph (a) of this Section, a setback with a depth of at least 15 feet shall be provided from any #street wall# fronting on a #narrow street#, and a setback with a depth of at least 10 feet shall be provided from any #street wall# fronting on a #wide street#.

In addition, the underlying provisions of paragraphs (c)(2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

(c) Maximum #street wall# width in Subdistricts A, B and C

In Subdistricts A, B and C, the maximum #building# height set forth in Table 1 in paragraph (a) of this Section shall only be permitted within 100 feet of #streets# intersecting Bay Street. In addition, in Subdistrict B2, such maximum #building# height shall be permitted beyond 100 feet of #streets# intersecting Bay Street, provided that the maximum #street wall# width above the maximum base height does not exceed 100 feet.

In all such Subdistricts, at least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

(d) Dormer provisions

The underlying dormer provisions of paragraph (c) of Section 23-621 shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is less.

**135-30
SPECIAL PUBLIC ACCESS AREA REGULATIONS**

**135-31
Special Visual Corridor Requirements**

Within the Special Bay Street Corridor District, visual corridors shall be provided east of Bay Street, prolonging Swan Street, Clinton Street, Grant Street and Baltic Street, as shown on Map 2 in the Appendix to this Chapter. The location of the visual corridor prolonging Grant Street may be located anywhere within the flexible location designated on Map 2.

Such visual corridors shall be a minimum of 60 feet wide and shall be improved to minimum Department of Transportation (DOT) standards for public #streets#.

The boundaries of visual corridors shall be considered #street lines# for the purposes of applying the #use#, #bulk# and parking provisions of this Resolution, except that such portion of the #zoning lot#:

- (a) shall continue to generate #floor area#;
- (b) may be included for the purposes of calculating #lot coverage#; and
- (c) shall be permitted to accommodate open, unscreened, tandem (one behind the other) #accessory# off-street parking spaces provided that any such parking spaces are provided in accordance with DOT standards for on-street parking.

**135-40
SPECIAL PARKING AND LOADING REGULATIONS**

The underlying parking provisions are modified by the provisions of this Section.

**135-41
Commercial Parking Requirements**

In #mixed buildings#, the underlying parking requirements shall apply,

except that for the purposes of determining the parking requirement for commercial uses other than offices, as listed in Use Group 6B, the equivalent of 0.5 floor area ratio, or the amount of non-office commercial floor area in the building, whichever is less, may be deducted from the floor area used to determine such commercial parking calculation.

135-42 Residential Parking Waivers

The underlying residential parking waivers shall only apply to zoning lots existing both on [date of adoption] and on the date of application for a building permit.

135-43 Location of Parking Spaces

All accessory off-street parking spaces may be provided within public parking garages. Such spaces may also be provided within parking facilities on zoning lots other than the same zoning lot as the use to which they are accessory, provided:

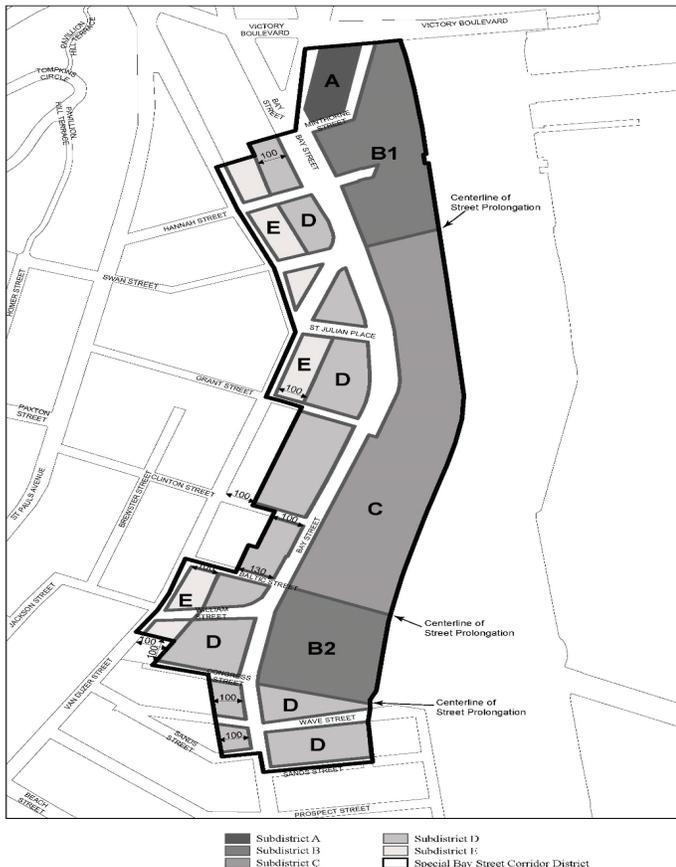
- (a) such parking facilities are located either:
 - (1) within the Special Bay Street Corridor District; or
 - (2) outside the Special Bay Street Corridor District, subject to the underlying provisions for off-site parking spaces set forth in Sections 25-52 (Off-site Spaces for Residences), 25-53 (Off-site Spaces for Permitted Non-residential Uses), 36-42 (Off-site Spaces for Residences) or 36-43 (Off-site Spaces for Commercial or Community Facility Uses), as applicable;
- (b) each off-street parking space within such facility is counted only once in meeting the parking requirements for a specific zoning lot; and
- (c) in no event shall the number of accessory parking spaces within such facility exceed that permitted in accordance with the underlying regulations.

135-44 Location of Curb Cuts

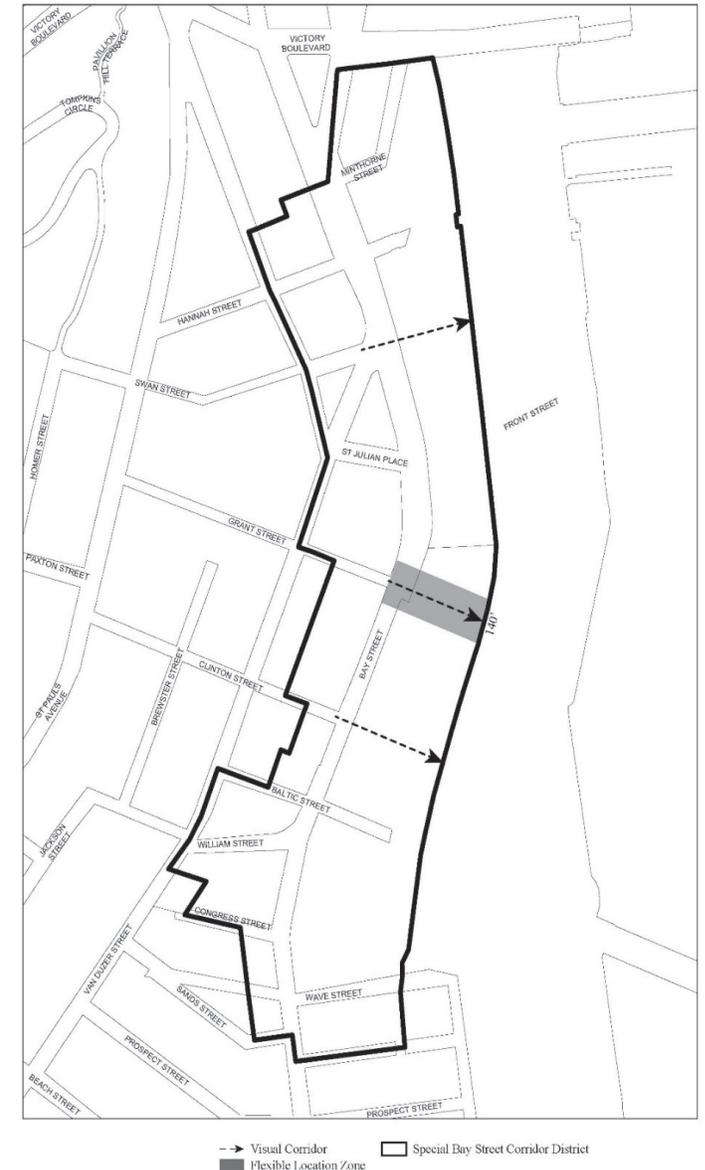
For zoning lots existing on [date of adoption] with frontage along Bay Street and along another street frontage, no curb cut accessing off-street parking spaces or loading spaces shall be permitted along Bay Street.

Appendix A - Special Bay Street Corridor District

Map 1 – Special Bay Street Corridor District and Subdistricts



Map 2 – Location of visual corridors



APPENDIX F Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

Zoning Map	Community District	Maps of Inclusionary Housing Designated Areas	Maps of Mandatory Inclusionary Housing Areas
1d	Bronx CD 7	Map 1	
21c	Staten Island CD 1		Map 1
21c	Staten Island CD 1		Map 2
22a	Brooklyn CD 7	Map 2	

STATEN ISLAND

Staten Island Community District 1

Map 2 - (date of adoption)



Mandatory Inclusionary Housing Area
 Area 1 – [Date of adoption] MIH Program Option 1, Option 2, Deep Affordability Option and Workforce Option
 see Sections 23-154 (d)(3), 135-043, and 135-21
 Area 2 – [Date of adoption] MIH Program Option 1, Option 2, Deep Affordability Option and Workforce Option
 see Section 23-154 (d)(3)

Portion of Community District 1, Staten Island

* * *

No. 13

CD 1 **N 190114(A) ZRR**
IN THE MATTER OF an application submitted by New York City Department of City Planning, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York establishing the Special Bay Street Corridor District (Article XIII, Chapter 5), modifying height and bulk regulations in the Special Stapleton Waterfront District (Article XI, Chapter 6), modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area, and modifying related Sections.

Matter underlined is new, to be added;
 Matter ~~struck out~~ is to be deleted;
 Matter within # # is defined in Section 12-10;
 * * * indicates where unchanged text appears in the Zoning Resolution.

**ARTICLE I
GENERAL PROVISIONS**

**Chapter 1
Title, Establishment of Controls and Interpretation of Regulations**

* * *

**11-122
Districts established**

* * *

Establishment of the Special Bay Ridge District
 In order to carry out the special purposes of this Resolution as set forth in Article XI, Chapter 4, the #Special Bay Ridge District# is hereby established.

Establishment of the Special Bay Street Corridor District
In order to carry out the special purposes of this Resolution as set forth in Article XIII, Chapter 5, the #Special Bay Street Corridor District# is hereby established.

Establishment of the Special City Island District

* * *

**Chapter 2
Construction of Language and Definitions**

* * *

**12-10
DEFINITIONS**

* * *

Special Bay Ridge District
 The "Special Bay Ridge District" is a Special Purpose District designated by the letters "BR" in which special regulations set forth in Article XI, Chapter 4, apply.

Special Bay Street Corridor District
The "Special Bay Street Corridor District" is a Special Purpose District designated by the letters "BSC" in which special regulations set forth in Article XIII, Chapter 5, apply.

Special City Island District

* * *

**Chapter 4
Sidewalk Cafe Regulations**

* * *

**14-44
Special Zoning Districts Where Certain Sidewalk Cafes Are Permitted**

* * *

Staten Island	#Enclosed Sidewalk Cafe#	#Unenclosed Sidewalk Cafe#
<u>Bay Street Corridor District</u>	Yes	Yes
South Richmond Development District	Yes	Yes
St. George District	Yes	Yes
Stapleton Waterfront District	Yes	Yes

* * *

**ARTICLE II
RESIDENCE DISTRICT REGULATIONS**

**Chapter 3
Residential Bulk Regulations in Residence Districts**

* * *

**23-011
Quality Housing Program**

* * *

(d) In the districts indicated without a letter suffix, the optional Quality Housing #bulk# regulations permitted as an alternative pursuant to paragraph (b) of this Section, shall not apply to:

* * *

(3) Special Purpose Districts
 However, such optional Quality Housing #bulk# regulations are permitted as an alternative to apply in the following Special Purpose Districts:

- #Special 125th Street District#;
- #Special Bay Street Corridor District#;
- #Special Downtown Brooklyn District#;

* * *

**23-03
Street Tree Planting in Residence Districts**

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

* * *

(b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:
 #Special Bay Ridge District#;
 #Special Bay Street Corridor District#;
 #Special Clinton District#;

* * *

ARTICLE III
COMMERCIAL DISTRICT REGULATIONS

Chapter 3
Bulk Regulations for Commercial or Community Facility
Buildings in Commercial Districts

* * *

33-03
Street Tree Planting in Commercial Districts

C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

* * *

(b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:

- #Special Bay Ridge District#;
- #Special Bay Street Corridor District#;
- #Special Clinton District#;

* * *

ARTICLE XI
SPECIAL PURPOSE DISTRICTS

Chapter 6
Special Stapleton Waterfront District

* * *

116-20
SPECIAL BULK REGULATIONS FOR SUBAREAS A, B AND C,
THE ESPLANADE, PIER PLACE AND THE COVE

* * *

116-22 Maximum Floor Area Ratio

The maximum #floor area ratio# for all #uses# shall be 2.0.

However, for #zoning lots# in Subareas A and B1, up to a total of 100,000 square feet of floor space, within a #school# shall be exempt from the definition of #floor area#. #Zoning lots# within Subarea A and B1 that are contiguous or would be contiguous but for their separation by a #street#, may be considered one #zoning lot# for the purpose of applying these special #floor area# regulations.

116-23
Special Height and Setback Regulations

The special height and setback regulations set forth in this Section shall apply.

* * *

116-23a
Street wall location

Within the #Special Stapleton Waterfront District#, the #street wall# location regulations shall be modified as follows:

(a) Subareas A and B1

In Subareas A and B1, the underlying #street wall# location regulations shall apply, except that the provisions of paragraph (a)(1) of Section 35-651 (Street wall location) shall be modified to require that at least 70 percent of the #aggregate width of street wall# be located within 15 feet of the #street line# and extend to the minimum base heights specified in Section 116-233 (Height and setback), or the height of the #building#, whichever is less.

(b) Subareas B2 through B5 and C

In Subareas B B2 through B5 and C, the underlying #street wall# location regulations of a C4-2A District or an R6B District, as applicable, shall be modified as set forth in this Section. Map 3 (Mandatory Front Building Wall Lines) in Appendix A of this Chapter, specifies locations in Subareas B B2 through B5 and C where #mandatory front building wall# requirements apply as follows:

- (a)(1) Type 1: Front #building# walls shall be coincident with and extend along the entire length of the #mandatory front building wall line#, except, to allow articulation at the intersection of two such lines, the front #building# wall may be located anywhere within 15 feet of their point of intersection.
- (b)(2) Type 2: Front #building# walls shall be located within eight feet of and extend along at least 70 percent of the length of the #mandatory front building wall line#. For phased #development#, this requirement may be satisfied by more than one #building#, provided that upon completion 70 percent of the length of the #mandatory

front building wall line# is occupied by such front #building# walls.

(c)(3) Wherever Map 3 does not indicate a #mandatory front building wall line#, the underlying #street wall# location rules shall apply.

If more than one #building# is #developed# in Subareas B1, B2, B3 or B4, the first #building# shall be located along a Type 1 #mandatory front building wall line#. Subsequent #buildings# shall locate along a Type 2 #mandatory front building wall line# until 70 percent of the length of the #mandatory front building wall line# is occupied.

[MOVED HEIGHT AND SETBACK PROVISIONS TO 116-233]

All #mandatory front building walls# shall rise without setback to a maximum height of 40 feet the minimum base height specified in Section 116-233, or the height of the #building#, whichever is less. A #building# may exceed a height of 40 feet, up to the maximum #building# height specified in Section 116-233, if a setback is provided at a minimum height of 35 feet. Such setback shall have a minimum depth of 10 feet and shall be measured from the front #building# wall. Recesses shall be permitted on the ground floor where required to provide access to the #building#. Above the ground floor, up to 30 percent of the aggregate width of the front #building# wall may be recessed.

However, in Subarea B2, the #mandatory front building wall# may rise without setback to the permitted maximum height of the #building#.

116-233
Maximum building height Height and setback

Within the #Special Stapleton Waterfront District#, the underlying height and setback regulations shall be modified as follows:

(a) Subareas A and B1

(1) Base heights and maximum #building# heights

The table below sets forth the minimum and maximum base height, the maximum transition height, the maximum height of a #building or other structure#, and the maximum number of #stories# for #buildings# in Subareas A and B1. The maximum #building# height set forth in the table shall only be permitted in locations where the maximum #street wall# width of a #building# above the transition height, or, where applicable, the maximum base height, does not exceed 100 feet. At least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

A setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the Subarea, and shall be provided in accordance with paragraph (a)(2) of this Section.

Maximum Base Heights and Maximum #Building# Heights for Subareas A and B1

Minimum Base Height (in feet)	Maximum Base Height (in feet)	Maximum Transition Height (in feet)	Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet)	Maximum Number of #Stories#
40	65	85	125	12

(2) Required setbacks

At a height not lower than the minimum base height, or higher than the maximum base height specified for the Subarea in the table in paragraph (a)(1) of this Section, a setback with a depth of at least 10 feet shall be provided from the front #building# wall.

In addition, the underlying provisions of paragraphs (c) (2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

(3) Dormer provisions

The underlying dormer provisions of paragraph (c) of Section 23-621 (Permitted obstructions in certain districts) shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is lower.

(b) Subarea B2

Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

(c) Subareas B3 through B5 and Subarea C

In Subareas B3 through B5 and Subarea C the minimum base height shall be 35 feet and the maximum base height shall be 40 feet. At a height not lower than the minimum base height or higher than the maximum base height, a setback with a depth of at least 10 feet shall be provided, as measured from the front #building# wall.

In Subareas A, B and C, the The maximum height of a #building or other structure# outside of Subarea B2 shall not exceed 50 feet. However, where the ground floor level of a #building# provides a #qualifying ground floor# in accordance with the supplemental provisions set forth in paragraph (b)(2) of Section 35-652 (Maximum height of buildings and setback regulations), the maximum height of a #building or other structure# may be increased to 55 feet.

Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

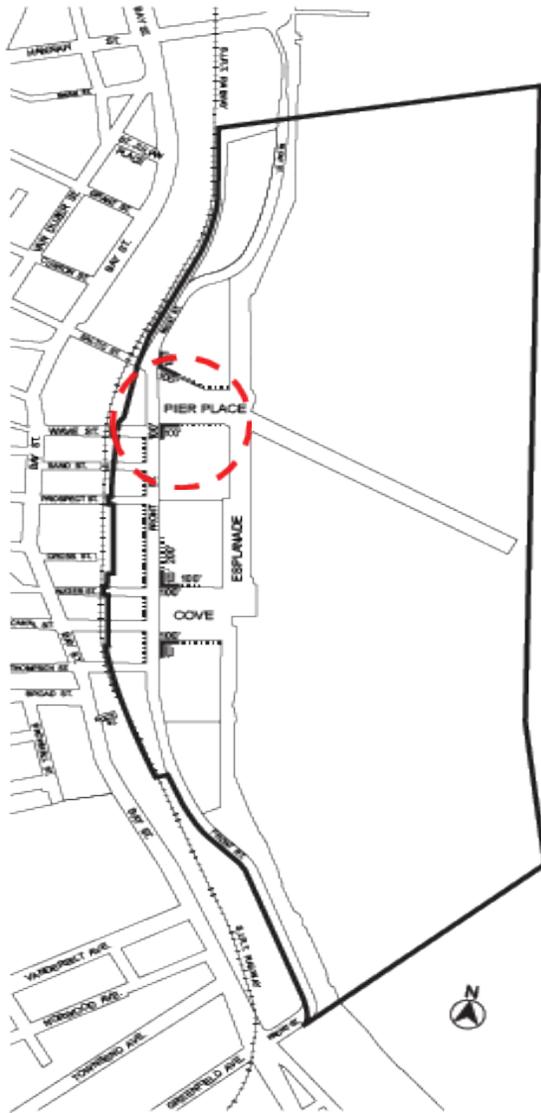
* * *

Appendix A Stapleton Waterfront District Plan

* * *

Map 3 - Mandatory Front Building Wall Lines

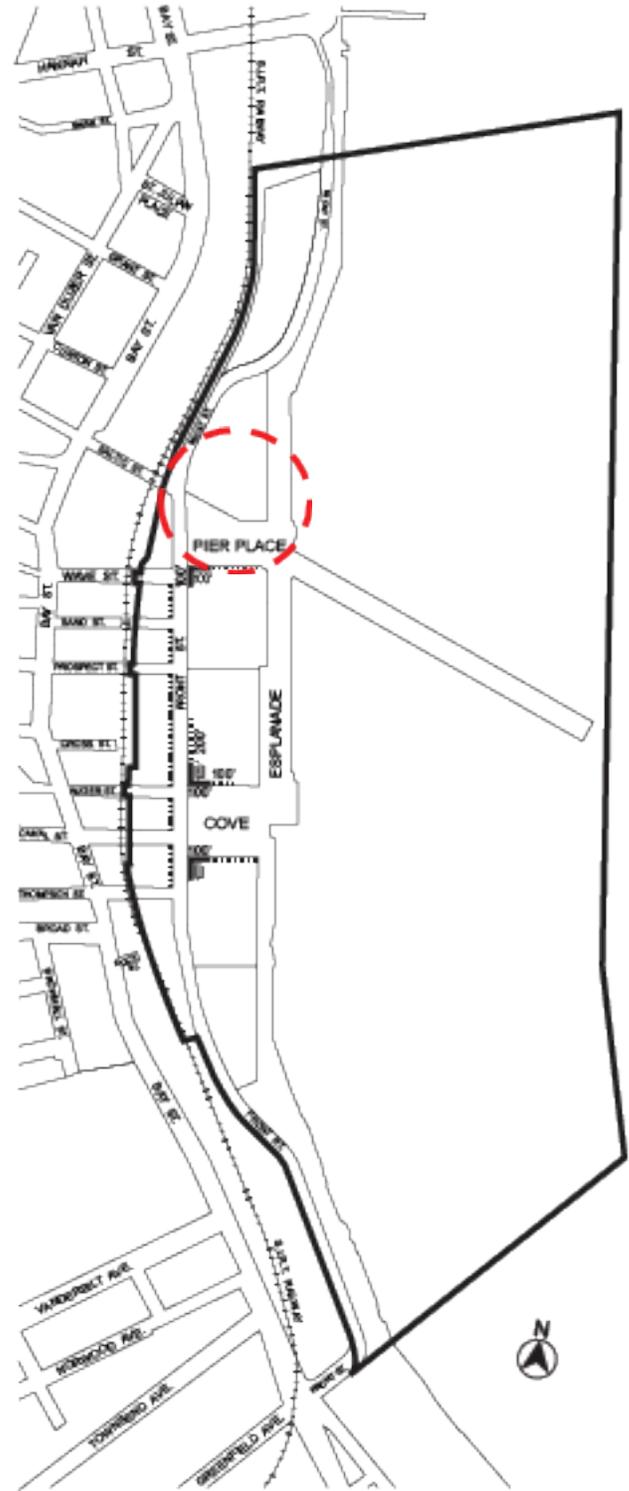
[EXISTING MAP]



- Special Stapleton Waterfront District
- Type 1 Mandatory Front Building Wall Line
- Type 2 Mandatory Front Building Wall Line

[PROPOSED MAP]

Type 1 and Type 2 Mandatory Front Building Wall Lines to be removed from Subarea B1]



- Special Stapleton Waterfront District
- Type 1 Mandatory Front Building Wall Line
- Type 2 Mandatory Front Building Wall Line

* * *

ARTICLE XIII SPECIAL PURPOSE DISTRICTS

Chapter 5 Special Bay Street Corridor District

135-00 GENERAL PURPOSES

The "Special Bay Street Corridor District" established in this Resolution is designed to promote and protect public health, safety and general welfare. These general goals include, among others, the following specific purposes:

- (a) to encourage well-designed buildings that complement the built character of the St. George, Stapleton and Tompkinsville neighborhoods;
- (b) to achieve a harmonious visual and functional relationship with the adjacent neighborhoods;
- (c) to maintain and reestablish physical and visual public access to the Stapleton neighborhood and to the waterfront;
- (d) to enhance neighborhood economic diversity by broadening the range of housing choices for residents at varied incomes;
- (e) to provide flexibility to attract new commercial and retail uses and support the existing businesses that define the area;
- (f) to create a livable community combining housing, retail and other uses throughout the district;
- (g) to create a walkable, urban streetscape environment through a mix of ground floor uses that connect the town centers of St. George and Stapleton;
- (h) to create a lively and attractive built environment that will provide daily amenities and services for the use and enjoyment of area residents, workers and visitors;
- (i) to provide flexibility of architectural design within limits established to assure adequate access of light and air to the street, and thus to encourage more attractive and economic building forms; and
- (j) to promote the most desirable use of land in accordance with a well-considered plan and thus conserve the value of land and buildings, and thereby protect the City's tax revenues.

135-01 General Provisions

The provisions of this Chapter shall apply within the #Special Bay Street Corridor District#. The regulations of all other Chapters of this Resolution are applicable, except as superseded, supplemented or modified by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control.

135-02 District Plan and Maps

District maps are located in Appendix A of this Chapter and are hereby incorporated and made an integral part of this Resolution. They are incorporated for the purpose of specifying locations where special regulations and requirements, as set forth in the text of this Chapter, apply.

Map 1 - Special Bay Street Corridor District and Subdistricts
Map 2 - Location of Visual Corridors

135-03 Subdistricts

In order to carry out the purposes and provisions of this Chapter, five subdistricts are established, as follows:

Subdistrict A
Subdistrict B
Subdistrict C
Subdistrict D
Subdistrict E

In Subdistrict B, subareas are established as follows:

Subarea B1
Subarea B2

The location and boundaries of these subdistricts are shown on Map 1 (Special Bay Street Corridor District and Subdistricts) in Appendix A of this Chapter.

135-04 Applicability

135-041 Applicability of Article I, Chapter 2

The definition of "lower density growth management area" in Section 12-10 shall exclude all districts within the #Special Bay Street Corridor District#.

135-042 Applicability of the Quality Housing Program

Any #building# containing #residences#, #long-term care facilities# or #philanthropic or non-profit institutions with sleeping accommodations# that is constructed in accordance with the #bulk# regulations of this Chapter shall be considered a #Quality Housing building#, and shall comply with the provisions of Article II, Chapter 8.

135-043 Applicability of the Inclusionary Housing Program

For the purposes of applying the Inclusionary Housing Program set forth in Section 23-90, the #Special Bay Street Corridor District# shall be a #Mandatory Inclusionary Housing area#.

135-044 Applicability of Article VI, Chapter 4

Notwithstanding the general provisions of Section 135-01, in #flood zones#, in the event of a conflict between the provisions of this Chapter and the provisions of Article VI, Chapter 4 (Special Regulations Applying in Flood Hazard Areas), the provisions of Article VI, Chapter 4 shall control.

135-045 Applicability of this Chapter to certain zoning lots in Subdistrict D

For #zoning lots# in Subdistrict D containing a Use Group 16 or 17 #use# operated in support of a public service or transportation facility and existing on [date of adoption], the provisions of this Chapter shall not apply. In lieu thereof, the provisions of an M1-1 District shall apply.

135-10 SPECIAL USE REGULATIONS

The underlying #use# regulations are modified by the provisions of this Section, inclusive.

135-11 Ground Floor Use Regulations

For the purposes of applying to this Chapter the special #ground floor level# streetscape provisions set forth in Section 37-30, any portion of a #ground floor level street# frontage along Bay Street, as well as any #street# frontage within 50 feet of Bay Street, shall be considered a #primary street frontage#. A #ground floor level street# frontage along any other #street# shall be considered a #secondary street frontage#. For the purposes of this Section, inclusive, defined terms shall include those in Sections 12-10 and 37-311.

The provisions of this Section shall apply to #developments# or #ground floor level enlargements#.

(a) Along #primary street frontages#

For #buildings#, or portions thereof, with #primary street frontage#, #uses# on the #ground floor level#, to the minimum depth set forth in Section 37-32 (Ground Floor Depth Requirements for Certain Uses), shall be limited to non-#residential uses#, except for Type 1 lobbies and entrances and exits to #accessory# parking spaces provided in accordance with the applicable provisions of Section 37-33 (Maximum Width of Certain Uses). #Group parking facilities# located on the #ground floor level# shall be wrapped by #floor area# in accordance with the provisions of paragraph (a) of Section 37-35 (Parking Wrap and Screening Requirements). #Ground floor level street walls# shall be glazed in accordance with the provisions set forth in Section 37-34 (Minimum Transparency Requirements).

For #zoning lots# with a #lot area# of less than 5,000 square feet existing both on [date of adoption] and on the date of application for a building permit, the provisions of this paragraph (a) shall not apply. In lieu thereof, the provisions of paragraph (b) of this Section shall apply.

In #flood zones#, where no transparent materials or #building# entrances or exits are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk for a continuous width of at least 15 feet, visual mitigation elements shall be provided in accordance with Section 135-12 for such blank wall.

(b) Along #secondary street frontages#

For #buildings#, or portions thereof, with #secondary street frontage#, all #uses# permitted by the underlying district shall be permitted on the #ground floor level#, provided that any #accessory# off-street parking spaces on the #ground floor level# shall be wrapped or screened in accordance with Section 37-35.

The level of the finished floor of such ground floor shall be located not higher than five feet above nor lower than five feet below the as-built level of the adjoining #street#.

135-12 Special Streetscape Provisions for Blank Walls

Where visual mitigation elements are required on a blank wall along the #ground floor level street wall# pursuant to the provisions of Section 135-11 (Ground Floor Use Regulations), at least 75 percent of the linear footage of any such blank wall shall be treated by one or more of the following visual mitigation elements:

(a) Planting

Where utilized as a visual mitigation element, any combination of perennials, annuals, decorative grasses or shrubs shall be provided in planting beds, raised planting beds or planter boxes in front of the #street wall#. Each foot in width of a planting bed, raised planting bed or planter box, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Such planting bed shall extend to a depth of at least three feet, inclusive of any structure containing the planted material. Any individual planted area shall have a width of at least five feet, and the height of such planting, inclusive of any structure containing the planted materials, shall be at least three feet.

Where a blank wall exceeds a #street wall# width of 50 feet, at least 25 percent of such #street wall# width shall be planted in accordance with the provisions of this paragraph.

(b) Benches

Where utilized as a visual mitigation element, fixed benches with or without backs shall be provided in front of the #street wall#. Unobstructed access shall be provided between such benches and an adjoining sidewalk or required circulation paths. Each linear foot of bench, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Any individual bench shall have a width of at least five feet, and no more than 20 feet of benches may be used to fulfill such requirement per 50 feet of frontage.

(c) Bicycle racks

Where utilized as a visual mitigation element, bicycle racks, sufficient to accommodate at least two bicycles, shall be provided in front of the #street wall#, and oriented so that the bicycles are placed parallel to the #street wall#. Each bicycle rack so provided shall satisfy five linear feet of frontage mitigation requirement. No more than three bicycle racks may be used to fulfill such requirement per 50 feet of frontage.

(d) Tables and chairs

Where utilized as a visual mitigation element, fixed tables and chairs shall be provided in front of the #street wall#. Each table shall have a minimum diameter of two feet, and have a minimum of two chairs associated with it. Each table and chair set so provided shall satisfy five linear feet of frontage mitigation requirement.

(e) Wall treatment

Where utilized as a visual mitigation element, wall treatment, in the form of permitted #signs#, graphic or sculptural art, rustication, decorative screening or latticework, or living plant material, shall be provided along the #street wall#. Each linear foot of wall treatment shall constitute one linear foot of frontage mitigation requirement. Such wall treatment shall extend to a height of at least 10 feet, as measured from the level of the adjoining sidewalk or grade, and have a minimum width of 10 feet, as measured parallel to the #street wall#.

All visual mitigation elements shall be provided on the #zoning lot#, except where such elements are permitted within the #street# under other applicable laws or regulations.

135-13 Physical Culture or Health Establishments

Within the #Special Bay Street Corridor District#, a #physical culture or health establishment# shall be permitted as-of-right in #Commercial Districts#. For the purposes of applying the underlying regulations to such #use#, a #physical culture or health establishment# shall be considered a Use Group 9 #use# and shall be within parking requirement category PRC-B.

135-14 Breweries

Within the #Special Bay Street Corridor District#, breweries, as listed in Use Group 18 A, shall be permitted in Commercial Districts provided that:

- (a) the size of such brewery does not exceed 30,000 square feet; and
- (b) any brewery #developed# or #enlarged# after [date of adoption] shall contain an #accessory# eating or drinking establishment.

For the purposes of applying the underlying regulations, such brewery shall be considered a Use Group 11A #use# and shall be within parking requirement category PRC-F. The performance standards for an M1 District set forth in Section 42-20, inclusive, shall apply to such breweries.

135-15 Modification of Supplemental Use Provisions

In Subdistricts A, B and C, the underlying provisions of Section 32-421 (Limitation on floors occupied by commercial uses) shall be modified as follows:

- (a) For #mixed buildings#, offices, as listed in Use Group 6B, shall be permitted on the lowest two #stories# of a #building#, provided that no access exists between such offices and any #residential uses#;
- (b) For #commercial buildings#, the provisions restricting the location of #uses# listed in Use Group 6A, 6B, 6C, 6F, 7, 8, 9 or 14 to two #stories#, shall not apply; and
- (c) Any brewery #developed# or #enlarged# in accordance with the provisions of Section 135-14, shall be subject to the provisions of Section 32-421.

135-20 SPECIAL BULK REGULATIONS

The underlying #floor area#, #yard#, #street wall# location and height and setback regulations are modified by the provisions of this Section.

135-21 Special Floor Area Regulations

The underlying #floor area# regulations are modified by the provisions of this Section. For the purpose of this Section, defined terms include those set forth in Sections 12-10 and 23-911.

The table below sets forth the maximum #floor area ratio# of a #zoning lot# for each Subdistrict. Column 1 sets forth the maximum #floor area ratio# for #commercial uses# other than offices, as listed in Use Group 6B, and Column 2 sets forth the maximum #floor area ratio# for offices. Column 3 sets forth the maximum #floor area ratio# for #residences#, other than #MIH sites# and #affordable independent residences for seniors#, that are subject to the provisions of paragraph (d)(4)(i) or (d)(4)(iii) of Section 23-154 (Inclusionary Housing). Column 4 sets forth the maximum #residential floor area ratio# for #MIH sites# where either #affordable floor area# is provided in accordance with the provisions of paragraphs (d)(3)(i) through (d)(3)(iv) or paragraph (d)(5) of Section 23-154, or where a contribution to the #affordable housing fund# is made in accordance with paragraph (d)(3)(v) of such Section. Column 4 also sets forth the maximum #floor area ratio# for #community facility uses#, other than #long-term care facilities#. Column 5 sets forth the maximum #floor area ratio# for #zoning lots# containing #affordable independent residences for seniors# or #long-term care facilities#.

For #zoning lots# with #buildings# containing multiple #uses# or for #zoning lots# with multiple #buildings# containing different #uses#, the maximum #floor area ratio# for each #use# shall be as set forth in the table, and the maximum #floor area ratio# for the #zoning lot# shall not exceed the greatest #floor area ratio# permitted for any such #use# on the #zoning lot#.

MAXIMUM #FLOOR AREA RATIO#

	Column 1	Column 2	Column 3	Column 4	Column 5
Subdistrict	For #commercial uses# other than offices	For offices	For #residences# other than #MIH sites# and #affordable independent residences for seniors#	For #MIH sites# and #community facility uses# other than #long-term care facilities#	For #affordable independent residences for seniors# or #long-term care facilities#
A	2.0	4.6	4.0	4.6	5.01
B	2.0	3.6	3.0	3.6	3.9
C	2.0	3.0	2.5	3.0	3.25
D	2.0	2.0	2.5	3.0	3.25
E	2.0	2.0	2.0	2.2	2.2

135-22 Special Lot Coverage Regulations

The underlying #lot coverage# regulations are modified by the provisions of this Section.

The maximum #residential lot coverage# for #interior lots# or #through lots# shall be 65 percent, and the maximum #residential lot coverage# for #corner lots# shall be 100 percent.

135-23 Special Yard Regulations

The underlying #yard# regulations are modified by the provisions of this Section.

In Subdistrict A, no #rear yard# or #rear yard equivalent# need be provided for #commercial buildings#, #community facility buildings#, or the portion of a #mixed building# containing #commercial# or #community facility uses#.

**135-24
Special Street Wall Location Regulations**

The underlying #street wall# location provisions are modified by the provisions of this Section.

(a) **Along Bay Street**

Along Bay Street, and along #streets# within 50 feet of their intersection with Bay Street, the following #street wall# regulations shall apply:

- (1) At least 70 percent of the #aggregate width of street walls# of a #building# shall be located within eight feet of the #street line#, and shall rise without setback up to at least the minimum base height specified in Section 135-25 (Special Height and Setback Regulations), or the height of the #building#, whichever is lower. Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#.
- (2) For #developments# or horizontal #enlargements# of #buildings#, or portions thereof, within the #flood zone# where no transparent materials are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk, pursuant to the provisions of Sections 135-11 (Ground Floor Use Regulations) and 37-34 (Minimum Transparency Requirements) for a continuous distance of more than 25 feet, such #street wall# shall be located at least three feet beyond the #street line#. Such #street wall# shall not be located beyond five feet of the #street line#, except as permitted pursuant to Section 64-333 (Street wall location in certain districts). Such #street wall# shall provide visual mitigation elements in accordance with the provisions of Section 135-12 (Special Streetscape Provisions for Blank Walls), and any area between the #street wall# and the sidewalk that does not contain any planting material pursuant to the provisions of paragraph (a) of Section 135-12 shall be improved to Department of Transportation standards for sidewalks.
- (3) A minimum of 20 percent of the surface area of such #street walls# above the level of the first #story# shall be recessed a minimum of three feet. In addition, up to 30 percent of such #street wall# may be recessed at any level, provided that any recesses deeper than 10 feet are located within an #outer court#. Furthermore, no recesses greater than three feet shall be permitted within 30 feet of the intersection of two #street lines#.

(b) **Along Van Duzer Street**

Along Van Duzer Street, and along #streets# within 50 feet of their intersection with Van Duzer Street, the underlying #street wall# location regulations shall apply.

(c) **Along all other #streets#**

Along all #streets# that are not subject to paragraphs (a) or (b) of this Section, at least 50 percent of the #aggregate width of street walls# shall be located within 15 feet of the #street line#. The remaining #aggregate width of street walls# may be recessed beyond 15 feet of the #street line#, provided that any such recesses deeper than 10 feet are located within an #outer court#. Where the #street wall# of a #building#, or an individual segment thereof, exceeds the maximum base height established in Section 135-25, such #street wall# shall rise without setback to at least the minimum base height specified in Section 135-25.

The underlying allowances for #street wall# articulation, set forth in paragraph (d) of Section 23-661 or paragraph (e) of Section 35-651, as applicable, shall be permitted to project or recess beyond the #street wall# locations established in paragraphs (a), (b) or (c) of this Section.

**135-25
Special Height and Setback Regulations**

The underlying height and setback provisions are modified by the provisions of this Section.

Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#. Such visual corridors shall be considered #wide streets# for the purposes of applying the height and setback regulations of this Section.

(a) **Base heights and maximum #building# heights**

The table below sets forth the minimum and maximum base height, the maximum transition height, where applicable, the maximum height of a #building or other structure# and the maximum number of #stories# for #buildings# in the #Special Bay Street Corridor District#.

In all subdistricts, a setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the subdistrict, and shall be provided in accordance with paragraph (b) of this Section.

In Subdistrict A and Subarea B1, any portion of a #building or other structure# located above the maximum transition height, and in Subarea B2 and Subdistrict C, any portion of a #building or other structure# located above the maximum base height, shall be subject to the maximum #street wall# width restrictions set forth in paragraph (c) of this Section.

MAXIMUM BASE HEIGHTS AND MAXIMUM #BUILDING# HEIGHTS

Subdistrict or Subarea, as applicable	Minimum Base Height (in feet)	Maximum Base Height (in feet)	Maximum Transition Height (in feet)	Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet)	Maximum Number of #Stories#
A	40	65	85	145	14
B1	40	65	85	125	12
B2	40	65	N/A	125	12
C	40	65	N/A	85	8
D	40	65	N/A	75	7
E	30	45	N/A	55	5

(b) **Required setbacks**

At a height not lower than the minimum base height or higher than the maximum base height specified for the subdistrict in the table in paragraph (a), a setback with a depth of at least 15 feet shall be provided from any #street wall# fronting on a #narrow street#, and a setback with a depth of at least 10 feet shall be provided from any #street wall# fronting on a #wide street#.

In addition, the underlying provisions of paragraphs (c)(2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

(c) **Maximum #street wall# width in Subdistricts A, B and C**

In Subdistricts A, B and C, the maximum #building# height set forth in the table in paragraph (a) shall only be permitted within 100 feet of #streets# intersecting Bay Street. In addition, in Subarea B2, such maximum #building# height shall be permitted beyond 100 feet of #streets# intersecting Bay Street, provided that the maximum #street wall# width above the maximum base height does not exceed 100 feet.

In all such Subdistricts, at least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

(d) **Dormer provisions**

The underlying dormer provisions of paragraph (c) of Section 23-621 (Permitted obstructions in certain districts) shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is less.

**135-30
SPECIAL PUBLIC ACCESS AREA REGULATIONS**

**135-31
Special Visual Corridor Requirements**

Within the #Special Bay Street Corridor District#, visual corridors shall be provided east of Bay Street, prolonging Swan Street, Clinton Street, and Grant Street, as shown on Map 2 in the Appendix to this Chapter. The location of the visual corridor prolonging Grant Street may be located anywhere within the flexible location designated on Map 2.

(a) General Requirements

The boundaries of visual corridors shall be considered #street lines# for the purposes of applying the #use#, #bulk# and parking provisions of this Resolution, except that such portion of the #zoning lot#:

- (1) shall continue to generate #floor area#;
- (2) may be included for the purposes of calculating #lot coverage#; and
- (3) shall be permitted to accommodate open, unscreened, tandem (one behind the other) #accessory# off-street parking spaces, provided that any such parking spaces are provided in accordance with DOT standards for on-street parking.

Such visual corridors shall be a minimum of 60 feet wide and shall be improved in accordance with paragraph (b) of this Section

(b) Required improvements

All required visual corridors shall be improved as follows:

- (1) Where a visual corridor is utilized to provide access to #accessory# off-street parking, such visual corridor shall be improved to the minimum Department of Transportation (DOT) standards for public #streets#, from its intersection with Bay Street to at least the curb cut provided to such #accessory# off-street parking, or as deep as necessary to accommodate any parking located on the visual corridor, as applicable. Any remaining portion of the visual corridor may be improved in accordance with the standards in paragraph (b)(2)(ii) of this Section.
- (2) Where a visual corridor does not provide access to #accessory# off-street parking, such visual corridors, may either:
 - (i) be improved to the minimum DOT standards for public #streets#; or
 - (ii) be improved to provide an open area, as follows:
 - (a) a minimum of 20 percent of the open area shall be planted with any combination of perennials, annuals, decorative grasses, shrubs or trees in planting beds, raised planting beds or planter boxes. Such planting bed shall extend to a depth of at least three feet, inclusive of any structure containing the planted material, and any individual planted area shall have a width of at least five feet;
 - (b) the remainder of the open area, as applicable, may contain any combination of:
 - (1) streetscape amenities including, but not limited to, benches or tables and chairs;
 - (2) entertainment amenities including, but not limited to, water features, playgrounds, dog runs, game tables, courts or skateboard parks;
 - (3) unenclosed eating or drinking establishments; or
 - (4) streetscape-enhancing amenities including, but not limited to, lighting or sculptural artwork.
 - (c) In no event shall fencing be permitted in any open area of the visual corridor, except along the portion of a #lot line# adjacent to a railroad right-of-way.

135-40

SPECIAL PARKING AND LOADING REGULATIONS

The underlying parking provisions are modified by the provisions of this Section.

135-41

Commercial Parking Requirements

In #mixed buildings#, the underlying parking requirements shall apply, except that for the purposes of determining the parking requirement for #commercial uses# other than offices, as listed in Use Group 6B, the equivalent of 0.5 #floor area ratio#, or the amount of non-office #commercial floor area# in the #building#, whichever is less, may be deducted from the #floor area# used to determine such #commercial# parking calculation.

135-42

Residential Parking Waivers

The underlying #residential# parking waivers shall apply only to #zoning lots# existing both on [date of adoption] and on the date of application for a building permit.

135-43

Location of Parking Spaces

All #accessory# off-street parking spaces may be provided within #public parking garages#. Such spaces may also be provided within parking facilities on #zoning lots# other than the same #zoning lot# as the #use# to which they are #accessory#, provided:

- (a) such parking facilities are located either:
 - (1) within the #Special Bay Street Corridor District#; or
 - (2) outside the #Special Bay Street Corridor District#, subject to the underlying provisions for off-site parking spaces set forth in Sections 25-52 (Off-site Spaces for Residences), 25-53 (Off-site Spaces for Permitted Non-residential Uses), 36-42 (Off-site Spaces for Residences) or 36-43 (Off-site Spaces for Commercial or Community Facility Uses), as applicable;
- (b) each off-street parking space within such facility is counted only once in meeting the parking requirements for a specific #zoning lot#; and
- (c) in no event shall the number of #accessory# parking spaces within such facility exceed that permitted in accordance with the underlying regulations.

135-44

Special Loading Regulations

For the purposes of applying the underlying loading regulations, the requirements for C2 Districts mapped within an R7 District shall apply to all #Commercial Districts# in the #Special Bay Street Corridor District#.

In addition, the underlying loading regulations shall be modified as follows:

- (a) the requirements of Section 36-60, inclusive, shall not apply to changes of #uses#;
- (b) the provisions of Sections 36-63 (Special Provisions for a Single Zoning Lot With Uses Subject to Different Loading Requirements) and 36-64 (Wholesale, Manufacturing, or Storage Uses Combined With Other Uses) shall not apply; and
- (c) the minimum length requirements for loading berths #accessory# to #commercial uses#, other than funeral establishments, set forth in Section 36-681 (Size of required berths) shall be increased to 37 feet.

135-45

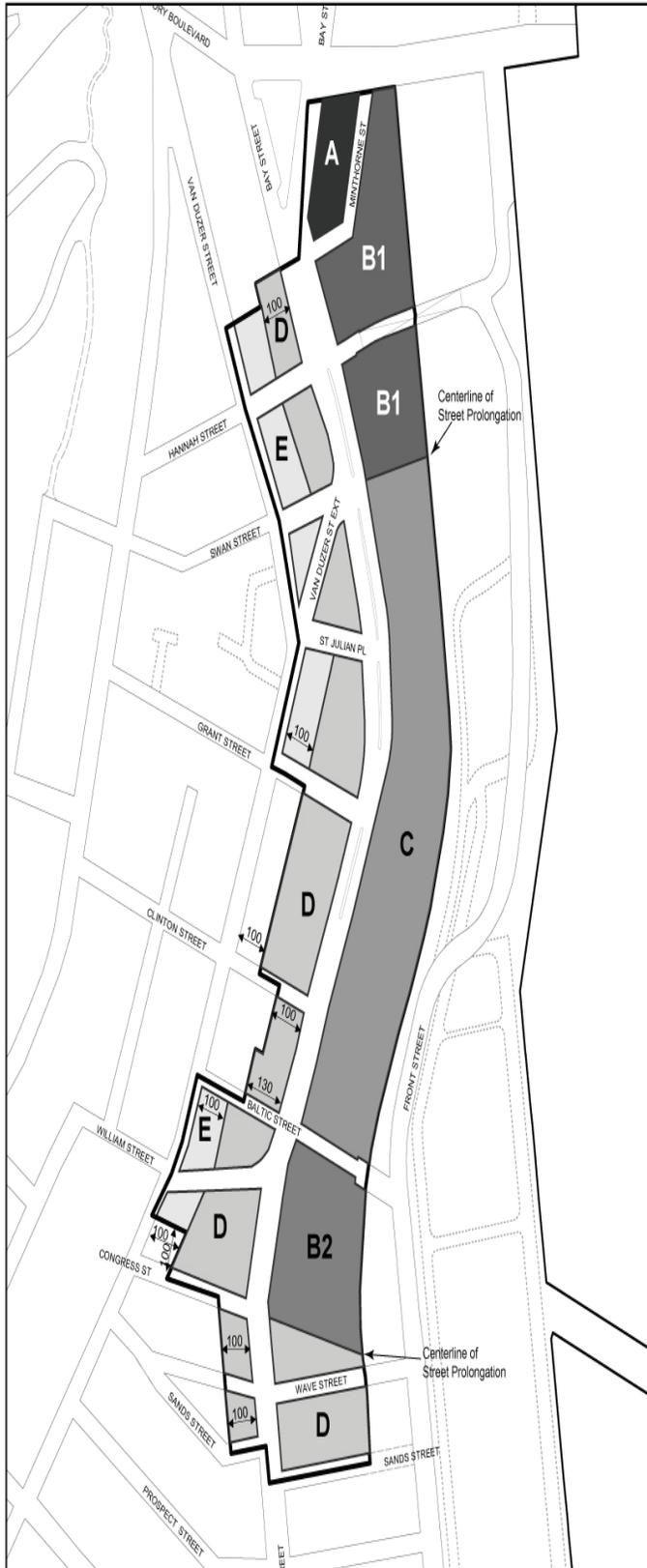
Location of Curb Cuts

For #zoning lots# existing on [date of adoption] with frontage along Bay Street and along another #street# frontage, no curb cut accessing off-street parking spaces or loading spaces shall be permitted along Bay Street.

APPENDIX A

SPECIAL BAY STREET CORRIDOR DISTRICT

Map 1 – Special Bay Street Corridor District, Subdistricts and Subareas



- Special Bay Street Corridor District
- Subdistrict A
- Subdistrict B
- Subarea B1
- Subarea B2
- Subdistrict C
- Subdistrict D
- Subdistrict E

Map 2 – Location of visual corridors



- Special Bay Street Corridor District
- - - Visual Corridor
- Flexible Location Zone

* * *

**APPENDIX F
Inclusionary Housing Designated Areas and Mandatory
Inclusionary Housing Areas**

* * *

Zoning Map	Community District	Maps of Inclusionary Housing Designated Areas	Maps of Mandatory Inclusionary Housing Areas
1d	Bronx CD 7	Map 1	

* * *

21c	Staten Island CD 1		Maps 1, 2
22a	Brooklyn CD 7	Map 2	

* * *

**STATEN ISLAND
Staten Island Community District 1**

* * *

Map 2 - (date of adoption)



■ Mandatory Inclusionary Housing Program Area see Sections 23-154(d)(3), 125-043 and 135-21 (Area 2) and see Section 23-154(d)(3) (Area 3)
 Area 2 – [date of adoption] MIH Program Option 1, Option 2, Deep Affordability Option and Workforce Option
 Area 3 – [date of adoption] MIH Program Option 1, Option 2, Deep Affordability Option and Workforce Option

Portion of Community District 1, Staten Island

* * *

No. 14

CD 1 C 190115 PPR
IN THE MATTER OF an application submitted by the Department of Citywide Administrative Services (DCAS), pursuant to Section 197-c of New York City Charter, for the disposition of one city-owned property (Block 9, Lot 9) pursuant to zoning.

No. 15

CD 1 C 190179 HAR
IN THE MATTER OF an application submitted by the NYC Department of Housing Preservation and Development (HPD)

- 1) pursuant to Article 16 of the General Municipal Law of New York State for;
 - a) the designation of property located at 539 Jersey Street a.k.a. 100 Brook Street (Block 34, Lot 1) as an Urban Development Action Area; and
 - b) Urban Development Action Area Project for such area; and
- 2) pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer to be selected by HPD

to facilitate a mixed-use development containing approximately 108 affordable residential units and commercial and/or community facility space.

No. 16

CD 1 C 190179(A) HAR
IN THE MATTER OF an application submitted by the NYC Department of Housing Preservation and Development (HPD)

- 1) pursuant to Article 16 of the General Municipal Law of New York State for;
 - a) the designation of property located at 539 Jersey Street a.k.a. 100 Brook Street (Block 34, Lot 1) as an Urban Development Action Area; and
 - b) Urban Development Action Area Project for such area; and

- 2) pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer to be selected by HPD

to facilitate a mixed-use development containing approximately 223 affordable residential units, including approximately 90 affordable independent residences for seniors (AIRS) and commercial and/or community facility space.

NOTICE

On Wednesday, February 27, 2019, in the NYC City Planning Commission Hearing Room, Lower Concourse, 120 Broadway, New York, NY 10271, a public hearing is being held by the City Planning Commission in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS) concerning an application by the New York City Department of City Planning (DCP), together with NYC Department of Housing Preservation and Development (HPD) and NYC Department of Citywide Administrative Services (DCAS). The Proposed Actions consist of a series of land use actions including zoning map and text amendments, disposition of city-owned property, and designation of an Urban Development Area Action Project (UDAAP). The Proposed Actions would affect an approximately 20-block area in the Tompkinsville, Stapleton, and St. George neighborhoods of Staten Island, Community District 1.

The public hearing will also consider modifications to the zoning text amendment and UDAAP applications (ULURP Nos. N 190114 (A) ZRR and C 190179 (A) HAR). Written comments on the DEIS are requested and will be received and considered by the Lead Agency through Monday, March 11, 2019.

This hearing is being held, pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 16DCP156R.

YVETTE V. GRUEL, Calendar Officer
 City Planning Commission
 120 Broadway, 31st Floor, New York, NY 10271
 Telephone (212) 720-3370



f12-27

COMPTROLLER

MEETING

The City of New York Audit Committee Meeting, is scheduled for Wednesday, February 27, 2019, from 9:30 A.M. to NOON, at 1 Centre Street, Room 1005 North. Meeting is open to the general public.

f20-27

BOARD OF EDUCATION RETIREMENT SYSTEM

MEETING

The Board of Trustees of the Board of Education Retirement System will be meeting, at 5:00 P.M., on Wednesday, February 27, 2019, at MS 131 Dr. Sun Yat Sen Middle High School, at 100 Hester Street, Room 131, New York, NY 10002.

f14-27

HOUSING AUTHORITY

MEETING

The next Board Meeting of the New York City Housing Authority is scheduled for Wednesday, February 27, 2019, at 10:00 A.M., in the Board Room on the 12th Floor of 250 Broadway, New York, NY (unless otherwise noted). Copies of the Calendar will be available on NYCHA's website, or may be picked up at the Office of the Corporate Secretary, at 250 Broadway, 12th Floor, New York, NY, no earlier than 24 hours before the upcoming Board Meeting. Copies of the Minutes will also be available on NYCHA's website, or may be picked up at the Office of the Corporate Secretary no earlier than 3:00 P.M., on the Thursday following the Board Meeting.

Any changes to the schedule will be posted here, and on NYCHA's website, at <http://www1.nyc.gov/site/nycha/about/board-calendar.page>, to the extent practicable, at a reasonable time before the meeting.

The meeting is open to the public. Pre-Registration, at least 45 minutes

before the scheduled Board Meeting, is required by all speakers. Comments are limited to the items on the Calendar. Speaking time will be limited to three minutes. The public comment period will conclude upon all speakers being heard, or at the expiration of 30 minutes allotted by law for public comment, whichever occurs first.

The meeting will be streamed live on NYCHA's website, at <http://nyc.gov/nycha>, and <http://on.nyc.gov/boardmeetings>.

For additional information, please visit NYCHA's website or contact (212) 306-6088.

Accessibility questions: Office of the Corporate Secretary (212) 306-6088 or corporate.secretary@nycha.nyc.gov, by: Wednesday, February 13, 2019, 5:00 P.M.



f8-27

LANDMARKS PRESERVATION COMMISSION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that, pursuant to the provisions of Title 25, Chapter 3 of the Administrative Code of the City of New York (Sections 25-303, 25-307, 25-308, 25-309, 25-313, 25-318, 25-320), on Tuesday, March 5, 2019, a public hearing, will be held, at 1 Centre Street, 9th Floor, Borough of Manhattan, with respect to the following properties, and then followed by a public meeting. The final order and estimated times for each application, will be posted on the Landmarks Preservation Commission website, the Friday before the hearing. Any person requiring reasonable accommodation in order to participate in the hearing or attend the meeting, should contact the Landmarks Commission no later than five (5) business days before the hearing or meeting.

181 Atlantic Avenue - Brooklyn Heights Historic District

LPC-19-29675 - Block 276 - Lot 12 - **Zoning:** R6, C2-3

CERTIFICATE OF APPROPRIATENESS

A one-story brick store building. Application is to demolish the existing building and construct a new building.

206A Bergen Street - Boerum Hill Historic District Extension

LPC-19-31163 - Block 387 - Lot 15 - **Zoning:** R6B

CERTIFICATE OF APPROPRIATENESS

An Italianate style rowhouse, built c. 1871-1872. Application is to construct rooftop and rear yard additions.

200 Montague Street - Borough Hall Skyscraper Historic District

LPC-19-35463 - Block 250 - Lot 39 - **Zoning:** C5-2A, DB

CERTIFICATE OF APPROPRIATENESS

An altered Modern style bank building, designed by Philip Birnbaum and built in 1959-60, with two stories added in 1967-68 and a new curtain-wall façade added in 2006. Application is to demolish the building and construct a new building.

18 Harrison Street - Tribeca West Historic District

LPC-19-31261 - Block 181 - Lot 5 - **Zoning:** C6-2A

CERTIFICATE OF APPROPRIATENESS

A Utilitarian store and loft building, with Neo-Grec style elements, designed by Detlef Lienau and built in 1885. Application is to construct rooftop and rear yard additions, and replace windows and storefront infill.

Governors Island - Governors Island Historic District

LPC-19-33946 - Block 1 - Lot 10 - **Zoning:** R3-2

BINDING REPORT

A Georgian style guard house, built c. 1805-13 and altered in 1939. Application is to modify retaining walls and install railings.

686 Broadway - NoHo Historic District

LPC-19-33095 - Block 531 - Lot 3 - **Zoning:** M1-5B

CERTIFICATE OF APPROPRIATENESS

A building originally built in the mid-19th century, and altered multiple times with the current façade, designed by Harold Weinberg and built in 1993. Application is to alter the front façade.

210 6th Avenue - Sullivan-Thompson Historic District

LPC-19-35275 - Block 519 - Lot 44 - **Zoning:** R7-2

CERTIFICATE OF APPROPRIATENESS

An Art Deco/Art Moderne style apartment building, designed by John B. Peterkin and built in 1928. Application is to install storefront infill.

173 7th Avenue South - Greenwich Village Historic District

LPC-19-17112 - Block 613 - Lot 62 - **Zoning:** C2-6

CERTIFICATE OF APPROPRIATENESS

A restaurant building, built in the 1960s. Application is to legalize painting the façade, cladding stairs, and installing signage, refuse enclosures, and HVAC equipment without Landmarks Preservation Commission permit(s), and to install additional signage and establish a Master Plan for the installation of painted wall signage.

121 Washington Place - Greenwich Village Historic District

LPC-19-34085 - Block 592 - Lot 78 - **Zoning:** R6

CERTIFICATE OF APPROPRIATENESS

A rowhouse, built in 1831, and altered in the Neo-Georgian style in 1925. Application is to excavate the cellar, modify the back house, and replace windows.

760 Madison Avenue, aka 23-25 East 65th Street; 19 East 65th Street; 21 East 65th Street - Upper East Side Historic District

LPC-19-35833 - Block 1380 - Lot 17, 14, 15 - **Zoning:** 8C

CERTIFICATE OF APPROPRIATENESS

A commercial building, designed by Peter Marino and built in c. 1996, pursuant to Certificate of Appropriateness 96-0030; a vernacular Neo-Federal style apartment and commercial building, designed by Scott and Prescott and built in 1928-1929; and a vernacular Neo-Federal style apartment and commercial building, originally built in 1881 and altered in 1929 by Scott and Prescott. Application is to demolish one building and portions of two other buildings; construct a new building; and modify masonry openings, replace infill and install a canopy at existing buildings.

132 East 71st Street - Upper East Side Historic District

LPC-19-29857 - Block 1405 - Lot 60 - **Zoning:** R9X, R8B

CERTIFICATE OF APPROPRIATENESS

A residence originally built in 1884-85, and redesigned in the Neo-Federal style in 1928. Application is to replace windows and modify the rooftop addition.

200 Convent Avenue - Individual Landmark

LPC-19-33564 - Block 1957 - Lot 200 - **Zoning:** R7-2

ADVISORY REPORT

A Collegiate Gothic style university building, designed by George B. Post and built in 1897-1906. Application is to install a door and alter the facades.

f20-m5

NEW YORK CITY POLICE PENSION FUND

■ MEETING

Please be advised that the trustees of the New York City Police Pension Fund will be holding a "Special Board of Trustees Meeting" on March 1, 2019, at 2:30 P.M. To be held at the New York City Police Pension Fund, 233 Broadway, 25th Floor, Boardroom, New York, NY 10279.

Kevin Holloran, Executive Director

◀ f26-28

TEACHERS' RETIREMENT SYSTEM

■ MEETING

Please be advised that the next Board Meeting of the Teachers' Retirement System of the City of New York (TRS), has been scheduled for Thursday, February 28, 2019, at 3:30 P.M.

The meeting will be held at the Teachers' Retirement System, 55 Water Street, 16th Floor, Boardroom, New York, NY 10041.

The meeting will be streamed live at: <https://www.trsnyc.org/memberportal/About-Us/RetirementBWebCasts>.

The meeting is open to the public. However, portions of the meeting, where permitted by law, may be held in executive session.

f21-28

TRANSPORTATION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, pursuant to law, that the following proposed revocable consents, have been scheduled for a public hearing by the New York City Department of Transportation. The hearing will be held, at 55 Water Street, 9th Floor, Room 945, commencing at 2:00 P.M. on Wednesday, February 27, 2019. Interested parties can obtain copies of proposed agreements or request sign-language interpreters (with at least seven days prior notice), at 55 Water Street, 9th Floor SW, New York, NY 10041, or by calling (212) 839-6550.

#1 IN THE MATTER OF a proposed revocable consent authorizing 16 Lincoln Square LLC, to continue to maintain and use an accessibility ramp on the south sidewalk of West 61st Street, between Broadway and Columbus Avenue, in the Borough of Manhattan. The

proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1655**

For the period July 1, 2018 to June 30, 2028 - \$25/per annum

the maintenance of a security deposit in the sum of \$5,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#2 IN THE MATTER OF a proposed revocable consent authorizing 23rd Street Properties LLC, to continue to maintain and use nine (9) lampposts, together with electrical conduits on the south sidewalk of West 23rd Street, between Fifth Avenue and Avenue of the Americas, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1284**

For the period July 1, 2018 to June 30, 2028 - \$1,350/per annum

the maintenance of a security deposit in the sum of \$1,350 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#3 IN THE MATTER OF a proposed revocable consent authorizing 108-07 Corona Avenue LLC, to construct, maintain and use a sidewalk hatch door in the south sidewalk of 52nd Avenue, east of Corona Avenue, in the Borough of Queens. The proposed revocable consent is for a term of ten years from Approval by the Mayor and provides among other terms and schedule: **R.P. #2459**

From the Approval Date by the Mayor to June 30, 2019 - \$373/per annum

For the period July 1, 2019 to June 30, 2020 - \$379
 For the period July 1, 2020 to June 30, 2021 - \$385
 For the period July 1, 2021 to June 30, 2022 - \$391
 For the period July 1, 2022 to June 30, 2023 - \$397
 For the period July 1, 2023 to June 30, 2024 - \$404
 For the period July 1, 2024 to June 30, 2025 - \$410
 For the period July 1, 2025 to June 30, 2026 - \$416
 For the period July 1, 2026 to June 30, 2027 - \$422
 For the period July 1, 2027 to June 30, 2028 - \$428
 For the period July 1, 2028 to June 30, 2029 - \$434

the maintenance of a security deposit in the sum of \$1,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#4 IN THE MATTER OF a proposed revocable consent authorizing 866 United Nations Plaza Condominium, to continue to maintain and use pipes under and across Franklin D. Roosevelt Drive and General Douglass MacArthur Plaza, between East 48th and East 49th Streets, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #822**

For the period July 1, 2018 to June 30, 2019 - \$29,941
 For the period July 1, 2019 to June 30, 2020 - \$30,420
 For the period July 1, 2020 to June 30, 2021 - \$30,899
 For the period July 1, 2021 to June 30, 2022 - \$31,378
 For the period July 1, 2022 to June 30, 2023 - \$31,857
 For the period July 1, 2023 to June 30, 2024 - \$32,336
 For the period July 1, 2024 to June 30, 2025 - \$32,815
 For the period July 1, 2025 to June 30, 2026 - \$33,294
 For the period July 1, 2026 to June 30, 2027 - \$33,773
 For the period July 1, 2027 to June 30, 2028 - \$34,252

the maintenance of a security deposit in the sum of \$34,300 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#5 IN THE MATTER OF a proposed revocable consent authorizing BOP NE LLC, to construct, maintain and use 57 security bollards, at 401 Ninth Avenue, along the south sidewalk of West 33rd Street and along the west sidewalk of Ninth Avenue, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from the Approval Date by the Mayor and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2461**

From the date of the final approval by the Mayor (the "Approval Date"), to June 30, 2029 - \$0/per annum.

the maintenance of a security deposit in the sum of \$60,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#6 IN THE MATTER OF a proposed revocable consent authorizing Chanel Inc. & Subsidiaries, to construct, maintain and use a 5/8-inch diameter hydronic snowmelt system under the north sidewalk of East 57th Street, between Fifth Avenue and Madison Avenue, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from the Date of Approval by the Mayor, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2452**

From the Approval Date to June 30, 2019 - \$11,473/per annum

For the period July 1, 2019 to June 30, 2020 - \$11,652
 For the period July 1, 2020 to June 30, 2021 - \$11,831
 For the period July 1, 2021 to June 30, 2022 - \$12,010
 For the period July 1, 2022 to June 30, 2023 - \$12,189
 For the period July 1, 2023 to June 30, 2024 - \$12,368
 For the period July 1, 2024 to June 30, 2025 - \$12,547
 For the period July 1, 2025 to June 30, 2026 - \$12,726
 For the period July 1, 2026 to June 30, 2027 - \$12,905
 For the period July 1, 2027 to June 30, 2028 - \$13,084
 For the period July 1, 2028 to June 30, 2029 - \$13,263

the maintenance of a security deposit in the sum of \$13,300 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#7 IN THE MATTER OF a proposed revocable consent authorizing Memorial Sloan-Kettering Cancer Center, to construct, maintain and use a fuel oil storage tank under the north sidewalk of East 67th Street, between First and York Avenues, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from the Date of Approval by the Mayor, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2460**

From the Approval Date to June 30, 2019 - \$20,208/per annum

For the period July 1, 2019 to June 30, 2020 - \$20,531
 For the period July 1, 2020 to June 30, 2021 - \$20,854
 For the period July 1, 2021 to June 30, 2022 - \$21,177
 For the period July 1, 2022 to June 30, 2023 - \$21,500
 For the period July 1, 2023 to June 30, 2024 - \$21,823
 For the period July 1, 2024 to June 30, 2025 - \$22,146
 For the period July 1, 2025 to June 30, 2026 - \$22,469
 For the period July 1, 2026 to June 30, 2027 - \$22,792
 For the period July 1, 2027 to June 30, 2028 - \$23,115
 For the period July 1, 2028 to June 30, 2029 - \$23,438

the maintenance of a security deposit in the sum of \$23,500 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#8 IN THE MATTER OF a proposed revocable consent authorizing Museum at Eldridge Street, to continue to maintain and use security bollards on the east sidewalk of Eldridge Street, between Canal and Division Streets, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1576**

For the period July 1, 2016 to June 30, 2026 - \$0/per annum

the maintenance of a security deposit in the sum of \$1,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#9 IN THE MATTER OF a proposed revocable consent authorizing Waterside Plaza Ground LLC, to continue to maintain and use a sewer pipe in an existing and abandoned coal conveyor tunnel, under the Franklin D. Roosevelt (FDR) Drive north of East 29th Street, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1035**

For the period July 1, 2016 to June 30, 2017 - \$14,552
 For the period July 1, 2017 to June 30, 2018 - \$14,878

For the period July 1, 2018 to June 30, 2019 - \$15,204
 For the period July 1, 2019 to June 30, 2020 - \$15,530
 For the period July 1, 2020 to June 30, 2021 - \$15,856
 For the period July 1, 2021 to June 30, 2022 - \$16,182
 For the period July 1, 2022 to June 30, 2023 - \$16,508
 For the period July 1, 2023 to June 30, 2024 - \$16,834
 For the period July 1, 2024 to June 30, 2025 - \$17,160
 For the period July 1, 2025 to June 30, 2026 - \$17,486

the maintenance of a security deposit in the sum of \$17,500 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#10 IN THE MATTER OF a proposed revocable consent authorizing Waterside Plaza Ground Lessee LLC, to continue to maintain and use a security guard booth on the East 25th Street pedestrian bridge spanning the Franklin D. Roosevelt Drive, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1124**

For the period July 1, 2016 to June 30, 2017 - \$4,890
 For the period July 1, 2017 to June 30, 2018 - \$5,000
 For the period July 1, 2018 to June 30, 2019 - \$5,110
 For the period July 1, 2019 to June 30, 2020 - \$5,220
 For the period July 1, 2020 to June 30, 2021 - \$5,330
 For the period July 1, 2021 to June 30, 2022 - \$5,440
 For the period July 1, 2022 to June 30, 2023 - \$5,550
 For the period July 1, 2023 to June 30, 2024 - \$5,660
 For the period July 1, 2024 to June 30, 2025 - \$5,770
 For the period July 1, 2025 to June 30, 2026 - \$5,880

the maintenance of a security deposit in the sum of \$5,900 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#11 IN THE MATTER OF a proposed revocable consent authorizing Yeshivas Ahavas Israel, to construct, maintain and use the entrance steps on the south sidewalk of Lee Avenue, between Clymer Street and Taylor Street, and to continue to maintain and use the ADA ramp on the east sidewalk of Clymer Street, between Lee Avenue and Bedford Avenue, in the Borough of Brooklyn. The proposed revocable consent is for a term of ten years from the Approval Date by the Mayor and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2454**

From the Approval Date to June 30, 2019 - \$3,295/per annum
 For the period July 1, 2019 to June 30, 2020 - \$3,353
 For the period July 1, 2020 to June 30, 2021 - \$3,411
 For the period July 1, 2021 to June 30, 2022 - \$3,469
 For the period July 1, 2022 to June 30, 2023 - \$3,527
 For the period July 1, 2023 to June 30, 2024 - \$3,585
 For the period July 1, 2024 to June 30, 2025 - \$3,643
 For the period July 1, 2025 to June 30, 2026 - \$3,701
 For the period July 1, 2026 to June 30, 2027 - \$3,759
 For the period July 1, 2027 to June 30, 2028 - \$3,817
 For the period July 1, 2028 to June 30, 2029 - \$3,875

the maintenance of a security deposit in the sum of \$24,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#12 IN THE MATTER OF a proposed revocable consent modification authorizing Time Warner Condominium, to continue to maintain and use security bollards on the sidewalks of the site bounded by West 60th Street, Broadway, Columbus Circle and West 58th Street, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1879**

For the period from July 1, 2018 to June 30, 2028 - \$0/per annum

the maintenance of a security deposit in the sum of \$60,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#13 IN THE MATTER OF a proposed revocable consent authorizing 333 West 84th Street Owners, Inc., to continue to maintain and use a stoop, stair, storage and planted area on the north sidewalk of West 84th Street, between West End Avenue and riverside Drive, in the Borough

of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2014 to June 30, 2024, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1895**

For the period July 1, 2014 to June 30, 2024 - \$25/per annum

the maintenance of a security deposit in the sum of \$2,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#14 IN THE MATTER OF a proposed revocable consent authorizing The New York Public Library Astor, Lenox and Tilden Foundations, to continue to maintain and use a ramp, together with stairs on the east sidewalk of Saint Nicholas Avenue, north of West 160th Street, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1957**

For the period July 1, 2016 to June 30, 2026 - \$25/per annum

there is no security deposit and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#15 IN THE MATTER OF a proposed revocable consent authorizing The New York Public Library Astor Lenox and Tilden Foundations, to continue to maintain and use an accessibility ramp, together with stairs on the north sidewalk of West 115th Street, west of Adam Clayton Powell Jr. Boulevard, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1965**

For the period July 1, 2016 to June 30, 2026 - \$25/per annum

there is no security deposit and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

fg-27

COURT NOTICES

SUPREME COURT

QUEENS COUNTY

■ NOTICE

**QUEENS COUNTY
 I.A.S. PART 38
 NOTICE OF PETITION
 INDEX NUMBER 701761/2019
 CONDEMNATION PROCEEDING**

IN THE MATTER OF the Application of the CITY OF NEW YORK, relative to Acquiring Title in Fee Simple to Property located in Queens, including All or Parts of

162ND AVENUE BETWEEN SHELLBANK BASIN AND 95TH STREET

in the Borough of Queens, City and State of New York.

PLEASE TAKE NOTICE that the City of New York ("City") intends to make an application to the Supreme Court of the State of New York, Queens County, IAS Part 38, for certain relief.

The application will be made at the following time and place: At the Queens County Courthouse, located at 88-11 Sutphin Avenue, Part 38, Courtroom 116, in the Borough of Queens, City and State of New York, on March 7, 2019, at 9:30 A.M., or as soon thereafter as counsel can be heard.

The application is for an order:

1. authorizing the City to file an acquisition map in the Office of the

City Register;

2. directing that, upon the filing of the order granting the relief sought in this petition, together with the filing of the acquisition map, title to the property shown on said map and sought to be acquired and more particularly described in this petition shall vest in the City in fee simple absolute;
3. providing that the compensation which should be made to the owners of the real property sought to be acquired and described in this petition be ascertained and determined by the Court without a jury;
4. directing that within thirty days of entry of the order granting the relief sought in this petition, the City shall cause a Notice of Acquisition to be published in at least ten successive issues of The City Record, an official newspaper published in the City of New York, and shall serve a copy of such notice by first class mail on each condemnee or his, her, or its attorney of record; and
5. directing that each condemnee shall have a period of one calendar year from the vesting date for this proceeding, in which to file a written claim, demand or notice of appearance with the Clerk of this Court and to serve a copy of the same upon the Corporation Counsel of the City of New York, 100 Church Street, New York, NY, 10007.

The City of New York, in this proceeding, intends to acquire title in fee simple absolute to certain real property where not heretofore acquired for the same purpose, for the construction of storm and sanitary sewers and replacement of water mains and appurtenances in the Borough of Queens, City and State of New York.

The real property that is to be acquired in fee simple absolute in this proceeding is described as follows:

162ND AVENUE BETWEEN SHELLBANK BASIN AND 95TH STREET

All that certain plot, piece or parcel of land, situate, lying and being in the Borough and County of Queens, City and State of New York, as bounded and described as follows:

BEGINNING at a point formed by the intersection of the northerly line of the said 162nd Avenue and the easterly Pierhead and Bulkhead line of Shellbank Basin.

RUNNING THENCE eastwardly along the said northerly line of 162nd Avenue for 10.00 feet to the intersection of the said northerly line of 162nd Avenue and the westerly line of Lot 26 in Block 62 as shown on a Filed Map entitled "Revised Map of Lots Howard Beach Estates" filed April 13, 1916 in the Office of the Clerk (now Register) of the County of Queens as Map number 3432;

THENCE, southwardly deflecting 90°00'00" to the right from the last mentioned course and along the easterly line of Shellbank Basin as shown on the said Filed Map number 3432, through the bed of the said 162nd Avenue for 100.00 feet to a point on the southerly line of the said 162nd Avenue, said point also being the northwesterly corner of lot 1 in Block 61 as shown on the said Filed Map number 3432

THENCE, westwardly deflecting 90°00'00" to the right from the last mentioned course and along the southerly line of 162nd Avenue for 10.00 feet to the said easterly Pierhead and Bulkhead line of Shellbank Basin;

THENCE, northwardly deflecting 90°00'00" to the right from the last mentioned course and along the said Pierhead and Bulkhead line for 100.00 feet to the point of BEGINNING.

Surveys, maps or plans of the property to be acquired are on file in the office of the Corporation Counsel of the City of New York, 100 Church Street, New York, NY 10007.

PLEASE TAKE FURTHER NOTICE that, pursuant to EDPL § 402(B)(4), any party seeking to oppose the acquisition must interpose a verified answer, which must contain specific denial of each material allegation of the petition controverted by the opponent, or any statement of new matter deemed by the opponent to be a defense to the proceeding. Pursuant to CPLR § 403, said answer must be served upon the office of the Corporation Counsel at least seven (7) days before the date that the petition is noticed to be heard.

Dated: New York, NY
January 31, 2019
ZACHARY W. CARTER
Corporation Counsel of the City of New York
100 Church Street
New York, NY 10007
Tel. (212) 356-4064

f12-26

PROPERTY DISPOSITION

CITYWIDE ADMINISTRATIVE SERVICES

■ SALE

The City of New York in partnership with PropertyRoom.com posts vehicle and heavy machinery auctions online every week at: <https://www.propertyroom.com/s/nyc+fleet>

All auctions are open to the public and registration is free.

Vehicles can be viewed in person by appointment at:
Kenben Industries Ltd., 1908 Shore Parkway, Brooklyn, NY 11214.
Phone: (718) 802-0022
Phone: 718-802-0022

m30-s11

OFFICE OF CITYWIDE PROCUREMENT

■ SALE

The Department of Citywide Administrative Services, Office of Citywide Procurement is currently selling surplus assets on the Internet. Visit <http://www.publicsurplus.com/sms/nycdcas.ny/browse/home>

To begin bidding, simply click on 'Register' on the home page.

There are no fees to register. Offerings may include but are not limited to: office supplies/equipment, furniture, building supplies, machine tools, HVAC/plumbing/electrical equipment, lab equipment, marine equipment, and more.

Public access to computer workstations and assistance with placing bids is available at the following locations:

- DCAS Central Storehouse, 66-26 Metropolitan Avenue, Middle Village, NY 11379
- DCAS, Office of Citywide Procurement, 1 Centre Street, 18th Floor, New York, NY 10007

j2-d31

HOUSING PRESERVATION AND DEVELOPMENT

■ PUBLIC HEARINGS

All Notices Regarding Housing Preservation and Development Dispositions of City-Owned Property appear in the Public Hearing Section.

j9-30

POLICE

■ NOTICE

OWNERS ARE WANTED BY THE PROPERTY CLERK DIVISION OF THE NEW YORK CITY POLICE DEPARTMENT

The following list of properties is in the custody of the Property Clerk Division without claimants:
Motor vehicles, boats, bicycles, business machines, cameras, calculating machines, electrical and optical property, furniture, furs, handbags, hardware, jewelry, photographic equipment, radios, robes, sound systems, surgical and musical instruments, tools, wearing apparel, communications equipment, computers, and other miscellaneous articles.

Items are recovered, lost, abandoned property obtained from prisoners, emotionally disturbed, intoxicated and deceased persons; and property obtained from persons incapable of caring for themselves.

INQUIRIES

Inquiries relating to such property should be made in the Borough

concerned, at the following office of the Property Clerk.

FOR MOTOR VEHICLES (All Boroughs):

- Springfield Gardens Auto Pound, 174-20 North Boundary Road, Queens, NY 11430, (718) 553-9555
- Erie Basin Auto Pound, 700 Columbia Street, Brooklyn, NY 11231, (718) 246-2030

FOR ALL OTHER PROPERTY

- Manhattan - 1 Police Plaza, New York, NY 10038, (646) 610-5906
- Brooklyn - 84th Precinct, 301 Gold Street, Brooklyn, NY 11201, (718) 875-6675
- Bronx Property Clerk - 215 East 161 Street, Bronx, NY 10451, (718) 590-2806
- Queens Property Clerk - 47-07 Pearson Place, Long Island City, NY 11101, (718) 433-2678
- Staten Island Property Clerk - 1 Edgewater Plaza, Staten Island, NY 10301, (718) 876-8484

j2-d31

PROCUREMENT

“Compete To Win” More Contracts!

Thanks to a new City initiative - “Compete To Win” - the NYC Department of Small Business Services offers a new set of FREE services to help create more opportunities for minority and Women-Owned Businesses to compete, connect and grow their business with the City. With NYC Construction Loan, Technical Assistance, NYC Construction Mentorship, Bond Readiness, and NYC Teaming services, the City will be able to help even more small businesses than before.

- *Win More Contracts at nyc.gov/competetowin*

“The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed to the City’s prestige as a global destination. The contracting opportunities for construction/construction services and construction-related services that appear in the individual agency listings below reflect that commitment to excellence.”

HHS ACCELERATOR

To respond to human services Requests for Proposals (RFPs), in accordance with Section 3-16 of the Procurement Policy Board Rules of the City of New York (“PPB Rules”), vendors must first complete and submit an electronic prequalification application using the City’s Health and Human Services (HHS) Accelerator System. The HHS Accelerator System is a web-based system maintained by the City of New York for use by its human services Agencies to manage procurement. The process removes redundancy by capturing information about boards, filings, policies, and general service experience centrally. As a result, specific proposals for funding are more focused on program design, scope, and budget.

Important information about the new method

- Prequalification applications are required every three years.
- Documents related to annual corporate filings must be submitted on an annual basis to remain eligible to compete.
- Prequalification applications will be reviewed to validate compliance with corporate filings, organizational capacity, and relevant service experience.
- Approved organizations will be eligible to compete and would submit electronic proposals through the system.

The Client and Community Service Catalog, which lists all Prequalification service categories and the NYC Procurement Roadmap, which lists all RFPs to be managed by HHS Accelerator may be viewed at <http://www.nyc.gov/html/hhsaccelerator/html/roadmap/roadmap.shtml>. All current and prospective vendors should frequently review information listed on roadmap to take full advantage of upcoming opportunities for funding.

Participating NYC Agencies

HHS Accelerator, led by the Office of the Mayor, is governed by an Executive Steering Committee of Agency Heads who represent the following NYC Agencies:

- Administration for Children’s Services (ACS)
- Department for the Aging (DFTA)
- Department of Consumer Affairs (DCA)
- Department of Corrections (DOC)
- Department of Health and Mental Hygiene (DOHMH)
- Department of Homeless Services (DHS)
- Department of Probation (DOP)
- Department of Small Business Services (SBS)
- Department of Youth and Community Development (DYCD)
- Housing and Preservation Department (HPD)
- Human Resources Administration (HRA)
- Office of the Criminal Justice Coordinator (CJC)

To sign up for training on the new system, and for additional information about HHS Accelerator, including background materials, user guides and video tutorials, please visit www.nyc.gov/hhsaccelerator

CITYWIDE ADMINISTRATIVE SERVICES

OFFICE OF CITYWIDE PROCUREMENT

■ AWARD

Goods

TRUCK, (19,000 GVW) DUMP W/VARIOUS BODIES - Competitive Sealed Bids - PIN# 8571800339 - AMT: \$947,149.00 - TO: Gabrielli Truck Sales Ltd, 153-20 South Conduit Avenue, Jamaica, NY 11434.

• f26

ENVIRONMENTAL PROTECTION

AGENCY CHIEF CONTRACTING OFFICE

■ SOLICITATION

Services (other than human services)

CAT-493: ASHOKAN STREAM MANAGEMENT PROGRAM - Government to Government - PIN# 82619WS00016 - Due 3-11-19 at 4:00 P.M.

DEP, intends to enter into a Government-to-Government agreement with Cornell Cooperative Extension-Ulster County (CCEUC), for CAT-493, for the Ashokan Stream Management Plan. The CCEUC has been DEP’s partner in meeting the Stream Management Program’s FAD objective since the 2004 Filtration Avoidance Determination (FAD). The 2017 FAD has required the City of New York, to continue this relationship with CCEUC, which can provide access to nationally recognized expertise in various fields of applied research, that informs stream management. Any firm which believes it can also provide the required services IN THE FUTURE, is invited to do so, indicated by letter, which must be received no later than March 11, 2019, 4:00 P.M., at: Department of Environmental Protection, Agency Chief Contracting Officer, 59-17 Junction Boulevard, 17th Floor, Flushing, NY 11373, ATTN: Ms. Glorivee Roman, glroman@dep.nyc.gov, (718) 595-3226.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Environmental Protection, 59-17 Junction Boulevard, 17th Floor, Flushing, NY 11373. Glorivee Roman (718) 595-3226; Fax: (718) 595-3208; glroman@dep.nyc.gov



f25-m1

FINANCE

ADMINISTRATION AND PLANNING

■ INTENT TO AWARD

Services (other than human services)

REAL ESTATE TAX LOCKBOX SERVICES -Negotiated Acquisition - Available only from a single source -PIN#83618N0006 - Due 3-13-19 at 3:00 P.M.

This is a notice of intent, to enter into negotiation for a two-year contract, for Real Estate Tax lockbox services, for the Department of

Finance Payment Operation Division. All inquires regarding this contract, should be sent by email to the following contact on or before March 13, 2019.

Celloy Williams
Email: williamscelloy@finance.nyc.gov

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Finance, 1 Centre Street, 10th Floor, Room 1040, New York, NY 10007.
Fiorella Leal (212) 602-7188; Fax: (212) 602-7206; lealf@finance.nyc.gov

f22-28

HEALTH AND MENTAL HYGIENE

■ AWARD

Human Services/Client Services

MENTAL HEALTH SERVICES FOR CHILDREN AND ADOLESCENTS - BP/City Council Discretionary -

PIN# 18AO043201R0X00 - AMT: \$230,000.00 - TO: The Coalition for Behavioral Health Inc., 123 William Street, New York, NY 10038.

● **MENTAL HEALTH SERVICES FOR CHILDREN AND ADOLESCENTS** - BP/City Council Discretionary -

PIN# 19AO021401R0X00 - AMT: \$240,385.00 - TO: Safe Horizon Inc., 2 Lafayette Street, 3rd Floor, New York, NY 10007.

● **CASE MANAGEMENT** - BP/City Council Discretionary -

PIN# 19AZ020701R0X00 - AMT: \$100,000.00 - TO: Center for Urban Community Services Inc., 198 East 121st Street, New York, NY 10035.

◀ f26

AGENCY CHIEF CONTRACTING OFFICER

■ INTENT TO AWARD

Goods

GLADSON LLC - Sole Source - Available only from a single source - PIN# 20EN004501R0X00 - Due 3-14-19 at 12:00 P.M.

DOHMH, intends to enter into a Sole Source agreement with Gladson LLC., to provide DOHMH with Nutritionix Bulk Data Licensing for Restaurant Data, which is a database that provides access to information regarding bulk data for nutrition, allergens, ingredient, and health data sets for NYC chain restaurants. This data will support DOHMH's Bureau of Environmental Health Administration, to ensure that chain restaurants are in compliance with food safety regulations. DOHMH has determined, that Gladson LLC. is the sole provider and authorized licensor of the Nutritionix Bulk Data Licensing and there are no authorized resellers.

Any vendor who believes that they may also be able to provide these goods, is welcome to submit an expression of interest via email to Mnapolitano@health.nyc.gov, by no later than 12:00 P.M., on 3/14/2019. All questions and concerns should also be submitted via email.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Health and Mental Hygiene, 42-09 28th Street, 17th Floor, Long Island City, NY 11101. Marcella Napolitano (347) 396-6680; Fax: (347) 396-6759; mnapolitano@health.nyc.gov

◀ f26-m4

HOUSING AUTHORITY

PROCUREMENT

■ SOLICITATION

Services (other than human services)

SMD REPLACEMENT OF BOILER CONTROLS, DUAL FUEL BURNERS AND ASSOCIATED EQUIPMENT - 4-05 VERNON BLVD, QUEENSBRIDGE SOUTH HOUSES, QUEENS - Competitive Sealed Bids - PIN# 68094. - Due 3-19-19 at 10:00 A.M.

Remove the autoflame based boiler/burner control panels. Remove air compressors. Remove motors for FD fan and oil pumps. Remove FD fan variable frequency drives. Remove gas shutoff valves and vent valves. Remove oil train safety interlocks. Remove atomizing air train safety interlocks

Interested firms are invited to obtain a copy on NYCHA's website. To conduct a search for the RFQ number; vendors are instructed to open the link: <http://www1.nyc.gov/site/nycha/business/isupplier-vendor-registration.page>. Once on that page, please make a selection from the first three links highlighted in red: New suppliers for those who have never registered with iSupplier, current NYCHA suppliers and vendors for those who have supplied goods or services to NYCHA in the past but never requested a login ID for iSupplier, and Login for registered suppliers if you already have an iSupplier ID and password. Once you are logged into iSupplier, select "Sourcing Supplier," then "Sourcing" followed by "Sourcing Homepage" and then reference the applicable RFQ PIN/solicitation number.

Suppliers electing to obtain a non-electronic paper document will be subject to a \$25 non-refundable fee; payable to NYCHA by USPS-Money Order/Certified Check only for each set of RFQ documents requested. Remit payment to NYCHA Finance Department, at 90 Church Street, 6th Floor; obtain receipt and present it to the Supply Management Procurement Group; RFQ package will be generated at the time of request.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Housing Authority, Miriam Rodgers (212) 306-3469; Fax: (212) 306-5109; miriam.rodders@nycha.nyc.gov

◀ f26

SUPPLY MANAGEMENT

■ SOLICITATION

Goods and Services

SMD GLASS AND GLAZING REPLACEMENT FOR MAIN ENTRANCE DOORS AND CURTAIN WALLS - VARIOUS DEVELOPMENTS LOCATED IN THE FIVE (5) BOROUGHES OF NEW YORK CITY - Competitive Sealed Bids - Due 3-21-19

- 67916 - Various Developments In The Bronx - Due at 10:00 A.M.
- 67917 - Various Developments In Brooklyn - Due at 10:05 A.M.
- 67918 - Various Developments In Manhattan - Due at 10:10 A.M.
- 67919 - Various Developments In Mixed Finance Asset Management Department Located In The BX, BK, MN and SI - Due at 10:15 A.M.
- 67920 - Various Developments Managed by The NGO 1 Property Management Department, Located In BX, BK and MN - Due at 10:20 A.M.
- 67921 - Various Developments Department Located In Queens and Staten Island - Due at 10:25 A.M.

Please Note: This Contract shall be subject to the New York City Housing Authority's Project Labor Agreement (PLA). As part of its bid and no later than three (3) business days after the bid opening, the Bidder must submit Letters of Assent to the Project Labor Agreement signed by the Bidder and each of the Bidder's proposed Subcontractors. Failure to submit all required signed Letters of Assent within three (3) business days after the bid opening, shall result in a determination that the Bidder's bid is non-responsive.

Remove panes of broken glass and/or temporarily installed plexiglass from doors and curtain walls, located at main entrances to buildings, within main entrance vestibules, main floor lobby levels and adjacent public halls. Provide and install properly sized new laminated safety glass including all miscellaneous items required to complete the work in accordance with NYCHA Specifications.

Interested firms are invited to obtain a copy on NYCHA's website. To conduct a search for the RFQ number; vendors are instructed to open the link: <http://www1.nyc.gov/site/nycha/business/isupplier-vendor-registration.page>. Once on that page, please make a selection from the first three links highlighted in red: New suppliers for those who have never registered with iSupplier, current NYCHA suppliers and vendors for those who have supplied goods or services to NYCHA in the past but never requested a login ID for iSupplier, and Login for registered suppliers if you already have an iSupplier ID and password. Once you are logged into iSupplier, select "Sourcing Supplier," then "Sourcing" followed by "Sourcing Homepage" and then reference the applicable RFQ PIN/solicitation number.

Suppliers electing to obtain a non-electronic paper document will be subject to a \$25 non-refundable fee; payable to NYCHA by USPS-Money Order/Certified Check only for each set of RFQ documents requested. Remit payment to NYCHA Finance Department, at 90 Church Street, 6th Floor; obtain receipt and present it to the Supply Management Procurement Group; RFQ package will be generated at the time of request.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other

information; and for opening and reading of bids at date and time specified above.

Housing Authority, 90 Church Street, 6th Floor, New York, NY 10007.
Miriam Rodgers (212) 306-4718; Fax: (212) 306-5109;
miriam.rodgers@nycha.nyc.gov

← f26

Goods

SMD-IDIQ CONTRACT FOR WOODEN KITCHEN CABINETS
- Competitive Sealed Bids - Due 3-12-19 at 12:00 P.M.

PIN# 68124, PIN# 68123, PIN# 68122

These are RFQ's for 2 year IDIQ blanket order agreements ("Initial Term"), with NYCHA's option, in its sole discretion, to extend the Term of the Contract for one (1) year period ("Renewal Period"). The awarded bidder/vendor agrees to have Wooden KITCHEN CABINETS readily available for delivery within 15 days after receipt of order on an "as needed basis" during the duration of the contract period. The quantities provided are estimates based on current usage and the New York City Housing Authority, may order less or more depending on our needs.

Interested firms are invited to obtain a copy on NYCHA's website. To conduct a search for the RFQ number; vendors are instructed to open the link: <http://www1.nyc.gov/site/nycha/business/isupplier-vendor-registration.page>. Once on that page, make a selection from the first three links highlighted in red: New suppliers for those who have never registered with iSupplier, current NYCHA suppliers and vendors for those who have supplied goods or services to NYCHA in the past but never requested a login ID for iSupplier, and Login for registered suppliers if you already have an iSupplier ID and password. Once you are logged into iSupplier, select "Sourcing Supplier," then "Sourcing Homepage" and then reference the applicable RFQ PIN/solicitation number.

Suppliers electing to obtain a non-electronic paper document will be subject to a \$25 non-refundable fee; payable to NYCHA by USPS-Money Order/Certified Check only for each set of RFQ documents requested. Remit payment to NYCHA Finance Department, at 90 Church Street, 6th Floor; obtain receipt and present it to the Supply Management Procurement Group; RFQ package will be generated at the time of request.

These RFQ's are for 3 (3) IDIQ contracts (PIN #'s: 68122., 68123., 68124) for WOODEN KITCHEN CABINETS that NYCHA intends to separately award. NYCHA has determined that it is in the best interest of NYCHA, to award only one (1) of these 3 (3) IDIQ contracts, to any individual vendor. Therefore the Vendor awarded a Contract, pursuant to this solicitation will not be eligible to be awarded to any of the other IDIQ contracts for WOODEN KITCHEN CABINETS under this solicitation, even if the Vendor's bid is the lowest bid for that RFQ.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Housing Authority, 90 Church Street, 6th Floor, New York, NY 10008.
Gerard Valerio (212) 306-4724; gerard.valerio@nycha.nyc.gov



← f26

HUMAN RESOURCES ADMINISTRATION

■ AWARD

Goods and Services

PURCHASE OF RED HAT CLOUD INFRASTRUCTURE -

Intergovernmental Purchase - Judgment required in evaluating proposals - PIN# 09617G0053001 - AMT: \$459,842.40 - TO: Carahsoft Technology Corp., 1860 Michael Faraday Drive, Suite 100, Reston, VA 20190. Term: 7/1/2018 - 6/30/2021

← f26

INVESTIGATION

AGENCY CHIEF CONTRACTING OFFICER

■ INTENT TO AWARD

Goods

WHOOSTER DATABASE LICENSE - Sole Source - Available only from a single source - PIN# 03219S0005 - Due 3-5-19 at 11:00 A.M.

DOI, intends to enter into negotiations for a sole source procurement, with Whooster, Inc., to obtain Whooster Database License-software. Any vendor who believes that it can also provide this service/good is

invited to submit an expression of interest.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Investigation, 80 Maiden Lane, 25th Floor, New York City, NY 10038.
Aileen Hernandez (212) 825-2097; ahernandez@doi.nyc.gov

← f26-m4

PARKS AND RECREATION

■ VENDOR LIST

Construction Related Services

PREQUALIFIED VENDOR LIST: GENERAL CONSTRUCTION, NON-COMPLEX GENERAL CONSTRUCTION SITE WORK ASSOCIATED WITH NEW YORK CITY DEPARTMENT OF PARKS AND RECREATION ("DPR" AND/OR "PARKS") PARKS AND PLAYGROUNDS CONSTRUCTION AND RECONSTRUCTION PROJECTS.

NYC DPR is seeking to evaluate and pre-qualify a list of general contractors (a "PQL") exclusively to conduct non-complex general construction site work involving the construction and reconstruction of NYC DPR parks and playgrounds projects not exceeding \$3 million per contract ("General Construction").

By establishing contractor's qualification and experience in advance, NYC DPR will have a pool of competent contractors from which it can draw to promptly and effectively reconstruct and construct its parks, playgrounds, beaches, gardens and green-streets. NYC DPR will select contractors from the General Construction PQL for non-complex general construction site work of up to \$3,000,000.00 per contract, through the use of a Competitive Sealed Bid solicited from the PQL generated from this RFQ.

The vendors selected for inclusion in the General Construction PQL, will be invited to participate in the NYC Construction Mentorship. NYC Construction Mentorship focuses on increasing the use of small NYC contracts, and winning larger contracts with larger values. Firms participating in NYC Construction Mentorship will have the opportunity to take management classes and receive on-the-job training provided by a construction management firm.

NYC DPR will only consider applications for this General Construction PQL from contractors who meet any one of the following criteria:

- 1) The submitting entity must be a Certified Minority/Woman Business Enterprise (M/WBE)*;
- 2) The submitting entity must be a registered joint venture or have a valid legal agreement as a joint venture, with at least one of the entities in the joint venture being a certified M/WBE*;
- 3) The submitting entity must indicate a commitment to sub-contract no less than 50 percent of any awarded job to a certified M/WBE for every work order awarded.

* Firms that are in the process of becoming a New York City-Certified M/WBE, may submit a PQL application and submit a M/WBE Acknowledgement Letter, which states the Department of Small Business Services has begun the Certification process.

Application documents may also be obtained online at: <http://a856-internet.nyc.gov/nycvendononline/home.asap.>; or <http://www.nycgovparks.org/opportunities/business>.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Parks and Recreation, Olmsted Center Annex, Flushing Meadows - Corona Park, Flushing, NY 11368. Alicia H. Williams (718) 760-6925; Fax: (718) 760-6885; dmwbe.capital@parks.nyc.gov

j2-d31

■ INTENT TO AWARD

Goods and Services

35TH ANNUAL GREENTHUMB GROWTOGETHER

CONFERENCE - Government to Government - PIN# 84619T0007001 - Due 3-30-19 at 8:05 P.M.

The Department of Parks and Recreation, intends to enter into a Government to Government purchase with CUNY Graduate School Auxiliary Enterprise Corporation, 365 Fifth Avenue, New York, NY 10016, to host a Greenthumb GrowTogether conference on Saturday, March 30, 2019.

Any firm that would like to express their interest in providing services for similar projects in the future, may do so by phone and joining the City Bidder's list, by filling out the NYC-FMS Vendor Enrollment form at <https://a127-pip.nyc.gov/webapp/PRDPCW/SelfService/>, to enroll your organization with.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Parks and Recreation, 24 West 61 Street, 3rd Floor, New York, NY 10023. Winsome Miles (212) 830-7814; Fax: (917) 849-6454; winsome.miles@parks.nyc.gov

← f26-m4

CONTRACTS

■ AWARD

Construction/Construction Services

RECONSTRUCTION OF PERIMETER SIDEWALK, PARKS PATHS AND ADJACENT LANDSCAPE - Competitive Sealed Bids - PIN# 84618B0005001 - AMT: \$1,699,000.00 - TO: D and S Restoration Inc., 20 California Avenue, Paterson, NJ 07523. M071-116M

● **RECONSTRUCTION OF SANDY DAMAGES AT MIDLAND BEACH** - Competitive Sealed Bids - PIN# 84618B0031001 - AMT: \$424,800.00 - TO: T. Pyramid Inc., 55 Garnet Street, Brooklyn, NY 11231. R046-115MA1

● **CONSTRUCTION OF ADULT FITNESS EQUIPMENT** - Competitive Sealed Bids - PIN# 84617B0219001 - AMT: \$357,084.00 - TO: WBEUnlimited Corporation, 36-22A Francis Lewis Boulevard, Suite 203, Flushing, NY 11358. M042-117M

← f26

■ SOLICITATION

Construction/Construction Services

RECONSTRUCTION OF BANDSHELL AND LANDSCAPE - Competitive Sealed Bids - PIN# B073-515M - Due 3-28-19 at 10:30 A.M.

The Reconstruction of the Bandshell and Surrounding Landscape, located at Prospect Park West, between 9th and 12th Streets, in Prospect Park, Borough of Brooklyn.

E-Pin# 84619B0078.

Pre Bid Meeting: Tuesday, March 12, 2019, Time: 11:30 A.M., Location: On Site - Outdoor Stage of the Bandshell.

This procurement is subject to participation goals for MBEs and/or WBEs, as required by Local Law 1 of 2013.

Contract Under Project Labor Agreement.

Bidders are hereby advised that this contract is subject to the Project Labor Agreement (PLA) Covering Specified Renovation and Rehabilitation of City-Owned Buildings and Structures entered into between the City and the Building and Construction Trades Council of Greater New York ("BCTC") affiliated local unions. Please refer to the bid documents for further information.

Bid Security: Bid Bond in the amount of 10 percent of Bid Amount or Bid Deposit in the amount of 5 percent of Bid Amount.

The Cost Estimate Range is: \$1,000,000.00 - \$3,000,000.00.

To request the Plan Holder's List, please call the Blue Print Room, at (718) 760-6576.

To manage your vendor name and commodity codes on file with the City of New York, please go to New York City's Procurement and Sourcing Solutions Portal (PASSPort), at <https://a858-login.nyc.gov/osp/a/t1/auth/saml2/sso>. To manage or update your email, address or contact information, please go to New York City's Payee Informational Portal at <https://a127-pip.nyc.gov/webapp/PRDPCW/SelfService>.

Bid documents are available for a fee of \$25.00 in the Blueprint Room, Room #64, Olmsted Center, from 8:00 A.M. to 3:00 P.M. The fee is payable by company check or money order to the City of New York, Parks and Recreation. A separate check/money order is required for each project. The company name, address and telephone number as well as the project contract number must appear on the check/money order. Bidders should ensure that the correct company name, address, telephone number and email address information are submitted by your company/messenger service when picking up bid documents.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Parks and Recreation, Olmsted Center, Room 64, Flushing Meadows - Corona Park, Flushing, NY 11368. Kylie Murphy (718) 760-6855; kylie.murphy@parks.nyc.gov

← f26

SPECIAL MATERIALS

HOUSING PRESERVATION AND DEVELOPMENT

■ NOTICE

REQUEST FOR COMMENT REGARDING AN APPLICATION FOR A CERTIFICATION OF NO HARASSMENT

Notice Date: February 15, 2019

To: **Occupants, Former Occupants, and Other Interested Parties**

Property: Address	Application #	Inquiry Period
27 West 11 th Street, Manhattan	12/19	January 3, 2016 to Present
14A Monroe Street, Manhattan	14/19	January 9, 2016 to Present
515 West 145 th Street, Manhattan	2/19	January 18, 2016 to Present
209 East 34 th Street, Manhattan	4/19	January 23, 2016 to Present

Authority: **SRO, Administrative Code §27-2093**

Before the Department of Buildings can issue a permit for the alteration or demolition of a single room occupancy multiple dwelling, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a specified time period. Harassment is conduct by an owner that is intended to cause, or does cause, residents to leave or otherwise surrender any of their legal occupancy rights. It can include, but is not limited to, failure to provide essential services (such as heat, water, gas, or electricity), illegally locking out building residents, starting frivolous lawsuits, and using threats or physical force.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at **CONH Unit, 100 Gold Street, 6th Floor, New York, NY 10038**, by letter postmarked not later than 30 days from the date of this notice or by an in-person statement made within the same period. To schedule an appointment for an in-person statement, please call **(212) 863-5277 or (212) 863-8211**.

f15-26

REQUEST FOR COMMENT REGARDING AN APPLICATION FOR A CERTIFICATION OF NO HARASSMENT

Notice Date: February 15, 2019

To: **Occupants, Former Occupants, and Other Interested Parties**

Property: Address	Application #	Inquiry Period
435 West 48 th Street, Manhattan	1/19	January 4, 2004 to Present
359 West 46 th Street, Manhattan	3/19	January 22, 2004 to Present

Authority: **Special Clinton District, Zoning Resolution §96-110**

Before the Department of Buildings can issue a permit for the alteration or demolition of a multiple dwelling in certain areas designated in the Zoning Resolution, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a specified time period. Harassment is conduct by an owner that is intended to cause, or does cause, residents to leave or otherwise surrender any of

their legal occupancy rights. It can include, but is not limited to, failure to provide essential services (such as heat, water, gas, or electricity), illegally locking out building residents, starting frivolous lawsuits, and using threats or physical force.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at CONH Unit, 100 Gold Street, 6th Floor, New York, NY 10038, by letter postmarked not later than 30 days from the date of this notice or by an in-person statement made within the same period. To schedule an appointment for an in-person statement, please call (212) 863-5277 or (212) 863-8211.

f15-26

REQUEST FOR COMMENT REGARDING AN APPLICATION FOR A CERTIFICATION OF NO HARASSMENT PILOT PROGRAM

Notice Date: February 15, 2019

To: Occupants, Former Occupants, and Other Interested Parties

Table with 4 columns: Property, Address, Application #, Inquiry Period. Lists addresses in Manhattan, Brooklyn, and Flushing.

Authority: Pilot Program Administrative Code §27-2093.1, §28-505.3

Before the Department of Buildings can issue a permit for the alteration or demolition of a multiple dwelling on the Certification of No Harassment Pilot Program building list, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a specified time period.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at CONH Unit, 100 Gold Street, 6th Floor, New York, NY 10038, by letter postmarked not later than 45 days from the date of this notice or by an in-person statement made within the same period.

f15-26

MAYOR'S OFFICE OF CONTRACT SERVICES

NOTICE

Notice of Intent to Issue New Solicitations Not Included in FY 2019 Annual Contracting Plan and Schedule

NOTICE IS HEREBY GIVEN that the Mayor will be issuing the following solicitation(s) not included in the FY 2019 Annual Contracting Plan and Schedule that is published, pursuant to New York City Charter § 312(a):

Agency: Department of Parks and Recreation (DPR-E)
Description of services sought: High Voltage Electrical Maintenance and Repair

Start date of the proposed contract: 9/1/2019
End date of the proposed contract: 8/31/2022

Method of solicitation the agency intends to utilize: CSB
Personnel in substantially similar titles within agency: None
Headcount of personnel in substantially similar titles within agency: 0

Agency: Department of Parks and Recreation (DPR-E)
Description of services sought: To provide chemical treatment for NYC parks HVAC/R water systems
Start date of the proposed contract: 8/1/2019
End date of the proposed contract: 7/31/2022

Method of solicitation the agency intends to utilize: CSB
Personnel in substantially similar titles within agency: None
Headcount of personnel in substantially similar titles within agency: 0

f26

CHANGES IN PERSONNEL

Table for COMMUNITY COLLEGE (LAGUARDIA) FOR PERIOD ENDING 01/11/19. Columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY.

Table for COMMUNITY COLLEGE (LAGUARDIA) FOR PERIOD ENDING 01/11/19. Columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY.

Table for HUNTER COLLEGE HIGH SCHOOL FOR PERIOD ENDING 01/11/19. Columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY.

Table for BROOKLYN COMMUNITY BOARD #12 FOR PERIOD ENDING 01/11/19. Columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY.

Table for DEPARTMENT OF EDUCATION ADMIN FOR PERIOD ENDING 01/11/19. Columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY.

Table for DEPARTMENT OF EDUCATION ADMIN FOR PERIOD ENDING 01/11/19. Columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY.

WARD	CHEMENE	W	56058	\$60248.0000	APPOINTED	YES	11/04/18	740
WONG JR	WAH	W	12750	\$22.5000	RESIGNED	YES	12/23/18	740
YORK-KURTZ	ASHLEY	V	10026	\$88663.0000	APPOINTED	NO	11/18/18	740
YOUNG	TRAVIS		1006B	\$77752.0000	INCREASE	YES	12/12/18	740

BROWN-WILLIAMS	YASMINE	M	10209	\$16.3000	RESIGNED	YES	12/23/18	816
BROWNE	JUANITA		1002C	\$92176.0000	RETIRED	NO	01/01/19	816
CARDEE	RONALD	A	13616	\$88828.0000	RETIRED	NO	01/02/19	816

DEPARTMENT OF PROBATION
FOR PERIOD ENDING 01/11/19

TITLE								
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY		
FERGUS	ANTHONY C	51810	\$63688.0000	RETIRED	NO	01/02/19	781	
GOODRIDGE	STEPHANI	51810	\$63982.0000	RETIRED	NO	12/27/18	781	
HEALEY	JOSEPH F	51810	\$64337.0000	RETIRED	NO	01/02/19	781	
IMAYEGUAAHI	DAVID N	51810	\$65057.0000	RETIRED	NO	01/02/19	781	
LANTIGUA	LYDIA L	51810	\$42759.0000	RESIGNED	NO	12/11/18	781	
MACKEY	SHAQUANA J	51810	\$42759.0000	APPOINTED	NO	11/13/18	781	
MIRANDA	DONNA	51263	\$47863.0000	RESIGNED	YES	12/23/18	781	
MIRANDA	DONNA	51810	\$49173.0000	RESIGNED	NO	12/23/18	781	
MORALES	MIRIAM	10124	\$60243.0000	RETIRED	NO	01/02/19	781	

DEPARTMENT OF BUSINESS SERV.
FOR PERIOD ENDING 01/11/19

TITLE								
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY		
BROOKS JR. JR	CECIL K	56058	\$52500.0000	APPOINTED	YES	01/02/19	801	
FURMAN	AMY L	10009	\$90000.0000	RESIGNED	NO	09/16/18	801	
SHAPIRO	LEIGH A	10009	\$90000.0000	RESIGNED	YES	01/21/18	801	
TSE	ANTHONY T	60860	\$57364.0000	RESIGNED	YES	12/23/18	801	
VENTURINO	PABLO N	10009	\$77250.0000	RESIGNED	YES	07/24/18	801	

HOUSING PRESERVATION & DVLPMNT
FOR PERIOD ENDING 01/11/19

TITLE								
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY		
BONAPARTE	BERNARD	31675	\$65312.0000	RETIRED	NO	12/22/18	806	
BROWN	ANN CHEV K	56058	\$71575.0000	RESIGNED	YES	01/02/19	806	
CHEN	CHICONG	10050	\$105000.0000	APPOINTED	YES	12/23/18	806	
EDGEWORTH	JESSICA D	12627	\$87928.0000	RESIGNED	NO	12/27/18	806	
ERDMAN	STEPHEN M	22507	\$93866.0000	RESIGNED	YES	01/04/19	806	
GAYLE	CRYSTAL	30087	\$105000.0000	INCREASE	YES	12/23/18	806	
JONES	EVAN C	9556A	\$84407.0000	RESIGNED	YES	01/02/19	806	
JUNG	MELANIE B	56058	\$73793.0000	RESIGNED	YES	12/19/18	806	
KAPLAN	BRYAN R	30087	\$123600.0000	RESIGNED	YES	09/22/18	806	
KREINER	PAUL	10251	\$40752.0000	DECREASED	NO	12/13/18	806	
LINDER	ANDREW J	95005	\$150393.0000	RETIRED	YES	01/01/19	806	
MUSTAFA	SARA	30087	\$67523.0000	RESIGNED	YES	01/01/19	806	
OBERST	PATRICK C	31670	\$49862.0000	TERMINATED	YES	01/04/19	806	
SAHA	ASHUTOSH	34202	\$63728.0000	INCREASE	YES	12/18/18	806	
SANCLEMENTE-GOM	JESSICA	1002A	\$88276.0000	RESIGNED	NO	11/09/18	806	
SCHNETZER	SUSAN L	1002A	\$91085.0000	RESIGNED	NO	12/28/18	806	
SEELY	EDWARD S	56058	\$78093.0000	RESIGNED	YES	12/28/18	806	
SHAH	CHETAN	34202	\$83550.0000	RETIRED	NO	01/03/19	806	
SUGGS	KETURAH	56058	\$67792.0000	RESIGNED	YES	11/25/18	806	
WANG	LAUREN E	22507	\$95951.0000	RESIGNED	NO	12/30/18	806	
WYNNE	RANDY K	22507	\$63728.0000	INCREASE	YES	12/23/18	806	

DEPARTMENT OF BUILDINGS
FOR PERIOD ENDING 01/11/19

TITLE								
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY		
ADEYEMI	CHRISTIN A	10209	\$16.3500	APPOINTED	YES	12/31/18	810	
ANGELAKIS	GEORGIA	10025	\$61457.0000	APPOINTED	NO	11/24/18	810	
CHARLES	VALERYEE C	10209	\$16.3500	APPOINTED	YES	12/31/18	810	
CHINTAMANI	ANESHIA	30087	\$67523.0000	RESIGNED	YES	01/05/19	810	
DALLOO	ERIC S	30087	\$94635.0000	INCREASE	YES	12/23/18	810	
DEROFF	NATHAN M	10251	\$36677.0000	APPOINTED	YES	12/26/18	810	
DIAZ	MABEL	21210	\$67792.0000	RESIGNED	NO	01/03/19	810	
FRIEDMAN	DEBORAH L	1002C	\$63929.0000	APPOINTED	NO	11/25/18	810	
GABRA	IRENE W	20210	\$65000.0000	INCREASE	YES	12/23/18	810	
GONZALEZ	EMMANUEL	31624	\$61800.0000	RESIGNED	NO	01/03/19	810	
GUASH	ERICA A	10252	\$40629.0000	APPOINTED	NO	12/16/18	810	
JOHNSON	MARILU	1002C	\$63929.0000	APPOINTED	NO	11/25/18	810	
MEKES	SHIANA A	10209	\$16.3500	APPOINTED	YES	12/31/18	810	
MOSAAD	AMIR N	1001A	\$52137.0000	APPOINTED	NO	11/04/18	810	
MUNOZ	JENNIFER A	10209	\$18.3000	APPOINTED	YES	12/31/18	810	
MYERS	DAVID C	1002A	\$75208.0000	PROMOTED	NO	11/25/18	810	
PALMER	BISCHON J	1002C	\$63929.0000	APPOINTED	NO	11/25/18	810	
RASHAD	DANA M	10209	\$17.3000	APPOINTED	YES	01/03/19	810	
SCHWALBE	GABRIEL R	30086	\$61863.0000	APPOINTED	YES	12/23/18	810	
SHELTON	SAQUANA	10209	\$17.3000	RESIGNED	YES	01/01/19	810	
SHENOUDA	HANY S	10015	\$56990.0000	APPOINTED	NO	11/04/18	810	
VINCENT	RUTH	10209	\$17.3000	APPOINTED	YES	12/31/18	810	
WEBBER	SCOTT M	1002C	\$63929.0000	APPOINTED	NO	11/25/18	810	
XU	KAIKXIAN	10209	\$18.3000	RESIGNED	YES	01/01/19	810	
ZAPALA	MARIUSZ D	31622	\$61800.0000	RESIGNED	YES	01/03/19	810	

DEPT OF HEALTH/MENTAL HYGIENE
FOR PERIOD ENDING 01/11/19

TITLE								
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY		
AIRALL-SIMON	GLORIA S	1003C	\$87338.0000	RETIRED	YES	01/02/19	816	
AIRALL-SIMON	GLORIA S	51011	\$69126.0000	RETIRED	NO	01/02/19	816	
APPLEWHITE	MARIA	51022	\$34.0000	DECREASE	YES	12/23/18	816	
ASLAM	SHEIKH F	10050	\$130138.0000	INCREASE	NO	12/23/18	816	
ATKINSON-KIRKLA	IRIS D	1000B	\$109331.0000	RETIRED	YES	01/02/19	816	
BAILLEY	SHERRIFA M	52633	\$70900.0000	APPOINTED	YES	12/30/18	816	
BARBOT	OXIRIS	95423	\$236088.0000	INCREASE	YES	11/18/18	816	
BEDIAKO	KAZEMBE O	1002A	\$89185.0000	RETIRED	NO	12/29/18	816	
BEN ADERET	LISA V	51022	\$34.0000	RESIGNED	NO	01/02/19	816	
BIDDLE	ANNIE C	52631	\$65084.0000	INCREASE	YES	12/30/18	816	
BOLDIN	SVETLANA	51022	\$33.2500	RESIGNED	NO	02/25/18	816	
BROWN	DIAMOND L	31215	\$51631.0000	INCREASE	YES	08/22/18	816	
BROWN	PAUL A	51195	\$19.9200	RESIGNED	YES	12/23/18	816	

DEPT OF HEALTH/MENTAL HYGIENE
FOR PERIOD ENDING 01/11/19

TITLE								
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY		
CLARK	CHIMERE P	5100B	\$33.7200	RESIGNED	YES	10/24/18	816	
DAVIS	LEEYA	10124	\$59000.0000	APPOINTED	YES	12/23/18	816	
DAVIS - OVERTON	LISA M	51022	\$34.0000	INCREASE	YES	12/23/18	816	
DELA CRUZ	BENILDA R	51022	\$34.0000	INCREASE	YES	12/23/18	816	
DENNIS	ALANA P	12158	\$52977.0000	APPOINTED	NO	11/18/18	816	
DORCELY	MARIE T	53040	\$78.9000	RETIRED	YES	12/28/18	816	
DOSSOU-KITTI	EDWIGE	10209	\$17.9000	APPOINTED	YES	12/16/18	816	
EDWIN	BARBARA D	21514	\$83400.0000	RETIRED	NO	12/29/18	816	
FONG	MEI-CHIA	21744	\$88393.0000	RESIGNED	YES	12/27/18	816	
GARCIA	ROSARIA L	1002C	\$105007.0000	PROMOTED	NO	04/22/18	816	
GERARD	DENILLE B	51191	\$40093.0000	INCREASE	YES	12/23/18	816	
GITTENS	VIOLET E	70817	\$51993.0000	RESIGNED	NO	12/31/18	816	
GRACE	COLBY G	21849	\$64014.0000	RESIGNED	YES	12/26/18	816	
GU-TEMPLIN	TINGTING	51181	\$61936.0000	INCREASE	YES	12/23/18	816	
HAND	STEVEN M	21849	\$64014.0000	RESIGNED	YES	12/21/18	816	
HUDSON	HILARY	1002A	\$86230.0000	RETIRED	NO	01/01/19	816	
HUGGINS HUBBARD	ANESHIA	10251	\$42000.0000	APPOINTED	NO	12/09/18	816	
JAMES	RENEE K	21744	\$85000.0000	APPOINTED	YES	12/30/18	816	
JANVIER	JOCELYNE	51011	\$81798.0000	RETIRED	NO	12/29/18	816	
JENKINS	SHERRY L	30087	\$114452.0000	RETIRED	YES	12/28/18	816	
JENKINS	SHERRY L	40562	\$76478.0000	RETIRED	NO	12/28/18	816	
LORS	HELENA	10209	\$13.5000	APPOINTED	YES	01/02/19	816	
LOVELL	ANTONE	95488	\$112475.0000	TERMINATED	YES	12/21/18	816	
MARTIN-BOOTHE	SHAUNAGA M	31215	\$60712.0000	RESIGNED	YES	01/05/19	816	
MATTIS	CHRISTA M	10209	\$13.7500	APPOINTED	YES	12/23/18	816	
MERCADO	MARIBEL R	10251	\$42078.0000	APPOINTED	NO	12/09/18	816	
MERRILL	JEANETTE M	21744	\$85000.0000	APPOINTED	YES	12/30/18	816	
MORALES	JOSE	90505	\$44862.0000	RETIRED	YES	12/29/18	816	
MULLACHERY	PRICILA H	21744	\$94309.0000	RESIGNED	YES	12/26/18	816	
NACE	TARA M	56058	\$55000.0000	APPOINTED	YES	12/30/18	816	
NIKOLIC	ELIZABET	10209	\$13.7500	RESIGNED	YES	12/30/18	816	
PHILLIP	HAZEL C	10069	\$114087.0000	INCREASE	NO	12/23/18	816	
REN	WUZE	21514	\$75000.0000	APPOINTED	YES	12/23/18	816	
RODRIGUEZ	JUANA M	56058	\$60403.0000	RETIRED	YES	01/02/19	816	
RODRIGUEZ	JUANA M	51191	\$48862.0000	RETIRED	NO	01/02/19	816	
ROMAN	MD AHSAN H	10209	\$13.7500	APPOINTED	YES	01/02/19	816	
ROZZA	NICOLA	1002D	\$105804.0000	TRANSFER	NO	09/23/18	816	
SHAJEE	MIR M	51190	\$41761.0000	RESIGNED	NO	12/27/18	816	
SMITH	JANEITA C	10251	\$45463.0000	APPOINTED	YES	12/23/18	816	
SOSA	JOANNE	10209	\$17.9000	APPOINTED	YES	12/23/18	816	
STARK	CHRISTIN E	10251	\$41956.0000	APPOINTED	YES	12/16/18	816	
SULLLEY	SULEYMAN I	31215	\$44390.0000	RESIGNED	YES	12/23/18	816	
TAYLOR	ANNE MAR	51022	\$34.0000	INCREASE	YES	12/23/18	816	
TEDLA	HAILU W	21744	\$94820.0000	INCREASE	YES	12/23/18	816	
THOMAS	MIRANDA	81805	\$18.8300	APPOINTED	YES	12/30/18	816	
THOMPSON	VANESSA A	10250	\$39731.0000	RETIRED	NO	12/29/18	816	
WHITE	ANA	51022	\$34.0000	RESIGNED	YES	12/15/18	816	
WILLIAM	JONATHAN	10250	\$28624.0000	APPOINTED	NO	12/23/18	816	
ZABSONRE	INOUSSA	51191	\$52649.0000	RESIGNED	YES	11/04/18	816	

DEPT OF ENVIRONMENT PROTECTION
FOR PERIOD ENDING 01/11/19

TITLE								
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY		
ADORNO	HECTOR	90756	\$328.0000	RETIRED	NO	01/		

ZHEREBCEVSKAYA VERONIKA 21822 \$79522.0000 INCREASE NO 12/16/18 826

DEPARTMENT OF SANITATION FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists employees of the Department of Sanitation with their respective details.

DEPARTMENT OF SANITATION FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Continues the list of employees for the Department of Sanitation.

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists employees including SMITH JR, SOLOMON, SOTO, SPELLER, SUAZO, SUHAZ, TAHAL, TAYLOR, TAYLOR, TAYLOR, TCHORZEWSKI, THAKKER, TUCKER, VARGAS.

DEPARTMENT OF SANITATION FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists employees including VASQUEZ, VELEZ, VELIU, WALKER, WARNER, WASHINGTON, WILLIAMS, WILLIAMS, WOODBERRY, WOODSON, WRIGHT, ZAMPINI, ZAPOLSKI, ZUCKERMAN.

DEPARTMENT OF FINANCE FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists employees including ABUGEL, ADENUGA, AHMED, AHMED, AHMED, AYBASTI, BABB, BANERJEE, BETTON, BISWAS, BULSARA, CHAN, CHONG, CHOW, CHU, CONRY, CONTRERAS, DESAI, DOWELL, DROZDZAL, ESQUILIN, FERGUSON, FICALORA, FLORENTINO, FRANCIS, GUM, HARRIS, HARVIN.

DEPARTMENT OF FINANCE FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Lists employees including HUANG, IKHILEVSKAYA, ISLAM, JEAN, JOHNSON, KIRJICZYK, KUO, LOHIYA, MARTIN, MCINTYRE, MINKO, MORRISSEY, MOSCA, MUSTAFA, PANICCIA, PECHOTA, PETERSON, PHILIP, PHILLIP, PICKETT, PICKETT, PINKS, PRICE, PROSPERE, RADIX, RAMDATH, REED, ROZIER, RUBIN, SADIKOV JR, SAVLA.

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names like SCALZO, SCHREIBALG, SENATORE, SINGH, SMITH, SOEHREN, STREPPONE, SULLY, SYLVESTER, TAYLOR, TIMMERMAN, TSE, VAYNTRAUB, WONG JR, WORKALEMARU, YEASMIN, YEE, ZERVOS.

DEPARTMENT OF TRANSPORTATION FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names like ALTIERI, BARCIA, BECKFORD, BEJERANO-FUENTE, BOBIAN, BRIGGS, BRIGGS, BROWN, BYKE, CHIA, CHIA, COLEMAN, DEKER, DIAZ, GARCIA, GI, GUGGINO, HANDEL, HTUT, HTUT, LAMBERTI, MATHEN, NAVARRO, PEREZ, REKLIS, ROJAS, RUTMAN, SALAZAR, SIEGEL, SMITH, SURALIE II, TACCETTA, VANCLEAF, VERNER, WHEELER, WONG.

DEPT OF PARKS & RECREATION FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names like BARKSDALE, BETANCES, BONNER, COSOLITO, DEAS, DIFERDINANDO, EHTESHAM, GENESS, GUMBS, HOOPER, JOSEPH, LEBRON, LEBRON, LLOPIZ, LUGO, LYONS, MARTIN, MAZZEO, MAZZEO, MEDINA, MORAN LEON, MORTON, MURRELL, NESBITT, O'GRADY, ORTIZ, RODRIGUEZ, ROSACKER, WEISS, WHATLEY, WILLIAMS, ZOENKO.

DEPT. OF DESIGN & CONSTRUCTION FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes name ARCHER.

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names BRAGINSKAYA, CASES, CONNELL, HARVEY, HEMMINGS, JACKSON, KEITH, LAFARGUE.

DEPT. OF DESIGN & CONSTRUCTION FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names LEONG, NEHRING, RAMDEEN, SMOLYAR, TORRES, YAFAR, ZHENG.

DEPT OF INFO TECH & TELECOMM FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names ALI, BARTHOLOMEW, BROWN, CACKLER, CANDREVA, CASTILLO, CHERRY, COWARD, DICKSON, DISPENZA, DONOHUE, ELLIS, ELLISON, GLAIZER, GOGINENI, HOD, LEWIS, LIPSHUTZ, MCKENZIE-SMITH, MOSENKO, MUHLESTEIN, PERSAUD, RYNN, SINGH, THATTE, TUNKARA, WAHID.

CONSUMER AFFAIRS FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names REYES, ROZZA.

DEPT OF CITYWIDE ADMIN SVCS FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names ATWARU, AYE, BANSAL, BASORUN, CHETRAM, DAVIS, FONG, GIBSON, HO, HOUSE, ISLES, JOHNSON, LAM, LEWIS, LIN, LOPEZ KOROMA, MALDONADO, MARTIN, MILNER, OUTAR, PEREZ, PIERRE, RAMSEY, RODRIGUEZ, RUIZ, VARRIANO, WHITE, WU.

DISTRICT ATTORNEY-MANHATTAN FOR PERIOD ENDING 01/11/19

Table with columns: NAME, TITLE, NUM, SALARY, ACTION, PROV, EFF DATE, AGENCY. Includes names ALPEROVICH, HARRINGTON, LEONG, REED.

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
WEISSMAN PETER N	56057	\$49497.0000	RETIRED	YES	01/01/19	901
BRONX DISTRICT ATTORNEY FOR PERIOD ENDING 01/11/19						
BOWERS WILLIAM A	52406	\$28505.0000	APPOINTED	YES	12/23/18	902
CALDERON CRISTINA M	56058	\$53712.0000	INCREASE	YES	12/30/18	902
CRISOSTOMO JEREMY	56058	\$60403.0000	RESIGNED	YES	12/23/18	902
DELAO BRANDIE M	56057	\$42799.0000	INCREASE	YES	12/31/18	902
SMITH EBONY R	56058	\$57916.0000	APPOINTED	YES	01/02/19	902
TAVERAS PRISCILL C	56058	\$60403.0000	RESIGNED	YES	12/23/18	902
VISNERS LIZETE M	56056	\$31573.0000	APPOINTED	YES	12/30/18	902

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
DISTRICT ATTORNEY KINGS COUNTY FOR PERIOD ENDING 01/11/19						
ALVARADO EFRAIN	30830	\$70781.0000	RETIRED	YES	12/29/18	903
GONZALEZ ANGEL A	56057	\$42799.0000	APPOINTED	YES	12/30/18	903
GONZALEZ MARY G	56057	\$47698.0000	RETIRED	YES	12/29/18	903
KERSELLIUS KOREN S	56057	\$46411.0000	RESIGNED	YES	12/28/18	903
TOMASULO JULIA A	56057	\$42799.0000	RESIGNED	YES	01/04/19	903
WRIGHT KARL A	56057	\$52182.0000	RESIGNED	YES	12/30/18	903

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
DISTRICT ATTORNEY QNS COUNTY FOR PERIOD ENDING 01/11/19						
ALOISE NICOLE M	30114	\$92596.0000	INCREASE	YES	12/23/18	904
BRUNO ANTHONY	30114	\$92596.0000	INCREASE	YES	12/23/18	904
BUCCHERI ROSEMARY	30114	\$130348.0000	INCREASE	YES	12/23/18	904
CHIBBARO ELSIE	10251	\$55091.0000	DECEASED	NO	12/24/18	904
DIAO ANNA K	30114	\$95724.0000	INCREASE	YES	12/23/18	904
DIAZ PATRICIA A	30114	\$95724.0000	INCREASE	YES	12/23/18	904
FILINGERI MARILYN A	30114	\$98853.0000	INCREASE	YES	12/23/18	904
FRANKENSTEIN BARRY M	30114	\$92596.0000	INCREASE	YES	12/23/18	904
KEHOE TIMOTHY F	56057	\$37217.0000	APPOINTED	YES	01/03/19	904
KELLY MELISSA A	30114	\$90510.0000	INCREASE	YES	12/23/18	904
MOUCHETTE ERIC D	30114	\$74990.0000	RESIGNED	YES	01/03/19	904
SELKOWE JONATHAN A	30114	\$90510.0000	INCREASE	YES	12/23/18	904
SESSOMS-NEWTON KELLY E	30114	\$187731.0000	INCREASE	YES	12/23/18	904
SHORTT TIMOTHY J	30114	\$90510.0000	INCREASE	YES	12/23/18	904
SWEET MATTHEW J	30114	\$95724.0000	INCREASE	YES	12/23/18	904
WARGA ALLISON M	30114	\$90510.0000	INCREASE	YES	12/23/18	904
WEINSTOCK LAUREN P	30114	\$95724.0000	INCREASE	YES	12/23/18	904
WITTEN MICHELLE W	30114	\$92596.0000	INCREASE	YES	12/23/18	904
YI MYONGJAE M	30114	\$95724.0000	INCREASE	YES	12/23/18	904

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
DISTRICT ATTORNEY RICHMOND COU FOR PERIOD ENDING 01/11/19						
KELLY RENE C	56058	\$65000.0000	APPOINTED	YES	12/30/18	905

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
DISTRICT ATTORNEY-SPECIAL NARC FOR PERIOD ENDING 01/11/19						
ALBERTS FRANCIS T	30114	\$146100.0000	RESIGNED	YES	10/28/18	906
KOUGASIAN PETER M	30114	\$199213.0000	RETIRED	YES	12/24/18	906
O'HARA LEO	06583	\$66221.0000	RESIGNED	YES	12/30/18	906

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
PUBLIC ADMINISTRATOR-BRONX FOR PERIOD ENDING 01/11/19						
CRESPO VIRNA L	10139	\$124800.0000	INCREASE	YES	04/01/18	942

NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
PUBLIC ADMINISTRATOR-RICHMOND FOR PERIOD ENDING 01/11/19						
MARTIN EDWINA F	94354	\$187200.0000	APPOINTED	YES	01/01/19	945



DESIGN & CONSTRUCTION

AGENCY CHIEF CONTRACTING OFFICER

■ SOLICITATION

Construction/Construction Services

REPLACEMENT AND EXTENSION OF STORM SEWER IN EAGAN AVENUE-BOROUGH OF STATEN ISLAND - Competitive Sealed Bids - PIN# 85019B0015 - Due 3-20-19 at 11:00 A.M.

PROJECT NO.: SER200202/DDC PIN: 8502018SE0022C
 Bid Document Deposit-\$35.00 per set-company check or money order only-no cash accepted-late bids will not be accepted.
 Special Experience Requirements.
 Apprenticeship Participation Requirements apply to this contract.
 Bid documents are available at: <http://ddcbiddocuments.nyc.gov/inet/html/contrbid.asp>.

THIS PROJECT IS SUBJECT TO HireNYC
 As of August 1, 2017, the New York City Mayor's Office of Contract Services (MOCS) has launched the Procurement and Sourcing Solutions Portal (PASSPort), a new procurement system that will replace the paper - VENDEX process.

All organizations intending to do business with the City of New York should complete an online disclosure process to be considered for a contract. This disclosure process was formerly completed using Vendor Information Exchange System (VENDEX) paper-based forms. In anticipation of awards, bidders/proposers must create an account and enroll in PASSPort, and file all disclosure information. Paper submissions, including Certifications of No Changes to existing VENDEX packages will not be accepted in lieu of complete online filings. You can access PASSPort from the following link: <http://www.nyc.gov/passport>.

This procurement is subject to Minority-Owned and Women-Owned Business Enterprises (MWBE) participation goals as required by Local Law 1 of 2013. All respondents will be required to submit an MWBE Participation Plan with their response. For the MWBE goals, please visit our website at <http://ddcbiddocuments.nyc.gov/inet/html/contrbid.asp> see "Bid Opportunities". For a list of companies certified by the NYC Department of Small Business Services, please visit www.nyc.gov/buycertified. To find out how to become certified, visit www.nyc.gov/getcertified or call the DSBS certification helpline at (212) 513-6311.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.
Design and Construction, 30-30 Thomson Avenue, Long Island City, NY 11101. Brenda Barreiro (718) 391-1041; csb_projectinquiries@ddc.nyc.gov.

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SANITATION

AGENCY CHIEF CONTRACTING OFFICER

■ SOLICITATION

Construction/Construction Services

ROOF REPLACEMENT AT BROOKLYN 16 GARAGE - Competitive Sealed Bids - PIN# 82718RR00005 - Due 4-4-19 at 11:00 A.M.

Bid Estimate - \$3,874,388.00. There is a \$80.00 refundable fee for this bid document, Post office money order, please make payable to "Comptroller, City of New York".

Optional Pre-Bid Conference will be on March 7, 2019, at 10:30 A.M., 44 Beaver Street, 12th Floor Conference Room, New York, NY 10004. Last day for questions is 3/15/19, at 3:00 P.M., please contact Frank Mitchell, at (212) 437-4542, or email at fmitchell@dsgny.nyc.gov.

In accordance with Schedule A of the bid document, if your bid is over \$1,000,000, you must submit a certified check or money order equal to 5 percent of the Bid amount or Bid Bond with Penal Sum equal to 10 percent of the Bid amount.

This Procurement is Subject to a Project Labor Agreement (PLA).

This Procurement is subject to M/WBE Local Law 1" and is subject to a 30 percent MWBE goal. For a full listing of M/WBE vendors that may be interested in this solicitation please check with the Department of Small Business Services at www.nyc.gov/buycertified, emailing DSBS at MWBE@sbs.nyc.gov, or by calling (212) 513-6356.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Sanitation, 44 Beaver Street, Room 203, New York, NY 10004. Frank Mitchell (212) 437-4542; Fax: (212) 514-6808; fmitchell@dsgny.nyc.gov

Accessibility questions: fmitchell@dsgny.nyc.gov, by: Monday, April 1, 2019, 11:00 A.M.



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