



THE CITY RECORD

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THE CITY RECORD

BILL DE BLASIO

Mayor

LISETTE CAMILO

Commissioner, Department of Citywide Administrative Services

ELI BLACHMAN

Editor, The City Record

JANAE C. FERREIRA

Assistant Editor, The City Record

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PUBLIC HEARINGS AND MEETINGS

See Also: Procurement; Agency Rules

ADMINISTRATIVE TRIALS AND HEARINGS

MEETING

The next meeting of the Environmental Control Board, will take place on Thursday, February 28, 2019, at 100 Church Street, 12th Floor, Training Room #143, New York, NY 10007, at 9:15 A.M., at the call of the Chairman.

f13-15

CHARTER REVISION COMMISSION

MEETING

NOTICE OF PUBLIC MEETING

The New York City Charter Revision Commission 2019, will hold an issues forum open to the public, at 6:00 P.M., on Wednesday, February 20, 2019, at City Hall in Council Chambers, City Hall, New York, NY 10007. This forum will include experts discussing the administration of elections by instant runoff voting/rank choice voting and related election process reforms; the composition of the NYC Districting Commission and the process of redistricting council districts; and the structure of the New York City Campaign Finance Board, and alternative campaign finance mechanisms.

This meeting is open to the public. Because this is a public meeting and not a public hearing, the public will have the opportunity to observe the Commission's discussions, but not testify before it. There will be opportunities for testimony by members of the public, at future public hearings of the Commission.

If you are not able to attend, but wish to watch the meeting, all public hearings and meetings will be livestreamed, at the Commission's website found here: www.charter2019.nyc.

What if I need assistance to observe the meeting?

This location is accessible to individuals using wheelchairs or other mobility devices. With advance notice, American Sign Language interpreters will be available and members of the public may request induction loop devices and language translation services. Please make induction loop, language translation or additional accessibility requests by 5:00 P.M., Friday, February 15, 2019, by emailing the Commission at info@charter2019.nyc, or calling (212) 482-5155. All requests will be accommodated to the extent possible.

Find out more about the New York City Charter Revision Commission 2019, by visiting us at our website: www.charter2019.nyc.

Follow us on Twitter @charter2019nyc, Instagram @charter2019nyc, and Facebook, at facebook.com/Charter2019/.

Accessibility questions: info@charter2019.nyc, (212) 482-5155, by: Friday, February 15, 2019, 5:00 P.M.



f13-20

CITY PLANNING COMMISSION

PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that resolutions have been adopted by the City Planning Commission, scheduling a public hearing on the following matters to be held at NYC City Planning Commission Hearing Room, Lower Concourse, 120 Broadway, New York, NY, on Wednesday, February 27, 2019, at 10:00 A.M.

BOROUGH OF THE BRONX

Nos. 1 & 2

2069 BRUCKNER BOULEVARD REZONING

No. 1

CD 9 C 190102 ZMX

IN THE MATTER OF an application submitted by Azimuth Development Group LLC, pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section Nos. 4b & 7a:

- 1. changing from an R5 District to an R7A District property bounded by Chatterton Avenue, Olmstead Avenue, Bruckner Expressway, and a line 300 feet westerly of Olmstead Avenue; and
2. establishing within the R7A District a C2-4 District bounded by Chatterton Avenue, Olmstead Avenue, Bruckner Expressway, a line 300 feet westerly of Olmstead Avenue, a line midway between Chatterton Avenue and Bruckner Boulevard (northerly portion), and a line 100 feet westerly of Olmstead Avenue;

as shown on a diagram (for illustrative purposes only) dated January 7, 2019, and subject to the conditions of CEQR Declaration E-515.

No. 2

CD 9 N 190103 ZRX

IN THE MATTER OF an application submitted by Azimuth Development Group LLC, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying Appendix F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;
Matter struck out is to be deleted;
Matter within # # is defined in Section 12-10;
* * * indicates where unchanged text appears in the Zoning Resolution.

* * *

APPENDIX F

Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

* * *

THE BRONX

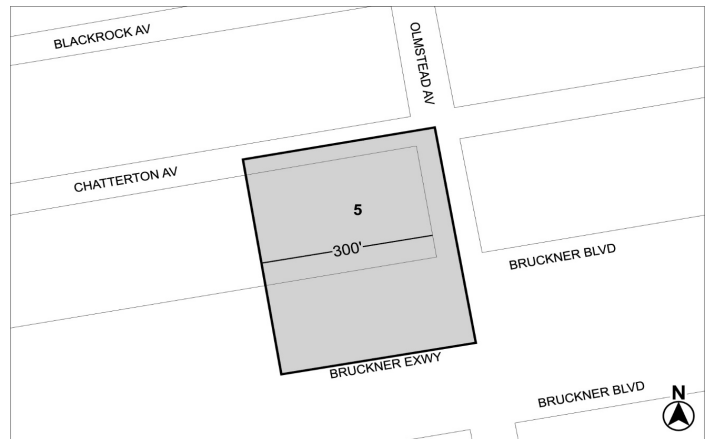
* * *

The Bronx Community District 9

* * *

Map 5 - [date of adoption]

[PROPOSED MAP]



Mandatory Inclusionary Housing Area see Section 23-154(d)(3)

Area 5 — [date of adoption] — MIH Program Option 1

Portion of Community District 9, The Bronx

BOROUGH OF BROOKLYN

Nos. 3-6

1921 ATLANTIC AVENUE

No. 3

CD 3 C 190160 HAK

IN THE MATTER OF an application submitted by the NYC Department of Housing Preservation and Development (HPD)

- 1. pursuant to Article 16 of the General Municipal Law of New York State for:
a) the designation of properties located at 17-23 Prescott Place, 18-22 Bancroft Place and 1911-1923 Atlantic Avenue (Block 1557, Lots 1, 2, 3, 4, 23, 26, 28, 31, 32, 33, 34, 35, 36, 37 and 38) as an Urban Development Action Area; and
b) an Urban Development Action Area Project for such area; and
2. pursuant to Section 197-c of the New York City Charter for the disposition of properties located at Block 1557, Lots 3, 4, 23, 26, 28, 31, 32, 33, 34, 35, 36 and 37 to a developer to be selected by HPD;

to facilitate a mixed-use development containing approximately 235 affordable housing units, commercial and community facility space.

No. 4

CD 3 C 190161 ZMK

IN THE MATTER OF an application submitted by NYC Department of Housing Preservation and Development and DTF Atlantic, LLC, pursuant to Sections 197-c and 201 of the New York City Charter for the amendment of the Zoning Map, Section No. 17a:

- 1. eliminating a Special Mixed Use District (MX-10) bounded by a line midway between Herkimer Street and Atlantic Avenue, Bancroft Place, the northerly boundary line of the Long Island Railroad Right-Of-Way (Atlantic Division), and Prescott Place;
2. changing an M1-1/R7D District to an R8A District property bounded by a line midway between Herkimer Street and Atlantic Avenue, Bancroft Place, the northerly boundary line of the Long Island Railroad Right-Of-Way (Atlantic Division), and Prescott Place; and
3. establishing within the proposed R8A District a C2-4 District bounded by a line 100 feet northerly of Atlantic Avenue, Bancroft Place, the northerly boundary line of the Long Island Railroad Right-Of-Way (Atlantic Division), and Prescott Place;

as shown on a diagram (for illustrative purposes only) dated November 13, 2018.

No. 5

CDs 3 N 190162 ZRK

IN THE MATTER OF an application submitted by NYC Department of Housing Preservation and Development and DTF Atlantic, LLC, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area.

Matter underlined is new, to be added;
Matter struck out is to be deleted;
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* * * indicates where unchanged text appears in the Zoning Resolution.

* * *

APPENDIX F

Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

* * *

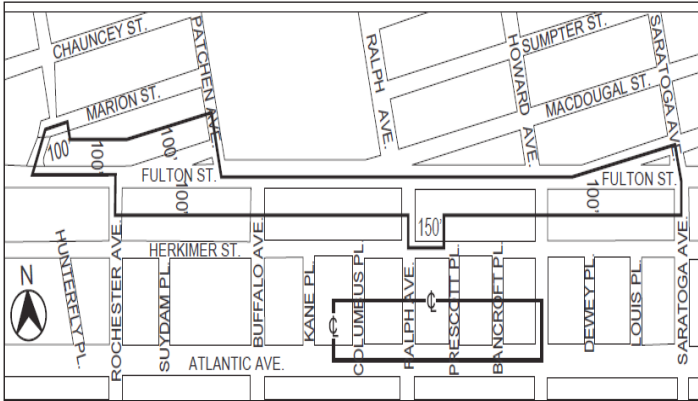
BROOKLYN

* * *

Brooklyn Community District 3

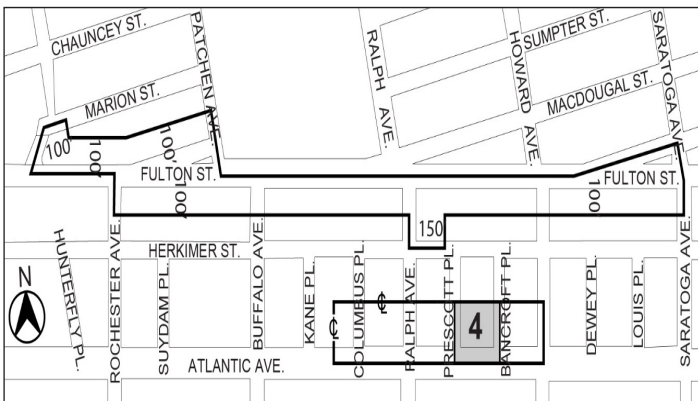
[EXISTING MAP]



Map 2 – (10/29/07)



[PROPOSED MAP]

Map 2 – [date of adoption]



-  Inclusionary Housing designated area
-  Mandatory Inclusionary Housing Program Area *see Section 23-154 (d) (3)*

Area 4 [date of adoption] – MIH Program Option 1

Portion of Community District 3, Borough of Brooklyn

No. 6

CDs 3 & 16

C 190163 HUK

IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD) pursuant to Section 505 of Article 15 of the General Municipal (Urban Renewal) Law of New York State and Section 197-c of the New York City Charter, for the first amendment to the Saratoga Square Urban Renewal Plan for the Saratoga Square Urban Renewal Area.

No. 7

813 STERLING PLACE

CD 8

C 190181 POK

IN THE MATTER OF an application submitted by the Administration for Children’s Services and the Department of Citywide Administrative Services, pursuant to Section 197-c of the New York City Charter, for the acquisition of property located at 813 Sterling Place (Block 1240, Lot 56) for continued use as a child care center.

No. 8

370 NEW LOTS AVENUE

CD 5

C 190182 POK

IN THE MATTER OF an application submitted by the Administration for Children’s Services and the Department of Citywide Administrative Services, pursuant to Section 197-c of the New York City Charter, for the acquisition of property located at 370 New Lots Avenue (Block 4298, Lot 7) for continued use as a child care center.

BOROUGH OF QUEENS

Nos. 9 & 10

47-15 34TH AVENUE REZONING

No. 9

CD 1

C 180530 ZMQ

IN THE MATTER OF an application submitted by Ashley Young LLC and John Young Associates LLC pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 9b:

1. changing from an R5 District to an R6B District property bounded by a line 150 northeasterly of 34th Avenue, 47th Street, a line 140 feet northeasterly of 34th Avenue, and a line midway between 46th Street and 47th Street;
2. changing from a C8-1 District to an R6B District property bounded by a line 140 feet northeasterly of 34th Avenue, 47th Street, 34th Avenue, a line 50 feet northwesterly of 47th Street, a line 100 feet northeasterly of 34th Avenue, and a line midway between 46th Street and 47th Street;
3. changing from an R5 District to an R7X District property bounded by a line 150 feet northeasterly of 34th Avenue, 48th Street, a line 140 feet northeasterly of 34th Avenue, and 47th Street;
4. changing from a C8-1 District to an R7X District property bounded by a line 140 feet northeasterly of 34th Avenue, 48th Street, 34th Avenue, and 47th Street;
5. establishing within existing and proposed R6B Districts a C2-4 district bounded by a line 150 feet northeasterly of 34th Avenue, 47th Street, 34th Avenue, and a line midway between 46th Street and 47th Street; and,
6. establishing within a proposed R7X District a C2-4 District bounded by a line 150 feet northeasterly of 34th Avenue, 48th Street, 34th Avenue, and 47th Street;

as shown on a diagram (for illustrative purposes only) dated November 13, 2018, and subject to the conditions of CEQR Declaration E-509.

No. 10

CD 1

N 180529 ZRQ

IN THE MATTER OF an application submitted by Ashley Young LLC and John Young Associates LLC pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, modifying Appendix F for the purpose of establishing a Mandatory Inclusionary Housing area.

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Matter ~~struck out~~ is to be deleted;
Matter within # # is defined in Section 12-10;
* * * indicates where unchanged text appears in the Zoning Resolution.

* * *

APPENDIX F

Inclusionary Housing Designated Areas and Mandatory Inclusionary Housing Areas

* * *

QUEENS

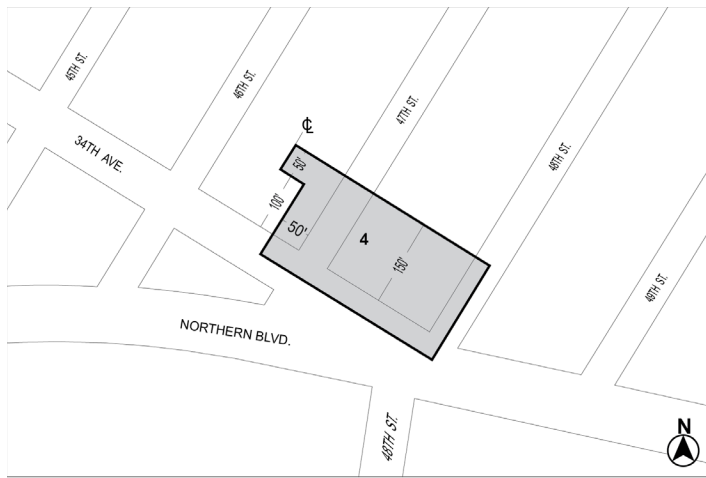
* * *


Queens Community District 1

* * *

Map 5 - [date of adoption]

[PROPOSED MAP]



 Mandatory Inclusionary Housing Area (see Section 23-154(d)(3))
 Area 4 — [date of adoption] — MIH Program Option 2

Portion of Community District 1, Queens

BOROUGH OF STATEN ISLAND
Nos. 11-16
SPECIAL BAY STREET CORRIDOR DISTRICT
No. 11

CD 1 **C 190113 ZMR**
IN THE MATTER OF an application submitted by the NYC Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter for the amendment of the Zoning Map, Section Nos. 21c and 21d:

1. eliminating from within an existing R3-2 District a C2-2 District bounded by a line 150 feet northwesterly of Canal Street, a line 700 feet southwesterly of Wright Street, a line 125 feet northwesterly of Canal Street, a line 200 feet southwesterly of Wright Street, Canal Street, Broad Street, and Cedar Street;
2. eliminating from within an existing R4 District a C2-2 District bounded by Canal Street, Wright Street, and Broad Street;
3. changing from an R3X District to an R6 District property bounded by a line 130 feet northwesterly of Bay Street, a line 105 feet northeasterly of Baltic Street, a line 100 feet northwesterly of Bay Street, and Baltic Street;
4. changing from an M1-1 District to an R6 District property bounded by Bay Street (easterly portion), the southerly street line of Victory Boulevard, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, Sands Street, Bay Street, Sands Street, a line 100 feet westerly of Bay Street, Congress Street, a line 100 feet southeasterly of Van Duzer Street, Baltic Street, a line 100 feet northwesterly of Bay Street, Clinton Street, a line 100 feet southeasterly of Van Duzer Street, St. Julian Place, Van Duzer Street extension, Swan Street, a line 100 feet northeasterly of Van Duzer Street, Hannah Street, a line midway between Van Duzer Street and Bay Street, and the southwesterly centerline prolongation of Minsthorne Street;
5. changing from an R3-2 District to an R6B District property bounded by a line 150 feet northwesterly of Canal Street, a line 700 feet southwesterly of Wright Street, a line 125 feet northwesterly of Canal Street, a line 200 feet southwesterly of Wright Street, Canal Street, Broad Street, and Cedar Street;
6. changing from an R3X District to an R6B District property bounded by Van Duzer Street, Baltic Street, a line 100 feet southeasterly of Van Duzer Street, and a line 100 feet northeasterly of Congress Street;
7. changing from an R4 District to an R6B District property bounded by Canal Street, Wright Street, and Broad Street;
8. changing from an M1-1 District to an R6B District property bounded by Van Duzer Street, a line 150 feet northwesterly of Hannah Street, a line midway between Van Duzer Street and Bay Street, Hannah Street, a line 100 feet northeasterly of Van Duzer Street, Swan Street, Van Duzer Street Extension, St. Julian Place, a line 100 feet southeasterly of Van Duzer Street, and Grant Street;
9. establishing within a proposed R6 District a C2-3 District bounded by a line midway between Van Duzer Street and Bay Street, the southwesterly centerline prolongation Minsthorne Street, Bay Street, the easterly centerline prolongation Swan

Street, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, Sands Street, Bay Street, Sands Street, a line 100 feet easterly of Bay Street, Congress Street, a line 100 feet southeasterly of Van Duzer Street, Baltic Street, a line 130 feet northwesterly of Bay Street, a line 105 feet northeasterly of Baltic Street, a line 100 feet northwesterly of Bay Street, Clinton Street, a line 100 feet southeasterly of Van Duzer Street, St. Julian Place, Van Duzer Street Extension, Swan Street, a line 100 feet northeasterly of Van Duzer Street, and Hannah Street;

10. establishing within a proposed R6B District a C2-3 District bounded by:
 - a. Van Duzer Street, a line 150 feet northwesterly of Hannah Street, a line midway between Van Duzer Street and Bay Street, Hannah Street, a line 100 feet northeasterly of Van Duzer Street, Swan Street, Van Duzer Street Extension, St. Julian Place, a line 100 feet southeasterly of Van Duzer Street, and Grant Street; and
 - b. a line 150 feet northwesterly of Canal Street, a line 700 feet southwesterly of Wright Street, a line 125 feet northwesterly of Canal Street, a line 200 feet southwesterly of Wright Street, Canal Street, Wright Street, Broad Street, and Cedar Street;
11. establishing within a proposed R6 District a C2-4 District bounded by Bay Street (easterly portion), the southerly street line of Victory Boulevard, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, the easterly centerline prolongation of Swan Street, and Bay Street; and
12. establishing a Special Bay Street Corridor District (BSC) bounded by Bay Street (easterly portion), the southerly street line of Victory Boulevard, the easterly boundary line of the Staten Island Rapid Transit (SIRT) Right-of-Way, Sands Street, Bay Street, Sands Street, a line 100 feet westerly of Bay Street, Congress Street, a line 100 feet southeasterly of Van Duzer Street, a line 100 feet northeasterly of Congress Street, Van Duzer Street, Baltic Street, a line 130 feet northwesterly of Bay Street, a line 105 feet northeasterly of Baltic Street, a line 100 feet northwesterly of Bay Street, Clinton Street, a line 100 feet southeasterly of Van Duzer Street, Grant Street, Van Duzer Street, a line 150 feet northwesterly of Hannah Street, a line midway between Van Duzer Street and Bay Street, and the southwesterly centerline prolongation of Minsthorne Street;

as shown on a diagram (for illustrative purposes only) dated May 22, 2017, and subject to the conditions of CEQR Declaration E-429.

No. 12

CD 1 **N 190114 ZRR**
IN THE MATTER OF an application submitted by New York City Department of City Planning, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York establishing the Special Bay Street Corridor District (Article XIII, Chapter 5) and modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area, and modifying related Sections.

Matter underlined is new, to be added;
 Matter ~~struck out~~ is to be deleted;
 Matter within # # is defined in Section 12-10;
 * * * indicates where unchanged text appears in the Zoning Resolution.

ARTICLE I
GENERAL PROVISIONS

Chapter 1
Title, Establishment of Controls and Interpretations of Regulations

* * *

11-122
Districts established

* * *

Establishment of the Special Bay Ridge District

In order to carry out the special purposes of this Resolution as set forth in Article XI, Chapter 4, the #Special Bay Ridge District# is hereby established.

Establishment of the Special Bay Street Corridor District

In order to carry out the special purposes of this Resolution as set forth in Article XIII, Chapter 5, the #Special Bay Street Corridor District# is hereby established.

Establishment of the Special City Island District

* * *

Chapter 2
Construction of Language and Definitions

* * *
12-10
DEFINITIONS

Special Bay Ridge District

The "Special Bay Ridge District" is a Special Purpose District designated by the letters "BR" in which special regulations set forth in Article XI, Chapter 4, apply.

Special Bay Street Corridor District

The "Special Bay Street Corridor District" is a Special Purpose District designated by the letters "BSC" in which special regulations set forth in Article XIII, Chapter 5, apply.

Special City Island District

* * *
Chapter 4
Sidewalk Cafe Regulations

* * *
14-44
Special Zoning Districts Where Certain Sidewalk Cafes Are Permitted

Staten Island	#Enclosed Sidewalk Cafe#	#Unenclosed Sidewalk Cafe#
<u>Bay Street Corridor District</u>	<u>Yes</u>	<u>Yes</u>
South Richmond Development District	Yes	Yes
St. George District	Yes	Yes
Stapleton Waterfront District	Yes	Yes

* * *
ARTICLE II
RESIDENCE DISTRICT REGULATIONS

Chapter 3
Residential Bulk Regulations in Residence Districts

* * *
23-011
Quality Housing Program

(c) In the districts indicated without a letter suffix, the optional Quality Housing #bulk# regulations permitted as an alternative, pursuant to paragraph (b) of this Section, shall not apply to:

(2) Special Purpose Districts

However, such optional Quality Housing #bulk# regulations are permitted as an alternative to apply in the following Special Purpose Districts:

- #Special 125th Street District#;
- #Special Bay Street Corridor District#;
- #Special Downtown Brooklyn District#;

* * *
23-03
Street Tree Planting in Residence Districts

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

(b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:

- #Special Bay Ridge District#;
- #Special Bay Street Corridor District#;
- #Special Clinton District#;

* * *
ARTICLE III
COMMERCIAL DISTRICT REGULATIONS

Chapter 3
Bulk Regulations for Commercial or Community Facility Buildings in Commercial Districts

* * *
33-03
Street Tree Planting in Commercial Districts

C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

(b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:

- #Special Bay Ridge District#;
- #Special Bay Street Corridor District#;
- #Special Clinton District#;

* * *
ARTICLE XI
SPECIAL PURPOSE DISTRICTS

Chapter 6
Special Stapleton Waterfront District

* * *
116-20
SPECIAL BULK REGULATIONS

* * *
116-23
Special Height and Setback Regulations

The special height and setback regulations set forth in this Section shall apply.

* * *
116-232
Street wall location

Within the #Special Stapleton Waterfront District#, the #street wall# location regulations shall be modified as follows:

(a) Subareas A and B1

In Subareas A and B1, the underlying #street wall# location regulations shall apply, except that the provisions of paragraph (a)(1) of Section 35-651 (Street wall location) shall be modified to require at least 70 percent of the #aggregate width of street wall# be located with 15 feet of the #street line# and extend to the minimum base heights specified in Section 116-233 (Height and setback), or the height of the #building#, whichever is less.

(b) Subareas B2 through B5 and C

In Subareas B B2 through B5 and C, the underlying #street wall# location regulations of a C4-2A District or an R6B District, as applicable, shall be modified as set forth in this Section. Map 3 (Mandatory Front Building Wall Lines) in the Appendix to this Chapter, specifies locations in Subareas B B2 through B5 and C where #mandatory front building wall# requirements apply as follows:

(a)(1) Type 1: Front #building# walls shall be coincident with and extend along the entire length of the #mandatory front building wall line#, except, to allow articulation at the intersection of two such lines, the front #building# wall may be located anywhere within 15 feet of their point of intersection.

(b)(2) Type 2: Front #building# walls shall be located within eight feet of and extend along at least 70 percent of the length of the #mandatory front building wall line#. For phased #development#, this requirement may be satisfied by more than one #building#, provided that upon completion 70 percent of the length of the #mandatory front building wall line# is occupied by such front #building# walls.

(c)(3) Wherever Map 3 does not indicate a #mandatory front building wall line#, the underlying #street wall# location rules shall apply.

If more than one #building# is #developed# in Subareas B1, B2, B3 or B4, the first #building# shall be located along a Type 1 #mandatory front building wall line#. Subsequent #buildings# shall locate along a Type 2 #mandatory front building wall line# until 70 percent of the length of the #mandatory front building wall line# is occupied.

[MOVED HEIGHT AND SETBACK PROVISIONS TO 116-233]

All #mandatory front building walls# shall rise without setback to a maximum height of 40 feet the minimum base height specified in Section 116-233, or the height of the #building#, whichever is less. A #building# may exceed a height of 40 feet, up to the maximum #building# height specified in Section 116-233, if a setback is provided at a minimum height of 35 feet. Such setback shall have a minimum depth of 10 feet and shall be measured from the front #building# wall. Recesses shall be permitted on the ground floor where required to provide access to the #building#. Above the ground floor, up to 30 percent of the aggregate width of the front #building# wall may be recessed.

However, in Subarea B2, the #mandatory front building wall# may rise without setback to the permitted maximum height of the #building#.

116-233

Maximum building height Height and setback

Within the #Special Stapleton Waterfront District#, the underlying height and setback regulations shall be modified as follows:

(a) Subareas A and B1

(1) Base heights and maximum #building# heights

Table 1 below sets forth the minimum and maximum base height, the maximum transition height, the maximum height of a #building or other structure#, and the maximum number of #stories# for #buildings# in Subareas A and B1. The maximum #building# height set forth in the table shall only be permitted in locations where the maximum #street wall# width of a #building# above the transition height, or, where applicable, the maximum base height, does not exceed 100 feet. At least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

A setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the Subarea, and shall be provided in accordance with paragraph (a)(2) of this Section.

Table 1

Maximum base heights and maximum #building# heights for Subareas A and B1

Minimum Base Height (in feet)	Maximum Base Height (in feet)	Maximum Transition Height (in feet)	Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet)	Maximum Number of #Stories#
40	65	85	125	12

(2) Required setbacks

At a height not lower than the minimum base height or higher than the maximum base height specified for the Subarea in the table in paragraph (a)(1) of this Section, a setback with a depth of at least 10 feet shall be provided from the front #building# wall.

In addition, the underlying provisions of paragraphs (c) (2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

(3) Dormer provisions

The underlying dormer provisions of paragraph (c) of Section 23-621 shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is less.

(b) Subarea B2

Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

(c) Subareas B3 through B5 and C

In Subareas B3 through B5, and C, the minimum base height shall be 35 feet and the maximum base height shall be 40 feet. At a height not lower than the minimum base height or higher than the maximum base height, a setback with a depth of at least 10 feet shall be provided, as measured from the front #building# wall.

Within the #Special Stapleton Waterfront District#, the The maximum height of a #building or other structure# outside of Subarea B2 shall not exceed 50 feet. However, where the ground floor level of a #building# provides a #qualifying ground

floor# in accordance with the supplemental provisions set forth in paragraph (b) of Section 35-652, the maximum height of a #building or other structure# may be increased to 55 feet.

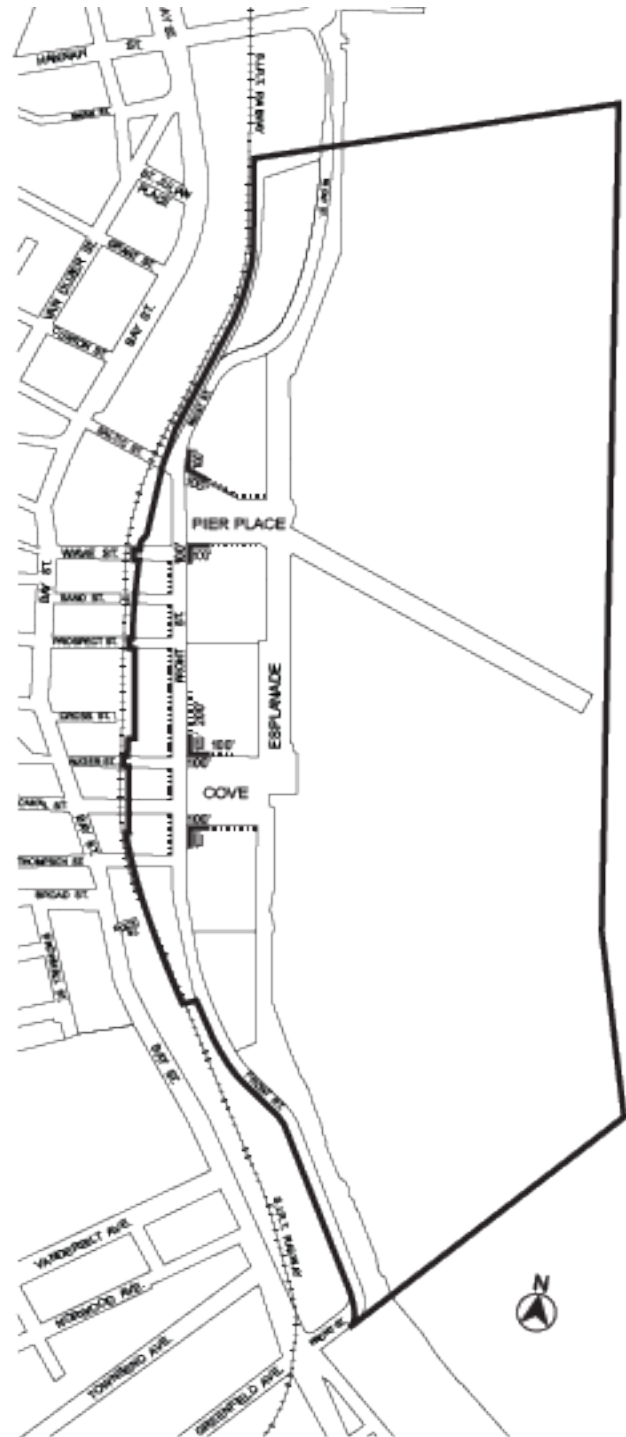
Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

* * *

**Appendix A
Stapleton Waterfront District Plan**

* * *

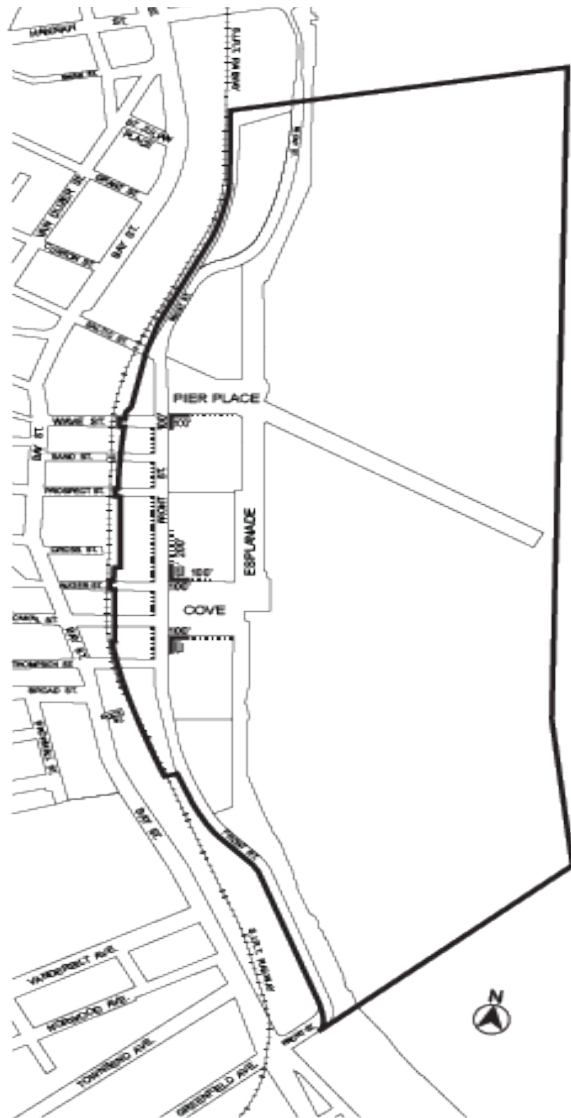
Map 3. Mandatory Front Building Wall Lines
[EXISTING MAP]



- Special Stapleton Waterfront District
- Type 1 Mandatory Front Building Wall Line
- Type 2 Mandatory Front Building Wall Line

[PROPOSED MAP]

Type 1 and Type 2 Mandatory Front Building Wall Lines to be removed from Subarea B1]



— Special Stapleton Waterfront District
 — Type 1 Mandatory Front Building Wall Line
 Type 2 Mandatory Front Building Wall Line

* * *

**ARTICLE XIII
 SPECIAL PURPOSE DISTRICTS**

**Chapter 5
 Special Bay Street Corridor District**

**135-00
 GENERAL PURPOSES**

The "Special Bay Street Corridor District" established in this Resolution is designed to promote and protect public health, safety and general welfare. These general goals include, among others, the following specific purposes:

- (a) to encourage well-designed buildings that complement the built character of the St. George, Stapleton and Tompkinsville neighborhoods;
- (b) to achieve a harmonious visual and functional relationship with the adjacent neighborhoods;
- (c) to maintain and reestablish physical and visual public access to the Stapleton neighborhood and to the waterfront;
- (d) to enhance neighborhood economic diversity by broadening the range of housing choices for residents at varied incomes;

- (e) to provide flexibility to attract new commercial and retail uses and support the existing businesses that define the area;
- (f) to create a livable community combining housing, retail and other uses throughout the district;
- (g) to create a walkable, urban streetscape environment through a mix of ground floor uses that connect the town centers of St George and Stapleton;
- (h) to create a lively and attractive built environment that will provide daily amenities and services for the use and enjoyment of area residents, workers and visitors;
- (i) to provide flexibility of architectural design within limits established to assure adequate access of light and air to the street, and thus to encourage more attractive and economic building forms; and
- (j) to promote the most desirable use of land in accordance with a well-considered plan and thus conserve the value of land and buildings, and thereby protect the City's tax revenues.

**135-01
 General Provisions**

The provisions of this Chapter shall apply within the #Special Bay Street Corridor District#. The regulations of all other Chapters of this Resolution are applicable, except as superseded, supplemented or modified by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control.

**135-02
 District Plan and Maps**

District maps are located in Appendix A of this Chapter and are hereby incorporated and made an integral part of this Resolution. They are incorporated for the purpose of specifying locations where special regulations and requirements, as set forth in the text of this Chapter, apply.

Map 1 Special Bay Street Corridor District and Subdistricts

Map 2 Location of visual corridors

**135-03
 Subdistricts**

In order to carry out the purposes and provisions of this Chapter, five subdistricts are established, as follows:

- Subdistrict A
- Subdistrict B, which is comprised of Subdistricts B1 and B2
- Subdistrict C
- Subdistrict D
- Subdistrict E

The location and boundaries of these subdistricts are shown on Map 1 (Special Bay Street Corridor District and Subdistricts), in Appendix A of this Chapter.

**135-04
 Applicability**

**135-041
 Applicability of Article I, Chapter 2**

The definition of "lower density growth management area" in Section 12-10 shall be modified to exclude all districts within the #Special Bay Street Corridor District#.

**135-042
 Applicability of the Quality Housing Program**

Any #building# containing #residences#, #long-term care facilities# or philanthropic or non-profit institutions with sleeping accommodations that is constructed in accordance with the #bulk# regulations of this Chapter shall be considered a #Quality Housing building#, and shall comply with the provisions of Article II, Chapter 8.

**135-043
 Applicability of the Inclusionary Housing Program**

For the purposes of applying the Inclusionary Housing Program set forth in Section 23-90, the #Special Bay Street Corridor District# shall be a #Mandatory Inclusionary Housing area#.

**135-044
 Applicability of Article VI, Chapter 4**

Notwithstanding the provisions of Section 135-01, in #flood zones#, in the event of a conflict between the provisions of this Chapter and the provisions of Article VI, Chapter 4 (Special Regulations Applying in Flood Hazard Areas), the provisions of Article VI, Chapter 4, shall control.

**135-045
 Applicability of this Chapter to certain zoning lots in Subdistrict D**

For #zoning lots# in Subdistrict D containing a Use Group 16 or 17 #use# operated in support of a public service or transportation facility and existing on [date of enactment], the provisions of this Chapter shall not apply. In lieu thereof, the provisions of an M1-1 District shall apply.

135-10 SPECIAL USE REGULATIONS

The underlying #use# regulations are modified by the provisions of this Section, inclusive.

135-11 Ground Floor Use Regulations

For the purposes of applying the special #ground floor level# streetscape provisions set forth in Section 37-30 to this Chapter, any portion of a #ground floor level street# frontage along Bay Street, as well as any #street# frontage within 50 feet of Bay Street, shall be considered a #primary street frontage#. A #ground floor level street# frontage along any other #street# shall be considered a #secondary street frontage#. For the purposes of this Section, defined terms shall include those in Section 12-10 and Section 37-311.

The provisions of this Section shall apply to #developments# or ground floor level #enlargements#.

(a) Along #primary street frontages#

For #buildings#, or portions thereof, with #primary street frontage#, #uses# on the #ground floor level#, to the minimum depth set forth in Section 37-32 (Ground Floor Depth Requirements for Certain Uses), shall be limited to non-#residential uses#, except for Type 1 lobbies and entrances and exits to #accessory# parking spaces provided in accordance with the applicable provisions of Section 37-33 (Maximum Width of Certain Uses). #Group parking facilities# located on the #ground floor level# shall be wrapped by #floor area# in accordance with the provisions of paragraph (a) of Section 37-35 (Parking Wrap and Screening Requirements). #Ground floor level street walls# shall be glazed in accordance with the provisions set forth in Section 37-34 (Minimum Transparency Requirements).

For #zoning lots# with a #lot area# of less than 5,000 square feet existing both on [date of adoption] and on the date of application for a building permit, the provisions of this paragraph shall not apply. In lieu thereof, the provisions of paragraph (b) of this Section shall apply.

In #flood zones#, where no transparent materials or #building# entrances or exits are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk for a continuous width of at least 15 feet, visual mitigation elements shall be provided in accordance with Section 135-12 for such blank wall.

(b) Along #secondary street frontages#

For #buildings#, or portions thereof, with #secondary street frontage#, all #uses# permitted by the underlying district shall be permitted on the #ground floor level#, provided that any #accessory# off-street parking spaces on the #ground floor level# shall be wrapped or screened in accordance with Section 37-35.

The level of the finished floor of such ground floor shall be located not higher than five feet above nor lower than five feet below the as-built level of the adjoining #street#.

135-12 Special Streetscape Provisions for Blank Walls

Where visual mitigation elements are required on a blank wall along the #ground floor level street wall# pursuant to the provisions of Section 135-11 (Ground Floor Use Regulations), at least 75 percent of the linear footage of any such blank wall shall be treated by one or more of the following visual mitigation elements.

(a) Planting

Where utilized as a visual mitigation element, any combination of perennials, annuals, decorative grasses or shrubs shall be provided in planting beds, raised planting beds or planter boxes in front of the #street wall#. Each foot in width of a planting bed, raised planting bed or planter box, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Such planting bed shall extend to a depth of at least three feet, inclusive of any structure containing the planted material. Any individual planted area shall have a width of at least five feet, and the height of such planting, inclusive of any structure containing the planted materials, shall be at least three feet.

Where a blank wall exceeds a #street wall# width of 50 feet, at least 25 percent of such #street wall# width shall be planted in accordance with the provisions of this paragraph.

(b) Benches

Where utilized as a visual mitigation element, fixed benches with or without backs shall be provided in front of the #street wall#. Unobstructed access shall be provided between such benches and an adjoining sidewalk or required circulation paths. Each linear foot of bench, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Any individual bench shall have a width of at least five feet, and no more than 20 feet of benches may be used to fulfill such requirement per 50 feet of frontage.

(c) Bicycle racks

Where utilized as a visual mitigation element, bicycle racks, sufficient to accommodate at least two bicycles, shall be provided in front of the #street wall#, and oriented so that the bicycles are placed parallel to the #street wall#. Each bicycle rack so provided shall satisfy five linear feet of frontage mitigation requirement. No more than three bicycle racks may be used to fulfill such requirement per 50 feet of frontage.

(d) Tables and chairs

Where utilized as a visual mitigation element, fixed tables and chairs shall be provided in front of the #street wall#. Each table shall have a minimum diameter of two feet, and have a minimum of two chairs associated with it. Each table and chair set so provided shall satisfy five linear feet of frontage mitigation requirement.

(e) Wall treatment

Where utilized as a visual mitigation element, wall treatment, in the form of permitted #signs#, graphic or sculptural art, rustication, decorative screening or latticework, or living plant material, shall be provided along the #street wall#. Each linear foot of wall treatment shall constitute one linear foot of frontage mitigation requirement. Such wall treatment shall extend to a height of at least 10 feet, as measured from the level of the adjoining sidewalk or grade, and have a minimum width of 10 feet, as measured parallel to the #street wall#.

All visual mitigation elements shall be provided on the #zoning lot#, except where such elements are permitted within the #street# under other applicable laws or regulations.

135-13 Physical Culture or Health Establishments

Within the #Special Bay Street Corridor District#, a #physical culture or health establishment# shall be permitted as-of-right in #Commercial Districts#. For the purposes of applying the underlying regulations to such #use#, a #physical culture or health establishment# shall be considered a Use Group 9 #use# and shall be within parking requirement category B.

135-14 Modification of Supplemental Use Provisions

In Subdistricts A, B and C, the underlying provisions of Section 32-421 (Limitation on floors occupied by commercial uses) shall be modified as follows:

- For #mixed buildings#, offices, as listed in Use Group 6B, shall be permitted on the lowest two #stories# of a #building#, provided that no access exists between such offices and any #residential uses#; and
- For #commercial buildings#, the provisions restricting the location of #uses# listed in Use Group 6A, 6B, 6C, 6F, 7, 8, 9 or 14 to two #stories#, shall not apply.

135-15 Enlargement of Certain Non-conforming Uses

For #zoning lots# containing alcoholic beverage manufacturing establishments, or breweries, as listed in Use Group 18, the provisions of Section 52-40 (ENLARGEMENTS OR EXTENSIONS) shall be modified to permit an #enlargement# or #extension# of such #use# after [date of adoption], provided that:

- the performance standards for M1 Districts set forth in Section 42-20, inclusive, shall apply to the #enlarged# or #extended# portion;
- the #enlarged# or #extended# area does not exceed 15,000 square feet;
- such #enlargement# or #extension# is located within a #completely enclosed building#; and
- all construction has been completed prior to [15 years after date of adoption].

135-20 SPECIAL BULK REGULATIONS

The underlying #floor area#, #yard#, #street wall# location and height and setback regulations are modified by the provisions of this Section.

**135-21
Special Floor Area Regulations**

The underlying #floor area# regulations are modified by the provisions of this Section. For the purpose of this Section, defined terms include those set forth in Sections 12-10 and 23-911.

Table 1 below sets forth the maximum #floor area ratio# of a #zoning lot# for each Subdistrict. Column 1 sets forth the maximum #floor area ratio# for #commercial uses# other than offices, as listed in Use Group 6B, and Column 2 sets forth the maximum #floor area ratio# for offices. Column 3 sets forth the maximum #floor area ratio# for #residences#, other than #MIH sites# and #affordable independent residences for seniors#, that are subject to the provisions of paragraph (d)(4)(i) or (d)(4)(iii) of Section 23-154 (Inclusionary Housing). Column 4 sets forth the maximum #residential floor area ratio# for #MIH sites# where either #affordable floor area# is provided in accordance with the provisions of paragraphs (d)(3)(i) through (d)(3)(iv) or paragraph (d)(5) of Section 23-154, or where a contribution to the #affordable housing fund# is made in accordance with paragraph (d)(3)(v) of such Section. Column 4 also sets forth the maximum #floor area ratio# for #community facility uses#, other than #long-term care facilities#. Column 5 sets forth the maximum #floor area ratio# for #zoning lots# containing #affordable independent residences for seniors# or #long-term care facilities#.

For #zoning lots# with #buildings# containing multiple #uses# or for #zoning lots# with multiple #buildings# containing different #uses#, the maximum #floor area ratio# for each #use# shall be as set forth in the table, and the maximum #floor area ratio# for the #zoning lot# shall not exceed the greatest #floor area ratio# permitted for any such #use# on the #zoning lot#.

**Table 1
Maximum #floor area ratio#**

Subdistrict	Column 1 For #commercial uses# other than offices	Column 2 For offices	Column 3 For #residences# other than #MIH sites# and #affordable independent residences for seniors#	Column 4 For #MIH sites# and #community facility uses# other than #long-term care facilities#	Column 5 For #affordable independent residences or #long-term care facilities#
A	2.0	4.60	4.00	4.60	5.01
B	2.0	3.60	3.00	3.60	3.90
C	2.0	3.00	2.50	3.00	3.25
D	2.0	2.00	2.50	3.00	3.25
E	2.0	2.00	2.00	2.20	2.20

**135-22
Special Lot Coverage Regulations**

The underlying #lot coverage# regulations are modified by the provisions of this Section.

The maximum #residential lot coverage# for interior lots# or #through lots# shall be 65 percent, and the maximum #residential lot coverage# for #corner lots# shall be 100 percent.

**135-23
Special Yard Regulations**

The underlying #yard# regulations are modified by the provisions of this Section.

In Subdistrict A, no #rear yard# or #rear yard equivalent# need be provided for #commercial buildings#, #community facility buildings#, or the portion of a #mixed building# containing #commercial# or #community facility uses#.

**135-24
Special Street Wall Location Regulations**

The underlying #street wall# location provisions are modified by the provisions of this Section.

(a) Along Bay Street

Along Bay Street and along #streets# within 50 feet of their intersection with Bay Street, the following #street wall# regulations shall apply:

- (1) At least 70 percent of the #aggregate width of street walls# of a #building# shall be located within eight feet of the #street line#, and shall rise without setback up to at least the minimum base height specified in Section 135-25 (Special Height and Setback Regulations), or the height of

the #building#, whichever is less. Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#.

- (2) For #developments# or horizontal #enlargements# of #buildings# within the #flood zone#, or portions thereof, where no transparent materials are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk pursuant to the provisions of Section 135-11 (Ground Floor Use Regulations) and Section 37-34 (Minimum Transparency Requirements) for a continuous distance of more than 25 feet, such #street wall# shall be located at least three feet beyond the #street line#. Such #street wall# shall not be located beyond five feet of the #street line#, except as permitted pursuant to Section 64-333 (Street wall location in certain districts). Such #street wall# shall provide visual mitigation elements in accordance with the provisions of Section 135-12 (Special Streetscape Provisions for Blank Walls), and any area between the #street wall# and the sidewalk that does not contain any planting material pursuant to the provisions of paragraph (a) of Section 135-12 shall be improved to Department of Transportation standards for sidewalks.
- (3) A minimum of 20 percent of the surface area of such #street walls# above the level of the first #story# shall be recessed a minimum of three feet. In addition, up to 30 percent of such #street wall# may be recessed at any level, provided that any recesses deeper than 10 feet are located within an #outer court#. Furthermore, no recesses greater than three feet shall be permitted within 30 feet of the intersection of two #street lines#.

(b) Along Van Duzer Street

Along Van Duzer Street, and along #streets# within 50 feet of their intersection with Van Duzer Street, the underlying #street wall# location regulations shall apply.

(c) Along all other #streets#

Along all #streets# that are not subject to paragraphs (a) or (b) of this Section, at least 50 percent of the #aggregate width of street walls# shall be located within 15 feet of the #street line#. The remaining #aggregate width of street walls# may be recessed beyond 15 feet of the #street line#, provided that any such recesses deeper than 10 feet are located within an #outer court#. Where the #street wall# of a #building#, or an individual segment thereof, exceeds the maximum base height established in Section 135-25, such #street wall# shall rise without setback to at least the minimum base height specified in Section 135-25.

The underlying allowances for #street wall# articulation, set forth in paragraph (d) of Section 23-661 or paragraph (e) of Section 35-651, as applicable, shall be permitted to project or recess beyond the #street wall# locations established in paragraphs (a), (b), or (c) of this Section.

**135-25
Special Height and Setback Regulations**

The underlying height and setback provisions are modified by the provisions of this Section.

Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#. Such visual corridors shall be considered #wide streets# for the purposes of applying the height and setback regulations of this Section.

(a) Base heights and maximum #building# heights

Table 1 below sets forth the minimum and maximum base height, the maximum transition height, where applicable, the maximum height of a #building or other structure#, and the maximum number of #stories# for #buildings# in the #Special Bay Street Corridor District#.

In all Subdistricts, a setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the Subdistrict, and shall be provided in accordance with paragraph (b) of this Section.

In Subdistrict A and B1, any portion of a #building# located above the maximum transition height, and in Subdistrict B2 and C, any portion of a #building located above the maximum base height, shall be subject to the maximum #street wall# width restrictions set forth in paragraph (c) of this Section.

Table 1
Maximum Base Heights and Maximum #Building# Heights

Subdistrict	Minimum Base Height (in feet)	Maximum Base Height (in feet)	Maximum Transition Height (in feet)	Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet)	Maximum Number of #Stories#
A	40	65	85	145	14
B1	40	65	85	125	12
B2	40	65	N/A	125	12
C	40	65	N/A	85	8
D	40	65	N/A	75	7
E	30	45	N/A	55	5

(b) Required setbacks

At a height not lower than the minimum base height or higher than the maximum base height specified for the subdistrict in Table 1 in paragraph (a) of this Section, a setback with a depth of at least 15 feet shall be provided from any #street wall# fronting on a #narrow street#, and a setback with a depth of at least 10 feet shall be provided from any #street wall# fronting on a #wide street#.

In addition, the underlying provisions of paragraphs (c)(2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

(c) Maximum #street wall# width in Subdistricts A, B and C

In Subdistricts A, B and C, the maximum #building# height set forth in Table 1 in paragraph (a) of this Section shall only be permitted within 100 feet of #streets# intersecting Bay Street. In addition, in Subdistrict B2, such maximum #building# height shall be permitted beyond 100 feet of #streets# intersecting Bay Street, provided that the maximum #street wall# width above the maximum base height does not exceed 100 feet.

In all such Subdistricts, at least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

(d) Dormer provisions

The underlying dormer provisions of paragraph (c) of Section 23-621 shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is less.

135-30
SPECIAL PUBLIC ACCESS AREA REGULATIONS

135-31
Special Visual Corridor Requirements

Within the Special Bay Street Corridor District, visual corridors shall be provided east of Bay Street, prolonging Swan Street, Clinton Street, Grant Street and Baltic Street, as shown on Map 2 in the Appendix to this Chapter. The location of the visual corridor prolonging Grant Street may be located anywhere within the flexible location designated on Map 2.

Such visual corridors shall be a minimum of 60 feet wide and shall be improved to minimum Department of Transportation (DOT) standards for public #streets#.

The boundaries of visual corridors shall be considered #street lines# for the purposes of applying the #use#, #bulk# and parking provisions of this Resolution, except that such portion of the #zoning lot#:

- (a) shall continue to generate #floor area#;
- (b) may be included for the purposes of calculating #lot coverage#; and
- (c) shall be permitted to accommodate open, unscreened, tandem (one behind the other) #accessory# off-street parking spaces provided that any such parking spaces are provided in accordance with DOT standards for on-street parking.

135-40
SPECIAL PARKING AND LOADING REGULATIONS

The underlying parking provisions are modified by the provisions of this Section.

135-41
Commercial Parking Requirements

In #mixed buildings#, the underlying parking requirements shall apply,

except that for the purposes of determining the parking requirement for #commercial uses# other than offices, as listed in Use Group 6B, the equivalent of 0.5 #floor area ratio#, or the amount of non-office #commercial floor area# in the #building#, whichever is less, may be deducted from the #floor area# used to determine such #commercial# parking calculation.

135-42
Residential Parking Waivers

The underlying #residential# parking waivers shall only apply to #zoning lots# existing both on [date of adoption] and on the date of application for a building permit.

135-43
Location of Parking Spaces

All #accessory# off-street parking spaces may be provided within #public parking garages#. Such spaces may also be provided within parking facilities on #zoning lots# other than the same #zoning lot# as the #use# to which they are #accessory#, provided:

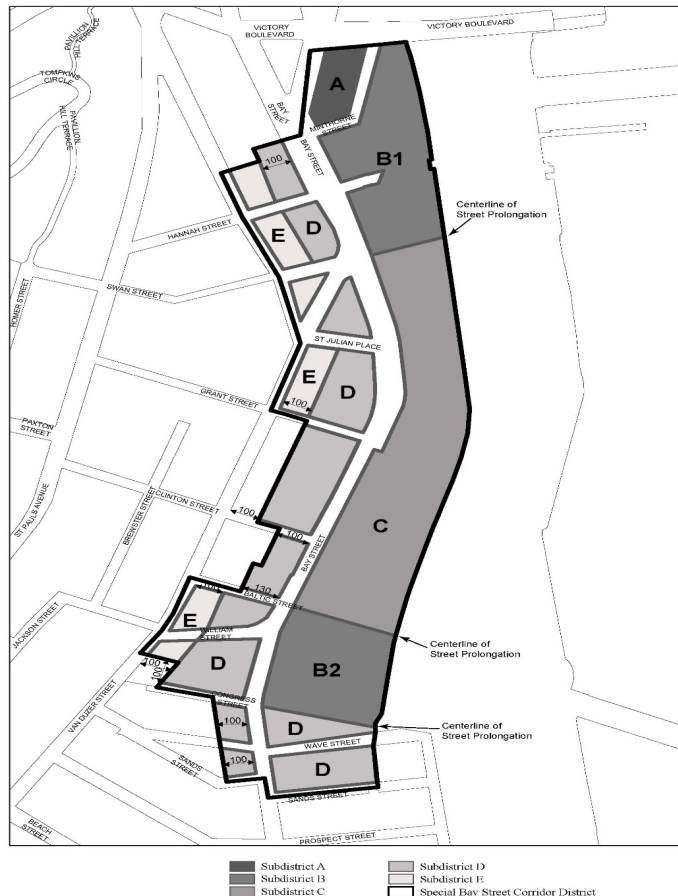
- (a) such parking facilities are located either:
 - (1) within the #Special Bay Street Corridor District#; or
 - (2) outside the #Special Bay Street Corridor District#, subject to the underlying provisions for off-site parking spaces set forth in Sections 25-52 (Off-site Spaces for Residences), 25-53 (Off-site Spaces for Permitted Non-residential Uses), 36-42 (Off-site Spaces for Residences) or 36-43 (Off-site Spaces for Commercial or Community Facility Uses), as applicable;
- (b) each off-street parking space within such facility is counted only once in meeting the parking requirements for a specific #zoning lot#; and
- (c) in no event shall the number of #accessory# parking spaces within such facility exceed that permitted in accordance with the underlying regulations.

135-44
Location of Curb Cuts

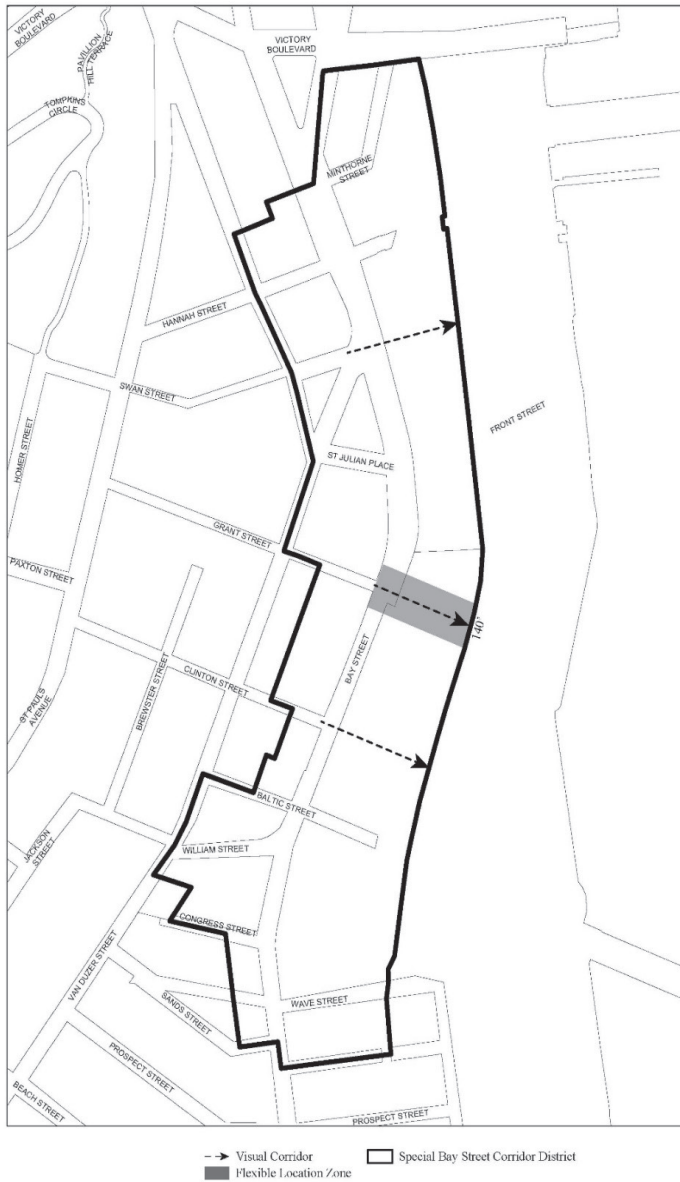
For #zoning lots# existing on [date of adoption] with frontage along Bay Street and along another #street# frontage, no curb cut accessing off-street parking spaces or loading spaces shall be permitted along Bay Street.

Appendix A - Special Bay Street Corridor District

Map 1 - Special Bay Street Corridor District and Subdistricts



Map 2 - Location of visual corridors



**APPENDIX F
Inclusionary Housing Designated Areas and Mandatory
Inclusionary Housing Areas**

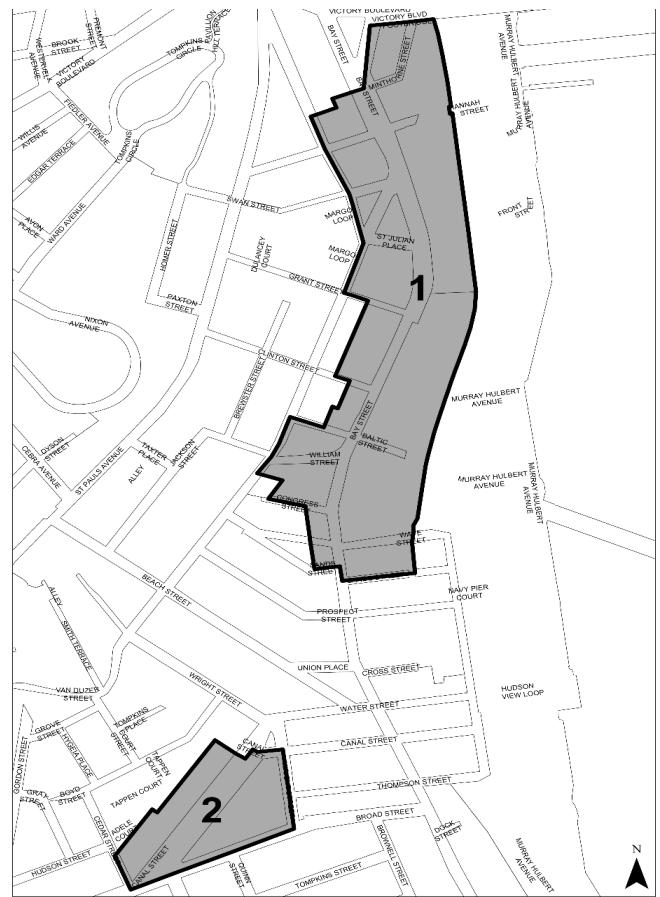
Zoning Map	Community District	Maps of Inclusionary Housing Designated Areas	Maps of Mandatory Inclusionary Housing Areas
1d	Bronx CD 7	Map 1	

21c	Staten Island CD 1		Map 1
21c	<u>Staten Island CD 1</u>		<u>Map 2</u>
22a	Brooklyn CD 7	Map 2	

STATEN ISLAND

Staten Island Community District 1

Map 2 - (date of adoption)



Mandatory Inclusionary Housing Area
 Area 1 - [Date of adoption] MIH Program Option 1, Option 2, Deep Affordability Option and Workforce Option see Sections 23-154 (d)(3), 135-043, and 135-21
 Area 2 - [Date of adoption] MIH Program Option 1, Option 2, Deep Affordability Option and Workforce Option see Section 23-154 (d)(3)

Portion of Community District 1, Staten Island

* * *
No. 13

CD 1 **N 190114(A) ZRR**
IN THE MATTER OF an application submitted by New York City Department of City Planning, pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York establishing the Special Bay Street Corridor District (Article XIII, Chapter 5), modifying height and bulk regulations in the Special Stapleton Waterfront District (Article XI, Chapter 6), modifying APPENDIX F for the purpose of establishing a Mandatory Inclusionary Housing area, and modifying related Sections.

Matter underlined is new, to be added;
 Matter ~~struck out~~ is to be deleted;
 Matter within ## is defined in Section 12-10;
 *** indicates where unchanged text appears in the Zoning Resolution.

**ARTICLE I
GENERAL PROVISIONS**

**Chapter 1
Title, Establishment of Controls and Interpretation of Regulations**

**11-122
Districts established**

Establishment of the Special Bay Ridge District

In order to carry out the special purposes of this Resolution as set forth in Article XI, Chapter 4, the #Special Bay Ridge District# is hereby established.

Establishment of the Special Bay Street Corridor District

In order to carry out the special purposes of this Resolution as set forth in Article XIII, Chapter 5, the #Special Bay Street Corridor District# is hereby established.

Establishment of the Special City Island District

* * *

Chapter 2 Construction of Language and Definitions

* * *

12-10 DEFINITIONS

* * *

Special Bay Ridge District

The "Special Bay Ridge District" is a Special Purpose District designated by the letters "BR" in which special regulations set forth in Article XI, Chapter 4, apply.

Special Bay Street Corridor District

The "Special Bay Street Corridor District" is a Special Purpose District designated by the letters "BSC" in which special regulations set forth in Article XIII, Chapter 5, apply.

Special City Island District

* * *

Chapter 4 Sidewalk Cafe Regulations

* * *

14-44 Special Zoning Districts Where Certain Sidewalk Cafes Are Permitted

* * *

Table with 3 columns: District Name, #Enclosed Sidewalk Cafe#, #Unenclosed Sidewalk Cafe#. Rows include Staten Island, Bay Street Corridor District, South Richmond Development District, St. George District, Stapleton Waterfront District.

ARTICLE II RESIDENCE DISTRICT REGULATIONS

Chapter 3 Residential Bulk Regulations in Residence Districts

* * *

23-011 Quality Housing Program

* * *

(d) In the districts indicated without a letter suffix, the optional Quality Housing #bulk# regulations permitted as an alternative pursuant to paragraph (b) of this Section, shall not apply to:

* * *

- (3) Special Purpose Districts
However, such optional Quality Housing #bulk# regulations are permitted as an alternative to apply in the following Special Purpose Districts:

- #Special 125th Street District#;
#Special Bay Street Corridor District#;
#Special Downtown Brooklyn District#;

* * *

23-03 Street Tree Planting in Residence Districts

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

* * *

- (b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:
#Special Bay Ridge District#;
#Special Bay Street Corridor District#;
#Special Clinton District#;

* * *

ARTICLE III COMMERCIAL DISTRICT REGULATIONS

Chapter 3 Bulk Regulations for Commercial or Community Facility Buildings in Commercial Districts

* * *

33-03 Street Tree Planting in Commercial Districts

C1 C2 C3 C4 C5 C6 C7 C8

In all districts, as indicated, the following shall provide #street# trees in accordance with Section 26-41 (Street Tree Planting):

* * *

- (b) #enlargements# of #single-# or #two-family residences# by 20 percent or more within the following special purpose districts:
#Special Bay Ridge District#;
#Special Bay Street Corridor District#;
#Special Clinton District#;

* * *

ARTICLE XI SPECIAL PURPOSE DISTRICTS

Chapter 6 Special Stapleton Waterfront District

* * *

116-20 SPECIAL BULK REGULATIONS FOR SUBAREAS A, B AND C, THE ESPLANADE, PIER PLACE AND THE COVE

* * *

116-22 Maximum Floor Area Ratio

The maximum #floor area ratio# for all #uses# shall be 2.0.

However, for #zoning lots# in Subareas A and B1, up to a total of 100,000 square feet of floor space, within a #school# shall be exempt from the definition of #floor area#. #Zoning lots# within Subarea A and B1 that are contiguous or would be contiguous but for their separation by a #street#, may be considered one #zoning lot# for the purpose of applying these special #floor area# regulations.

116-23 Special Height and Setback Regulations

The special height and setback regulations set forth in this Section shall apply.

* * *

116-232 Street wall location

Within the #Special Stapleton Waterfront District#, the #street wall# location regulations shall be modified as follows:

(a) Subareas A and B1

In Subareas A and B1, the underlying #street wall# location regulations shall apply, except that the provisions of paragraph (a)(1) of Section 35-651 (Street wall location) shall be modified to require that at least 70 percent of the #aggregate width of street wall# be located within 15 feet of the #street line# and extend to the minimum base heights specified in Section 116-233 (Height and setback), or the height of the #building#, whichever is less.

(b) Subareas B2 through B5 and C

In Subareas B B2 through B5 and C, the underlying #street wall# location regulations of a C4-2A District or an R6B District, as applicable, shall be modified as set forth in this Section. Map 3 (Mandatory Front Building Wall Lines) in Appendix A of this Chapter, specifies locations in Subareas B B2 through B5 and C where #mandatory front building wall# requirements apply as follows:

(a)(1) Type 1: Front #building# walls shall be coincident with and extend along the entire length of the #mandatory front building wall line#, except, to allow articulation at the intersection of two such lines, the front #building# wall may be located anywhere within 15 feet of their point of intersection.

(b)(2) Type 2: Front #building# walls shall be located within eight feet of and extend along at least 70 percent of the length of the #mandatory front building wall line#. For phased #development#, this requirement may be satisfied by more than one #building#, provided that upon completion 70 percent of the length of the #mandatory

front building wall line# is occupied by such front #building# walls.

- (c)(3) Wherever Map 3 does not indicate a #mandatory front building wall line#, the underlying #street wall# location rules shall apply.

If more than one #building# is #developed# in Subareas B1, B2, B3 or B4, the first #building# shall be located along a Type 1 #mandatory front building wall line#. Subsequent #buildings# shall locate along a Type 2 #mandatory front building wall line# until 70 percent of the length of the #mandatory front building wall line# is occupied.

[MOVED HEIGHT AND SETBACK PROVISIONS TO 116-233]

All #mandatory front building walls# shall rise without setback to a maximum height of 40 feet the minimum base height specified in Section 116-233, or the height of the #building#, whichever is less. A #building# may exceed a height of 40 feet, up to the maximum #building# height specified in Section 116-233, if a setback is provided at a minimum height of 35 feet. Such setback shall have a minimum depth of 10 feet and shall be measured from the front #building# wall. Recesses shall be permitted on the ground floor where required to provide access to the #building#. Above the ground floor, up to 30 percent of the aggregate width of the front #building# wall may be recessed.

However, in Subarea B2, the #mandatory front building wall# may rise without setback to the permitted maximum height of the #building#.

116-233

Maximum building height Height and setback

Within the #Special Stapleton Waterfront District#, the underlying height and setback regulations shall be modified as follows:

- (a) Subareas A and B1

- (1) Base heights and maximum #building# heights

The table below sets forth the minimum and maximum base height, the maximum transition height, the maximum height of a #building or other structure#, and the maximum number of #stories# for #buildings# in Subareas A and B1. The maximum #building# height set forth in the table shall only be permitted in locations where the maximum #street wall# width of a #building# above the transition height, or, where applicable, the maximum base height, does not exceed 100 feet. At least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

A setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the Subarea, and shall be provided in accordance with paragraph (a)(2) of this Section.

Maximum Base Heights and Maximum #Building# Heights for Subareas A and B1

Minimum Base Height (in feet)	Maximum Base Height (in feet)	Maximum Transition Height (in feet)	Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet)	Maximum Number of #Stories#
40	65	85	125	12

- (2) Required setbacks

At a height not lower than the minimum base height, or higher than the maximum base height specified for the Subarea in the table in paragraph (a)(1) of this Section, a setback with a depth of at least 10 feet shall be provided from the front #building# wall.

In addition, the underlying provisions of paragraphs (c) (2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

- (3) Dormer provisions

The underlying dormer provisions of paragraph (c) of Section 23-621 (Permitted obstructions in certain districts) shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is lower.

- (b) Subarea B2

Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

- (c) Subareas B3 through B5 and Subarea C

In Subareas B3 through B5 and Subarea C the minimum base height shall be 35 feet and the maximum base height shall be 40 feet. At a height not lower than the minimum base height or higher than the maximum base height, a setback with a depth of at least 10 feet shall be provided, as measured from the front #building# wall.

In Subareas A, B and C, the The maximum height of a #building or other structure# outside of Subarea B2 shall not exceed 50 feet. However, where the ground floor level of a #building# provides a #qualifying ground floor# in accordance with the supplemental provisions set forth in paragraph (b)(2) of Section 35-652 (Maximum height of buildings and setback regulations), the maximum height of a #building or other structure# may be increased to 55 feet.

Within Subarea B2, the maximum height of a #building or other structure# shall not exceed 60 feet.

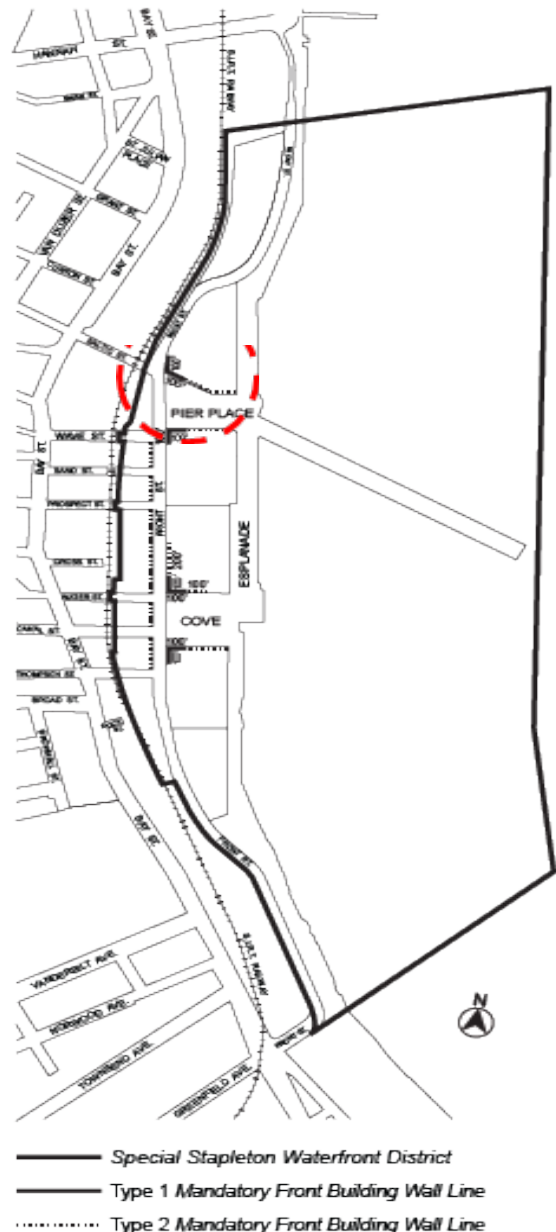
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**Appendix A
Stapleton Waterfront District Plan**

* * *

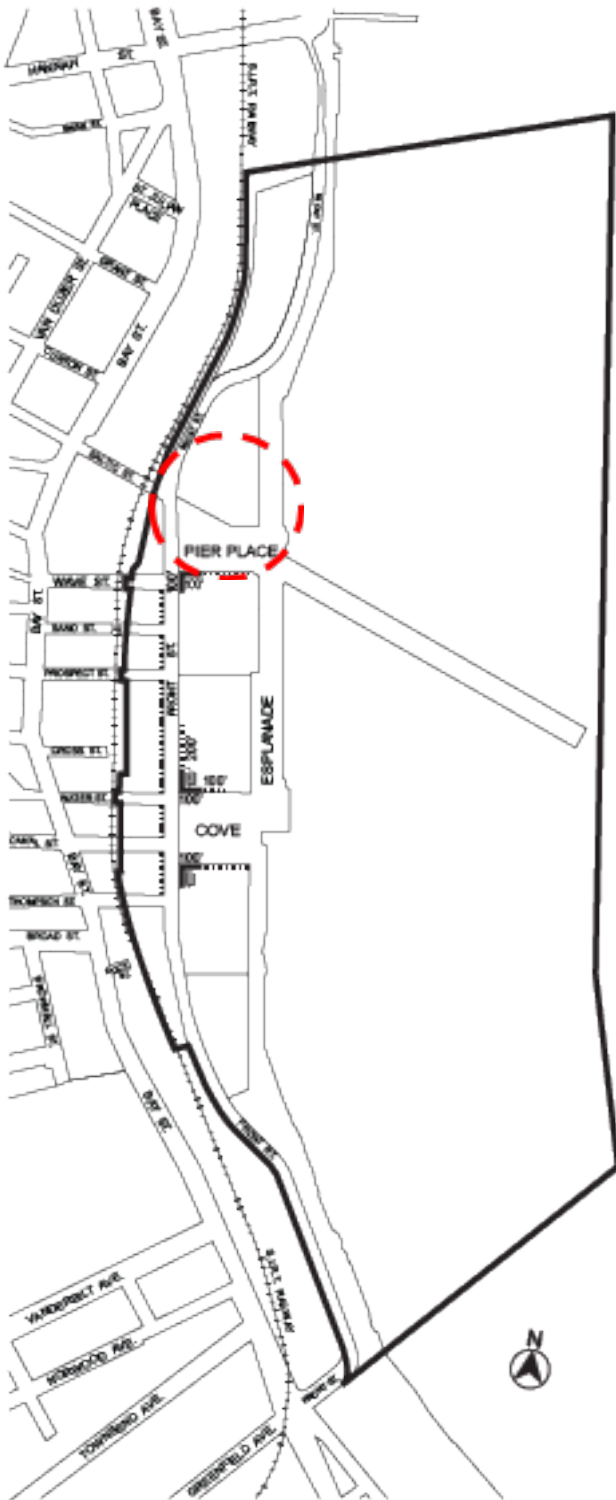
Map 3 - Mandatory Front Building Wall Lines

[EXISTING MAP]



[PROPOSED MAP]

Type 1 and Type 2 Mandatory Front Building Wall Lines to be removed from Subarea B1]



————— Special Stapleton Waterfront District
 ————— Type 1 Mandatory Front Building Wall Line
 Type 2 Mandatory Front Building Wall Line

* * *

**ARTICLE XIII
SPECIAL PURPOSE DISTRICTS**

**Chapter 5
Special Bay Street Corridor District**

**135-00
GENERAL PURPOSES**

The "Special Bay Street Corridor District" established in this Resolution is designed to promote and protect public health, safety and general welfare. These general goals include, among others, the following specific purposes:

- (a) to encourage well-designed buildings that complement the built character of the St. George, Stapleton and Tompkinsville neighborhoods;
- (b) to achieve a harmonious visual and functional relationship with the adjacent neighborhoods;
- (c) to maintain and reestablish physical and visual public access to the Stapleton neighborhood and to the waterfront;
- (d) to enhance neighborhood economic diversity by broadening the range of housing choices for residents at varied incomes;
- (e) to provide flexibility to attract new commercial and retail uses and support the existing businesses that define the area;
- (f) to create a livable community combining housing, retail and other uses throughout the district;
- (g) to create a walkable, urban streetscape environment through a mix of ground floor uses that connect the town centers of St. George and Stapleton;
- (h) to create a lively and attractive built environment that will provide daily amenities and services for the use and enjoyment of area residents, workers and visitors;
- (i) to provide flexibility of architectural design within limits established to assure adequate access of light and air to the street, and thus to encourage more attractive and economic building forms; and
- (j) to promote the most desirable use of land in accordance with a well-considered plan and thus conserve the value of land and buildings, and thereby protect the City's tax revenues.

**135-01
General Provisions**

The provisions of this Chapter shall apply within the #Special Bay Street Corridor District#. The regulations of all other Chapters of this Resolution are applicable, except as superseded, supplemented or modified by the provisions of this Chapter. In the event of a conflict between the provisions of this Chapter and other regulations of this Resolution, the provisions of this Chapter shall control.

**135-02
District Plan and Maps**

District maps are located in Appendix A of this Chapter and are hereby incorporated and made an integral part of this Resolution. They are incorporated for the purpose of specifying locations where special regulations and requirements, as set forth in the text of this Chapter, apply.

- Map 1 - Special Bay Street Corridor District and Subdistricts
- Map 2 - Location of Visual Corridors

**135-03
Subdistricts**

In order to carry out the purposes and provisions of this Chapter, five subdistricts are established, as follows:

- Subdistrict A
- Subdistrict B
- Subdistrict C
- Subdistrict D
- Subdistrict E

In Subdistrict B, subareas are established as follows:

- Subarea B1
- Subarea B2

The location and boundaries of these subdistricts are shown on Map 1 (Special Bay Street Corridor District and Subdistricts) in Appendix A of this Chapter.

**135-04
Applicability**

**135-041
Applicability of Article I, Chapter 2**

The definition of "lower density growth management area" in Section 12-10 shall exclude all districts within the #Special Bay Street Corridor District#.

135-042**Applicability of the Quality Housing Program**

Any #building# containing #residences#, #long-term care facilities# or philanthropic or non-profit institutions with sleeping accommodations that is constructed in accordance with the #bulk# regulations of this Chapter shall be considered a #Quality Housing building#, and shall comply with the provisions of Article II, Chapter 8.

135-043**Applicability of the Inclusionary Housing Program**

For the purposes of applying the Inclusionary Housing Program set forth in Section 23-90, the #Special Bay Street Corridor District# shall be a #Mandatory Inclusionary Housing area#.

135-044**Applicability of Article VI, Chapter 4**

Notwithstanding the general provisions of Section 135-01, in #flood zones#, in the event of a conflict between the provisions of this Chapter and the provisions of Article VI, Chapter 4 (Special Regulations Applying in Flood Hazard Areas), the provisions of Article VI, Chapter 4 shall control.

135-045**Applicability of this Chapter to certain zoning lots in Subdistrict D**

For #zoning lots# in Subdistrict D containing a Use Group 16 or 17 #use# operated in support of a public service or transportation facility and existing on [date of adoption], the provisions of this Chapter shall not apply. In lieu thereof, the provisions of an M1-1 District shall apply.

135-10**SPECIAL USE REGULATIONS**

The underlying #use# regulations are modified by the provisions of this Section, inclusive.

135-11**Ground Floor Use Regulations**

For the purposes of applying to this Chapter the special #ground floor level# streetscape provisions set forth in Section 37-30, any portion of a #ground floor level street# frontage along Bay Street, as well as any #street# frontage within 50 feet of Bay Street, shall be considered a #primary street frontage#. A #ground floor level street# frontage along any other #street# shall be considered a #secondary street frontage#. For the purposes of this Section, inclusive, defined terms shall include those in Sections 12-10 and 37-31.1.

The provisions of this Section shall apply to #developments# or #ground floor level enlargements#.

(a) Along #primary street frontages#

For #buildings#, or portions thereof, with #primary street frontage#, #uses# on the #ground floor level#, to the minimum depth set forth in Section 37-32 (Ground Floor Depth Requirements for Certain Uses), shall be limited to non-#residential uses#, except for Type 1 lobbies and entrances and exits to #accessory# parking spaces provided in accordance with the applicable provisions of Section 37-33 (Maximum Width of Certain Uses). #Group parking facilities# located on the #ground floor level# shall be wrapped by #floor area# in accordance with the provisions of paragraph (a) of Section 37-35 (Parking Wrap and Screening Requirements). #Ground floor level street walls# shall be glazed in accordance with the provisions set forth in Section 37-34 (Minimum Transparency Requirements).

For #zoning lots# with a #lot area# of less than 5,000 square feet existing both on [date of adoption] and on the date of application for a building permit, the provisions of this paragraph (a) shall not apply. In lieu thereof, the provisions of paragraph (b) of this Section shall apply.

In #flood zones#, where no transparent materials or #building# entrances or exits are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk for a continuous width of at least 15 feet, visual mitigation elements shall be provided in accordance with Section 135-12 for such blank wall.

(b) Along #secondary street frontages#

For #buildings#, or portions thereof, with #secondary street frontage#, all #uses# permitted by the underlying district shall be permitted on the #ground floor level#, provided that any #accessory# off-street parking spaces on the #ground floor level# shall be wrapped or screened in accordance with Section 37-35.

The level of the finished floor of such ground floor shall be located not higher than five feet above nor lower than five feet below the as-built level of the adjoining #street#.

135-12**Special Streetscape Provisions for Blank Walls**

Where visual mitigation elements are required on a blank wall along the #ground floor level street wall# pursuant to the provisions of Section 135-11 (Ground Floor Use Regulations), at least 75 percent of the linear footage of any such blank wall shall be treated by one or more of the following visual mitigation elements:

(a) Planting

Where utilized as a visual mitigation element, any combination of perennials, annuals, decorative grasses or shrubs shall be provided in planting beds, raised planting beds or planter boxes in front of the #street wall#. Each foot in width of a planting bed, raised planting bed or planter box, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Such planting bed shall extend to a depth of at least three feet, inclusive of any structure containing the planted material. Any individual planted area shall have a width of at least five feet, and the height of such planting, inclusive of any structure containing the planted materials, shall be at least three feet.

Where a blank wall exceeds a #street wall# width of 50 feet, at least 25 percent of such #street wall# width shall be planted in accordance with the provisions of this paragraph.

(b) Benches

Where utilized as a visual mitigation element, fixed benches with or without backs shall be provided in front of the #street wall#. Unobstructed access shall be provided between such benches and an adjoining sidewalk or required circulation paths. Each linear foot of bench, as measured parallel to the #street wall#, shall satisfy one linear foot of frontage mitigation requirement. Any individual bench shall have a width of at least five feet, and no more than 20 feet of benches may be used to fulfill such requirement per 50 feet of frontage.

(c) Bicycle racks

Where utilized as a visual mitigation element, bicycle racks, sufficient to accommodate at least two bicycles, shall be provided in front of the #street wall#, and oriented so that the bicycles are placed parallel to the #street wall#. Each bicycle rack so provided shall satisfy five linear feet of frontage mitigation requirement. No more than three bicycle racks may be used to fulfill such requirement per 50 feet of frontage.

(d) Tables and chairs

Where utilized as a visual mitigation element, fixed tables and chairs shall be provided in front of the #street wall#. Each table shall have a minimum diameter of two feet, and have a minimum of two chairs associated with it. Each table and chair set so provided shall satisfy five linear feet of frontage mitigation requirement.

(e) Wall treatment

Where utilized as a visual mitigation element, wall treatment, in the form of permitted #signs#, graphic or sculptural art, rustication, decorative screening or latticework, or living plant material, shall be provided along the #street wall#. Each linear foot of wall treatment shall constitute one linear foot of frontage mitigation requirement. Such wall treatment shall extend to a height of at least 10 feet, as measured from the level of the adjoining sidewalk or grade, and have a minimum width of 10 feet, as measured parallel to the #street wall#.

All visual mitigation elements shall be provided on the #zoning lot#, except where such elements are permitted within the #street# under other applicable laws or regulations.

135-13**Physical Culture or Health Establishments**

Within the #Special Bay Street Corridor District#, a #physical culture or health establishment# shall be permitted as-of-right in #Commercial Districts#. For the purposes of applying the underlying regulations to such #use#, a #physical culture or health establishment# shall be considered a Use Group 9 #use# and shall be within parking requirement category PRC-B.

135-14**Breweries**

Within the #Special Bay Street Corridor District#, breweries, as listed in Use Group 18 A, shall be permitted in Commercial Districts provided that:

- the size of such brewery does not exceed 30,000 square feet; and
- any brewery #developed# or #enlarged# after [date of adoption] shall contain an #accessory# eating or drinking establishment.

For the purposes of applying the underlying regulations, such brewery shall be considered a Use Group 11A #use# and shall be within parking requirement category PRC-F. The performance standards for an M1 District set forth in Section 42-20, inclusive, shall apply to such breweries.

**135-15
Modification of Supplemental Use Provisions**

In Subdistricts A, B and C, the underlying provisions of Section 32-421 (Limitation on floors occupied by commercial uses) shall be modified as follows:

- (a) For #mixed buildings#, offices, as listed in Use Group 6B, shall be permitted on the lowest two #stories# of a #building#, provided that no access exists between such offices and any #residential uses#.
- (b) For #commercial buildings#, the provisions restricting the location of #uses# listed in Use Group 6A, 6B, 6C, 6F, 7, 8, 9 or 14 to two #stories#, shall not apply; and
- (c) Any brewery #developed# or #enlarged# in accordance with the provisions of Section 135-14, shall be subject to the provisions of Section 32-421.

**135-20
SPECIAL BULK REGULATIONS**

The underlying #floor area#, #yard#, #street wall# location and height and setback regulations are modified by the provisions of this Section.

**135-21
Special Floor Area Regulations**

The underlying #floor area# regulations are modified by the provisions of this Section. For the purpose of this Section, defined terms include those set forth in Sections 12-10 and 23-911.

The table below sets forth the maximum #floor area ratio# of a #zoning lot# for each Subdistrict. Column 1 sets forth the maximum #floor area ratio# for #commercial uses# other than offices, as listed in Use Group 6B, and Column 2 sets forth the maximum #floor area ratio# for offices. Column 3 sets forth the maximum #floor area ratio# for #residences#, other than #MIH sites# and #affordable independent residences for seniors#, that are subject to the provisions of paragraph (d)(4)(i) or (d)(4)(iii) of Section 23-154 (Inclusionary Housing). Column 4 sets forth the maximum #residential floor area ratio# for #MIH sites# where either #affordable floor area# is provided in accordance with the provisions of paragraphs (d)(3)(i) through (d)(3)(iv) or paragraph (d)(5) of Section 23-154, or where a contribution to the #affordable housing fund# is made in accordance with paragraph (d)(3)(v) of such Section. Column 4 also sets forth the maximum #floor area ratio# for #community facility uses#, other than #long-term care facilities#. Column 5 sets forth the maximum #floor area ratio# for #zoning lots# containing #affordable independent residences for seniors# or #long-term care facilities#.

For #zoning lots# with #buildings# containing multiple #uses# or for #zoning lots# with multiple #buildings# containing different #uses#, the maximum #floor area ratio# for each #use# shall be as set forth in the table, and the maximum #floor area ratio# for the #zoning lot# shall not exceed the greatest #floor area ratio# permitted for any such #use# on the #zoning lot#.

MAXIMUM #FLOOR AREA RATIO#

	Column 1	Column 2	Column 3	Column 4	Column 5
Subdistrict	For #commercial uses# other than offices	For offices	For #residences# other than #MIH sites# and #affordable independent residences for seniors#	For #MIH sites# and #community facility uses# other than #long-term care facilities#	For #affordable independent residences for seniors# or #long-term care facilities#
A	2.0	4.6	4.0	4.6	5.01
B	2.0	3.6	3.0	3.6	3.9
C	2.0	3.0	2.5	3.0	3.25
D	2.0	2.0	2.5	3.0	3.25
E	2.0	2.0	2.0	2.2	2.2

**135-22
Special Lot Coverage Regulations**

The underlying #lot coverage# regulations are modified by the provisions of this Section.

The maximum #residential lot coverage# for #interior lots# or #through lots# shall be 65 percent, and the maximum #residential lot coverage# for #corner lots# shall be 100 percent.

**135-23
Special Yard Regulations**

The underlying #yard# regulations are modified by the provisions of this Section.

In Subdistrict A, no #rear yard# or #rear yard equivalent# need be provided for #commercial buildings#, #community facility buildings#, or the portion of a #mixed building# containing #commercial# or #community facility uses#.

**135-24
Special Street Wall Location Regulations**

The underlying #street wall# location provisions are modified by the provisions of this Section.

(a) Along Bay Street

Along Bay Street, and along #streets# within 50 feet of their intersection with Bay Street, the following #street wall# regulations shall apply:

- (1) At least 70 percent of the #aggregate width of street walls# of a #building# shall be located within eight feet of the #street line#, and shall rise without setback up to at least the minimum base height specified in Section 135-25 (Special Height and Setback Regulations), or the height of the #building#, whichever is lower. Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#.
- (2) For #developments# or horizontal #enlargements# of #buildings#, or portions thereof, within the #flood zone# where no transparent materials are provided on the #ground floor level street wall# below a height of four feet above the level of the adjoining sidewalk, pursuant to the provisions of Sections 135-11 (Ground Floor Use Regulations) and 37-34 (Minimum Transparency Requirements) for a continuous distance of more than 25 feet, such #street wall# shall be located at least three feet beyond the #street line#. Such #street wall# shall not be located beyond five feet of the #street line#, except as permitted pursuant to Section 64-333 (Street wall location in certain districts). Such #street wall# shall provide visual mitigation elements in accordance with the provisions of Section 135-12 (Special Streetscape Provisions for Blank Walls), and any area between the #street wall# and the sidewalk that does not contain any planting material pursuant to the provisions of paragraph (a) of Section 135-12 shall be improved to Department of Transportation standards for sidewalks.
- (3) A minimum of 20 percent of the surface area of such #street walls# above the level of the first #story# shall be recessed a minimum of three feet. In addition, up to 30 percent of such #street wall# may be recessed at any level, provided that any recesses deeper than 10 feet are located within an #outer court#. Furthermore, no recesses greater than three feet shall be permitted within 30 feet of the intersection of two #street lines#.

(b) Along Van Duzer Street

Along Van Duzer Street, and along #streets# within 50 feet of their intersection with Van Duzer Street, the underlying #street wall# location regulations shall apply.

(c) Along all other #streets#

Along all #streets# that are not subject to paragraphs (a) or (b) of this Section, at least 50 percent of the #aggregate width of street walls# shall be located within 15 feet of the #street line#. The remaining #aggregate width of street walls# may be recessed beyond 15 feet of the #street line#, provided that any such recesses deeper than 10 feet are located within an #outer court#. Where the #street wall# of a #building#, or an individual segment thereof, exceeds the maximum base height established in Section 135-25, such #street wall# shall rise without setback to at least the minimum base height specified in Section 135-25.

The underlying allowances for #street wall# articulation, set forth in paragraph (d) of Section 23-661 or paragraph (e) of Section 35-651, as applicable, shall be permitted to project or recess beyond the #street wall# locations established in paragraphs (a), (b) or (c) of this Section.

**135-25
Special Height and Setback Regulations**

The underlying height and setback provisions are modified by the provisions of this Section.

Pursuant to Section 135-31 (Special Visual Corridor Requirements), required visual corridors shall be considered #streets#. Such visual corridors shall be considered #wide streets# for the purposes of applying the height and setback regulations of this Section.

(a) Base heights and maximum #building# heights

The table below sets forth the minimum and maximum base height, the maximum transition height, where applicable, the maximum height of a #building or other structure# and the maximum number of #stories# for #buildings# in the #Special Bay Street Corridor District#.

In all subdistricts, a setback is required for all portions of #buildings or other structures# that exceed the maximum base height specified for the subdistrict, and shall be provided in accordance with paragraph (b) of this Section.

In Subdistrict A and Subarea B1, any portion of a #building or other structure# located above the maximum transition height, and in Subarea B2 and Subdistrict C, any portion of a #building or other structure# located above the maximum base height, shall be subject to the maximum #street wall# width restrictions set forth in paragraph (c) of this Section.

MAXIMUM BASE HEIGHTS AND MAXIMUM #BUILDING# HEIGHTS

Subdistrict or Subarea, as applicable	Minimum Base Height (in feet)	Maximum Base Height (in feet)	Maximum Transition Height (in feet)	Maximum Height of #Buildings or Other Structures# in Certain Locations (in feet)	Maximum Number of #Stories#
A	40	65	85	145	14
B1	40	65	85	125	12
B2	40	65	N/A	125	12
C	40	65	N/A	85	8
D	40	65	N/A	75	7
E	30	45	N/A	55	5

(b) Required setbacks

At a height not lower than the minimum base height or higher than the maximum base height specified for the subdistrict in the table in paragraph (a), a setback with a depth of at least 15 feet shall be provided from any #street wall# fronting on a #narrow street#, and a setback with a depth of at least 10 feet shall be provided from any #street wall# fronting on a #wide street#.

In addition, the underlying provisions of paragraphs (c)(2) through (c)(4) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

(c) Maximum #street wall# width in Subdistricts A, B and C

In Subdistricts A, B and C, the maximum #building# height set forth in the table in paragraph (a) shall only be permitted within 100 feet of #streets# intersecting Bay Street. In addition, in Subarea B2, such maximum #building# height shall be permitted beyond 100 feet of #streets# intersecting Bay Street, provided that the maximum #street wall# width above the maximum base height does not exceed 100 feet.

In all such Subdistricts, at least 60 feet of separation shall exist between any portions of #buildings# located above such maximum transition height, or maximum base height, as applicable.

(d) Dormer provisions

The underlying dormer provisions of paragraph (c) of Section 23-621 (Permitted obstructions in certain districts) shall apply, except that no dormer shall be permitted above a height of 85 feet, or above the maximum height of the #building or other structure# permitted in paragraph (a) of this Section, whichever is less.

135-30

SPECIAL PUBLIC ACCESS AREA REGULATIONS

135-31

Special Visual Corridor Requirements

Within the #Special Bay Street Corridor District#, visual corridors shall be provided east of Bay Street, prolonging Swan Street, Clinton Street, and Grant Street, as shown on Map 2 in the Appendix to this Chapter. The location of the visual corridor prolonging Grant Street may be located anywhere within the flexible location designated on Map 2.

(a) General Requirements

The boundaries of visual corridors shall be considered #street lines# for the purposes of applying the #use#, #bulk# and parking provisions of this Resolution, except that such portion of the #zoning lot#:

- (1) shall continue to generate #floor area#;
- (2) may be included for the purposes of calculating #lot coverage#; and
- (3) shall be permitted to accommodate open, unscreened, tandem (one behind the other) #accessory# off-street parking spaces, provided that any such parking spaces are provided in accordance with DOT standards for on-street parking.

Such visual corridors shall be a minimum of 60 feet wide and shall be improved in accordance with paragraph (b) of this Section

(b) Required improvements

All required visual corridors shall be improved as follows:

- (1) Where a visual corridor is utilized to provide access to #accessory# off-street parking, such visual corridor shall be improved to the minimum Department of Transportation (DOT) standards for public #streets#, from its intersection with Bay Street to at least the curb cut provided to such #accessory# off-street parking, or as deep as necessary to accommodate any parking located on the visual corridor, as applicable. Any remaining portion of the visual corridor may be improved in accordance with the standards in paragraph (b)(2)(ii) of this Section.
- (2) Where a visual corridor does not provide access to #accessory# off-street parking, such visual corridors, may either:
 - (i) be improved to the minimum DOT standards for public #streets#; or
 - (ii) be improved to provide an open area, as follows:
 - (a) a minimum of 20 percent of the open area shall be planted with any combination of perennials, annuals, decorative grasses, shrubs or trees in planting beds, raised planting beds or planter boxes. Such planting bed shall extend to a depth of at least three feet, inclusive of any structure containing the planted material, and any individual planted area shall have a width of at least five feet;
 - (b) the remainder of the open area, as applicable, may contain any combination of:
 - (1) streetscape amenities including, but not limited to, benches or tables and chairs;
 - (2) entertainment amenities including, but not limited to, water features, playgrounds, dog runs, game tables, courts or skateboard parks;
 - (3) unenclosed eating or drinking establishments; or
 - (4) streetscape-enhancing amenities including, but not limited to, lighting or sculptural artwork.
- (c) In no event shall fencing be permitted in any open area of the visual corridor, except along the portion of a #lot line# adjacent to a railroad right-of-way.

**135-40
SPECIAL PARKING AND LOADING REGULATIONS**

The underlying parking provisions are modified by the provisions of this Section.

**135-41
Commercial Parking Requirements**

In #mixed buildings#, the underlying parking requirements shall apply except that for the purposes of determining the parking requirement for #commercial uses# other than offices, as listed in Use Group 6B, the equivalent of 0.5 #floor area ratio#, or the amount of non-office #commercial floor area# in the #building#, whichever is less, may be deducted from the #floor area# used to determine such #commercial# parking calculation.

**135-42
Residential Parking Waivers**

The underlying #residential# parking waivers shall apply only to #zoning lots# existing both on [date of adoption] and on the date of application for a building permit.

**135-43
Location of Parking Spaces**

All #accessory# off-street parking spaces may be provided within #public parking garages#. Such spaces may also be provided within parking facilities on #zoning lots# other than the same #zoning lot# as the #use# to which they are #accessory#, provided:

- (a) such parking facilities are located either:
 - (1) within the #Special Bay Street Corridor District#; or
 - (2) outside the #Special Bay Street Corridor District#, subject to the underlying provisions for off-site parking spaces set forth in Sections 25-52 (Off-site Spaces for Residences), 25-53 (Off-site Spaces for Permitted Non-residential Uses), 36-42 (Off-site Spaces for Residences) or 36-43 (Off-site Spaces for Commercial or Community Facility Uses), as applicable;
- (b) each off-street parking space within such facility is counted only once in meeting the parking requirements for a specific #zoning lot#; and
- (c) in no event shall the number of #accessory# parking spaces within such facility exceed that permitted in accordance with the underlying regulations.

**135-44
Special Loading Regulations**

For the purposes of applying the underlying loading regulations, the requirements for C2 Districts mapped within an R7 District shall apply to all #Commercial Districts# in the #Special Bay Street Corridor District#.

In addition, the underlying loading regulations shall be modified as follows:

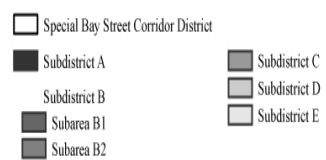
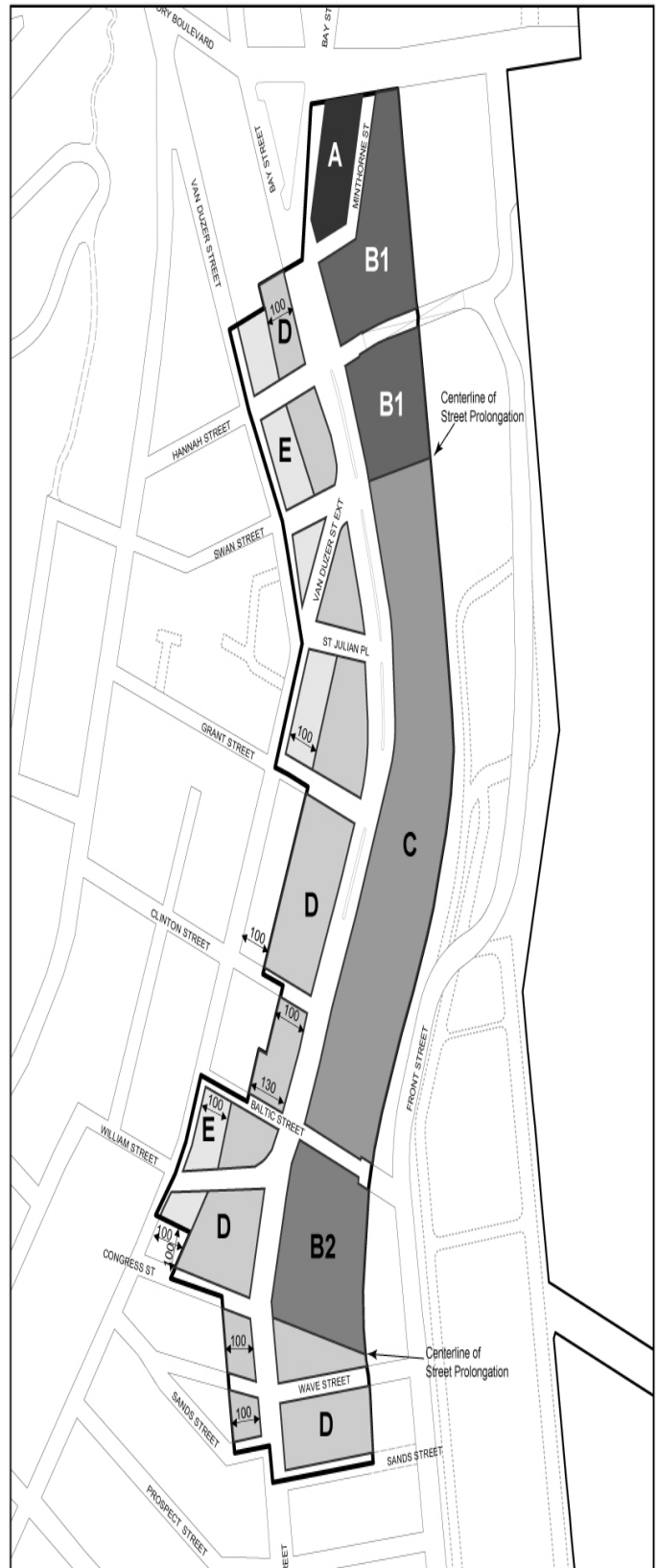
- (a) the requirements of Section 36-60, inclusive, shall not apply to changes of #uses#;
- (b) the provisions of Sections 36-63 (Special Provisions for a Single Zoning Lot With Uses Subject to Different Loading Requirements) and 36-64 (Wholesale, Manufacturing, or Storage Uses Combined With Other Uses) shall not apply; and
- (c) the minimum length requirements for loading berths #accessory# to #commercial uses#, other than funeral establishments, set forth in Section 36-681 (Size of required berths) shall be increased to 37 feet.

**135-45
Location of Curb Cuts**

For #zoning lots# existing on [date of adoption] with frontage along Bay Street and along another #street# frontage, no curb cut accessing off-street parking spaces or loading spaces shall be permitted along Bay Street.

**APPENDIX A
SPECIAL BAY STREET CORRIDOR DISTRICT**

Map 1 – Special Bay Street Corridor District, Subdistricts and Subareas



2) pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer to be selected by HPD

to facilitate a mixed-use development containing approximately 223 affordable residential units, including approximately 90 affordable independent residences for seniors (AIRS) and commercial and/or community facility space.

NOTICE

On Wednesday, February 27, 2019, in the NYC City Planning Commission Hearing Room, Lower Concourse, 120 Broadway, New York, NY 10271, a public hearing is being held by the City Planning Commission in conjunction with the above ULURP hearing to receive comments related to a Draft Environmental Impact Statement (DEIS) concerning an application by the New York City Department of City Planning (DCP), together with NYC Department of Housing Preservation and Development (HPD) and NYC Department of Citywide Administrative Services (DCAS). The Proposed Actions consist of a series of land use actions including zoning map and text amendments, disposition of city-owned property, and designation of an Urban Development Area Action Project (UDAAP). The Proposed Actions would affect an approximately 20-block area in the Tompkinsville, Stapleton, and St. George neighborhoods of Staten Island, Community District 1.

The public hearing will also consider modifications to the zoning text amendment and UDAAP applications (ULURP Nos. N 190114 (A) ZRR and C 190179 (A) HAR). Written comments on the DEIS are requested and will be received and considered by the Lead Agency through Monday, March 11, 2019.

This hearing is being held, pursuant to the State Environmental Quality Review Act (SEQRA) and City Environmental Quality Review (CEQR), CEQR No. 16DCP156R.

YVETTE V. GRUEL, Calendar Officer
City Planning Commission
120 Broadway, 31st Floor, New York, NY 10271
Telephone (212) 720-3370

 f12-27

COMMUNITY BOARDS

PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that the following matters have been scheduled for a Public Hearing by Community Board:

BOROUGH OF BROOKLYN

COMMUNITY BOARD NO. 18 - Wednesday, February 20, 2019, at 7:00 P.M., 1097 Bergen Avenue, Brooklyn, NY 11234.

#335-88-BZ
5808/28 Flatlands Avenue, Block 7784, Lot 41.

A Public Hearing on an Application for a Variance, pursuant to Section 11-411 of the Zoning Resolution of the City of New York, to Waive the Rules of Practice and Procedure and, to extend the term of a previously granted Variance, which expired on June 3, 2015, to authorize the continued use of the Premises as an automotive service station, with minor repairs and convenience store, in compliance with TPPN # 10/99, for an additional ten (10) years, to June 3, 2025.

 f6-20

NOTICE IS HEREBY GIVEN that the following matters have been scheduled for public hearing by Community Board:

BOROUGH OF BROOKLYN

COMMUNITY BOARD NO. 10 - Wednesday, February 20, 2019, at 7:00 P.M., Brooklyn Community Board 18 Meeting Room, 1097 Bergen Avenue, Brooklyn, NY.

Public Comment on the Agency Responses to the Community Board's Fiscal Year 2020 Register of Capital and Expense Priorities.

 f11-20

BOARD OF EDUCATION RETIREMENT SYSTEM

MEETING

The Board of Trustees of the Board of Education Retirement System, will be meeting, at 5:00 P.M., on Wednesday, February 27, 2019, at MS

131 Dr. Sun Yat Sen Middle High School, at 100 Hester Street, Room TBD, New York, NY 10002.

f14-27

HOUSING AUTHORITY

MEETING

The next Board Meeting of the New York City Housing Authority is scheduled for Wednesday, February 27, 2019, at 10:00 A.M., in the Board Room on the 12th Floor of 250 Broadway, New York, NY (unless otherwise noted). Copies of the Calendar will be available on NYCHA's website, or may be picked up at the Office of the Corporate Secretary, at 250 Broadway, 12th Floor, New York, NY, no earlier than 24 hours before the upcoming Board Meeting. Copies of the Minutes will also be available on NYCHA's website, or may be picked up at the Office of the Corporate Secretary no earlier than 3:00 P.M., on the Thursday following the Board Meeting.

Any changes to the schedule will be posted here, and on NYCHA's website, at <http://www1.nyc.gov/site/nycha/about/board-calendar.page>, to the extent practicable, at a reasonable time before the meeting.

The meeting is open to the public. Pre-Registration, at least 45 minutes before the scheduled Board Meeting, is required by all speakers. Comments are limited to the items on the Calendar. Speaking time will be limited to three minutes. The public comment period will conclude upon all speakers being heard, or at the expiration of 30 minutes allotted by law for public comment, whichever occurs first.

The meeting will be streamed live on NYCHA's website, at <http://nyc.gov/nycha>, and <http://on.nyc.gov/boardmeetings>.

For additional information, please visit NYCHA's website or contact (212) 306-6088.

Accessibility questions: Office of the Corporate Secretary (212) 306-6088 or corporate.secretary@nycha.nyc.gov, by: Wednesday, February 13, 2019, 5:00 P.M.

 f8-27

LANDMARKS PRESERVATION COMMISSION

PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that, pursuant to the provisions of Title 25, Chapter 3 of the Administrative Code of the City of New York (Sections 25-303, 25-307, 25-308, 25-309, 25-313, 25-318, 25-320) on Tuesday, February 19, 2019, a public hearing will be held, at 1 Centre Street, 9th Floor, Borough of Manhattan, with respect to the following properties and then followed by a public meeting. The final order and estimated times for each application will be posted on the Landmarks Preservation Commission website, the Friday before the hearing. Any person requiring reasonable accommodation in order to participate in the hearing or attend the meeting should contact the Landmarks Commission no later than five (5) business days before the hearing or meeting.

175 Broadway - Individual and Interior Landmark

LPC-19-31082 - Block 2457 - Lot 28 - Zoning: C4-3

CERTIFICATE OF APPROPRIATENESS

A Classical Revival style bank building, designed by George B. Post and built in 1875. Application is to install a free-standing canopy.

119 Congress Street - Cobble Hill Historic District

LPC-19-35451 - Block 295 - Lot 35 - Zoning: R6

CERTIFICATE OF APPROPRIATENESS

An Italianate style rowhouse, designed by Thomas Wheeler and built in 1852-55. Application is to modify the areaway and install a barrier-free access lift.

42 Tompkins Place - Cobble Hill Historic District

LPC-19-33412 - Block 325 - Lot 62 - Zoning: R6

CERTIFICATE OF APPROPRIATENESS

An Italianate style rowhouse, built c. 1850. Application is to construct a rear yard addition.

700 Gerard Avenue - Grand Concourse Historic District

LPC-19-32409 - Block 2473 - Lot 8 - Zoning: R8

CERTIFICATE OF APPROPRIATENESS

An empty lot. Application is to construct a new building.

5011 Waldo Avenue - Fieldston Historic District

LPC-19-32730 - Block 5828 - Lot 3597 - Zoning: R1-2

CERTIFICATE OF APPROPRIATENESS

A Craftsman style house, designed by Dwight James Baum and built in 1913. Application is to construct an addition and enclose an existing porch.

452 Broadway - SoHo-Cast Iron Historic District
LPC-19-34456 - Block 232 - Lot 9 - **Zoning:** M1-5B
CERTIFICATE OF APPROPRIATENESS

A warehouse building, designed by J. B. Snook and built in 1876-1877. Application is to establish a Master Plan governing the future installation of painted wall signs.

422 West Broadway - SoHo-Cast Iron Historic District
Extension

LPC-19-35420 - Block 502 - Lot 33 - **Zoning:** M1-5A
CERTIFICATE OF APPROPRIATENESS

An Italianate style store and loft building, designed by John H. Whitenack and built in 1873-74. Application is to alter storefront infill.

422 West Broadway - SoHo-Cast Iron Historic District
Extension

LPC-19-30153 - Block 502 - Lot 33 - **Zoning:** M1-5A
MODIFICATION OF USE AND BULK

An Italianate style store and loft building, designed by John H. Whitenack and built in 1873-74. Application is to request that the Landmarks Preservation Commission issue a report to the City Planning Commission relating to an application for a Modification of Use and Bulk, pursuant to Section 74-711 of the Zoning Resolution.

476 Fifth Avenue - Individual and Interior Landmark
LPC-19-35199 - Block 1257 - Lot 1 - **Zoning:** C5-3
BINDING REPORT

A Beaux-Arts style library building, designed by Carrère & Hastings and built in 1898-1911. Application is to modify entrances and window openings, modify the loading dock perimeter wall, demolish a mechanical penthouse, relocate architectural features, construct a new plaza, and install light fixtures and inscriptions.

370 Riverside Drive - Morningside Heights Historic District
LPC-19-34192 - Block 1893 - Lot 32 - **Zoning:** R8
CERTIFICATE OF APPROPRIATENESS

A Georgian Revival style apartment building, designed by Schwartz & Gross and built in 1922. Application is to establish a Master Plan governing the future installation of windows.

249 Central Park West - Upper West Side/Central Park West
Historic District

LPC-18-7524 - Block 1198 - Lot 36 - **Zoning:** R10A
CERTIFICATE OF APPROPRIATENESS

A Queen Anne style rowhouse, designed by Edward L. Angell and built in 1887-88. Application is to modify a rooftop addition.

f5-19

NOTICE IS HEREBY GIVEN that, pursuant to the provisions of Title 25, Chapter 3 of the Administrative Code of the City of New York (Sections 25-303, 25-307, 25-308, 25-309, 25-313, 25-318, 25-320) on Tuesday, February 19, 2019, a public hearing will be held, at 1 Centre Street, 9th Floor, Borough of Manhattan with respect to the following properties and then followed by a public meeting. The final order and estimated times for each application will be posted on the Landmarks Preservation Commission website, the Friday before the hearing. Any person requiring reasonable accommodation in order to participate in the hearing or attend the meeting should contact the Landmarks Commission no later than five (5) business days before the hearing or meeting.

826 Broadway - aka 826-828 Broadway; 57-63 East 12th Street - 826 Broadway Building

LPC-2615 - Block 564 - Lot 34 - **Zoning:**
ITEM PROPOSED FOR PUBLIC HEARING

The proposed designation of an 11-story Renaissance Revival style store and loft building, designed by William H. Birkmire in 1902.

f5-19

TRANSPORTATION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, pursuant to law, that the following proposed revocable consents, have been scheduled for a public hearing by the New York City Department of Transportation. The hearing will be held, at 55 Water Street, 9th Floor, Room 945, commencing at 2:00 P.M. on Wednesday, February 27, 2019. Interested parties can obtain copies of proposed agreements or request sign-language interpreters (with at least seven days prior notice), at 55 Water Street, 9th Floor SW, New York, NY 10041, or by calling (212) 839-6550.

#1 IN THE MATTER OF a proposed revocable consent authorizing 16 Lincoln Square LLC, to continue to maintain and use an accessibility ramp on the south sidewalk of West 61st Street, between Broadway and Columbus Avenue, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1655**

For the period July 1, 2018 to June 30, 2028 - \$25/per annum

the maintenance of a security deposit in the sum of \$5,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#2 IN THE MATTER OF a proposed revocable consent authorizing 23rd Street Properties LLC, to continue to maintain and use nine (9) lampposts, together with electrical conduits on the south sidewalk of West 23rd Street, between Fifth Avenue and Avenue of the Americas, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1284**

For the period July 1, 2018 to June 30, 2028 - \$1,350/per annum

the maintenance of a security deposit in the sum of \$1,350 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#3 IN THE MATTER OF a proposed revocable consent authorizing 108-07 Corona Avenue LLC, to construct, maintain and use a sidewalk hatch door in the south sidewalk of 52nd Avenue, east of Corona Avenue, in the Borough of Queens. The proposed revocable consent is for a term of ten years from Approval by the Mayor and provides among other terms and schedule: **R.P. # 2459**

From the Approval Date by the Mayor to June 30, 2019 - \$373/per annum

For the period July 1, 2019 to June 30, 2020 - \$379
 For the period July 1, 2020 to June 30, 2021 - \$385
 For the period July 1, 2021 to June 30, 2022 - \$391
 For the period July 1, 2022 to June 30, 2023 - \$397
 For the period July 1, 2023 to June 30, 2024 - \$404
 For the period July 1, 2024 to June 30, 2025 - \$410
 For the period July 1, 2025 to June 30, 2026 - \$416
 For the period July 1, 2026 to June 30, 2027 - \$422
 For the period July 1, 2027 to June 30, 2028 - \$428
 For the period July 1, 2028 to June 30, 2029 - \$434

the maintenance of a security deposit in the sum of \$1,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#4 IN THE MATTER OF a proposed revocable consent authorizing 866 United Nations Plaza Condominium, to continue to maintain and use pipes under and across Franklin D. Roosevelt Drive and General Douglass MacArthur Plaza, between East 48th and East 49th Streets, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #822**

For the period July 1, 2018 to June 30, 2019 - \$29,941
 For the period July 1, 2019 to June 30, 2020 - \$30,420
 For the period July 1, 2020 to June 30, 2021 - \$30,899
 For the period July 1, 2021 to June 30, 2022 - \$31,378
 For the period July 1, 2022 to June 30, 2023 - \$31,857
 For the period July 1, 2023 to June 30, 2024 - \$32,336
 For the period July 1, 2024 to June 30, 2025 - \$32,815
 For the period July 1, 2025 to June 30, 2026 - \$33,294
 For the period July 1, 2026 to June 30, 2027 - \$33,773
 For the period July 1, 2027 to June 30, 2028 - \$34,252

the maintenance of a security deposit in the sum of \$34,300 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#5 IN THE MATTER OF a proposed revocable consent authorizing BOP NE LLC, to construct, maintain and use 57 security bollards, at 401 Ninth Avenue, along the south sidewalk of West 33rd Street and along the west sidewalk of Ninth Avenue, in the Borough of

Manhattan. The proposed revocable consent is for a term of ten years from the Approval Date by the Mayor and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2461**

From the date of the final approval by the Mayor (the "Approval Date"), to June 30, 2029 - \$0/per annum.

the maintenance of a security deposit in the sum of \$60,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#6 IN THE MATTER OF a proposed revocable consent authorizing Chanel Inc. & Subsidiaries, to construct, maintain and use a 5/8-inch diameter hydronic snowmelt system under the north sidewalk of East 57th Street, between Fifth Avenue and Madison Avenue, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from the Date of Approval by the Mayor, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2452**

From the Approval Date to June 30, 2019 - \$11,473/per annum
 For the period July 1, 2019 to June 30, 2020 - \$11,652
 For the period July 1, 2020 to June 30, 2021 - \$11,831
 For the period July 1, 2021 to June 30, 2022 - \$12,010
 For the period July 1, 2022 to June 30, 2023 - \$12,189
 For the period July 1, 2023 to June 30, 2024 - \$12,368
 For the period July 1, 2024 to June 30, 2025 - \$12,547
 For the period July 1, 2025 to June 30, 2026 - \$12,726
 For the period July 1, 2026 to June 30, 2027 - \$12,905
 For the period July 1, 2027 to June 30, 2028 - \$13,084
 For the period July 1, 2028 to June 30, 2029 - \$13,263

the maintenance of a security deposit in the sum of \$13,300 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#7 IN THE MATTER OF a proposed revocable consent authorizing Memorial Sloan-Kettering Cancer Center, to construct, maintain and use a fuel oil storage tank under the north sidewalk of East 67th Street, between First and York Avenues, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from the Date of Approval by the Mayor, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2460**

From the Approval Date to June 30, 2019 - \$20,208/per annum
 For the period July 1, 2019 to June 30, 2020 - \$20,531
 For the period July 1, 2020 to June 30, 2021 - \$20,854
 For the period July 1, 2021 to June 30, 2022 - \$21,177
 For the period July 1, 2022 to June 30, 2023 - \$21,500
 For the period July 1, 2023 to June 30, 2024 - \$21,823
 For the period July 1, 2024 to June 30, 2025 - \$22,146
 For the period July 1, 2025 to June 30, 2026 - \$22,469
 For the period July 1, 2026 to June 30, 2027 - \$22,792
 For the period July 1, 2027 to June 30, 2028 - \$23,115
 For the period July 1, 2028 to June 30, 2029 - \$23,438

the maintenance of a security deposit in the sum of \$23,500 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#8 IN THE MATTER OF a proposed revocable consent authorizing Museum at Eldridge Street, to continue to maintain and use security bollards on the east sidewalk of Eldridge Street, between Canal and Division Streets, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1576**

For the period July 1, 2016 to June 30, 2026 - \$0/per annum

the maintenance of a security deposit in the sum of \$1,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#9 IN THE MATTER OF a proposed revocable consent authorizing Waterside Plaza Ground LLC, to continue to maintain and use a sewer pipe in an existing and abandoned coal conveyor tunnel, under the Franklin D. Roosevelt (FDR) Drive north of East 29th Street, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other

terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1035**

For the period July 1, 2016 to June 30, 2017 - \$14,552
 For the period July 1, 2017 to June 30, 2018 - \$14,878
 For the period July 1, 2018 to June 30, 2019 - \$15,204
 For the period July 1, 2019 to June 30, 2020 - \$15,530
 For the period July 1, 2020 to June 30, 2021 - \$15,856
 For the period July 1, 2021 to June 30, 2022 - \$16,182
 For the period July 1, 2022 to June 30, 2023 - \$16,508
 For the period July 1, 2023 to June 30, 2024 - \$16,834
 For the period July 1, 2024 to June 30, 2025 - \$17,160
 For the period July 1, 2025 to June 30, 2026 - \$17,486

the maintenance of a security deposit in the sum of \$17,500 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#10 IN THE MATTER OF a proposed revocable consent authorizing Waterside Plaza Ground Lessee LLC, to continue to maintain and use a security guard booth on the East 25th Street pedestrian bridge spanning the Franklin D. Roosevelt Drive, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1124**

For the period July 1, 2016 to June 30, 2017 - \$4,890
 For the period July 1, 2017 to June 30, 2018 - \$5,000
 For the period July 1, 2018 to June 30, 2019 - \$5,110
 For the period July 1, 2019 to June 30, 2020 - \$5,220
 For the period July 1, 2020 to June 30, 2021 - \$5,330
 For the period July 1, 2021 to June 30, 2022 - \$5,440
 For the period July 1, 2022 to June 30, 2023 - \$5,550
 For the period July 1, 2023 to June 30, 2024 - \$5,660
 For the period July 1, 2024 to June 30, 2025 - \$5,770
 For the period July 1, 2025 to June 30, 2026 - \$5,880

the maintenance of a security deposit in the sum of \$5,900 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#11 IN THE MATTER OF a proposed revocable consent authorizing Yeshivas Ahavas Israel, to construct, maintain and use the entrance steps on the south sidewalk of Lee Avenue, between Clymer Street and Taylor Street, and to continue to maintain and use the ADA ramp on the east sidewalk of Clymer Street, between Lee Avenue and Bedford Avenue, in the Borough of Brooklyn. The proposed revocable consent is for a term of ten years from the Approval Date by the Mayor and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #2454**

From the Approval Date to June 30, 2019 - \$3,295/per annum
 For the period July 1, 2019 to June 30, 2020 - \$3,353
 For the period July 1, 2020 to June 30, 2021 - \$3,411
 For the period July 1, 2021 to June 30, 2022 - \$3,469
 For the period July 1, 2022 to June 30, 2023 - \$3,527
 For the period July 1, 2023 to June 30, 2024 - \$3,585
 For the period July 1, 2024 to June 30, 2025 - \$3,643
 For the period July 1, 2025 to June 30, 2026 - \$3,701
 For the period July 1, 2026 to June 30, 2027 - \$3,759
 For the period July 1, 2027 to June 30, 2028 - \$3,817
 For the period July 1, 2028 to June 30, 2029 - \$3,875

the maintenance of a security deposit in the sum of \$24,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#12 IN THE MATTER OF a proposed revocable consent modification authorizing Time Warner Condominium, to continue to maintain and use security bollards on the sidewalks of the site bounded by West 60th Street, Broadway, Columbus Circle and West 58th Street, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2018 to June 30, 2028, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1879**

For the period from July 1, 2018 to June 30, 2028 - \$0/per annum

the maintenance of a security deposit in the sum of \$60,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#13 IN THE MATTER OF a proposed revocable consent authorizing 333 West 84th Street Owners, Inc., to continue to maintain and use a stoop, stair, storage and planted area on the north sidewalk of West 84th Street, between West End Avenue and riverside Drive, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2014 to June 30, 2024, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1895**

For the period July 1, 2014 to June 30, 2024 - \$25/per annum the maintenance of a security deposit in the sum of \$2,000 and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#14 IN THE MATTER OF a proposed revocable consent authorizing The New York Public Library Astor, Lenox and Tilden Foundations, to continue to maintain and use a ramp, together with stairs on the east sidewalk of Saint Nicholas Avenue, north of West 160th Street, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1957**

For the period July 1, 2016 to June 30, 2026 - \$25/per annum there is no security deposit and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

#15 IN THE MATTER OF a proposed revocable consent authorizing The New York Public Library Astor Lenox and Tilden Foundations, to continue to maintain and use an accessibility ramp, together with stairs on the north sidewalk of West 115th Street, west of Adam Clayton Powell Jr. Boulevard, in the Borough of Manhattan. The proposed revocable consent is for a term of ten years from July 1, 2016 to June 30, 2026, and provides among other terms and conditions for compensation payable to the City according to the following schedule: **R.P. #1965**

For the period July 1, 2016 to June 30, 2026 - \$25/per annum there is no security deposit and the insurance shall be in the amount of Two Million Dollars (\$2,000,000) per occurrence for bodily injury and property damage, One Million Dollars (\$1,000,000) for personal and advertising injury, Two Million Dollars (\$2,000,000) aggregate, and Two Million Dollars (\$2,000,000) products/completed operations.

fg-27



SUPREME COURT
QUEENS COUNTY
■ NOTICE

QUEENS COUNTY
I.A.S. PART 38
NOTICE OF PETITION
INDEX NUMBER 701761 /2019
CONDEMNATION PROCEEDING

IN THE MATTER OF the Application of the CITY OF NEW YORK, relative to Acquiring Title in Fee Simple to Property located in Queens, including All or Parts of

162ND AVENUE BETWEEN SHELLBANK BASIN AND 95TH STREET

in the Borough of Queens, City and State of New York.

PLEASE TAKE NOTICE that the City of New York ("City") intends to make an application to the Supreme Court of the State of New York, Queens County, IAS Part 38, for certain relief.

The application will be made at the following time and place: At the Queens County Courthouse, located at 88-11 Sutphin Avenue, Part 38, Courtroom 116, in the Borough of Queens, City and State of New York, on

March 7, 2019, at 9:30 A.M., or as soon thereafter as counsel can be heard.

The application is for an order:

1. authorizing the City to file an acquisition map in the Office of the City Register;
2. directing that, upon the filing of the order granting the relief sought in this petition, together with the filing of the acquisition map, title to the property shown on said map and sought to be acquired and more particularly described in this petition shall vest in the City in fee simple absolute;
3. providing that the compensation which should be made to the owners of the real property sought to be acquired and described in this petition be ascertained and determined by the Court without a jury;
4. directing that within thirty days of entry of the order granting the relief sought in this petition, the City shall cause a Notice of Acquisition to be published in at least ten successive issues of The City Record, an official newspaper published in the City of New York, and shall serve a copy of such notice by first class mail on each condemnee or his, her, or its attorney of record; and
5. directing that each condemnee shall have a period of one calendar year from the vesting date for this proceeding, in which to file a written claim, demand or notice of appearance with the Clerk of this Court and to serve a copy of the same upon the Corporation Counsel of the City of New York, 100 Church Street, New York, NY, 10007.

The City of New York, in this proceeding, intends to acquire title in fee simple absolute to certain real property where not heretofore acquired for the same purpose, for the construction of storm and sanitary sewers and replacement of water mains and appurtenances in the Borough of Queens, City and State of New York.

The real property that is to be acquired in fee simple absolute in this proceeding is described as follows:

162ND AVENUE BETWEEN SHELLBANK BASIN AND 95TH STREET

All that certain plot, piece or parcel of land, situate, lying and being in the Borough and County of Queens, City and State of New York, as bounded and described as follows:

BEGINNING at a point formed by the intersection of the northerly line of the said 162nd Avenue and the easterly Pierhead and Bulkhead line of Shellbank Basin.

RUNNING THENCE eastwardly along the said northerly line of 162nd Avenue for 10.00 feet to the intersection of the said northerly line of 162nd Avenue and the westerly line of Lot 26 in Block 62 as shown on a Filed Map entitled "Revised Map of Lots Howard Beach Estates" filed April 13, 1916 in the Office of the Clerk (now Register) of the County of Queens as Map number 3432;

THENCE, southwardly deflecting 90°00'00" to the right from the last mentioned course and along the easterly line of Shellbank Basin as shown on the said Filed Map number 3432, through the bed of the said 162nd Avenue for 100.00 feet to a point on the southerly line of the said 162nd Avenue, said point also being the northwesterly corner of lot 1 in Block 61 as shown on the said Filed Map number 3432

THENCE, westwardly deflecting 90°00'00" to the right from the last mentioned course and along the southerly line of 162nd Avenue for 10.00 feet to the said easterly Pierhead and Bulkhead line of Shellbank Basin;

THENCE, northwardly deflecting 90°00'00" to the right from the last mentioned course and along the said Pierhead and Bulkhead line for 100.00 feet to the point of **BEGINNING**.

Surveys, maps or plans of the property to be acquired are on file in the office of the Corporation Counsel of the City of New York, 100 Church Street, New York, NY 10007.

PLEASE TAKE FURTHER NOTICE that, pursuant to EDPL § 402(B)(4), any party seeking to oppose the acquisition must interpose a verified answer, which must contain specific denial of each material allegation of the petition controverted by the opponent, or any statement of new matter deemed by the opponent to be a defense to the proceeding. Pursuant to CPLR § 403, said answer must be served upon the office of the Corporation Counsel at least seven (7) days before the date that the petition is noticed to be heard.

Dated: New York, NY
January 31, 2019
ZACHARY W. CARTER
Corporation Counsel of the City of New York
100 Church Street
New York, NY 10007
Tel. (212) 356-4064

PROPERTY DISPOSITION

CITYWIDE ADMINISTRATIVE SERVICES

■ SALE

The City of New York in partnership with PropertyRoom.com posts vehicle and heavy machinery auctions online every week at: <https://www.propertyroom.com/s/nyc+fleet>

All auctions are open to the public and registration is free.

Vehicles can be viewed in person by appointment at:
Kenben Industries Ltd., 1908 Shore Parkway, Brooklyn, NY 11214.
Phone: (718) 802-0022
Phone: 718-802-0022

m30-s11

OFFICE OF CITYWIDE PROCUREMENT

■ SALE

The Department of Citywide Administrative Services, Office of Citywide Procurement is currently selling surplus assets on the Internet. Visit <http://www.publicsurplus.com/sms/nycdcas.ny/browse/home>

To begin bidding, simply click on 'Register' on the home page.

There are no fees to register. Offerings may include but are not limited to: office supplies/equipment, furniture, building supplies, machine tools, HVAC/plumbing/electrical equipment, lab equipment, marine equipment, and more.

Public access to computer workstations and assistance with placing bids is available at the following locations:

- DCAS Central Storehouse, 66-26 Metropolitan Avenue, Middle Village, NY 11379
- DCAS, Office of Citywide Procurement, 1 Centre Street, 18th Floor, New York, NY 10007

j2-d31

HOUSING PRESERVATION AND DEVELOPMENT

■ PUBLIC HEARINGS

All Notices Regarding Housing Preservation and Development Dispositions of City-Owned Property appear in the Public Hearing Section.

j9-30

POLICE

■ NOTICE

OWNERS ARE WANTED BY THE PROPERTY CLERK DIVISION OF THE NEW YORK CITY POLICE DEPARTMENT

The following list of properties is in the custody of the Property Clerk Division without claimants:

Motor vehicles, boats, bicycles, business machines, cameras, calculating machines, electrical and optical property, furniture, furs, handbags, hardware, jewelry, photographic equipment, radios, robes, sound systems, surgical and musical instruments, tools, wearing apparel, communications equipment, computers, and other miscellaneous articles.

Items are recovered, lost, abandoned property obtained from prisoners, emotionally disturbed, intoxicated and deceased persons; and property obtained from persons incapable of caring for themselves.

INQUIRIES

Inquiries relating to such property should be made in the Borough

concerned, at the following office of the Property Clerk.

FOR MOTOR VEHICLES (All Boroughs):

- Springfield Gardens Auto Pound, 174-20 North Boundary Road, Queens, NY 11430, (718) 553-9555
- Erie Basin Auto Pound, 700 Columbia Street, Brooklyn, NY 11231, (718) 246-2030

FOR ALL OTHER PROPERTY

- Manhattan - 1 Police Plaza, New York, NY 10038, (646) 610-5906
- Brooklyn - 84th Precinct, 301 Gold Street, Brooklyn, NY 11201, (718) 875-6675
- Bronx Property Clerk - 215 East 161 Street, Bronx, NY 10451, (718) 590-2806
- Queens Property Clerk - 47-07 Pearson Place, Long Island City, NY 11101, (718) 433-2678
- Staten Island Property Clerk - 1 Edgewater Plaza, Staten Island, NY 10301, (718) 876-8484

j2-d31

PROCUREMENT

"Compete To Win" More Contracts!

Thanks to a new City initiative - "Compete To Win" - the NYC Department of Small Business Services offers a new set of FREE services to help create more opportunities for minority and Women-Owned Businesses to compete, connect and grow their business with the City. With NYC Construction Loan, Technical Assistance, NYC Construction Mentorship, Bond Readiness, and NYC Teaming services, the City will be able to help even more small businesses than before.

- Win More Contracts at nyc.gov/competetowin

"The City of New York is committed to achieving excellence in the design and construction of its capital program, and building on the tradition of innovation in architecture and engineering that has contributed to the City's prestige as a global destination. The contracting opportunities for construction/construction services and construction-related services that appear in the individual agency listings below reflect that commitment to excellence."

HHS ACCELERATOR

To respond to human services Requests for Proposals (RFPs), in accordance with Section 3-16 of the Procurement Policy Board Rules of the City of New York ("PPB Rules"), vendors must first complete and submit an electronic prequalification application using the City's Health and Human Services (HHS) Accelerator System. The HHS Accelerator System is a web-based system maintained by the City of New York for use by its human services Agencies to manage procurement. The process removes redundancy by capturing information about boards, filings, policies, and general service experience centrally. As a result, specific proposals for funding are more focused on program design, scope, and budget.

Important information about the new method

- Prequalification applications are required every three years.
- Documents related to annual corporate filings must be submitted on an annual basis to remain eligible to compete.
- Prequalification applications will be reviewed to validate compliance with corporate filings, organizational capacity, and relevant service experience.
- Approved organizations will be eligible to compete and would submit electronic proposals through the system.

The Client and Community Service Catalog, which lists all Prequalification service categories and the NYC Procurement Roadmap, which lists all RFPs to be managed by HHS Accelerator may be viewed at <http://www.nyc.gov/html/hhsaccelerator/html/roadmap/roadmap.shtml>. All current and prospective vendors should frequently review information listed on roadmap to take full advantage of upcoming opportunities for funding.

Participating NYC Agencies

HHS Accelerator, led by the Office of the Mayor, is governed by an Executive Steering Committee of Agency Heads who represent the following NYC Agencies:

Administration for Children's Services (ACS)
 Department for the Aging (DFTA)
 Department of Consumer Affairs (DCA)
 Department of Corrections (DOC)
 Department of Health and Mental Hygiene (DOHMH)
 Department of Homeless Services (DHS)
 Department of Probation (DOP)
 Department of Small Business Services (SBS)
 Department of Youth and Community Development (DYCD)
 Housing and Preservation Department (HPD)
 Human Resources Administration (HRA)
 Office of the Criminal Justice Coordinator (CJC)

To sign up for training on the new system, and for additional information about HHS Accelerator, including background materials, user guides and video tutorials, please visit www.nyc.gov/hhsaccelerator

CITYWIDE ADMINISTRATIVE SERVICES**AWARD***Goods***SOFTWARE, MAINTENANCE AND SUPPORT -**

Intergovernmental Purchase - Other - PIN# 8571900158 - AMT: \$164,087.95 - TO: Dell Marketing LP, One Dell Way, Box RR8-07, Round Rock, TX 78682. OGS Contr PD67644

● HARDWARE, SOFTWARE IT SOLUTION- ACS -

Intergovernmental Purchase - Other - PIN# 8571900140 - AMT: \$138,358.68 - TO: Storage Engine Inc., 1 Sheila Drive, Tinton Falls, NJ 07724-2658. OGS Contr PM20970

Suppliers wishing to be considered for a contract with the Office of General Services of New York State are advised to contact the Procurement Services Group, Corning Tower, Room 3711, Empire State Plaza, Albany, NY 12242 or by phone: (518) 474-6717.

✦ f15

SOLICITATION*Goods*

GRP: RETRAC MIRRORS - Competitive Sealed Bids - PIN# 8571900059 - Due 3-25-19 at 10:30 A.M.

A copy of the bid can be downloaded from The City Record Online site at www.nyc.gov/cityrecord. Enrollment is free. Vendors may also request the bid by contacting Vendor Relations via email at dcasdmssbids@dcas.nyc.gov, by telephone at (212) 386-0044 or by fax at (212) 669-7603.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Citywide Administrative Services, 1 Centre Street, New York, NY 10007. Anne-Sherley Almonor (212) 386-0419; aalmonor@dcas.nyc.gov

✦ f15

OFFICE OF CITYWIDE PROCUREMENT**AWARD***Goods***TRUCK, CLASS 4 AND 5 WITH VARIOUS BODIES - FDNV**

- Competitive Sealed Bids - PIN# 8571800262 - AMT: \$14,481,142.13 - TO: Gabrielli Truck Sales Ltd 153-20 South Conduit Avenue, Jamaica, NY 11434.

✦ f15

SOLICITATION*Goods*

ACS: SHELF-STABLE FOOD PRODUCTS - Competitive Sealed Bids - PIN# 8571900170 - Due 3-6-19 at 10:00 A.M.

A copy of the bid can be downloaded from The City Record Online site at www.nyc.gov/cityrecord. Enrollment is free. Vendors may also request the bid by contacting Vendor Relations via email at dcasdmssbids@dcas.nyc.gov, by telephone (212) 386-0044, or by fax at (212) 669-7585.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Citywide Administrative Services, 1 Centre Street, 18th Floor, New York, NY 10007-1602. Fa-Tai Shieh (212) 386-0537; fshieh@dcas.nyc.gov

✦ f15

DESIGN AND CONSTRUCTION**AGENCY CHIEF CONTRACTING OFFICER****SOLICITATION***Construction/Construction Services*

INSTALLATION OF PEDESTRIANS RAMPS AT DESIGNATED LOCATIONS-CITYWIDE - Competitive Sealed Bids - PIN# 85019B0029 - Due 3-13-19 at 11:00 A.M.

PROJECT NO.: HWP2019S/DDC PIN: 8502019HW0001C

Bid document deposit-\$35.00 per set-company check or money order only-no cash accepted-late bids will not be accepted.

Special Experience Requirements

Apprenticeship Participation Requirements apply to this contract.

Bid documents are available at: <http://ddcbiddocuments.nyc.gov/inet/html/contrbid.asp>

THIS PROJECT IS SUBJECT TO HireNYC

As of August 1, 2017, the New York City Mayor's Office of Contract Services (MOCS) has launched the Procurement and Sourcing Solutions Portal (PASSPort), a new procurement system that will replace the paper - VENDEX process.

All organizations intending to do business with the City of New York should complete an online disclosure process to be considered for a contract. This disclosure process was formerly completed using Vendor Information Exchange System (VENDEX) paper-based forms. In anticipation of awards, bidders/proposers must create an account and enroll in PASSPort, and file all disclosure information. Paper submissions, including Certifications of No Changes to existing VENDEX packages will not be accepted in lieu of complete online filings. You can access PASSPort from the following link: <http://www.nyc.gov/passport>.

This procurement is subject to Minority-Owned and Women-Owned Business Enterprises (MWBE) participation goals as required by Local Law 1 of 2013. All respondents will be required to submit an M/WBE Participation Plan with their response. For the MWBE goals, please visit our website at <http://ddcbiddocuments.nyc.gov/inet/html/contrbid.asp> see "Bid Opportunities". For a list of companies certified by the NYC Department of Small Business Services, please visit www.nyc.gov/buycertified. To find out how to become certified, visit www.nyc.gov/getcertified or call the DSBS certification helpline, at (212) 513-6311.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Design and Construction, 30-30 Thomson Avenue, Long Island City, NY 11101. Brenda Barreiro (718) 391-1041; csb_projectinquiries@ddc.nyc.gov

✦ f15

EDUCATION**CONTRACTS AND PURCHASING****INTENT TO AWARD***Human Services/Client Services*

NEGOTIATED SERVICE: CENTER FOR EDUCATIONAL OPTIONS INC. - Other - PIN# E1887040 - Due 2-25-19 at 5:00 P.M.

The New York City Department of Education (NYCDOE), Division of Contracts and Purchasing, has been asked for approval to enter into a contract with Center for Educational Options Inc., for a term of 9/6/17 through 6/12/18. Center for Educational Options will provide literacy professional development services to the school listed below.

Loc Code: 02M427

School: Manhattan Academy for Arts and Language

Total Amount: \$37,200.00

Other organizations interested in providing these services to the NYCDOE in the future, are invited to indicate their ability to do so in writing to Albert Hu, at 65 Court Street, Room 1201, Brooklyn, NY 11201.

The New York City Department of Education (DOE), strives to give all businesses, including Minority and Women-Owned Business Enterprises (MWBES), an equal opportunity to compete for DOE procurements. The DOE's mission is to provide equal access to procurement opportunities for all qualified vendors, including MWBES, from all segments of the community. The DOE works to enhance the ability of MWBES to compete for contracts. DOE is committed to ensuring that MWBES fully participate in the procurement process.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Education, 65 Court Street, Room 1201, Brooklyn, NY 11201. Vendor Hotline (718) 935-2107; vendorhotline@schools.nyc.gov

• f15

ENVIRONMENTAL PROTECTION

AWARD

Construction / Construction Services

EMERGENCY CONTRACT: ADVANCED DEMOLITION OF THE OWLS HEAD WASTEWATER TREATMENT PLANT SLUDGE DOCK - Other - PIN# 82619E001001 - AMT: \$3,514,318.00 - TO: JT Cleary Inc., 100 Red Schoolhouse Road, Suite A-12, Chestnut Ridge, NY 10977.

Contract Number: OH-91-DEMO

• f15

OFFICE OF PURCHASING MANAGEMENT

AWARD

Goods and Services

QUEST SPOTLIGHT LICENSES - Innovative Procurement - Other - PIN# 9300102 - AMT: \$58,500.00 - TO: Compulink Technologies, 260 West 39th Street, Suite 302, New York, NY 10018.

Innovative Procurement Method- M/WBE.

• f15

FINANCE

ADMINISTRATION AND PLANNING

INTENT TO AWARD

Services (other than human services)

BANKING SERVICES - Negotiated Acquisition - Available only from a single source - PIN# 836CAP - Due 2-27-19 at 3:00 P.M.

This is a notice of intent to enter into negotiation for 1.5 years with two (2) one (1) year renewal option for Capital One Banking Services for Department of Finance, Treasury Division.

All inquires regarding this contract should be sent by email to the following contact, on or before February 27, 2019: Fiorella E. Leal, lealf@finance.nyc.gov

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Finance, 1 Centre Street, 10th Floor, Room 1040, New York, NY 10007. Fiorella Leal (212) 602-7188; Fax: (212) 602-7206; lealf@finance.nyc.gov

f12-19

COURT ASSETS TRACKING SYSTEMS - Negotiated Acquisition - Available only from a single source - PIN#83618TYLEREXT1 - Due 3-1-19 at 3:00 P.M.

This is a notice of intent, to enter into negotiations for a two (2) year extension of the current contract for Tyler Technologies's Court Asset Tracking System (CATS) for the Department of Finance, Treasury Division.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other

information; and for opening and reading of bids at date and time specified above.

Finance, 1 Centre Street, Room 1040, New York, NY 10007. Tia Clarke (212) 602-7128; Fax: (212) 602-7206; clarket@finance.nyc.gov

f14-21

HOUSING AUTHORITY

SUPPLY MANAGEMENT

SOLICITATION

Goods and Services

SMD INSTALLATION OF VINYL COMPOSITION (V/C) FLOOR TILE IN APTS.-VARIOUS DEVELOPMENTS IN THE FIVE (5) BOROUGHES OF NYC - Competitive Sealed Bids - Due 3-7-19

- PIN# 67970 - Manhattanville Houses, Manhattanville Rehab (Group 2) and Manhattanville Rehab (Group 3), Manhattan - Due at 10:00 A.M.
PIN# 67971 - Fort Washington Avenue Rehab, Washington Heights Rehab (Group 1 and 2), (PH-III) (Bldgs. 2-8), (Phase IV) (C), (Phase III), Manhattan - Due at 10:05 A.M.
PIN# 67972 - Forest Houses, Eagle Avenue and Mckinley Houses, Bronx - Due at 10:10 A.M.
PIN# 67973 - Boulevard Houses and Belmont-Sutter Area, Brooklyn - Due at 10:15 A.M.
PIN# 67974 - Brownsville Houses, Brooklyn - Due at 10:20 A.M.
PIN# 67975 - Whitman Houses, Brooklyn - Due at 10:25 A.M.
PIN# 67976 - Van Dyke I Houses, Brooklyn - Due at 10:30 A.M.
PIN# 67977 - Howard Houses, Brooklyn - Due at 10:35 A.M.
PIN# 67978 - Taylor Street- Wythe Avenue, and Independence Towers, Brooklyn - Due at 10:40 A.M.
PIN# 67979 - Glenwood Houses, Brooklyn - Due at 10:45 A.M.

Installation of vinyl-composition floor tile over existing floor tile. Installation of vinyl-composition floor tile over the existing properly prepared concrete floor. The removal and replacement of existing/or missing vinyl cove base molding. Removal as directed, of Non-Asbestos Containing floor coverings, including but not limited to: vinyl composition floor tile, linoleum, self-adhesive floor tile, carpet, ceramic floor tile, wood flooring, etc. *ALL MATERIALS SHALL BE NON-ASBESTOS FORMULATED*

Interested firms are invited to obtain a copy on NYCHA's website. To conduct a search for the RFQ number; vendors are instructed to open the link: http://www1.nyc.gov/site/nycha/business/isupplier-vendor-registration.page. Once on that page, please make a selection from the first three links highlighted in red: New suppliers for those who have never registered with iSupplier, current NYCHA suppliers and vendors for those who have supplied goods or services to NYCHA in the past but never requested a login ID for iSupplier, and Login for registered suppliers if you already have an iSupplier ID and password. Once you are logged into iSupplier, select "Sourcing Supplier," then "Sourcing" followed by "Sourcing Homepage" and then reference the applicable RFQ PIN/solicitation number.

Suppliers electing to obtain a non-electronic paper document will be subject to a \$25 non-refundable fee; payable to NYCHA by USPS-Money Order/Certified Check only for each set of RFQ documents requested. Remit payment to NYCHA Finance Department, at 90 Church Street, 6th Floor; obtain receipt and present it to the Supply Management Procurement Group; RFQ package will be generated at time of request.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Housing Authority, 90 Church Street, 6th Floor, New York, NY 10007. Mimose Julien (212) 306-8141; Fax: (212) 306-5109; mimose.julien@nycha.nyc.gov

• f15

Goods

WOODEN KITCHEN CABINETS - Competitive Sealed Bids - PIN# 68071 - Due 3-4-19 at 12:00 P.M.

WOODEN KITCHEN CABINETS - Competitive Sealed Bids - PIN# 68070 - Due 3-4-19 at 12:00 P.M.

These are RFQ's for 2 year IDIQ blanket order agreements ("Initial Term"), with NYCHA's option, in its sole discretion, to extend the Term of the Contracts for one (1) year period ("Renewal Period").The awarded bidder/vendor agrees to have Wooden KITCHEN CABINETS readily available for delivery within 15 days after receipt of order on an "as needed basis" during the duration of the contract period. The quantities

provided are estimates based on current usage and the New York City Housing Authority, may order less or more depending on our needs.

Interested firms are invited to obtain a copy on NYCHA's website. To conduct a search for the RFQ number; vendors are instructed to open the link: <http://www1.nyc.gov/site/nycha/business/isupplier-vendor-registration.page>. Once on that page, make a selection from the first three links highlighted in red: New suppliers for those who have never registered with iSupplier, current NYCHA suppliers and vendors for those who have supplied goods or services to NYCHA in the past but never requested a login ID for iSupplier, and Login for registered suppliers if you already have an iSupplier ID and password. Once you are logged into iSupplier, select "Sourcing Supplier," then "Sourcing Homepage" and then reference the applicable RFQ PIN/solicitation number.

Suppliers electing to obtain a non-electronic paper document will be subject to a \$25 non-refundable fee; payable to NYCHA by USPS-Money Order/Certified Check only for each set of RFQ documents requested. Remit payment to NYCHA Finance Department at 90 Church Street, 6th Floor; obtain receipt and present it to the Supply Management Procurement Group; RFQ package will be generated at time of request.

These RFQ's are IDIQ contracts for **WOODEN KITCHEN CABINETS**, that NYCHA intends to separately solicit and award. NYCHA has determined that it is in the best interest of NYCHA to award only one (1) of these 2 (2) IDIQ contracts to any individual vendor. Therefore the Vendor awarded a Contract, pursuant to this solicitation will not be eligible to be awarded to other IDIQ contract for **WOODEN KITCHEN CABINETS**, even if the Vendor's bid is the lowest bid for that RFQ.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Housing Authority, 90 Church Street, 6th Floor, New York, NY 10008.
Gerard Valerio (212) 306-4724; gerard.valerio@nycha.nyc.gov



• f15

NYC HEALTH + HOSPITALS

■ SOLICITATION

Services (other than human services)

TELEHEALTH MANAGEMENT SERVICES - Request for Proposals - PIN# 100912R148 - Due 3-8-19 at 4:00 P.M.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

NYC Health + Hospitals, 160 Water Street, 3rd Floor, New York, NY 10038. Kathleen Nolan (212) 908-8730; Fax: (212) 908-8620; nolank@metroplus.org

• f15

CONTRACT SERVICES

■ SOLICITATION

Construction Related Services

HARLEM - 3RD FLOOR RENOVATION - GC WORK (INCLUDES: PLMB, HVAC AND ELEC) 1.5M - 2M - Competitive Sealed Bids - PIN# ELMHURST2019 - Due 3-14-19 AT 1:30 P.M.

Elmhurst, 3rd Floor Renovation, Elmhurst, NY. Vendors planning to bid, are required to purchase Bid Forms for a non-refundable fee of \$30 (Company Check or Money Order Payable to NYCHH), at 55 Water Street, 25th Floor, New York, NY 10041.

All Bids shall be in accordance with the terms of the NYC Health and Hospitals (HHC) Project Labor Agreement.

Technical Questions must be submitted in writing by Email, no later than three (5) calendar days after the Mandatory Pre-Bid Meetings are held.

Mandatory Meetings/site tours are scheduled for Wednesday, February 27, 2019, at 11:00 A.M., and Thursday, February 28, 2019, at 11:00 A.M., C-Wing 6th Floor, Room C6-11, Elmhurst Hospital, 79-01 Broadway, Elmhurst, NY 11373. All bidders must attend one of the Mandatory Pre-Bid Meetings in order to bid.

Requires Trade Licenses (Where Applicable). Under Article 15A of The State of New York, the following M/WBE goals apply to this contract, MBE 20 percent and WBE 10 percent. These goals apply to any bid

submitted of \$100,000 or more. Bidders not complying with these Terms will have their bids declared Non-Responsive.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

NYC Health + Hospitals, 55 Water Street, 25th Floor, New York, NY 10041. Clifton Mc Laughlin (646) 458-5689; leithland.tulloch@nychhc.org

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PARKS AND RECREATION

■ VENDOR LIST

Construction Related Services

PREQUALIFIED VENDOR LIST: GENERAL CONSTRUCTION, NON-COMPLEX GENERAL CONSTRUCTION SITE WORK ASSOCIATED WITH NEW YORK CITY DEPARTMENT OF PARKS AND RECREATION ("DPR") AND/OR "PARKS") PARKS AND PLAYGROUNDS CONSTRUCTION AND RECONSTRUCTION PROJECTS.

NYC DPR is seeking to evaluate and pre-qualify a list of general contractors (a "PQL") exclusively to conduct non-complex general construction site work involving the construction and reconstruction of NYC DPR parks and playgrounds projects not exceeding \$3 million per contract ("General Construction").

By establishing contractor's qualification and experience in advance, NYC DPR will have a pool of competent contractors from which it can draw to promptly and effectively reconstruct and construct its parks, playgrounds, beaches, gardens and green-streets. NYC DPR will select contractors from the General Construction PQL for non-complex general construction site work of up to \$3,000,000.00 per contract, through the use of a Competitive Sealed Bid solicited from the PQL generated from this RFQ.

The vendors selected for inclusion in the General Construction PQL, will be invited to participate in the NYC Construction Mentorship. NYC Construction Mentorship focuses on increasing the use of small NYC contracts, and winning larger contracts with larger values. Firms participating in NYC Construction Mentorship will have the opportunity to take management classes and receive on-the-job training provided by a construction management firm.

NYC DPR will only consider applications for this General Construction PQL from contractors who meet any one of the following criteria:

- 1) The submitting entity must be a Certified Minority/Woman Business enterprise (M/WBE)*;
- 2) The submitting entity must be a registered joint venture or have a valid legal agreement as a joint venture, with at least one of the entities in the joint venture being a certified M/WBE*;
- 3) The submitting entity must indicate a commitment to sub-contract no less than 50 percent of any awarded job to a certified M/WBE for every work order awarded.

* Firms that are in the process of becoming a New York City-Certified M/WBE, may submit a PQL application and submit a M/WBE Acknowledgement Letter, which states the Department of Small Business Services has begun the Certification process.

Application documents may also be obtained online at: <http://a856-internet.nyc.gov/nycvendronline/home.asap.>; or <http://www.nycgovparks.org/opportunities/business>.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Parks and Recreation, Olmsted Center Annex, Flushing Meadows - Corona Park, Flushing, NY 11368. Alicia H. Williams (718) 760-6925; Fax: (718) 760-6885; dmbwe.capital@parks.nyc.gov

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CAPITAL PROJECTS

■ INTENT TO AWARD

Construction Related Services

FUNDING AGREEMENT TO TRANSFER FUNDS - Contract with another Government - PIN# 84619T0008001 - Due 2-19-19 at 4:30 P.M.

The City of New York Parks and Recreation, Capital Projects Division, intends to enter into a Memorandum of Agreement, with the New York State Office of Parks, Recreation and Historic Preservation, with its offices, located at 625 Broadway, Albany, NY 12207. This agreement is

made solely for the purpose of transferring City Funds, for the replacement of the flooring and fixed retractable seating system, at Denny Farrell Riverbank State Park.

Any firm that would like to express their interest in providing services of similar projects in the future, may do so. All expressions of interest must be in writing, to the address listed here, and received by February 19, 2019. You may join the City Bidders list by filling out the "NYC-FMS Vendor Enrollment Application," available online, at "NYC.govselltonyc," and in hard copy, by calling the Vendor Enrollment Center, (212) 857-1680.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Parks and Recreation, Olmsted Center Annex, Flushing Meadows-Corona Park, Flushing, NY 11368. Grace Fields-Mitchell (718) 760-6687; Fax: (718) 760-6885; grace.fields-mitchell@parks.nyc.gov

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CONTRACTS

SOLICITATION

Construction / Construction Services

RECONSTRUCTION OF CHAPPETTO SQUARE - Competitive Sealed Bids - PIN# Q066H-118M - Due 3-13-19 at 10:30 A.M.

The Reconstruction of Chappetto Square, bounded by Hoyt Avenue North, 21st Street, 23rd Street and 24th Drive, Borough of Queens.

E-Pin# 84619B0096.

This procurement is subject to participation goals for MBEs and/or WBEs, as required by Local Law 1 of 2013.

This contract is subject to Apprenticeship Program Requirements.

Bid Security: Bid Bond in the amount of 10 percent of Bid Amount or Bid Deposit in the amount of 5 percent of Bid Amount.

The Cost Estimate Range is: \$3,000,000.00 - \$5,000,000.00.

To request the Plan Holder's List, please call the Blue Print Room, at (718) 760-6576.

To manage your vendor name and commodity codes on file with the City of New York, please go to New York City's Procurement and Sourcing Solutions Portal (PASSPort) at https://a858-login.nyc.gov/osp/a/t1/auth/saml2/sso. To manage or update your email, address or contact information, please go to New York City's Payee Information Portal at https://a127-pip.nyc.gov/webapp/PRDPCW/SelfService.

Bid documents are available for a fee of \$25.00 in the Blueprint Room, Room #64, Olmsted Center, from 8:00 A.M. to 3:00 P.M. The fee is payable by company check or money order to the City of New York, Parks and Recreation. A separate check/money order is required for each project. The company name, address and telephone number as well as the project contract number must appear on the check/money order. Bidders should ensure that the correct company name, address, telephone number and email address information are submitted by your company/messenger service when picking up bid documents.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Parks and Recreation, Olmsted Center, Room 64, Flushing Meadows - Corona Park, Flushing, NY 11368. Kylie Murphy (718) 760-6855; kylie.murphy@parks.nyc.gov

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TRANSPORTATION

STATEN ISLAND FERRY

AWARD

Goods

MARINE DIESEL ENGINE LUBRICATING OIL - Other - PIN# 84119PO250SI - AMT: \$80,000.00 - TO: Naughton Energy Corp., PO Box 709, Route 940, Pocono Pines, PA 18350.

Pursuant to Section 3-12 of the New York City Procurement Policy Board (PPB) Rules, NYCDOT has procured Marine Diesel Engine Lubricating Oil.

The New York City Department of Transportation (NYCDOT), on behalf of all New York City agencies and entities subject to the New York City Procurement Policy Board (PPB) Rules, utilized the Innovative Procurement Method, under Section 3-12 of the Procurement Policy Board Rules.

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TRAFFIC

SOLICITATION

Construction / Construction Services

DECORATIVE STREET LIGHTING, BROOKLYN AND MANHATTAN - Competitive Sealed Bids - PIN# 84119MBTR285 - Due 3-12-19 at 11:00 A.M.

● INSTALLING, REMOVING OR RELOCATING EQUIPMENT TO PERFORM ELECTRICAL WORK IN CONNECTION WITH STREET LIGHT ILLUMINATION AND DISTRIBUTION SYSTEM, CITYWIDE - Competitive Sealed Bids - PIN# 84119MBTR303 - Due 3-12-19 at 11:00 A.M.

The MBE goal for this contract is 12 percent. The WBE goal for this contract is 18 percent. A printed copy of the bid can also be purchased. A deposit of \$50.00 is required for the bid documents in the form of a Certified Check or Money Order payable to: New York City Department of Transportation. NO CASH ACCEPTED. Company address, telephone and fax numbers are required when picking up contract documents. (Entrance is located on the South Side of the Building facing the Vietnam Veterans Memorial). Proper government issued identification is required for entry to the building (driver's license, passport, etc.). A Pre-Bid Meeting (Optional), will be held on February 26, 2019, at 10:00 A.M. at 55 Water Street, Ground Floor Conference Room, New York, NY 10041. For additional information, please contact Sharif Choudhry, at (212) 839-4370.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Transportation, Contract Management Unit, 55 Water Street, Ground Floor, New York, NY 10041. Bid Window (212) 839-9435.

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TRIBOROUGH BRIDGE AND TUNNEL AUTHORITY

SOLICITATION

Construction / Construction Services

REQUEST FOR EXPRESSIONS OF INTEREST FOR CONSTRUCTION ADMINISTRATION AND INSPECTION SERVICES FOR PROJECT RK-20 AND RK-19/70 - Competitive Sealed Proposals - Judgment required in evaluating proposals - PIN# PSC183022000 - Due 3-7-19 at 3:30 P.M.

RFEI - Construction Administration and Inspection Services for Projects RK-20, Main Bridge Cable Inspection and Rehabilitation, at the RFK Bridge and RK-19/70 Phase 1A Structural Rehabilitation, at the RFK Bridge. Please visit www.mta.info for further information.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Triborough Bridge and Tunnel Authority, 2 Broadway, New York, NY 10004. Victoria Warren (646) 252-7092; Fax: (646) 252-7077; vprocure@mtabt.org

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CONTRACT AWARD HEARINGS

NOTE: LOCATION(S) ARE ACCESSIBLE TO INDIVIDUALS USING WHEELCHAIRS OR OTHER MOBILITY DEVICES. FOR FURTHER INFORMATION ON ACCESSIBILITY OR TO MAKE A REQUEST FOR ACCOMMODATIONS, SUCH AS SIGN LANGUAGE INTERPRETATION SERVICES, PLEASE CONTACT THE MAYOR'S OFFICE OF CONTRACT SERVICES (MOCS) VIA EMAIL AT DISABILITYAFFAIRS@MOCS.NYC.GOV OR VIA PHONE AT (212) 788-0010. ANY PERSON REQUIRING REASONABLE

ACCOMMODATION FOR THE PUBLIC HEARING SHOULD CONTACT MOCS AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF THE HEARING TO ENSURE AVAILABILITY.



AGING

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the Department for the Aging of the City of New York and the contractor listed below, for the provision of services for seniors such as Case Assistance and Information for the elderly. The contract term shall be from July 1, 2018 to June 30, 2019 with no option to renew. The contract amount and the Community District in which this program is located are identified below.

Contractor/Address	E-PIN #/PIN #	Amount	Boro/CD
Shorefront Jewish Community Council, Inc. 128 Brighton Beach Avenue, 4th Floor Brooklyn, NY 11235	E-PIN #: 12519L0123001/ PIN #: 12519DISC23N	\$269,886.00	Brooklyn, CD's: 13, 15

The proposed contract is being funded through City Council Discretionary Funds/Line Item Appropriations, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Office of the Department for the Aging, Contract Procurement and Support Services, 2 Lafayette Street, Room 400, New York, NY 10007, on business days, from February 15, 2019 to February 28, 2019, excluding Holidays, from 10:00 A.M. to 4:00 P.M.



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EMERGENCY MANAGEMENT

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, at 10:00 A.M. on the following:

IN THE MATTER OF a proposed Purchase Order/Contract between New York City Emergency Management (NYCEM) and Nifty Concepts Inc., principal office located at 2005 Palmer Avenue, Suite 216, Larchmont, NY 10538, for the provision of the Blood Glucose Test Strips. The contract amount shall not exceed \$127,180.20. The contract term shall be for the duration of one-year from Notice to Proceed. PIN #: 01719LOGSBGTS.

The Vendor has been selected pursuant to Section 3-08 (c)(1)(iv) of the Procurement Policy Board Rules.

A draft copy of the Purchase Order/Contract is available for public inspection at New York City Emergency Management (NYCEM), 165 Cadman Plaza East, Brooklyn, NY 11201, on business days, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

Anyone who wishes to speak at this public hearing should request to do so in writing. The written request must be received by the Agency within five (5) business days after publication of this notice. Written requests to speak should be sent to Althea Samuels, Director of Procurement, at asamuels@oem.nyc.gov.



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HOMELESS SERVICES

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the Department of Homeless Services of the City of New York and the contractor listed below, to develop and operate Stand-Alone Transitional Residence for Homeless Families with Children. The term of this contract will be from April 1, 2019 to June 30, 2023, with one four-year renewal option from July 1, 2023 to June 30, 2027.

Contractor/Address	Site Name/Address	E-PIN #	Amount
Core Services Group Inc. 45 Main Street, Suite 711 Brooklyn, NY 11201	Jamaica Family Residence 201-05 & 202-05 Jamaica Avenue Hollis, NY 11423	07110P0002254	\$48,748,535.00

The proposed contractor has been selected by Competitive Sealed Proposal Method (Open Ended Request for Proposal), pursuant to Section 3-03 (b)(2) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Human Resources Administration of the City of New York, Office of Contracts, 150 Greenwich Street, 37th Floor, New York, NY 10007, on business days, from February 15, 2019 to February 28, 2019, between the hours of 10:00 A.M. and 5:00 P.M., excluding Saturdays, Sundays and Holidays. If you need to schedule an inspection appointment and/or need additional information, please contact Paul Romain, at (929) 221-5555.

IN THE MATTER OF a proposed contract between the Department of Homeless Services of the City of New York and the contractor listed below, to develop and operate a Stand Alone Transitional Residence for Homeless Single Adults. The term of this contract will be from February 1, 2019 to June 30, 2024, with one option to renew from July 1, 2024 to June 30, 2027.

Vendor/Address	Site Name/Address	E-PIN #	Amount
CORE Services Group Inc. 45 Main Street, Suite 711 Brooklyn, NY 11201	Wyckoff House 97 Wyckoff Avenue Brooklyn, NY 11237	07110P0002265	\$33,799,333.00

The proposed contractor has been selected by Competitive Sealed Proposal Method (Open Ended Request for Proposals), pursuant to Section 3-03 (b)(2) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Human Resources Administration of the City of New York, Office of Contracts, 150 Greenwich Street, 37th Floor, New York, NY 10007, on business days, from February 15, 2019 to February 28, 2019, between the hours of 10:00 A.M. and 5:00 P.M., excluding Saturdays, Sundays and Holidays. If you need to schedule an inspection appointment and/or need additional information, please contact Paul Romain, at (929) 221-5555.

IN THE MATTER OF a proposed contract between the Department of Homeless Services of the City of New York and the contractor listed below, to develop and operate a Stand Alone Transitional Residence for Homeless Adult Families. The term of this contract will be from July 1, 2019 to June 30, 2024, with one option to renew from July 1, 2024 to June 30, 2028.

Vendor/Address	Site Name/Address	E-PIN #	Amount
SCO Family of Services 1 Alexander Place Glen Cove, NY 11542	El Camino Inn 160-11 89th Avenue Jamaica, NY 11432	07110P0002274	\$49,959,730.00

The proposed contractor has been selected by Competitive Sealed Proposal Method (Open Ended Request for Proposals), pursuant to Section 3-03 (b)(2) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Human Resources Administration of the City of New York, Office of Contracts, 150 Greenwich Street, 37th Floor, New York, NY 10007, on business days, from February 15, 2019 to February 28, 2019, between the hours of 10:00 A.M. and 5:00 P.M., excluding Saturdays, Sundays and Holidays. If you need to schedule an inspection appointment and/or need additional information, please contact Paul Romain, at (929) 221-5555.

IN THE MATTER OF a proposed contract between the Department of Homeless Services of the City of New York and the contractor listed below, to develop and operate a Stand-Alone Transitional Residence for Homeless Families with Children. The term of this contract will be

from July 1, 2019 to June 30, 2024, with one option to renew from July 1, 2024 to June 30, 2028.

<u>Contractor/Address</u>	<u>Site Name/Address</u>	<u>E-PIN #</u>	<u>Amount</u>
Volunteers of America Greater New York, Inc. 135 West 50th Street, 9th Floor New York, NY 10020	Lydia E. Hoffman Family Shelter 855 East 175th Street Bronx, NY 10460	07110P0002235	\$10,153,090.00

The proposed contractor has been selected by Competitive Sealed Proposal Method (Open Ended Request for Proposal), pursuant to Section 3-03 (b)(2) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Human Resources Administration of the City of New York, Office of Contracts, 150 Greenwich Street, 37th Floor, New York, NY 10007, on business days, from February 15, 2019 to February 28, 2019, between the hours of 10:00 A.M. and 5:00 P.M., excluding Saturdays, Sundays and Holidays. If you need to schedule an inspection appointment and/or need additional information, please contact Paul Romain, at (929) 221-5555.

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HOUSING PRESERVATION AND DEVELOPMENT

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the Department of Housing Preservation and Development and Catholic Migration Services Inc., 191 Joralemon Street, Brooklyn, NY 11201, for a Housing Preservation Initiative (HPI) Contract and Stabilizing New York City (SNYC) Contract for the Provision of Housing Related Services, Citywide. The contract amount shall be \$224,000.00. The contract term shall be from July 1, 2018 to June 30, 2019. E-PIN #: 80619L0033001.

The proposed contractor has been selected by City Council Line Item Appropriation Discretionary Funds, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Housing Preservation and Development, 100 Gold Street, 8th Floor, Room 8B-05, New York, NY 10038, on business days, from February 15, 2019 to February 28, 2019, excluding Holidays, from 10:00 A.M. to 4:00 P.M. Contact Mr. Jay Bernstein, Deputy Agency Chief Contracting Officer, Room 8B-05, at (212) 863-6657.

IN THE MATTER OF a proposed contract between the Department of Housing Preservation and Development and Cooper Square Community Development Committee Inc., 61 East 4th Street, 1st Floor, New York, NY 10003, for a Local Initiative (LI) Contract and Stabilizing New York City (SNYC) Contract for the Provision of Housing Related Services, in Manhattan CDs 2,3,4, and 6. The contract amount shall be \$167,000.00. The contract term shall be from July 1, 2018 to June 30, 2019. E-PIN #: 80619L0056001.

The proposed contractor has been selected by City Council Line Item Appropriation Discretionary Funds, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Housing Preservation and Development, 100 Gold Street, 8th Floor, Room 8B-05, New York, NY 10038, on business days, from February 15, 2019 to February 28, 2019, excluding Holidays, from 10:00 A.M. to 4:00 P.M. Contact Mr. Jay Bernstein, Deputy Agency Chief Contracting Officer, Room 8B-05, at (212) 863-6657.

IN THE MATTER OF a proposed contract between the Department of Housing Preservation and Development and Good Old Lower East Side Inc., 169 Avenue B, New York, NY 10009, for a Local Initiative (LI), Community Consultant Initiative (CCI), Housing Preservation Initiative (HPI) and Stabilizing NYC (SNYC) Contract for the Provision of Housing Related Services, Borowide in Manhattan. The contract amount shall be \$305,729.00. The contract term shall be from July 1, 2018 to June 30, 2019. E-PIN #: 80619L0011001.

The proposed contractor has been selected by City Council Line Item Appropriation Discretionary Funds, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Housing Preservation and Development, 100 Gold Street, 8th Floor, Room 8B-05, New York, NY 10038, on business days, from February 15, 2019 to February 28, 2019, excluding Holidays, from 10:00 A.M. to 4:00 P.M. Contact Mr. Jay Bernstein, Deputy Agency Chief Contracting Officer, Room 8B-05, at (212) 863-6657.

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HUMAN RESOURCES ADMINISTRATION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the Human Resources Administration of the City of New York and the contractor listed below, for the Provision of funding to support the agency's immigration, legal services and ESL program. The term of this contract will be from July 1, 2018 to June 30, 2019.

<u>Vendor/Address</u>	<u>E-PIN #</u>	<u>Amount</u>	<u>Service Area</u>
Emerald Isle Immigration Center Inc. 59-26 Woodside Avenue Woodside, NY 11377	09619L0128001	\$125,000.00	Citywide

The proposed contractor is being funded through City Council Discretionary Funds Appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board (PPB) Rules.

A draft copy of the proposed contract is available for public inspection at the Human Resources Administration of the City of New York, Office of Contracts, 150 Greenwich Street, 37th Floor, New York, NY 10007, on business days, from February 15, 2019 to February 28, 2019, between the hours of 10:00 A.M. and 5:00 P.M., excluding Saturdays, Sundays and Holidays. If you need to schedule an inspection appointment and/or need additional information, please contact Paul Romain, at (929) 221-5555.

IN THE MATTER OF a proposed contract between the Human Resources Administration of the City of New York and the contractor listed below, for the Provision of Permanent Congregate Housing and Supportive Services for PLWA's under NY/NY III. The term of this contract will be from January 1, 2019 to December 31, 2019.

<u>Contractor/Address</u>	<u>E-PIN #</u>	<u>Amount</u>	<u>Service Area</u>
Housing Works Inc. 57 Willoughby Street, 2nd Floor Brooklyn, NY 11201	06909P0017CNVN001	\$270,501.00	Brooklyn

The proposed contractor has been selected by Negotiation Acquisition Extension Method, pursuant to Section 3-04 (b)(2)(iii) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Human Resources Administration of the City of New York, 150 Greenwich Street, 37th Floor, New York, NY 10007, on business days, from February 15, 2019 to February 28, 2019, excluding Saturdays, Sundays and Holidays, from 10:00 A.M. to 5:00 P.M. If you need to schedule an inspection appointment and/or need additional information, please contact Paul Romain, at (929) 221-5555.

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LAW DEPARTMENT

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the New York City Law Department and The MCS Group, Inc., located at 1601 Market Street, Suite 800, Philadelphia, PA 19103, for Pre-Paid Retrieval of Medical Records. The cost of the contract is in an amount not to exceed

\$9,000,000.00. The contract term shall be from September 1, 2019 through August 31, 2024. PIN #: 02518X100001, E-PIN #: 02518P0001001.

The proposed contractor has been selected by Competitive Sealed Proposal Method, pursuant to Section 3-03 of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the New York City Law Department, 100 Church Street, Messenger Center (located at street leveling the middle of the block on the Park Place side of 100 Church Street), New York, NY 10007, from February 15, 2019 to February 28, 2019, excluding Saturdays, Sundays and Holidays, from 9:30 A.M. to 5:00 P.M.



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MAYOR'S OFFICE OF CRIMINAL JUSTICE

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the Mayor's Office of Criminal Justice and the Center for Alternative Sentencing and Employment Services, located at 151 Lawrence Street, 3rd Floor, Brooklyn, NY 11201, to provide NYS Article 31-licensed clinic-based outreach and behavioral health assessment and treatment services to individuals who are currently or formerly involved in the criminal justice or juvenile justice systems, or who are family members or other adults responsible for juvenile- or criminal justice system-involved youth. The contract term shall be from July 1, 2018 to June 30, 2019 with no option to renew. The contract shall be in an amount not to exceed \$240,000.00. E-PIN #: 00219L0038001.

The proposed contract is being funded through City Tax Levy Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract shall be available for inspection by members of the public between February 15, 2019 and February 28, 2019, excluding Saturdays, Sundays and Holidays, during the hours of 9:00 A.M. and 12:00 P.M. and 2:00 P.M. and 4:00 P.M., at 1 Centre Street, Room 1012N, New York, NY 10007.

IN THE MATTER OF a proposed contract between the Mayor's Office of Criminal Justice and the Center for Community Alternatives, Inc., located at 115 East Jefferson Street, Suite 300, Syracuse, NY 13202, to provide work readiness, education, life skills, and career exploration programs for justice-involved youth and youth returning from New York City correctional facilities through the Youth Pathways program. The contract term shall be from July 1, 2017 to June 30, 2018 with no option to renew. The contract shall be in an amount not to exceed \$312,435.00. E-PIN #: 00219L0044001.

The proposed contract is being funded through City Tax Levy Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract shall be available for inspection by members of the public between February 15, 2019 and February 28, 2019, excluding Saturdays, Sundays and Holidays, during the hours of 9:00 A.M. and 12:00 P.M. and 2:00 P.M. and 4:00 P.M., at 1 Centre Street, Room 1012N, New York, NY 10007.



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PROBATION

■ NOTICE

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held at the Department of Probation, 33 Beaver Street, 21st Floor, Borough of Manhattan, Wednesday, February 27, 2019, commencing at 10:00 A.M. on the following items:

IN THE MATTER OF a proposed contract between the Department of Probation and the contractor listed below, to provide the Mobile Adolescent Therapy Program. The term shall be from October 1, 2018 through September 30, 2019, and shall contain no option to renew.

Contractor	E-PIN #	Amount
Center for Alternative Sentencing and Employment Services, Inc. 151 Lawrence Street, 3 rd Floor Brooklyn, NY 11201	78119R0002001	\$200,000

IN THE MATTER OF a proposed contract between the Department of Probation and the contractor listed below, to provide a PEAK Drop-in Center in the Bronx and Brooklyn. The term shall be from October 1, 2018 through September 30, 2019, and shall contain no option to renew.

Contractor	E-PIN #	Amount
Center for Alternative Sentencing and Employment Services, Inc. 151 Lawrence Street, 3 rd Floor Brooklyn, NY 11201	78119R0003001	\$750,000

The proposed contractor(s) will be awarded as a Required/Authorized Source, pursuant to Section 1-02(d)(2) of the Procurement Policy Board Rules.

IN THE MATTER OF the proposed contract between the Department of Probation and the contractor listed below, to provide the ICM Plus program. The term shall be from March 15, 2019 through December 31, 2021, and shall contain an option to renew for up to three additional years.

Contractor	E-PIN #	Amount
New York Center for Interpersonal Development, Inc. 130 Stuyvesant Place, 5 th Floor Staten Island, NY 10301	78119I0002001	\$362,916.67

The proposed contractor has been selected by means of the HHS Accelerator Method, pursuant to Section 3-16 of the Procurement Policy Board Rules.

Summary drafts of the contracts' scope, specifications and terms and conditions will be available for public inspection at the Department of Probation, 33 Beaver Street, 21st Floor, New York, NY 10004, from February 15, 2019 to February 27, 2019, between the hours of 9:00 A.M. and 5:00 P.M. except holidays.

Anyone who wishes to speak at this public hearing should request to do so in writing. The written request must be received by the Agency within 5 business days after publication of this notice. Written requests to speak should be sent to Ms. Eileen Parfrey-Smith, Agency Chief Contracting Officer, 33 Beaver Street, 21st Floor, New York, NY 10004, acco@probation.nyc.gov. If the Department of Probation receives no written requests to speak within the prescribed time, the Department reserves the right not to conduct the public hearing.

Accessibility questions: Phyllis DeLisio (212) 510-3740, pdelisio@probation.nyc.gov, by: Wednesday, February 20, 2019, 5:00 P.M.



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SANITATION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed Purchase Order/Contract between the Department of Sanitation and Complete Home Care Services Inc., located at 205-14 Linden Boulevard, Suite 204, St. Albans, NY 11422, for Registered Nursing Services. The amount of this Purchase Order/Contract will be \$150,000.00. The term will be for three years or the depletion of funds. PIN #: 82719AD0028.

The Vendor has been selected, pursuant to Section 3-12 (e) of the Procurement Policy Board Rules.

A draft copy of the Purchase Order/Contract is available for public inspection at the Department of Sanitation's Contract Division, 44 Beaver Street, 2nd Floor, Room 203, New York, NY 10004, Monday to Friday, from February 15, 2019 to February 28, 2019, excluding Holidays, from 10:00 A.M. to 4:00 P.M.



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SMALL BUSINESS SERVICES

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to provide services to promote business development in the Borough of The Bronx through a variety of initiatives. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Green Worker Inc. 1231 Lafayette Avenue, Unit 2 Bronx, NY 10474	\$429,289.00	80119L0013001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.



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NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street- Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to support neighborhood-level initiatives that promote economic development, job creation and retention, and community investment. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Brooklyn Alliance Inc. 335 Adams Street, Suite 2700 Brooklyn, NY 11201	\$108,000.00	80119L0101001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to operate and develop a day laborer center that provides dignified physical space for day laborers to meet, OSHA training and certification. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Catholic Charities Community Services Archdiocese of NY 1011 First Avenue, 6th Floor New York, NY 10022	\$327,000.00	80119L0081001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to provide access to training to achieve the US Department of Labor Occupational Safety and Health Administration 30-hour outreach training in construction. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Catholic Charities Community Services Archdiocese of NY 1011 First Avenue, 6th Floor New York, NY 10022	\$125,000.00	80119L0079001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to provide access to training to achieve the US Department of Labor Occupational Safety and Health Administration 30-hour outreach training in construction. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
East River Dev. Alliance Inc., DBA Urban Upbound 12-11 40th Avenue Long Island City, NY 11101	\$125,000.00	80119L0080001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to provide access to training to achieve the US Department of Labor Occupational Safety and Health Administration 30-hour outreach training in construction. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Man Up Inc. 797/799 Van Sicken Avenue Brooklyn, NY 11207	\$125,000.00	80119L0105001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to support the creation of jobs in worker cooperative businesses. The term of the contract shall be for 12 months from July 1, 2017 to June 30, 2018.

Contractor/Address	Amount	E-PIN #
Manhattan Chamber of Commerce Foundation 575 Firth Avenue, 14th Floor New York, NY 10017	\$123,000.00	80119L0034001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding Weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to provide access to training to achieve the US Department of Labor Occupational Safety and Health Administration 30-hour outreach training in construction. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Northern Manhattan Coalition for Immigrants Rights 5030 Broadway, Suite 637 New York, NY 10034	\$125,000.00	80119L0103001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to operate and develop a day laborer center that provides dignified physical space for day laborers to meet, OSHA training and certification. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Northern Manhattan Coalition for Immigrants Rights 5030 Broadway, Suite 637 New York, NY 10034	\$217,000.00	80119L0104001

The proposed contractor is being funded through of City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to operate and develop a day laborer center that provides dignified physical space for day laborers to meet, OSHA training and certification. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Third Sector New England Inc. 89 South Street, Suite #700 Boston, MA 02111	\$551,000.00	80119L0055001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed contract between the Department of Small Business Services (DSBS) and the contractor listed below, to provide access to training to achieve the US Department of Labor Occupational Safety and Health Administration 30-hour outreach training in construction. The term of the contract shall be for 12 months from July 1, 2018 to June 30, 2019.

Contractor/Address	Amount	E-PIN #
Third Sector New England Inc. 89 South Street, Suite #700 Boston, MA 02111	\$125,000.00	80119L0069001

The proposed contractor is being funded through City Council Discretionary Funds appropriation, pursuant to Section 1-02 (e) of the Procurement Policy Board Rules.

A draft copy of the proposed contract is available for public inspection at the Department of Small Business Services, 110 William Street, 7th Floor, New York, NY 10038, from February 15, 2019 to February 28, 2019, excluding weekends and Holidays, from 9:00 A.M. to 5:00 P.M.

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TRANSPORTATION

■ PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed Purchase Order/Contract between the Department of Transportation of the City of New York and Compulink Technologies Inc., located at 260 West 39th Street, Suite 302, New York, NY 10018, to procure Autodesk AEC Collection Software License. The amount of this Purchase Order/Contract will be \$120,001.48. The term will be one-year from the date of registration. PIN #: 841120192819TR.

The Vendor has been selected, pursuant to Section 3-12 (e) of the Procurement Policy Board Rules.

A draft copy of the Purchase Order/Contract will be available for public inspection at the Department of Transportation, Office of the Agency

Chief Contracting Officer, 55 Water Street, 8th Floor, New York, NY 10041, from February 15, 2019 to February 28, 2019, excluding Saturdays, Sundays and Legal Holidays, from 9:00 A.M. to 5:00 P.M.

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NOTICE IS HEREBY GIVEN that a Contract Public Hearing, will be held on Thursday, February 28, 2019, in Spector Hall, 22 Reade Street, Main Floor, Borough of Manhattan, commencing at 10:00 A.M. on the following:

IN THE MATTER OF a proposed Purchase Order/Contract between the Department of Transportation of the City of New York and J.M. Morales & Associates PC, located at 10079 Mere Parkway, Orlando, FL 32832, to procure Consulting Services to Develop Technical Content for a "Work Zone Field Manual". The amount of this Purchase Order/Contract will be \$150,000.00. The term will be one-year from the date of registration. PIN #: 84119PO075HR.

The Vendor has been selected, pursuant to Section 3-12 (e) of the Procurement Policy Board Rules.

A draft copy of the Purchase Order/Contract will be available for public inspection at the Department of Transportation, Office of the Agency Chief Contracting Officer, 55 Water Street, 8th Floor, New York, NY 10041, from February 15, 2019 to February 28, 2019, excluding Saturdays, Sundays and Legal Holidays, from 9:00 A.M. to 5:00 P.M.

IN THE MATTER OF a proposed Purchase Order/Contract between the Department of Transportation of the City of New York and Leticia Molinero Translation Studio, located at 237 Lafayette Street, Suite 2W, New York, NY 10012, for Language Assessment. The amount of this Purchase Order/Contract will be \$118,500.00. The term will be one-year from the date of registration. PIN #: 84119PO250EXEC.

The Vendor has been selected, pursuant to Section 3-12 (e) of the Procurement Policy Board Rules.

A draft copy of the Purchase Order/Contract will be available for public inspection at the Department of Transportation, Office of the Agency Chief Contracting Officer, 55 Water Street, New York, NY 10041, from February 15, 2019 to February 28, 2019, excluding Saturdays, Sundays and Legal Holidays, from 9:00 A.M. to 5:00 P.M.

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AGENCY RULES

CONSUMER AFFAIRS

■ NOTICE

Notice of Adoption

Notice of Adoption to promulgate a new rule that makes it a violation to assault, menace, unlawfully imprison, or harass, or attempt to assault, menace, unlawfully imprison, or harass, any DCA employee. A violation of this rule results in a penalty of \$500, pursuant to Section 20-104(e)(1) of the New York City Administrative Code. This rule also allows DCA to immediately suspend the license of any licensee that violates this rule, subject to a prompt post-suspension hearing, at which DCA may request further suspension or revocation of the license.

NOTICE IS HEREBY GIVEN PURSUANT TO THE AUTHORITY VESTED IN the Commissioner of Consumer Affairs by Sections 1043 and 2203(f) of the New York City Charter, and Sections 20-104(b) and 20-104(e) of the New York City Administrative Code, and in accordance with the requirements of Section 1043 of the New York City Charter, that the Department repeals Sections 3-111 through 3-131, Section 5-62, and Sections 5-211 through 5-216 of Title 6 of the Rules of the City of New York.

This rule was proposed and published on December 10, 2018. A public hearing was held on January 9, 2019.

Statement of Basis and Purpose of Rule

The Department of Consumer Affairs ("DCA") performs approximately 70,000 inspections in New York City and processes approximately 105,000 customers at its licensing centers each year. Recently, DCA staff members have experienced incidents of harassing and menacing

behavior while performing duties for DCA. Some of this behavior required the engagement of the New York City Police Department, and some resulted in individuals being arrested or banned from doing business with DCA. These incidents negatively impact DCA's ability to perform its legal mandates, including, among other things, licensing and inspecting businesses. These incidents are also wasteful of taxpayer dollars, as time must be diverted from DCA's work to address them.

DCA is promulgating a new rule, Section 1-21 in Chapter 1 of Title 6 of the Rules of the City of New York, that makes it a violation to assault, menace, unlawfully imprison, or harass, or attempt to assault, menace, unlawfully imprison, or harass, any DCA employee. A violation of this rule results in a penalty of \$500 pursuant to Section 20-104(e)(1) of the New York City Administrative Code, as well as the immediate suspension of any DCA license, subject to a prompt post-suspension hearing, at which DCA may request further suspension or revocation of the license.

Finally, this proposed rule amends the License Enforcement Penalty Schedule in Section 6-11 of Chapter 6 of Title 6 of the Rules of the City of New York to add an entry for violations of the proposed Section 1-21.

New material is underlined.
[Deleted material is in brackets.]

"Shall" and "must" denote mandatory requirements and may be used interchangeably in the rules of this department, unless otherwise specified or unless the context clearly indicates otherwise.

Rule Amendment

Section 1. Chapter 1 of Title 6 of the Rules of the City of New York is amended by adding the following section:

§ 1-21 Injurious Conduct by Licensees.

- (a) No licensee, or employee or agent of a licensee, shall assault, menace, unlawfully imprison, or harass, or attempt to assault, menace, unlawfully imprison, or harass, any employee of the Department engaged in carrying out any duty for the Department.
- (b) In addition to any of the powers that may be exercised by the commissioner pursuant to any other provision of law or rule, upon the issuance of a summons alleging a violation of subdivision (a) by a licensee, or employee or agent of a licensee, the commissioner may suspend any license held by the licensee, subject to a prompt post-suspension hearing held no more than 7 business days after the suspension.
- (c) At the post-suspension hearing prescribed by subdivision (b) of this section, the Department may request continued suspension or revocation of any license held by the licensee.
- (d) As used in this section, the following terms shall be defined as follows:
 - (1) "Assault" shall mean to intentionally or recklessly cause physical injury to another person.
 - (2) "Menace" shall mean to intentionally place another person in reasonable fear of physical injury.
 - (3) "Unlawfully imprison" shall mean to restrict a person's movements intentionally and unlawfully in such manner as to interfere substantially with his or her liberty by moving him or her from one place to another, or by confining him or her either in the place where the restriction commences or in a place to which he or she has been moved, without consent and with knowledge that the restriction is unlawful. A person is so moved or confined "without consent" when such is accomplished by physical force, intimidation or deception.
 - (4) "Harass" shall mean to intentionally and repeatedly harass another person by following such person in or about a public place or places or by engaging in a course of conduct or by repeatedly committing acts which places such person in reasonable fear of physical injury.

§ 2. Section 6-11 of Chapter 6 of Title 6 of the Rules of the City of New York is amended as follows:

§ 6-11 License Enforcement Penalty Schedule.

Citation	Violation Description	First Violation	First Default	Second Violation	Second Default	Third and Subsequent Violation	Third and Subsequent Default
6 RCNY § 1-21	Injurious conduct committed by a licensee	\$500	\$500	\$500	\$500	\$500	\$500

HOUSING PRESERVATION AND DEVELOPMENT

■ NOTICE

Notice of Public Hearing and Opportunity to Comment on Proposed Rules

What are we proposing? The Department of Housing Preservation and Development ("HPD") is proposing amendments to Chapter 3 of Title 28 of the Rules of the City of New York, which governs City-aided limited profit housing company developments (also known as Mitchell-Lama developments). The proposed amendments revise and clarify many aspects of such housing companies, including admissions limitations and priorities, status of shares and other value associated with a vacated apartment, contract review and approval, board of director elections and dissolution and/or reconstitution.

When and where is the Hearing? HPD will hold a public hearing on the proposed rule. The public hearing will take place from 3:00 P.M. to 5:00 P.M., on Wednesday, March 27, 2019. The hearing will be in HPD's offices at 100 Gold Street, 1st Floor, Room 1-R New York, NY 10038.

The location has the following accessibility options available: The building and the hearing room are wheelchair accessible.

How do I comment on the proposed rules? Anyone can comment on the proposed rules by:

- **Website.** You can submit comments to HPD through the NYC rules Web site at <http://rules.cityofnewyork.us>.
- **Email.** You can email comments to rules@hpd.nyc.gov.
- **Mail.** You can mail comments to Julie C. Walpert, Assistant Commissioner for Housing Supervision, 100 Gold Street, Room 7L2, New York, NY 10038.
- **Fax.** You can fax comments to HPD, (212) 863-5048.
- **By Speaking at the Hearing.** You can speak at the public hearing. Anyone who wants to comment on the proposed rule at the public hearing must sign up to speak. You can sign up before the hearing by calling (212) 863-6500. You can also sign up in the hearing room before the hearing begins on March 27, 2019. You can speak for up to three minutes.

Is there a deadline to submit comments? All written comments must be submitted on or before March 27, 2019.

What if I need assistance to participate in the Hearing? If you need a sign language interpreter or other reasonable accommodation of a disability at the hearing, you must tell us no later than March 18, 2019 either by email at accessibility@hpd.nyc.gov, by telephone, at (212) 863-6500, or by mail at the address given above.

Can I review the comments made on the proposed rules? You can review the comments made online on the proposed rules by going to the website at <http://rules.cityofnewyork.us/>. A few days after the hearing, copies of all comments submitted online, copies of all written comments, and an audiotape of oral comments concerning the proposed rule will be available to the public from 10:00 A.M. to 4:00 P.M., Monday through Friday, in the 7th Floor Conference Room, at HPD.

What authorizes HPD to make this rule? Sections 1043 and 1802 of the City Charter and subdivision (3) of Section 32 of the Private Housing Finance Law authorize HPD to make these proposed rules. The proposed rules were included in HPD's regulatory agenda.

Where can I find the HPD rules? The HPD rules are in title 28 of the Rules of the City of New York.

What rules govern the rulemaking process? HPD must meet the requirements of Section 1043 of the City Charter when creating or changing rules. This notice is made according to the requirements of Section 1043 of the City Charter.

Statement of Basis and Purpose of Proposed Rule

The proposed rule amendments to Chapter 3 of Title 28 of the Rules of the City of New York revise and clarify many aspects of Mitchell-Lama developments, including admissions limitations and priorities, status of shares and other value associated with a vacated apartment, contract review and approval, board of director elections and dissolution and/or reconstitution.

Specifically, the proposed rule amendments:

- Update the marketing requirements for reopened waiting lists using New York City Housing Connect/Mitchell-Lama Connect lottery systems, and specify which types of violations may result in removing an applicant from such waiting lists,
- Limit how long an application may be put on hold to twelve months, and specify that no applicant can obtain more than one such hold while he or she remains on the waiting list,

- Specify that current tenant/cooperators will always be given priority to move to a smaller unit, but that current tenant/cooperators will now only get priority for the first three out of every four apartments that become available for moving to a larger unit,
- Prohibit lateral transfers as well as occupancy requirement waivers for other than medical reasons, and clarify what happens to the shares and other value assigned to an apartment once the tenant/cooperator of record permanently vacates,
- Provide that for establishing primary residency, a New York City Resident Tax return must be filed from the subject apartment for each year of residency,
- Clarify the procedures for approval of contracts entered into by Mitchell-Lama housing companies, both initial contracts and renewals, and specify which contracts require at least three competitive bids,
- Add a requirement that the board of directors of a mutual housing company discuss the rationale for a requested increase to rent and carrying charges with the tenant/cooperators prior to any hearing,
- Prohibit individuals convicted for crimes involving theft from serving on a mutual housing company's board of directors,
- Require the housing company to submit, at least sixty days in advance of a board of directors election, the proposed independent election company or other election monitor, the written director nomination and election procedures, and drafts of any other election documents,
- With respect to the dissolution and/or reconstitution of Mitchell-Lama housing companies, increase the requirement from a majority to two-thirds of the dwelling units to approve the proposed expenditure of funds for the preparation of a mutual housing company's feasibility study, and also expressly require that such study include financial estimates comparing privatization with conversion to an Article XI housing development fund company development. Special meetings required for the expenditure of the funds to conduct a feasibility study also will now need independent election company monitors and approved procedures, and
- Clarify the obligation of managing agents to advise HPD of violations of the Mitchell-Lama rules attempted or carried out on behalf of the housing company and its employees or directors.

New material is underlined
[Deleted material is bracketed]

Section one. Subparagraph (ii) of paragraph (8) and paragraph (13) of subdivision (h) of Section 3-02 of Chapter 3 of Title 28 of the Rules of the City of New York are amended, and a new paragraph (14) is added to such subdivision (h), to read as follows:

(ii) The opening and closing of all waiting lists shall be subject to prior written approval of HPD. [A housing company wishing to open a waiting list shall present HPD with a written proposal of its contemplated publicity efforts. The proposal shall require plans for the outreach to members of minority groups who would otherwise be unlikely to learn of these available housing opportunities. The plan shall include advertisement in at least two daily newspapers of general circulation and two publications known to have high readership amongst minorities, and shall contain language as set forth in subdivision (b) of this section. The plan shall be presented to HPD thirty days in advance of the projected date for commencement of advertising. Advertisements that do not meet the requirements of this chapter, including, but not limited to, receipt of HPD's prior approval, are deemed void. In such instances, the housing company shall be responsible for publishing a notice in at least two daily newspapers of general circulation stating that HPD has invalidated the prior advertisement. A housing company opening a closed waiting list shall select applicants by a lottery to be approved by HPD.] The lottery for the units that become available through the opening of a waiting list must be advertised through the New York City Housing Connect/ Mitchell-Lama Connect lottery system or any successor program administered by HPD to market vacant Mitchell-Lama units. Such lottery also must be advertised through advertisements that have been approved by HPD and published in at least two daily newspapers of general circulation and two publications known to have a high readership amongst minorities. Housing companies must thereafter select applicants from such the New York City Housing Connect/ Mitchell-Lama Connect or successor program lottery. When a list has sufficient names on it to last for three years, the list may be closed by HPD. Waiting lists for various size apartments may be closed at different times as the particular apartment-size list attains sufficient names.

(13) Notwithstanding anything to the contrary contained in this subdivision, an applicant on a waiting list for the lease of a dwelling

unit in a rental housing company development or the purchase of shares in a mutual housing company development who, while he or she is on such waiting list, either (i) occupies a dwelling unit in such development in violation of this chapter, including, but not limited to, through failing to be included on the income affidavit for such dwelling unit or through submitting IRS or New York State tax returns in conjunction with such applicant's application that reflect a different income than the income reported on such dwelling unit's income affidavit, or (ii) submits any material false, fraudulent or misleading statement, representation, documentation or other information in connection with an application, certification of eligibility or recertification of eligibility for any governmentally-provided affordable housing assistance or subsidy, shall be removed from such waiting list.

(14) Any applicant on an external waiting list may file a written request with the managing agent of a housing company, with a copy provided to HPD, that his or her application be put on hold for one year provided that (i) such written request is filed by the later of (A) at least thirty days in advance of the proposed commencement of such one year hold period or (B) no more than five business days after receiving an offer from such housing company, (ii) if such applicant does not notify the managing agent of such housing company in writing, with a copy provided to HPD, at least thirty days prior to the expiration of such one year hold period that he or she would like to remain on such external waiting list, such applicant shall not be reinstated to such external waiting list at the expiration of such one year hold period, and (iii) no applicant shall be entitled to request more than one such hold during the time period in which such applicant remains on the external waiting list.

§ 2. The first full paragraph of paragraph (1) of subdivision (i) of Section 3-02 of Chapter 3 of Title 28 of the Rules of the City of New York is amended to read as follows:

(1) First priority. Tenant/cooperators currently residing in a development whose household composition renders them eligible for a [larger or] smaller apartment shall be given first priority for an internal transfer. [First preference shall be given to tenant/cooperators who are moving to a smaller apartment.] Tenant/cooperators currently residing in a development whose household composition renders them eligible for a larger apartment and who also meet the income eligibility requirements for occupancy in such apartment, shall be given first priority for the first three out of every four apartments that become available and the fourth such apartment that becomes available shall be set aside and offered to an applicant on the external waiting list in accordance with the provisions contained in paragraph (3) of this subdivision. No priority shall be given to residents seeking additional apartments for members of their household, or for non-resident family members or any other parties. The housing company shall maintain an internal transfer list by apartment size, listed in chronological order by date of receipt of transfer request. If, at any time, a tenant/cooperator's name has been omitted from the internal transfer list in error, and said tenant/cooperator can present adequate documentation satisfactory to the housing company or its managing agent to substantiate an earlier request for a transfer, said tenant/cooperator's name shall be inserted into the internal list in the corrected date order. Insertions to the internal transfer list shall be submitted to HPD for prior written approval.

§ 3. Subdivision (j) of Section 3-02 of Chapter 3 of Title 28 of the Rules of the City of New York is amended to read as follows:

(j) Application fee for rentals and mutual housing companies. A rental or mutual housing company development may require an application fee of up to \$200 at the time of submission of an application for an apartment. Any deviation from this subdivision (j) requires prior written approval from HPD. Said application fee [is to] shall be returned in full without interest if the housing company rejects the application. The housing company may retain a reasonable portion of the application fee, not to exceed fifty dollars, for administrative costs if an applicant withdraws his or her application. If an apartment is offered to an applicant and the applicant does not accept the apartment, the housing company may remove the applicant from the waiting list and retain fifty dollars of the application fee. A housing company [may elect to] shall not offer an applicant an apartment [for a second or third time, but such additional offers are not mandatory] more than two times. If the applicant accepts the apartment, all of the application fee shall be retained by the housing company.

§ 4. Subparagraph (vii) of paragraph (1) and paragraph (2) of subdivision (m) of Section 3-02 of Chapter 3 of Title 28 of the Rules of the City of New York are amended to read as follows:

(vii) HPD may grant waivers of occupancy standards for medical reasons [or where there are no available applicants on the applicable waiting list and HPD has determined that it is in the housing company's best interests to fill a specific vacancy by offering the vacant apartment to an applicant from a waiting list for an apartment of a different size].

(2) [Priority] Except as otherwise provided by paragraph (1) of subdivision (i) of this section, priority shall be given to internal transfers in the offering of all vacant apartments. However, no tenant/

cooperator currently residing in a development shall be permitted to transfer to an apartment in such development that is the same size as the one such tenant/cooperator currently occupies.

§ 5. Subparagraph (iv) of paragraph (4) of subdivision (n) of Section 3-02 of Chapter 3 of Title 28 of the Rules of the City of New York is amended to read as follows:

(iv) spent less than an aggregate of one hundred eighty-three days in the preceding calendar year in the City at such dwelling unit (unless such individual is in active service in the armed forces of the United States or took occupancy at such dwelling unit during the preceding calendar year). However, no dwelling unit may be considered the primary residence of the tenant/cooperator unless the tenant/cooperator's name is listed on income documentation that must be sent by the tenant/cooperator to the Department or to any other governmental agencies (for example: income affidavits, re-certifications or Section 8 forms) for the most recent preceding year for which such documentation was required. No dwelling unit may be considered the primary residence of the tenant/cooperator unless the tenant/cooperator provides proof that he or she either filed a New York City Resident Income Tax return at the claimed primary residence for [the most recent preceding taxable year] each year of residency for which such return should have been filed or that the tenant/cooperator was not legally obligated to file such tax return pursuant to § 1705(b)(1)(A) and § 1751(a) of the Administrative Code due to residency in a foreign country or pursuant to § 11-1751(a) of the Administrative Code and § 6-01 of the Tax Law because the tenant/cooperator's income for such year was below that required for the filing of a return or pursuant to § 893 or 894 of the Internal Revenue Code due to employment by a foreign government or international organization or due to any treaty obligation of the United States which applies to such taxpayer. The tenant/cooperator whose residency is being questioned will be obligated to provide proof that his or her apartment is his or her primary place of residence, including, but not limited to certified New York State income tax returns, utility bills, and voter registration data.

§ 6. Paragraph (6) of subdivision (p) of Section 3-02 of Chapter 3 of Title 28 of the Rules of the City of New York is amended to read as follows:

(6) The housing company shall secure credible evidence of the tenant/cooperator's permanent removal from the apartment and the surrender of the apartment or the tenant/cooperator's written declaration to vacate the apartment prior to the consideration of re-letting or succession to the apartment by a family member.

(i) Where a tenant/cooperator has died, the lease and shares of stock for such decedent's apartment shall be surrendered by the decedent's estate or survivors [for redemption] to the housing company. [The housing company, upon written request received from any member of such deceased tenant/cooperator's family who has resided with the deceased tenant/cooperator]

(i-1) When the member of a tenant/cooperator's family residing in the apartment as a primary residence as set forth in paragraph (3) of this subdivision is granted succession rights, the housing company shall [sell or] transfer the shares, other value assigned to the apartment and/or the lease to said family member. When there is no succession claim or a claimant is denied succession rights, the housing company, upon the request of the legally recognized estate of the deceased tenant/cooperator, shall remit the value of the shares and other value assigned to such decedent's apartment, less any charges against such shares and other value that are permitted by this chapter, to such estate.

(ii) [In the event that] If there is a legal dispute or claim involving [the rightful ownership of the stock] who is rightfully entitled to the value of the shares, mortgage amortization and capital assessment contributions assigned to an apartment in a mutual housing company, [pending a determination thereof by an appropriate tribunal or court of law], such legal dispute or claim shall not affect the rights of such family members as set forth in paragraph (3) of this subdivision [shall continue to be permitted to reside in the apartment].

(iii) If [the appropriate tribunal or] a court of law [shall] determines that someone other than such family members as set forth in paragraph (3) of this subdivision is entitled to the [ownership of the stock then, upon presentation of a court order or other valid evidence, such new owner shall be permitted solely to surrender the stock to the housing company for redemption pursuant to the applicable provisions of the Private Housing Finance Law. In such event, such family members in occupancy as set forth in paragraph (3) of this subdivision shall be afforded a reasonable opportunity to purchase the stock from the housing company for the price authorized pursuant to the Private Housing Finance Law and § 3-06 of this chapter]value of the shares, mortgage amortization and capital assessment contributions assigned to the apartment, such matter shall be resolved between such party and such successor family members without recourse to the housing company.

§ 7. Paragraphs (2) and (7) of subdivision (b) of Section 3-07 of Chapter 3 of Title 28 of the Rules of the City of New York are amended to read as follows:

(2) Contracts for building services, repairs, replacements, redecorating or improvements and supplies shall be let on the basis of lowest cost compatible with quality of performance, material and workmanship. In addition, any contract for over 100,000 also must be let on the basis of no less than three competitive bids], according to the following schedule:

Contracts over \$100,000] and shall be submitted for HPD written approval. The housing company's submission shall include the three bids plus a contract executed by the successful bidder as well as the other documents as set forth below.

Notwithstanding the foregoing, HPD reserves the right to require any individual housing company to submit for approval any or all contracts over \$5,000.

In the case of a mutual housing company, the submission shall be accompanied by

(i) a certified copy of Resolution of the housing company's Board of Directors acknowledged by the Secretary of the Corporation, approving the contract, bearing the housing company's corporate seal and

(ii) the housing company's attorney's certification that the proposed contract is in compliance with the rules of HPD.

In the case of a rental development, the president or managing general partner of the housing company or his or her duly authorized designee must sign the contract.

The following language shall be included in all contracts for building services, repairs, replacements, redecorating and improvements: "Material, equipment and workmanship shall be subject to the inspection and approval of HPD or its duly authorized agent at the discretion of HPD during the progress of the work and before final payment is made on the contract."

Every contract subject to HPD approval shall contain the following language: "This agreement is subject to written approval by HPD. No work shall commence until this agreement is approved by HPD."

(7) All contracts for building services or maintenance of buildings equipment on an annual or time basis that require HPD approval pursuant to paragraph two of this subdivision shall be submitted to HPD for written approval before execution by the housing company, and prior to expiration of the previous contract, if any. Where a contract does not provide for automatic renewal and the amount of the contract is to increase upon the renewal thereof, [a new] the renewal contract must be submitted for approval to HPD at least thirty (30) days prior to expiration of the existing contract. All such renewal contracts for building services or maintenance of buildings equipment shall provide that they are subject to termination without cause upon thirty (30) days written notice by the housing company or upon ten (10) days written notice by HPD, and immediately upon notification by the housing company or HPD that the contractor has materially breached his or her contract. After termination, no amounts shall be owed except for work actually completed.

§ 8. Paragraph (1) of subdivision (c) of Section 3-07 of Chapter 3 of Title 28 of the Rules of the City of New York is amended to read as follows:

(1) All contracts and retainer agreements with attorneys and accountants shall be subject to the prior written approval of HPD and to termination without cause by HPD or the housing company upon thirty (30) days written notice and immediately by written notice by the housing company or HPD if there has been a material breach of contract. After termination, no amounts shall be owed except for work actually completed. Managing agent contracts are subject to §3-16 of these rules.

§ 9. Paragraph (1) of subdivision (b) of Section 3-10 of Chapter 3 of Title 28 of the Rules of the City of New York is amended to read as follows:

(1) [Before] HPD shall hold a public hearing before acting upon any application or motion for an increase in the maximum rental/ carrying charges per room to be charged tenant/cooperators of dwellings where HPD is the supervising agency under the provisions of the Private Housing Finance Law, a public hearing shall be held]. Said hearing shall be held upon not less than thirty (30) days notice to the tenant/cooperators, provided, however, that with respect to a mutual housing company, the board of directors thereof must hold an informational meeting with the tenant/cooperators prior to any such hearing to discuss the reasons for the rental/carrying charges increase request. Such notice shall have annexed [there]to it a copy of the application or motion for increase in rental/carrying charges and shall set forth the facts upon which the application or motion is based. A development assisted by a Federal Section 236 contract must also comply with Federal rent/carrying charge increase requirements.

§ 10. Subdivision (d) of Section 3-14 of Chapter 3 of Title 28 of the Rules of the City of New York is amended by adding a new paragraph

(9), and paragraph (3) of subdivision (g) of such Section 3-14 is amended, to read as follows:

(9) No person shall be allowed to serve on the board of directors or as an officer of a mutual housing company if such person has been convicted of a crime involving theft.

(3) shall accept any valuable gift, whether in the form of service, employment, loan, thing or promise, or any other form from any person, firm or corporation which to his or her knowledge, is interested directly or indirectly, in any manner whatsoever, in business dealings with the mutual housing company, its managing agent or any affiliates thereof.

§ 11. Paragraph (2) of subdivision (h) of Section 3-14 of Chapter 3 of Title 28 of the Rules of the City of New York is amended to read as follows:

(2) (i) All elections of directors for a mutual housing company that has not been refinanced under Section 223(f) of the National Housing Act must be supervised by an independent election company or the mutual housing company's attorney and/or accountant. [Prior] No fewer than sixty (60) days prior to conducting the election, the mutual housing company must [notify] submit to HPD in writing [of] (A) the name of the independent election company and the proposed independent election company agreement, or [the alternate supervisor of] ,alternatively, the name of the housing company's attorney and/or accountant who will be supervising the election.(B) a written description of the procedures for the nomination of directors and [of] for the intended election [procedures], and (C) drafts of all other documents related to the election.

(ii) [A mutual housing company may request a waiver from the requirements of subparagraph (i) of paragraph two of this subdivision by making a written submission at least sixty days prior to the election of directions to the Assistant Commissioner of Housing Supervision.]

(iii) When the cost of an independent election company meets the dollar threshold, the contract between the independent election company and the mutual housing company will require HPD's approval in accordance with Section 3-07 of this chapter. No election may be conducted without the prior written approval of HPD of the submission made pursuant to subparagraph (i) of this paragraph.

§ 12. Paragraph (6) and subparagraph (ii) of paragraph (7-a) of subdivision (i) of Section 3-14 of Chapter 3 of Title 28 of the Rules of the City of New York are amended to read as follows:

(6) Mutual Housing companies - special meeting. A board of directors of a mutual housing company considering dissolution and/or reconstitution pursuant to §35 shall call a special meeting in conformance with the mutual housing company by-law requirements for the purpose of ascertaining shareholder interest in dissolution and/or reconstitution. The secretary of the board of directors shall submit to HPD a certified resolution stating that not less than [a majority] two-thirds (2/3) of the dwelling units [represented at such special meeting] in such mutual housing company approved an expenditure of funds in a specified amount not to exceed \$100,000 for the purpose of the preparation of a written feasibility study that will be distributed to each shareholder no later than sixty days after the preparation of such written feasibility study is completed, unless the by-laws of the company mandate a greater affirmative vote. Each dwelling unit shall be entitled to one vote regardless of the number of shares allocated to such dwelling unit, the number of shareholders holding such shares, or the provisions regarding voting in such mutual housing company's certificate of incorporation or by-laws. Said resolution shall include language as follows:

"This resolution authorizes the board of directors to take steps necessary to prepare a written feasibility study investigating dissolution and/or reconstitution that will be distributed to each shareholder no later than sixty days after the preparation of such written feasibility study is completed. This resolution authorizes the expenditure of \$_____ for such study, and notifies the shareholders that there are Private Housing Finance Law requirements for dissolution and/or reconstitution. This resolution also advises the shareholders that any additional expenditure of funds for such study will require a separate shareholder approval in accordance with the same voting procedures and cannot exceed \$100,000 at any one time, and that the New York State Department of Law requirements must be met prior to actual dissolution and/or reconstitution."

A certified copy of the resolution shall be submitted to HPD within seven (7) business days after such vote. Expenditure of funds authorized above shall require prior written approval of HPD.

The feasibility study prepared in accordance with such resolution shall investigate dissolution and/or reconstitution and shall include, but not be limited to:

(i) a physical condition survey of the mutual housing company development prepared by a licensed engineer or architect projecting such development's capital needs and the costs thereof for the next ten years from the date of such survey;

(ii) projected increases in real property taxes for the next five years due to the loss of any abatements of and/or exemptions from real property taxation that would result from dissolution and/or reconstitution;

(iii) advisory estimates from State and City taxing authorities of the real estate and real property transfer taxes that would result from dissolution and/or reconstitution; [and]

(iv) a market study prepared by an independent real estate professional containing projected sales prices for dwelling units if such mutual housing company were to dissolve and/or reconstitute[.];and

(v) financial estimates for reconstitution as a housing development fund company organized pursuant to Article XI of the Private Housing Finance Law in accordance with the provisions of paragraph (15) of this subdivision in comparison with the financial estimates for reconstitution as a business corporation.

(ii) Special meetings required pursuant to paragraphs six, six-a, seven and fifteen of this subdivision shall be conducted by an independent election company. At least sixty days prior to conducting such special meetings, the mutual housing company must notify HPD in writing of the name of the independent election company, and of the intended special meeting procedures, and HPD must issue its approval in writing of such independent election company and of the intended special meeting procedures before such special meeting can take place.

§ 13. Paragraphs 16 and 17 of subdivision (e) of Section 3-16 of Chapter 3 of Title 28 of the Rules of the City of New York are amended, and a new paragraph 18 is added to such subdivision (e), to read as follows:

(16) receive, record and respond to all service requests made by tenants in a timely manner; [and]

(17) carry out such other duties and responsibilities as may be stipulated by the housing company or HPD and as may be included in the management agreement[.] ; and

(18) Advise HPD of violations of these rules attempted or carried out on behalf of the housing company, its employees, any person or entity or employee of an entity doing or seeking to do business with the housing company or by members of the Board of Directors of the housing company.

Commissioner Maria Torres-Springer
February 15, 2019

**NEW YORK CITY LAW DEPARTMENT
DIVISION OF LEGAL COUNSEL
100 CHURCH STREET
NEW YORK, NY 10007
(212) 356-4028**

**CERTIFICATION PURSUANT TO
CHARTER §1043(d)**

RULE TITLE: Amendment of Rules Governing Mitchell-Lama Developments

REFERENCE NUMBER: 2018 RG 105

RULEMAKING AGENCY: Department of Housing Preservation and Development

I certify that this office has reviewed the above-referenced proposed rule as required by Section 1043(d) of the New York City Charter, and that the above-referenced proposed rule:

- (i) is drafted so as to accomplish the purpose of the authorizing provisions of law;
- (ii) is not in conflict with other applicable rules;
- (iii) to the extent practicable and appropriate, is narrowly drawn to achieve its stated purpose; and
- (iv) to the extent practicable and appropriate, contains a statement of basis and purpose that provides a clear explanation of the rule and the requirements imposed by the rule.

/s/ STEVEN GOULDEN
Acting Corporation Counsel

Date: December 19, 2018

**NEW YORK CITY MAYOR'S OFFICE OF OPERATIONS
253 BROADWAY, 10th FLOOR
NEW YORK, NY 10007
(212) 788-1400**

**CERTIFICATION/ANALYSIS
PURSUANT TO CHARTER SECTION 1043(d)**

RULE TITLE: Amendment of Rules Governing Mitchell-Lama Developments

REFERENCE NUMBER: HPD-59

RULEMAKING AGENCY: Department of Housing Preservation and Development

I certify that this office has analyzed the proposed rule referenced above as required by Section 1043(d) of the New York City Charter, and that the proposed rule referenced above:

- (i) Is understandable and written in plain language for the discrete regulated community or communities;
- (ii) Minimizes compliance costs for the discrete regulated community or communities consistent with achieving the stated purpose of the rule; and

(iii) Does not provide a cure period because it does not establish a violation, modification of a violation, or modification of the penalties associated with a violation.

/s/ Francisco X. Navarro
Mayor's Office of Operations

December 19, 2018
Date

Accessibility questions: accessibility@hpd.nyc.gov, (212) 863-6500, by: Monday, March 18, 2019, 5:00 P.M.



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SPECIAL MATERIALS

CITYWIDE ADMINISTRATIVE SERVICES

■ NOTICE

OFFICIAL FUEL PRICE (\$) SCHEDULE NO. 8284
FUEL OIL AND KEROSENE

CONTR. NO.	ITEM NO.	FUEL/OIL TYPE	DELIVERY	VENDOR	CHANGE (\$)	PRICE (\$) EFF. 2/11/2019
3687331	1.0	#2DULS	CITYWIDE BY TW	SPRAGUE	.0212 GAL.	2.1108 GAL.
3687331	2.0	#2DULS	PICK-UP	SPRAGUE	.0212 GAL.	2.0061 GAL.
3687331	3.0	#2DULS WINTERIZED	CITYWIDE BY TW	SPRAGUE	.0212 GAL.	2.3091 GAL.
3687331	4.0	#2DULS WINTERIZED	PICK-UP	SPRAGUE	.0212 GAL.	2.2043 GAL.
3687331	5.0	#1DULS	CITYWIDE BY TW	SPRAGUE	.0240 GAL.	2.4365 GAL.
3687331	6.0	#1DULS	PICK-UP	SPRAGUE	.0240 GAL.	2.3317 GAL.
3687331	7.0	#2DULS >=80%	CITYWIDE BY TW	SPRAGUE	.0212 GAL.	2.1386 GAL.
3687331	8.0	#2DULS WINTERIZED	CITYWIDE BY TW	SPRAGUE	.0212 GAL.	2.4296 GAL.
3687331	9.0	B100 B100<=20%	CITYWIDE BY TW	SPRAGUE	-.0395 GAL.	2.6046 GAL.
3687331	10.0	#2DULS >=80%	PICK-UP	SPRAGUE	.0212 GAL.	2.0338 GAL.
3687331	11.0	#2DULS WINTERIZED	PICK-UP	SPRAGUE	.0212 GAL.	2.3248 GAL.
3687331	12.0	B100 B100 <=20%	PICK-UP	SPRAGUE	-.0395 GAL.	2.4998 GAL.
3687331	13.0	#1DULS >=80%	CITYWIDE BY TW	SPRAGUE	.0240 GAL.	2.4461 GAL.
3687331	14.0	B100 B100 <=20%	CITYWIDE BY TW	SPRAGUE	-.0395 GAL.	2.6135 GAL.
3687331	15.0	#1DULS >=80%	PICK-UP	SPRAGUE	.0240 GAL.	2.3413 GAL.
3687331	16.0	B100 B100 <=20%	PICK-UP	SPRAGUE	-.0395 GAL.	2.5087 GAL.
3687331	17.0	#2DULS	BARGE MTF III & ST. WI	SPRAGUE	.0212 GAL.	2.0714 GAL.
3687192	1.0	Jet	FLOYD BENNETT	SPRAGUE	.0212 GAL.	2.4080 GAL.
3587289	2.0	#4B5	MANHATTAN	UNITED METRO	.0179 GAL.	2.7801 GAL.
3587289	5.0	#4B5	BRONX	UNITED METRO	.0268 GAL.	2.1492 GAL.
3587289	8.0	#4B5	BROOKLYN	UNITED METRO	.0268 GAL.	2.1480 GAL.
3587289	11.0	#4B5	QUEENS	UNITED METRO	.0268 GAL.	2.1422 GAL.
3587289	14.0	#4B5	RICHMOND	UNITED METRO	.0268 GAL.	2.1475 GAL.
3687007	1.0	#2B5	MANHATTAN	SPRAGUE	.0268 GAL.	2.2329 GAL.
3687007	4.0	#2B5	BRONX	SPRAGUE	.0182 GAL.	2.0513 GAL.
3687007	7.0	#2B5	BROOKLYN	SPRAGUE	.0182 GAL.	2.0403 GAL.
3687007	10.0	#2B5	QUEENS	SPRAGUE	.0182 GAL.	2.0570 GAL.
3687007	13.0	#2B5	RICHMOND	SPRAGUE	.0182 GAL.	2.0532 GAL.
3687007		#2B5	RACK PICK-UP	SPRAGUE	.0182 GAL.	2.2176 GAL.
3687007	16.0	#2B10	CITYWIDE BY TW	SPRAGUE	.0182 GAL.	1.9790 GAL.
3687007	17.0	#2B20	CITYWIDE BY TW	SPRAGUE	.0151 GAL.	2.2187 GAL.
3787198	18.0	#2DULS	CITYWIDE BY TW	SPRAGUE	.0091 GAL.	2.2581 GAL.
3787198	19.0	B100	CITYWIDE BY TW	SPRAGUE	.0212 GAL.	2.3210 GAL.
3787198	20.0	#2DULS	PICK-UP	SPRAGUE	-.0395 GAL.	3.0091 GAL.
3787198	21.0	B100	PICK-UP	SPRAGUE	.0212 GAL.	2.1663 GAL.

NOTE:

3687331	#2DULSB5	95% ITEM 8.0 & 5% ITEM 9.0	CITYWIDE BY TW	SPRAGUE	.0182 GAL.	2.4384 GAL.
3687331	#2DULSB10	90% ITEM 8.0 & 10% ITEM 9.0	CITYWIDE BY TW	SPRAGUE	.0151 GAL.	2.4471 GAL.

3687331	#2DULSB20	80% ITEM 8.0 & 20% ITEM 9.0	CITYWIDE BY TW	SPRAGUE	.0091 GAL.	2.4646 GAL.
3687331	#2DULSB5	95% ITEM 11.0 & 5% ITEM 12.0	P/U	SPRAGUE	.0182 GAL.	2.3336 GAL.
3687331	#2DULSB10	90% ITEM 11.0 & 10% ITEM 12.0	P/U	SPRAGUE	.0151 GAL.	2.3423 GAL.
3687331	#2DULSB20	80% ITEM 11.0 & 20% ITEM 12.0	P/U	SPRAGUE	.0091 GAL.	2.3598 GAL.
3687331	#1DULSB20	80% ITEM 13.0 & 20% ITEM 14.0	CITYWIDE BY TW	SPRAGUE	.0113 GAL.	2.4796 GAL.
3687331	#1DULSB20	80% ITEM 15.0 & 20% ITEM 16.0	PICK-UP	SPRAGUE	.0113 GAL.	2.3748 GAL.
3787198	#2DULSB50	50% ITEM 18.0 & 50% ITEM 19.0	CITYWIDE BY TW	SPRAGUE	-.0091 GAL.	2.6651 GAL.
3787198	#2DULSB50	50% ITEM 20.0 & 50% ITEM 21.0	PICK-UP	SPRAGUE	-.0091 GAL.	2.5104 GAL.

**OFFICIAL FUEL PRICE (\$) SCHEDULE NO. 8285
FUEL OIL, PRIME AND START**

CONTR. NO.	ITEM NO.	FUEL/OIL TYPE	DELIVERY	VENDOR	CHANGE (\$)	PRICE (\$) EFF. 2/11/2019
3787250	1.0	#2B5	ERP - CITYWIDE	PACIFIC ENERGY	.0182 GAL	2.1091 GAL.

**OFFICIAL FUEL PRICE (\$) SCHEDULE NO. 8286
FUEL OIL AND REPAIRS**

CONTR. NO.	ITEM NO.	FUEL/OIL TYPE	DELIVERY	VENDOR	CHANGE (\$)	PRICE (\$) EFF. 2/11/2019
3787250	1.0	#2B5	CITYWIDE BY TW	PACIFIC ENERGY	.0182 GAL	2.1091 GAL.
3787250	2.0	#4B5	CITYWIDE BY TW	PACIFIC ENERGY	.0268 GAL	2.0658 GAL.

**OFFICIAL FUEL PRICE (\$) SCHEDULE NO. 8287
GASOLINE**

CONTR. NO.	ITEM NO.	FUEL/OIL TYPE	DELIVERY	VENDOR	CHANGE (\$)	PRICE (\$) EFF. 2/11/2019
3787120	1.0	Reg UL	CITYWIDE BY TW	GLOBAL MONTELLO	.0605 GAL	1.5595 GAL.
3787120	2.0	Prem UL	CITYWIDE BY TW	GLOBAL MONTELLO	.0670 GAL	1.6954 GAL.
3787120	3.0	Reg UL	PICK-UP	GLOBAL MONTELLO	.0605 GAL	1.4945 GAL.
3787120	4.0	Prem UL	PICK-UP	GLOBAL MONTELLO	.0670 GAL	1.6304 GAL.
3787121	6.0	E70 (Winter)	CITYWIDE BY DELIVERY	UNITED METRO	.0198 GAL	1.8621 GAL.

NOTE:

- As of February 9, 2018, the Bio-Diesel Blender Tax Credit was retroactively reinstated for calendar year 2017. Should the tax credit be further extended, contractors will resume deducting the tax credit as a separate line item on invoices.
- Federal excise taxes are imposed on taxable fuels, (i.e., gasoline, kerosene, and diesel), when removed from a taxable fuel terminal. This fuel excise tax does not include Leaking Underground Storage Tank (LUST) tax. LUST tax applies to motor fuels for both diesel and gasoline invoices. Going forward, LUST Tax will appear as an additional fee at the rate of \$0.001 per gallon and will be shown as a separate line item on your invoice.
- The National Oilheat Research Alliance (NORA) resumed operations in 2014. A related assessment of \$.002 per gallon has been added to the posted weekly fuel prices and will appear as a separate line item on invoices. This fee applies to heating oil only and since 2015 has included #4 heating oil. NORA has been authorized through February 2019. All other terms and conditions remain unchanged.
- DCAS has registered contract #20181202926/3887214 for Renewable Hydrocarbon Diesel Demonstration Project. The following NYC agencies are authorized to participate: DCAS, DOT, DPR, DSNY, DEP. However, other agencies may participate with prior DCAS' approval.

REMINDER FOR ALL AGENCIES:

During the winter season, please ensure your fuel purchase orders are in place and your respective agency tops off their *interruption* and fuel tanks on a continuous basis.

All entities utilizing DCAS fuel contracts are reminded to pay their invoices **on time** to avoid interruption of service.

Please send inspection copy of receiving report for all gasoline (E70, UL & PREM) delivered by tank wagon to OCP/Bureau of Quality Assurance (BQA), 1 Centre Street, 18th Floor, New York, NY 10007.

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COMPTROLLER

■ NOTICE

NOTICE OF ADVANCE PAYMENT OF AWARDS, PURSUANT TO THE STATUTES IN SUCH cases made and provided, notice is hereby given that the Comptroller of the City of New York, will be ready to pay, at 1 Centre Street, Room 629, New York, NY 10007, 2/7/2019, to the person or persons legally entitled an amount as certified to the Comptroller by the Corporation Counsel on damage parcels, as follows:

Damage Parcel No.	Block	Lot
3	411	24
2	418	1

Acquired in the proceeding entitled: **GOWANUS CANAL SUPERFUND, PHASE I** subject to any liens and encumbrances of record on such property. The amount advanced shall cease to bear interest on the specified date above.

Scott M. Stringer
Comptroller

f7-21

HOUSING PRESERVATION AND DEVELOPMENT

■ NOTICE

**REQUEST FOR COMMENT
REGARDING AN APPLICATION FOR A
CERTIFICATION OF NO HARASSMENT**

Notice Date: February 15, 2019

To: Occupants, Former Occupants, and Other Interested Parties

Property: Address	Application #	Inquiry Period
27 West 11 th Street, Manhattan	12/19	January 3, 2016 to Present
14A Monroe Street, Manhattan	14/19	January 9, 2016 to Present
515 West 145 th Street, Manhattan	2/19	January 18, 2016 to Present
209 East 34 th Street, Manhattan	4/19	January 23, 2016 to Present

Authority: SRO, Administrative Code §27-2093

Before the Department of Buildings can issue a permit for the alteration or demolition of a single room occupancy multiple dwelling, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a specified time period. Harassment is conduct by an owner that is intended to cause, or does cause, residents to leave or otherwise surrender any of their legal occupancy rights. It can include, but is not limited to, failure to provide essential services (such as heat, water, gas, or electricity), illegally locking out building residents, starting frivolous lawsuits, and using threats or physical force.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at **CONH Unit, 100 Gold Street, 6th Floor, New York, NY 10038**, by letter postmarked not later than 30 days from the date of this notice or by an in-person statement made within the same period. To schedule an appointment for an in-person statement, please call (212) 863-5277 or (212) 863-8211.

• f15-26

**REQUEST FOR COMMENT
REGARDING AN APPLICATION FOR A
CERTIFICATION OF NO HARASSMENT**

Notice Date: February 15, 2019

To: Occupants, Former Occupants, and Other Interested Parties

Property: Address	Application #	Inquiry Period
435 West 48 th Street, Manhattan	1/19	January 4, 2004 to Present
359 West 46 th Street, Manhattan	3/19	January 22, 2004 to Present

Authority: Special Clinton District, Zoning Resolution §96-110

Before the Department of Buildings can issue a permit for the alteration or demolition of a multiple dwelling in certain areas designated in the Zoning Resolution, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a specified time period. Harassment is conduct by an owner that is intended to cause, or does cause, residents to leave or otherwise surrender any of their legal occupancy rights. It can include, but is not limited to, failure to provide essential services (such as heat, water, gas, or electricity), illegally locking out building residents, starting frivolous lawsuits, and using threats or physical force.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at **CONH Unit, 100 Gold Street, 6th Floor, New York, NY 10038**, by letter postmarked not later than 30 days from the date of this notice or by an in-person statement made within the same period. To schedule an appointment for an in-person statement, please call (212) 863-5277 or (212) 863-8211.

• f15-26

**REQUEST FOR COMMENT
REGARDING AN APPLICATION FOR A
CERTIFICATION OF NO HARASSMENT
PILOT PROGRAM**

Notice Date: February 15, 2019

To: Occupants, Former Occupants, and Other Interested Parties

Property: Address	Application #	Inquiry Period
24 Charles Street, Manhattan	11/19	January 2, 2014 to Present
864 Elton Street, Brooklyn a/k/a 841-843 Stanley Avenue	13/19	January 7, 2014 to Present
684 Flushing Avenue, Brooklyn	15/19	January 16, 2014 to Present

Authority: Pilot Program Administrative Code §27-2093.1, §28-505.3

Before the Department of Buildings can issue a permit for the alteration or demolition of a multiple dwelling on the Certification of No Harassment Pilot Program building list, the owner must obtain a "Certification of No Harassment" from the Department of Housing Preservation and Development ("HPD") stating that there has not been harassment of the building's lawful occupants during a specified time period. Harassment is conduct by an owner that is intended to cause, or does cause, residents to leave or otherwise surrender any of their legal occupancy rights. It can include, but is not limited to, failure to provide essential services (such as heat, water, gas, or electricity), illegally locking out building residents, starting frivolous lawsuits, and using threats or physical force.

The owner of the building identified above has applied for a Certification of No Harassment. If you have any comments or evidence of harassment at this building, please notify HPD at **CONH Unit, 100 Gold Street, 6th Floor, New York, NY 10038**, by letter postmarked not later than 45 days from the date of this notice or by an in-person statement made within the same period. To schedule an appointment for an in-person statement, please call (212) 863-5277 or (212) 863-8211.

• f15-26

MAYOR'S OFFICE OF CONTRACT SERVICES

■ NOTICE

Notice of Intent to Issue New Solicitation(s) Not Included in FY 2019 Annual Contracting Plan and Schedule

NOTICE IS HEREBY GIVEN that the Mayor will be issuing the following solicitation(s) not included in the FY 2019 Annual Contracting Plan and Schedule that is published, pursuant to New York City Charter § 312(a):

Agency: Department of Information Technology and Telecommunications
Description of services sought: Public Safety Logging and Recording Maintenance and Support
Start date of the proposed contract: 1/3/2020
End date of the proposed contract: 12/31/2024
Method of solicitation the agency intends to utilize: Negotiated Acquisition Extension
Personnel in substantially similar titles within agency: None
Headcount of personnel in substantially similar titles within agency: 0

Agency: Department of Design and Construction
Description of services sought: Design Services Taking of Land Borings for Highway Projects Citywide within the City of New York
Start date of the proposed contract: 5/1/2019
End date of the proposed contract: 6/30/2024
Method of solicitation the agency intends to utilize: RFP
Personnel in substantially similar titles within agency: Administrative Construction Project Manager, Assistant Architect, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Engineer Non-Manager (NM), Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Landmarks Preservationist, Administrative Construction Project Manager Non-Manager (NM), Assistant Civil Engineer, Associate Urban Designer, City Planner, Project Manager, Administrative Engineer, Civil Engineer, Civil Engineer Intern, Electrical Engineer, Assistant Electrical Engineer, Landscape Architect, Assistant Landscape Architect, Mechanical Engineer, Assistant Mechanical Engineer, Highways and Sewers Inspector
Headcount of personnel in substantially similar titles within agency: 576

Agency: Department of Design and Construction
 Description of services sought: Construction Management Taking of Land Borings for Highway Projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Assistant Mechanical Engineer, Assistant Landscape Architect, Mechanical Engineer, Civil Engineer, Project Manager
 Headcount of personnel in substantially similar titles within agency: 734

Agency: Department of Design and Construction
 Description of services sought: Resident Engineering Inspection Services Taking of Land Borings for Highway Projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Project Manager, Civil Engineer, Mechanical Engineer, Electrical Engineer, Assistant Mechanical Engineer, Assistant Electrical Engineer
 Headcount of personnel in substantially similar titles within agency: 736

Agency: Department of Design and Construction
 Description of services sought: Consultant Contract Administration: research, training, data analysis, and expert testimony, including services related to damages for delay claims, Taking of Land Borings for Highway Projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Construction Support Services: asbestos, boring, testing, monitoring, sampling, site safety, inspections and environmental, Taking of Land Borings for Highway Projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Safety Auditor, Safety Investigator
 Headcount of personnel in substantially similar titles within agency: 4

Agency: Department of Design and Construction
 Description of services sought: Contract Administration: fiscal audit, reconciliation of accounts, preparation of change orders, analyzing and finalizing financial transactions and contract close out, Taking of Land Borings for Highway Projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Construction Program Manager, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Design Services Taking of deep land

borings within five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Construction Project Manager, Assistant Architect, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Engineer Non-Manager (NM), Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Landmarks Preservationist, Administrative Construction Project Manager Non-Manager (NM), Assistant Civil Engineer, Associate Urban Designer, City Planner, Project Manager, Administrative Engineer, Civil Engineer, Civil Engineer Intern, Electrical Engineer, Assistant Electrical Engineer, Landscape Architect, Assistant Landscape Architect, Mechanical Engineer, Assistant Mechanical Engineer, Highways and Sewers Inspector
 Headcount of personnel in substantially similar titles within agency: 576

Agency: Department of Design and Construction
 Description of services sought: Construction Management Taking of deep land borings within five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Assistant Mechanical Engineer, Assistant Landscape Architect, Mechanical Engineer, Civil Engineer, Project Manager
 Headcount of personnel in substantially similar titles within agency: 734

Agency: Department of Design and Construction
 Description of services sought: Resident Engineering Inspection Services Taking of deep land borings within five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Project Manager, Civil Engineer, Mechanical Engineer, Electrical Engineer, Assistant Mechanical Engineer, Assistant Electrical Engineer
 Headcount of personnel in substantially similar titles within agency: 736

Agency: Department of Design and Construction
 Description of services sought: Consultant Contract Administration: research, training, data analysis, and expert testimony, including services related to damages for delay claims, Taking of deep land borings within five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Construction Support Services: asbestos, boring, testing, monitoring, sampling, site safety, inspections and environmental, Taking of deep land borings within five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Safety Auditor, Safety Investigator
 Headcount of personnel in substantially similar titles within agency: 4

Agency: Department of Design and Construction
 Description of services sought: Contract Administration: fiscal audit, reconciliation of accounts, preparation of change orders, analyzing and finalizing financial transactions and contract close out, Taking of deep land borings within five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Construction Program Manager, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Design Services Taking of land borings for sewer and watermain projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Construction Project Manager, Assistant Architect, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Engineer Non-Manager (NM), Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Landmarks Preservationist, Administrative Construction Project Manager Non-Manager (NM), Assistant Civil Engineer, Associate Urban Designer, City Planner, Project Manager, Administrative Engineer, Civil Engineer, Civil Engineer Intern, Electrical Engineer, Assistant Electrical Engineer, Landscape Architect, Assistant Landscape Architect, Mechanical Engineer, Assistant Mechanical Engineer, Highways and Sewers Inspector
 Headcount of personnel in substantially similar titles within agency: 576

Agency: Department of Design and Construction
 Description of services sought: Construction Management Taking of land borings for sewer and watermain projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Assistant Mechanical Engineer, Assistant Landscape Architect, Mechanical Engineer, Civil Engineer, Project Manager
 Headcount of personnel in substantially similar titles within agency: 734

Agency: Department of Design and Construction
 Description of services sought: Resident Engineering Inspection Services Taking of land borings for sewer and watermain projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Project Manager, Civil Engineer, Mechanical Engineer, Electrical Engineer, Assistant Mechanical Engineer, Assistant Electrical Engineer
 Headcount of personnel in substantially similar titles within agency: 736

Agency: Department of Design and Construction
 Description of services sought: Consultant Contract Administration: research, training, data analysis, and expert testimony, including services related to damages for delay claims, Taking of land borings for sewer and watermain projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Construction Support Services: asbestos, boring, testing, monitoring, sampling, site safety, inspections and environmental, Taking of land borings for sewer and watermain projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Safety Auditor, Safety Investigator
 Headcount of personnel in substantially similar titles within agency: 4

Agency: Department of Design and Construction
 Description of services sought: Contract Administration: fiscal audit, reconciliation of accounts, preparation of change orders, analyzing and finalizing financial transactions and contract close out, Taking of land borings for sewer and watermain projects Citywide within the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Construction Program Manager, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Design Services Air sampling, dust wipe sampling and laboratory testing services in conjunction with asbestos and lead abatement projects within the five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Construction Project Manager, Assistant Architect, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Engineer Non-Manager (NM), Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Landmarks Preservationist, Administrative Construction Project Manager Non-Manager (NM), Assistant Civil Engineer, Associate Urban Designer, City Planner, Project Manager, Administrative Engineer, Civil Engineer, Civil Engineer Intern, Electrical Engineer, Assistant Electrical Engineer, Landscape Architect, Assistant Landscape Architect, Mechanical Engineer, Assistant Mechanical Engineer, Highways and Sewers Inspector
 Headcount of personnel in substantially similar titles within agency: 576

Agency: Department of Design and Construction
 Description of services sought: Construction Management Air sampling, dust wipe sampling and laboratory testing services in conjunction with asbestos and lead abatement projects within the five boroughs of the City of New York
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Assistant Mechanical Engineer, Assistant Landscape Architect, Mechanical Engineer, Civil Engineer, Project Manager
 Headcount of personnel in substantially similar titles within agency: 734

Agency: Department of Design and Construction
 Description of services sought: Resident Engineering Inspection Services Air sampling, dust wipe sampling and laboratory testing services in conjunction with asbestos and lead abatement projects within the five boroughs of the City of New York

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Project Manager, Civil Engineer, Mechanical Engineer, Electrical Engineer, Assistant Mechanical Engineer, Assistant Electrical Engineer
 Headcount of personnel in substantially similar titles within agency: 736

Agency: Department of Design and Construction
 Description of services sought: Consultant Contract Administration: research, training, data analysis, and expert testimony, including services related to damages for delay claims, Air sampling, dust wipe sampling and laboratory testing services in conjunction with asbestos and lead abatement projects within the five boroughs of the City of New York

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Construction Support Services: asbestos, boring, testing, monitoring, sampling, site safety, inspections and environmental, Air sampling, dust wipe sampling and laboratory testing services in conjunction with asbestos and lead abatement projects within the five boroughs of the City of New York

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Safety Auditor, Safety Investigator
 Headcount of personnel in substantially similar titles within agency: 4

Agency: Department of Design and Construction
 Description of services sought: Contract Administration: fiscal audit, reconciliation of accounts, preparation of change orders, analyzing and finalizing financial transactions and contract close out, Air sampling, dust wipe sampling and laboratory testing services in conjunction with asbestos and lead abatement projects within the five boroughs of the City of New York

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Construction Program Manager, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Design Services Bulk sampling and laboratory testing in conjunction with asbestos and lead abatement and the assessment of mold within the five boroughs of New York City

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Construction Project Manager, Assistant Architect, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Engineer Non-Manager (NM), Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Landmarks Preservationist, Administrative Construction Project Manager Non-Manager (NM), Assistant Civil Engineer, Associate Urban Designer, City Planner, Project Manager, Administrative Engineer, Civil Engineer, Civil Engineer Intern, Electrical Engineer, Assistant Electrical Engineer, Landscape Architect, Assistant Landscape Architect, Mechanical Engineer, Assistant Mechanical Engineer, Highways and Sewers Inspector
 Headcount of personnel in substantially similar titles within agency: 576

Agency: Department of Design and Construction
 Description of services sought: Construction Management Bulk sampling and laboratory testing in conjunction with asbestos and lead abatement and the assessment of mold within the five boroughs of New York City

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Assistant Mechanical Engineer, Assistant Landscape Architect, Mechanical Engineer, Civil Engineer, Project Manager
 Headcount of personnel in substantially similar titles within agency: 734

Agency: Department of Design and Construction
 Description of services sought: Resident Engineering Inspection Services Bulk sampling and laboratory testing in conjunction with asbestos and lead abatement and the assessment of mold within the five boroughs of New York City

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Construction Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Project Manager, Civil Engineer, Mechanical Engineer, Electrical Engineer, Assistant Mechanical Engineer, Assistant Electrical Engineer
 Headcount of personnel in substantially similar titles within agency: 736

Agency: Department of Design and Construction
 Description of services sought: Consultant Contract Administration: research, training, data analysis, and expert testimony, including services related to damages for delay claims, Bulk sampling and laboratory testing in conjunction with asbestos and lead abatement and the assessment of mold within the five boroughs of New York City

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
 Description of services sought: Construction Support Services: asbestos, boring, testing, monitoring, sampling, site safety, inspections and environmental, Bulk sampling and laboratory testing in conjunction with asbestos and lead abatement and the assessment of mold within the five boroughs of New York City

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Safety Auditor, Safety Investigator
 Headcount of personnel in substantially similar titles within agency: 4

Agency: Department of Design and Construction
 Description of services sought: Contract Administration: fiscal audit, reconciliation of accounts, preparation of change orders, analyzing and finalizing financial transactions and contract close out, Bulk sampling and laboratory testing in conjunction with asbestos and lead abatement and the assessment of mold within the five boroughs of New York City

Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Construction Program Manager, Administrative Project Manager, Administrative Engineer, Associate

Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
Description of services sought: Design Services Asbestos Abatement Citywide

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency:

Administrative Construction Project Manager, Assistant Architect, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Engineer Non-Manager (NM), Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Landmarks Preservationist, Administrative Construction Project Manager Non-Manager (NM), Assistant Civil Engineer, Associate Urban Designer, City Planner, Project Manager, Administrative Engineer, Civil Engineer, Civil Engineer Intern, Electrical Engineer, Assistant Electrical Engineer, Landscape Architect, Assistant Landscape Architect, Mechanical Engineer, Assistant Mechanical Engineer, Highways and Sewers Inspector

Headcount of personnel in substantially similar titles within agency: 576

Agency: Department of Design and Construction
Description of services sought: Construction Management Asbestos Abatement Citywide

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Construction

Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Assistant Mechanical Engineer, Assistant Landscape Architect, Mechanical Engineer, Civil Engineer, Project Manager

Headcount of personnel in substantially similar titles within agency: 734

Agency: Department of Design and Construction
Description of services sought: Resident Engineering Inspection Services Asbestos Abatement Citywide

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Construction

Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Project Manager, Civil Engineer, Mechanical Engineer, Electrical Engineer, Assistant Mechanical Engineer, Assistant Electrical Engineer

Headcount of personnel in substantially similar titles within agency: 736

Agency: Department of Design and Construction
Description of services sought: Consultant Contract Administration: research, training, data analysis, and expert testimony, including services related to damages for delay claims, Asbestos Abatement Citywide

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Administrative

Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction

Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
Description of services sought: Construction Support Services: asbestos, boring, testing, monitoring, sampling, site safety, inspections and environmental, Asbestos Abatement Citywide
Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Safety Auditor, Safety Investigator

Headcount of personnel in substantially similar titles within agency: 4

Agency: Department of Design and Construction
Description of services sought: Contract Administration: fiscal audit, reconciliation of accounts, preparation of change orders, analyzing and finalizing financial transactions and contract close out, Asbestos Abatement Citywide

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Administrative

Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Construction Program Manager, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction

Headcount of personnel in substantially similar titles within agency: 488

Agency: Department of Design and Construction
Description of services sought: Design Services Brooklyn Museum - Building Envelope Renovations

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency:

Administrative Construction Project Manager, Assistant Architect, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Engineer Non-Manager (NM), Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Landmarks Preservationist, Administrative Construction Project Manager Non-Manager (NM), Assistant Civil Engineer, Associate Urban Designer, City Planner, Project Manager, Administrative Engineer, Civil Engineer, Civil Engineer Intern, Electrical Engineer, Assistant Electrical Engineer, Landscape Architect, Assistant Landscape Architect, Mechanical Engineer, Assistant Mechanical Engineer, Highways and Sewers Inspector

Headcount of personnel in substantially similar titles within agency: 576

Agency: Department of Design and Construction
Description of services sought: Construction Management Brooklyn Museum - Building Envelope Renovations

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Construction

Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Assistant Mechanical Engineer, Assistant Landscape Architect, Mechanical Engineer, Civil Engineer, Project Manager

Headcount of personnel in substantially similar titles within agency: 734

Agency: Department of Design and Construction
Description of services sought: Resident Engineering Inspection Services Brooklyn Museum - Building Envelope Renovations

Start date of the proposed contract: 5/1/2019

End date of the proposed contract: 6/30/2024

Method of solicitation the agency intends to utilize: RFP

Personnel in substantially similar titles within agency: Construction

Project Manager, Associate Project Manager, Highways and Sewers Inspector, Surveyor, Assistant Civil Engineer, Administrative Architect, Administrative Architect Non-Manager (NM), Administrative Construction Project Manager, Administrative Engineer, Administrative Engineer Non-Manager (NM), Administrative Landmarks Preservationist, Administrative Landscape Architect, Administrative Landscape Architect Non-Manager (NM), Administrative Project Manager, Administrative Project Manager Non-Manager (NM), Architect, Administrative Construction Project Manager Non-Manager (NM), Project Manager, Civil Engineer, Mechanical Engineer, Electrical Engineer, Assistant Mechanical Engineer, Assistant Electrical Engineer

Headcount of personnel in substantially similar titles within agency: 736

Agency: Department of Design and Construction
Description of services sought: Consultant Contract Administration: research, training, data analysis, and expert testimony, including services related to damages for delay claims, Brooklyn Museum -

Building Envelope Renovations
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488
 Agency: Department of Design and Construction
 Description of services sought: Construction Support Services: asbestos, boring, testing, monitoring, sampling, site safety, inspections and environmental, Brooklyn Museum - Building Envelope Renovations
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Safety Auditor, Safety Investigator
 Headcount of personnel in substantially similar titles within agency: 4

Agency: Department of Design and Construction
 Description of services sought: Contract Administration: fiscal audit, reconciliation of accounts, preparation of change orders, analyzing and finalizing financial transactions and contract close out, Brooklyn Museum - Building Envelope Renovations
 Start date of the proposed contract: 5/1/2019
 End date of the proposed contract: 6/30/2024
 Method of solicitation the agency intends to utilize: RFP
 Personnel in substantially similar titles within agency: Administrative Accountant, Management Auditor, Associate Investigator, Investigator, Accountant, Administrative Construction Program Manager, Administrative Project Manager, Administrative Engineer, Associate Project Manager, Assistant Civil Engineer, Construction Project Manager, Mechanical Engineer, Supervisor Mechanics & Maintenance, Senior Estimating Mechanic, Senior Estimator-General Construction
 Headcount of personnel in substantially similar titles within agency: 488

• f15

Notice of Intent to Extend Contract(s) Not Included in FY 2019 Annual Contracting Plan and Schedule

NOTICE IS HEREBY GIVEN that the Mayor will be entering into the following extension(s) of (a) contract(s) not included in the FY 2019 Annual Contracting Plan and Schedule that is published, pursuant to New York City Charter § 312(a):

Agency: Department of Environmental Protection
 FMS Contract #: 1384-ACS
 Vendor: TR Joy and Associates Inc.
 Description of services: Service and Repair of Access Control Systems (ACS) and Closed Circuit Television
 Award method of original contract: Competitive Sealed Bids
 FMS Contract type: 50
 End date of original contract: 6/19/2019
 Method of renewal/extension the agency intends to utilize: Renewal
 New start date of the proposed renewed/extended contract: 6/20/2019
 New end date of the proposed renewed/extended contract: 6/19/2021
 Modifications sought to the nature of services performed under the contract: None
 Reason(s) the agency intends to renew/extend the contract: Agency wishes to exercise the renewal option included in the contract
 Personnel in substantially similar titles within agency: None
 Headcount of personnel in substantially similar titles within agency: 0

Agency: Department of Environmental Protection
 FMS Contract #: 1350-ACT(REN-1)
 Vendor: Stratis Contracting Corp.
 Description of services: Service and Repair of Trident and Rodney Hunt Electro-Hydraulic Actuators at Various DEP Facilities Citywide
 Award method of original contract: Competitive Sealed Bids
 FMS Contract type: 50
 End date of original contract: 3/31/2019
 Method of renewal/extension the agency intends to utilize: Extension
 New start date of the proposed renewed/extended contract: 4/1/2019
 New end date of the proposed renewed/extended contract: 3/31/2020
 Modifications sought to the nature of services performed under the contract: None
 Reason(s) the agency intends to renew/extend the contract: Additional time is required to allow for the successor contract to get registered and commenced
 Personnel in substantially similar titles within agency: None
 Headcount of personnel in substantially similar titles within agency: 0
 Agency: Department of Environmental Protection
 FMS Contract #: 20180003633
 Vendor: Longo Electrical-Mechanical

Description of services: Service and Repair of various brands of Motors at various Water Pollution Control Plants & Associated DEP Facilities
 Award method of original contract: Competitive Sealed Bids
 FMS Contract type: 50
 End date of original contract: 8/17/2019
 Method of renewal/extension the agency intends to utilize: Time Extension
 New start date of the proposed renewed/extended contract: 8/18/2019
 New end date of the proposed renewed/extended contract: 8/17/2020
 Modifications sought to the nature of services performed under the contract: None
 Reason(s) the agency intends to renew/extend the contract: Cover against lapse of services until successor contract registers
 Personnel in substantially similar titles within agency: None
 Headcount of personnel in substantially similar titles within agency: 0

• f15

Notice of Intent to Issue New Solicitations Not Included in FY 2019 Annual Contracting Plan and Schedule

NOTICE IS HEREBY GIVEN that the Mayor will be issuing the following solicitation(s) not included in the FY 2019 Annual Contracting Plan and Schedule that is published, pursuant to New York City Charter § 312(a):

Agency: Department of Environmental Protection
 Description of services sought: CAT-399-CM: Construction Management Services for the HRDC and Moodna Shaft Rehabilitation
 Start date of the proposed contract: 10/6/2019
 End date of the proposed contract: 2/26/2024
 Method of solicitation the agency intends to utilize: Competitive Sealed Proposal
 Personnel in substantially similar titles within agency: Project Manager and Civil Engineer
 Headcount of personnel in substantially similar titles within agency: 603

• f15

CHANGES IN PERSONNEL

POLICE DEPARTMENT FOR PERIOD ENDING 01/11/19							
NAME	TITLE	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
BROWN III	NATHAN	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
BROWN SMITH	DELIBA S	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
BROWN-FOSTER	DAWN M	71652	\$47244.0000	RETIRED	NO	01/01/19	056
BUCKNOR RASSOUL	CARMETA N	71652	\$53443.0000	INCREASE	NO	10/26/18	056
BURGOS	MATIAS A	92508	\$44820.0000	INCREASE	NO	10/26/18	056
BUZZITTA	THOMAS J	70260	\$125531.0000	RETIRED	NO	08/30/18	056
CABAN	MARITZA	70205	\$15.0000	DECEASED	YES	01/02/19	056
CABRAL	ALEXANDR E	10147	\$53173.0000	PROMOTED	NO	10/26/18	056
CALDERIN	VICTOR D	70235	\$109360.0000	PROMOTED	NO	12/31/18	056
CALIGURI	JUSTIN M	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
CAMPBELL	NEAL J	7021D	\$94080.0000	RETIRED	NO	08/26/18	056
CANIGLIA	MATTHEW P	70235	\$109360.0000	PROMOTED	NO	12/31/18	056
CARLSEN	JOSEPH W	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
CARR	MAXINE D	71652	\$53443.0000	INCREASE	NO	10/26/18	056
CARRAS	MICHELE A	70206	\$16.3100	RESIGNED	YES	12/18/18	056
CARTON	SEAN B	70210	\$63125.0000	RESIGNED	NO	01/03/19	056
CASALE	JOSEPH	70210	\$42500.0000	RESIGNED	NO	01/02/19	056
CASEY	DAVID J	71652	\$53443.0000	INCREASE	NO	10/26/18	056
CATALANO	ROSALIE	10147	\$55417.0000	RETIRED	NO	01/01/19	056
CECCHETTI	MAURICE	70260	\$125531.0000	RETIRED	NO	08/31/18	056
CERPA	ILEANA M	56056	\$39632.0000	APPOINTED	YES	10/26/18	056
CHAN	LAURIE L	10147	\$49047.0000	PROMOTED	NO	10/26/18	056
CHANDLER	PHILLEAT E	10144	\$43817.0000	RETIRED	NO	12/05/18	056
CHAUDHRY	PERVEZ S	92508	\$40475.0000	INCREASE	YES	10/26/18	056
CHEN	QI HONG	92575	\$112821.0000	PROMOTED	NO	11/20/18	056
CHERRY	PATRICK J	70235	\$109360.0000	PROMOTED	NO	12/31/18	056
CHOW	KEVIN	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
CIPRIANO	GINO A	70210	\$48666.0000	RESIGNED	NO	12/28/18	056
CLARKE	KYLE	92508	\$44820.0000	INCREASE	YES	10/26/18	056
CLARKE	PATRICIA	71651	\$40751.0000	RETIRED	NO	01/01/19	056
CODY	DANIEL C	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
COLABELLA	THOMAS F	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
CONELY	ANTHONY	71652	\$53443.0000	INCREASE	NO	10/26/18	056
CORBIN	KAREN D	71012	\$49873.0000	RETIRED	NO	01/05/19	056
COTTER	NATALIE	70235	\$109360.0000	PROMOTED	NO	12/31/18	056
COURTNEY	KEVIN C	70210	\$42500.0000	RESIGNED	NO	01/05/19	056
D'ALESSANDRO	DANIEL A	56057	\$52148.0000	APPOINTED	YES	10/26/18	056
DANDRIDGE	DELORES	10147	\$49047.0000	PROMOTED	NO	10/26/18	056
DANIELEWSKI	ANTHONY M	70210	\$54394.0000	RESIGNED	NO	01/04/19	056
DARCONTE	DINA	10147	\$51990.0000	RETIRED	NO	12/28/18	056
DELEON	ROLANDO	70210	\$54394.0000	RESIGNED	NO	01/01/19	056
DELTORO	MARITZA	90644	\$38382.0000	RETIRED	YES	01/01/19	056
DELUCA	PETER A	70210	\$54394.0000	RESIGNED	NO	01/01/19	056
DEMARA	FRANK R	70210	\$85292.0000	RETIRED	NO	08/31/18	056
DERRICK	DELORES T	10147	\$49047.0000	PROMOTED	NO	09/28/18	056
DIAMOND	DAVID P	7023A	\$125531.0000	RETIRED	NO	08/31/18	056

DIAZ-MOJICA	JOHNATHA C	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
DIUODONNE	PHILOME A	70210	\$85292.0000	RETIRED	NO	12/26/18	056
DIXON	INEZ O	10144	\$43491.0000	RETIRED	NO	01/01/19	056
DOILEY	LETTY	70235	\$109360.0000	RETIRED	NO	08/31/18	056

MATOS	AMY L	71012	\$38183.0000	RESIGNED	NO	11/17/18	056
MATOS	MARIA	71012	\$38183.0000	RESIGNED	NO	11/17/18	056
MAYS	MYIESHA	71012	\$38183.0000	RESIGNED	NO	12/19/18	056
MAZUR	DANIEL T	70210	\$59401.0000	RESIGNED	NO	01/03/19	056
MCCROREY	TANASIA T	71141	\$39009.0000	RESIGNED	YES	12/29/18	056
MCGRORTY	JOHN T	70260	\$125531.0000	RETIRED	NO	08/20/18	056
MCNEIL	ROBERT J	70260	\$125531.0000	RETIRED	NO	08/28/18	056
MEDY	RAYMOND	7165A	\$45386.0000	RETIRED	NO	12/27/18	056
MEHRIDEL	FIRDAUS A	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
MELENDEZ	CARLOS O	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
MEYERS	AVA J	70205	\$14.6400	RESIGNED	YES	12/08/18	056
MILLER	ROBERT J	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
MONENGO	RODOLFO J	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
MOORE	DANITA D	10147	\$49047.0000	PROMOTED	NO	10/26/18	056

POLICE DEPARTMENT
FOR PERIOD ENDING 01/11/19

NAME		TITLE	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
DONAHUE	KERIN E	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
DORCELY	FARA	71012	\$38183.0000	RESIGNED	NO	11/17/18	056	
DUNSTON	LANESHA G	10147	\$49047.0000	PROMOTED	NO	09/28/18	056	
ECHAVERRY	CHARLY E	70206	\$13.0900	RESIGNED	YES	06/16/09	056	
ELSAYED	OMAR	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
ENNIS	ELLEN	71012	\$51860.0000	RETIRED	NO	01/02/19	056	
EVERSLEY	SYDNEY B	71652	\$53443.0000	INCREASE	NO	10/26/18	056	
FABARA	CARLOS A	70265	\$128212.0000	PROMOTED	NO	12/21/18	056	
FALTZ	CAPRICE M	70205	\$13.8000	RESIGNED	YES	12/08/18	056	
FARHA	ZABA	70205	\$13.8000	RESIGNED	YES	12/11/18	056	
FILCHUKOV	VASYL	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
FLORES	ANTHONY	70210	\$85292.0000	RETIRED	NO	09/01/18	056	
FODER JR	JOHN J	70260	\$125531.0000	RETIRED	NO	08/31/18	056	
FOX JR	MICHAEL E	70210	\$42500.0000	RESIGNED	NO	11/10/18	056	
FRANGIPANE	RICHARD	7023B	\$111572.0000	RETIRED	NO	08/31/18	056	
FRATTO	SAMUEL A	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
FURIO	GIOVANNI	70210	\$85292.0000	RETIRED	NO	09/01/18	056	
GALASSO	PETER A	7021C	\$121875.0000	RETIRED	NO	08/30/18	056	
GALLAGHER	KEVIN G	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
GALVEZ	RICHARD A	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
GALVIN	ELAINE M	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
GARCIA	TIMOTHY M	7021B	\$106175.0000	RETIRED	NO	08/28/18	056	
GIACOMA	JOHNPAUL N	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
GIGLIELLO	MARC P	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
GIL	HIPOLITO M	70265	\$128212.0000	PROMOTED	NO	12/21/18	056	
GLUECKERT	KYLE V	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
GOMEZ	BRYAN	70210	\$63125.0000	RESIGNED	NO	01/02/19	056	
GOMEZ	JOSE A	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
GRIFFIN	ROLANDA N	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
GUERCIO	DEBRA M	70210	\$85292.0000	RETIRED	NO	08/31/18	056	
HAGANS	JOAN M	71012	\$51860.0000	RETIRED	NO	01/02/19	056	
HANNON	MARC A	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
HARRISON	RHOMONIA E	71014	\$66537.0000	PROMOTED	NO	10/26/18	056	
HART	MATTHEW J	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
HARTMANN	KEITH R	70210	\$59401.0000	RESIGNED	NO	12/27/18	056	
HARVIN	JASMINE M	10147	\$49047.0000	PROMOTED	NO	10/26/18	056	
HAYES	DIANE	70205	\$15.0000	RETIRED	YES	01/02/19	056	
HIGGINS	BRIAN P	70260	\$125531.0000	RETIRED	NO	08/30/18	056	
HO	BECKY K	40526	\$54768.0000	RESIGNED	NO	12/23/18	056	
HOUCHEM	SHANNON	71012	\$51700.0000	RESIGNED	NO	12/28/18	056	
HOWARD II	TERRENCE	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
HUGHES	STEPHEN J	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
HUO	DONALD Q	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
ISLAM	HOSSAIN M	71652	\$53443.0000	INCREASE	NO	10/26/18	056	
ISLAM	MD S	71651	\$38625.0000	RESIGNED	NO	12/24/18	056	
JACKSON	ERIC M	71651	\$38625.0000	RESIGNED	NO	12/28/18	056	
JACOBS	ANTHONY L	70210	\$85292.0000	RETIRED	NO	08/26/18	056	
JAMES	AKEIMA A	60817	\$35641.0000	RESIGNED	NO	12/18/18	056	
JAUREGUI	HENRY	70205	\$14.6400	RESIGNED	YES	12/01/18	056	
JEAN CHARLES	PIERRE-R	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
JEPSON	ANDREW M	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	

POLICE DEPARTMENT
FOR PERIOD ENDING 01/11/19

NAME		TITLE	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
JEWET	ADREANNA T	10147	\$49047.0000	PROMOTED	NO	10/26/18	056	
JOHANSEN	DAREN M	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
JOHN	TRICIA S	70205	\$14.6400	RESIGNED	YES	12/11/18	056	
JOHNSON	CARL	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
JONES	GLASENA	60817	\$46737.0000	RETIRED	NO	12/27/18	056	
JONES	SHAREEMA N	71014	\$66537.0000	PROMOTED	NO	10/26/18	056	
JUDGE	PATRICE M	10147	\$49047.0000	PROMOTED	NO	09/28/18	056	
KELLY	JOHN P	7023B	\$125531.0000	RETIRED	NO	10/27/18	056	
KELLY	STEVEN P	70210	\$85292.0000	RETIRED	NO	08/31/18	056	
KIM	CHARLIE	70265	\$128212.0000	PROMOTED	NO	12/21/18	056	
KIM	JOSEPH	7021A	\$97324.0000	RESIGNED	NO	01/04/19	056	
KING	ROBERT J	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
KNOWD	KENNETH S	70235	\$109360.0000	RETIRED	NO	08/29/18	056	
KONTOROVICH	MICHAEL	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
KUAR	HEMCHAND	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
LAM	EDWARD	10147	\$49047.0000	PROMOTED	NO	10/26/18	056	
LAPIERRE	JOHN D	7021C	\$121875.0000	RETIRED	NO	08/31/18	056	
LAU	EDDIE	70265	\$128212.0000	PROMOTED	NO	12/21/18	056	
LEE	MOSES	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
LEVI	YEDIDAH B	71014	\$66537.0000	PROMOTED	NO	10/26/18	056	
LINDSLEY	MICHAEL	70235	\$109360.0000	RETIRED	NO	08/30/18	056	
LITKENHAUS	THOMAS J	13631	\$80154.0000	RETIRED	NO	01/01/19	056	
LOPEZ	JOSE B	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
LOPEZ	WARREN J	70210	\$63125.0000	RESIGNED	NO	01/01/19	056	
LORDE-SMITH	CORDELLA	71012	\$51822.0000	RETIRED	NO	12/28/18	056	
LOYOLA	ESTELLA	10251	\$53316.0000	RETIRED	NO	01/03/19	056	
LU	LISA	10147	\$49047.0000	PROMOTED	NO	10/26/18	056	
LUDEMANN	MICHAEL F	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
LUO	MICHELLE	70206	\$16.3100	RESIGNED	YES	12/18/18	056	
MACKAY	MARSHA L	10144	\$40742.0000	RETIRED	NO	12/31/18	056	
MAGUIRE	COREY J	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
MAJUMDAR	MOHAMMAD M	71651	\$38986.0000	RESIGNED	NO	12/22/18	056	
MALONEY	ANN M	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
MALONEY	ROBERT E	7023B	\$125531.0000	RETIRED	NO	09/01/18	056	
MARQUEZ	JOSEPH M	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
MARSHALL	TYLER B	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
MARTES	MIGUEL	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	

POLICE DEPARTMENT
FOR PERIOD ENDING 01/11/19

NAME		TITLE	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
MOORE	MARIBEL	70210	\$85292.0000	RETIRED	NO	08/31/18	056	
MORRISON	WINSOME	10124	\$56874.0000	RETIRED	NO	01/02/19	056	
MOSLEHUDDIN	MOHAMMED	20271	\$44762.0000	DECREASE	NO	10/14/18	056	
MURRAY	NICHOLAS	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
MUSA	CHRISTOP F	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
NAPPO	BETTY	70205	\$15.0000	RETIRED	YES	01/02/19	056	
NASH	BRYAN	91717	\$389.9700	APPOINTED	YES	11/18/18	056	
NELLEN	MARY ANN	7023B	\$125531.0000	RETIRED	NO	08/30/18	056	
NELSON II	WAYNE A	70210	\$42500.0000	RESIGNED	NO	01/02/19	056	
NICOLOSI	JOHN	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
NOTARO	TARA E	70205	\$14.6400	RESIGNED	YES	12/18/18	056	
O' HANLON	DENIS J	70265	\$128212.0000	PROMOTED	NO	12/21/18	056	
OBRIEN	JAMES D	70235	\$109360.0000	PROMOTED	NO	12/31/18	056	
OJEDA	MERISIS M	71652	\$53443.0000	INCREASE	NO	10/26/18	056	
OROGBU	ONYEDIKA A	71012	\$38183.0000	RESIGNED	NO	11/17/18	056	
ORTIZ	LILLIAN M	70206	\$16.3100	RESIGNED	YES	12/18/18	056	
OTERO	MARCUS N	70210	\$42500.0000	RESIGNED	NO	11/01/18	056	
PARKE	BRITTANY D	70210	\$42500.0000	RESIGNED	NO	01/02/19	056	
PARRELLA	PATRICIA H	70205	\$15.0000	RETIRED	YES	01/02/19	056	
PASOLINI	DEREK P	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
PERALTA	CARLOS G	70265	\$128212.0000	PROMOTED	NO	12/21/18	056	
PEREZ	MAYELIN P	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
PETERS	JENNIFER C	70210	\$42500.0000	RESIGNED	NO	01/01/19	056	
PHILIPOSE	KURIAKOS P	10147	\$55401.0000	RETIRED	NO	12/28/18	056	
PIERRE	MANOUCHK	60817	\$31259.0000	RESIGNED	NO	11/17/11	056	
PLUMACHER	MATTHEW C	70210	\$48666.0000	RESIGNED	NO	01/01/19	056	
PRINCE	OLLIE M	71012	\$52215.0000	RETIRED	NO	12/28/18	056	
QUINONES	SHARLEEN V	60817	\$32426.0000	TERMINATED	NO	12/12/18	056	
RAMIREZ	ATANACIO	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
RAMIREZ	JUAN C	92508	\$40745.0000	INCREASE	NO	10/26/18	056	
REAL	LESLIE	71651	\$41214.0000	RETIRED	NO	01/01/19	056	
REED	KEVIN T	70235	\$88945.0000	PROMOTED	NO	12/21/18	056	
RICCIO JR	ARTHUR J	70235	\$88945.0000	PROMOTED	NO	12/31/18	056	
RIVAS	ANETTYS	70210	\$54394.0000	RESIGNED	NO	01/02/19	056	
RIVERA	HECTOR J	70210	\$85292.0000	RETIRED	NO	08/30/18	056	
RIVERS JR	ANTHONY A	70210	\$63125.0000	RESIGNED	NO	12/27/18	056	
RODRIGUEZ	DAVID	7021A	\$94489.0000	RETIRED	NO	05/01/18	056	
RODRIGUEZ	JOHANI	70206	\$16.3100	RESIGNED	YES	12/14/18	056	
RODRIGUEZ	JORGE U	70210	\$85292.0000	RETIRED	NO	12/27/18	056	
ROGGIO	BRANDON	70210	\$54					

YOUNG	MICHELLE	10147	\$49047.0000	PROMOTED	NO	10/26/18	056
ZAWALICH	STEVEN E	70235	\$88945.0000	PROMOTED	NO	12/31/18	056
FIRE DEPARTMENT FOR PERIOD ENDING 01/11/19							
TITLE							
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY	
ANDREWS	JEMMILLA	31662	\$59872.0000	RESIGNED	NO	12/20/18	057
AROYO	JULIANNA C	53053	\$43901.0000	RESIGNED	NO	12/21/18	057
AURILIA	ANTHONY C	53053	\$35254.0000	TERMINATED	NO	11/06/18	057
BARKER	DANIEL D	53053	\$37914.0000	RESIGNED	NO	01/01/19	057
BARTOLOMEO	DALE J	53053	\$43901.0000	DECREASE	NO	12/13/18	057
BLUM	STEPHANI L	53053	\$37250.0000	RESIGNED	NO	12/18/18	057
BROOKS	JEREMY B	1002D	\$110000.0000	INCREASE	NO	12/23/18	057
BROWN	SERENA R	71010	\$48003.0000	RESIGNED	NO	12/26/18	057
CAESAR-SMITH	AMIRIS N	10124	\$45978.0000	APPOINTED	YES	11/01/15	057
CRUSCO	CARL A	70310	\$43904.0000	RESIGNED	NO	12/27/18	057
DEEHAN	KEVIN V	70310	\$85292.0000	RETIRED	NO	08/04/18	057
DEROSA	THERESA M	53055	\$71202.0000	RETIRED	NO	12/27/18	057
DONOVAN	TIMOTHY M	70310	\$85292.0000	RETIRED	NO	08/01/18	057

FIRE DEPARTMENT FOR PERIOD ENDING 01/11/19							
TITLE							
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY	
ELLLOTT	ERWIN D	31661	\$53782.0000	RETIRED	YES	12/27/18	057
FASSETTA	ROBERT S	53055	\$75000.0000	RETIRED	NO	12/01/18	057
FERMIN	XAVIER	53054	\$55302.0000	INCREASE	NO	12/21/18	057
FERRO	PAUL	70382	\$181172.0000	RETIRED	NO	08/21/18	057
FIGORE	VINCENT	91972	\$387.0300	RETIRED	YES	12/31/18	057
FIGORE	VINCENT	91915	\$322.0700	RETIRED	NO	12/31/18	057
FITZGIBBONS	TIMOTHY J	70360	\$109360.0000	RETIRED	NO	08/03/18	057
GALLO	MICHAEL J	70310	\$85292.0000	RETIRED	NO	08/01/18	057
GARGAN	DANIEL S	70310	\$85292.0000	RETIRED	NO	08/31/18	057
GLASER	JACOB E	70310	\$43904.0000	DECREASE	NO	01/01/19	057
HARABURDA	CEZARY	53053	\$50604.0000	RESIGNED	NO	12/23/18	057
HERLOCKER	TIMOTHY E	8300B	\$146813.0000	RETIRED	YES	12/30/18	057
KILLARNEY	SEAN M	70310	\$85292.0000	RETIRED	NO	08/02/18	057
LABORDE	DENZEL T	53053	\$43901.0000	DECREASE	NO	12/13/18	057
LIU	LIAN	8300B	\$97583.0000	RETIRED	YES	12/28/18	057
LIU	LIAN	31662	\$70091.0000	RETIRED	NO	12/28/18	057
LOBEL	MARK	53055	\$75000.0000	RETIRED	NO	01/01/19	057
LONG-GREGORY	KENDRA C	53055	\$71202.0000	RETIRED	NO	10/27/18	057
MALDONADO	HECTOR R	53053	\$37914.0000	DECREASE	NO	12/17/18	057
MANSOUR	MOHAMED A	53053	\$37914.0000	DECREASE	NO	12/31/18	057
MARRERO	ERIKA	53053	\$50604.0000	RESIGNED	NO	12/20/18	057
MCCARTHY	NEIL J	70360	\$109360.0000	RETIRED	NO	08/13/18	057
MCOUGHLIN	THOMAS S	71010	\$38403.0000	RESIGNED	YES	11/03/18	057
MCMASTER	HARRY W	70360	\$109360.0000	RETIRED	NO	08/14/18	057
MINTON	KENNETH	31662	\$72585.0000	RETIRED	NO	12/21/18	057
PANCHANA	CESAR A	53053	\$37914.0000	DECREASE	NO	12/27/18	057
PATTI	EDWARD R	12200	\$31142.0000	RESIGNED	NO	12/15/18	057
POLLET	THOMAS	92575	\$112821.0000	RETIRED	NO	12/31/18	057
PRUDENTE	PAIGE B	70310	\$37914.0000	DECREASE	NO	12/17/18	057
RAHMAN	MIZANUR	31661	\$53598.0000	RESIGNED	NO	11/14/18	057
REGAN	RANDOLPH	70310	\$85292.0000	RETIRED	NO	08/01/18	057
RICE	JAMES M	70365	\$125531.0000	RETIRED	NO	08/09/18	057
ROBERGHEAU	FERRY S	70310	\$85292.0000	RETIRED	NO	08/10/18	057
ROSA	JONATHAN J	92575	\$112821.0000	INCREASE	YES	11/11/18	057
ROSENBERG	MITCHELL H	53053	\$53163.0000	RETIRED	NO	01/01/19	057
ROTHMAN	BRYAN P	70310	\$50604.0000	INCREASE	NO	12/17/18	057
SCHULZ	ROBERT	70310	\$85292.0000	RETIRED	NO	08/30/18	057
SMITH	DONALD E	31662	\$59872.0000	INCREASE	YES	12/23/18	057
SPALLETTA	MICHAEL R	53053	\$37914.0000	DECREASE	NO	12/27/18	057
STEPHEN	JESSE	70310	\$50604.0000	INCREASE	NO	12/21/18	057
STROMSTEDT	LENNART J	70310	\$85292.0000	RETIRED	NO	08/31/18	057
TRAZINO	LOUIS J	70310	\$85292.0000	RETIRED	NO	08/02/18	057
WADE	JESSICA C	53054	\$53135.0000	RESIGNED	NO	12/24/18	057
WARREN	OTHANIEL C	53053	\$50604.0000	INCREASE	NO	12/19/18	057
WILLIAMS	TAIIS T	12749	\$47824.0000	APPOINTED	NO	12/23/18	057
WILLIAMS	VANDYKE	31643	\$58863.0000	INCREASE	YES	10/28/18	057
WU	ALLEN	92508	\$38275.0000	APPOINTED	NO	11/18/18	057
WU	MULING	21744	\$68499.0000	RESIGNED	YES	12/27/18	057
YOUNG	WAYNE W	70310	\$85292.0000	RETIRED	NO	08/25/18	057

ADMIN FOR CHILDREN'S SVCS
FOR PERIOD ENDING 01/11/19

TITLE							
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY	
AGUAYO	FLORIANO	06771	\$64863.0000	APPOINTED	YES	12/31/18	067
AHMED	SARWAR	20410	\$61000.0000	APPOINTED	YES	12/09/18	067
BIEBER	STEVEN	10056	\$109610.0000	INCREASE	NO	12/30/18	067
BLAKENEY	CLARISSA K	52366	\$57070.0000	RESIGNED	NO	01/01/19	067
BROOKS	RICHARDO A	52366	\$57070.0000	RESIGNED	NO	12/29/18	067
BROWN	ANN C	13400	\$90000.0000	APPOINTED	YES	01/02/19	067
COLEMAN	LATOYA	52408	\$81535.0000	APPOINTED	YES	12/30/18	067
CONNELL	RYAN	13616	\$68632.0000	RESIGNED	NO	12/23/18	067
CORREA	ALFRED	06807	\$60955.0000	APPOINTED	YES	12/23/18	067
DILLON II	ANDREW L	52287	\$44426.0000	RESIGNED	YES	12/27/18	067
DUME	EPIPHANY S	52366	\$51315.0000	RESIGNED	NO	06/04/17	067
FERNANDEZ	BONITA M	56058	\$61280.0000	APPOINTED	YES	12/23/18	067
FORD	JASON P	10095	\$110000.0000	APPOINTED	YES	12/23/18	067
GLASBY	PERRIAN S	56058	\$61280.0000	APPOINTED	YES	12/23/18	067
JEFFERSON	MARGARET A	30087	\$85029.0000	RESIGNED	YES	01/01/19	067
JONES	EVAN C	95689	\$110000.0000	APPOINTED	YES	01/02/19	067
JONES	GERALDIN E	10124	\$75840.0000	INCREASE	NO	12/16/18	067
KELLY-HARRISON	SHURLA J	56058	\$61280.0000	APPOINTED	YES	12/16/18	067
KIZER	SAMMIE A	52288	\$68138.0000	RETIRED	NO	01/01/19	067
LU	YING M	12627	\$65731.0000	APPOINTED	NO	12/23/18	067
MCKROY	GRACE	52408	\$78177.0000	INCREASE	YES	12/23/18	067
MEIGH	LAURA L	30087	\$67523.0000	INCREASE	YES	11/25/18	067
MENDELSON	DANIELLE E	30087	\$95000.0000	INCREASE	YES	12/23/18	067

MIRANDA	DONNA	52408	\$78177.0000	APPOINTED	YES	12/23/18	067
NISH	DAVID	10056	\$157643.0000	INCREASE	NO	12/23/18	067
OH	JENNIFER K	30087	\$87600.0000	INCREASE	YES	12/23/18	067
PAPA	CHRIS K	1002C	\$67577.0000	APPOINTED	NO	12/23/18	067
PARDO	JUSTIN D	52366	\$53519.0000	RESIGNED	NO	12/30/18	067
PEART	NICHELLE C	52366	\$55814.0000	RESIGNED	NO	12/02/18	067
PERUMAL	ARTEE K	52416	\$75000.0000	APPOINTED	YES	12/30/18	067
RIAZ	CYNTHIA A	30086	\$66636.0000	RESIGNED	YES	12/22/18	067
RILEY	DENISE M	56058	\$65000.0000	INCREASE	YES	12/23/18	067
RIVERA	JASON	52366	\$53519.0000	RESIGNED	NO	12/23/18	067
RIVERA GUZMAN	AYLEEN J	10056	\$117661.0000	INCREASE	NO	12/23/18	067
ROZHAVSKY	GENNADY	12627	\$76005.0000	RETIRED	NO	01/01/19	067
RUIZ	DELIA M	10124	\$59000.0000	APPOINTED	NO	12/23/18	067
SHAIKH	MOHAMMED T	30087	\$67523.0000	INCREASE	YES	11/25/18	067
SMITH	JANEITA C	10251	\$29548.0000	TERMINATED	NO	07/03/11	067
SMITH	JENNIFER Y	52408	\$67980.0000	APPOINTED	YES	12/23/18	067
SUBAIR	BASIRAT F	13400	\$90000.0000	INCREASE	YES	12/02/18	067
SUEN	HEI-MAN	56058	\$56000.0000	APPOINTED	YES	12/23/18	067
SUSCZYNSKI	SARAH	52366	\$49279.0000	RESIGNED	NO	12/23/18	067
TAVERAS	ALEXANDR V	52454	\$46013.0000	RESIGNED	YES	12/23/18	067
THOMPSON	DAYVON I	81803	\$37054.0000	APPOINTED	YES	12/16/18	067
UNDLY	AJA L	95600	\$92500.0000	INCREASE	YES	12/23/18	067
VALLE	JOSHUA	52416	\$70000.0000	APPOINTED	YES	12/23/18	067
VAN NORDEN	BARBARA A	30087	\$76273.0000	APPOINTED	YES	12/30/18	067
VAUGHAN	SEANETTE H	52366	\$65429.0000	PROMOTED	NO	11/04/18	067
WASHINGTON	SHANELLE L	70810	\$33409.0000	RESIGNED	NO	12/26/18	067

HRA/DEPT OF SOCIAL SERVICES
FOR PERIOD ENDING 01/11/19

TITLE							
NAME	NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY	
ACEVEDO	LILLIAN	10124	\$50763.0000	RETIRED	NO	12/29/18	069
ADAMS	WATASHA	10248	\$78179.0000	INCREASE	YES	12/23/18	069
ALABI	OLUBUNMI R	52304	\$46316.0000	INCREASE	NO	11/25/18	069
ALEXANDER	DOREEN	10124	\$51129.0000	DISMISSED	NO	12/21/18	069
BABAYAN	YANA	40526	\$47354.0000	INCREASE	NO	10/14/14	069
BAH	DAWDA	52316	\$57912.0000	PROMOTED	NO	12/23/18	069
BALOGUN	RITA	50910	\$76435.0000	DECREASE	YES	12/30/18	069
BANUCHI	MARIANA	11702	\$36677.0000	RETIRED	NO	01/01/19	069
BARKER	NICOLE R	52316	\$57912.0000	PROMOTED	NO	12/23/18	069
BENT	VIVIAN J	10251	\$40709.0000	RETIRED	NO	12/26/18	069
BEST SR	WAYNE E	52314	\$39459.0000	DECREASE	NO	07/18/18	069
BIDDLE	ANNIE C	52613	\$57030.0000	APPOINTED	NO	12/09/18	069
BLUDOVA	VALERIYA	52314	\$41154.0000	APPOINTED	NO	12/30/18	069
BROWN	KIJAH C	10251	\$40629.0000	INCREASE	NO	12/30/18	069
CAMPBELL	DANNETTE C</						

SCOTT	JACQUELI	10124	\$62834.0000	INCREASE	NO	12/23/18	069
SHERWOOD	TASHI	30080	\$36516.0000	APPOINTED	NO	12/23/18	069
SHOUMACKHER	KLARA	13275	\$104056.0000	RESIGNED	YES	04/15/18	069
SIROTNIKOVA	ZINAIDA	52316	\$58034.0000	RETIRED	NO	01/02/19	069
SUMMERS	NICOLE	10104	\$45064.0000	RESIGNED	NO	12/29/18	069
TKACH	ILYA	31113	\$57030.0000	INCREASE	NO	12/30/18	069
WATERTON	DONNETTE M	10248	\$78179.0000	INCREASE	YES	12/23/18	069
WILLIAMS	TROY A	52314	\$41154.0000	APPOINTED	NO	12/30/18	069
WOODBERRY COLBE	TRANIQUA	10104	\$53917.0000	APPOINTED	NO	12/09/18	069
YILDIZ	MIDDAT	52314	\$41154.0000	APPOINTED	NO	12/30/18	069

DEPT. OF HOMELESS SERVICES
FOR PERIOD ENDING 01/11/19

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
ANGLADE	LYSANNE	52279	\$83995.0000	RETIRED	YES	12/23/18	071
BARTON	AIMEE	1005C	\$77425.0000	INCREASE	NO	11/11/18	071
BURNHAM	LEDEAN M	12627	\$69353.0000	RETIRED	NO	12/28/18	071
CAMERON	NORA S	56058	\$61955.0000	INCREASE	YES	12/23/18	071
CROCKWELL	BRENDA C	56058	\$52524.0000	INCREASE	YES	12/09/18	071
EBERHART	SHERWOND	40562	\$67265.0000	RESIGNED	NO	01/05/19	071
EBERHART	SHERWOND	10124	\$51520.0000	RESIGNED	NO	01/05/19	071
FEIMSTER	JENAIRE L	56057	\$37217.0000	INCREASE	YES	12/16/18	071
FLANAGAN	KEVIN E	91232	\$56347.0000	RETIRED	NO	12/25/18	071
GALBREATH	NATHANIE	91212	\$50616.0000	RETIRED	NO	12/30/18	071
JACKSON	JULIAN C	70810	\$33408.0000	INCREASE	NO	05/20/18	071
JERVIS	ODETTA F	56058	\$60403.0000	RESIGNED	YES	01/03/19	071
KANHOYE	DANNY	70810	\$34570.0000	RESIGNED	NO	08/11/18	071
MCCAUGHEY	EUGENE S	92005	\$349.1600	APPOINTED	NO	12/23/18	071
MERCADO	DONALD L	10124	\$58323.0000	TRANSFER	NO	12/16/18	071
PAYNE	KYNA R	1005C	\$80000.0000	INCREASE	NO	11/18/18	071

DEPT. OF HOMELESS SERVICES
FOR PERIOD ENDING 01/11/19

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
POMO	NICHOLAS	10035	\$75000.0000	INCREASE	YES	12/30/18	071
RANSOM	CHANTAE R	56058	\$60403.0000	APPOINTED	YES	11/11/18	071
RASO	SCOTT A	92210	\$312.6900	RETIRED	NO	12/25/18	071
REINSTEIN	MARTIN	91915	\$369.5300	RETIRED	NO	12/29/18	071
ROBERSON	STEPHANI L	70810	\$32426.0000	RESIGNED	NO	11/27/18	071
SEALY	CHEDDI W	70810	\$34570.0000	DISMISSED	NO	12/27/18	071
SMITH	MARJORIE S	31113	\$46316.0000	DISMISSED	NO	12/24/18	071
STYKES	WILLIAM	92005	\$349.1600	RETIRED	NO	09/28/18	071
TITTLE	AMADI K	31113	\$46316.0000	RESIGNED	NO	12/30/18	071
TOM	LARRY	70810	\$32426.0000	RESIGNED	NO	10/28/18	071
UKEY	KINGSLEY	56058	\$52524.0000	APPOINTED	YES	12/23/18	071
WHEELER	RASHEEN	91212	\$47645.0000	APPOINTED	YES	12/16/18	071

DEPARTMENT OF CORRECTION
FOR PERIOD ENDING 01/11/19

TITLE							
NAME		NUM	SALARY	ACTION	PROV	EFF DATE	AGENCY
ABDALLAH	DIA S	70410	\$44333.0000	RESIGNED	NO	01/03/19	072
AHMADI	BENJAMIN S	70410	\$44333.0000	RESIGNED	NO	12/22/18	072
AKOWE	BABATUND I	30087	\$84975.0000	RESIGNED	YES	01/02/19	072
BARBOUR	WENDELL	70410	\$44333.0000	RESIGNED	NO	12/31/18	072
BATTISTA	MICHELLE S	12626	\$58152.0000	APPOINTED	YES	10/14/18	072
BEDI	AFREEN	70410	\$52170.0000	RESIGNED	NO	01/03/19	072
BEHAROVIC	VASVIJA	70410	\$44333.0000	RESIGNED	NO	01/03/19	072
BENNETT	MENTUHOT B	70410	\$57587.0000	RESIGNED	NO	12/11/18	072
BHOLA	ELVIN L	92511	\$277.0400	APPOINTED	NO	12/30/18	072
CAMERON	JAMES W	70410	\$44333.0000	RESIGNED	NO	01/03/19	072
CAMMARATA	MATTHEW P	70410	\$57587.0000	RESIGNED	NO	12/27/18	072
CEARC	SURAK	70410	\$48371.0000	RESIGNED	NO	12/12/18	072
CELEBIOGLU	CUNEYT	70410	\$44333.0000	RESIGNED	NO	12/29/18	072
CLARKE	ERIC R	81803	\$38768.0000	RETIRED	YES	01/02/19	072
COLE	RECARDO	90235	\$41849.0000	INCREASE	YES	12/23/18	072
CUEVAS	JOSABET A	51274	\$49591.0000	APPOINTED	YES	12/30/18	072
DAWKINS	MICHAEL J	10251	\$44679.0000	RESIGNED	NO	12/26/18	072
DRUMGOLD	TIMOTHY	70410	\$85292.0000	RETIRED	NO	01/02/19	072
EMMANUEL	ROBERT	70410	\$44333.0000	RESIGNED	NO	01/03/19	072
GERDES	EDWARD	70410	\$85292.0000	RETIRED	NO	01/02/19	072
GLADSTONE	DUSTINE	70410	\$48371.0000	TERMINATED	NO	12/28/18	072
GONZALEZ	TABITHA A	06316	\$56473.0000	APPOINTED	YES	01/02/19	072
GRATE	LETICIA T	70410	\$85292.0000	RESIGNED	NO	01/01/19	072
HALSTEAD	CARL	70410	\$85292.0000	DISMISSED	NO	12/16/18	072



BOROUGH PRESIDENT - MANHATTAN

■ PUBLIC HEARINGS

The February Manhattan Borough Board Meeting and Public Hearing on 1) FY 2020 Preliminary Expense and Capital Budget and 2) the

Department of City Planning's City-Wide Zoning Text Amendment for residential buildings in high-density tower districts to discourage excessively tall mechanical voids that elevate upper-story residential units above the surrounding context, will be held on Thursday, February 21st, 2019, at 8:30 A.M., at 1 Centre Street, 19th Floor South, New York, NY 10007. The proposed change would apply to residential towers in non-contextual R9 and R10 Residence Districts and their equivalent Commercial Districts.

Accessibility questions: Brian Lafferty, (212) 669-4564, blafferty@manhattanbp.nyc.gov, by: Wednesday, February 20, 2019, 5:00 P.M.



• f15-21

ECONOMIC DEVELOPMENT CORPORATION

CONTRACTS

■ SOLICITATION

Goods and Services

CONSULTANT SERVICES, CITYWIDE ON-CALL ELECTRICAL SERVICES - Request for Proposals - PIN# 78140001 - Due 3-15-19 at 4:00 P.M.

New York City Economic Development Corporation (NYCEDC), is seeking a Contractor to provide the materials and perform the tasks necessary to adequately furnish all labor, supervision, schedules, materials, tools, equipment, supplies, permits and other items for electrical systems maintenance, repair and installation, and emergency services.

NYCEDC plans to select a consultant on the basis of factors stated in the RFP, which include but are not limited to: the quality of the proposal, experience of key staff identified in the proposal, experience and quality of any subcontractors proposed, demonstrated successful experience in performing services similar to those encompassed in the RFP, and the proposed fee.

It is the policy of NYCEDC to comply with all Federal, State and City laws and regulations which prohibit unlawful discrimination because of race, creed, color, national origin, sex, age, disability, marital status and other protected category and to take affirmative action in working with contracting parties, to ensure certified Minority and Women-Owned Business Enterprises (MWBs) share in the economic opportunities generated by NYCEDC's projects and initiatives. Please refer to the Equal Employment and Affirmative Compliance for Non-Construction Contracts Addendum in the RFP.

Companies who have been certified with the New York City Department of Small Business Services as Minority and Women Owned Business Enterprises ("M/WBE") are strongly encouraged to apply. To learn more about M/WBE certification and NYCEDC's M/WBE program, please visit <http://www.nycedc.com/opportunitymwdbe>.

Respondents may submit questions and/or request clarifications from NYCEDC no later than 5:00 P.M., on Friday, March 1, 2019. Questions regarding the subject matter of this RFP should be directed to citywideelectricalservices@edc.nyc. For all questions that do not pertain to the subject matter of this RFP please contact NYCEDC's Contracts Hotline at (212) 312-3969. Answers to all questions will be posted by Friday, March 8, 2019, to www.nycedc.com/RFP.

The RFP is available for in-person pick-up between 9:30 A.M. and 4:30 P.M., Monday through Friday. Please submit five (5) sets of your proposal to: NYCEDC, Attention: Maryann Catalano, Chief Contracting Officer, Contracts.

Use the following address unless otherwise specified in notice, to secure, examine or submit bid/proposal documents, vendor pre-qualification and other forms; specifications/blueprints; other information; and for opening and reading of bids at date and time specified above.

Economic Development Corporation, 110 William Street, 4th Floor, New York, NY 10038. Maryann Catalano (212) 312-3969; Fax: (212) 312-3918; citywideelectricalservices@edc.nyc

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