

I RCNY 103-04 FAÇADE INSPECTION SAFETY PROGRAM

# BACK TO BASICS

## QEWI OUTREACH

*Answers to Frequently Asked Questions & Reminders*

presented by the  
**Facades & Local Law Team**

FALL 2022



# AGENDA

## SECTION 1: FISP REPORT CLARIFICATIONS

- OWNERSHIP INFORMATION
- PLOT PLAN
- BUILDING CONDITIONS
- CAVITY WALL PROBES
- FINAL INSPECTIONS

## SECTION 2: UNSAFE FILING PRACTICES

- UNSAFE CONDITIONS
- UNSAFE REPORT REMINDERS
- TIME EXTENSION REQUESTS
- PARTIAL SHED REMOVAL REQUEST

## SECTION 3: TERRA COTTA

## SECTION 4: OTHER COMMON ISSUES

## SECTION 5: CIVIL PENALTIES

- FAILURE TO FILE
- FAILURE TO CORRECT
- LATE FILINGS

## DISCUSSION

## AGENDA

FISP REPORT  
CLARIFICATIONS

UNSAFE  
FILINGS

OTHER  
COMMON  
ISSUES

CIVIL  
PENALTIES

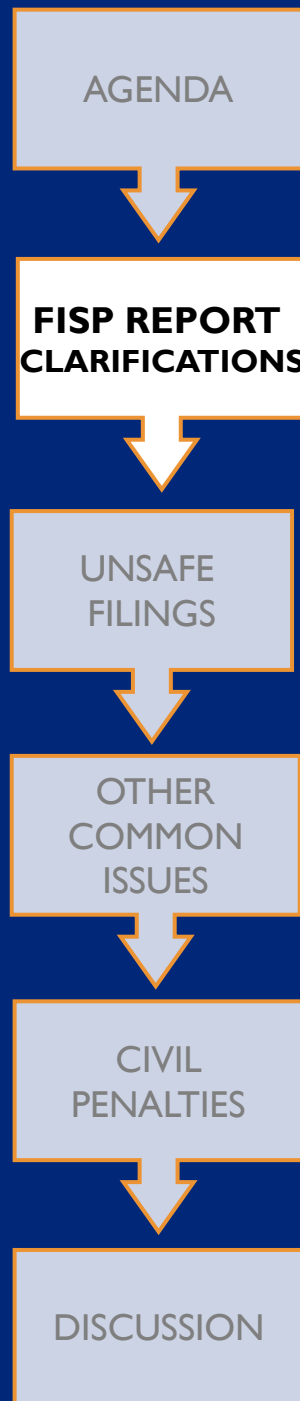
DISCUSSION

# INTRO



# TR6/FISP REPORT CLARIFICATIONS

- OWNERSHIP INFORMATION
- PLOT PLAN
- MAPPING OF BUILDING CONDITIONS
- CAVITY WALL PROBES
- FINAL INSPECTIONS



Owner registration on all FISP submissions must match the Department of Finance (DOF) record otherwise, the submission will be marked incomplete.

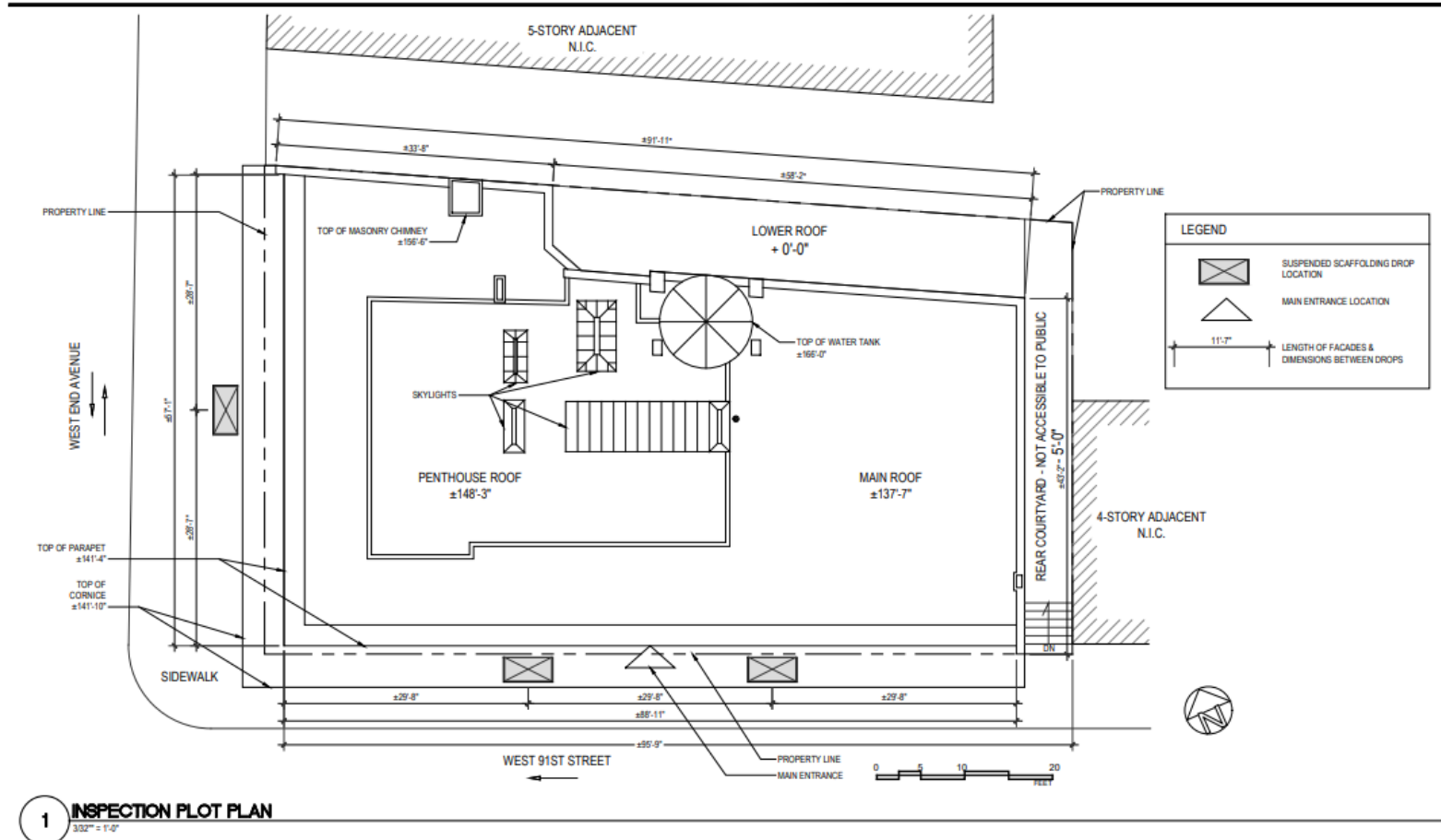
DPL-I forms are valid for 1 year. Submissions with expired DPL-I are marked incomplete and returned.

# PLOT PLAN

## FISP REPORT CLARIFICATIONS

The number of drops required:

Length of Facade Elevation Fronting Public Right of Way (L)	Minimum # of Physical Examinations
$L < 60'-0''$	1
$60'-0'' \leq L < 120'-0''$	2
$120'-0'' \leq L < 180'-0''$	3
$180'-0'' \leq L < 240'-0''$	4
$240'-0'' \leq L < 300'-0''$	5
$300'-0'' \leq L < 360'-0''$	6
For every additional 60'-0'' of length of facade, one additional close-up inspection is required.	

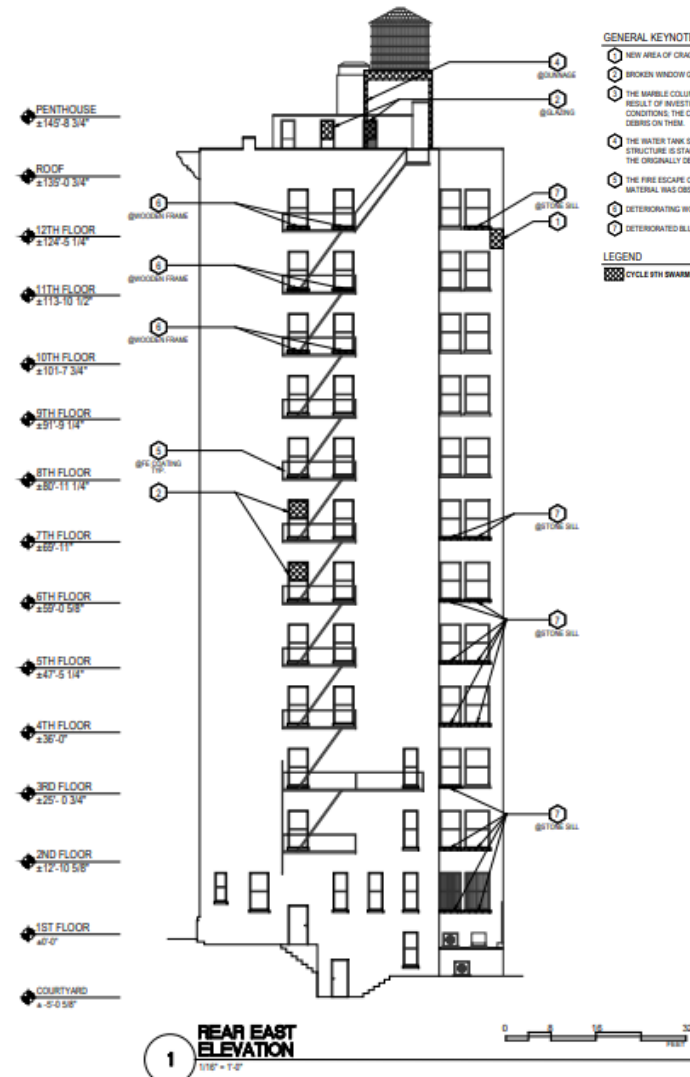




# MAPPING OF BUILDING CONDITIONS

## FISP REPORT CLARIFICATIONS

- List of conditions **MUST MATCH** photos keyed in
- Describe, classify and map each condition
- Describe water-tightness of exterior surfaces
- Report must document conditions using
  - key plans
  - key elevations
  - locator drawings
  - labeled, high resolution, close-up photos



# 1 Cracked Terra-cotta above window

# 2 Cracked Terra-cotta Windowsill

# 3 Cracked and shifted brick

# 4 Cracked Terra-Cotta water table.

# CAVITY WALL PROBES

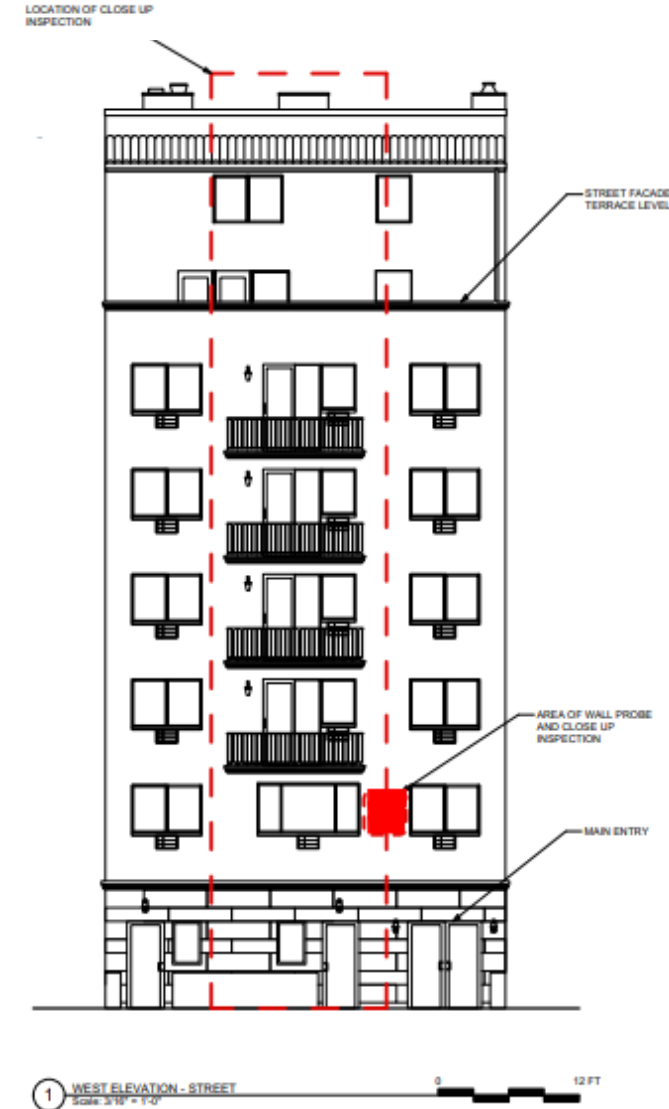
## FISP REPORT CLARIFICATIONS

### DEFINITION

Cavity wall construction is an exterior wall system consisting of an exterior veneer with a backup wall whereby the exterior veneer relies on a grid of metal ties to the backup wall for lateral stability. The two layers of wall are separated by an air cavity which may or may not be filled with insulation.

### CODE REQUIREMENTS\*

- Starting with the ninth cycle, probes must be performed on all cavity wall construction, and, at a minimum, during every subsequent odd- numbered cycle.
- QEWS must choose to probe an area of sufficient size and quantity to report the presence, condition, and spacing of wall ties.
  - Selected probe areas cannot be previously renovated.
- At least one probe must be completed along each required close-up inspection interval.
- FISP report must indicate location & size of probe, wall cross section inside probe, measurements of space between wall ties (vertical & horizontal), close-up photos of wall tie type & installation, any other conditions related to soundness of the wall ties, relieving angle, substrate and other cavity wall elements.



**\*NOTE:** Removing parts of façade for tests may require a permit from the Landmarks Preservation Commission.



# FINAL INSPECTIONS

FISP REPORT  
CLARIFICATIONS

**I RCNY §103-04(c)(viii):** QEWI must conduct a final physical examination to determine that the building conditions as described in the report are consistent with the actual conditions. Such final inspection must, at a minimum, include an actual visual examination and a walk around with binoculars or other inspectorial equipment. A drive by inspection is not acceptable.



UNACCEPTABLE



ACCEPTABLE

# UNSAFE FILINGS

- UNSAFE NOTIFICATION
- SAFETY MEASURES
- TIME EXTENSIONS
- PARTIAL SHED REMOVAL



# REPORTING UNSAFE CONDITIONS

UNSAFE  
FILINGS



If a registered Design Professional\* or QEWI observes **UNSAFE façade conditions**, he or she should:

## Immediately:

- Identify location of the unsafe condition(s)
- Call 311 to report the condition or 911 if condition is immediately hazardous
- Notify the owner of the building
- Advise the owner on the appropriate protective measures to be taken and ensure they are installed
- File a FISP 3 form on DOB NOW Safety and include recommended type and location of public protection

## Follow up:

- File an UNSAFE report (TR6) on DOB NOW Safety
- File an amended report once repairs are completed





# UNSAFE REPORT REMINDERS

UNSAFE  
FILINGS

- Unsafe report must contain at least one unsafe condition
- Do not submit unsafe report to avoid administrative or technical problems. Contact Facades
- It is permitted to file Unsafe in two consecutive cycles
- In the report and/or FISP3 describe in detail required public protective measures and their locations
- Public protection must remain in place at buildings with an UNSAFE status until Amended report is accepted or Partial Shed Removal request is granted
- Amended report can be filed at any time even outside of the filing cycle. Amended report must be filed on the most recent unsafe.

# FISPI & 2 TIME EXTENSION REQUESTS

UNSAFE  
FILINGS



- Time extensions must be filed in the cycle with the most recent accepted Unsafe report
- Time extensions cannot be granted past the unsafe completion date
- In order to change that date a Subsequent report must be filed
- Time extensions must reference the Initial Unsafe report
- Enter the entire name of the Initial Unsafe Report (TR6-123456-I1) in DOB NOW Safety Extension Request

# PARTIAL SHED REMOVAL REQUEST

UNSAFE  
FILINGS

A **Partial Shed Removal (PSR)** request may be filed to remove public protection where repairs were completed on at least one building elevation but work remains in other areas.

The PSR filing requires QEWDs to submit:

- QEWD's signed & sealed detailed justification letter attesting for safe conditions of facades and removal of all defects
- List of unsafe defects removed and remaining scope of work
- A statement with the date the work will be completed and when amended report will be filed
- Plot/site plan showing portions of shed to remain and to be removed
- Before & after pictures
- Façade Elevation photos depicting shed installed

**Do not file a PSR if:**

- **All repair work is completed**
- **Amended report is filed**
- **Only partial elevation is repaired**

**File combined PSR for all elevations where work will be completed within a short period of time**



## **All reports involving terracotta repairs must include:**

- before and after repair photos
- as-built details

## **If terracotta was patched the report must include:**

- an explanation for the decision to repair vs. replace

## **If terracotta was pinned, the report must include:**

- an explanation of how material was evaluated for pinning

# OTHER COMMON ISSUES

- PREVIOUSLY REPAIRED CONDITIONS
- REPORTS W/O CLOSE UP INSPECTION
- FISP REPORTS AND PIPE SCAFFOLDING
- RESPONSE LETTER IN RESUBMISSIONS
- FIRE ESCAPE ISSUES
- VIOLATION STATUS
- SECTION K RECOMMENDATIONS
- TR-6 (#5) IT IS IMPORTANT TO PROVIDE COMPREHENSIVE & CORRECT LIST OF WALL TYPES & MATERIALS
- PROVIDE CONTROL AND BIN NUMBERS WHEN MAKING INQUIRIES



## The purpose of an engineering report is to:

1. Remedy DOB violation
2. Identify the cause of the façade failure
3. Identify and map defective façade elements
4. Provide recommendations for corrective work and justification for how such work may prevent a similar failure in the future



# CIVIL PENALTIES

- “Failure to File” an acceptable inspection report is \$5,000 per year
- Late filing \$1,000 per month
- Failure to correct SWARMP conditions is \$2,000
- Failure to correct an unsafe condition is based on the table below:

YEAR	BASE PENALTY	PLUS
1	\$1000/month	NA
2	\$1000/month	\$10/linear foot (l.f.) of shed/month
3	\$1000/month	\$20/l.f. shed/month
4	\$1000/month	\$30/l.f. shed/month
5	\$1000/month	\$40/l.f. shed/month

AGENDA

FISP REPORT  
CLARIFICATIONS

UNSAFE  
FILINGS

OTHER  
COMMON  
ISSUES

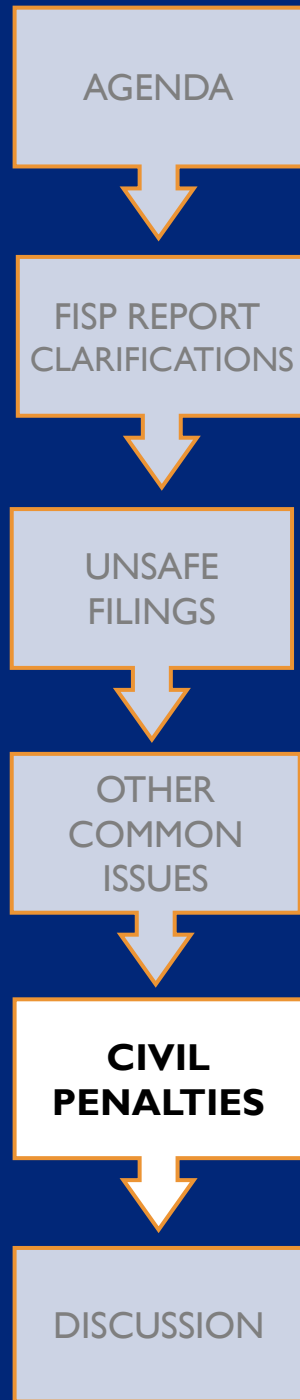
**CIVIL  
PENALTIES**

DISCUSSION

# WAIVER REQUESTS

## Acceptable justifications

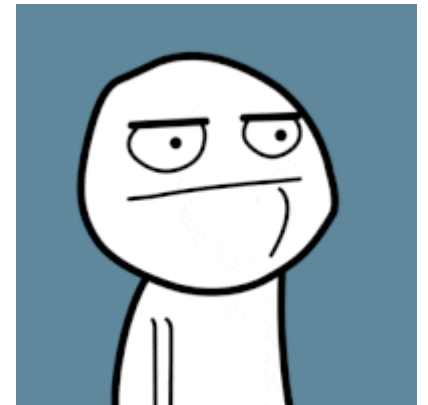
- Owner status
  - A new owner of a property previously owned by a government entity
  - A new owner who receives violation after the transfer of ownership
- Bankruptcy
- State of emergency
- Demolition (must be signed off before the filing deadline)



# DISCUSSION

**Any Questions?**

**Don't even think about it, you must have none after such a comprehensive presentation.**







If you have questions, feel free to call 212-393-2551 or email

[facades@buildings.nyc.gov](mailto:facades@buildings.nyc.gov)

FALL 2022

**FACADES & LOCAL LAW TEAM**