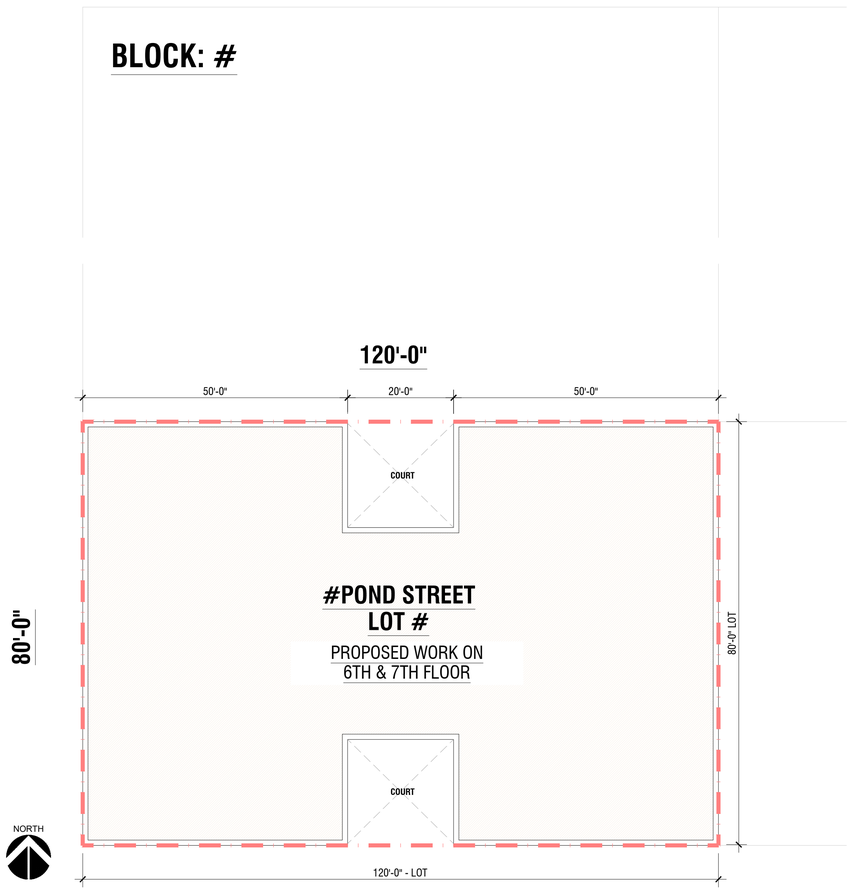
EBC CASE STUDY

BLOCK : # LOT :

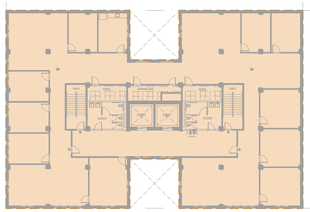
SCOPE OF WORK

INTERIOR TENANT FIT-OUT OF EXISTING OFFICE SPACE ON 6TH & 7TH FLOORS.

PLOT PLAN



AREA OF WORK DIAGRAM



7TH FLOOR

6TH FLOOR

9	8,800 SF
8	8,800 SF
7	7,878 SF
6	3,461 SF
5	8,800 SF
4	8,800 SF
3	8,800 SF
2	8,800 SF
1	8,800 SF
C	8,800 SF

AREA OF WORK

WORK AREA DIAGRAM	
EXISTING BUILDING AREA (SF) INCLUDING SUBGRADE LEVELS	88,000 SF (10 FLOORS AT 8,800 SF / EACH FLOOR)
EBC CONSIDERATIONS	
WORK AREA (SF)	6TH FLOOR = 3,461 SF 7TH FLOOR = 7,878 SF TOTAL = 11,339 SF
WORK AREA / EXISTING AREA %	11,339 SF / 88,000 SF = 12.89%
WORK AREA RELATIVE TO BUILDING AREA	< 50%

LIST OF RELATED APPLICATIONS

ARCHITECTURAL APPLICATIONS		
01	GENERAL CONSTRUCTION APPLICATION	
OTHER APPLICATIONS		
02	PLUMBING APPLICATION	
03	MECHANICAL APPLICATION	
04	SPRINKLER APPLICATION	
05	STRUCTURAL APPLICATION	
06	FIRE ALARM APPLICATION	

#	SHEET	SHEET TITLE	ISSUANCE 2026.05.19		
	ARCHITECTURAL DRAWINGS				
01	G-001.00	PROJECT INFORMATION AND PLOT PLAN	●		
02	G-002.00	GENERAL NOTES AND SPECIAL INSPECTION	●		
03	G-003.00	ACCESSIBILITY DIAGRAMS AND NOTES	●		
04	G-004.00	ACCESSIBILITY SIGNAGE DIAGRAM	●		
05	G-005.00	ARCHITECTURAL CODE ANALYSIS - PART 1	●		
06	G-006.00	ARCHITECTURAL CODE ANALYSIS - PART 2	●		
07	G-007.00	ARCHITECTURAL CODE ANALYSIS - PART 3	●		
08	G-008.00	CONDITION ASSESSMENT REPORT	●		
09	A-100.00	PROPOSED 6TH FLOOR PLAN	●		
10	A-101.00	PROPOSED 7TH FLOOR PLAN	●		
11	A-200.00	PROPOSED 6TH FLOOR REFLECTED CEILING PLAN	●		
12	A-201.00	PROPOSED 7TH FLOOR REFLECTED CEILING PLAN	●		
13	A-400.00	PARTITION TYPES AND DOOR SCHEDULE	●		
14	A-401.00	TYPICAL DETAILS: CEILING	●		
15	A-402.00	TYPICAL DETAILS: FLOORING	●		

OWNER:

NYC Buildings

ICC INTERNATIONAL CODE COUNCIL

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

2026.06.02 ISSUE FOR DOB REVIEW

2026.05.21 ISSUE FOR DOB REVIEW

DRAWING TITLE:

PROJECT INFORMATION AND PLOT PLAN

PROJECT #:

DRAWN BY:

SHEET TITLE :

G-001.00

ABBREVIATIONS

ADJ.	ADJACENT
A.F.F.	ABOVE FINISHED FLOOR
A.C.T	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADAAG	ADA ACCESSIBILITY GUIDELINES
BLK.	BLOCKING
CL	CENTERLINE
CLR.	CLEAR
CLG.	CEILING
CNTR.	COUNTER
CNT.	CENTER
CONC.	CONCRETE
COL.	COLUMN
C.O.W.	CENTER OF WALL
CPT.	CARPET
CONT.	CONTINUOUS
CONST.	CONSTRUCTION
C.G.	CORNER GUARD
CMU	CONCRETE MASONRY UNIT
DEMO	DEMOLITION
DIM.	DIMENSION
DTL.	DETAIL
DWG.	DRAWING
DIA.	DIAMETER
DN.	DOWN
DR.	DOOR
ELEC.	ELECTRICAL
E.P.	ELECTRICAL PANELBOARD
EMER.	EMERGENCY
EQ.	EQUAL
(E)	EXISTING
EA.	EACH
EXT.	EXTERIOR
FBO.	FURNISHED BY OWNER
F.C.	FIXTURE CONTRACTOR
F.F.	FINISH FLOOR
F.D.	FLOOR DRAIN
FR	FRAME
F.R.T.	FIRE RETARDANT TREATED
F.S.	FIRE EXTINGUISHER
FURN.	FURNISH
F.O.W.	FACE OF WALL
GA.	GAUGE
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GWB.	GYPSUM WALL BOARD
HC	HOLLOW CORE
H.M.	HOLLOW METAL
HGT.	HEIGHT
HORIZ.	HORIZONTAL
IN.	INCH
INST.	INSTALL
INSUL.	INSULATION
KE	KITCHEN EQUIPMENT
L.O.D.	LEASE OUTLINE DRAWING
L.L.	LANDLORD
MAX	MAXIMUM
MAT'L.	MATERIAL
M.D.F.	MAIN DISTRIBUTION FACILITY
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIR.	MIRROR
MIN.	MINIMUM
M.A.	MOISTURE RESISTANT
M.O.	MASONRY OPENING
N/A	NOT APPLICABLE
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.P.	NEUTRAL PIER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPG.	OPENING
OPP.	OPPOSITE
PT.	PAINT
PLYWD.	PLYWOOD
P-LAM.	PLASTIC LAMINATE
PNL	PANEL
QTY.	QUANTITY
RCP	REFLECTED CEILING PLAN
R.B.	RUBBER BASE
REINF.	REINFORCING
REQ'D.	REQUIRED
REV.	REVISED/REVISION
SC	SOLID CORE
SCHED.	SCHEDULE
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
SUSP.	SUSPENDED
TEMP.	TEMPERED
TYP.	TYPICAL
UON	UNLESS OTHERWISE NOTED
V.C.A.	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FIELD
VERT.	VERTICAL
WD	WOOD

GENERAL NOTES

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODES.
2. CONTRACTOR TO CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE COMMENCING THE WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY UNUSUAL CONDITIONS.
3. CONTRACTOR IS TO FILE WORKMAN'S COMPENSATION AND TO SECURE ALL PERMITS BEFORE THE START OF WORK.
4. THE CONTRACTOR SHALL NOT SCALE DRAWING TO OBTAIN DIMENSIONS. IF THERE IS A DISCREPANCY ON OR LACK OF DIMENSION, THE ARCHITECT SHALL BE NOTIFIED AND THE INFORMATION WILL BE PROVIDED.
5. THE ENGINEER / ARCHITECT HAS NOT BEEN RETAINED FOR FIELD SUPERVISION OR INSPECTION.
6. THE CONTRACTOR IS TO RETAIN A LICENSED PROFESSIONAL ENGINEER AS PART OF HAS CONTRACT, ON BEHALF OF THE OWNER TO PERFORM ALL REQUIRED CONTROLLED INSPECTION WORK AS MAY BE REQUIRED.
7. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY AFFECTED BY THIS WORK.
8. FIVE DAYS PRIOR NOTICE SHALL BE GIVEN TO THE ADJOINING PROPERTY OWNERS AFFECTED BY THIS WORK.
9. THERE ARE NO STRUCTURAL CHANGES TO BE MADE UNDER THIS APPLICATION.
10. DRAPES, CURTAIN, SCENERY TO BE FLAME PROOF AS PER B.S.A CAL.21 SEC C19-161-1.
11. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENT:
    - 11.1. IT SHALL HAVE BEEN ACCEPTED PRIOR TO THE EFFECTIVE DATE OF CODE.
    - 11.2. IT SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHOD BY THE COMMISSIONER.
    - 11.3. IT SHALL HAVE BEEN APPROVED BY THE BOARD OF STANDARDS AND APPEAL.

PARTITION FRAMING NOTES

1. ALL LIGHT GAUGE METAL STUD WALLS AND PARTITIONS REQUIRE GYPSUM BOARD ON BOTH SIDES FOR THE FULL HEIGHT OF THE STUDS (UNLESS SPECIFICALLY DETAILED OTHERWISE).
2. ALL SUSPENDED WALLS SHALL HAVE GYPSUM BOARD THAT EXTENDS AT LEAST 4 INCHES ABOVE THE SUSPENDED CEILING (UNLESS SPECIFICALLY DETAILED OTHERWISE).
3. ALL STUD WALLS AND PARTITIONS SHALL HAVE CONTINUOUS LINES OF BRIDGING SPACED AT 4'-0" ON-CENTER. THE BRIDGING SHALL BE SECURELY FASTENED TO THE STUDS WITH EITHER WELDS OR SCREWS.
4. ALL STUDS SHALL BE 'C'-TYPE WITH FLANGE STIFFENERS.
5. THE MATERIALS AND DETAILS SHOWN ARE FOR TYPICAL INSTALLATIONS. WHERE THE STUD MANUFACTURER RECOMMENDS OR LOCAL ORDINANCES AND/OR CODES ARE MORE RESTRICTIVE OR OF HIGHER STANDARDS, THESE SHALL PREVAIL AND APPLY.

TYPICAL FASTENERS:

A. STEEL STUDS TO STEEL STUDS OR TRACKS:
#8-18 X 1/2" TEKS-2 WITH PHIL PAN-HEAD FOR 25 GA. OR 20 GA.
#10-16 X 9/16" TEK-3 WITH PHIL PAN-HEAD FOR INTERCONNECTION OF 18 GA. OR 16 GA.
B. STEEL STUDS OR TRACKS TO WOOD PURLINS, GIRDERS, AND BEAMS:
#14-10 X 1/2" H.W.H. TYPE 'S' METAL-TO-WOOD TEKS
C. STEEL STUDS OR TRACKS TO STRUCTURAL STEEL (WIDE FLANGE BEAMS, COLUMNS, GIRDERS, STEEL TUBE SHAPES, ETC): TEKS-3 OR TEKS-4 GAUGE AND LENGTH AS REQUIRED FOR THE COMBINED THICKNESS OF THE MATERIAL TO BE DRILLED
D. PLYWOOD TO STEEL STUDS:
#10-24 X 3/4" TEKS-3 (PLYMETAL TEKS) WITH THIN WAFER HEAD.
E. GYPSUM BOARD TO STEEL STUDS:
#7 X 1/4" TYPE 'S' BUGLE HEAD SCREWS FOR 3/8" TO 5/8" GYPSUM BOARD TO 25 GA. OR 20 GA. METAL STUDS.
#6 X 1/4" TYPE 'S-12' BUGLE HEAD SCREWS FOR 3/8" TO 5/8" GYPSUM BOARD TO 18 GA. OR 16 GA. METAL STUDS OR TRACKS.

CONSTRUCTION NOTES

1. WATER PROOF IN ALL WET AREAS.
2. CONTINUES MEMBRANE WATER-PROOFING INSTALLED UNDER FLOOR FINISH AND UP PERIMETER WALLS 6" ABOVE FLOOR LINE OR PER LOCAL CODE; WHICH IS MORE RESTRICTIVE SHALL PREVAIL AND APPLY.
3. GC IS RESPONSIBLE FOR VERIFYING SITE DIMENSIONS AND CONDITIONS.
4. EMERGENCY LIGHTING CIRCUITS MUST BE ON A DEDICATED BREAKER. BREAKER LOCKS MUST BE INSTALLED ON THE EMERGENCY LIGHTING BREAKER AND THE FIRE ALARM BREAKER.
5. SITE SUPER TO VERIFY SPACE DIMENSIONS AFTER DEMOLITION.
6. GC MUST COORDINATE ALL WALL OPENINGS' OVERALL DIMENSION DIRECTLY WITH MILLWORK SHOP DRAWINGS.
7. STRUCTURAL COLUMNS SHALL BE COVERED BY 5/8" FIRE-RATED DRYWALL AS PART OF THE DEMISING WALL, AND SHALL BE SEALED TO THE UNDERSIDE OF THE STRUCTURE ABOVE IN THE SAME MANNER AS DEMISING WALLS.
8. FIRESTOP ALL EXISTING AND NEW PENETRATIONS.
9. ALL FLOOR PENETRATIONS MUST BE FIRESTOPPED AND SEALED LIQUID TIGHT.
10. FLOOR TRANSITIONS MUST BE FLUSH. AT STOREFRONT, ALIGN FINISHED FLOOR WITH BORDER PAVER ELEVATION OF THE WALKWAY WITH A THRESHOLD OF MINIMAL THICKNESS (NOT TO EXCEED 1/2") PROVIDED AT THE DOORS. VINYL, RUBBER, OR METAL REDUCER STRIPS ARE NOT PERMITTED.
11. CEILING SUPPORT SYSTEMS SHALL ATTACH TO STRUCTURAL MEMBERS ONLY; NOT PERMITTED TO BE ATTACHED TO THE LANDLORD'S ROOF OR FLOOR DECKING, BRIDGING OR WIND BRACING, AND SHALL COMPLY WITH SEISMIC SPECIFICATIONS.
12. GC TO PROVIDE ACCESS TO ALL TENANT AND LANDLORD SYSTEMS AND CONTROLS WITHIN THE PREMISES, INCLUDING DIRECT ACCESS TO ANY FIRE SPRINKLER VALVE, BY MEANS OF FLUSH ACCESS PANELS.

CONSTRUCTION SYMBOLS

	EXISTING WALL TO REMAIN
	EXISTING WALL TO DEMOLISH
	PROPERTY LINE
	BUILDING SEPARATION LINE
N.I.C.	NOT IN CONTRACT
#	PARTITION TYPE
#	DOOR TAG
#	WINDOW TAG
# / #	SECTION CUT SYMBOL
# / #	ELEVATION SYMBOL
# / #	DETAIL SYMBOL WITH BUBBLE
℄	CENTER LINE
#	REVISION DELTA
	SMOKE DETECTOR / CARBON MONOXIDE DETECTOR, HARD-WIRED
EXIT	EXIT SIGN
EXIT+LIT	EXIT SIGN W/ INTEGRAL EMERGENCY LIGHT

CERTIFICATE OF OCCUPANCY

Form 54-C (Rev. 4/63)-42M-701190(63) 114
80

DEPARTMENT OF BUILDINGS

BOROUGH OF MANHATTAN , THE CITY OF NEW YORK

Date December 2, 1971 No. XXXXX

CERTIFICATE OF OCCUPANCY

NO CHANGES OF USE OR OCCUPANCY NOT CONSISTENT WITH THIS CERTIFICATE SHALL BE MADE UNLESS FIRST APPROVED BY THE BOROUGH SUPERINTENDENT

This certificate is for C. O. No. XXXXX
THIS CERTIFIES that the altered—building—premises located at
554 Forest Ave Block XXXX Lot XX
That the zoning lot and premises above referred to are situated, bounded and described as follows:
BEGINNING at a point on the north side of Main Street
distant 0 feet from the corner formed by the intersection of Side Street and Main Street
running thence east 120 feet; thence north 80 feet;
thence west 120 feet; thence south 80 feet;
running thence feet; thence feet;
to the point or place of beginning, conforms substantially to the approved plans and specifications, and to the requirements of the Building Code, the Zoning Resolution and all other laws and ordinances, and of the rules of the Board of Standards and Appeals, applicable to a building of its class and kind at the time the permit was issued; and
CERTIFIES FURTHER that, any provisions of Section 646e of the New York Charter have been complied with as certified by a report of the Fire Commissioner to the Borough Superintendent.
NB # XXX-1971 Construction classification— Class IC
Occupancy classification— Business, Group "E". Height 9 stories, 108' feet.
Date of completion— November 24, 1971 . Located in C 6-4 Zoning District.
at time of issuance of permit.
This certificate is issued subject to the limitations hereinafter specified and to the following resolutions of the Board of Standards and Appeals: and The City Planning Commission: (Calendar numbers to be inserted here)

PERMISSIBLE USE AND OCCUPANCY

Off-Street Parking Spaces
Off-Street Loading Berths

STORY	LIVE LOADS Lbs. per Sq. Ft.	PERSONS ACCOMMODATED	ZONING USE	OCCUPANCY	USE
Clr.	On Ground	55	6	E, D-2	Mechanical equipment and offices.
1st	100,175 100	60 100	6	C, E	Lobby Retail Store
	100	74	6	F-4	Eating and Drinking establishment
					Including limited musical entertainment.
2nd	50	70	6	E	Offices, Accessory Uses
3rd	50	70	6	E	Offices, Accessory Uses
4th	50	70	6	E	Offices, Accessory Uses
5th	50	70	6	E	Offices, Accessory Uses
6th	50	70	6	E	Offices, Accessory Uses
7th	50	70	6	E	Offices, Accessory Uses
8th	50	70	6	E	Offices, Accessory Uses
9th	50	70	6	E	Offices, Accessory Uses
Fan Room	175,40 Level	0	6	D-2	Mechanical space and roof.
Elevator Machine Room	100				Mechanical spaces.

- OVER -

Borough Superintendent

OFFICE COPY—DEPARTMENT OF BUILDINGS

EW-15 / CASE 1

PERMISSIBLE USE AND OCCUPANCY (continued)

STORY	LIVE LOADS Lbs. per Sq. Ft.	PERSONS ACCOMMODATED	USE

FIRE DEPARTMENT APPROVALS:
Sprinkler System-September 19, 1971
Standpipe System-September 18, 1971

FIRE ALARM SYSTEM:
Class "E" System

MECHANICAL SYSTEM:
Central Steam Heating Plant on cellar level

Borough Superintendent

EW-15 / CASE 1

TR1 & TR8 TABLE

ENERGY CONSERVATION STATEMENT AND NOTES:

"TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, ALL WORK UNDER THIS APPLICATION **COMPLIES** WITH THE NYCECC 2022."

TR1: SPECIAL INSPECTION CATEGORIES

Y	N	INSPECTION CATEGORY		CODE SECTION
		STRUCTURAL STEEL - WELDING		BC 1704.3.1
		STRUCTURAL STEEL - DETAILS		BC 1704.3.2
		STRUCTURAL STEEL- HIGH STRENGTH BOLTING		BC 1704.3.3
		STRUCTURAL COLD-FRAMED STEEL		BC 1704.3.4
		CONCRETE - CAST-IN-PLACE		BC 1704.4
		CONCRETE - PRECAST		BC 1704.4
		CONCRETE - PRESTRESSED		BC 1704.4
		MASONRY		BC 1704.5
		WOOD - INSTALLTION OF HIGH-LOAD DIAPHRAMS		BC 1704.6.1
		WOOD - INSTALLATION OF METALOPLATE-CONNECTED TRUSSES		BC 1704.6.2
		WOOD - INSTALLATION OF PREFABRICATED I-JOISTS		BC 1704.6.3
		SUBGRADE INSPECTION		BC 1704.7.1
		SUBSURFACE CONDITIONS - FILL PLACEMENT & IN-PLACE DENSITY		BC 1704.7.2 & BC 1704.7.3
		SUBSURFACE INVESTIGATIONS (BORINGS/TEST PITS)	TR4	BC 1704.7.4
		DEEP FOUNDATION ELEMETS	TR5	BC 1704.8
		HELICAL PILES (BB #2014-020)	TR5H	BC 1704.8.5
		WALL PANELS, CURATIN WALLS, AND VENEERS		BC 1704.9
		SPRAYED FIRE-RESISTANT MATERIALS		BC 1704.10
		MASTIC AND INTUMESCENT FIRE-RESISTANT COATINGS		BC 1704.11
		EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS)		BC 1704.12
		ALTERNATIVE MATERIALS - OTCR BUILDING BUILLETINS#		BC 1704.13
		SMOKE CONTRL SYSTEMS		BC 1704.14
		MECHANICAL SYSTEMS		BC 1704.15
		FUEL-OIL STORAGE AND FUEL-OIL PIPING SYSTEMS		BC 1704.16
		HIGH-PRESSURE STEAM PIPING (WELDING)		BC 1704.17
		HIGH TEMPATURE HOT WATER PIPING (WELDING)		BC 1704.18
		HIGH-PRESSURE FUEL-GAS PIPING (WELDING)		BC 1704.19
		STRUCTURAL STABILITY - EXISTING BUILDINGS		BC 1704.20.1
		EXCAVATIONS - SHEETING, SHORING AND BRACING		BC 1704.20.2
		UNDERPINNING		BC 1704.20.3 & BC 1814
		MECHANICAL DEMOLITION		BC 1740.20.4
		RAISING AND MOMVING OF A BUILDING		BC 1704.20.5
		SOIL PERDCOLATION TEST - PRIVAE ON SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS, AND DETAITION FACILITIES		BC 1704.21.1.2
		PRIVATE ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS, AND DETENTION FACILITIES INSTALLATION		BC 1704.21.2
		INDIVIDUAL ON-SITE PRIVATE SEWAGE DISPOSAL SYSTEMS INSTALLATION		BC 1704.22
		SOIL PERCOLATION TEST - INDIVIDUAL ON-SITE PRIVATE SEWAGE DISPOSAL SYSTEMS		BC 1704.22
Y		SPRINKLER SYSTEMS		BC 1704.23
Y		STAND PIPESYSTEMS		BC 1704.24
		HEATING SYSTEMS		BC 1704.25
		CHIMNEYS		BC 1704.26
		FIRE-RESISTANT PENETRATIONS AND JOINTS		BC 1704.27
		ALUMINUM WELDING		BC 1704.28
		FLOOD ZONE COMPLIANCE		BC 1704.29 & BC G105
		LUMINOUS EGRESS PATH MARKINGS	TR7	BC 1704.30 & BC 1024.8
		EMERGENCY AND STANDBY POWER SYSTEMS (GENERATORS)		BC 1704.31
		POST-INSTALLED ANCHORS (BB #2014-018, 2014-019)		BC 1704.32
		SEISMIC ISOLATION SYSTEMS		BC 1701.8
		CONCRETE DESIGN MIX	TR3	BC 1905.3 & BC 1913.5
		CONCRETE DAMPLING AND TESTING	TR2	BC 1905.6 & BC 1913.10

TR8: PROGRESS INSPECTION CATEGORIES

Y	N	INSPECTION CATEGORY		CODE SECTION
		PRELIMINARY		28-116.2.1 & BC 110.2
		FOOTING AND FOUNDATION		BC 110.3.1
		LOWEST FLOOR ELEVATION		BC 110.3.2
		STRUCTRAL WOOD FRAME		BC 110.3.3
		ENERGY CODE COMPLIANCE INSPECTIONS	TR8	BC 110.3.5
		FIRE-RESISTANCE RELATED CONSTRUCTION		BC 110.3.4
		PUBLIC ASSEMBLY EMERGENCY LIGHTING		28-116.2.2
		FINAL		28-116.2.4.2, BC 110.5, DIRECTIVE 14 OF 1975, AND 1RCNY §101-10

TR8: ENERGY CODE PROGRESS INSPECTION

Y	N	INSPECTION CATEGORY	CODE SECTION
		PROTECTION OF EXPOSED FOUNDATION INSULATION	(IA1),(IIA1)
		INSULATION PLACEMENT AND R-VALUES	(IA2),(IIA2)
		FENESTRATION AND DOOR U-FACTOR AND PRODUCT RATINGS	(IA3),(IIA3)
		FENESTRATION AIR LEAKAGE	(IA4),(IIA4)
		FENESTRATION AREAS	(IA5),(IIA5)
		AIR BARRIER - VISUAL INSPECTION	(IA6),(IIA6)
		AIR BARRIER - TESTING	(IA7),(IIA7)
		AIR BARRIER CONTINUITY PLAN TESTING/INSPECTION	(IIA8)
		VESTIBULES	(IIA9)
		FIREPLACES	(IB1),(IIB1)
		VENTILATION AND AIR DISTRIBUTION SYSTEM	(IB2)
		SHUTOFF DAMPERS	(IIB2)
		HVAC-R AND SERVICE WATER HEATING EQUIPMENT	(IB3),(IIB3)
		HVAC-R AND SERVICE WATER HEATING SYSTEM CONTROLS	(IB4),(IIB4)
		HVAC-R AND SERVICE WATER PIPING DESIGN AND INSULATION	(IB5),(IIB5)
		DUCT LEAKAGE TESTING, INSULATION AND DESIGN	(IB6),(IIB6)
		METERING	(IC1),(IIC1)
		LIGHTING IN DWELLING UNITS	(IIC2)
Y		INTERIOR LIGHTING POWER	(IC2),(IIC3)
		EXTERIOR LIGHTING POWER	(IIC4)
Y		LIGHTING CONTROLS	(IIC5)
		ELECTRICAL MOTORS AND ELEVATORS	(IIC6)
		MAINTENANCE INFORMATION	(ID1),(IID1)
		PERMANENT CERTIFICATE	(ID2)
		ELECTRIC VEHICLE SERVICE EQUIPMENT REQUIREMENTS	(ID3)

OWNER:

NYC Buildings — INTERNATIONAL CODE COUNCIL

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

2026.06.02	ISSUE FOR DOB REVIEW
2026.05.21	ISSUE FOR DOB REVIEW

DRAWING TITLE:

GENERAL INFORMATION AND CODE ANALYSIS

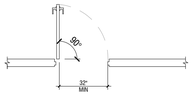
PROJECT #: DRAWN BY:

SHEET TITLE :

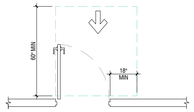
G-002.00

404 DOORS, DOORWAYS, AND GATES

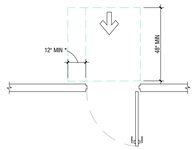
404.2.4.2 DOORWAYS WITHOUT DOORS OR GATES, SLIDING DOORS, AND FOLDING DOORS. DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS, OR FOLDING DOORS SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 404.2.4.2. APPROACH FROM FRONT, PERPENDICULAR TO DOORWAY MINIMUM MANEUVERING CLEARANCE IS TO BE 48", PARALLEL TO DOORWAY TO BE 0". SEE FIGURE (a) FRONT APPROACH.



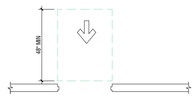
HINGED DOOR CLEAR WIDTH



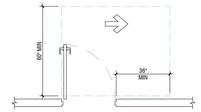
FRONT APPROACH, PULL SIDE



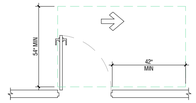
FRONT APPROACH, PUSH SIDE
*IF BOTH CLOSER AND LATCH ARE PROVIDED



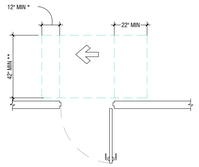
FRONT APPROACH
AT DOORWAYS WITHOUT DOORS



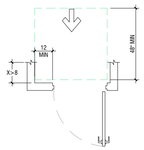
HINGE APPROACH, PULL SIDE



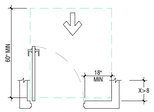
HINGE APPROACH, PULL SIDE



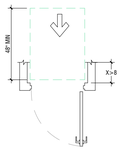
HINGE APPROACH, PUSH SIDE
*IF BOTH CLOSER AND LATCH ARE PROVIDED
** 48 MIN IF BOTH CLOSER AND LATCH PROVIDED



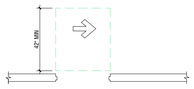
PUSH SIDE, DOOR PROVIDED WITH BOTH
CLOSER AND LATCH AT RECESSED DOOR



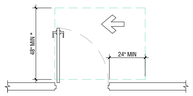
PULL SIDE
AT RECESSED DOOR



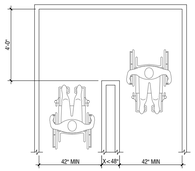
PUSH SIDE
AT RECESSED DOOR



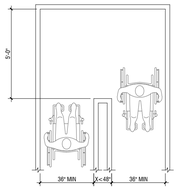
SIDE APPROACH
AT DOORWAYS WITHOUT DOORS



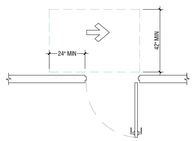
LATCH APPROACH, PULL SIDE
*54 MIN IF CLOSER IS PROVIDED



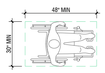
CLEAR WIDTH AT 180° TURN



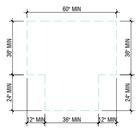
CLEAR WIDTH AT 180° TURN (EXCEPTION)



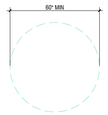
LATCH APPROACH, PUSH SIDE
*48 MIN IF CLOSER IS PROVIDED



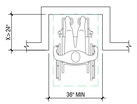
CLEAR FLOOR SPACE



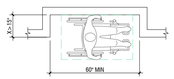
T-SHAPE



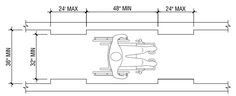
CIRCULAR



FORWARD APPROACH



PARALLEL APPROACH



CLEAR WIDTH OF AN ACCESSIBLE ROUTE

ACCESSIBILITY NOTES

ACCESSIBILITY NOTES

ACCESSIBILITY & USABILITY FOR THE PHYSICALLY HANDICAPPED SHALL BE PROVIDED IN PUBLIC AREAS. THE PROVISIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN NATIONAL INSTITUTE, INC. (ANSI A 117.1) AS REQUIRED BY THE NYC BUILDING CODE, SHOWN GRAPHICALLY ON THIS SHEET AND IN NOTES BELOW.

305 CLEAR FLOOR OR GROUND SPACE

305.1 GENERAL. CLEAR FLOOR OR GROUND SPACE SHALL COMPLY WITH 305.

305.2 FLOOR SURFACE. FLOOR SURFACES OF A CLEAR FLOOR SPACE SHALL COMPLY WITH SECTION 302. CHANGES IN LEVEL ARE NOT PERMITTED WITHIN THE CLEAR FLOOR SPACE. (EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED

305.3 SIZE. THE CLEAR FLOOR SPACE SHALL BE 48 INCHES MINIMUM IN LENGTH AND 30 INCHES MINIMUM IN WIDTH.

305.4 KNEE AND TOE CLEARANCE. UNLESS OTHERWISE SPECIFIED, CLEAR FLOOR OR GROUND SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306.

306 ACCESSIBILITY SIGNAGE

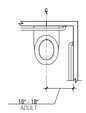
404 DOORS AND DOORWAYS

404.1 GENERAL. DOORS AND DOORWAYS THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 404

404.2.1 DOUBLE-LEAF DOORS AND GATES. AT LEAST ON OF THE ACTIVE LEAVES OF DOORWAYS WITH TWO LEAVES SHALL COMPLY WITH SECTION 404.2.2 AND 4.4.2.3

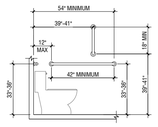
404.2.2 CLEAR WIDTH. DOORWAYS SHALL HAVE A CLEAR OPENING WIDTH OF 32 INCHES MINIMUM. CLEAR OPENING WIDTH OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAT 24 INCHES IN DEPTH AT DOORS AND DOORWAYS WITHOUT DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF 36 INCHES MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE CLEAR OPENING WIDTH LOWER THAN 34 INCHES ABOVE THE FLOOR. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FLOOR SHALL NOT EXCEED 4 INCHES.

BATHROOMS

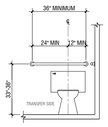


604.2
WATER CLOSET LOCATION

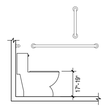
604.3.1
SIZE OF CLEARANCE AT WATER CLOSETS



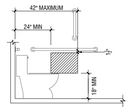
604.5.1
SIDE WALL GRAB BAR AT WATER CLOSETS



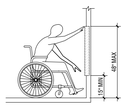
604.5.2
REAR WALL GRAB BAR AT WATER CLOSETS



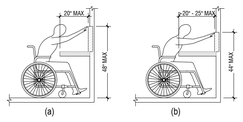
604.4
WATER CLOSET SEAT HEIGHT



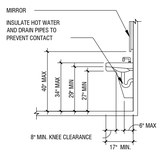
604.7
PROTRUDING DISPENSER OUTLET LOCATION



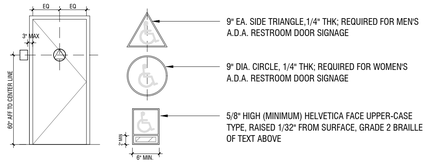
UNOBSTRUCTED FORWARD REACH



OBSTRUCTED HIGH FORWARD REACH

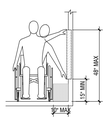


CLEARANCE AND HEIGHT REQUIREMENTS AT LAVATORY

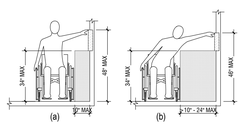


BATHROOM SIGNAGE

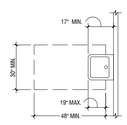
505.10.1
TOP AND BOTTOM HANDRAIL EXTENSIONS AT RAMPS
RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12 INCHES (305 MM) MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR FLOOR, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.



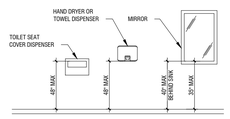
UNOBSTRUCTED SIDE REACH



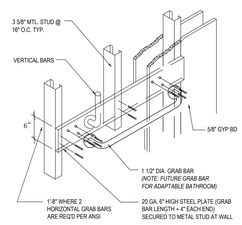
OBSTRUCTED HIGH SIDE REACH



FORWARD APPROACH



OTHER FIXTURE AND ACCESSORY MOUNTING HEIGHTS

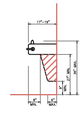


METAL PLATE DETAIL FOR GRAB BAR

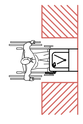
GRAB BAR NOTE
(2014 NYC BC APPENDIX P_P102.8.3 EXCEPTION):
GRAB BARS ARE **NOT REQUIRED** TO BE INSTALLED WHERE REINFORCEMENT FOR SUCH GRAB BARS IS INSTALLED AND LOCATED TO PERMIT FUTURE INSTALLATION OF GRAB BARS COMPLYING WITH SECTION P102.8.3.
PROPOSED:
1. GRAB BAR REINFORCEMENT TO BE INSTALLED PER METAL PLATE DETAIL.
2. NO GRAB BARS WILL BE INSTALLED UNLESS FUTURE TENANT WITH DISABILITIES REQUEST PRIOR TO MOVE IN.

DRINKING FOUNDATON REQUIREMENT

DRINKING FOUNTAIN PLAN



DRINKING FOUNTAIN SECTION
(a)
SPOUT HEIGHT AND KNEE CLEARANCE



(b)
CLEAR FLOOR SPACE

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

2026.06.02	ISSUE FOR DOB REVIEW
2026.05.21	ISSUE FOR DOB REVIEW

DRAWING TITLE:

ACCESSIBILITY DIAGRAMS AND RELATED NOTES

PROJECT #: DRAWN BY:

SHEET TITLE :

G-003.00

BUILDING SIGNAGE - ADA SIGNS

SIGN TYPE A1

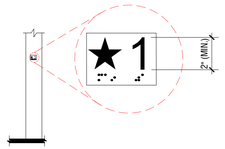


FIGURE 407.2.3.1
FLOOR DESIGNATIONS ON JAMBS OF ELEVATOR HOISTWAY ENTRANCES

SIGN TYPE A2

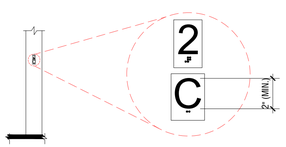


FIGURE 407.2.3.2
CAR DESIGNATIONS ON JAMBS OF DESTINATION-ORIENTED ELEVATOR HOISTWAY ENTRANCES

SIGN TYPE A3

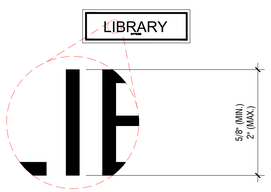


FIGURE 703.2.5
HEIGHT OF RAISED CHARACTERS

SIGN TYPE A4

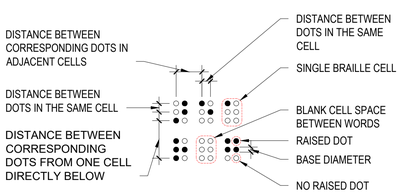


FIGURE 703.3.1
BRAILLE MEASUREMENT

SIGN TYPE A5

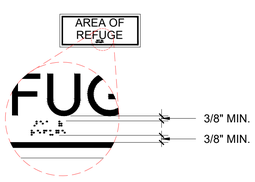


FIGURE 703.3.2
POSITION OF BRAILLE

SIGN TYPE A6

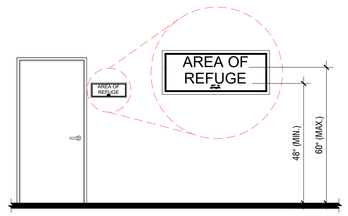


FIGURE 703.4.1
HEIGHT OF TACTILE CHARACTERS ABOVE FINISH FLOOR OR GROUND

SIGN TYPE A7

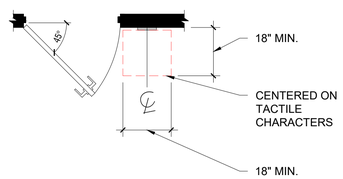


FIGURE 703.4.2
LOCATION OF TACTILE SIGNS AT DOORS

SIGN TYPE A8

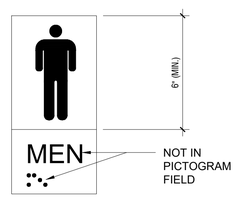


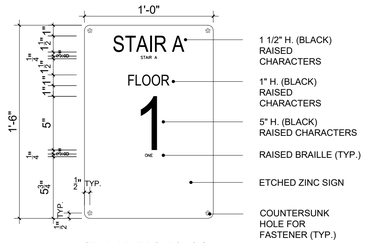
FIGURE 703.6.1
PICTOGRAM FIELD

SIGN NOTES

1	ACCEPTABLE MATERIALS: ETCHED ZINC OR BRUSHED SILVER ALUMINUM OR APPROVED EQUIVALENT. GC TO SUBMIT A SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
2	GC TO SUBMIT SHOP DRAWINGS FOR REVIEW OF STYLES, COLORS, FONTS, MATERIALS, SIZES AND COUNTS FOR APPROVAL PRIOR TO INSTALLATION.
3	STAIRWAY IDENTIFICATION SIGNS (TYPE S1 & S2) INDICATING EACH STAIR BY ALPHABETIC LETTER SHALL BE POSTED ON BOTH SIDES OF EACH STAIR DOOR.
4	FLOOR IDENTIFICATION SIGNS (TYPE S3) SHALL BE PROVIDED AT EACH FLOOR LANDING WITHIN EXIT ENCLOSURES CONNECTING MORE THAN THREE STORIES. THE SIGN SHALL BE LOCATED 5 FEET ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS A RE IN THE OPEN AND CLOSED POSITIONS.
5	TACTILE FLOOR LEVEL IDENTIFICATION SIGNS (TYPE S4 & S5) SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING ADJACENT TO THE DOOR ON THE STAIR SIDE.

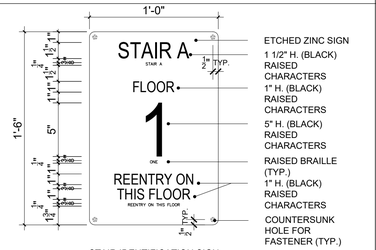
BUILDING SIGNAGE - OTHER SIGNS (SEE SIGN NOTE FOR OTHER ACCEPTABLE SIGN MATERIAL)

SIGN TYPE S1



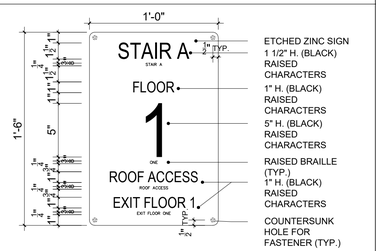
STAIR IDENTIFICATION SIGN
OCCUPIED SIDE

SIGN TYPE S2



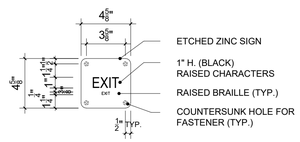
STAIR IDENTIFICATION SIGN
STAIR SIDE

SIGN TYPE S3



FLOOR IDENTIFICATION SIGN

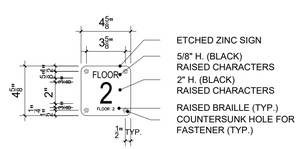
SIGN TYPE S4



NOTE:
TOP OF SIGN TO BE AT 60" AFF.

TACTILE EXIT SIGN

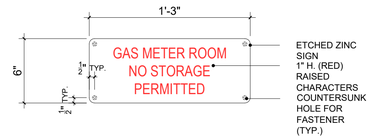
SIGN TYPE S5



NOTE:
TOP OF SIGN TO BE AT 60" AFF.

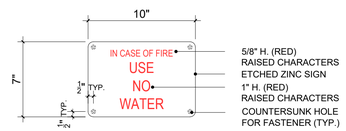
TACTILE FLOOR IDENTIFICATION SIGN

SIGN TYPE S6



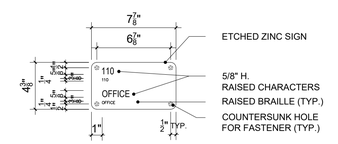
GAS METER ROOM SIGN

SIGN TYPE S7



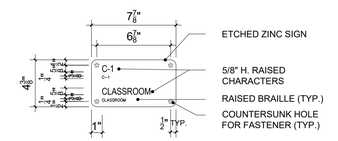
ELECTRICAL CLOSET SIGN

SIGN TYPE S8



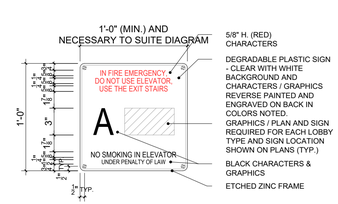
ROOM IDENTIFICATION SIGN - OFFICE

SIGN TYPE S9



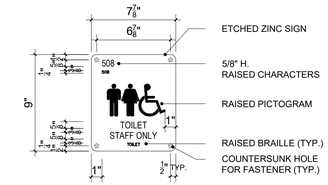
ROOM IDENTIFICATION SIGN - CLASSROOM

SIGN TYPE S10



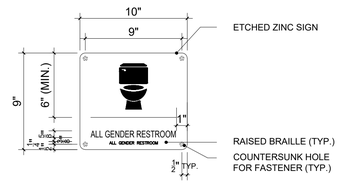
ELEVATOR LANDING SIGN

SIGN TYPE S11



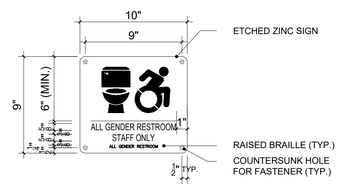
TOILET ROOM IDENTIFICATION SIGN - STAFF(UNI-SEX)

SIGN TYPE S12



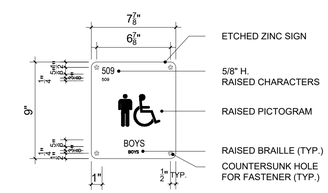
TOILET ROOM IDENTIFICATION SIGN - (ALL GENDER)

SIGN TYPE S13



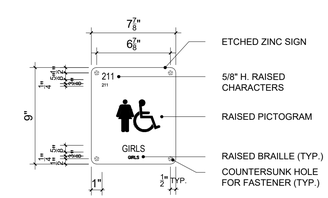
TOILET ROOM IDENTIFICATION SIGN - (ALL GENDER)

SIGN TYPE S14



TOILET ROOM IDENTIFICATION SIGN - STUDENT(BOYS)

SIGN TYPE S15



TOILET ROOM IDENTIFICATION SIGN - STUDENT(GIRLS)

OWNER:

NYC Buildings

ICC INTERNATIONAL CODE COUNCIL

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

2026.06.02	ISSUE FOR DOB REVIEW
2026.05.21	ISSUE FOR DOB REVIEW

DRAWING TITLE:

ACCESSIBILITY SIGNAGE DIAGRAM

PROJECT #: DRAWN BY:

SHEET TITLE :

G-004.00

ARCHITECTURAL CODE ANALYSIS - NYC Existing Building Code - Part 1

SUMMARY

Project Type	Interior Alteration
Job Description / Scope of Work	Partial 6th & full 7th floor interior fit out of group B occupancy office tenant space including installation of non-load bearing interior partitions, floor finishes, suspended ceilings, perform repairs in Stair B at 6th – 7th floor runs. Renovate 7th floor bathrooms to provide accessibility. New pantries and drinking fountains at the 6th & 7th floors, structural work to accommodate new loads, upgraded mechanical, plumbing, electrical and fire protection work. No change to use, egress, or occupancy. Demolition / abatement previously completed and signed off by others under separate application.
Stories	9 stories + cellar (high-rise)
Occupancy	B, Offices
Construction Class	1968 Code, Construction Class I-C (Class IB under BC 2022), fully sprinklered
Existing Building Area (sf) including subgrade levels	88,000 (10 floors at 8,800 sf each)
Proposed Building Area (sf) including subgrade levels	No Change
Prior Code Building (Y/N)?	Y, Building constructed in 1971, prior to July 1, 2008.
EBC CONSIDERATIONS	
Work Area (sf)	3,461 sf on 6th floor + 7,878 sf on 7th floor = 11,339 sf
Work Area / Exist. Building Area %	12.89%
Work Area relative to Building Area	<50%
EBC Alteration Level (Level 1 or Level 2)	Level 1
Change of Occupancy (Y/N)?	N
Existing Occupancy	Group B
Proposed Occupancy	No Change
Addition (Y/N)?	N
Addition Area (sf)	Not applicable
Tenant/Occupant Protection Plan required?	Building is occupied by non-residential tenants, OPP required.
Will the "Building safety performance and scoring method" be used? (Y/N)	N
Applicable EBC Chapters	Chapter 3 – General Applicable Provisions
	Chapter 7 - Structural
	Chapter 8 – Alteration Level 1
	Chapter 15 – Safety in Occupied Buildings
Certificate of Occupancy required (AC 28-118)? (Y/N)	N

ARCHITECTURAL CODE ANALYSIS

BUILDING ELEMENTS AND MATERIALS

Section	Subject	Requirements	Applies?	Compliance
303.2	Fire resistive elements.	The fire-resistance ratings of existing building elements and materials shall not be reduced. (See EBC text for exceptions.)	Y	Complies. The fire-resistance rating of existing building elements is maintained.
303.6	Interior environment.	Alterations, additions, conversions and changes of use or occupancy shall comply with BC Chapter 12 and this code.	Y	Complies. The alteration complies with BC Chapter 12.
801.3	New and replacement materials, assemblies and details	Materials, assemblies and details for all new work shall comply with Section 302.4.	Y	Materials, assemblies and details used within the work area comply with NYC Construction codes as shown on plans.
803.2	Shafts and vertical openings.	Existing shafts and vertical openings shall comply with the provisions of BC Chapter 7 except as stated in Sections 803.2.1 through 803.2.3 for prior code buildings.	Y	Provisions for prior code buildings apply. Note that Stair A is not part of the work area.
803.2.1	Existing shafts and vertical openings in prior code buildings.	Existing shafts and vertical openings that are lawfully enclosed in accordance with a prior code shall not be reduced in fire-resistance rating.	Y	Complies. Existing shafts and vertical openings within the work area are enclosed with 2 hr. fire rated construction in accordance with the 1968 BC and are not to be altered.
803.2.2	Supplemental shaft and floor opening enclosure requirements.	Where the work area on any floor exceeds 50% of that floor area, the enclosure requirements of Section 803.2 shall apply to vertical openings other than stairways throughout the floor.	Y	Complies. Supplemental requirements apply to 7th floor where the work area is > than 50% of that floor area. Existing shafts and vertical openings are enclosed with 2 hr. fire rated construction and rating is not reduced.
803.2.3	Supplemental stairway enclosure requirements in prior code buildings.	Where the work area on any floor exceeds 50% of that floor area, stairways that are part of the means of egress serving the work area shall be enclosed with min. 1-hour fire rated construction on the highest work area floor and all floors below.	Y	Complies. 2 hr. fire rated construction is provided at the Stair A and B enclosures from the 7th floor (highest work area floor) and all floors below.
803.4	Interior finish.	The interior finish of walls and ceilings in exits and corridors in the work area shall comply with the NYC BC.	Y	Complies. Interior finishes in Stair B and elevator lobby at 7th floor are in accordance with BC Table 803.11 Class "B" finishes for sprinklered buildings.
803.4.1	Supplemental interior finish requirements.	Where the work area on any floor exceeds 50% of the floor area, Section 803.4 shall also apply to the interior finish in exits and corridors serving the work area throughout the floor.	Y	Complies. Interior finishes in Stair A, Stair B, and elevator lobby at 7th floor are in accordance with BC Table 803.11 for sprinklered buildings.
803.9	Existing buildings in fire districts.	Alterations made to existing buildings shall comply with Section 302.6 and Sections 803.9.1 through 803.9.3.	Y	Complies. See below for compliance with Section 803.9.1 and 803.9.2. Sections 803.9.2 and 803.9.3 are not applicable.
302.6	Existing buildings in fire districts.	Alterations, additions, changes of use or occupancy and relocations of existing buildings inside the fire district, as described in BC Appendix D, shall be subject to BC Chapter 6 and Sections 302.6.1 and 302.6.2	Y	Complies. Existing Construction Type IB complies. Section 302.6.1 does not apply – no Group H-1 occupancy is proposed.
302.6.2	Changes to buildings.	An existing building shall not be hereafter altered, increased in height or area, changed to a new use or occupancy, relocated or moved into the fire district unless such building is of a type of construction permitted for new buildings within the fire district in accordance with the BC.	Y	Complies. Existing building (Group B occupancy) of Construction Type IB complies with BC Chapters 5 & 6.
803.9.1	Construction type.	Every existing building, room, or space hereafter altered shall be of a construction type as indicated in BC Chapter 6 including the required fire resistance rating of bearing walls, floors, roofs and their supporting structural members.	Y	Complies. Existing Construction Type IB complies.
803.1	Architectural condition assessment.	Where a building is being altered and the work area exceeds 50% of the floor area, the registered design professional of record shall visually assess the condition of fire-resistant building elements and assemblies within the work area, and egress elements serving the work area on that same story.	Y	Complies. Applies to 7th floor where work area exceeds 50% of the floor area. See Architectural condition assessment report.

FIRE PROTECTION

Section	Subject	Requirements	Applies?	Compliance
	See fire protection code analysis.			

EGRESS

Section	Subject	Requirements	Applies?	Compliance
305.5	Special provisions for prior code buildings.	Alterations, additions, changes of occupancy or relocations of prior code buildings that require changes to means of egress shall be permitted to comply with Sections 305.5.1 through 305.5.19.	Y	Complies. Work is limited to repairs of treads and risers in kind within Stair B at the 6th – 7th floor runs, repairs to wall finishes within the stairway, repairs to handrail and guardrail sections, and new door closers at the 6th and 7th floor stair doors.
305.5.1	Occupant load and exit capacity, Exception #1	Occupant load and exit capacity need not be determined for Level 1 alterations where existing occupant loads are maintained, as documented by an existing certificate of occupancy or previously approved plans.	Y	Proposed Level 1 alteration maintains the occupant load of 70 persons per floor as documented by existing CO # XXXXXXXX.
305.5.4	Travel distance.	Travel distances shall comply with BC Chapter 10. Maximum travel distance 300 ft. per BC Table 1017.2.	Y	Complies. Not change of egress/travel distance is proposed

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NYC Buildings

ICC INTERNATIONAL CODE COUNCIL

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DOB APPROVAL STAMP:

2026.06.02	ISSUE FOR DOB REVIEW
2026.05.21	ISSUE FOR DOB REVIEW

DRAWING TITLE:

CODE ANALYSIS

PROJECT #: | DRAWN BY:

SHEET TITLE :

G-005.00

ARCHITECTURAL CODE ANALYSIS - NYC Existing Building Code - Part 2

805.4.1.1 Table 805.4.1.1	Required number of exits or exit access doorways in prior code buildings.	Max. occupant load with one exit access door = 74 for Occupancy Group B.	Y	Complies. Per C of O occupancy maintained at 70 persons per floor. For egress analysis, occupancy at the 6th floor tenant space = 35 occupants (3,461/100 = 35). One exit access door is required and provided. For egress analysis, occupant load at 7th floor is 70 persons as per existing CO. Two exit access doors are provided.
805.4.2	Door swing.	In the work area, all means of egress doors serving rooms or spaces requiring more than 1 exit access door shall swing in the direction of exit travel.	Y	Complies. Exit access doors from work area swing in the direction of exit travel even though they serve less than 74 people. See Dwg. A-100.00 & A-101.00
805.4.2.1	Supplemental requirements for doors swing.	Where the work area exceeds 50% of the floor area, door swing shall comply with Section 805.4.2 throughout the floor.	Y	Complies. All exit access doors at the 7th floor swing in the direction of exit travel. See Dwg. A-101.00
805.4.3	Door closing.	In any work area, all doors opening onto an exit passageway at grade or an exit stairway shall be self-closing or automatic-closing by listed closing devices.	Y	Complies. An approved closer is provided at Stair B 6th and 7th floor doors, so that the doors are self-closing. See Dwg.A-100.00, A -101.00 & A-400.00
805.4.3.1	Supplemental requirements for door closing.	Where the work area exceeds 50% of the floor area, new or existing fire doors opening from the work area to exit stairways... shall comply with Section 805.4.3; and the building owner shall certify that all other fire doors throughout the exit stairway from the level of the work area to the exit discharge are self-closing.	Y	Complies. Fire doors throughout the exit stairways from the level of the work area at the 7th floor to the exit discharge are provided with self-closing mechanisms. See Certification by Owner for door closing for all other fire doors leading to Stair A and Stair B and exit discharge at grade.
805.5.1	Corridor doors.	Corridor doors in the work area shall be constructed to comply with BC 1010. Exception: Existing doors in buildings protected throughout with an approved automatic sprinkler system shall be required only to resist smoke, be reasonably tight fitting and shall not contain louvers.	Y	Complies. Proposed corridor doors are fire rated per BC 1010. See Dwg. A-400.00
805.5.4	Supplemental requirements for corridor openings.	Where the work area on any floor exceeds 50% of the floor area, the requirements of Sections 805.5.1 through 805.5.3 shall apply throughout the floor.	Y	Complies. Supplemental requirements apply to 7th floor where the work area is > than 50% of that floor area. Both corridor doors are 1 hour fire rated and self-closing doors in accordance with BC 1020.1.1 for interior corridors, 403.6.3 for elevator lobbies, and 3006.1.1. See Dwg. A-101.00 & A-400.00
805.7	Means of egress lighting.	Means of egress in all work areas shall be provided with artificial lighting in accordance with the requirements of BC Chapter 10.	Y	Complies. Artificial lighting for the means of egress in the work area is provided in accordance with BC Chapter 10. See reflected ceiling Dwg. A-200.00 & A-201.00
805.7.1	Supplemental requirements for means of egress lighting.	Where the work area on any floor exceeds 50% of that floor area, means of egress lighting throughout the floor shall comply with Section 805.7.1.	Y	Complies. Artificial lighting for the means of egress throughout the 7th floor is provided in accordance with BC Chapter 10. See reflected ceiling Dwg. A-101.00
805.8.1	Exit signs.	Means-of-egress in work areas shall be provided with exit signs in accordance with requirements of BC Chapter 10.	Y	Complies. Means-of-egress in work areas are provided with exit signs per BC Chapter 10. See reflected ceiling Dwg. A-200.00 & A-201.00
805.8.2	Supplemental requirements for exit signs.	Where the work area on any floor exceeds 50% of that floor area, means of egress throughout the floor shall comply with Section 805.8.1.	Y	Complies. Means-of-egress throughout the 7th floor are provided with exit signs per BC Ch 10. See reflected ceiling Dwg. A-201.00
805.9	Handrails.	The requirements of Section 805.9.1 shall apply to handrails from the work area floor to and including, the level of exit discharge.	Y	Complies. See Architectural condition assessment report and Section 805.9.1 below.
805.9.1	Minimum requirement.	In prior code buildings, every required exit stairway that is part of the means of egress for any work area in which the existing handrails are not adequate in strength and attachment in accordance with the applicable sections of BC Chapter 16 shall be provided with handrails designed and installed in accordance with Section 305.5.13.	Y	Complies. Existing handrails with inadequate attachment in Stair B at the runs between the 6th and 7th floors are repaired. Other handrails in Stairs A and B from the work area to the level of exit discharge are observed and found to be adequate in strength and attachment.
805.11	Guards.	The requirements of Section 805.11.1 shall apply to guards from the work area floor to, and including, the level of exit discharge but shall be confined to the egress path of any work area.	Y	Complies. See Architectural condition assessment report and Section 805.11.1 below.
805.11.1	Minimum requirement.	Every open portion of a stairway, landing or balcony that is more than 30" above the floor or grade below and is not provided with guards, or those portions in which existing guards are judged to be in danger of collapsing, shall be provided with guards in accordance with BC Chapter 10.	Y	Complies. Existing guardrail sections with inadequate support in Stair B at the runs between the 6th and 7th floors are repaired. Other guards in Stairs A and B from the work area to the level of exit discharge are observed and found to be adequate in strength and attachment.

ACCESSIBILITY

Section	Subject	Requirements	Applies?	Compliance
306.1	Compliance.	Alterations, including minor alterations, repairs excluding ordinary repairs, and alterations affecting an area containing a primary function, changes of use or occupancy, additions and relocation of existing buildings, shall comply with BC Chapter 11 and this code.	Y	General. See Section 806.
306.1.1	Requirements based on the extent of alterations.	Accessible features and construction governed by BC Chapter 11 shall be provided: 1. To the entire building undergoing alterations, as if the building were hereafter erected in accordance with Sections 302.7 or 906 as applicable; or; 2. To the portion of the building being altered or repaired, excluding ordinary repairs, to the extent of the alteration, including minor alterations in accordance with Section 105, Chapter 5, Section 806 or Section 906, as applicable.	Y	Complies. Item 1 of Section 306.1.1 does not apply because the work does not increase floor surface area of an existing building by more than 110%. Item 2 applies and work complies with Section 806. See below for accessibility features including accessible route to area of primary function, accessible toilets at the 7th floor and accessible pantries at the 6th & 7th floors.
306.1.2	Alterations affecting an area containing a primary function.	Alterations affecting an area containing a primary function shall comply with Section 806.3.	Y	General. See Section 806.3.
806.2	Compliance	A facility that is altered shall comply with the applicable provisions in Sections 806.2.1 through 806.2.14 of this code and Chapter 11 of the NYC BC to the extent of the alteration.	Y	See compliance with the applicable sections and Dwg. G-003.00.
806.2.12	Thresholds.	The maximum height of thresholds at doorways shall be in accordance with ICC A117.1.	Y	Complies. Thresholds are in accordance with ICC A117.1. See Dwg. G-003.00
806.3	Alterations affecting an area containing a primary function.	Where an alteration affects the accessibility to or contains an area of primary function, the route to the primary function area, including entrances, shall be accessible in accordance with this section and Section 806.3.1. The accessible route to the primary function area shall include toilet facilities and drinking fountains serving the area of primary function. The costs of providing the accessible route are not required to exceed 25% of the costs of the alterations affecting the area of primary function.	Y	Complies. A primary function is a major activity for which the facility is intended and includes the office areas of the project. The building's route to the area of primary function is accessible. The estimated cost of this Level 1 Alteration is $1,133.900 The cost of improvements along the path of travel to the primary functions = $200,000 about 17.6% of the cost of alteration. See Section 806.3.1 below.
806.3.1	Path of travel prioritization	The cost of improvements along the path of travel shall be prioritized in accordance with the following: 1. Accessible entrances. 2. Accessible route to the altered area. 3. Accessible toilet facilities. 4. Accessible drinking fountains and bottle-filling stations. 5. Accessible telephones. 6. Additional items such as parking, storage and alarms.	Y	Since the building entrance and elevators are made accessible under previous projects, it is proposed to improve the accessible route to the 6th and 7th office floors with: 1. The renovated, accessible toilet facilities on the 7th floor. See Dwg. A-101.00 2. Accessible drinking fountains / bottle-filling stations at the 6th & 7th floors. See Dwg. A-100.00 & A-101.00 3. Alarms at the 6th & 7th floors.

ELEVATORS & CONVEYING SYSTEMS

OWNER:

NYC Buildings

ICC INTERNATIONAL CODE COUNCIL

ARCHITECT :

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DOB NOW JOB NUMBER:

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CODE ANALYSIS

PROJECT #: DRAWN BY:

SHEET TITLE :

G-006.00

ARCHITECTURAL CODE ANALYSIS - NYC Existing Building Code - Part 3

Section	Subject	Requirements	Applies?	Compliance
	No work for this application.		NA	
ENERGY CONSERVATION				
Section	**Subject**	**Requirements**	**Applies?**	**Compliance**
813.1	Minimum requirements.	Level 1 alterations are permitted without requiring the entire building to comply with the energy requirements of the NYC Energy Conservation Code. Level 1 alterations shall conform to the energy requirements of ECC Chapters R5 or C5, Existing Buildings.	Y	Complies.
	See energy code analysis.			
CHAPTER 15 - ADDITIONAL SAFEGUARDS DURING CONSTRUCTION OR DEMOLITION				
FOR EXISTING BUILDINGS AND OCCUPIED BUILDINGS				
Section	**Subject**	**Requirements**	**Applies?**	**Compliance**
Section 1502 – Safeguards for Occupants				
1502.1	Occupant protection required.	When construction or demolition activity occurs in an occupied building... protective means shall be installed and maintained as necessary to provide reasonable protection for the occupants against hazard and nuisance. Such protective means shall be indicated on an occupant protection plan, or on a tenant protection plan, as applicable.	Y	General.
1502.2	Common areas.	Common areas open to the public shall be left clean and free from hazards at the end of the workday.	Y	Complies. Common areas are to be left clean and free from hazards at the end of the workday.
Section 1504 – Occupant Protection Plan				
1504.1	Occupant protection plan - Where required.	Alteration, construction, or partial demolition work performed in a building that will be occupied during the work... shall be conducted in accordance with an occupant protection plan.	Y	Complies. Occupant protection plan is required and will be maintained at project site.
Section 1505 – Maintaining Means of Egress				
1505.1	Maintenance of means of egress.	Means of egress shall be maintained at all times during construction or demolition operations in occupied buildings.	Y	Complies with EBC Section 1505 to maintain means of egress.
SECTION 1506 – AUTOMATIC SPRINKLER SYSTEM				
1506.1	Sprinkler systems during alteration or demolition.	Existing sprinkler systems in buildings undergoing an alteration or demolition shall comply with the requirements of BC Section 3303.7.4 and EBC Section 1506.2	Y	Complies. See Fire Protection code analysis.
1506.2	Sprinkler protection during construction in fully sprinklered buildings.	Where alterations are proposed to a floor on which the sprinkler system is to be temporarily disconnected in the work area, Temporary Core Sprinkler Protection (TCSP) shall be provided in accordance with Sections 1506.2.1 through 1506.2.5. Alterations shall comply with the NYC Fire Code.	Y	Complies. See Fire Protection code analysis.

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

2026.06.02 ISSUE FOR DOB REVIEW

2026.05.21 ISSUE FOR DOB REVIEW

DRAWING TITLE:

CODE ANALYSIS

PROJECT #: DRAWN BY:

SHEET TITLE :

G-007.00

ARCHITECTURAL CONDITION ASSESSMENT REPORT - NYC Existing Building Code

- Section 803.10 – Architectural condition assessment. Where a building is being altered and the work area exceeds 50% of the floor area, the registered design professional of record shall visually assess the condition of fire-resistant building elements and assemblies within the work area, and egress elements serving the work area on that same story. The results and findings of the assessment shall be incorporated in the scope of work as needed. Where the assessment reveals unsafe conditions or deteriorated building elements, such elements shall be remediated, and the unsafe conditions corrected. See Assessment Table below.
- Section 803.10.1 Hazardous conditions. All conditions noted as hazardous to life, safety or health that are not immediately corrected shall be brought to the immediate attention of the commissioner.
- Indicate locations of conditions identified by assessment on drawings and provide photographs.

PROJECT INFORMATION	
Application No:	XXXXXXXXXXX
Address:	554 Forest Ave.
Borough	XXXXXXXXXXX
Block:	XXXX
Lot(s):	XX
Assessment of Floor #s	6 & 7

ASSESSMENT TABLE

Element	Floor #	Condition Assessment	Corrective Action: Corrected (Describe correction)	Corrective Action: Included in Scope (indicate drawing #s)
1. Shafts and vertical openings enclosures.	7	Existing shafts and vertical openings are in code compliant condition and enclosed in 2 hr. rated walls as required by the 1968 code. and comply.	NA	NA
2. Stair A enclosure and material combustibility	7	Stair A is in code compliant condition including enclosure and interior finish as required by the 1968 code.	NA	NA
3. Stair B enclosure and material combustibility.	6, 7	Stair B requires repairs of some treads and risers and wall finishes between 6th and 7th floors. to maintain 2 hr. rated enclosure.	No	Yes. Repair treads and risers with like non-combustible material and repair stair wall finish in accordance with EBC Section 803.4 and BC Ch 8. See Dwg. A-100.00
4. Stair B exit doors	6, 7	Stair B doors at the 6th and 7th floors do not close properly and require replacement.		Replace exit doors to Stair B at the 6th & 7th floors with new 1-1/2 hr. rated doors. Provide new approved door closers. See Dwg. A-100.00, A-101.00 & A-400.00.
5. Fire walls and fire-rated partitions, including penetrations and protection of windows and doors.	7	Fire-rated partitions observed to be in code compliant condition. New pipe penetrations to be fire-stopped.	NA	New duct/pipe penetrations shall be fire-stopped and provided with Fire/smoke dampers per BC Chapter 7. See MEP dwgs.
6. Protection of lot line windows.	7	Not applicable. No lot line windows.	NA	NA
7. Fire escape and access thereto, including attachment to exterior wall, stairs, balconies, fire protection of windows and railings.	7	Not applicable. No fire escape.	NA	NA
Section 803.10 Hazardous conditions.	7	None observed.	NA	NA
Other condition – Stair B handrails.	6, 7	Inadequate support of handrails at stair runs in Stair B between 6th and 7th floors.	No	Repair: provide adequate support of handrails in accordance with EBC 805.9. as required. See Dwg. A-100.00
Other condition – Stair B guardrails.	6, 7	Inadequate support of guardrail sections at stair runs in Stair B runs between 6th and 7th floors.	NA	Repair: provide adequate support of guardrail sections as required. See Dwg. A-100.00

ASSESSED CONDITIONS BEYOND THE WORK AREA TO MEET SUPPLEMENTAL REQUIREMENTS

Element	Floor #	Condition Assessment	Corrective Action: Corrected (Describe correction)	Corrective Action: Included in Scope (indicate drawing #s)
803.2.2 Supplemental shaft & floor opening requirements.	7	Entire 7th floor is included in the work area. Existing shafts and vertical openings are in code compliant condition. See Item 1 above.	NA	NA
803.2.3 Supplemental stairway enclosure requirements.	7	Stair A and B enclosures observed to be compliant from the 7th floor and all floors below, except for corrective work required for Stair B between the 6th & 7th floors as noted in Item 3 above.	No	Yes
803.4.1 Supplemental interior finish requirements.	7	Interior finishes in Stair A, Stair B, and 7th floor corridor are observed to be compliant, except for finish repairs as noted in Item 3 above.	No	Yes
805.4.2.1 Supplemental requirements for door swing.	7	All exit access doors at the 7th floor swing in the direction of egress.	No	Yes
805.4.3.1 Supplemental requirements for door closing.	7	Fire doors throughout the exit stairways from the level of the work area to the exit discharge are provided with self-closing mechanisms, except for the replacement of Stair B exit doors and inoperative door closers at doors at 6th & 7th floors as noted above.	No	Yes
805.5.4 Supplemental requirements for corridor openings.	7	Corridor doors at the 7th floor are rated and comply.	No	Yes
805.7.1 Supplemental requirements for means of egress lighting.	7	Means of egress lighting is provided throughout the 7th floor and complies.	No	Yes
805.8.2 Supplemental requirements for exit signs.	7	Exit signs are provided throughout the 7th floors.	No	Yes

Signature and Attestation

Applicant of Record: _____

I state that the above assessment is accurate to the best of my knowledge, based on visual observations.

Seal and Signature:

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

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2026.05.21 ISSUE FOR DOB REVIEW

DRAWING TITLE:

ARCHITECTURAL CONDITION ASSESSMENT REPORT

PROJECT #: DRAWN BY:

SHEET TITLE :

G-008.00

GENERAL CONSTRUCTION:
- INSTALL NON-LOAD BEARING INTERIOR PARTITIONS AND DOORS THROUGHOUT WITHIN NEWLY DEMISED TENANT SPACE.
- INSTALL NEW GYPSUM BOARD DROP CEILING THROUGHOUT WORK AREA
- INSTALL NEW MILLWORK IN PANTRY
- REPLACE DAMAGED STAIRWAY TREADS, REPLACE DOOR CLOSER, REMOUNT LOOSE HANDRAILS. (ADDITIONAL SCOPE FROM ARCHITECTURAL CONDITION ASSESSMENT SURVEY FINDINGS OF DAMAGED STAIR)

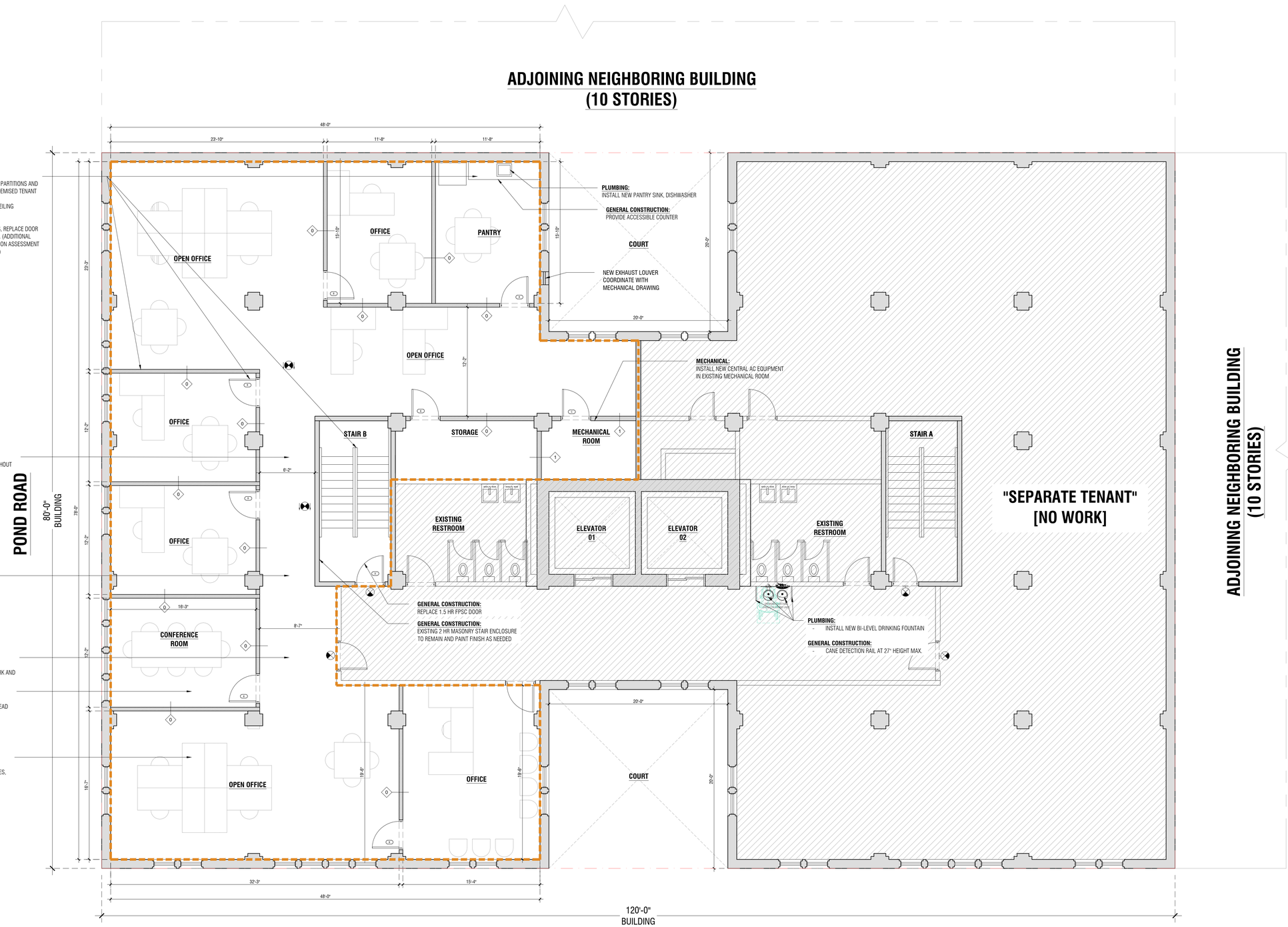
FIRE ALARM:
RELOCATION OF FIRE ALARM DEVICES THROUGHOUT WORK AREA

SPRINKLER:
RELOCATION OF SPRINKLER HEADS THROUGHOUT WORK AREA

MECHANICAL:
- INSTALL NEW CENTRAL AC SYSTEM
- RELOCATION OF MECHANICAL DUCWORK AND SUPPLY / RETURN VENTS

STRUCTURAL:
PROVIDE STRUCTURAL REINFORCEMENT AND SEISMIC TIES FOR NEW MECHANICAL UNITS, DEAD LOAD TO BE DETERMINED BY MECHANICAL ENGINEER.

ELECTRICAL:
INSTALL NEW ELECTRICAL OUTLETS, GENERAL ELECTRICAL WIRING, CEILING LIGHTING FIXTURES, LIGHT SWITCHES, THROUGHOUT WORK ARE



LEGEND:

EXTENT OF WORK AREA : 3,461 S.F.

OUTSIDE OF WORK AREA

1 TYPICAL FLOOR PLAN - 6TH FLOOR
SCALE: 1/4" = 1'-0"

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

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DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

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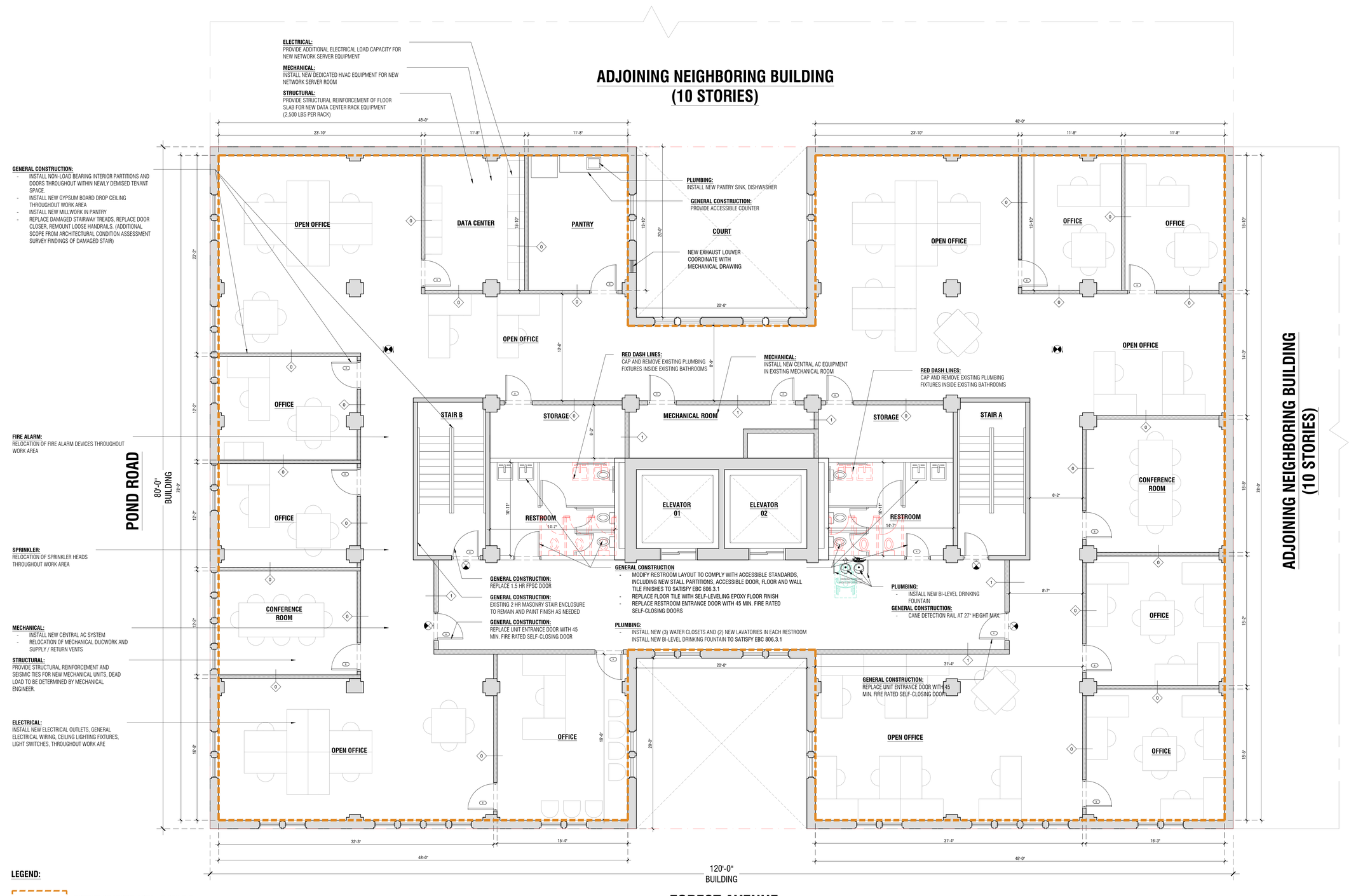
DRAWING TITLE:

PROPOSED PLAN
6TH FLOOR

PROJECT #: | DRAWN BY:

SHEET TITLE :

A-100.00



LEGEND:

EXTENT OF WORK AREA : 7,878 S.F.

OUTSIDE OF WORK AREA

1 TYPICAL FLOOR PLAN - 7TH FLOOR
SCALE: 1/4" = 1'-0"

OWNER:

NYC Buildings

ICC INTERNATIONAL CODE COUNCIL

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

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DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

2026.06.02	ISSUE FOR DOB REVIEW
2026.05.21	ISSUE FOR DOB REVIEW

DRAWING TITLE:

PROPOSED PLAN
7TH FLOOR

PROJECT #: | DRAWN BY:

SHEET TITLE :

A-101.00

1 REFLECTED CEILING PLAN - 6TH FLOOR
SCALE: 1/4" = 1'-0"

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

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DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

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2026.05.21	ISSUE FOR DOB REVIEW

DRAWING TITLE:
REFLECTED CEILING PLAN
6TH FLOOR

PROJECT #: DRAWN BY:

SHEET TITLE :
A-200.00

1 REFLECTED CEILING PLAN - 7TH FLOOR
SCALE: 1/4" = 1'-0"

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

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DRAWING TITLE:

REFLECTED CEILING PLAN
7TH FLOOR

PROJECT #: | DRAWN BY:

SHEET TITLE :

A-201.00

PARTITION NOTES

TYPICAL GYPSUM BOARD PARTITION NOTES:

1. GYP BOARD SHALL BE ⅝" THICK U.N.O
2. TYPE "X" GYP BOARD AT ALL FIRE-RATED ASSEMBLES UNLESS ASSEMBLY DESIGN REQUIRES OTHERWISE
3. STUD SPACING 16" O.C. U.N.O. REFER TO LIMITING HEIGHT SCHEDULE ON THIS SHEET FOR MAXIMUM SPANS & MINIMUM FRAMING METAL THICKNESS
4. PARTITIONS (STUDS & ALL LAYERS OF GYP BOARD) TO EXTEND FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ABOVE U.N.O.
5. PROVIDE U.L FIRE RATED DYNAMIC HEAD-OF-WALL ASSEMBLY TO ACCOMMODATE REQUIRED STRUCTURAL DEFLECTION AT ALL FULL HEIGHT FIRE RATED PARTITIONS.
6. PROVIDE U.L. FIRE RATED BOTTOM OF WALL ASSEMBLE AT ALL FIRE RATED WALLS & SHAFT WALLS
7. PROVIDE FIRE-RATED CONTROL JOINTS WHEN REQUIRED AT FIRE RATED PARTITIONS.
8. PROVIDE DYNAMIC HEAD-OF-WALL DEFLECTION ASSEMBLY TO ACCOMMODATE REQUIRED STRUCTURAL DEFLECTION AT ALL FULL HEIGHT NON-RATED PARTITION. PROVIDE ACOUSTICAL SEALANT AT BOTH SIDES OF WALL.
9. PROVIDE MOISTURE AND MOLD RESISTANT GYP BOARD (GREEN BOARD) BEHIND ALL CERAMIC-TILED AND NON-TILED PARTITIONS AT NON-WET(MOISTURE ONLY) AREAS (RESTROOMS, JANITOR CLOSET, ETC.) WHETHER OR NOT INDICATED.
10. PROVIDE ¾" FIRE RATED PLYWOOD OR CONTINUOUS 10" WIDE 14 GA. STEEL BACKER PLATE AS REQUIRED AT TOILET ACCESSORIES.

TYPICAL CMU PARTITION NOTES:

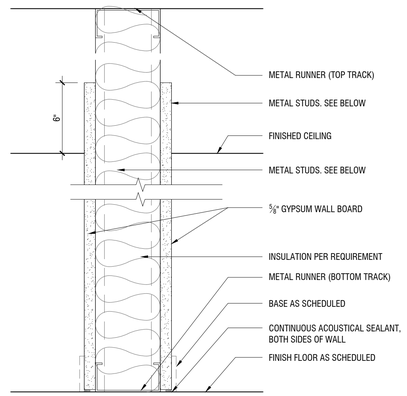
1. PARTITIONS TO EXTEND FULL HEIGHT TO UNDERSIDE OF FLOOR OR ROOF ABOVE U.N.O
2. PROVIDE ACOUSTICAL SEALANT & BACKER ROD AT HEAD & CONTROL JOINTS IN NON-RATED PARTITIONS. HEAD JOINT DESIGN TO ACCOMMODATE REQUIRED STRUCTURAL DEFLECTION.
3. PROVIDE U.L. FIRE-RATED DYNAMIC HEAD-OF-WALL & CONTROL JOINTS ASSEMBLIES AT ALL FIRE-RATED PARTITIONS.
4. ALL CMU TO BE LIGHTWEIGHT U.N.O
5. FIRE RATING TO BE BASED UPON EQUIVALENT THICKNESS METHOD PER THE BUILDING CODE.
6. PROVIDE HEAD-OF-WALL SEISMIC RESTRAINT AT ALL FULL HEIGHT PARTITIONS.

PARTITION NOTES

INTERIOR FRAMING LIMITING HEIGHT

SIZE	STUD SPACING	DESIGN LIMIT	GAUGE (THICKNESS)	LIMITING HEIGHT	
				L/240	L/360
2-1/2" (250S125-18/33)	16"	5 PSF	25 GAUGE (18 MIL)	11'-3"	9'-10"
		5 PSF	20 GAUGE (33 MIL)	12'-10"	11'-2"
	24"	5 PSF	25 GAUGE (18 MIL)	10'-7"	9'-3"
		5 PSF	20 GAUGE (33 MIL)	11'-7"	10'-0"
3-5/8" (362S125-18/33)	16"	5 PSF	25 GAUGE (18 MIL)	14'-4"	12'-4"
		5 PSF	20 GAUGE (33 MIL)	16'-5"	14'-3"
	24"	5 PSF	25 GAUGE (18 MIL)	13'-5"	11'-7"
		5 PSF	20 GAUGE (33 MIL)	14'-9"	12'-9"
6" (600S125-18/33)	16"	5 PSF	25 GAUGE (18 MIL)	19'-9"	17'-11"
		5 PSF	20 GAUGE (33 MIL)	24'-6"	21'-4"
	24"	5 PSF	25 GAUGE (18 MIL)	16'-9"	16'-9"
		5 PSF	20 GAUGE (33 MIL)	21'-7"	18'-10"

NOTE: GC TO VERIFY ALL EXISTING INTERIOR CEILING HEIGHT



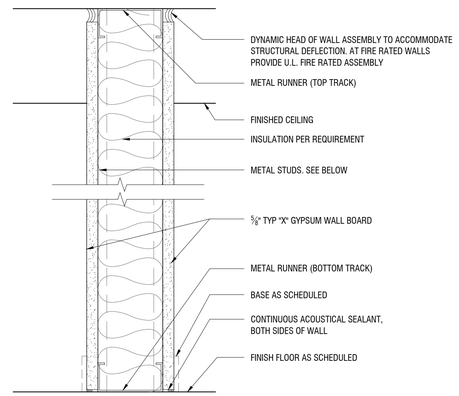
TYPE 0

INTERIOR PARTITION - NON-LOAD BEARING

WALL TYPE	STUD	SYSTEM THICKNESS	FIRE RATING	STC	INSULATION	LOCATION	REMARKS
0	3⅝"	4⅞"	NONE	48	3 ½" FIBERGLASS INSULATION	SEE PLAN	SEE PLAN FOR LOCATION

NOTE:
1. WET AREA TO HAVE GREEN BOARD. G.C TO INSTALL WATER PROOFING MEMBRANE TO 6" HEIGHT ON WALL
2. GC TO INSTALL 3/4" FIRE RETARDANT PLY WD. BLOCKING BETWEEN STUDS AS REQ'D FOR GRAB BAR MOUNTING WHERE NECESSARY
3. ACOUSTIC INSULATION WHERE NEEDED
*NOT ALL THE PARTITIONS ARE SELECTED TO BE USED. REFER TO FLOOR PLANS FOR EXACT PARTITION TYPE.

0 PARTITION TYPE 0
SCALE: 3" = 1'-0"



TYPE 1

INTERIOR PARTITION - NON-LOAD BEARING (UL U419)

WALL TYPE	STUD	SYSTEM THICKNESS	FIRE RATING	STC	INSULATION	LOCATION	REMARKS
1	3⅝"	4⅞"	1 HR	48	3 ½" FIBERGLASS INSULATION	SEE PLAN	SEE PLAN FOR LOCATION

NOTE:
1. WET AREA TO HAVE GREEN BOARD. G.C TO INSTALL WATER PROOFING MEMBRANE TO 6" HEIGHT ON WALL
2. GC TO INSTALL 3/4" FIRE RETARDANT PLY WD. BLOCKING BETWEEN STUDS AS REQ'D FOR GRAB BAR MOUNTING WHERE NECESSARY
3. ACOUSTIC INSULATION WHERE NEEDED
*NOT ALL THE PARTITIONS ARE SELECTED TO BE USED. REFER TO FLOOR PLANS FOR EXACT PARTITION TYPE.

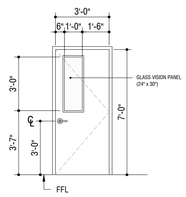
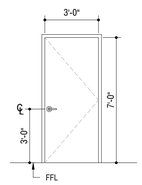
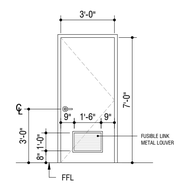
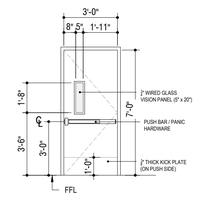
1 PARTITION TYPE 1
SCALE: 3" = 1'-0"

2 RESERVED
SCALE: 3" = 1'-0"

DOOR NOTES

1. FOR WINDOWS AND GLAZED DOORS PROVIDED BY OWNER, GENERAL CONTRACTOR TO CONFIRM U-VALUE, SHGC-VALUE AND AIR LEAKAGE WITH MINIMUM REQUIREMENT SET FORTH IN THIS SCHEDULE.
2. THE MAX. AIR LEAKAGE RATE FOR WINDOWS, SLIDING AND SWINGING DOORS, AND SKYLIGHTS IS PERMITTED TO BE 0.3 CFM/SF OF FENESTRATION OR DOOR AREA WHEN TESTED IN ACCORDANCE WITH AAMA / WDMA / CAS101 / I.S.2 / A440 AT 6.24 PSF (300PA). STUD SPACING 16" O.C. U.N.O. REFER TO LIMITING HEIGHT SCHEDULE ON THIS SHEET FOR MAXIMUM SPANS & MINIMUM FRAMING METAL THICKNESS
3. ALL NEW DOORS TO HAVE CLOSERS PROVIDED

DOOR SCHEDULE

TYPE	A	B	C	D
ELEVATION				
QUANTITY	SEE PLAN	SEE PLAN	SEE PLAN	STAIR ENCLOSURE
DOOR SIZE	SEE ELEVATION FOR DETAIL	SEE ELEVATION FOR DETAIL	SEE ELEVATION FOR DETAIL	SEE ELEVATION FOR DETAIL
PANEL THICKNESS	1 3/4"	1 3/4"	1 3/4"	1 3/4"
LOCATION	SEE PLAN	OFFICES	MECHANICAL	ACCESSORY ROOM
FIRE RATING	45 MIN.	NONE	90 MIN.	90 MIN.
MATERIAL	HOLLOW METAL	HOLLOW METAL OR SOLID WOOD (PER CLIENT)	HOLLOW METAL	HOLLOW METAL *(PER CLIENT)*
FRAME MATERIAL	PAINTED	PAINTED	METAL	PAINTED
FINISH	*PER CLIENT*	*PER CLIENT*	PAINTED	*PER CLIENT*
SWING	SINGLE SWING, SINGLE DOOR	SINGLE SWING, SINGLE DOOR	SINGLE	SINGLE SWING, SINGLE DOOR
HARDWARE	3 HINGES, PASSAGE SET (ALWAYS UNLOCKED)	3 HINGES, STORAGE SET (LOCKED, OPEN WITH KEY)	SELF-CLOSER: FALCON SC80, OR EQUIV.	3 HINGES, PASSAGE SET (ALWAYS UNLOCKED)
	DOOR HOLDER	DOOR HOLDER		DOOR HOLDER
	SELF-CLOSING			SELF-CLOSING
MANUFACTURER	GENERIC	GENERIC	GENERIC	GENERIC
MODEL	GENERIC	GENERIC	GENERIC	FLUSH HM FIRE RATED DOORS - FNV
REMARKS	W/ 12"x36" GLASS VISION PANEL	W/ FUSIBLE LINK FIRE RATED LOUVER	W/ FUSIBLE LINK FIRE RATED LOUVER	W/ PUSH (PANIC) BAR HARDWARE AND FIRE-RATED WIRED GLASS VISION PANEL

OWNER:

NYC Buildings

ICC INTERNATIONAL CODE COUNCIL

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

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DOB NOW JOB NUMBER:

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2026.05.21	ISSUE FOR DOB REVIEW

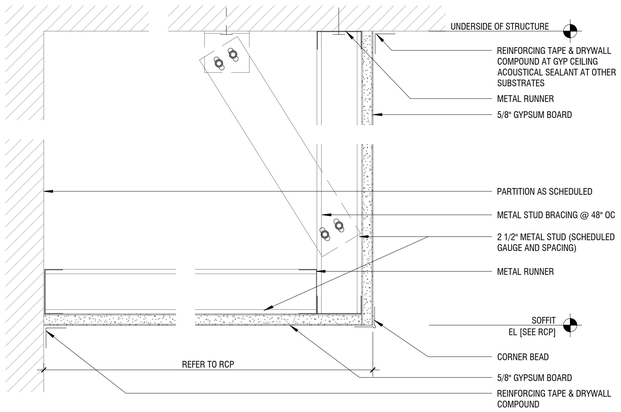
DRAWING TITLE:

PARTITION TYPES AND DOOR SCHEDULE

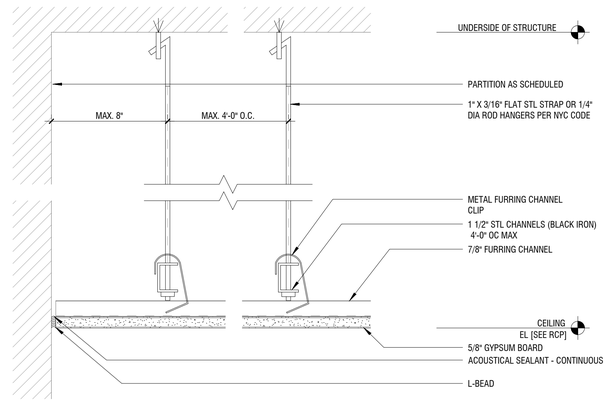
PROJECT #: | DRAWN BY:

SHEET TITLE :

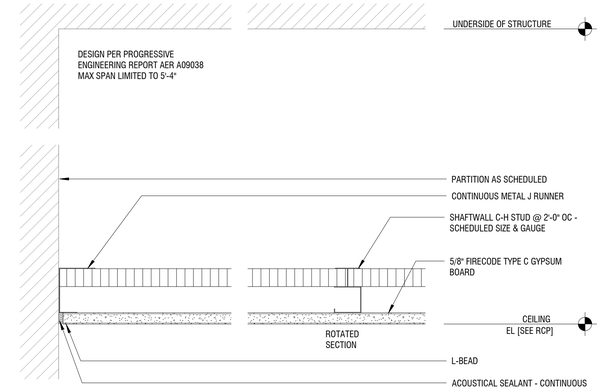
A-400.00



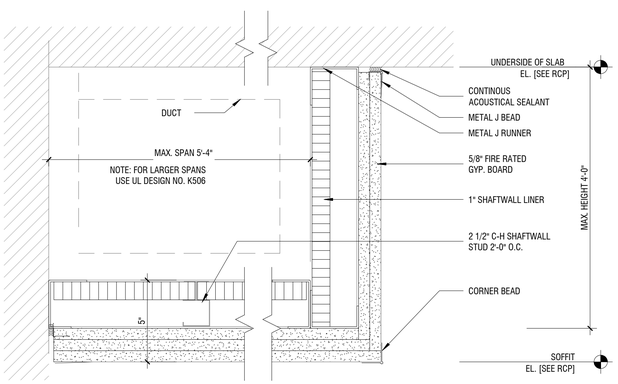
1 CEILING DETAILS - GYPSUM SOFFIT
SCALE: 3" = 1'-0"



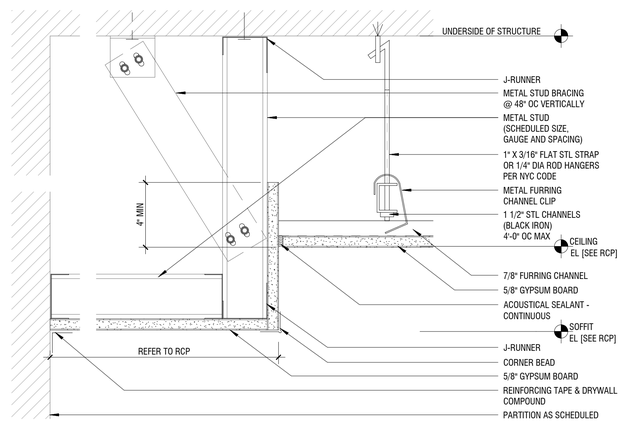
2 CEILING DETAILS - TYPICAL SUSPENDED GYPSUM CEILING
SCALE: 3" = 1'-0"



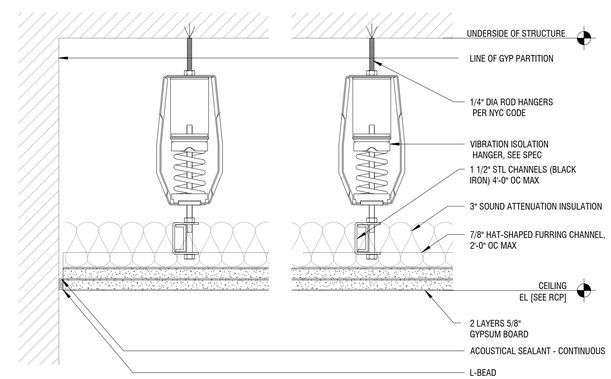
3 CEILING DETAILS - TYPICAL 1HR CEILING MEMBRANE
SCALE: 3" = 1'-0"



4 CEILING DETAILS - TYPICAL 2HR SOFFIT
SCALE: 3" = 1'-0"



5 CEILING DETAILS - TYPICAL SOFFIT LOWERED CEILING
SCALE: 3" = 1'-0"



6 CEILING DETAILS - TYPICAL SUSPENDED ACOUSTIC GYPSUM CEILING
SCALE: 3" = 1'-0"

NOTE:
NOT ALL CEILING TYPES ARE SELECTED TO BE USED, DETAILS ARE FOR WHERE APPLICABLE

- CEILING DETAILS - RESERVED
SCALE: 3" = 1'-0"

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

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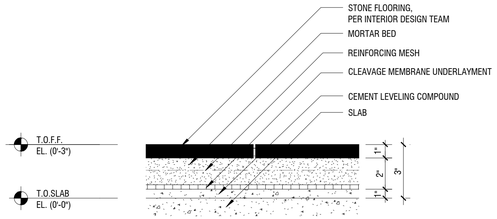
DRAWING TITLE:

TYPICAL DETAILS: CEILING

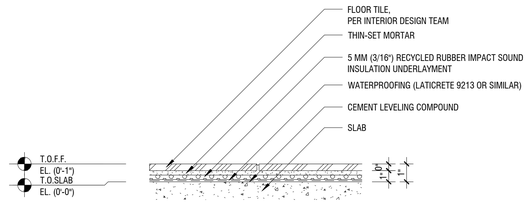
PROJECT #: | DRAWN BY:

SHEET TITLE :

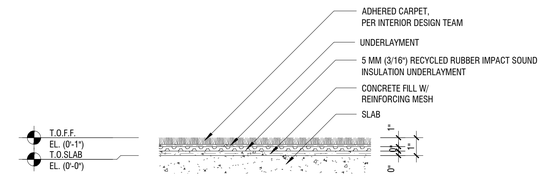
A-401.00



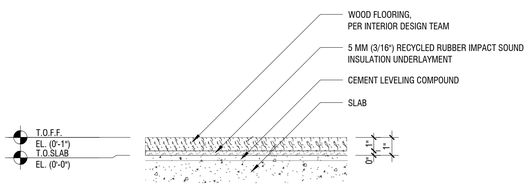
1 FLOOR DETAILS - STONE FLOOR (WHERE APPLICABLE)
SCALE: 3" = 1'-0"



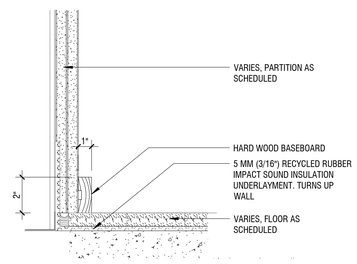
2 FLOOR DETAILS - TILE FLOOR (WHERE APPLICABLE)
SCALE: 3" = 1'-0"



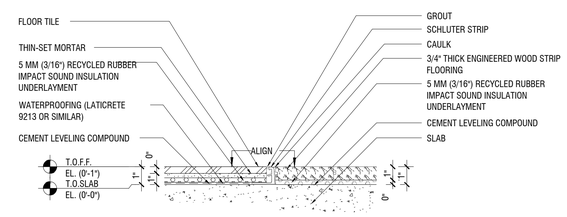
3 FLOOR DETAILS - CARPET FLOOR (WHERE APPLICABLE)
SCALE: 3" = 1'-0"



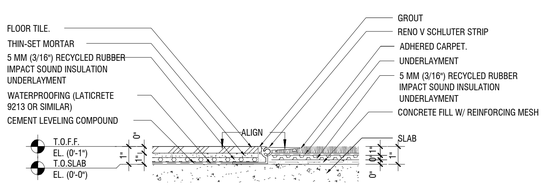
4 FLOOR DETAILS - WOOD FLOOR (WHERE APPLICABLE)
SCALE: 3" = 1'-0"



5 TYPICAL WOOD BASE DETAILS (WHERE APPLICABLE)
SCALE: 3" = 1'-0"



6 TRANSITION DETAILS - TILE TO WOOD (WHERE APPLICABLE)
SCALE: 3" = 1'-0"



7 FLOOR TRANSITION DETAILS - TILE TO CARPET (WHERE APPLICABLE)
SCALE: 3" = 1'-0"

NOTE:
NOT ALL FLOORING TYPES ARE SELECTED TO BE USED, DETAILS ARE FOR WHERE APPLICABLE

- FLOOR DETAILS - RESERVED
SCALE: 3" = 1'-0"

- FLOOR DETAILS - RESERVED
SCALE: 3" = 1'-0"

OWNER:

ARCHITECT :

MEP ENGINEER :

STRUCTURAL ENGINEER :

PROJECT:

ADDRESS

EBC Case Study #1

DOB NOW JOB NUMBER:

DOB APPROVAL STAMP:

2026.06.02	ISSUE FOR DOB REVIEW
2026.05.21	ISSUE FOR DOB REVIEW

DRAWING TITLE:

TYPICAL DETAILS:
FLOORING

PROJECT #: | DRAWN BY:

SHEET TITLE :

A-402.00