



COMMUNITY BOARD No. 1

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HON. ANTONIO REYNOSO
COUNCILMEMBER, 34th CD

COMBINED PUBLIC HEARING AND BOARD MEETING VIA WEBEX SEPTEMBER 14, 2021

PUBLIC HEARING

ROLL CALL

Chairperson Ms. Fuller requested a roll call. The roll was called and there were 21 board members present, a sufficient number to call the hearing to order. Chairperson Ms. Fuller requested that the presentations begin.

PRESENTATION: FRIENDLY VISITING PROGRAM. The Friendly Visiting Program connects socially isolated/homebound seniors with a friendly visitor (volunteers) to provide them with a friendship.

Ms. Biviana Coyomani, Coordinator, Friendly Visiting Program, RiseBoro, presented an overview of the program and noted that they are working with Greenpoint and Williamsburg as well. She related that they wanted to help reach out to people who would be interested in volunteering (can be for one or more hours); because of COVID they are meeting by phone and later on in person. Her contact information was placed in the chat.

PRESENTATION: 1 WYTHE AVENUE IBIA SPECIAL PERMIT (C 210272 ZSK) – IN THE MATTER OF an application submitted by One Wythe LLC pursuant to sections 197-c and 201 of the New York City Charter for the grant of a special permit pursuant to Section 74-96* of the Zoning Resolution to allow an increase in the maximum permitted floor area ratio in accordance with Section 74-963 (Permitted floor area increase) and, in conjunction therewith, to waive the off-street parking requirements of Section 44-20 (Required Accessory Off-Street Parking Spaces For Manufacturing, Commercial Or Community Facility Uses), and to modify the quantity and size of the loading berth requirements of Section 44-50 (General Purposes), in connection with a proposed 8-story commercial and industrial building within an Industrial Business Incentive Area specified on the maps in Section 74-968 (Maps of Industrial Business Incentive Areas), on property located at 1 Wythe Avenue (Block 2641, Lots 1, 3 and 4), in a M1-2 District. Borough of Brooklyn, Community District 1. (*Note: Section 74-96 is proposed to be changed under a concurrent related application [N 210273 ZRK] for a zoning text change.) – Presentation by Mr. Richard Lobel/Sheldon Lobel, P.C./Applicant-Representative. (To Be Voted On). Ms. Teague noted that this item was being presented and would be voted on this evening, in order to be compliant with the ULURP clock. She urged all to ask questions and make comments. Mr. Richard Lobel and Ms. Fayan Betan (from Sheldon Lobel PC) presented on this

item. They were joined at the meeting by other members of the development team (Sheldon Lobel, P.C., Archimaera, and Equity Environmental). A completed land use questionnaire (attached) was submitted and distributed. The presentation was provided in a .pdf where there were renderings of the proposal. Mr. Lobel provided an overview of the project.

Actions:

- Zoning Text Amendment to modify ZR Section 74-96 to include Block 2641, Lots 1, 3, and 4 as new Industrial Business Incentive Area (“IBIA”).
- Zoning Special Permit pursuant to ZR Section 74-96 to:
 - (1) increase the maximum floor area ratio to permit light industrial and commercial uses pursuant to ZR Section 43-12,
 - (2) permit an adjustment in the underlying height and setback regulations pursuant to ZR Section 43-43, and
 - (3) modify the accessory off-street parking requirements pursuant to ZR Section 44-20 and the loading berth requirements pursuant to ZR Sections 44-50.

The presentation included illustrations of the project’s area site, block & lot tax map, commercial & land uses, existing commercial overlays. Photos showed the area’s street views (Wythe Avenue, North 15th Street, Banker Street, Norman Avenue) and maps showing both the existing zoning and the proposed zoning.

Proposed Project:

- 80,743 sq. ft. (4.8 FAR) mixed-commercial and industrial building
- 33,643 sq. ft. (2.0 FAR) of Permitted Uses (cellar, 2nd – 4th floors)
- 13,457 sq. ft. (0.8 FAR) of Required Industrial uses (1st floor)
- 33,643 sq. ft. (2.0 FAR) of Incentive Uses (5th – 8th floors)
- 110 ft. tall, 8-story building
- 1 loading berth
- 0 parking spaces

Mr. Lobel spoke about the site and noted it was in the original rezoning where it was a part of the 13 blocks but when the City Council approved the industrial area, any changes for the IBIA were to go to for review. He noted that the height was similar to other projects that have come before the board in the same area. Mr. Nick Liberis (a consultant for the project) spoke about the site and design: loading is on Banker Street. They have done traffic studies. The lobby is entered from Banker Street. There is a basement space. He pointed out the site is shaped like a triangle and the "pointy part" is a plaza design. It is an outdoor space (30-40 feet long). It was noted that retail has slowly taken off in the area and they are looking at light manufacturing on ground floor. A lot of light manufacturing uses have a retail unit. The design of the space is a way to preserve the neighborhood’s character. He continued to talk about the varied spaces, and they were also setting the space elevated up from the ground to address the flood plain. There are spaces that overlook the outdoor space. The windows also offer the office spaces to be well-lighted. There are setbacks on the upper floors. In regard to stormwater, all of the building designs have to include treating these runoffs. They have to have something sizeable in the basement. You really can’t reuse gray water in any safe way. A concern was raised by Mr. Miceli about the use of the roof, that there shouldn’t be any bars or noise, as it impacts the local residents.

Ms. Teague asked about any incentive uses. Mr. Chesler asked about tenanting the cellar as there are flooding concerns in the area. Mr. Lobel related that they have built in measures to address

this on the first floor. Mr. Burrows asked about the outdoor area and seating. Mr. Nick Liberis noted that electronic devices could be used as wiring will be installed in the outdoor space. Ms. Naplatarski requested that they look for local entrepreneurs that are already in the neighborhood for tenanting the commercial spaces (reach out to Brooklyn Bazaar as they are a block away). It was noted the commercial spaces are rented. Mr. Voxelaire raised concern about the space. Mr. LaCherra related concerns with outreach and about the number of people that the developer has spoken to. There are also concerns about gray water at the Bushwick Creek. He said that the outdoor space on the upper floors should be on the first floor. Mr. Liberis responded about the use and noted that they have done outreach by word of word. Mr. Kevin Williams spoke about real tangible improvements for the site, about redevelopment in the area, and same type of bulk and more greenery in the area. He noted that they have done a parking study in the area. Ms. Thompson raised concern about the rezoning, that there was no cohesive plan, a need for safe passage and questioned where the benefit for the community was. Mr. Miceli spoke about the need for sustainability, and incorporation of designs such as a vertical forest, and there needs to be a grassroots plan (with stakeholders from the community and groups). Ms. Betan commented that they only have control for what is in front of their property. Mr. Liberis said that perhaps something could be done, like having DEP install Bioswales (channels designed to concentrate and convey stormwater runoff while removing debris and pollution). Ms. Horowitz noted that they should look at connecting to McCarren Park corridor.

PRESENTATION: NYC DEPARTMENT OF DESIGN & CONSTRUCTION RE: -

Designs for an energy upgrade project for DSNY (BK1/BK4 garage at 161 Varick Avenue, Brooklyn, NY 11237) – by Mr. Jomo Blackman, Outreach Coordinator/NYC DDC. Mr. Blackman introduced the presentation. He said that they will be discussing the plans for the Brooklyn North 1/4 District Garages Energy Efficiency Measures. The plans are subject to approval by the NYC Public Design Commission (submitted in August 2021). The designs are for the energy upgrade project for the Department of Sanitation’s BK 1/4 where they are installing rapid roll garage doors at the building’s exterior facing the side and rear yards. This presentation is part of the Public Design Commission (PDC) process. (The presentation is attached.) Mr. Blackman was joined at the presentation with Mr. Enrico Kurniawan, architect for the project. He said that they were presenting what the DSNY needed for the doors (these doors are metal). The doors are used for accessibility every day. They are proposing additional glass doors. He spoke about the site, noting that the doors are where there is the cuing and parking area not visible to the public. The front of the building is relatively new. They want to be respectful for the public - by installing the additional doors will help with energy efficiency because the inner doors may be left open.

COMMENTS ON THE PRELIMINARY BUDGET FISCAL YEAR 2023 – Comments from the public regarding the Preliminary Budget for Fiscal Year 2023. Speakers are limited to one (1) minute each. **Written testimony is requested.**

There were no speakers signed up for this session.

PRESENTATION: NYC DEPARTMENT OF TRANSPORTATION/DIVISION OF BRIDGES RE: THE GRAND STREET BRIDGE - INTRODUCTION OF THE

PROJECT: Introduction to the project’s team, the project itself and project process – by Ms. Joannene Kidder, Executive Director of Community Affairs, NYC DOT.

Ms. Kidder, NYC DOT, introduced the presentation and noted that there were persons from the agency who would conduct the presentation. Mr. Bill Nyman spoke about the Grand Street Bridge project and related the efforts to date by NYS DOT, NYC DOT and the consultants (Hardesty & Hanover LLC and FHI Studio). They were meeting with Brooklyn CB#1 this week and would meet with Queens CB#5 in two weeks. The bridge crosses the Newtown Creek between the two boroughs. It is not a full street reconstruction. They will need to keep access for these businesses in the area (i.e. - the YRC property, etc.). It was noted that the interior site and covering is made of galvanized steel. Ms. Kidder directed the presentation and provided general information and background:

Existing Bridge Conditions – The bridge itself is too narrow for the two lanes of traffic and they need to make the bridge wider. The bridge is being recommended for the "National Historic Places Register" however the conditions of the bridge are poor, and it therefore needs replacement. DOT will bring this information into the environmental process, stating the necessity for replacement. Ms. Peterson asked if they have taken into consideration the existing conditions of the neighborhood (housing, businesses) and the development of the site (former Greenpoint Hospital site) in the nearby vicinity? Ms. Kidder noted that they would go through the process. A traffic analysis (i.e.: for bicyclists/pedestrians) would be conducted and consideration of the growth factors. Traffic is caused by the narrow size of the bridge and considering going through the right of way. Ms. Nieves noted that the community and businesses have waited so long for the bridges reconstruction as there are concerns about the traffic and easement. Mr. Bruzaitis said that he echoed Ms. Nieves's comments. Both the Queens and Brooklyn sides find it treacherous to get by on the bridge. Ms. Kidder said that there would be a working group established (with Brooklyn CB#1 & Queens CB#5) going forward. She also related that they would have short links to a website and links to other scoping projects in place.

LIQUOR LICENSES:

Chairperson Ms. Fuller asked all to review the list.

NEW

- 1) 24 Oak LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater or concert hall)
- 2) 118 Norman Avenue LLC, 118 Norman Avenue (New, liquor, wine, beer, cider, bar/tavern)
- 3) 120 Franklin Street LLC, 43 Franklin Street, (New, liquor, wine, beer, cider, bar, tavern)
- 4) 160 Havemeyer LLC, dba The Royal Seafood Bar, 160 Havemeyer Street, (Class Change, liquor, wine, beer, cider, rest)
- 5) Angelvan Corp, dba L Ange Noir Cafe, 247 Varet Street, (Alteration, liquor, wine, beer, cider, rest)
- 6) Cheeseboat LLC, 80 Berry Street, (Corporate Change, liquor, wine, beer, cider, rest)
- 7) Corporation to be formed by Jorge Boetto, 21 Dunham Place, (New, liquor, wine, beer, cider, rest)
- 8) An Entity to be formed in which Barbara Piliero is a Principal, dba TBD, 67, 71, 75 Ingraham Street, (new, liquor, wine, beer, cider, bar, tavern)
- 9) Entity to be Formed by William Rees, dba TBD, 338 Bedford Avenue, (New, wine, beer, cider, rest)
- 10) Eleva Coffee GPL LLC, 21 Commercial Street, (New, liquor, wine, beer, cider, bar, tavern)
- 11) Fat Bushwick LLC, 17 Ingraham Street, (New, liquor, wine, beer, cider, rest)

- 12) Fuzzy Logic LLC, dba TBD, 253 Grand Street, (New, liquor, wine, beer, cider, rest)
- 13) Green Fitness Studio Inc., dba Verde Yogurt Shoppe, 232 Varet Street, (New, liquor, wine, beer, cider, catering facility(private events only)
- 14) Hana Makgeolli LLC, 201 Dupont Street, (New, liquor, wine, beer, cider, bar, tavern,)
- 15) Hatchets and Hops Brooklyn LLC, dba Hatchets and Hops, 98 North 11th Street (Class Change, liquor, wine, beer, cider, rest, bar)
- 16) JCW Establishment LLC, dba Sippy Cafe, 200 Franklin Street, (New, wine, beer, cider, bar, tavern)
- 17) La Franco Family LLC, dba TBD, 450 South 5th Street, (New, liquor, wine, beer, cider, rest)
- 18) La Manicha Restaurant Associates LLC, dba TBD, 568 Metropolitan Avenue, (New, liquor, wine, beer, cider, rest, bar)
- 19) Listening Bar LLC, dba Eavesdrop, 674 Manhattan Avenue, (New, Liquor, wine, beer, cider, Bar/Tavern)
- 20) McCarren Park House LLC, dba McCarren Park house, 855 Lorimer Street, (New, liquor, wine, beer, cider, rest)
- 21) Mori Restaurant Inc., 340 Grand Street, (New, wine, beer, cider, rest)
- 22) Oregano LLC, dba Oregano, 102 Berry Street, (Alteration [adding a customer bar], liquor, wine, beer, cider, rest)
- 23) Pigri LLC, dba Milk and Roses, 1140 Manhattan Avenue, (Removal, liquor, wine, beer, cider, rest)
- 24) PQcoffee LLC, dba Pueblo Querido Coffee, 34 North 6th Street (New, wine, beer, cider, coffee shop)
- 25) PQcoffee LLC, dba Pueblo Querido, 694 -698 Manhattan Avenue, aka 88-90 Norman Avenue, (New, wine, beer, cider, coffee shop)
- 26) Riverwalk Management Inc., dba Naked Dog, 47 Java Street, (Corporate Change, liquor, wine, beer, cider, rest)
- 27) SC METROPOLITAN LLC, DBA SHAKING CRAB, 1045 Flushing Avenue, (New, liquor, wine, beer, cider, rest)
- 28) Shiki NYC LLC, dba TBD, 27 Greenpoint Avenue, (New, liquor, wine, beer, cider, rest)
- 29) WI Match LLC, Wispaces, 535 Grand Street, (New, liquor, wine, beer, cider, catering facility (private events only)
- 30) Vantage Point Hospitality LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater or concert hall)
- 31) Williamsburg Cinemas LLC, 217 Grand Street & 686 Driggs, (New, wine, beer, cider, movie, theater)
- 32) Xi An Town USA Inc., dba Xiantown, 165 Bedford Avenue, (New, liquor, wine, beer, cider, rest)

RENEWAL

- 1) 99 Scott Studio LLC, 99 Scott Avenue, (Renewal, liquor, wine, beer, cider, catering)
- 2) 146 Broadway Associates LLC, dba Baby's All Right, 146 150 Broadway, (Renewal, liquor, wine, beer, cider)
- 3) 221 North 4TH Rest Corp., d/b/a Golden Years, 221 North 4th Street (Renewal, liquor, wine, beer, rest)
- 4) 622 Vanderbilt Restaurant LLC, dba Rule of Thirds, 29 Norman Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 5) 931 Manhattan Cafe LLC, 931 Manhattan Avenue, (Renewal, liquor, wine, beer & cider, rest)

- 6) Aluk 888 Inc., dba Chinese Musician, 151 Greenpoint Avenue, (Renewal, wine, beer, cider, rest)
- 7) Amber Restaurant LLC, dba Amber, 119 Nassau Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 8) Baldracc LLC, dba Testo, 141 Leonard Street, (Renewal, wine, beer, cider, rest)
- 9) Bembe Inc., dba Bembe, 81 South 6th Street, (Renewal, menu/legal minimum food requirements, bar/tavern)
- 10) Brooklyn Winery LLC, dba Brooklyn Winery, 213 North 8th Street, (Renewal, liquor, wine, beer, cider, rest, catering facility)
- 11) Demije Group LLC, dba Basik, 323 Graham Avenue, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 12) Dish Food & Events LLC, 190 North 14th Street, (Renewal, liquor, wine, beer, cider, catering facility)
- 13) Elite Bk Inc., dba Elite Bk, 128 Metropolitan Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 14) Fish Sauce Boys Inc., dba High Lua Vietnamese Kitchen, 182 South 2nd Street [aka 743 Driggs Avenue] (Renewal, wine, beer & cider)
- 15) Full Circle Bar LLC, 318 Grand Street, (Renewal, liquor, wine, beer, cider, bar)
- 16) Grand Morelos Corp., 727 Grand Street, (Renewal, wine, beer, cider, rest)
- 17) Kettle Pie Inc. dba Allswell, 124 Bedford Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 18) Kojia Grill LLC, dba Dokebi, 199 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 19) La Cocina II Restaurant Corp., 100 Moore Street, (Renewal, liquor, wine, beer, cider, rest)
- 20) Las Tainas Bar & Restaurant LLC, 347 Broadway, (Renewal, liquor, wine, beer, cider, rest)
- 21) M Shanghai LLC, dba M Shanghai, 292 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 22) Magda Sayeg/USRA Group LLC, dba Magalene, 524 Lorimer Street, (Renewal, liquor, wine, beer, cider, rest)
- 23) Malynstoss LLC, dba Nightshade, 451 Meeker Avenue. (Renewal, liquor, wine, beer, cider, bar/tavern)
- 24) Manich Brothers LLC, dba El Born, 651 Manhattan Avenue (Renewal, liquor, wine, beer, cider,
- 25) Motorino Broadway Inc., dba Motorino Broadway, 139 Broadway, (Renewal, liquor, wine, beer, cider, rest)
- 26) Nile Peterson Industries Inc., dba Landline, 790 Grand Street, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 27) OMHBrooklyn LLC, 303 Bedford Avenue, (Renewal, liquor, wine, beer, cider, bar/tavern)
- 28) Original Music Workshop Inc., dba National Sawdust OMW, 80 North 6th Street, (Renewal, liquor, wine/beer, cider, rest, concert venue)
- 29) Platinum Affairs LTD, dba The Continental Caterers, 75 Rutledge Street, (Renewal, wine, beer, cider, catering facility)
- 30) Spuyten Duyvil LLC, dba Sputen Dyvil, 359 Metropolitan Avenue, (Renewal, wine, beer, cider, bar, tavern)
- 31) Schneider Boggs LLC, dba Huckleberry Bar, 588 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 32) Shelison Restaurant Inc., 492 Broadway, (Renewal, wine, beer, cider, rest)
- 33) Ten Eleven Holdings Inc, dba Pencil factory, 142 Franklin Street, (Renewal, liquor, wine, beer, cider, bar)

- 34) Topsy Scoop Brooklyn LLC, 270 Metropolitan Avenue (Renewal, wine, beer & cider)
- 35) Tres de Mexico LLC, dba Mesa Coyoacan, 372 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest.)
- 36) The Geezers LLC, dba Harefield Road Pub, 769 Metropolitan Avenue, (Renewal, liquor, wine, beer, cider, bar/tavern)
- 37) Vera Cruz on Bedford, 195 Bedford Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 38) Win Star Food LLC, Winson Bakery, 164 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest)

Mr. Miceli spoke about illegal raves with cars having large parties in the area of Oak Street. The community has raised concern about two applications on the listing: (#1) 24 Oak LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater/concert hall) and (#30) Vantage Point Hospitality LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater or concert hall). These applications were for same location that is an empty lot. Mr. Burrows noted that the SLA Review & DCA Committee would meet via WEBEX on October 26, 2021 at 6:30 PM to review these items. These applications are being announced this evening. He urged any comments for the locations to be forwarded to the committee. An email can be sent to the CB#1's office. Chairperson Ms. Fuller noted that the agenda for the public hearing was completed and moved to the Board Meeting portion.

BOARD MEETING

MOMENT OF SILENCE

Chairperson Ms. Fuller called for a moment of silence for the passing of Mr. Guido Cianciotta, husband of fellow board member Ms. Cianciotta, and for all those who have lost loved ones.

ROLL CALL

Chairperson Ms. Fuller requested a roll call at 9:00 PM. There were 33 members answering the call, a sufficient number for a quorum. The board meeting was opened.

APPROVAL OF THE AGENDA

Chairperson Ms. Fuller requested a vote on the agenda. Ms. Teague made a motion to approve the agenda as written. The motion was seconded by Mr. Capongero. The motion was carried with one vote against (Ms. Peterson).

APPROVAL OF THE MINUTES

Chairperson Ms. Fuller called for approval of the Combined Public Hearing and Board Meeting for July 12, 2021. Ms. Foster made a motion to approve the minutes as written. The motion was seconded by Mr. Solano. The motion was unanimously carried.

ELECTED OFFICIALS

Assembly Member Emily Gallagher addressed the community board and spoke about the River Ring proposal (statement attached).

PUBLIC SESSION

Persons from the public that had signed up were called to speak.

Speakers on Meeker Avenue Project

Meghan Canale, spoke in support of improvements.

Luke Ohlson, spoke in support of improvements.

Davidl Riordan, spoke in support of the redesign.

Kevin La Cherra, spoke in support of the redesign.

Stephen K. Griesgraber, commented on the redesign.

Speakers on Apollo Street Shelter

Vinny Vespole, spoke in opposition to the shelter.
Johana Marquez, spoke in opposition to the shelter.
Dana Spiegel, spoke in opposition to the shelter.
Robert Knapp Sr., spoke in opposition to the shelter.
Ricky Carias, spoke in opposition to the shelter.
Dr. Benjamin Adam, spoke in support of the shelter.

Speakers on 1 Wythe Avenue

Francoise Vaxelaire, spoke in opposition to the application.
Katie Naplatarski, commented on the application.

Speakers on River Ring

Cory Kantin, spoke in opposition to application.
Keith Berger, spoke in opposition to application.
Charles Chiu, spoke in opposition to application.
Jenice Malecki, spoke in opposition to application.
Dan Miller, spoke in support of the application.
Ankur Dalal, spoke in support of the application.
Will Thomas, spoke in support of the application.
Neil Sheehan, spoke in support of the application.
Michael Kawochka, spoke in support of the application.
Michael Rosner, commented on the application.
Sunny Ng, spoke in support of the application.
Susan Albrecht, spoke in opposition to the application.
Paul Pullo, spoke in support of the application.
Millie Khemiri, spoke in support of the application.
Kendall Charter, spoke in support of the application.
Melody Bahareh, spoke in opposition to the application.
Rich Mazur, spoke in support of the application.
Lauren Tartaglia, spoke in opposition of the application.
Erik Martinez, spoke in opposition to the application.
Whitney Hu, spoke in opposition to the application.
Harrison Grinnan, spoke in support of the application.
Michael Rochford, spoke in support of the application.
Olympios Katsiaouni, spoke in opposition to the application.
Ausar Burke, spoke in opposition to the application.
Shaurav Datta, spoke in support of the application.
James Leonzio, spoke in opposition to the application.
Nicholas Maggipinto, commented on the application.
Ward Dennis, commented on the application.
David Karp, spoke in opposition to the application.
Kate Lloyd, spoke in opposition to the application.
Olivia Georgia, spoke in opposition to the application.
Katie Naplatarski, commented on the application.
Lucy Walton, spoke in opposition to the application.
Ruben Colon, spoke in support of the application.
Victoria Cambranes, spoke in opposition to the application.
Pamela Goldsmith, spoke in opposition to the application.

COMMITTEE REPORTS

- Parks & Waterfront Committee – Mr. Caponegro, Committee Chair, submitted a written report (attached) that was distributed. At the committee meeting there was an update on the Marsha P. Johnson State Park. The committee will request to have the same opening hours for the Bushwick Inlet Park and the MPJ State Park. In the report is a request for the board to send a letter to OMB about moving the funding forward for Bushwick Inlet Park's construction.

Recommendation to Send Letter to OMB - Mr. Caponegro made a motion to send the letter. The motion was seconded by Ms. Cabrera. The motion was under discussion. Mr. Chesler made a friendly amendment: to "cc" the Mayor in the letter. The friendly amendment was accepted by Mr. Caponegro. The vote was called. The result was unanimous: 32 "YES"; 0 "NO"; 0 "ABSTENTIONS".

- SLA Review & DCA Committee – Mr. Burrows, Committee Chair, submitted a written report that was distributed. He noted that due to the holidays in September, the committee will not meet. The committee will hold its regular meeting on October 26th.

Recommendations for Liquor Licenses & Committee's Report - Mr. Burrows asked for a motion to approve the report as a whole. Mr. Bachorowski made a motion to support the report and its many recommendations. The motion was seconded by Mr. Solano. The vote was made by a roll call. The result was unanimous: 33 "YES"; 0 "NO"; 0 "ABSTENTIONS". (vote sheet attached)

Mr. Burrows urged all to send an email to the board's office if they have any comments on the licenses that are under review.

- Land Use, ULURP & Landmarks (subcommittee) Committee – Ms. Teague noted the committee's report. This evening they would discuss the 1 Wythe Avenue proposal so that the committee could provide a recommendation to the board. Ms. Kaminski put forth a motion to approve the project but rescinded her motion as she did not have the conditions yet. The committee members discussed this item further and the conditions were determined.

Recommendation for 1 Wythe Avenue IBIA Special Permit – (C210272 ZSK) [clock ends on 10/4/21] The motion was made by Ms. Teague to approve the application with the following conditions:

- (1) There will be more greenery on the ground, terrace, and roof.
- (2) The developer will employ more extensive resiliency measures, e.g., installing swales and deeper tree beds, employing fossil-free energy sources such as a geothermal heat loop system.
- (3) The owner will conduct outreach to direct neighbors, local block associations, and the surrounding community regarding the developer's plans and all upcoming hearings dealing with the application and the construction and development of the building.
- (4) The owner will conduct outreach to direct neighbors, local block associations, and the surrounding community regarding the needs and wishes of the community for retail establishments in order to foster retail diversity.

The motion to approve with conditions was seconded by Mr. Chesler. A roll call for the vote was conducted. The unanimous vote to approve the application with conditions was as follows: 32 "YES"; 0 "NO"; 0 "ABSTENTIONS".

Recommendation for OPEN RESTAURANTS TEXT AMENDMENT (C 2021Y0291) –A motion was made by Mr. Burrows to support the committee's recommendation to DENY the application. The motion was seconded by Ms. Iglesias. A roll on the vote was conducted. The vote was: 31 "YES"; 0 "NO"; 1 "ABSTENTION". The motion was carried.

Recommendation for 79 QUAY STREET (C 210166 ZMK, N 210167 ZRK) - Ms. Teague noted that the committee recommends: Approval with conditions. A motion was made by Ms. Nieves to support the recommendation to APPROVE WITH CONDITIONS. The motion was seconded by Ms. Iglesias. A roll call vote was conducted. The vote was: 29 "YES"; 0 "NO"; 0 "ABSTENTIONS". The motion was carried.

Recommendation for RIVER RING (C220062ZMK, N220063ZRK, C220064ZSK N220065ZAK, N220066ZCK, N220067LDK, N220068ZAK, N220069ZAK, C220070ZSK) Mr. Burrows volunteered to read the conditions.

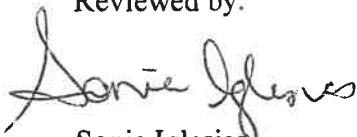
VOTE 1. A motion was made by Mr. Burrows to support the committee's recommendation to vote NO WITH CONDITIONS. The motion was seconded by Mr. Chesler. A roll call vote was conducted. The vote was: 15 "YES"; 20 "NO"; 1 "ABSTENTION". The motion failed.

VOTE 2. A motion was made by Ms. Moskowits to support the recommendation to vote YES WITH THE COMMITTEE'S CONDITIONS. The motion was seconded by Ms. Bruzaitis. A roll call vote was conducted. The vote was: 20 "YES"; 15 "NO"; 1 "ABSTENTION". The motion was carried.

ADJOURNMENT

A motion was made by Ms. Leanza to adjourn the meeting. The motion was seconded by Ms. Iglesias. All were in agreement to adjourn. The meeting was adjourned.

Reviewed by:



Sonia Iglesias
Recording Secretary

- DATE: 9/14/21
1. TO OPEN THE P/H @ 6:05 P.M
 2. TO OPEN THE Bd Meet @ 9:00 P.M.
 3. _____
 4. _____
 5. _____

NAME	ROLL CALL 1ST	ROLL CALL 2ND	ROLL CALL 3RD	ROLL CALL 4TH	ROLL CALL 5TH
GINA ARGENTO	/	✓			
BOGDAN BACHOROWSKI		✓			
LISA BAMONTE		✓			
GINA BARROS	/	✓			
TEON BROOKS	✓	✓			
ERIC BRUZAITIS		✓			
THOMAS J. BURROWS		✓			
IRIS CABRERA		✓			
PHILIP CAPONEGRO	✓	✓			
FRANK P. CARBONE		✓			
STEPHEN CHESLER	✓	✓			
MICHAEL CHIRICHELLA	✓				
THERESA CIANCIOTTA		✓			
GIOVANNI D'AMATO					
ERIN DRINKWATER	✓	✓			
ARTHUR DYBANOWSKI	✓	✓			
T. WILLIS ELKINS					
JULIA AMANDA FOSTER		✓			
DEALICE FULLER	✓	✓			
JOEL GOLDSTEIN	✓				
JOEL GROSS		✓			
KATIE DENNY HOROWITZ	✓	✓			
SONIA IGLESIAS	✓	✓			
MOISHE INDIG					
BOZENA KAMINSKI		✓			
RYAN KUONEN		✓			
YOEL LANDAU					
MARIE LEANZA	✓	✓			
ABRAHAM LEBOVITS					
YOEL LOW					
TRINA McKEEVER	/	✓			
SANTE MICELI	/	✓			
TOBY MOSKOVITS					
MARTIN NEEDELMAN					
RABBI DAVID NIEDERMAN					
KAREN NIEVES	✓	✓			
MARY ODOMIROK		✓			
JANICE PETERSON		✓			
DANA RACHLIN	✓	✓			
BELLA SABEL		✓			
ISAAC SOFER					
ROBERT SOLANO	✓	✓			
DEL E. TEAGUE	✓	✓			
TOMMY TORRES					
WILLIAM VEGA	✓	✓			
MARIA VIERA	✓				
STEPHEN WEIDBERG		✓			
SIMON WEISER					
TOTAL:	21	33			
TIME:	6:05	9:00			





COMMUNITY BOARD NO. 1

435 GRAHAM AVENUE – BROOKLYN, NY 11211

PHONE: (718) 389-0009

FAX: (718) 389-0098

Email: bk01@cb.nyc.gov

Website: www.nyc.gov/brooklyn1



Reso 0 79 Quay St.
Approve w/ conditions

BOARD MEETING AND PUBLIC HEARING

DATE: *9/14/21*

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LEBOVITS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEON BROOKS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
IRIS CABRERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOBY MOSKOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PHILIP CAPONEGRO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARTIN NEEDELMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRANK CARBONE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RABBI DAVID NIEDERMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
STEPHEN CHESLER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	KAREN NIEVES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MICHAEL CHRICHHELLA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARY ODOMIROK	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THERESA CIANCIOTTA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	JANICE PETERSON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GIOVANNI D'AMATO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DANA RACHLIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIN DRINKWATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
T. WILLIS ELKINS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROBERT SOLANO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JULIA AMANDA FOSTER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DEL TEAGUE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEALICE FULLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOMMY TORRES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GOLDSTEIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEPHEN WEIDBERG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SONIA IGLESIAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIMON WEISER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MOISHE INDIG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: *11:30 pm* Tally: *29* YES *0* NO *0* ABS *0* RECUSAL





COMMUNITY BOARD NO. 1

435 GRAHAM AVENUE – BROOKLYN, NY 11211

PHONE: (718) 389-0009

FAX: (718) 389-0098

Email: bk01@cb.nyc.gov

Website: www.nyc.gov/brooklyn1



BR Reso
yes w/conditions

BOARD MEETING AND PUBLIC HEARING

DATE: 9/15/21

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LEBOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEON BROOKS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
IRIS CABRERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOBY MOSKOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PHILIP CAPONEGRO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARTIN NEEDELMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRANK CARBONE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RABBI DAVID NIEDERMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
STEPHEN CHESLER	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	KAREN NIEVES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MICHAEL CHIRICHELLA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARY ODOMIROK	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THERESA CIANCIOTTA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	JANICE PETERSON	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
GIOVANNI D'AMATO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DANA RACHLIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIN DRINKWATER	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
T. WILLIS ELKINS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROBERT SOLANO	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
JULIA AMANDA FOSTER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DEL TEAGUE	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
DEALICE FULLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOMMY TORRES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GOLDSTEIN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	STEPHEN WEIDBERG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SONIA IGLESIAS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SIMON WEISER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MOISHE INDIG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: 12:44 Tally: 20 YES 15 NO 1 ABS RECUSAL
AM



COMMUNITY BOARD NO. 1

435 GRAHAM AVENUE - BROOKLYN, NY 11211

PHONE: (718) 389-0009

FAX: (718) 389-0098

Email: bk01@cb.nyc.gov

Website: www.nyc.gov/brooklyn1



RR Reso 8
Community Recor w
NO

BOARD MEETING AND PUBLIC HEARING

DATE: *9/15/21*

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LEBOVITS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
TEON BROOKS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
IRIS CABRERA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	TOBY MOSKOVITS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
PHILIP CAPONEGRO	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	MARTIN NEEDELMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRANK CARBONE	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	RABBI DAVID NIEDERMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
STEPHEN CHESLER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	KAREN NIEVES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
MICHAEL CHIRICHELLA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARY ODOMIROK	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
THERESA CIANCIOTTA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	JANICE PETERSON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GIOVANNI D'AMATO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DANA RACHLIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIN DRINKWATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
T. WILLIS ELKINS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROBERT SOLANO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JULIA AMANDA FOSTER	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	DEL TEAGUE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEALICE FULLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOMMY TORRES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
JOEL GOLDSTEIN	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	STEPHEN WEIDBERG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SONIA IGLESIAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIMON WEISER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MOISHE INDIG	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>

Motion Failed

Time: _____ Tally: 15 YES 20 NO 1 ABS _____ RECUSAL



COMMUNITY BOARD NO. 1
 435 GRAHAM AVENUE – BROOKLYN, NY 11211
 PHONE: (718) 389-0009
 FAX: (718) 389-0098
 Email: bk01@cb.nyc.gov
 Website: www.nyc.gov/brooklyncb1



Open Restaurants
motion TO DENY

BOARD MEETING AND PUBLIC HEARING DATE: 9/14/21

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LEBOVITS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEON BROOKS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
IRIS CABRERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOBY MOSKOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PHILIP CAPONEGRO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARTIN NEEDELMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRANK CARBONE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RABBI DAVID NIEDERMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
STEPHEN CHESLER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	KAREN NIEVES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MICHAEL CHIRICHELLA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARY ODOMIROK	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THERESA CIANCIOTTA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	JANICE PETERSON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GIOVANNI D'AMATO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DANA RACHLIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIN DRINKWATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
T. WILLIS ELKINS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROBERT SOLANO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JULIA AMANDA FOSTER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DEL TEAGUE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEALICE FULLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOMMY TORRES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GOLDSTEIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEPHEN WEIDBERG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SONIA IGLESIAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIMON WEISER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MOISHE INDIG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: 1:28 pm Tally: 34 YES 0 NO 1 ABS 0 RECUSAL



COMMUNITY BOARD NO. 1

435 GRAHAM AVENUE - BROOKLYN, NY 11211

PHONE: (718) 389-0009

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Website: www.nyc.gov/brooklyn1



SLA REPORT
Adopted
AS written

BOARD MEETING AND PUBLIC HEARING

DATE: 9/14/21

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LEBOVITS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEON BROOKS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
IRIS CABRERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOBY MOSKOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PHILIP CAPONEGRO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARTIN NEEDELMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRANK CARBONE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RABBI DAVID NIEDERMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
STEPHEN CHESLER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	KAREN NIEVES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MICHAEL CHIRICHELLA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARY ODOMIROK	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THERESA CIANCIOTTA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	JANICE PETERSON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GIOVANNI D'AMATO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DANA RACHLIN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIN DRINKWATER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
T. WILLIS ELKINS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROBERT SOLANO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JULIA AMANDA FOSTER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DEL TEAGUE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEALICE FULLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOMMY TORRES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GOLDSTEIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEPHEN WEIDBERG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SONIA IGLESIAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIMON WEISER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MOISHE INDIG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: _____ Tally: 33 YES 0 NO 0 ABS _____ RECUSAL



COMMUNITY BOARD NO. 1

435 GRAHAM AVENUE – BROOKLYN, NY 11211

PHONE: (718) 389-0009

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Email: bk01@cb.nyc.gov

Website: www.nyc.gov/brooklyn1



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Clock ends
10/4

BOARD MEETING AND PUBLIC HEARING

DATE: 9/14/21

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LEBOVITS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEON BROOKS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
IRIS CABRERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOBY MOSKOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PHILIP CAPONEGRO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARTIN NEEDELMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRANK CARBONE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RABBI DAVID NIEDERMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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ERIN DRINKWATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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JOEL GOLDSTEIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEPHEN WEIDBERG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SONIA IGLESIAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIMON WEISER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MOISHE INDIG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: 11:24 Tally: 32 YES 0 NO 0 ABS 0 RECUSAL





COMMUNITY BOARD NO. 1
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 Website: www.nyc.gov/brooklyn1



PARKS Reso on
condition of City Storage
meeting

BOARD MEETING AND PUBLIC HEARING DATE: 9/14/21

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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TEON BROOKS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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ERIN DRINKWATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
T. WILLIS ELKINS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROBERT SOLANO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JULIA AMANDA FOSTER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DEL TEAGUE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEALICE FULLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOMMY TORRES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GOLDSTEIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEPHEN WEIDBERG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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MOISHE INDIG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: _____ Tally: 32 YES NO ABS RECUSAL





COMMUNITY BOARD No. 1

435 GRAHAM AVENUE - BROOKLYN, NY 11211- 8813

PHONE: (718) 389-0009

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HON. ERIC L. ADAMS
BROOKLYN BOROUGH PRESIDENT



SIMON WEISER
FIRST VICE-CHAIRMAN

DEL TEAGUE
SECOND VICE-CHAIRPERSON

GINA BARROS
THIRD VICE-CHAIRPERSON

MARIA VIERA
FINANCIAL SECRETARY

SONIA IGLESIAS
RECORDING SECRETARY

PHILIP A. CAPONEGRO
MEMBER-AT-LARGE

DEALICE FULLER
CHAIRPERSON

GERALD A. ESPOSITO
DISTRICT MANAGER

HON. STEPHEN T. LEVIN
COUNCILMEMBER, 33rd CD

HON. ANTONIO REYNOSO
COUNCILMEMBER, 34th CD

REVISED
September 7, 2021

COMBINED PUBLIC HEARING AND BOARD MEETING NOTICE

TO: Community Board Members and Residents
FROM: Dealice Fuller, Chairperson
RE: Scheduled Combined Public Hearing and Board Meeting
(26 Members Constitute a Quorum for the Board)

Please be advised that a Combined Public Hearing and Board Meeting of Brooklyn Community Board No. 1 will be held as follows:

WHEN: TUESDAY --- SEPTEMBER 14, 2021

TIME: *** 6:00 PM ***

WHERE: WEBEX

(While we cannot meet in person, we will be meeting virtually.

Below are options for you to connect)

Event Address for Attendees

<https://nyccb.webex.com/nyccb/onstage/g.php?MTID=ed2233ef55e34ff003fc7b91d86ff94d7>

Event number: 179 304 0659

Event password: UJre7UJjW52

Audio conference: +1-646-992-2010 [New York City]

Access code: 179 304 0659

NOTE --- All persons who wish to speak during Public Session, please see form (submission deadline - 2:00 PM):

<https://www1.nyc.gov/site/brooklyn1/meetings/speaker-request-form.page>

NOTE --- Elected Officials who wish to speak, please send an email to: Bk01@cb.nyc.gov

PUBLIC HEARING

1. **ROLL CALL.**
2. **PRESENTATION: FRIENDLY VISITING PROGRAM.** The Friendly Visiting Program connects socially isolated/homebound seniors with a friendly visitor (volunteers) to provide them with a friendship - by Ms. Biviana Coyomani, Coordinator, Friendly Visiting Program, RiseBoro. (10 minutes)
3. **PRESENTATION: 1 WYTHE AVENUE IBIA SPECIAL PERMIT** (C 210272 ZSK) – IN THE MATTER OF an application submitted by One Wythe LLC pursuant to sections 197-c and 201 of the New York City Charter for the grant of a special permit pursuant to Section 74-96* of the Zoning Resolution to allow an increase in the maximum permitted floor area ratio in accordance with Section 74-963 (Permitted floor area increase) and, in conjunction therewith, to waive the off-street parking requirements of Section 44-20 (REQUIRED ACCESSORY OFF-STREET PARKING SPACES FOR MANUFACTURING, COMMERCIAL OR COMMUNITY FACILITY USES), and to modify the quantity and size of the loading berth requirements of Section 44-50 (GENERAL PURPOSES), in connection with a proposed 8-story commercial and industrial building within an Industrial Business Incentive Area specified on the maps in Section 74-968 (Maps of Industrial Business Incentive Areas), on property located at 1 Wythe Avenue (Block 2641, Lots 1, 3 and 4), in a M1-2 District. Borough of Brooklyn, Community District 1. (*Note: Section 74-96 is proposed to be changed under a concurrent related application [N 210273 ZRK] for a zoning text change.) – Presentation by Mr. Richard Lobel, Sheldon Lobel, P.C./Applicant-Representative. (To Be Voted On) (15 minutes)
4. **PRESENTATION: NYC DEPARTMENT OF DESIGN & CONSTRUCTION RE:** - Designs for an energy upgrade project for DSNY (BK1/BK4 garage at 161 Varick Avenue, Brooklyn, NY 11237) where they are installing rapid roll garage doors at the building exterior facing the side and rear yards. This presentation is part of the Public Design Commission (PDC) process. – by Mr. Jomo Blackman, Outreach Coordinator/NYC DDC. (10 minutes)
5. **COMMENTS ON THE PRELIMINARY BUDGET FISCAL YEAR 2023** – Comments from the public regarding the Preliminary Budget for Fiscal Year 2023. Speakers are limited to one (1) minute each. **Written testimony is requested.** All persons who wish to speak during this portion of the meeting must register using the link:
<https://www1.nyc.gov/site/brooklyn/b1/meetings/speaker-request-form.page>
6. **PRESENTATION: NYC DEPARTMENT OF TRANSPORTATION/DIVISION OF BRIDGES RE: THE GRAND STREET BRIDGE - INTRODUCTION OF THE PROJECT:** Introduction to the project's team, the project itself and project process – by Ms. Joannene Kidder, Executive Director of Community Affairs, NYC DOT. (15 minutes)

7. LIQUOR LICENSES:

NEW

- 1) 24 Oak LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater or concert hall)
- 2) 118 Norman Avenue LLC, 118 Norman Avenue (New, liquor, wine, beer, cider, bar/tavern)
- 3) 120 Franklin Street LLC, 43 Franklin Street, (New, liquor, wine, beer, cider, bar, tavern)
- 4) 160 Havemeyer LLC, dba The Royal Seafood Bar, 160 Havemeyer Street, (Class Change, liquor, wine, beer, cider, rest)
- 5) Angelvan Corp, dba L Ange Noir Cafe, 247 Varet Street, (Alteration, liquor, wine, beer, cider, rest)
- 6) Cheeseboat LLC, 80 Berry Street, (Corporate Change, liquor, wine, beer, cider, rest)
- 7) Corporation to be formed by Jorge Boetto, 21 Dunham Place, (New, liquor, wine, beer, cider, rest)
- 8) An Entity to be formed in which Barbara Piliero is a Principal, dba TBD, 67, 71, 75 Ingraham Street, (new, liquor, wine, beer, cider, bar, tavern)
- 9) Entity to be Formed by William Rees, dba TBD, 338 Bedford Avenue, (New, wine, beer, cider, rest)
- 10) Eleva Coffee GPL LLC, 21 Commercial Street, (New, liquor, wine, beer, cider, bar, tavern)
- 11) Fat Bushwick LLC, 17 Ingraham Street, (New, liquor, wine, beer, cider, rest)
- 12) Fuzzy Logic LLC, dba TBD, 253 Grand Street, (New, liquor, wine, beer, cider, rest)
- 13) Green Fitness Studio Inc., dba Verde Yogurt Shoppe, 232 Varet Street, (New, liquor, wine, beer, cider, catering facility(private events only)
- 14) Hana Makgeolli LLC, 201 Dupont Street, (New, liquor, wine, beer, cider, bar, tavern,)
- 15) Hatchets and Hops Brooklyn LLC, dba Hatchets and Hops, 98 North 11th Street (Class Change, liquor, wine, beer, cider, rest, bar)
- 16) JCW Establishment LLC, dba Sippy Cafe, 200 Franklin Street, (New, wine, beer, cider, bar, tavern)
- 17) La Franco Family LLC, dba TBD, 450 South 5th Street, (New, liquor, wine, beer, cider, rest)
- 18) La Manicha Restaurant Associates LLC, dba TBD, 568 Metropolitan Avenue, (New, liquor, wine, beer, cider, rest, bar)
- 19) Listening Bar LLC, dba Eavesdrop, 674 Manhattan Avenue, (New, Liquor, wine, beer, cider, Bar/Tavern)
- 20) McCarren Park House LLC, dba McCarren Park house, 855 Lorimer Street, (New, liquor, wine, beer, cider, rest)
- 21) Mori Restaurant Inc., 340 Grand Street, (New, wine, beer, cider, rest)
- 22) Oregano LLC, dba Oregano, 102 Berry Street, (Alteration [adding a customer bar], liquor, wine, beer, cider, rest)
- 23) Pigri LLC, dba Milk and Roses, 1140 Manhattan Avenue, (Removal, liquor, wine, beer, cider, rest)
- 24) PQcoffee LLC, dba Pueblo Querido Coffee, 34 North 6th Street (New, wine, beer, cider, coffee shop)
- 25) PQcoffee LLC, dba Pueblo Querido, 694 -698 Manhattan Avenue, aka 88-90 Norman Avenue, (New, wine, beer, cider, coffee shop)
- 26) Riverwalk Management Inc., dba Naked Dog, 47 Java Street, (Corporate Change, liquor, wine, beer, cider, rest)

- 27) SC METROPOLITAN LLC, DBA SHAKING CRAB, 1045 Flushing Avenue, (New, liquor, wine, beer, cider, rest)
- 28) Shiki NYC LLC, dba TBD, 27 Greenpoint Avenue, (New, liquor, wine, beer, cider, rest)
- 29) WI Match LLC, Wispaces, 535 Grand Street, (New, liquor, wine, beer, cider, catering facility (private events only))
- 30) Vantage Point Hospitality LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater or concert hall)
- 31) Williamsburg Cinemas LLC, 217 Grand Street & 686 Driggs, (New, wine, beer, cider, movie, theater)
- 32) Xi An Town USA Inc., dba Xiantown, 165 Bedford Avenue, (New, liquor, wine, beer, cider, rest)

RENEWAL

- 1) 99 Scott Studio LLC, 99 Scott Avenue, (Renewal, liquor, wine, beer, cider, catering)
- 2) 146 Broadway Associates LLC, dba Baby's All Right, 146 150 Broadway, (Renewal, liquor, wine, beer, cider)
- 3) 221 North 4TH Rest Corp., d/b/a Golden Years, 221 North 4th Street (Renewal, liquor, wine, beer, rest)
- 4) 622 Vanderbilt Restaurant LLC, dba Rule of Thirds, 29 Norman Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 5) 931 Manhattan Cafe LLC, 931 Manhattan Avenue, (Renewal, liquor, wine, beer & cider, rest)
- 6) Aluk 888 Inc., dba Chinese Musician, 151 Greenpoint Avenue, (Renewal, wine, beer, cider, rest)
- 7) Amber Restaurant LLC, dba Amber, 119 Nassau Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 8) Baldracc LLC, dba Testo, 141 Leonard Street, (Renewal, wine, beer, cider, rest)
- 9) Bembe Inc., dba Bembe, 81 South 6th Street, (Renewal, menu/legal minimum food requirements, bar/tavern)
- 10) Brooklyn Winery LLC, dba Brooklyn Winery, 213 North 8th Street, (Renewal, liquor, wine, beer, cider, rest, catering facility)
- 11) Demije Group LLC, dba Basik, 323 Graham Avenue, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 12) Dish Food & Events LLC, 190 North 14th Street, (Renewal, liquor, wine, beer, cider, catering facility)
- 13) Elite Bk Inc., dba Elite Bk, 128 Metropolitan Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 14) Fish Sauce Boys Inc., dba High Lua Vietnamese Kitchen, 182 South 2nd Street [aka 743 Driggs Avenue] (Renewal, wine, beer & cider)
- 15) Full Circle Bar LLC, 318 Grand Street, (Renewal, liquor, wine, beer, cider, bar)
- 16) Grand Morelos Corp., 727 Grand Street, (Renewal, wine, beer, cider, rest)
- 17) Kettle Pie Inc. dba Allswell, 124 Bedford Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 18) Kojia Grill LLC, dba Dokebi, 199 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 19) La Cocina II Restaurant Corp., 100 Moore Street, (Renewal, liquor, wine, beer, cider, rest)
- 20) Las Tainas Bar & Restaurant LLC, 347 Broadway, (Renewal, liquor, wine, beer, cider, rest)
- 21) M Shanghai LLC, dba M Shanghai, 292 Grand Street, (Renewal, liquor, wine, beer, cider, rest)

- 22) Magda Sayeg/USRA Group LLC, dba Magalene, 524 Lorimer Street, (Renewal, liquor, wine, beer, cider, rest)
- 23) Malynstoss LLC, dba Nightshade, 451 Meeker Avenue. (Renewal, liquor, wine, beer, cider, bar/tavern)
- 24) Manich Brothers LLC, dba El Born, 651 Manhattan Avenue (Renewal, liquor, wine, beer, cider,
- 25) Motorino Broadway Inc., dba Motorino Broadway, 139 Broadway, (Renewal, liquor, wine, beer, cider, rest)
- 26) Nile Peterson Industries Inc., dba Landline, 790 Grand Street, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 27) OMHBrooklyn LLC, 303 Bedford Avenue, (Renewal, liquor, wine, beer, cider, bar/tavern)
- 28) Original Music Workshop Inc., dba National Sawdust OMW, 80 North 6th Street, (Renewal, liquor, wine/beer, cider, rest, concert venue)
- 29) Platinum Affairs LTD, dba The Continental Caterers, 75 Rutledge Street, (Renewal, wine, beer, cider, catering facility)
- 30) Spuyten Duyvil LLC, dba Sputen Dyvil, 359 Metropolitan Avenue, (Renewal, wine, beer, cider, bar, tavern)
- 31) Schneider Boggs LLC, dba Huckleberry Bar, 588 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 32) Shelison Restaurant Inc., 492 Broadway, (Renewal, wine, beer, cider, rest)
- 33) Ten Eleven Holdings Inc, dba Pencil factory, 142 Franklin Street, (Renewal, liquor, wine, beer, cider, bar)
- 34) Topsy Scoop Brooklyn LLC, 270 Metropolitan Avenue (Renewal, wine, beer & cider)
- 35) Tres de Mexico LLC, dba Mesa Coyoacan, 372 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest.)
- 36) The Geezers LLC, dba Harefield Road Pub, 769 Metropolitan Avenue, (Renewal, liquor, wine, beer, cider, bar/tavern)
- 37) Vera Cruz on Bedford, 195 Bedford Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 38) Win Star Food LLC, Winson Bakery, 164 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest)

BOARD MEETING

1. MOMENT OF SILENCE

2. ROLL CALL

3. APPROVAL OF THE AGENDA

4. APPROVAL OF THE MINUTES – Combined Public Hearing and Board Meeting of July 12, 2021

5. PUBLIC SESSION

(Reserved for the Public's expression. Board Members will not be allowed to speak.)

NOTE --- All persons who wish to speak during this portion of the meeting **must:**

Register (by 2P.M.) using the link:

<https://www1.nyc.gov/site/brooklyn1/meetings/speaker-request-form.page>

Each scheduled participant for this session will have an allowance of two (2) minutes [time permitting.] (No questions will be entertained. Speakers are requested to submit their testimony in writing)

6. **COMMITTEE REPORTS**

7. **PARKS DEPARTMENT MINUTE** – As written.

8. **ANNOUNCEMENTS: ELECTED OFFICIALS** – Called in the order of signup.

9. **ADJOURNMENT**

Note: For further information on accessibility or to make a request for accommodations, such as sign language interpretation services, please contact Brooklyn Community Board No. 1, Tel. (718) 389-0009; at least (5) business days in advance to ensure availability.

ULURP, CALENDAR OR REFERENCE #: C 210272 ZSK/ N210273 ZRK
APPLICANT: One Wythe LLC
LOCATION: 1-11 Wythe
REQUEST: _____

COMMUNITY BOARD NO. 1 QUESTIONNAIRE FOR LAND USE ITEMS

(Please complete this questionnaire and return to District Manager Gerald A. Esposito at
CB #1's Headquarters, 435 Graham Avenue, Brooklyn, New York 11211.
Feel Free to contact the Board's Office at (718) 389-0009
if you have any questions or require additional information

PROPOSED ACTION: What is the proposed ULURP, or BSA action (i.e. an amendment to the zoning map, a siting of a city facility, a zoning variance, etc.)? ULURP - IBIA Text Amendment and Special Permit

1. For Ownership:

- a) Who are the owners? One Wythe LLC
- b) If a corporation, who are the principals? Partnership- with the principals being Shlomo Karpen and Rivky Brach
- c) What kind of a corporation? LLC- Partnership

2. For Developers:

- a) Who is the developer if it is different than the owner? same as owner -
- b) What is their experience with this type of development? _____
- c) Is there a sponsor(s) of the project (i.e. a CBO, NYC Housing Partnership, NYCHA?) No

3. Financing:

- a) What is the cost of the project? \$25 MM
- b) How is it financed? private equity funds
- c) Will there be tax abatements? Subsidies? ICIP

4. Land:

a) What information can be provided about the land? Who owns the land? currently vacant , owned by One Wythe LLC

b) What is the condition, status and uses on the property and the zoning? Use groups? commerical

c) Has there been an environmental assessment or scope of an impact statement prepared for the proposed action? Yes an environmental assessment was prepared and negative declaration determination was provided by NYC DCP Environmental Assessment Review Division

d) Will the land be purchased? What is the cost of the land? When was the property purchased? October 2018 What was the cost? \$17,750,000

e) Will demolition be needed to clear the land? YES - OF SEVERAL 1 STORY WAREHOUSE TYPE BUILDINGS

f) Is the project in a special district? Historic District? Is it in an Urban Renewal Area? _____

g) Will unused development rights be utilized or sold (i.e. air rights)? NO

5. Construction:

a) What type of construction will be used (i.e. rehab/new) and methods (i.e. pre-form cast concrete, brick)? CAST IN PLACE CONCRETE, RAIN SCREEN FACADE AND WINDOW WALLS

b) What is the time frame of the work (i.e. begin/end, etc.)? 24 MONTHS FROM BEGINNING OF EXCAVATION TO TCO

c) Who will be doing the work (i.e. firm, sweat equity, student interns)? A GC WITH SUB-CONTRACTORS, OR THE OWNER WITH CONSTRUCTION MANAGEMENT SUPPORT

6. Project Information:

a) Describe the project in terms of the proposed use(s) such as retail, office, commercial, loft, community facility, etc.)? OFFICE OVER GROUD FLOOR LIGHT MANUFACTURING WITH ACCESSORY RETAIL COMPONENT

b) If the project is residential, how many dwelling units are proposed and what is the number of bedrooms mix? What are the unit sizes? PROJECT IS ENTIRELY COMMERCIAL

c) What are the projected costs of the rentals? If the units are to be condominium or one-to-three family house, what is the projected purchase price? N/A

d) Will there be financing for the units? What are the terms? NO FINANCING IN PLACE YET

e) Who is the lender? TBD

7. Marketing:

a) How will the project be marketed? Advertised? MARKETING STRATEGY TBD BY BROKER

b) If newspaper, which ones? TBD

c) When will the projects be marketed (before, during or after construction)? TBD

d) What will be the outreach? TBD

8. Project Characteristics:

a) Will the project be consistent with the surrounding buildings (i.e. height, FAR/Floor Area Ratio, conforming)? THE PROJECT WILL BE CONSISTENT IN HEIGHT AND BULK WITH OTHER NEARBY SPECIAL PERMIT OFFICE BUILDINGS LIKE 25 KENT AVE AND 103 NORTH 13TH ST

b) Will the project be handicap accessible? Explain specifics YES, WITH RAMPS AT THE GROUND FLOOR AND ELEVATOR ACCESS THROUGHOUT OTHERWISE

c) Special populations for the project (i.e. homeless, low-income, SRO, etc.) N/A

9. Open Space/Parking Amenities:

a) Will there be open space provided with the project? What type (i.e. rear yard, park, waterfront)? Will there be public access? OPEN SPACE AT EAST END OF SITE, PROPOSED AS A SMALL PUBLICLY ACCESSIBLE ENTRY PLAZA

b) Will there be landscaping? Fencing? Street tree planting? THERE WILL BE LANDSCAPING AND STREET TREE PLANTING

c) Will parking be provided for (indoor, outdoor, on-street)? Will a waiver be requested? NO PARKING PROPOSED DUE TO SIZE AND CONFIGURATION OF SITE, WAIVER IS REQUESTED

d) What amenities, if any, will be incorporated with the project? How were they developed and with who (i.e. tenants, residents, community group)? TBD AS OFFICE SPACES ARE CURRENTLY CONTEMPLATED AS WHITE BOX

10. Building/Lot -- currently undergoing any renovations, demolition, construction (of any size)?

NO

11. Any violations on the building or lot (i.e. Department of Buildings, Department of Environmental Protection, EPA, etc.)?

V 030501P3MK2, VW 030501P3MK1, 35233225X, V 072988GES2AC, V 072988ZES1AC

12. In addition to the BSA's Environmental Report (or similar document) please provide the following information:

a) List previous industrial uses and processes: WAREHOUSING AND STORAGE

Business directories including city, cross reference, and telephone directories were reviewed for the years spanning 1928 through 2005. The Subject Property was listed historically as an industrial and manufacturing site. 1 Wythe Avenue was not listed in the city directories. 7 Wythe Avenue was listed as the following: 1928: Resol Products Corp. 1934: Cavanagh Thos National Printing Ink Co. 1965: Universal Blds Supl Co Inc. 1970: Universal Carbn Papr Co.; 9 Wythe Avenue was listed as the following: 1992, 2000: Classic Fuel Oil, 2005: Classic Fuel Oil Corp. and Andes Marble and Granite Inc. 2010: Andes Marble and Granite Inc. and Lee Transport Carriers Inc. 2014: Andes Marble and Granite Inc.

b) List chemicals and quantities used in and stored for those processes: _____
~~Types and quantities of chemicals used for historic storage is not known. Presumably based on past use, fuel oil and printing solvents may have been stored on site. Currently, small amounts of aerosol cans and single gallon cans of aerosols and paints are present in a cabinet at woodworking shop present on site but no significant quantities of chemicals or solvents is present.~~

c) List Hazardous Waste Disposal permits for prior operators: None documented or known

d) List any proposed remediations: _____
~~An E designation is placed on site requiring a Phase II site investigation will be performed and remediation determined in coordination as required with OER~~

e) Please provide any ASTM Phase I & II information: _____
~~There is one Recognized Environment Condition (REC) associated with the Subject Property. Oil staining was observed in the parking area of Elephant Films located at 9 Wythe Ave. The staining was within an area of cracked concrete and has potential to leach into the soil at the Subject Property. The Environmental Data Report (EDR) Vapor Encroachment database identified five VECs (Vapor Encroachment Conditions) within 1/10 of a mile of the Subject Property that are related to a leaking 20,000 gallon UST, a diesel fuel oil spill, a dry cleaners, and two historic automobile garages. Based on these findings, a possible vapor encroachment cannot be ruled out. As a result of these two findings a Phase II has been recommended to be performed to guide future remediation as warranted under the discretion of OER.~~

PREPARED BY: _____ TITLE: _____
SIGNATURE: _____ DATE: _____
CONTACT # () _____ FAX # () _____

Community Board #1
Supplemental Land Use Application Information

Special permit actions - on a separate sheet, list all waivers, etc. requested

A. Project size

Commercial: (sq ft)	<u>67,286</u>
Manufacturing (sq ft)	<u>13,457</u>
Residential (sq ft)	<u>0</u>
Total (sq ft)	<u>80,743</u>
Height (feet)	<u>110'</u>
Height (stories)	<u>8</u>

(for projects with more than one building, provide the the above data for each building)

B. Residential projects

	Σ # of units	# affordable
0 bedroom (studio)	_____	_____
1 bedroom	_____	_____
2 bedroom	_____	_____
3 bedroom	_____	_____
≥ 4 bedroom	_____	_____
Total units	_____	_____

Market-rate units

Rental or condo? _____

Estimated cost/rent psf _____

(market rate units only)

Affordable units

Rental or condo? _____

Distribution of affordability by % of AMI

C. Open space

	required	proposed
Total area	<u>0</u>	<u>1,308</u>
Publicly accessible	<u>0</u>	<u>1,308</u>

What are the hours of accessibility for the publicly-accessible open space? 24 hrs / day

Will the publicly-accessible open space be turned over the Department of Parks for operation?

no

D. Parking

Parking - number of spots, number required by zoning

	required	proposed
# of spaces	<u>246</u>	<u>0</u>

E. Environmental

List all environmental issues identified, environmental designations (Little 'E', HAZMAT, brownfield, Super Fund, etc.) and all remediation required _____

F. Additional information

For all projects, please provide the following information:

- Draft or final EAS/EIS (pdf and one hard copy)
- 15 copies of power point presentation (11 x 17) to meeting
- Copies of power point presentation, architectural plans and renderings (pdf)
- NYS DEP signoff or status letter (waterfront sites only, pdf)
- List of project team (architect, engineer, landscape architect, code consultant, counsel, et al)
- List of all partners, corporation members, shareholders on ownership/development team
- Contact information (name, telephone, fax and email)



1 WYTHE AVENUE IBIA SPECIAL PERMIT & TEXT AMENDMENT

ULURP Nos.: C 210272 ZSK AND N
210273 ZRK

BROOKLYN COMMUNITY BOARD 1 PRESENTATION

APPLICANT TEAM: SHELDON LOBEL, P.C.,
ARCHIMAERA, AND EQUITY ENVIRONMENTAL

Actions:

- Zoning Text Amendment to modify ZR Section 74-96 to include Block 2641, Lots 1, 3, and 4 as new Industrial Business Incentive Area (“IBIA”).
- Zoning Special Permit pursuant to ZR Section 74-96 to: (1) increase the maximum floor area ratio to permit light industrial and commercial uses pursuant to ZR Section 43-12, (2) permit an adjustment in the underlying height and setback regulations pursuant to ZR Section 43-43, and (3) modify the accessory off-street parking requirements pursuant to ZR Section 44-20 and the loading berth requirements pursuant to ZR Sections 44-50.

1 Wythe Avenue, Brooklyn



NYC Digital Tax Map

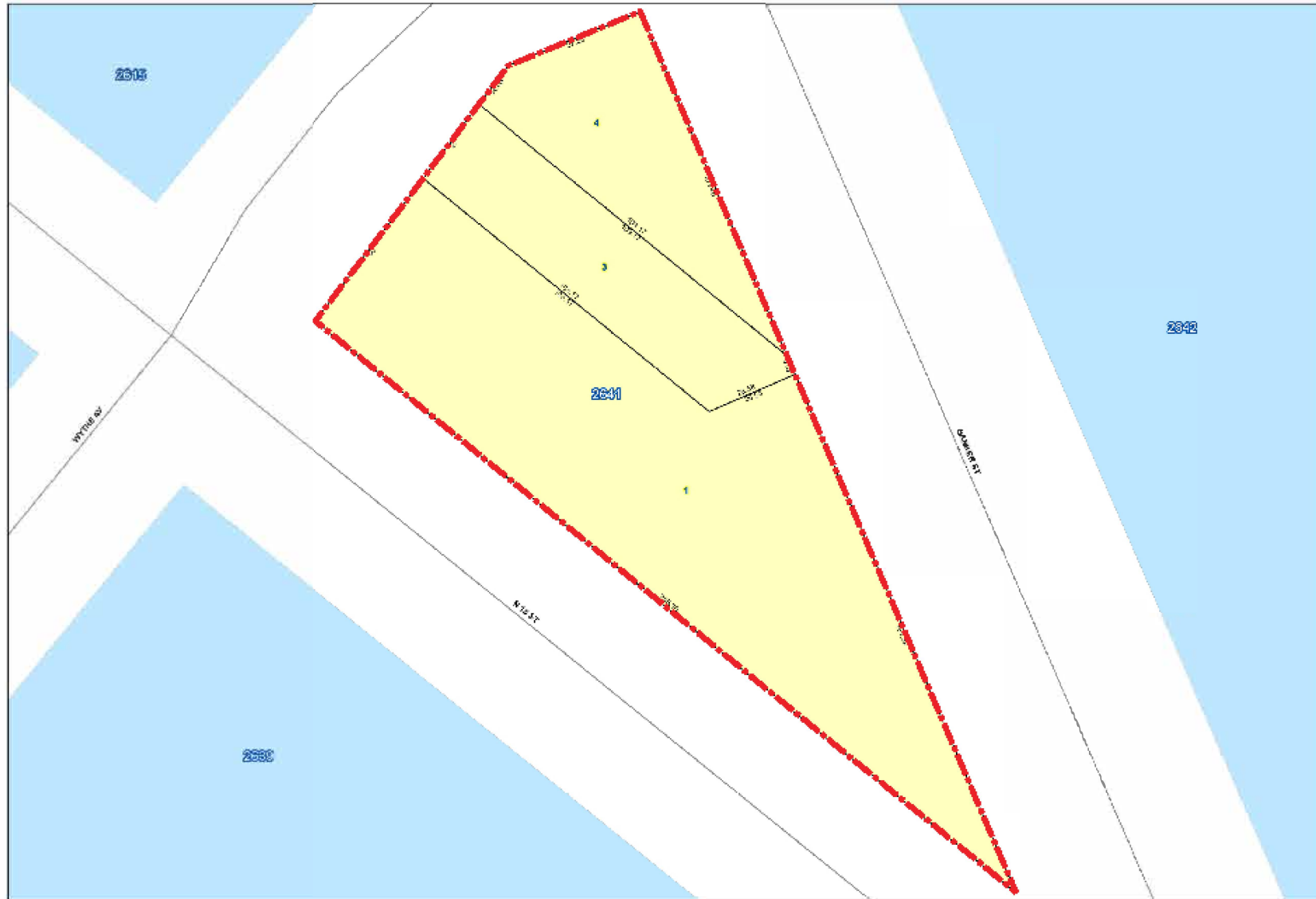
Effect vs Date : 12-05-2008 14:05:15

End Date : Current

Brooklyn Block: 2641

Legend

- Streets
- Liens/Encumbrance Tax
- Possession Blocks
- Boundary Lines
- Lot Face Possession Blocks Regular
- Underwater
- Tax Lot Polygon
- Condo Number
- Tax Block Polygon
- Development Site



1 Wythe Avenue, Brooklyn Area Map

Block: 2641, Lots: 1, 3 & 4

Project Information

 600' Radius

 Development Site

Existing Commercial Overlays & Zoning Districts

 C1-1	 C2-1	 Zoning Districts
 C1-2	 C2-2	 Special Districts
 C1-3	 C2-3	
 C1-4	 C2-4	
 C1-6	 C2-5	

 Subway Entails

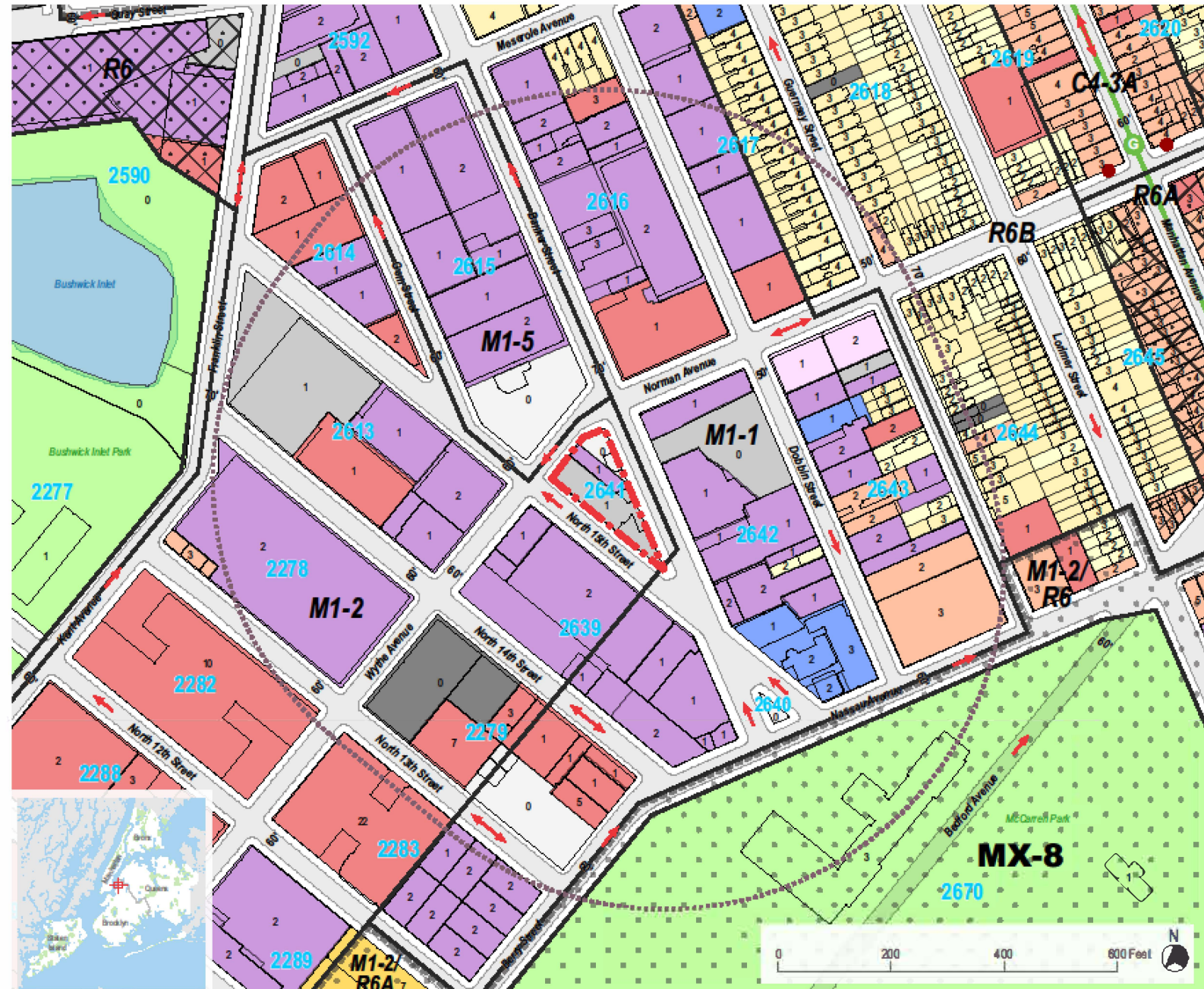
 5037 Block Numbers

 Property Lines

 5 Number of Floors

Land Uses

 One & Two Family Residential Buildings
 Multi-Family Residential Buildings (Walk-up)
 Multi-Family Residential Buildings (Elevator)
 Mixed Residential & Commercial Buildings
 Commercial/Office Buildings
 Industrial/Manufacturing
 Transportation/Utility
 Public Facilities & Institutions
 Open Space
 Parking Facilities
 Vacant Land
 No Data/Other



July 2020

Urban Cartographics



1. View of the Site facing east from Wythe Avenue and North 15th Street.



2. View of Wythe Avenue facing northeast from North 15th Street (Site at right).



3. View of North 15th Street facing southeast from Wythe Avenue (Site at left).





7. View of the Site facing south from the intersection of Wythe Avenue, Norman Avenue, and Banker Street.



8. View of Wythe Avenue facing southwest from Banker Street (Site at left).



9. View of the Site facing southwest from Banker Street.





13. View of Banker Street facing north from North 15th Street (Site at left).



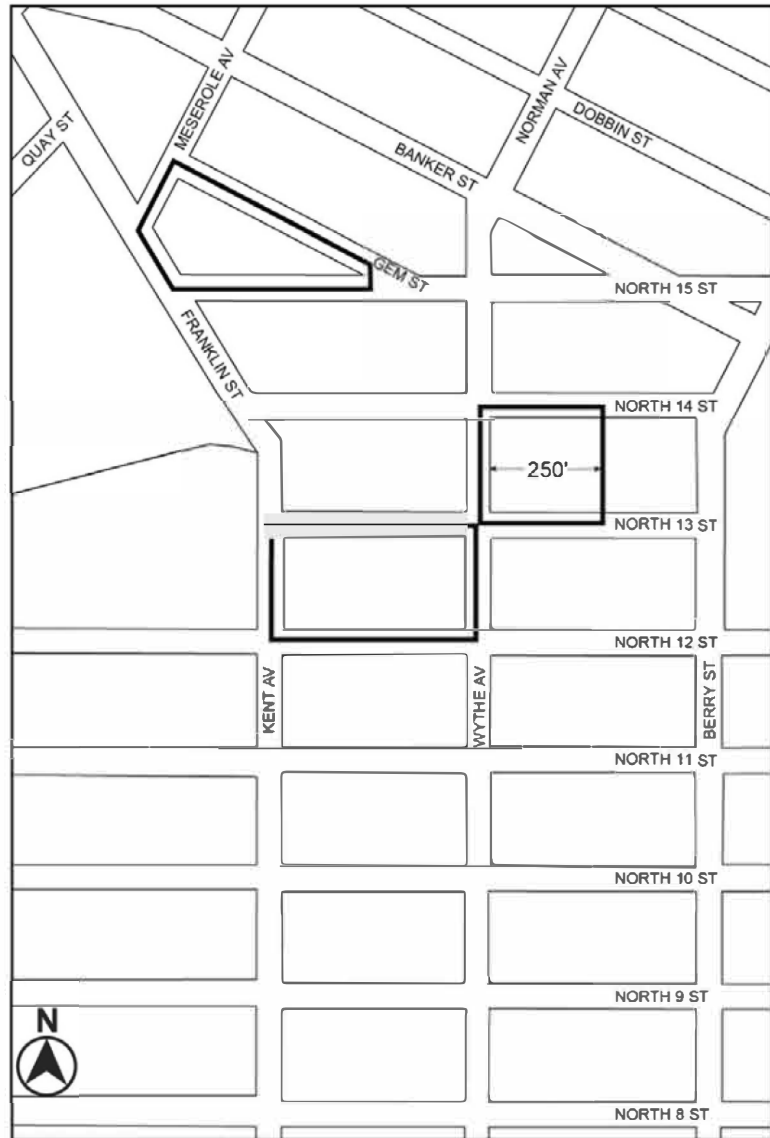
14. View of the Site facing northwest from the intersection of North 15th Street and Banker Street.




15. View of North 15th Street facing northwest from Banker Street (Site at right).



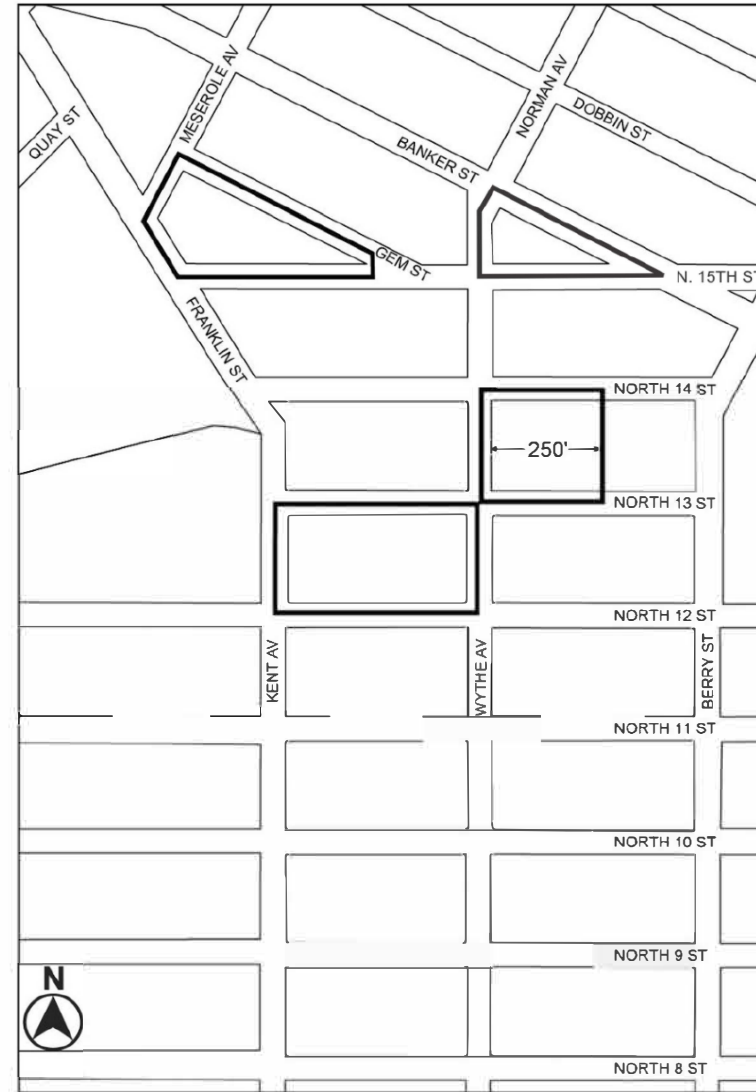
[EXISTING]



 Industrial Business Incentive Area

Portion of Community District 1,
Borough of Brooklyn

[PROPOSED]



 Industrial Business Incentive Area

Portion of Community District 1,
Borough of Brooklyn



1 VIEW FROM WYTHE AVE. & BANKER ST. INTERSECTION



2 VIEW FROM BANKER ST. & N. 15TH ST. INTERSECTION

Proposed Project

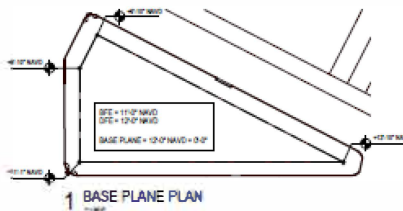
- 80,743 sq. ft. (4.8 FAR) mixed-commercial and industrial building
 - 33,643 sq. ft. (2.0 FAR) of Permitted Uses (cellar, 2nd – 4th floors)
 - 13,457 sq. ft. (0.8 FAR) of Required Industrial uses (1st floor)
 - 33,643 sq. ft. (2.0 FAR) of Incentive Uses (5th – 8th floors)
- 110 ft. tall, 8-story building
- 1 loading berth
- 0 parking spaces

ZR	ITEM / DESCRIPTION	PERMITTED / REQUIRED BY UNDERLYING ZONING DISTRICT	PERMITTED BY ZR 74-96 SPECIAL PERMIT	PROPOSED	COMPLIANCE WITH UNDERLYING ZONING DISTRICT / COMPLIANCE WITH ZR 74-96 SPECIAL PERMIT
42-01	USE REGULATIONS PER M-2 DISTRICT REGULATIONS	PERMITTED USES - USE GROUPS 4-14, 16 & 17	PERMITTED USES - REQUIRED INDUSTRIAL USE - USE GROUP 11A, 12A, 13B, 13C, 14C, AS SPECIFIED IN SECTIONS 24-29 (SEE USE GROUP 11, 12-25 (SEE USE GROUP 16), 42-14 (SEE USE GROUP 17), AND BEVERAGES, ALCOHOLIC DR BEVERAGES AS LISTED IN SECTION 42-15 (SEE USE GROUP 18)) INCENTIVE USES - USE GROUPS 5A, 6C, 7A, 8C, 10A, 10B, 12, 13A, 15, AS SPECIFIED IN SECTION 24-34 (SEE GROUP 5), 25-26 (SEE GROUP 6), 26-27 (SEE GROUP 7A), 27-28 (SEE GROUP 8), 28-29 (SEE GROUP 10A OR 10B), 29-31 (SEE GROUP 12), 32-33 (SEE GROUP 13), AND MEETING AND STORAGE OFFICES BEYOND LIMITATION AS TO STORAGE OR FLOOR AREA PER ESTABLISHMENT, AS WELL AS PACKING OR CRATING ESTABLISHMENTS, AND WAREHOUSES, AS SPECIFIED IN SECTION 24-25 (SEE GROUP 16)	PERMITTED USES - U.G. 6 RETAIL & COMMERCIAL REQUIRED INDUSTRIAL USES - U.G. 11A LIGHT MANUFACTURING INCENTIVE USES - U.G. 05 OFFICE	COMPLIES WITH UNDERLYING ZONING DISTRICT WITH ZR 74-96 SPECIAL PERMIT
43-02 43-122	FLOOR AREA RATIO	COMMERCIAL / MANUFACTURING 2.0 COMMUNITY FACILITY 4.0 TOTAL PERMITTED 4.0	MAX FAR BASE MAX FAR 2.0 MAX ADDITIONAL FAR FOR REQUIRED INDUSTRIAL USES 0.8 MAX FAR FOR INCENTIVE USES 2.0 TOTAL PERMITTED 4.8	PERMITTED USES 2.0 REQUIRED USES 0.8 INCENTIVE USES 2.0 TOTAL PROPOSED 4.8	DOES NOT COMPLY WITH UNDERLYING ZONING DISTRICT * SPECIAL PERMIT PER ZR 74-96 REQUIRED
	FLOOR AREA	MAX FLOOR AREA (SF) COMMERCIAL / MANUFACTURING 35,840 COMMUNITY FACILITY 141,487 TOTAL PERMITTED 80,340	MAX FLOOR AREA (SF) BASE MAX FA 35,840 MAX ADDITIONAL FA FOR REQUIRED INDUSTRIAL USES 13,487 MAX FA FOR INCENTIVE USES 35,840 TOTAL PERMITTED 85,143	FLOOR AREA (SF) PERMITTED USES 35,840 REQUIRED USES 13,487 INCENTIVE USES 35,840 TOTAL PROPOSED 85,143	DOES NOT COMPLY WITH UNDERLYING ZONING DISTRICT * SPECIAL PERMIT PER ZR 74-96 REQUIRED
43-25 43-28	YARD REQUIREMENT	NO SIDE YARDS REQUIRED NO REAR YARD OR REAR YARD EQUIVALENT HEREBY IN THE CASE OF A ZONING LOT OCCUPYING AN ENTIRE BLOCK		NO SIDE YARD, REAR YARD OR REAR YARD EQUIVALENT PROVIDED	COMPLIES WITH UNDERLYING ZONING DISTRICT
43-49	HEIGHT & SETBACK	WYTHE AVENUE SIDE HEIGHT - MINIMUM N/A FRONT SETBACK - MAXIMUM 80 FT OR 4 STORIES, WHICHEVER IS LESS FEET 75 MINIMUM - WALKWAY STREET 28 FEET 15 SIDE EXPOSURE PLANE - WALKWAY STREET 2.1:1 N/A BUILDING HEIGHT - MAXIMUM N/A FEET 110 % OF STREET WALL ON STREET LINE BELOW 12 FT - MINIMUM N/A PERCENT 70 PERCENT 70 % OF STREET WALL ON STREET LINE UP TO BASE HT - MINIMUM N/A PERCENT 70 PERCENT 70 AGGREGATE WIDTH OF DORMERS - MAXIMUM N/A PERCENT 50 PERCENT 50	MANHATTAN STREET SIDE HEIGHT - MINIMUM N/A FRONT SETBACK - MAXIMUM 80 FT OR 4 STORIES, WHICHEVER IS LESS FEET 75 MINIMUM - WALKWAY STREET 28 FEET 15 SIDE EXPOSURE PLANE - WALKWAY STREET 2.1:1 N/A BUILDING HEIGHT - MAXIMUM N/A FEET 110 % OF STREET WALL ON STREET LINE BELOW 12 FT - MINIMUM N/A PERCENT 70 PERCENT 70 % OF STREET WALL ON STREET LINE UP TO BASE HT - MINIMUM N/A PERCENT 70 PERCENT 70 AGGREGATE WIDTH OF DORMERS - MAXIMUM N/A PERCENT 50 PERCENT 50	15TH STREET SIDE HEIGHT - MINIMUM N/A FRONT SETBACK - MAXIMUM 80 FT OR 4 STORIES, WHICHEVER IS LESS FEET 75 MINIMUM - WALKWAY STREET 28 FEET 15 SIDE EXPOSURE PLANE - WALKWAY STREET 2.1:1 N/A BUILDING HEIGHT - MAXIMUM N/A FEET 110 % OF STREET WALL ON STREET LINE BELOW 12 FT - MINIMUM N/A PERCENT 70 PERCENT 70 % OF STREET WALL ON STREET LINE UP TO BASE HT - MINIMUM N/A PERCENT 70 PERCENT 70 AGGREGATE WIDTH OF DORMERS - MAXIMUM N/A PERCENT 50 PERCENT 50	72.5 FEET DOES NOT COMPLY WITH UNDERLYING ZONING DISTRICT * SPECIAL PERMIT PER ZR 74-96 REQUIRED SEE A-12 & A-13 FOR AGGREGATE STREET WALL AREA CALCULATIONS SEE A-12 & A-13 FOR DORMER WIDTH CALCULATIONS
44-21	REQUIRED ACCESSORY OFF-STREET PARKING	GENERAL RETAIL OR SERVICE USES FOOD STORES WITH LESS THAN 2,000 SQUARE FEET OF FLOOR AREA, USES IN PRE-C IN USE GROUPS 6, 8, 9 OR 10, OR USES IN PRE-C IN USE GROUPS 1, 2, 3, 4, 9, 10, 11, 12, 14, OR 16, OR WHEN PERMITTED BY SPECIAL PERMIT @ 1 PER 300 SQ. FT. OF FLOOR AREA MANUFACTURING OR BUSINESS INDUSTRIAL USES, USES IN USE GROUP 17A, 17B, OR 18, OR IN PRE-F IN USE GROUP 11 OR 12, AND WITH A MIN. OF EITHER 2,000 SQ. FT. OF FLOOR AREA OR 18 EMPLOYEES @ 1 PER 1,000 SQ. FT. OF FLOOR AREA	246 SPOTS REQUIRED	NONE PROPOSED	DOES NOT COMPLY WITH UNDERLYING ZONING DISTRICT * SPECIAL PERMIT PER ZR 74-96 REQUIRED
44-22	REQUIRED ACCESSORY OFF-STREET LOADING BERTH	48,372 SQ. FEET (90% OF PROPOSED TOTAL) - MANUFACTURING USE + 3 BERTHS REQUIRED		1 LOADING BERTH (FOR INDUSTRIAL USE ONLY)	DOES NOT COMPLY WITH UNDERLYING ZONING DISTRICT * SPECIAL PERMIT PER ZR 74-96 REQUIRED
44-44	WHOLESALE MANUFACTURING OR STORAGE USES COMBINED WITH OTHER USES	48,372 SQ. FEET ALARMING 48,372 SQ. FEET OFFICE - @ 1 PER 20,000 SQ. FT. (NONE) = 1 REQUIRED TOTAL LOADING BERTHS REQUIRED = 4			
44-45 36-71 36-71B 36-71B(b)	BICYCLE PARKING	1 SPACE PER 750 SQ. FT. OF FLOOR AREA FOR USE @ 87,288 SQ. FT. OF FLOOR AREA (7,524 SQ. FT. OF FLOOR AREA PER BI-CYCLE PARKING SPACE) = 9 SPACES TOTAL BIKE PARKING REQUIRED = 9		228 SQ. FT. OF SPACE FOR BIKE STORAGE PROVIDED = 13 BIKES (13 SQUARE FEET PER BIKE)	COMPLIES WITH UNDERLYING ZONING DISTRICT
36-41	STREET TREES	LENGTH OF SIDEWALK WYTHE AVENUE 136'-0" MANHATTAN STREET 271'-0" NORTH 15TH STREET 256'-4.12" 28 (TOTAL)	1 TREE PER 20 LINEAR FEET OF STREET INCREASE OF ZONING LOT	3 (NEW TREES PROPOSED) 1 (TREE TO RY INTO PLANT) 11 (1 NEW PROPOSED) 5 (EXISTING TO REMAIN) 2 (TO RY INTO PLANT) 10 (0 NEW PROPOSED) 3 (EXISTING TO REMAIN) 2 (TO RY INTO PLANT) 28 (TOTAL)	COMPLIES WITH UNDERLYING ZONING DISTRICT NOTE: TREE LOCATIONS SUBJECT TO NYC DEPARTMENT OF PARKS AND RECREATION

SITE DATA
 BROOKLYN BROOKLYN
 BLOCK: 2041
 LOT#: 1, 3 & 4
 ZONING MAP#: 150
 ADDRESS: 1 WYTHE AVENUE, BROOKLYN, NY 11249
 ZONING DISTRICT: M-2
 COMMUNITY BOARD: BROOKLYN COMMUNITY BOARD 1
 LOT AREA: 10,213 SF

AREA CHART

USE	GFA	DEDUCTION	ZFA	FAR
CELLAR				
PERMITTED USES	15,811 SF	15,811 SF	0 SF	0.00
TOTAL	15,811 SF	15,811 SF	0 SF	0.00
GROUND LEVEL				
PERMITTED USES	498 SF	50 SF	448 SF	0.025
REQUIRED INDUSTRIAL USES	13,219 SF	382 SF	12,837 SF	0.90
INCENTIVE USES	498 SF	50 SF	448 SF	0.025
TOTAL	14,215 SF	482 SF	13,733 SF	0.95
LEVEL 2				
PERMITTED USES	14,415 SF	358 SF	14,057 SF	0.87
REQUIRED INDUSTRIAL USES	0 SF	0 SF	0 SF	0.0
INCENTIVE USES	0 SF	0 SF	0 SF	0.0
TOTAL	14,415 SF	358 SF	14,057 SF	0.87
LEVEL 3				
PERMITTED USES	8,200 SF	198 SF	8,002 SF	0.57
REQUIRED INDUSTRIAL USES	0 SF	0 SF	0 SF	0.0
INCENTIVE USES	4,733 SF	87 SF	4,646 SF	0.33
TOTAL	14,933 SF	285 SF	14,648 SF	0.85
LEVEL 4				
PERMITTED USES	8,250 SF	271 SF	8,000 SF	0.53
REQUIRED INDUSTRIAL USES	0 SF	0 SF	0 SF	0.0
INCENTIVE USES	0 SF	0 SF	0 SF	0.0
TOTAL	8,250 SF	271 SF	8,000 SF	0.53
LEVEL 5				
PERMITTED USES	0 SF	0 SF	0 SF	0.0
REQUIRED INDUSTRIAL USES	0 SF	0 SF	0 SF	0.0
INCENTIVE USES	8,250 SF	271 SF	8,000 SF	0.53
TOTAL	8,250 SF	271 SF	8,000 SF	0.53
LEVEL 6				
PERMITTED USES	0 SF	0 SF	0 SF	0.0
REQUIRED INDUSTRIAL USES	0 SF	0 SF	0 SF	0.0
INCENTIVE USES	7,823 SF	180 SF	7,708 SF	0.49
TOTAL	7,823 SF	180 SF	7,708 SF	0.49
LEVEL 7				
PERMITTED USES	0 SF	0 SF	0 SF	0.0
REQUIRED INDUSTRIAL USES	0 SF	0 SF	0 SF	0.0
INCENTIVE USES	7,823 SF	180 SF	7,708 SF	0.49
TOTAL	7,823 SF	180 SF	7,708 SF	0.49
LEVEL 8				
PERMITTED USES	0 SF	0 SF	0 SF	0.0
REQUIRED INDUSTRIAL USES	0 SF	0 SF	0 SF	0.0
INCENTIVE USES	4,304 SF	240 SF	4,064 SF	0.34
TOTAL	4,304 SF	240 SF	4,064 SF	0.34
GRAND TOTAL	98,792 SF	18,042 SF	80,743 SF	4.8



ONE WYTHE AVE COMMERCIAL DEVELOPMENT

ARCHIMERA
 100 WEST STREET, 10TH FLOOR, NEW YORK, NY 10038
 WWW.ARCHIMERA.COM

ZONING ANALYSIS

A-02

DATE: 08/20/2024
 TIME: 10:00 AM

**ONE WYTHE AVE
COMMERCIAL
DEVELOPMENT**

DEVELOPER: ARCHIMERA, LLC

DRAWING CERTIFICATION NOTE
 APPLICANT'S ZONING MAP AND ZONING CERTIFICATION TO THE REGULATION IS CHARGED TO THE OWNER. THE CITY ENGINEER, PLANNING AND ZONING CLERK, INFORMATION REGARDING THE BUILDINGING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY.

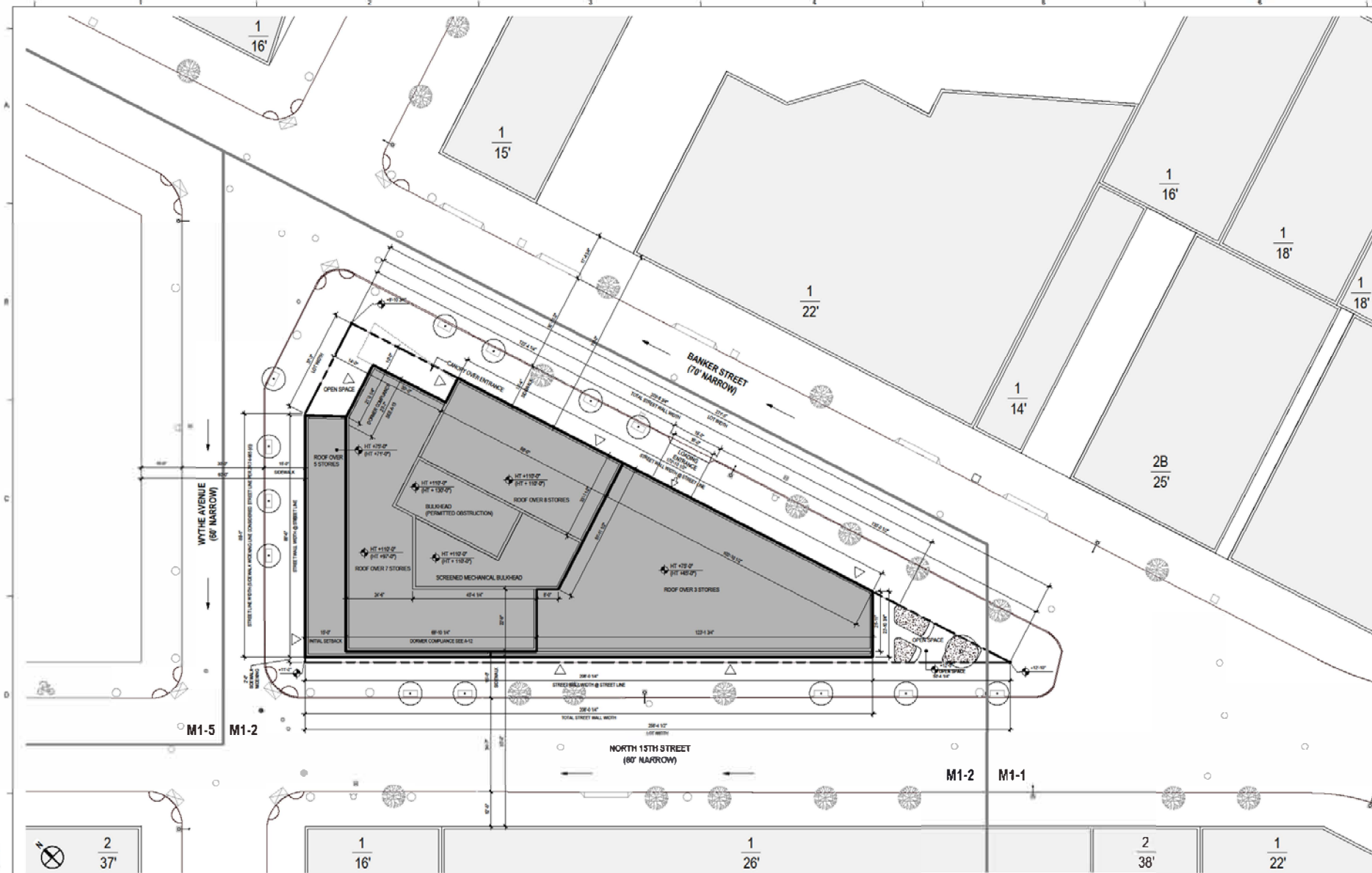
DATE SUBMITTED	DATE	NO.
2023.07.28	1	
REVISIONS	ISSUE DATE	No.
DRAWN AND SIGNED		

ARCHIMERA
 ARCHITECTS

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ZONING SITE PLAN

A-03
 DATE OF ISSUE: 2023.11.16
 DRAWN BY: [Name] CHECKED BY: [Name]

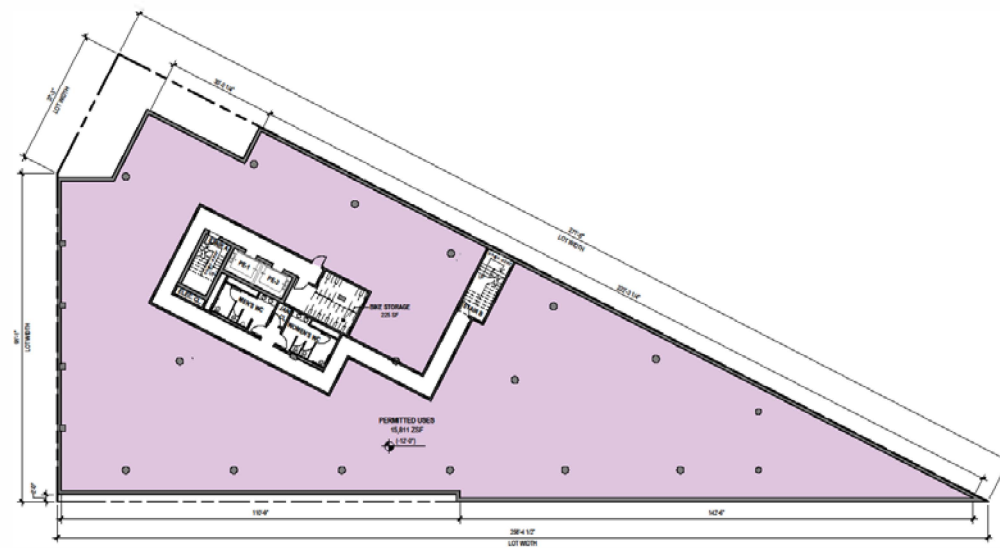


1 ZONING SITE PLAN
 1/8" = 1' GRAPHIC SCALE APPLICABLE TO ALL NON-DIMENSIONED ELEMENTS

LEGEND	GENERAL NOTES
<ul style="list-style-type: none"> CONCRETE ACCESS POINT LOADING LIFTWAY BUILDING ENTRANCE PORTS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY # OF STORES # OF STORES BY ASSIGNMENT BUILDING HEIGHT 	<ol style="list-style-type: none"> BUILDINGS WITHIN THE PROPOSED ZONING ENVELOPE ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE. INTERIOR PARTITIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE. STREET TREES ADJACENT TO THE PROJECT AREA WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING RESOLUTION. SEE 4.14. THE LOCATION AND NUMBER OF WHICH SHALL BE SUBJECT TO DEPARTMENT OF PARKS AND RECREATION DETERMINATION OF FEASIBILITY. ROOFTOP MECHANICAL BULKHEAD AND STAR BULKHEAD LOCATIONS AND SIZES ARE SUBJECT TO CHANGE. THE DESIGN OF OPEN TERRACES IS SHOWN FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE. ALL SPOT AND ELEVATIONS REFER TO NAVD-1988. STANDARD TREE FIT DIMENSION 8" x 8" x 8'. LANDSCAPE AREAS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE. BASE PLANE / CURB LEVEL REPRESENT AVERAGE CURB ELEVATION. REFER TO A-03 FOR CALCULATION.

PROJECT: **ONE WYTHE AVE
COMMERCIAL
DEVELOPMENT**

3000 WYTHE AVENUE, PHOENIX, AZ 85018



GRAPHIC SCALE APPLICABLE TO ALL NON-DIMENSIONED ELEMENTS
1 CELLAR FLOOR PLAN
10'-0" 0' 2' 4' 6' 8' 10'

DRAWING CERTIFICATION NOTE

APPLICANT'S STAFF ARE QUALIFIED AND COMPETENT TO THE EXTENT REQUIRED BY THE SPECIFICATIONS REGARDING THE DEVELOPMENT SITE, CONSIDERING LOT- AND SITE-RELATED DATA. CITE INFORMATION REGARDING THE BUILDINGING PROJECTS IS FOR ILLUSTRATIVE PURPOSES ONLY.

PAS SUBMISSION	2021.07.20	1
REVISIONS	ISSUE DATE	No.



3000 WYTHE AVENUE, PHOENIX, AZ 85018
3000 WYTHE AVENUE, PHOENIX, AZ 85018
3000 WYTHE AVENUE, PHOENIX, AZ 85018

CELLAR FLOOR PLAN

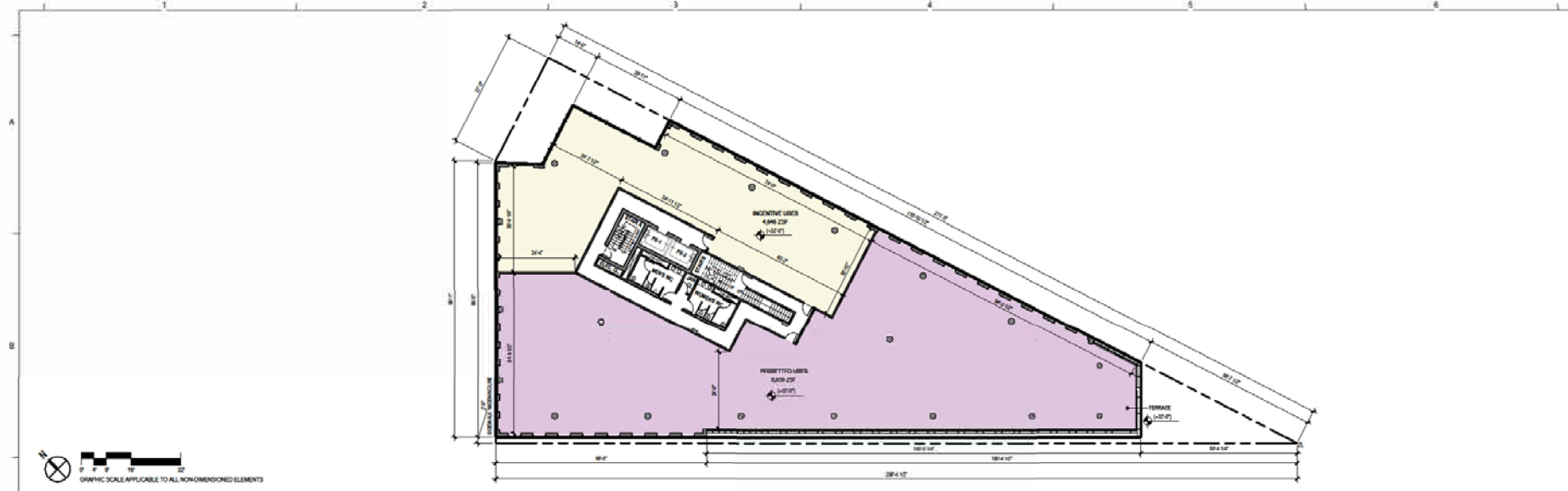
A-05
DATE OF ISSUE: 2018.11.19
DRAWN BY: [Name] CHECKED BY: [Name]

LEGEND			GENERAL NOTES		
	PERMITTED USE		ZONING LOT LINE		EXISTING BUILDING FOOTPRINT
	REQUIRED INDUSTRIAL USE		PROPOSED MAX BUILDING ENVELOPE		ILLUSTRATIVE BUILDING LINE
	INCENTIVE USE		CUT WALL LINE		PASSENGER ELEVATOR
	SHARED ACCESSORY USE		FREIGHT ELEVATOR		ZONING USE TAG W/ ZONING FLOOR AREA
			ELEVATION RELATIVE TO NAVD83 DATUM		SPOT ELEVATION
			HEIGHTS RELATIVE TO FENCE (F) +12' (NAV83)		

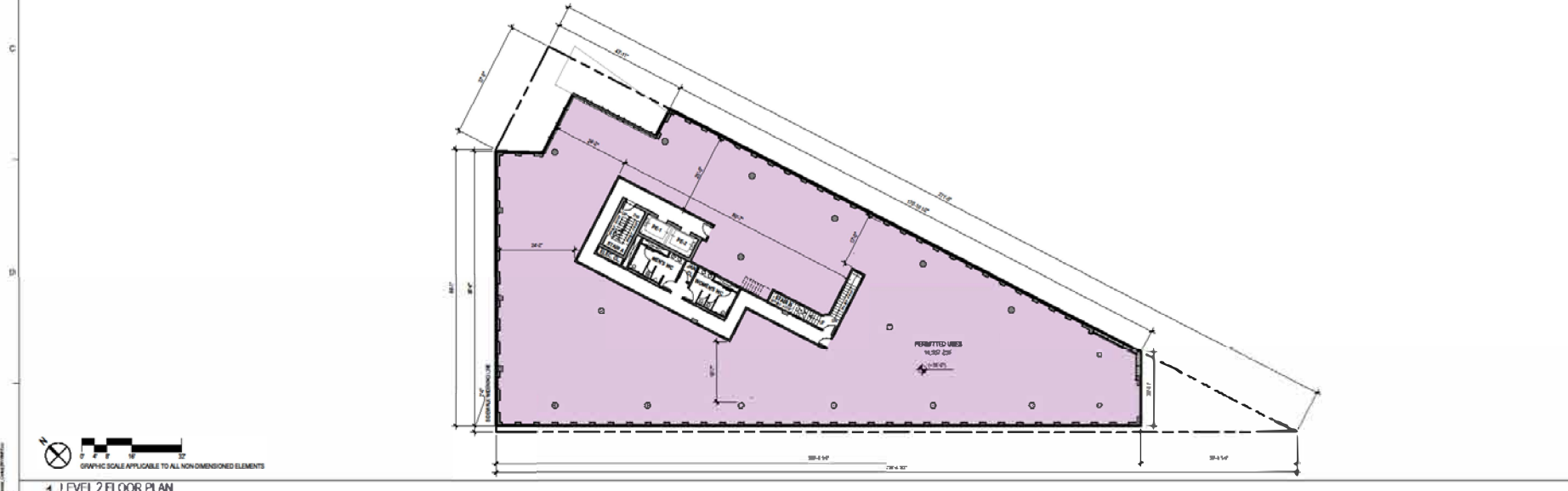
- BUILDINGS WITHIN THE PROPOSED ZONING ENVELOPE ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
- INTERIOR PARTITIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
- STREET TREES ADJACENT TO THE PROJECT AREA WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING RESOLUTION - DR 2841. THE LOCATION AND NUMBER OF WHICH SHALL BE SUBJECT TO DEPARTMENT OF PARKS AND RECREATION DETERMINATION OF FEASIBILITY.
- ROOFTOP MECHANICAL BULKHEAD AND STAR BULKHEAD LOCATIONS AND SIZES ARE SUBJECT TO CHANGE.
- THE DESIGN OF OPEN TERRACES IS SHOWN FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE.
- ALL SPOT WAVE ELEVATIONS REFER TO NAVD-1988.
- STANDARD TREE PT DIMENSION 3' 0" X 11' 0"
- LANDSCAPE AREAS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
- BASE PLANE (+) CURB LEVEL REPRESENT AVERAGE CURB ELEVATION. REFER TO A-03 FOR CALCULATION.

**ONE WYTHE AVE
COMMERCIAL
DEVELOPMENT**

2024.04.01, 10:00 AM, 10/10



2 LEVEL 3 FLOOR PLAN
10/10-FP



1 LEVEL 2 FLOOR PLAN
10/10-FP

LEGEND

PERMITTED USE	ZONING LOT LINE	H1 PROJECTIONS ELEVATOR	EXISTING BUILT-UP FOOTPRINT
REQUIRED INDUSTRIAL USE	PROPOSED MAX BUILDING ENVELOPE	FE FIRE RISK ELEVATOR	ZONING USE TAG BE ZONING IN OUR AREA
INCENTIVE LINE	ILLUSTRATIVE BUILDING LINE	H2E ELEVATIONS RELATIVE TO NAVD83 DATUM	SPOT ELEVATION
CHANGING OCCUPANCY USE	CUT WALL LINE	H407 HEIGHTS RELATIVE TO FINISH (802) + 12' FINISH	

- GENERAL NOTES**
- BUILDINGS WITHIN THE PROPOSED ZONING ENVELOPE ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
 - INTERIOR PARTITIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
 - STREET TREE'S SUBJECT TO THE PROJECT AND ARE NOT PROVIDED IN RECIPROCAL WITH THE ZONING REGULATION. ON 20-41, THE LOCATION AND NUMBER OF TREES SHALL BE SUBJECT TO DEPARTMENT OF PUBLIC WORKS AND RECREATION (1) BUSINESS OF 11 AGERS BY ROOFTOP MECHANICAL BUILDING AND SIGN BUILDING LOCATIONS AND SIZES ARE SUBJECT TO CHANGE.
 - THE DESIGN OF OPEN TERRACES IS SHOWN FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE.
 - ALL SPOT ELEVATIONS REFER TO NAVD83 DATUM.
 - LANDSCAPE AREAS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
 - BASE PLANE COORDINATES REPRESENT AVERAGE CURB ELEVATION. REFER TO ADS FOR CALCULATED.

ZONING CERTIFICATION NOTE

APPLICANT'S STAMP AND SEAL CORRESPONDING TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING, LOT, AND RELATED CLEARANCE INFORMATION ENCOMPASSING THE SUBORDINATE REGULATIONS FOR ILLUSTRATIVE PURPOSES ONLY.

ALL DIMENSION	2024.07.20	1
REVISIONS	DATE	NO.

SEAL AND SIGNATURE

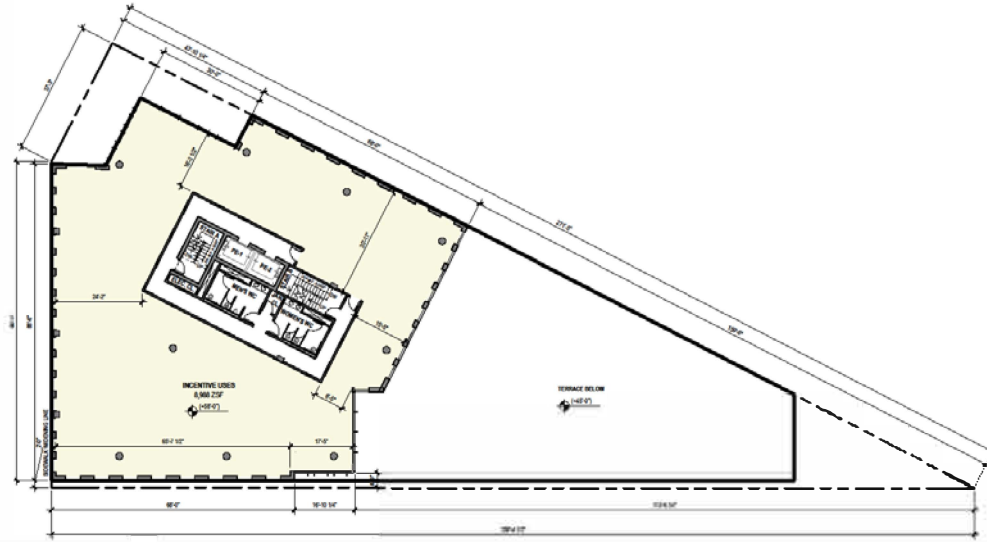


2024.04.01, 10:00 AM, 10/10
10/10-FP

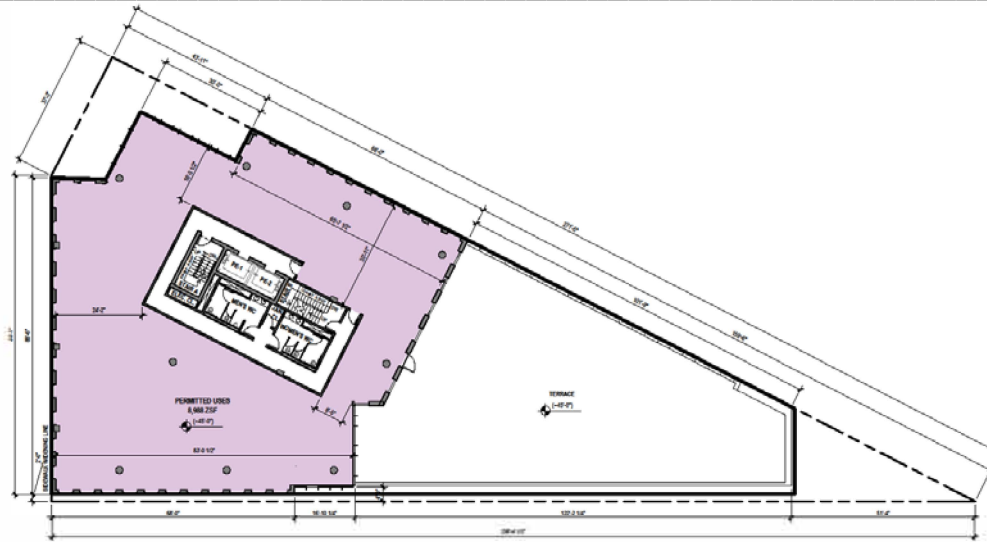
**FLOOR PLANS -
LEVEL 2 & 3**

ONE WYTHE AVE
COMMERCIAL
DEVELOPMENT

1/24/2024 10:00 AM



2 LEVEL 5 FLOOR PLAN
1/24/24



1 LEVEL 4 FLOOR PLAN
1/24/24

LEGEND		SYMBOLS	
 PERMITTED USE	 JOBSITE LOT LINE	 PASSENGER ELEVATOR	 1:20 FIBER BUILDING (OUTPOST)
 REQUIRED MINIMUM USE	 PROPOSED WALL BUILDING FOOTPRINT	 FREIGHT ELEVATOR	 ZONING USE TAG IN ZONING FLOOR AREA
 INCENTIVE LINE	 ILLUSTRATIVE BUILDING LINE	 ELEVATOR RELATIVE TO WAYFINDING	 ZONE
 SHARED ASSESSORY USE	 CURT WALL LINE	 NEGATIVE RELATIVE TO FIBER	 SPOT ILLUMINATION
		 NEGATIVE RELATIVE TO FIBER (N-F) + VET BARCODE	

GENERAL NOTES	
1. BUILDINGS WITHIN THE PROPOSED ZONING ENVELOPE ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.	5. THE DESIGN OF OPEN TERRACES IS SHOWN FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE.
2. EXTERIOR PARTITIONS ARE ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.	6. ALL SPOT NAVG ELEVATIONS REFER TO NAVG 1988 STANDARD TREE PIT DIMENSIONS FOR A 6" PIP.
3. STREETS, TRAILS, AND PUBLIC TO THE PROJECT AREA WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING RESOLUTION - RR 20.41, THE LOCATION AND NUMBER OF WHICH SHALL BE SUBJECT TO SUBMITTAL TO THE PROJECT REVIEWER FOR OPTIMIZATION OF FRAGMENTATION.	7. LANDSCAPE AREAS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
4. ROOF MECHANICAL, SLOTTED AND STAIR HEADROOM OBSTRUCTIONS AND SIZES ARE SUBJECT TO CHANGE.	8. BASE PLANE CURB LEVEL REPRESENTS AVERAGE CURB ELEVATION. REFER TO AAD FOR CALCULATION.

SEWER CERTIFICATION NOTE
APPLICANT'S STAMP AND SEAL CORRESPONDS TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING, LOT, AND RELATED CURB CUTS. INFORMATION REGARDING THE SURROUNDING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY.

NO.	DESCRIPTION	DATE

FILE SUBMISSION: 2023.07.20 11:00
REVISIONS: ISSUE DATE: N/A

SEAL AND SIGNATURE:

ARCHIMERA
ARCHITECTS

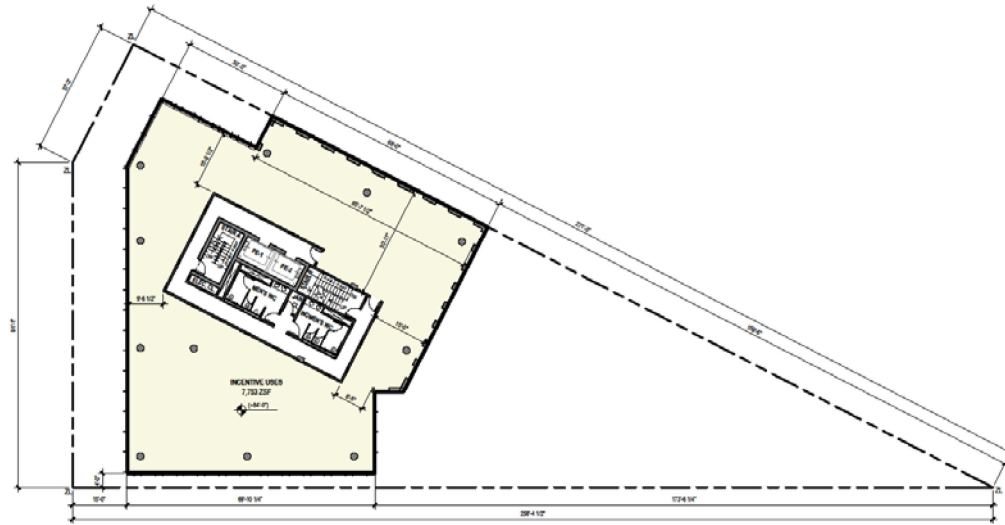
ARCHITECTS
1000 WYTHE AVENUE, SUITE 1000
DURHAM, NC 27701
TEL: 919.286.1000
WWW.ARCHIMERA.COM

DRAWING TITLE:
FLOOR PLANS - LEVEL 4 & 5

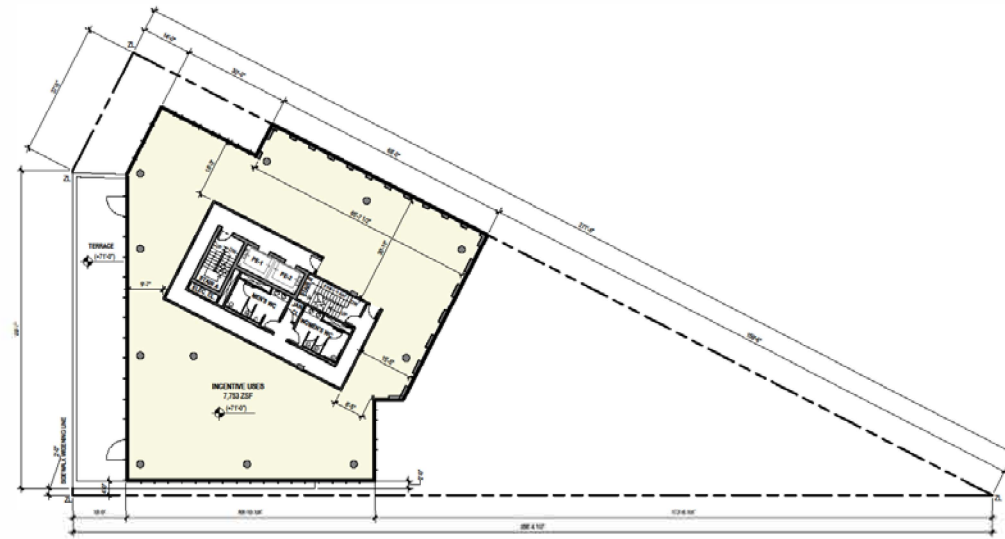
A-07
DATE OF SCALE: 2023.07.20
DRAWN BY: J. W. WILSON
CHECKED BY: J. W. WILSON

PROJECT NO.
**ONE WYTHE AVE
 COMMERCIAL
 DEVELOPMENT**

300 WEST WYTHE AVENUE, BOSTON, MA 02115



2 LEVEL 7 FLOOR PLAN
 WPT_107



1 LEVEL 6 FLOOR PLAN
 WPT_107

LEGEND		GENERAL NOTES	
	PERMITTED USE		ZONING LOT LINE
	REQUIRED INDUSTRIAL USE		PROPOSED MAX BUILDING ENVELOPE
	INCENTIVE USE		ILLUSTRATIVE BUILDING LINE
	SHARED ACCESSORY USE		CURT WALL LINE
	PASSENGER ELEVATOR		FREIGHT ELEVATOR
	ELEVATION RELATIVE TO NAVD83 DATUM		HEIGHTS RELATIVE TO PRICE (+9) + (+12) (NAVD83)
	SPOT ELEVATION		ZONING USE TAG W/ ZONING FLOOR AREA
	SPOT ELEVATION		EXISTING BUILDING FOOTPRINT

- BUILDINGS WITHIN THE PROPOSED ZONING ENVELOPE ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.
- INTERIOR PARTITIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
- STREET TREES ADJACENT TO THE PROJECT AREA WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING RESOLUTION, 20-2641. THE LOCATION AND NUMBER OF WHICH SHALL BE SUBJECT TO DEPARTMENT OF PARKS AND RECREATION DETERMINATION OF FEASIBILITY.
- ROOFTOP MECHANICAL BULKHEAD AND STAIR BULKHEAD LOCATIONS AND SIZES ARE SUBJECT TO CHANGE.
- THE DESIGN OF OPEN TERRACES IS SHOWN FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE.
- ALL SPOT WIND ELEVATIONS REFER TO WIND-1988.
- STANDARD TREE PIT DIMENSION 8'0" X 8'0" X 8'0".
- LANDSCAPE AREAS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
- BASE PLANE / CURB LEVEL REPRESENT AVERAGE CURB ELEVATION. REFER TO A-03 FOR CALCULATION.

DISBURSED CERTIFICATION NOTES

APPLICANT'S STAMP AND SEAL CORRESPONDS TO THE INFORMATION REGARDING THE DEVELOPMENT SITE, ZONING LOT, AND RELATED CURB CUTS. INFORMATION REGARDING THE SURROUNDING PROPERTIES IS FOR ILLUSTRATIVE PURPOSES ONLY.

FILE SUBMISSION	2023.07.20	1
REVISION	ISSUE DATE	No.

DATE AND SIGNATURE:

ARCHIMÆRA

1000 SOUTH BRIMMINGTON STREET
 BOSTON, MA 02118

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**FLOOR PLANS -
 LEVEL 6 & 7**

A-08

DATE OF ISSUE: 2023.07.20
 DRAWN BY: [Name] CHECKED BY: [Name]

PROJECT #18
**ONE WYTHE AVE
 COMMERCIAL
 DEVELOPMENT**

ONE WYTHE AVENUE, BIRMINGHAM, AL 35203

DRAWING SUBMITTAL NOTE:
 APPLICANT'S STAMP AND SEAL
 CORRESPONDS TO THE INFORMATION
 REGARDING THE DEVELOPMENT SITE,
 ZONING LOT, AND RELATED CLING
 CUTS. INFORMATION REGARDING THE
 SURROUNDING PROPERTIES IS FOR
 ILLUSTRATIVE PURPOSES ONLY.

P&S SUBMISSION	2023.07.28	1"
REVISIONS:	ISSUE DATE:	NO.

SEAL AND SIGNATURE:

ARCHIMERA
ARCHITECTS

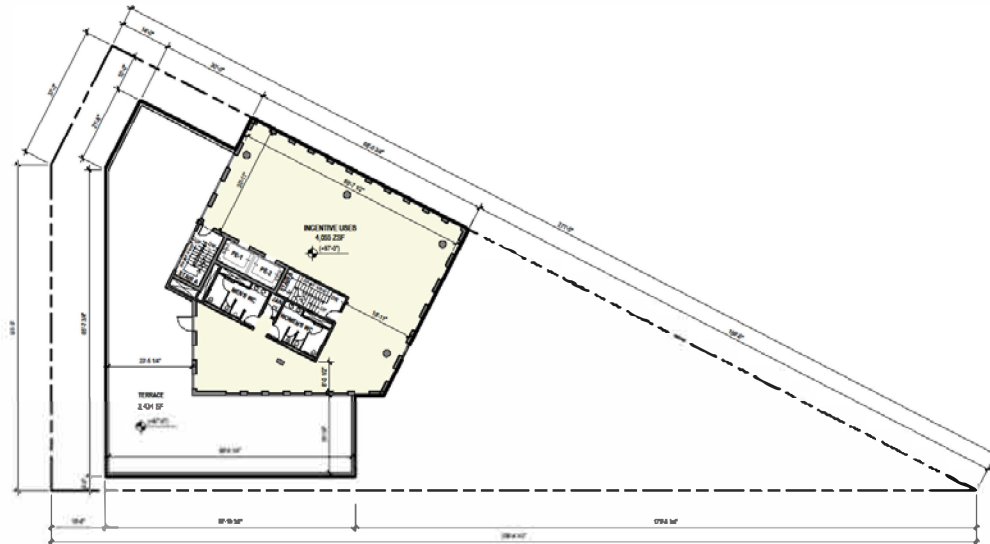
1100 20TH AVENUE SUITE 1000
 BIRMINGHAM, AL 35203

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PROJECT #18
**FLOOR PLANS -
 LEVEL 8**

A-09

DATE OF ISSUE: 2023.07.28
 PROJECT: ONE WYTHE AVENUE

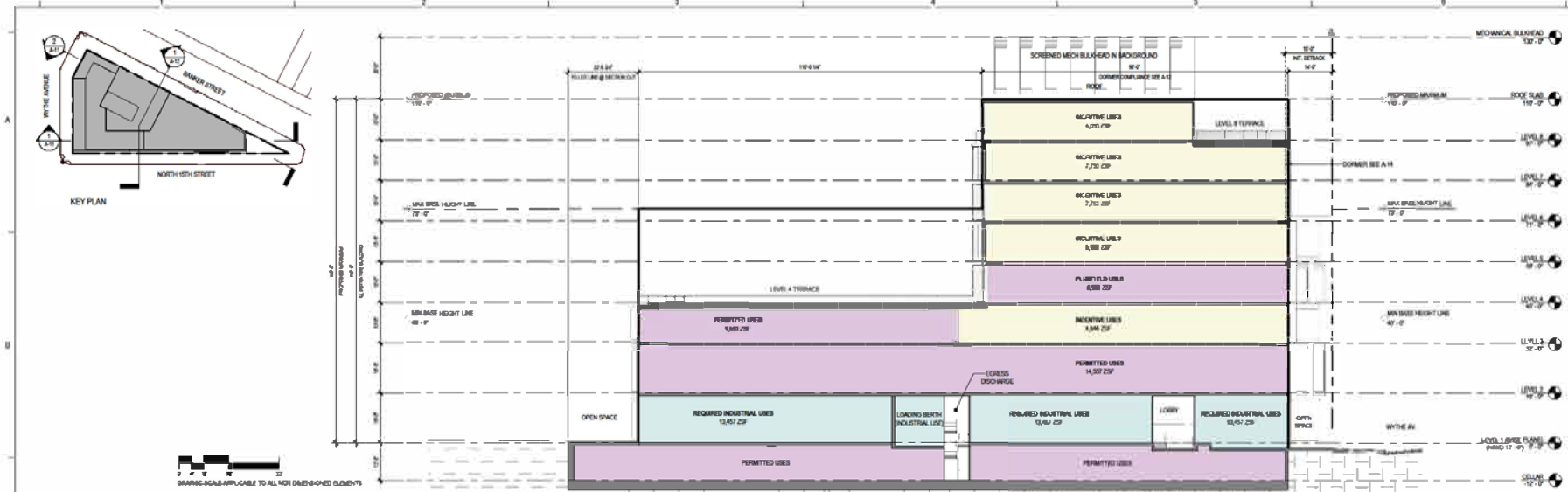


GRAPHIC SCALE APPLICABLE TO ALL UNDIMENSIONED ELEMENTS
1 LEVEL 8 FLOOR PLAN
 PG. 118

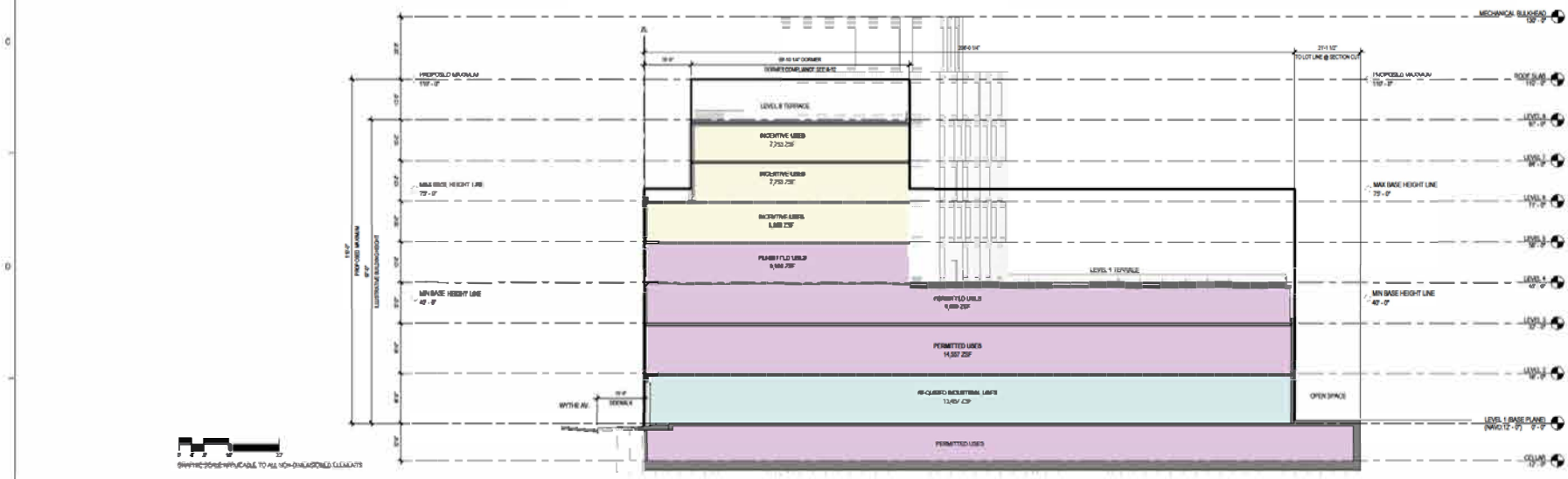
PERMITTED USE	ZONING LOT LINE	PASSENGER ELEVATOR	EXISTING BUILDING FOOTPRINT
REGULATED INDUSTRIAL USE	150' COOLD MAX BUILDING LINES	FREIGHT ELEVATOR	ZONING USE FACT BY ZONING FLOOR AREA
INCENTIVE USE	ILLUSTRATIVE BUILDING LINE	ELEVATION RELATIVE TO MOBILE GOLF	SPOT ELEVATION
SHARED AMENITY USE	OUT WALL LINE	HEIGHTS RELATIVE TO FACE (H) - (ELEVATION)	

- GENERAL NOTES:**
- BUILDINGS WITHIN THE PROPOSED ZONING ENVELOPE ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE. INTERIOR PARTITIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
 - STREET TREES ADJACENT TO THE PROJECT AREA WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING REFLECTION - RR (A-4). THE LOCATION AND NUMBER OF TREES SHALL BE SUBJECT TO APPROVAL BY PARKS AND RECREATION DEPARTMENT OF 8 (A-5.03.07).
 - ROOSTOP MEASUREMENTS AND STAIR BALCONY LOCATIONS AND BOTH ARE SUBJECT TO CHANGE.
 - THE DESIGN OF OPEN TERRACES IS SHOWN FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE.
 - ALL SPOT ELEVATIONS REFER TO HANG 1088.
 - STANDARD TIE-UP DIMENSION 2' OF 4' IF LANDSCAPE AREAS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE.
 - BASE PLANE (4) IS LEVEL REPRESENTS AVERAGE CURB ELEVATION. SEE 1118 FOR A-10 FOR CALCULATION.

PROJECT: ONE WYTHE AVENUE COMMERCIAL DEVELOPMENT
 SHEET: A-09
 DATE: 2023.07.28
 ARCHIMERA ARCHITECTS



2 ZONING SECTION 2 - LONGITUDINAL ALONG BANKER STREET



1 ZONING SECTION 1 - LONGITUDINAL ALONG NORTH STREET

LEGEND

 PERMITTED UEB	 ZONING LOT LINE	 USER ZONING USE TAG W/ ZONING FLOOR AREA
 REQUIRED INDUSTRIAL USE	 PROPOSED MAX. FINISHED FLOOR (1")	 SPOT ELEVATION
 INCENTIVE USE	 EXISTING FINISHED FLOOR	
 APPROVED ACCESSORY USE	 CUT WALL LINE & SLAB	

- GENERAL NOTES
1. BUILDINGS WITHIN THE PROPOSED ZONING DISTRICT ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE. BUILDING PARTS THAT ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY ARE SUBJECT TO CHANGE.
 2. STREET WALLS ADJACENT TO THE PROJECT AREA WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING RESOLUTION. THE LOCATION AND QUANTITY OF WHICH SHALL BE SUBJECT TO DETERMINATION BY PERMIT AND RESOLUTION DETERMINATION OF FEASIBILITY.
 3. ROOF TOPS ARE SHOWN AS 10.0' AS SHOWN WITH BUILDING LOCATIONS AND ROOFS ARE SUBJECT TO CHANGE.
 4. THE DESIGN OF OPEN TERRACES IS SHOWN FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE. ALL SPOTS MUST BE 10' HIGHER THAN THE STANDARD TREE FT DIMENSION OF 10' 0" IF STANDARD TREE FT DIMENSION IS 10' 0". UNDERGROUND AREAS ARE SHOWN FOR ILLUSTRATIVE PURPOSES AND ARE SUBJECT TO CHANGE. BASE FINISH, CURB LEVEL, FINISH GRADE AND CURB ELEVATION REFER TO 6-00 FOR CALCULATION.

PROJECT NO: ONE WYTHE AVE COMMERCIAL DEVELOPMENT

DATE OF ISSUE: 03/11/25

SCALE: 1/8" = 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION

ARCHIMERA

ARCHITECTS

1000 WYTHE AVENUE, SUITE 1000, DENVER, CO 80202

TEL: 303.733.1111

WWW.ARCHIMERA.COM

DESIGNED BY: ARCHIMERA

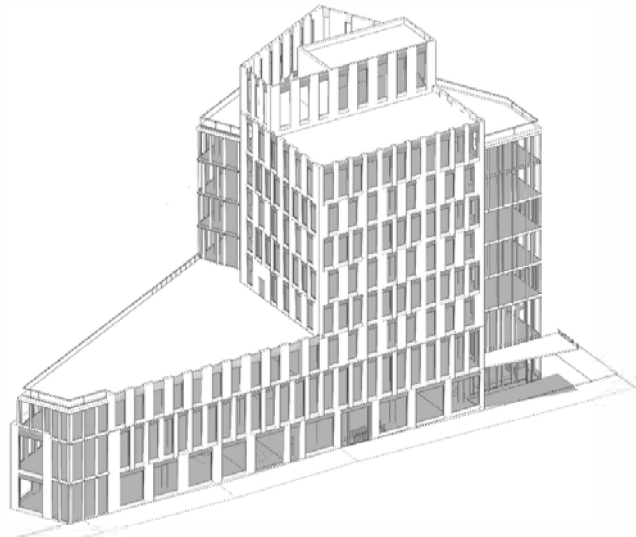
DRAWN BY: ARCHIMERA

CHECKED BY: ARCHIMERA

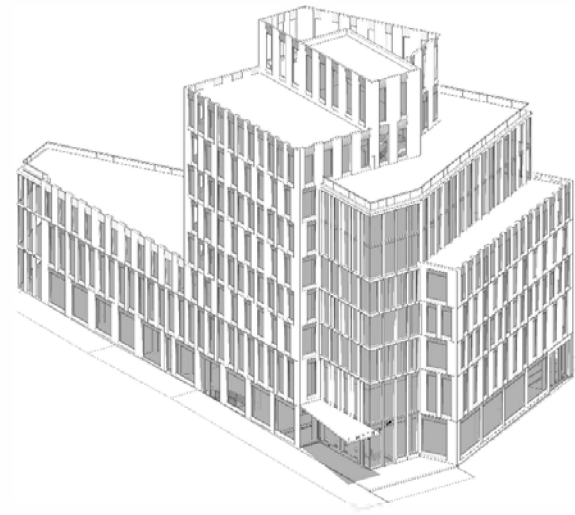
DATE: 03/11/25

SCALE: 1/8" = 1'-0"

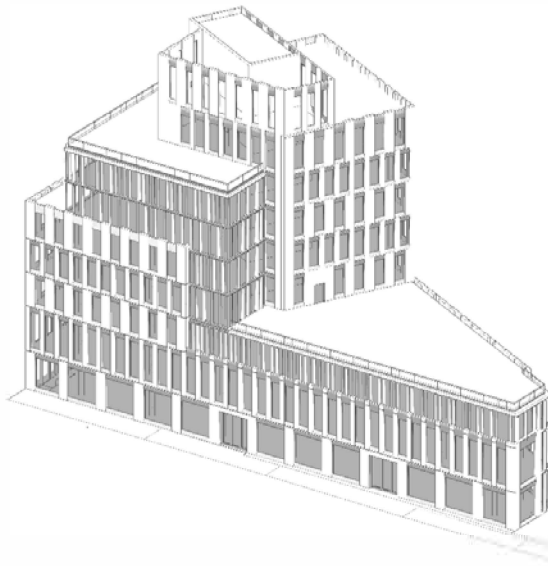
PROJECT NO: ONE WYTHE AVE COMMERCIAL DEVELOPMENT



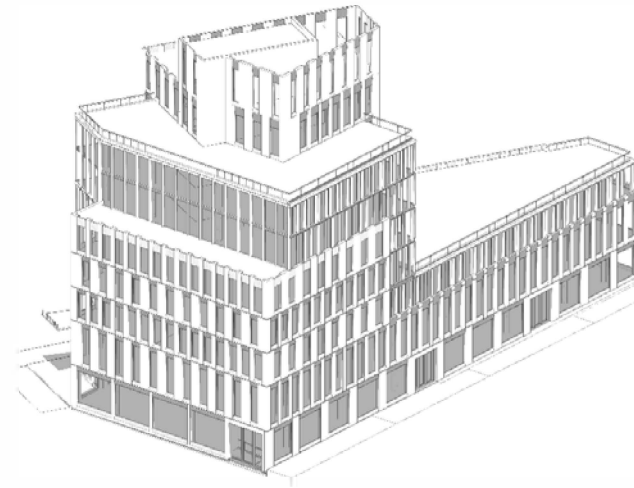
1 MASSING DIAGRAM - NORTH EAST VIEW



4 MASSING DIAGRAM - NORTH WEST VIEW



2 MASSING DIAGRAM - SOUTH EAST VIEW



3 MASSING DIAGRAM - SOUTH WEST VIEW

ONE WYTHE AVE
COMMERCIAL
DEVELOPMENT

ARCHIMÆRA ARCHITECTS LTD

GENERAL CLERICAL NOTE
 APPLICANT'S STAMP AND SEAL
 CORRESPONDS TO THE INFORMATION
 REGARDING THE DEVELOPMENT SITE,
 ZONING LOT, AND RELATED CLERK
 CUTS. INFORMATION REGARDING THE
 SURROUNDING PROPERTIES IS FOR
 ILLUSTRATIVE PURPOSES ONLY.

THIS SUBMISSION 2021.07.30 1
 REVISIONS: ISSUE DATE: N/A

SEAL AND SIGNATURE

ARCHIMÆRA

ARCHITECTS LTD
 1000 WEST 10TH AVENUE, SUITE 1000
 VANCOUVER, BC V6H 1T5
 TEL: 604.681.1111

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**MASSING
DIAGRAMS**

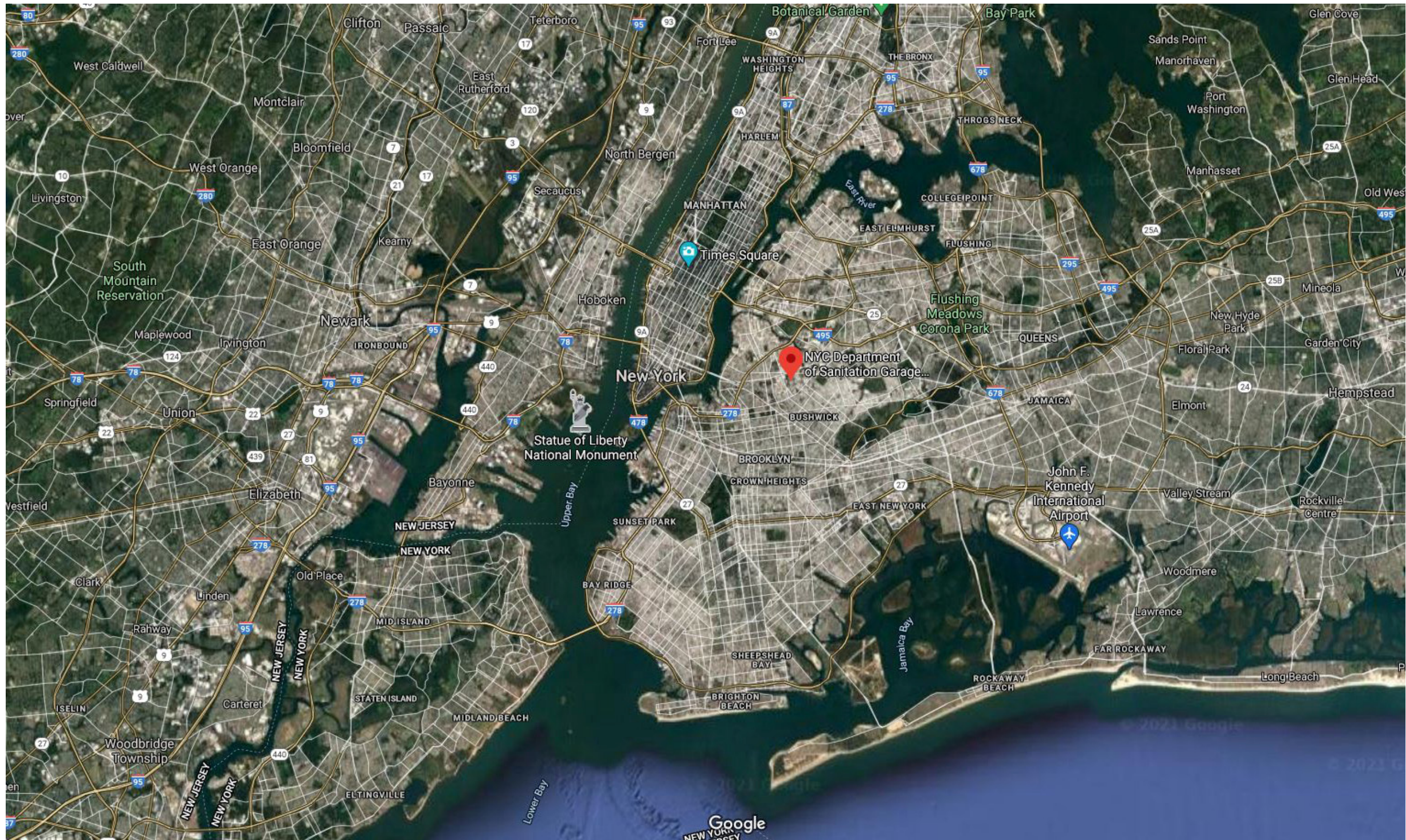
BROOKLYN NORTH 1+4 DISTRICT GARAGES

ENERGY EFFICIENCY MEASURES



PUBLIC DESIGN COMMISSION PRELIMINARY/FINAL REVIEW
AUGUST 16, 2021

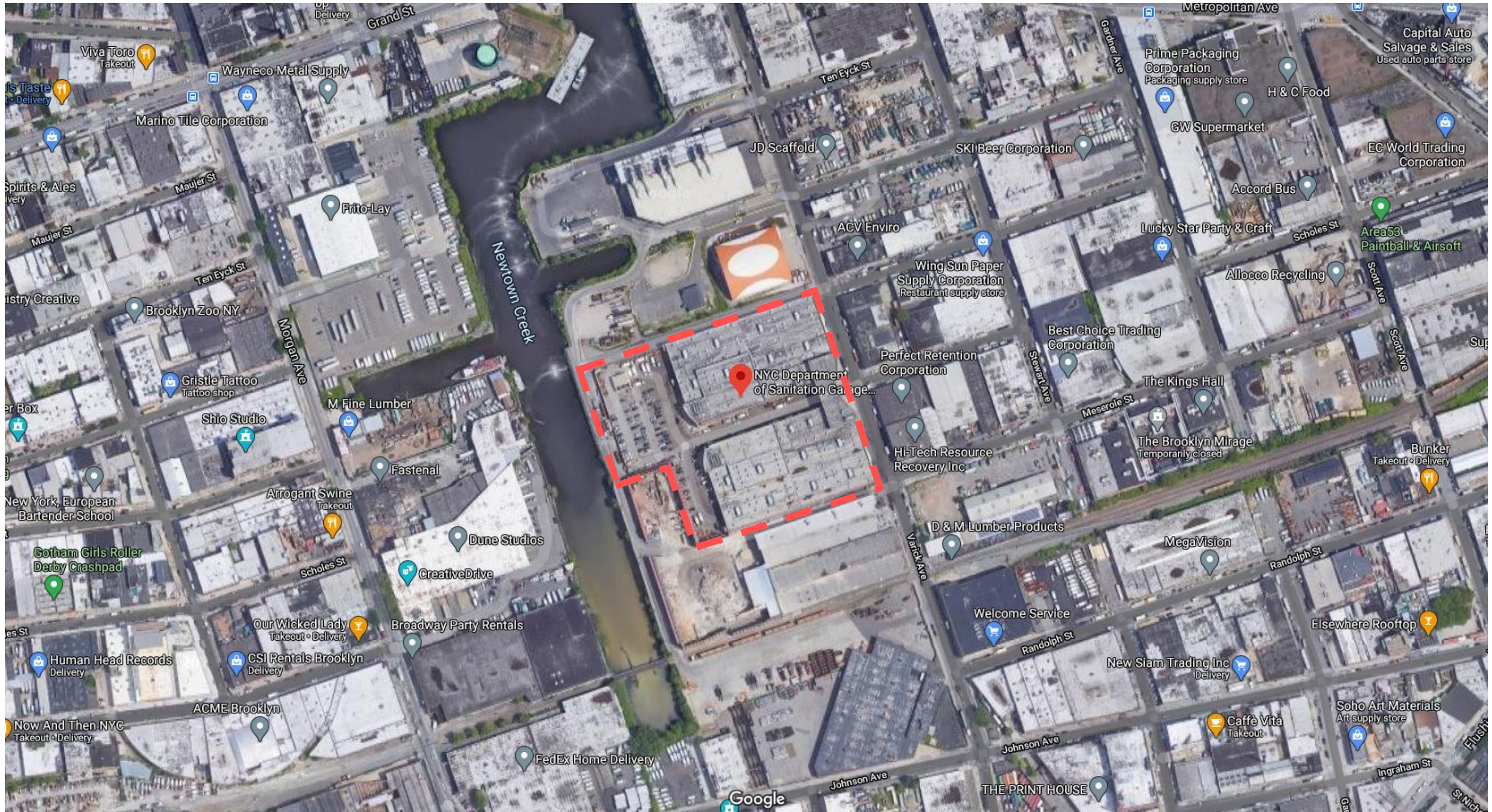




BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

LOCATION PLAN IN BOROUGH
Scale: NTS



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

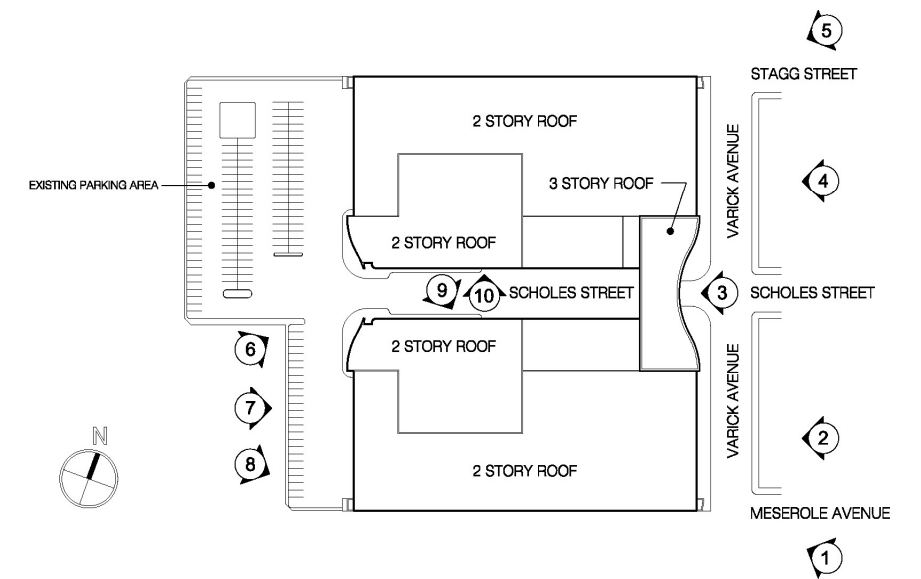
LOCATION PLAN
Scale: NTS



Photo 1



Photo 2



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

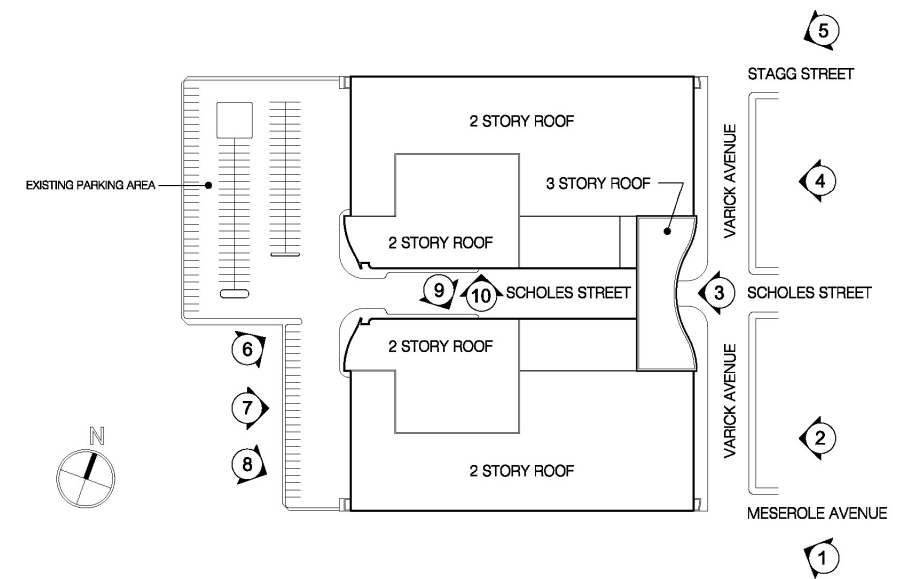
AUGUST 16, 2021

SITE PHOTOS
Scale: NTS



Photo 3

Photo 4



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

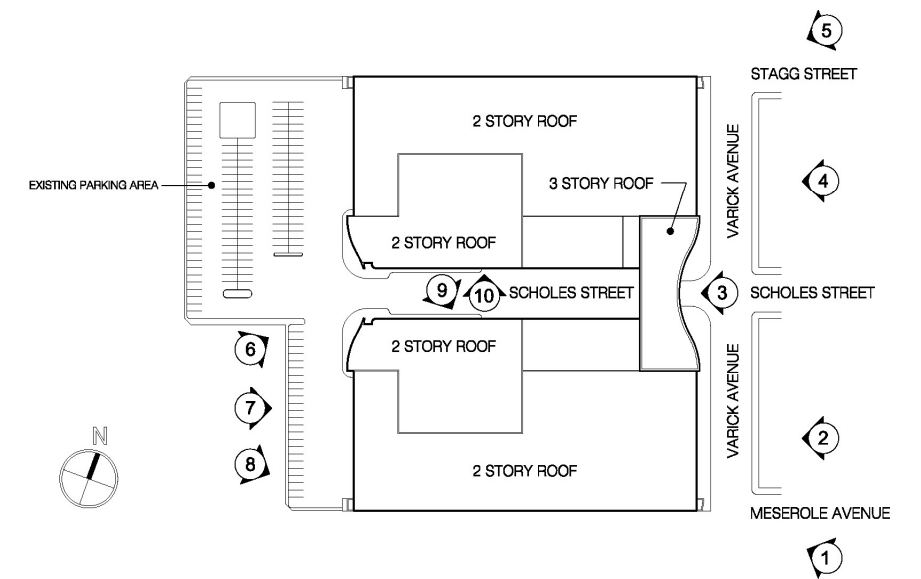
AUGUST 16, 2021

SITE PHOTOS
Scale: NTS



Photo 5

Photo 6



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

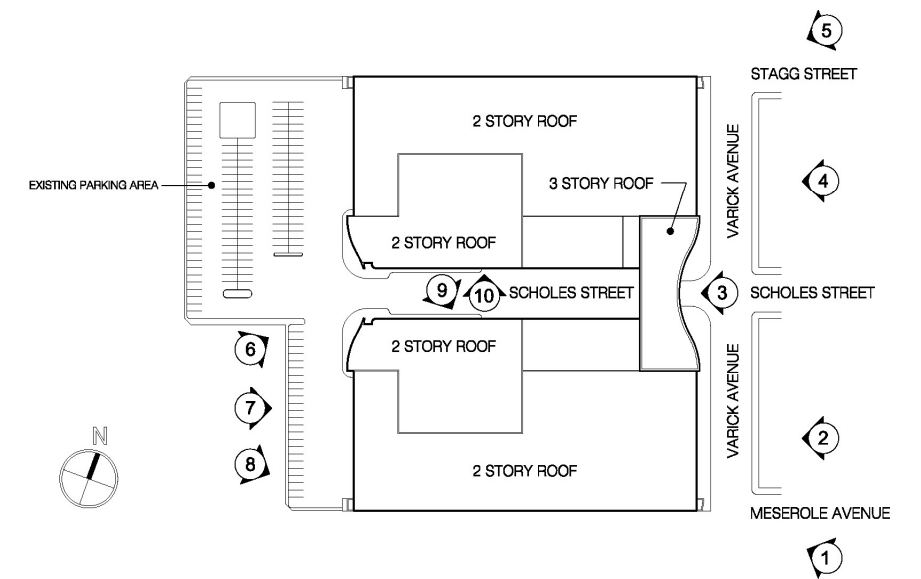
AUGUST 16, 2021

SITE PHOTOS
Scale: NTS



Photo 7

Photo 8



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

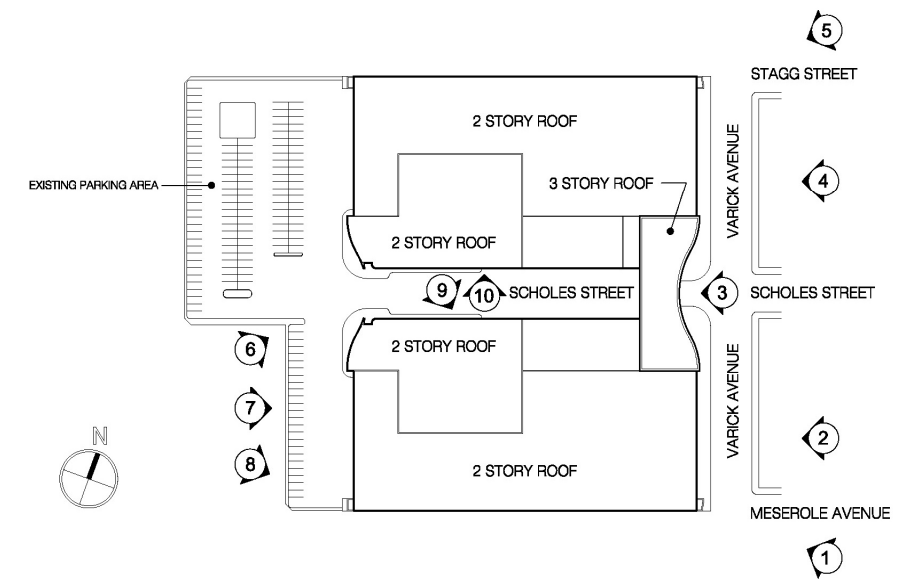
AUGUST 16, 2021

SITE PHOTOS
Scale: NTS



Photo 9

Photo 10



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

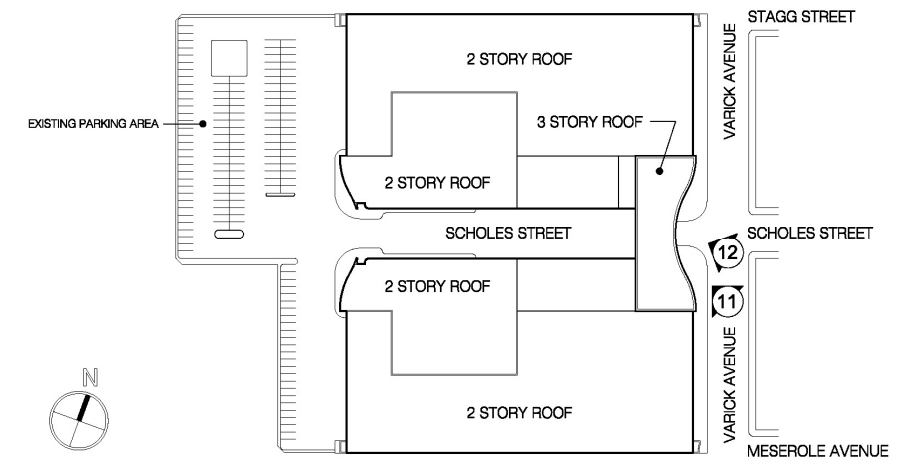
AUGUST 16, 2021

SITE PHOTOS
Scale: NTS



Photo 11

Photo 12



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

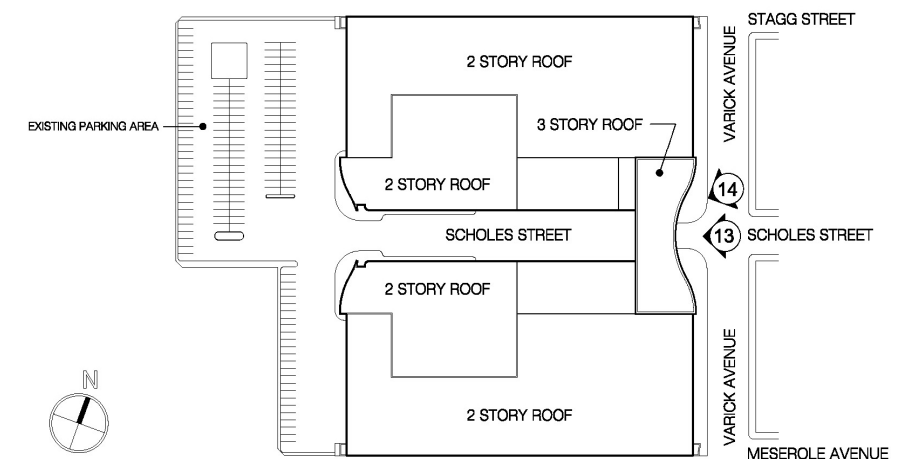
AUGUST 16, 2021

SITE PHOTOS
Scale: NTS



Photo 13

Photo 14



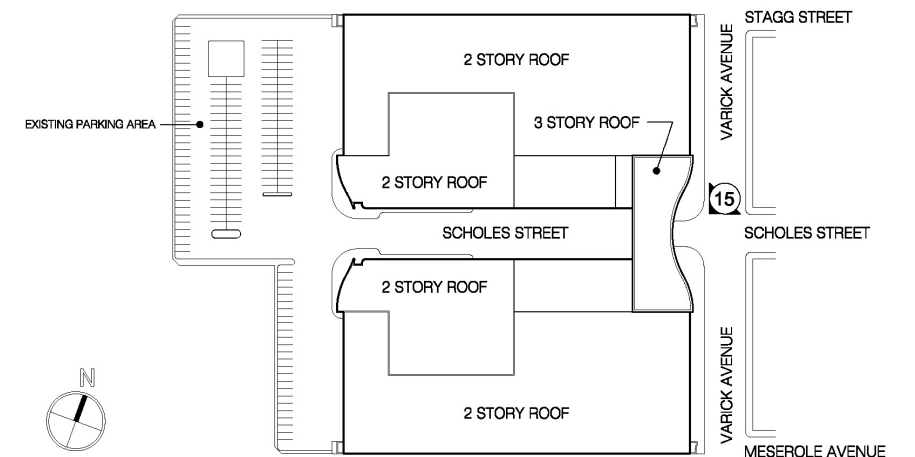
BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

SITE PHOTOS
Scale: NTS



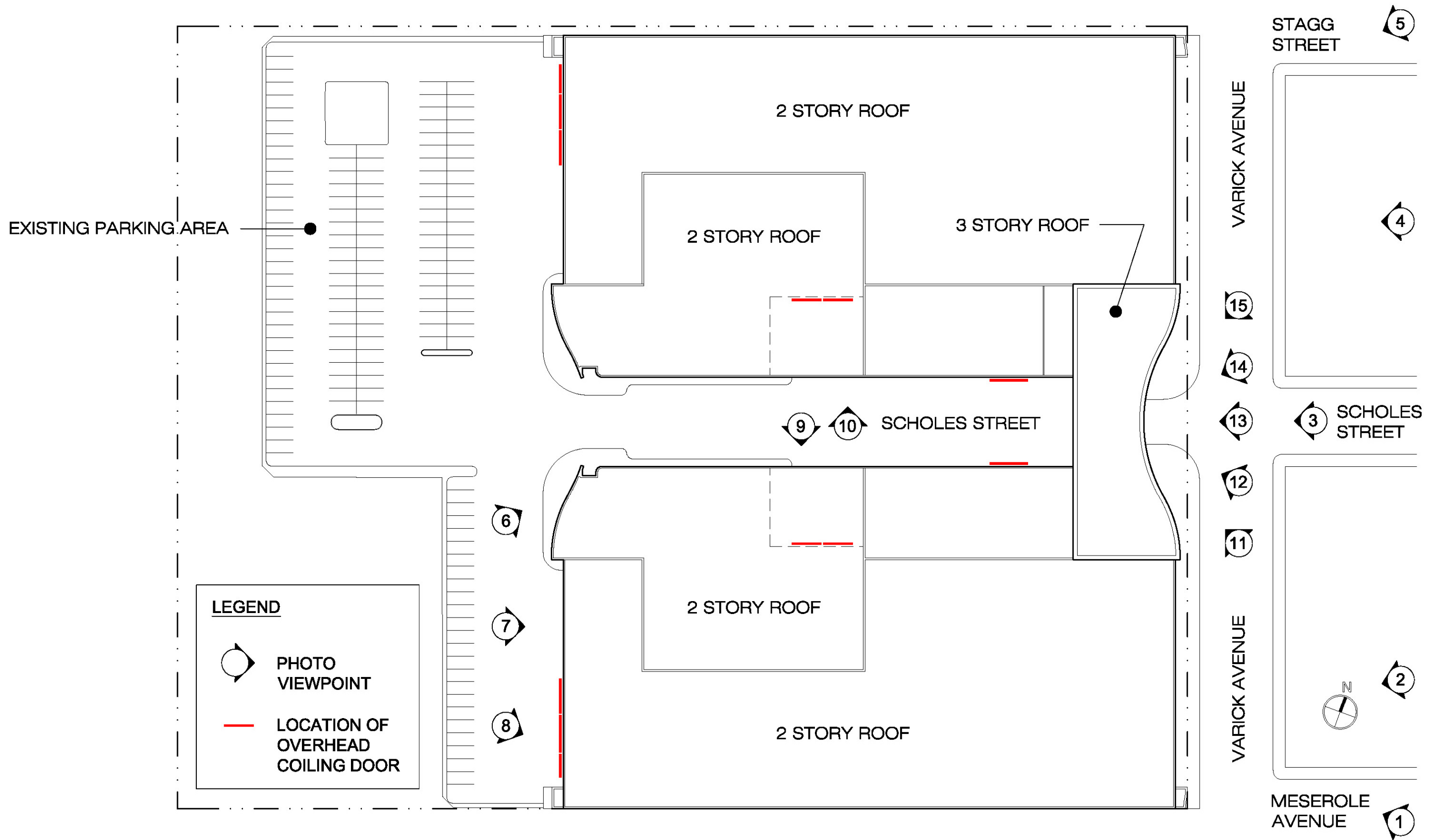
Photo 15



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

SITE PHOTOS
Scale: NTS

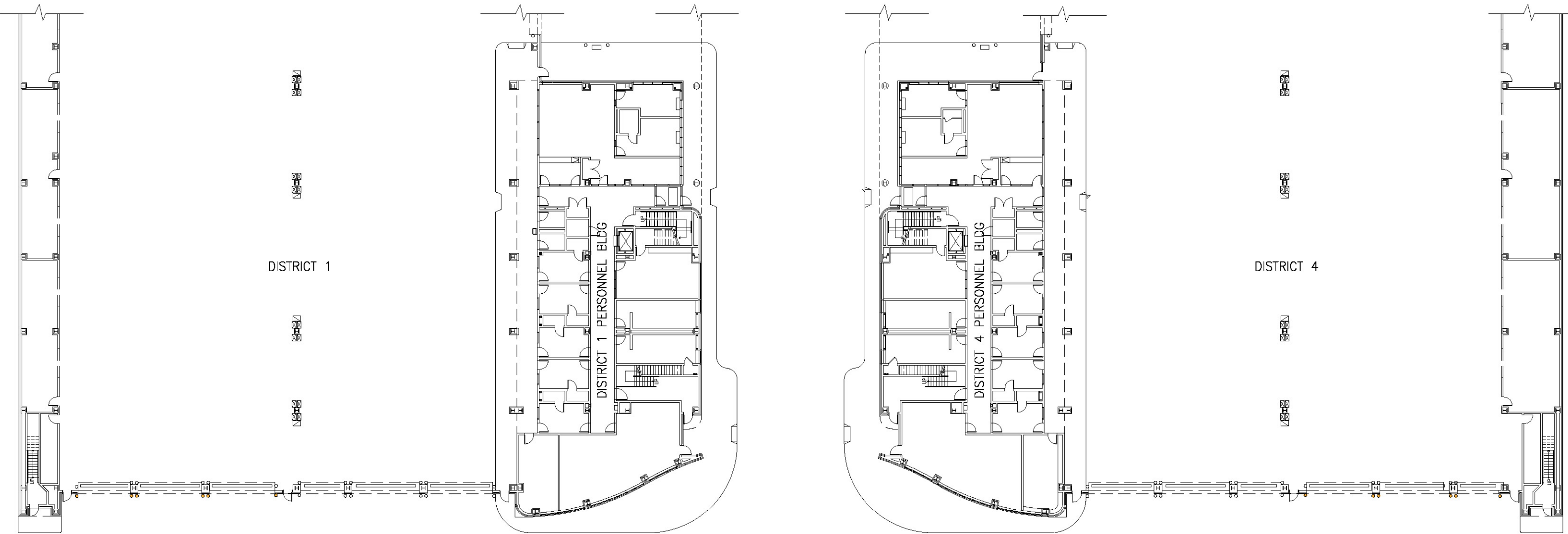


**BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES**

AUGUST 16, 2021

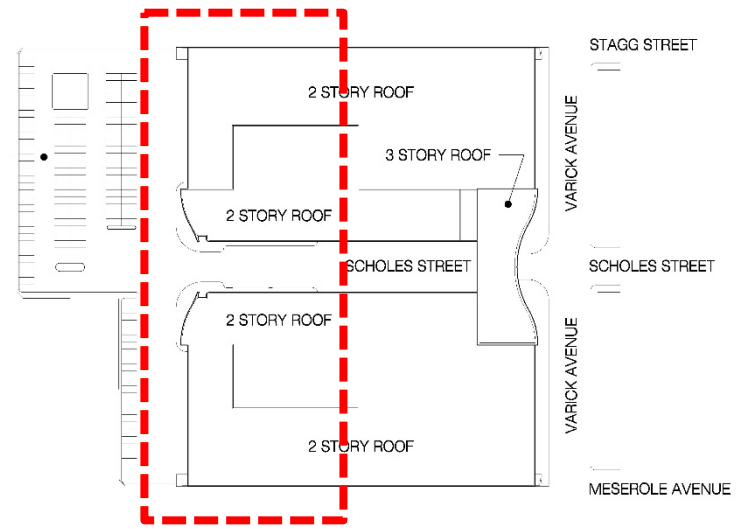
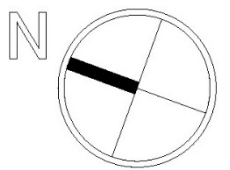
SITE PLAN

Scale: 1/64" = 1'-0"



LEGEND:

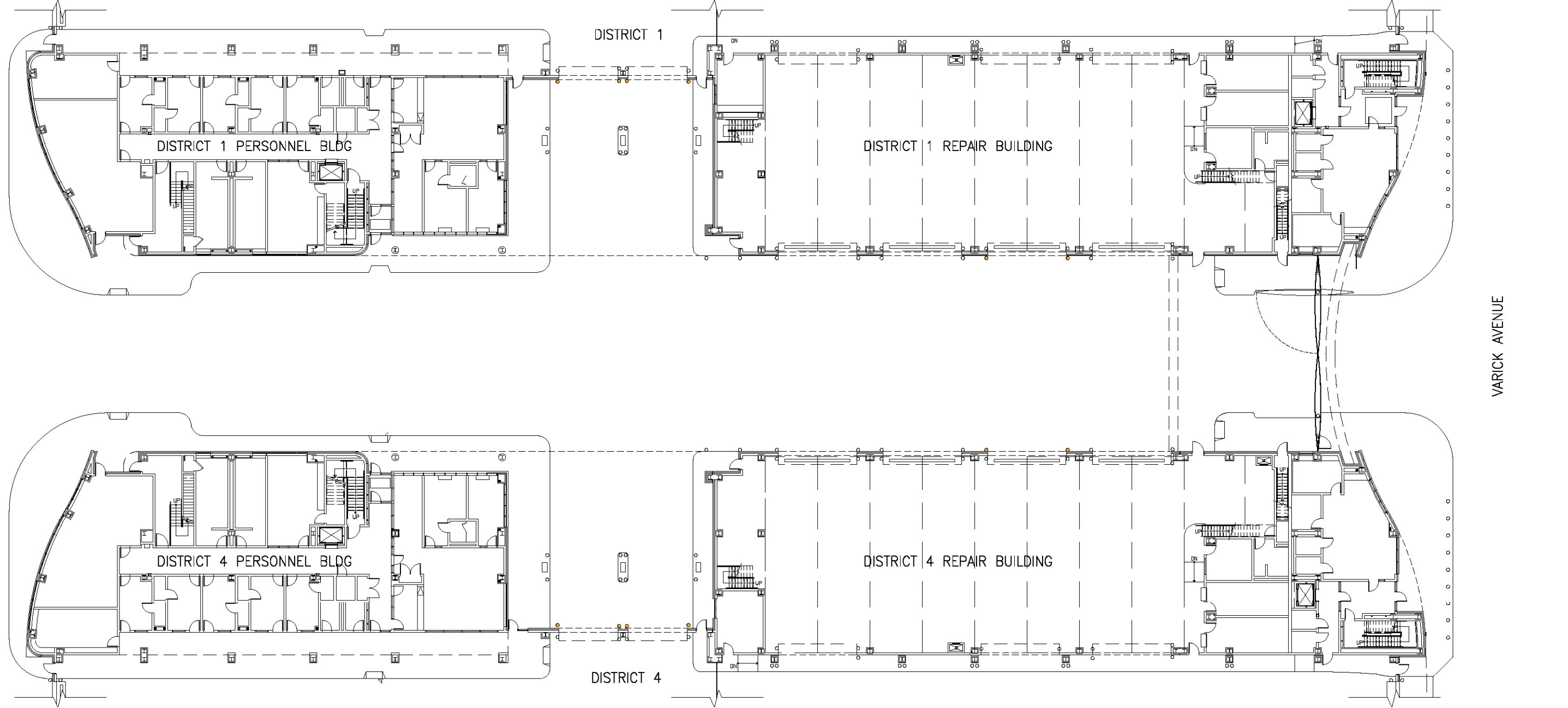
- EXISTING BOLLARD TO BE REMOVED



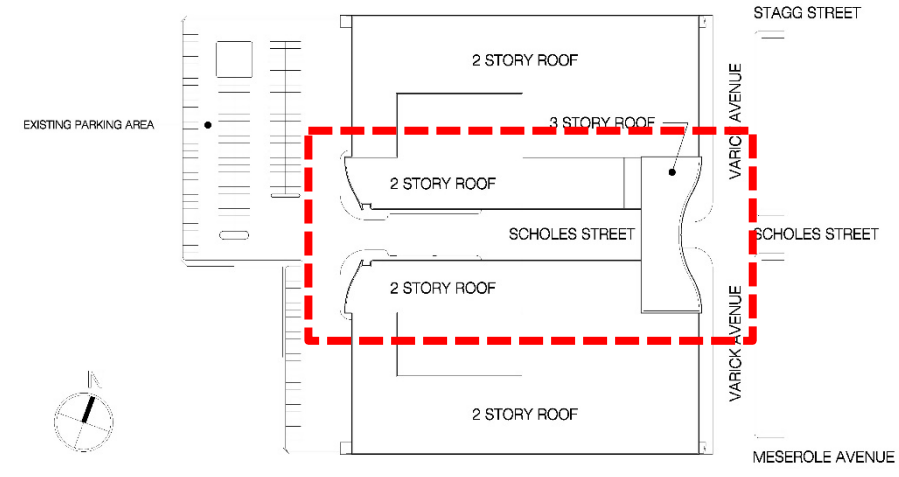
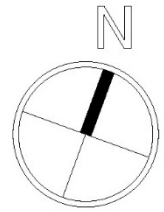
BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

EXISTING GROUND FLOOR PLAN
Scale: 1/32" = 1'-0"



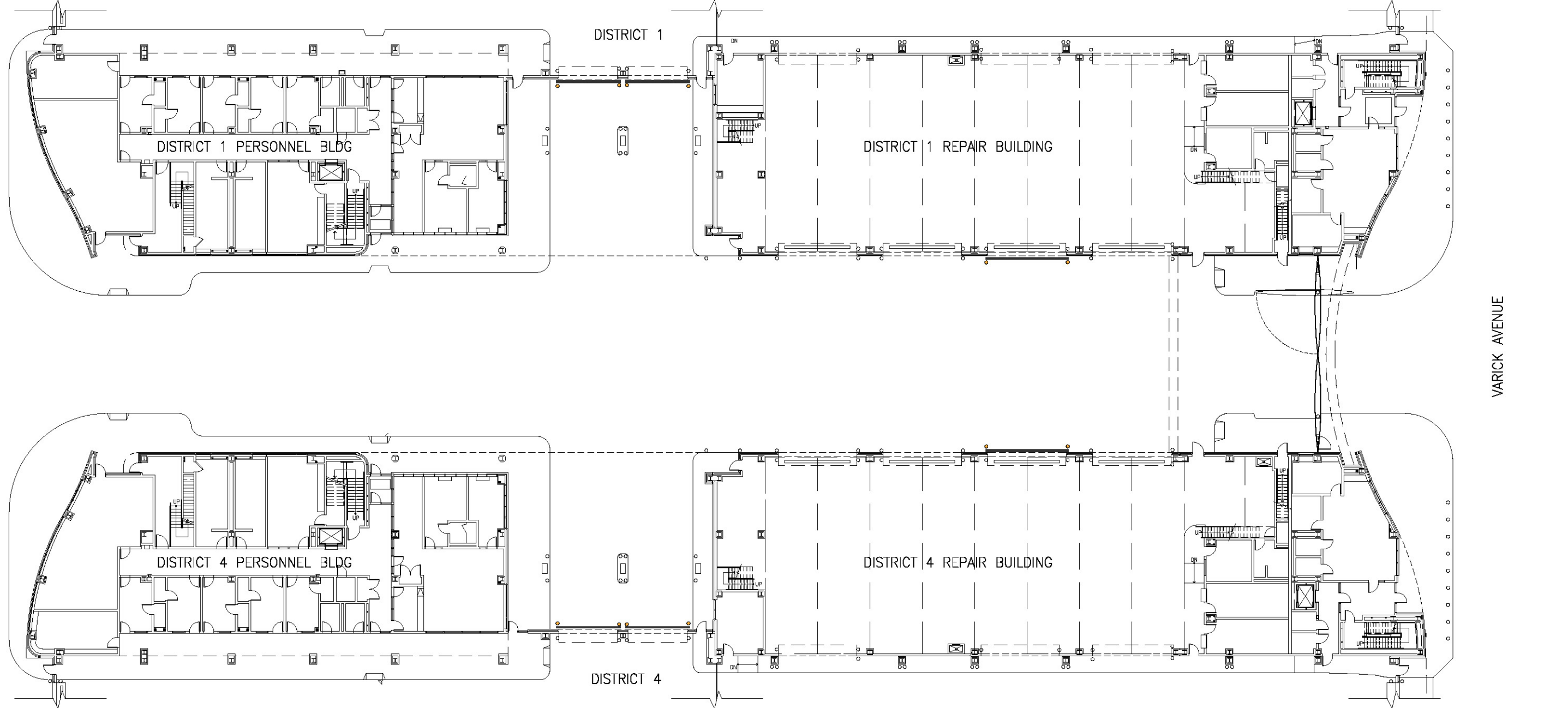
LEGEND:
 • EXISTING BOLLARD TO BE REMOVED



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
 ENERGY EFFICIENCY MEASURES

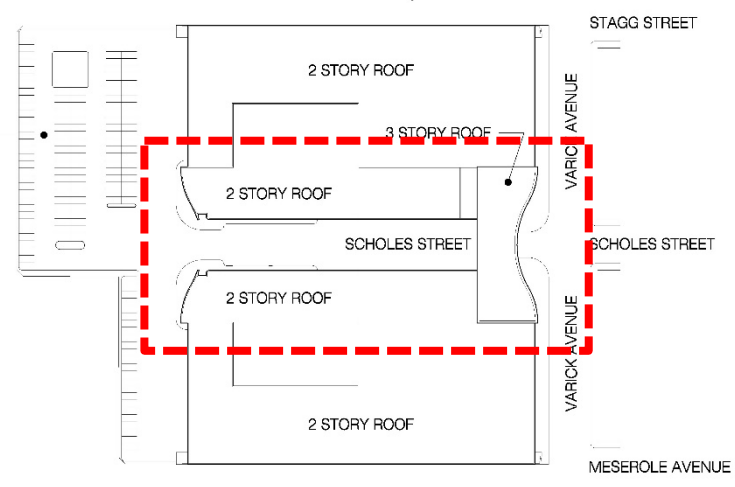
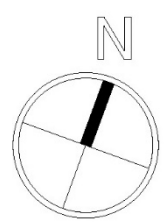
AUGUST 16, 2021

EXISTING GROUND FLOOR PLAN
 Scale: 1/32" = 1'-0"



LEGEND:

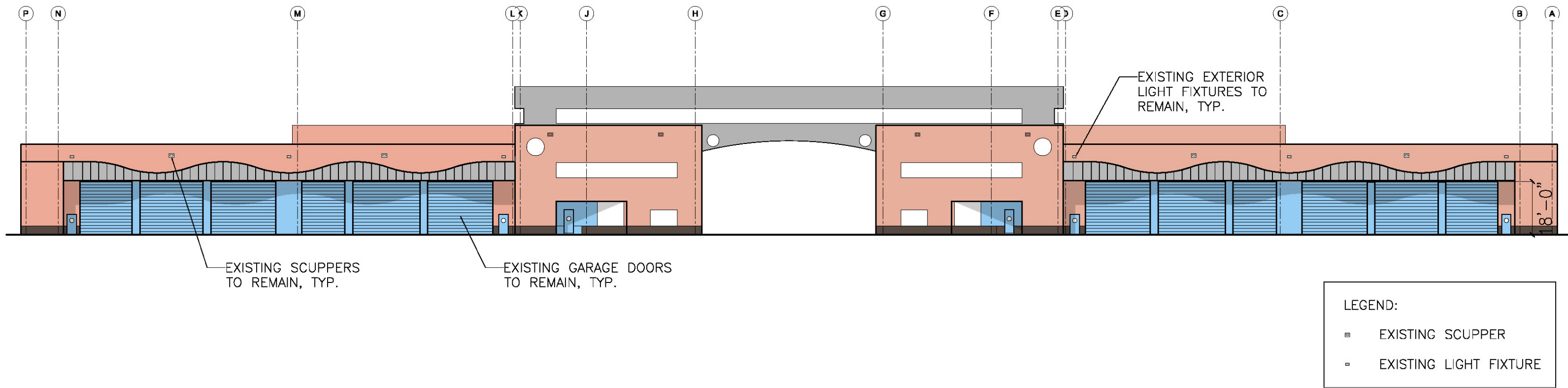
—●—●— RAPID AUTO-COILING DOOR AND NEW STEEL BOLLARDS TO MATCH EXISTING



**BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES**

AUGUST 16, 2021

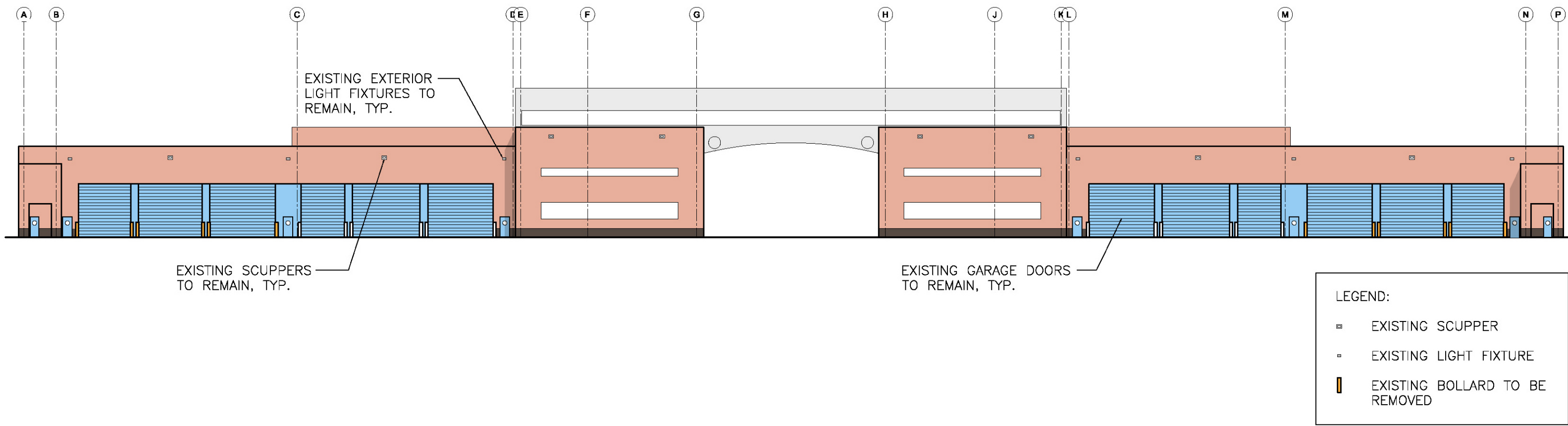
PROPOSED GROUND FLOOR PLAN
Scale: 1/32" = 1'-0"



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

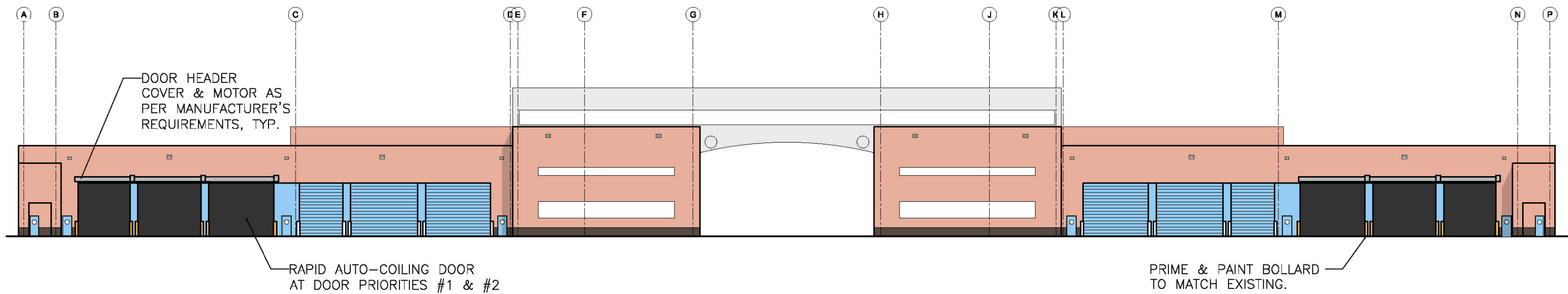
EXISTING FRONT ELEVATION
Scale: 1/32" = 1'-0"




BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

EXISTING REAR ELEVATION
Scale: 1/32" = 1'-0"



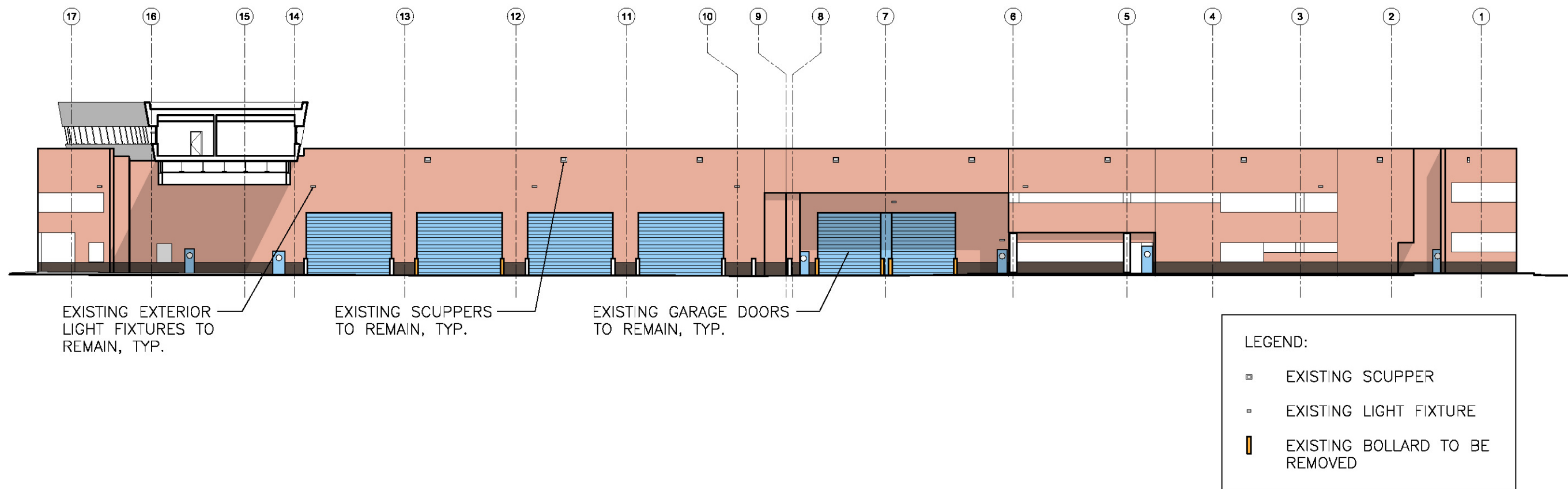
LEGEND:
 NEW BOLLARD



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
 ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

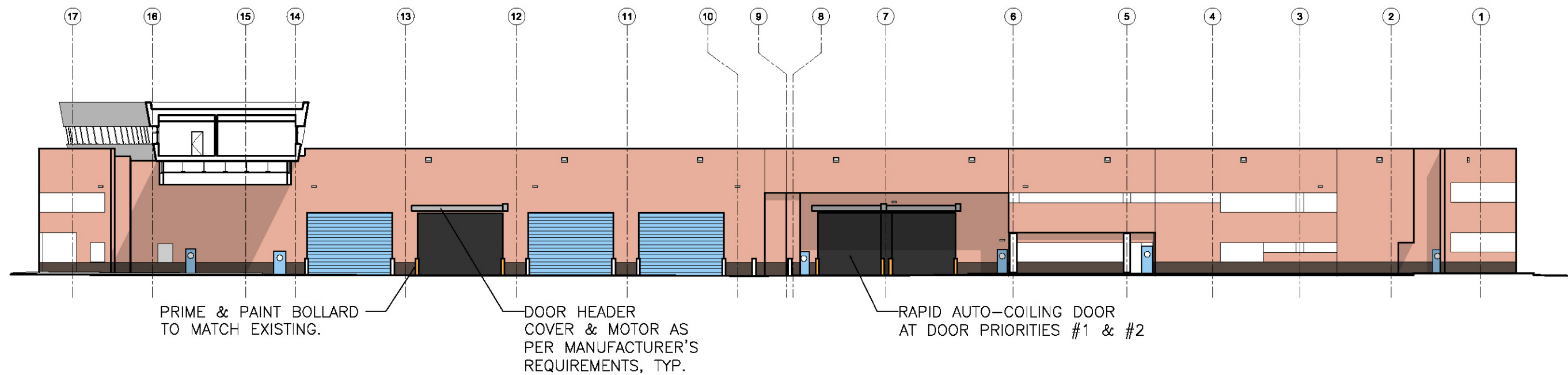
PROPOSED REAR ELEVATION
 Scale: 1/32" = 1'-0"




BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

EXISTING SIDE ELEVATION
Scale: 1/32" = 1'-0"



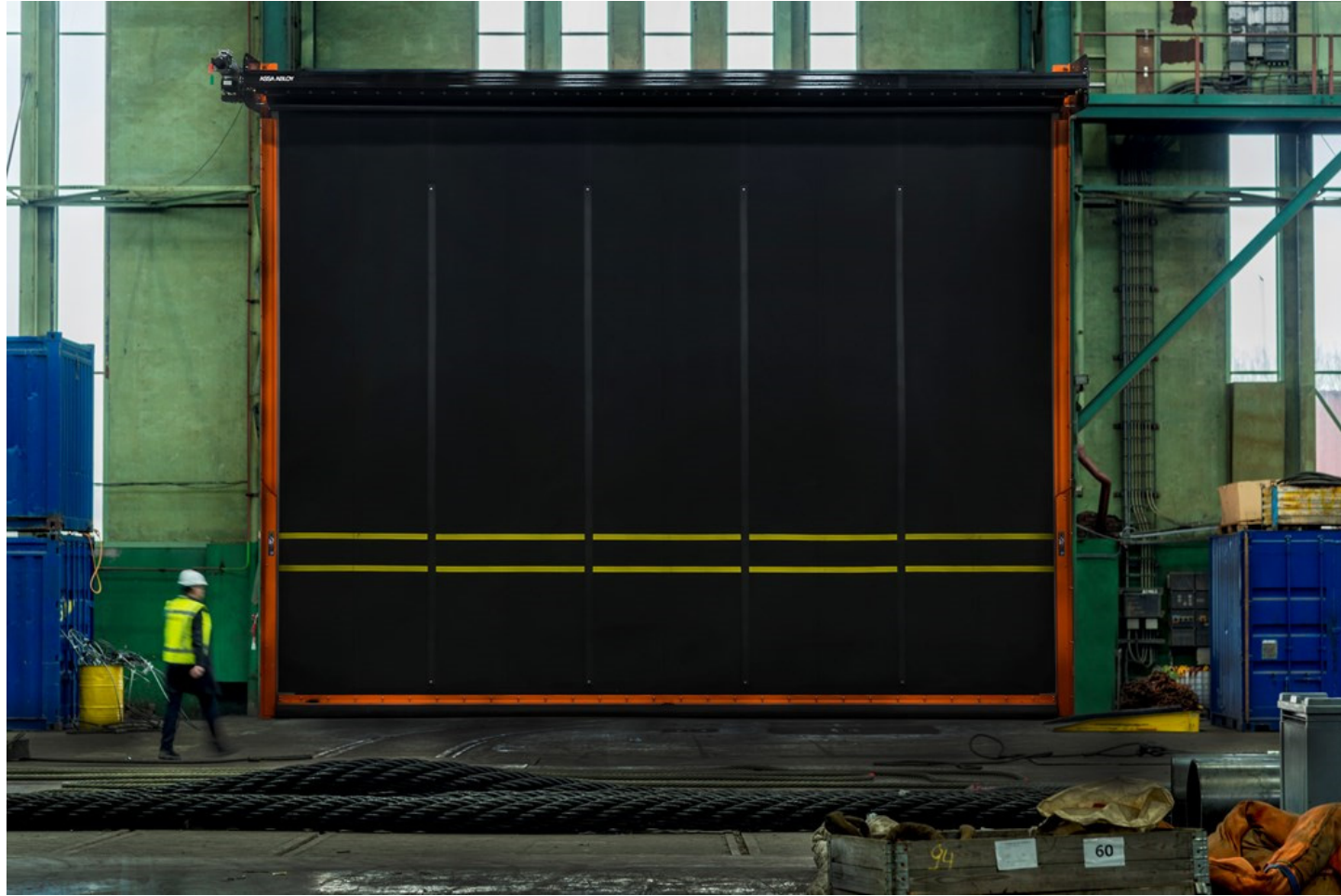
LEGEND:
 NEW BOLLARD



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
 ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

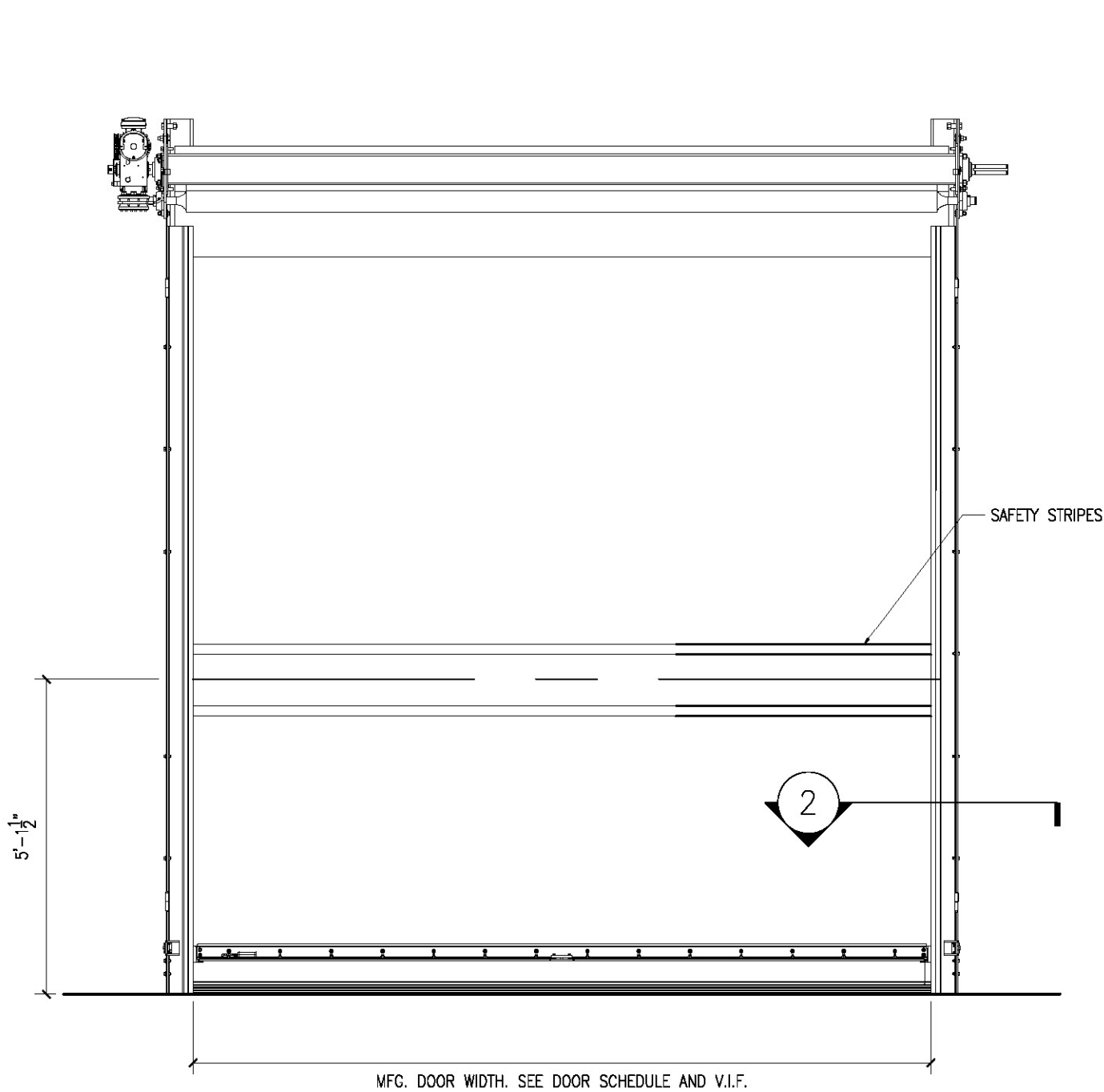
PROPOSED SIDE ELEVATION
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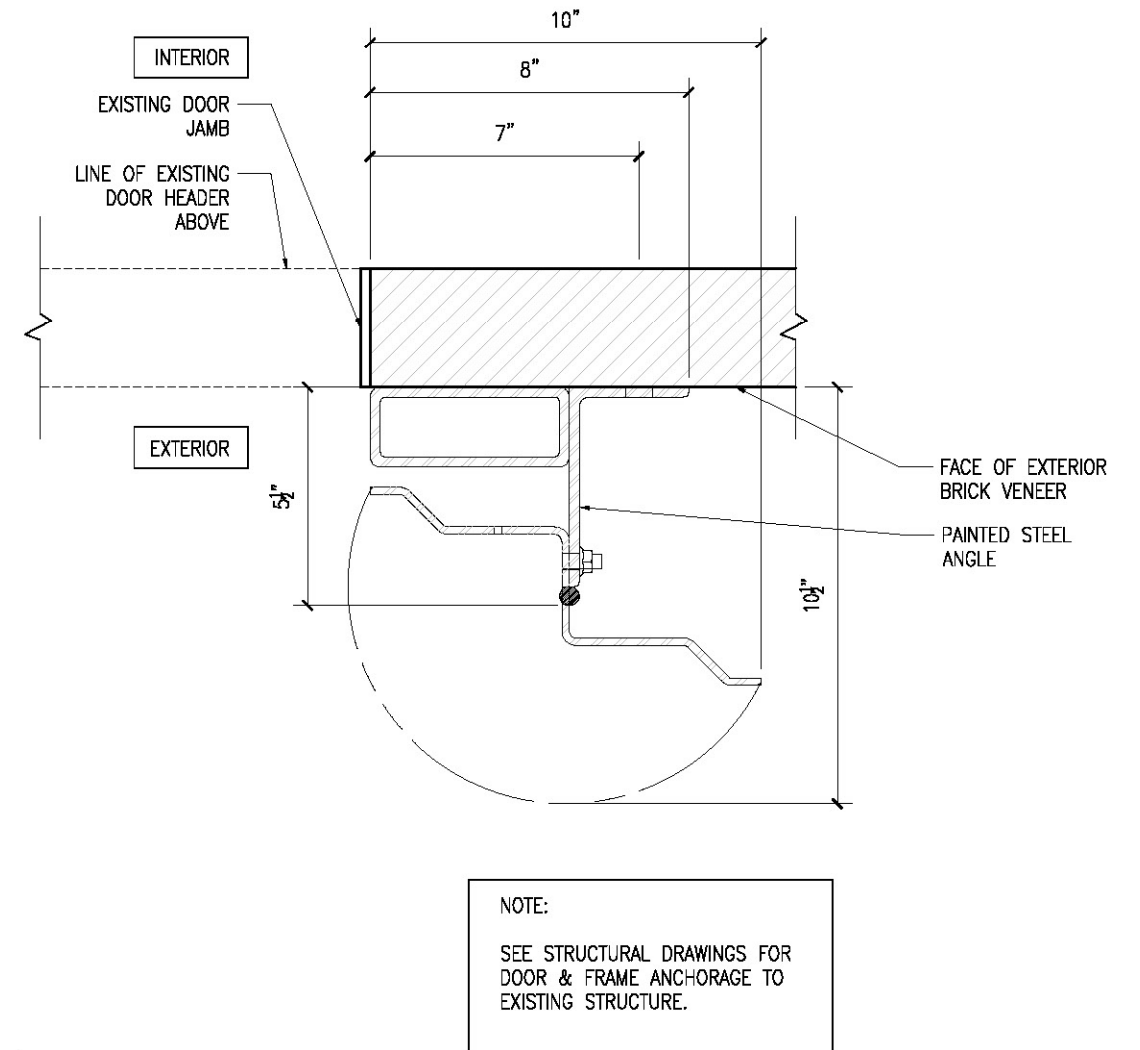
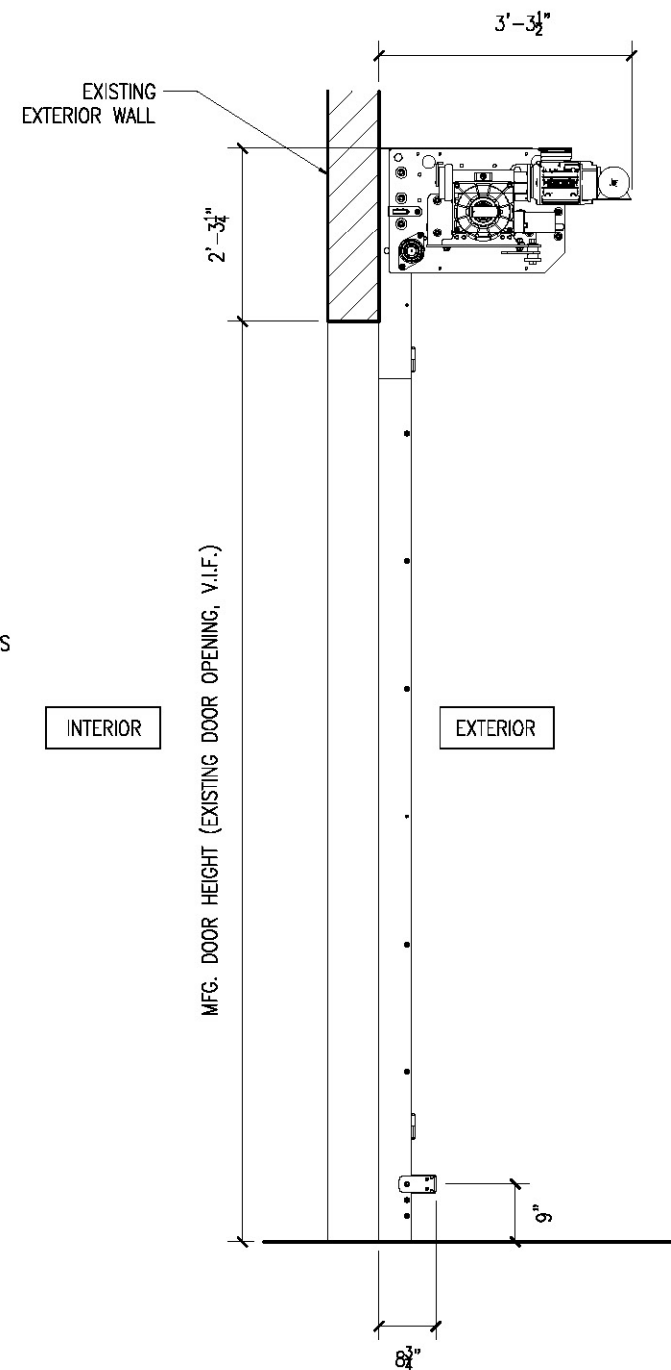
BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

RAPID ACTION AUTO COILING
DOOR PHOTOS
Scale: NTS



1 DOOR FRONT & SIDE ELEVATION
SCALE: NTS



2 DOOR JAMB DETAIL
SCALE: NTS



BROOKLYN NORTH 1 & 4 DISTRICT GARAGES
ENERGY EFFICIENCY MEASURES

AUGUST 16, 2021

RAPID ACTION AUTO COILING
DOOR DETAILS
Scale: NTS



Grand Street Bridge

Brooklyn Community Board #1 Briefing

September 14, 2021

Agenda

1. Introduction to Team
2. Introduction to Project
3. Efforts to Date
 - Data Collection
 - Surveys
 - Preliminary Reports
4. Environmental Process
5. Bridge Types and Selection
6. Maintenance of Traffic During Construction
7. Schedule
8. Q&A

The Grand Street Project Team

FHWA

Lead Federal Agency

NYSDOT

Joint Lead Agency

NYCDOT

Project Sponsor and Joint Lead Agency

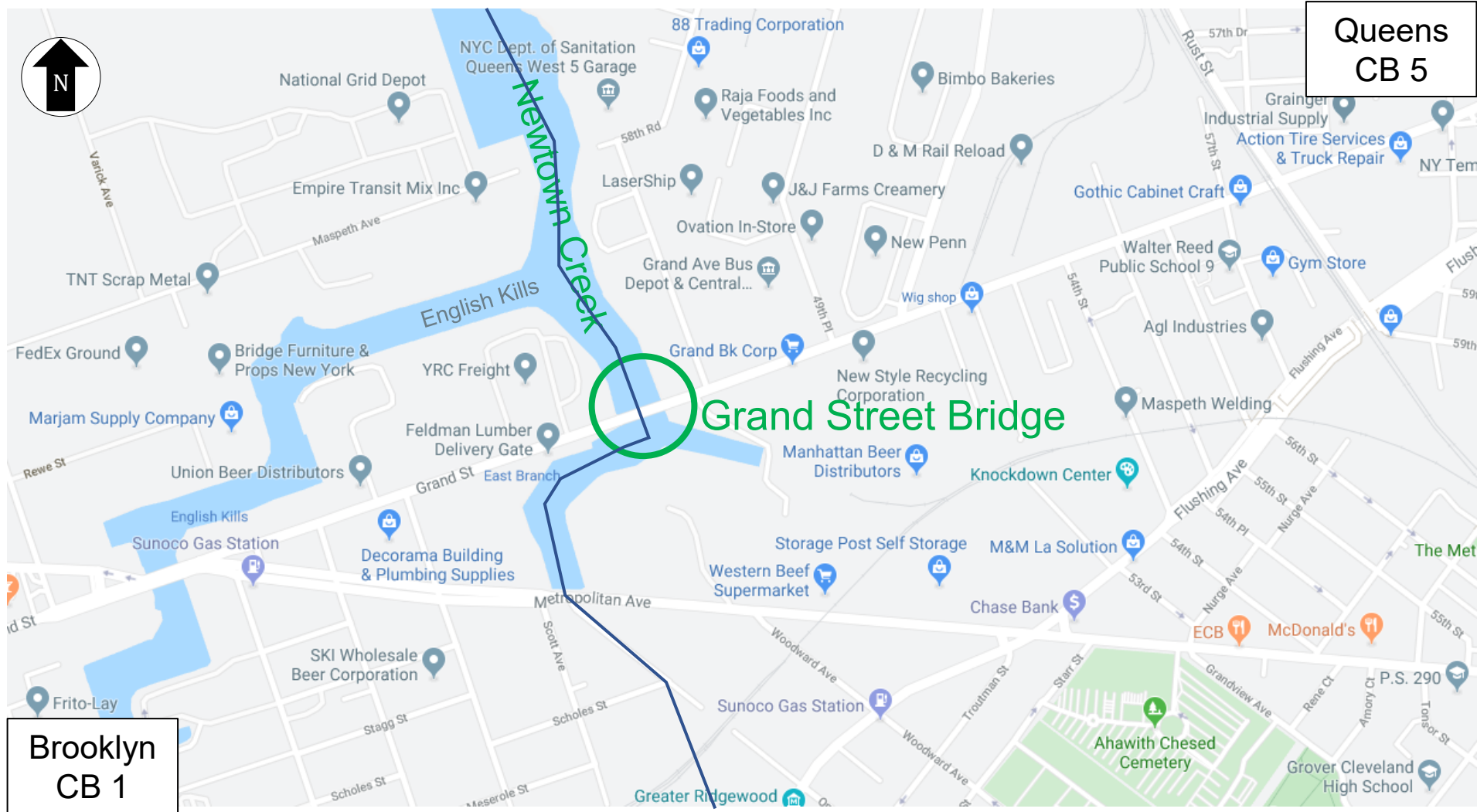
Hardesty & Hanover, LLC

Prime Consultant

FHI Studio

Outreach Consultant

Project Location



Adjacent Properties

▲ Property Entrance Location



Existing Bridge Conditions

General Characteristics

- Built in 1903
- 227 ft Long, through truss swing bridge
- 13'-4" Posted vertical clearance
- Inadequate bicycle/pedestrian facilities
- Vulnerable to storm surge hazards
- Deteriorated foundations and structural members
- Eligible for listing on National Register of Historic Places (NRHP)

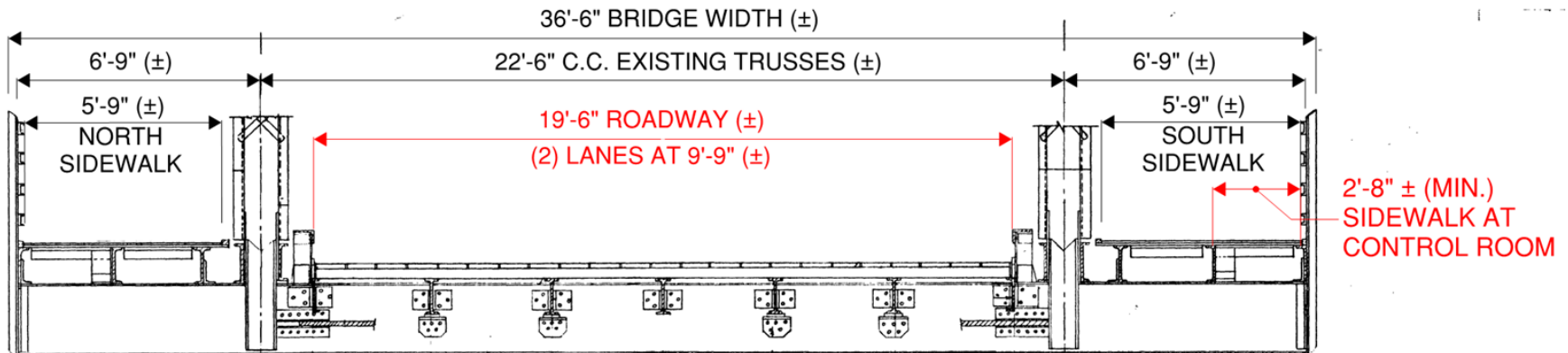


Existing Bridge Cross Section

Nonstandard Geometry

Constrained by Truss Dimensions

- (2) Lanes at 9'-9"
- (2) Sidewalks at 5'-9" (Sidewalk narrows to 2'-8" at Control House)
- Stairway located on north sidewalk at Brooklyn Approach



Existing Bridge Conditions

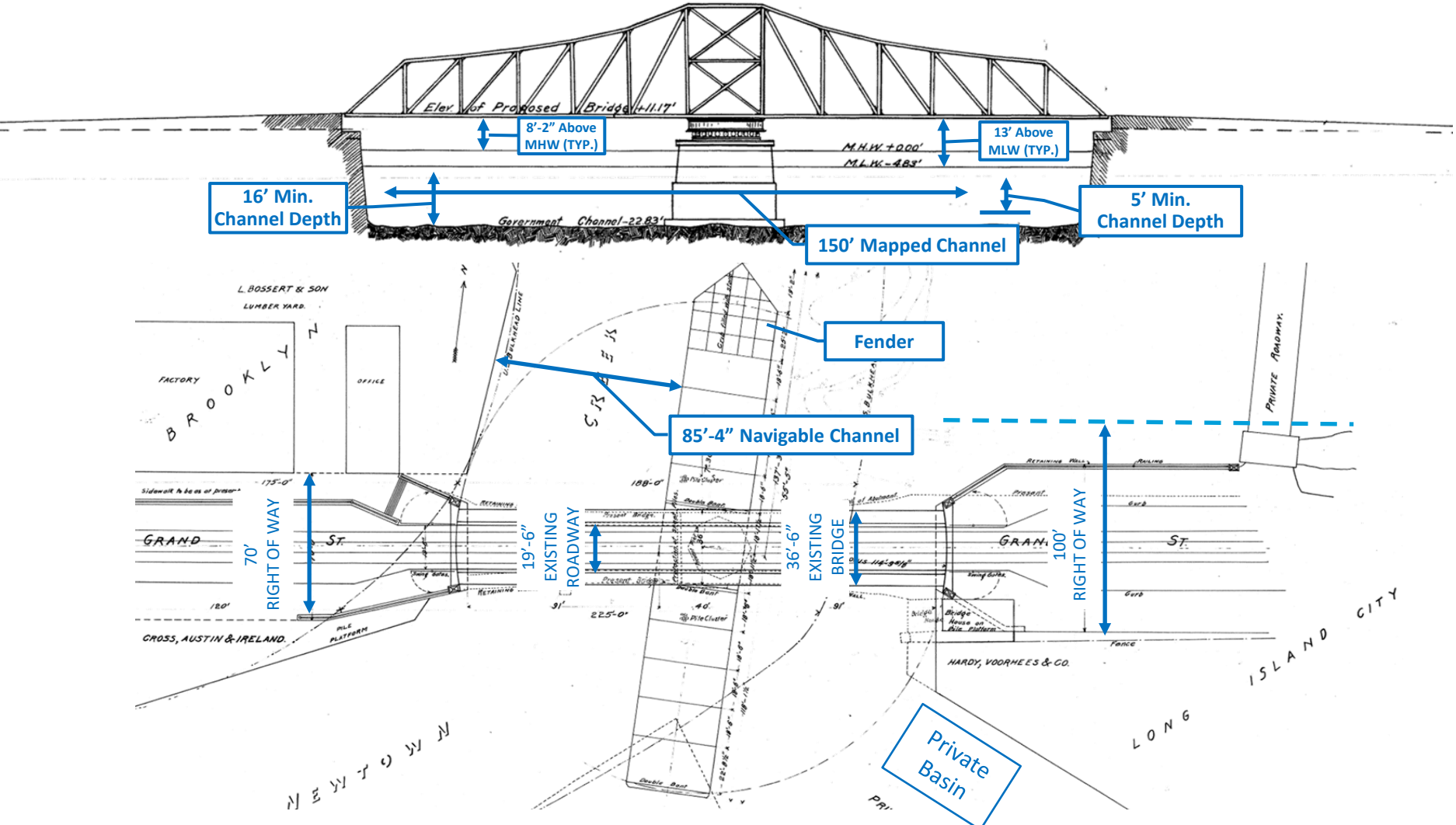
Heavy Traffic:

- ADT = 11,860, ADWT = 13,550
- ADTT = 4,500 (estimated based on FMU data)
- WB/EB split: 66.6% WB / 33.4% EB

Navigation Channel depth and geometry:

- Sharply Curved Navigation Channel
- Channel Depth (16' main channel & 5' side channel relative to MLLW)
- Minimum vertical clearance is 8'-2" \pm at MHW & 13' \pm at MLW
- Minimal navigation openings

Existing Plan & Elevation



Greenpoint Ave Bridge
26ft Clearance
Closed,
Unlimited Open

Kinder Morgan
Fuel Oil Storage

Kosciuszko Bridge
90ft Fixed

National Grid

TNT Scrap Metal

Metropolitan Ave Bridge
10ft Clearance
Closed,
Unlimited Open

Bayside Fuel Oil

Newtown
East Branch
Creek

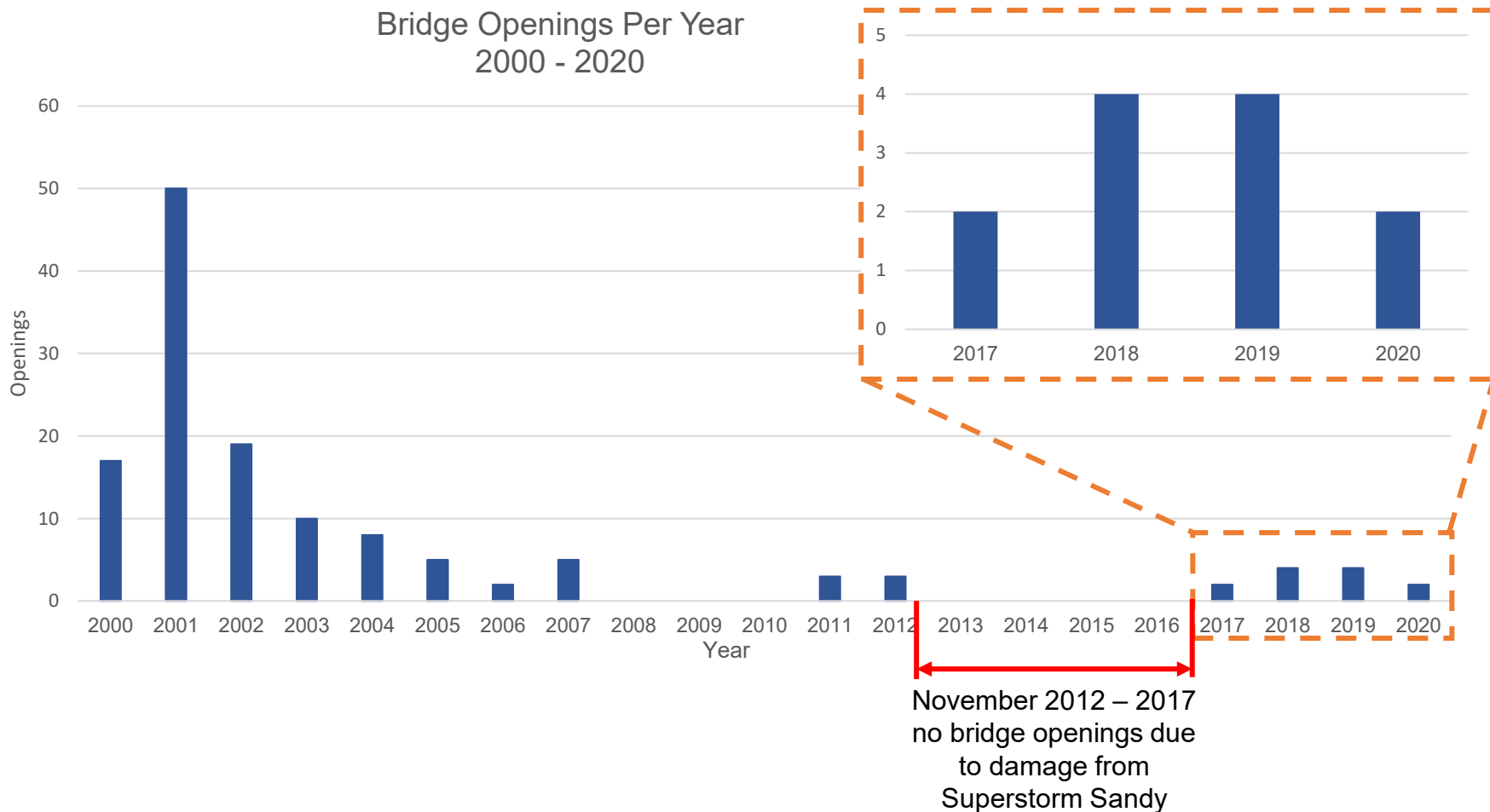
Empire Metal Trading

Grand St Swing Bridge
8ft Clearance
Closed,
Unlimited Open

**Private Slip – Western
Beef Property**

Tec-Crete Transit Mix

Grand Street Bridge Navigation Openings

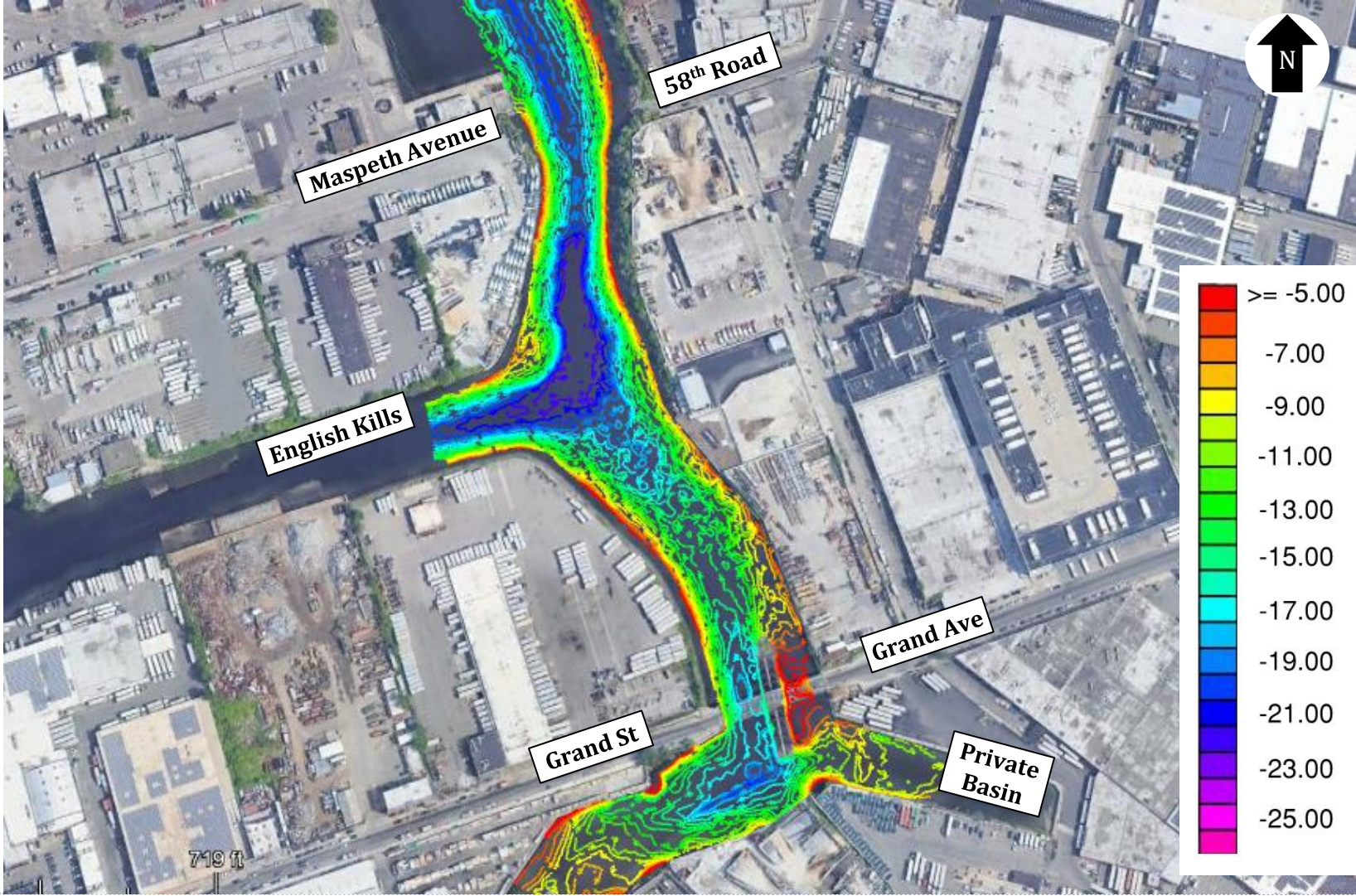


Efforts to Date

- Data Collection
 - Traffic Data
 - Navigation Data
 - Utility Information
 - Subsurface Information
- Surveys
 - Topographic
 - Bathymetric
 - Bridge Inspection
 - Hazardous Materials
- Preliminary Reports
 - Load Rating
 - Geotechnical Data Report
 - Abutment Core Condition Summary
 - Proposed Cross Section
 - Construction Period Traffic Analysis
- Initiate Environmental Process



Bathymetric Survey



What is NEPA?

National Environmental Policy Act

- NEPA, the National Environmental Policy Act, is a federal law that provides for a decision-making process to consider the effects of federally funded or permitted projects on the natural and built environment.
- NEPA provides for broad participation in decision-making by the public and those agencies with funding or permitting authority over the action.
- Under NEPA, lead agencies consider public input about the potential effects of a project on the social, economic, and environmental conditions.



Social, Economic & Environmental Considerations



The environmental process will include an assessment of social, economic and environmental effects resulting from the proposed action. Key topics include the following:

- Surface waters, navigable waters, and wetlands;
- Coastal resources;
- Cultural and historic resources;
- Construction effects;
- Parkland and recreational resources;
- Hazardous waste and contaminated materials;
- Visual resources;
- Land use;
- Traffic noise;
- Air quality;
- Economic considerations, including property acquisition and potential effects to local and/or regional businesses;
- Social considerations, including environmental justice.



Anticipated Lead Agencies for Environmental Review

National Environmental Policy Act (NEPA)

Lead Agency: Federal Highway Administration (FHWA)

Regional Local Project Liaison: New York State Department of Transportation (NYSDOT)

Project Sponsor: New York City Department of Transportation (NYCDOT)

State Environmental Quality Review (SEQR)

Supporting Agency: New York State Department of Transportation (NYSDOT)

City Environmental Quality Review (CEQR)


Lead Agency: New York City Department of Transportation (NYCDOT)

Anticipated Permits & Approvals

Permits are required from many Federal, State, and Local regulatory authorities.


- Section 404 Permit
- Section 10 Permit

USACE




- Review under Section 7 of the Endangered Species Act

USFWS




- Section 7 of the Endangered Species Act;
- Essential Fish Habitat

NMFS




- Section 106 Consultation

ACHP




- Section 106 and Section 4(f) Concurrence

SHPO




- Coastal Zone Consistency

NYSDOS / NYCDP




- Protection of Waters
- Tidal Wetlands
- SPDES

NYSDEC



- Bridge Permit

USCG



Public Outreach & Stakeholder Coordination

Public and Stakeholder Input Opportunities:

- Elected Official Briefings
- Community Board Meetings
- Public Information Meetings
- Contact Database
- Newsletters
- Project Website

Grand Street Bridge Project

Department of Transportation
Boroughs of Brooklyn & Queens, New York



About the Grand Street Bridge

The Grand Street Bridge is a swing bridge over Newtown Creek, connecting Maspeth, Queens with Williamsburg, Brooklyn. The bridge spans both the North Brooklyn and Maspeth Industrial Business Zones, and is surrounded by lumber yards, warehouses, recycling industry scrap yards, crane companies, and NYC bus and sanitation agency department offices. The bridge structure carries a two-lane, two-way vehicular roadway eastbound and westbound, with sidewalks on either side.

The first two bridges over Newtown Creek were built in 1875 and 1890. The current bridge – the third bridge on the site – was opened in 1903. When it was first built, the current bridge was a very busy maritime crossing. At that time alone, it was opened more than 5,000 times for various purposes.

The bridge has not opened more than ten times in the last decade, and road traffic is now the

main bridge use. Based on 2019 data, average daily traffic recorded about 13,500 vehicles per day, with 66.6 percent (%) of vehicles traveling westbound into Brooklyn, and 33.4 percent (%) of vehicles traveling eastbound into Queens.

After over one hundred and thirteen years, the Grand Street Bridge has reached the end of its service life and has numerous deficiencies. With its substandard roadway width, it is too narrow to accommodate current traffic, and it does not meet current structural and geometric design standard requirements. In addition, the mechanical and electrical systems on the swing span have been heavily damaged, along with a large portion of electrical conduit, wiring and the terminal boxes for the submarine cable.

The New York City DOT is currently working to address the needs of this bridge and project objectives.

Concept Development

Design Considerations

- Minimum 75-year service life
- Eliminate non-standard features
- Improve geometry, traffic flow and operations
- Improve storm resiliency (protect from flood waters)
- During construction
 - Maintain traffic (vehicular, pedestrian, bicycle)
 - Minimize community disruption
 - Minimize navigation impacts
 - Minimize environmental effects

Bridge Types to be Screened

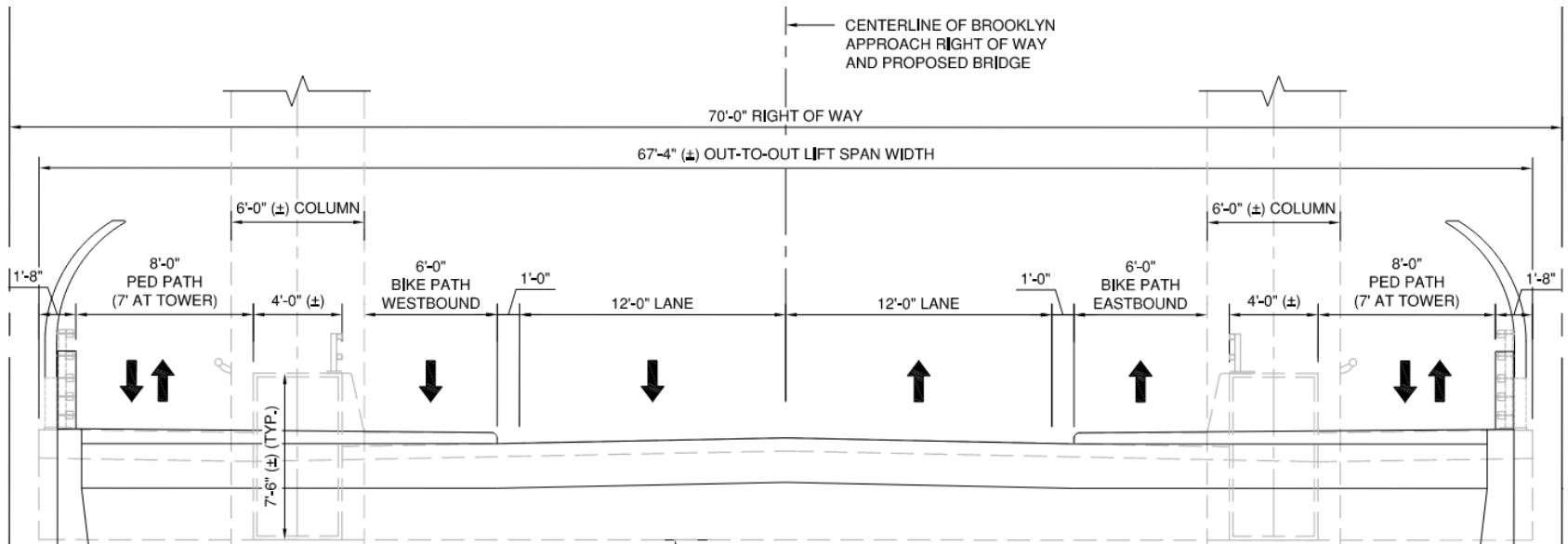
Option 1: Short Span Vertical Lift

Option 2: Long Span Vertical Lift

Option 3: Bascule Spans

Option 4: Swing Spans

Conceptual Cross Section



- Design Speed 35MPH (25MPH Posted)
- 12-foot Standard Lanes
- 6-foot Dedicated Bicycle Paths
- 7 to 8-foot Separated Sidewalk
- Meets existing grade at approaches:
 - 47th St. intersection in Queens
 - Minimize impacts to YRC driveway

Examples of Bridge Type Concept 1

Short Span Vertical Lift



Lovelandtown Bridge, NJ

Examples of Bridge Type Concept 2

Long Span Vertical Lift



Roosevelt Island Bridge, NYC

Examples of Bridge Type Concept 3 Bascule Span



Metropolitan Avenue Bridge, NYC

Examples of Bridge Type Concept 4

Swing Bridge



Willis Avenue Bridge, NYC (Symmetrical Swing)



Victoria Swing Bridge, Edinburgh, UK (Bobtail Swing)

Bridge Type Screening

Screening Criteria	Option 1: Short Span Vertical Lift	Option 2: Long Span Vertical Lift	Option 3: Bascule	Option 4: Swing
				
Flood Resiliency	Good	Good	Fair/Poor	Fair/Poor
ROW Impacts	Temporary Easements Needed for Construction <i>(Magnitude of ROW impact depends on type/location of temporary structures)</i>			
Channel Width in Final Condition	Same as Existing	Widened	Same as Existing	Symmetric: Restricted Bobtail: Same as Existing
Footprint in Waterway	Moderate	Low	High	High
Constructability Risks	Low	Moderate	High	Moderate
Total Anticipated Construction Cost	Moderate	High	High	High

Maintenance of Traffic During Construction

Draft Screening Criteria

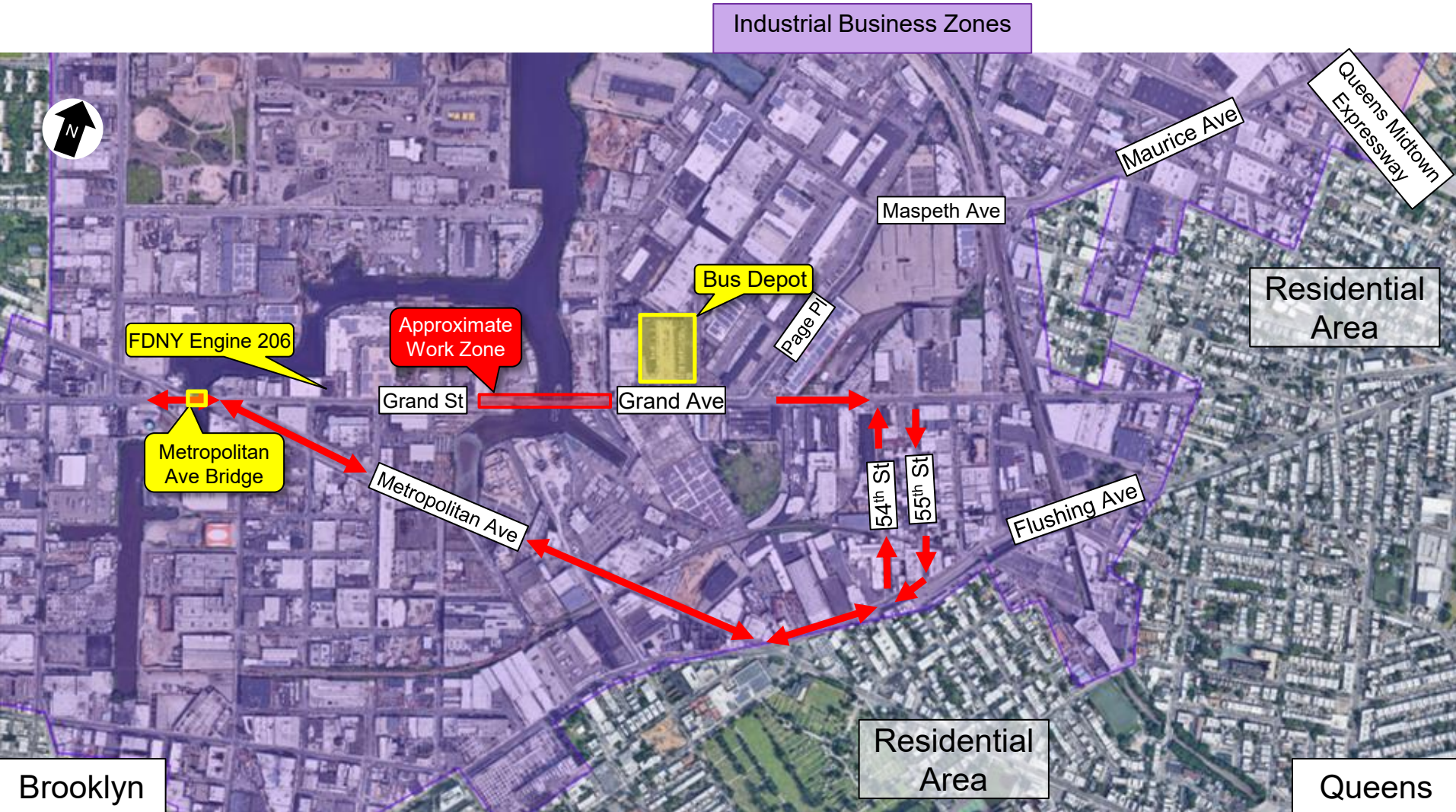
- Constructability Concerns
- User Cost of Traffic Impacts
 - Travel Time Delay
 - Duration of Diversions
 - Impacts to Bus Operations
- Required Temporary Easements
- Channel Height Restriction During Construction

Concept Groups to be Screened

- A. Detours
 - Via Flushing Ave and Metropolitan Ave
 - Via Flushing Ave and Johnson Street / Metropolitan Avenue
- B. Maspeth Ave
 - Temporary Movable Bridge at Maspeth Ave
- C. Staged Construction - w/o a Temp. Bridge
 - Nights/Weekends
 - EB Traffic Diversion
 - Temporary Signals
- D. Adjacent Temporary Bridge
 - Temp Bridge to the South
 - Temp Bridge to the North

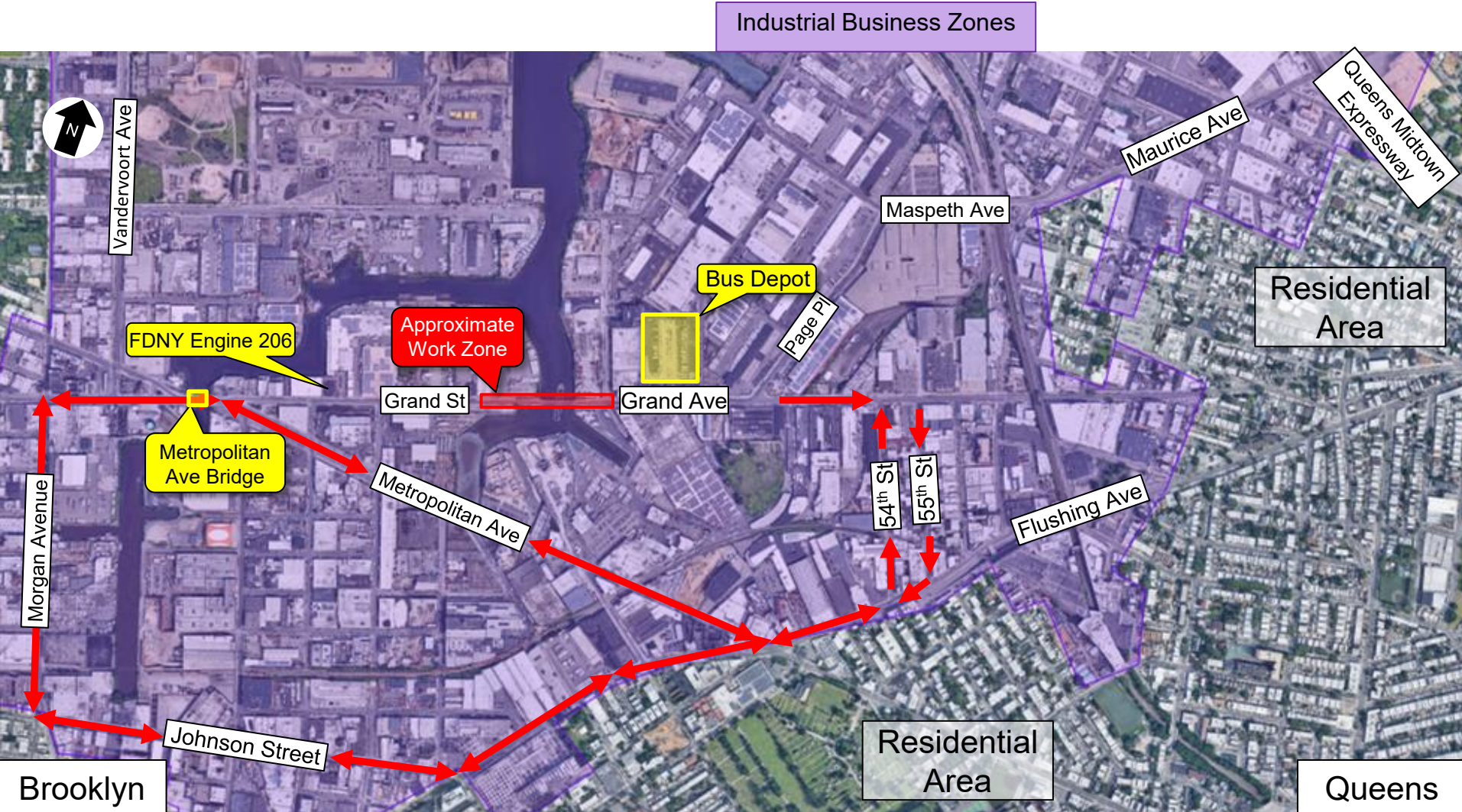
(Fixed bridge assumed but movable bridge possible)

Detour Via Flushing Avenue to Metropolitan Avenue

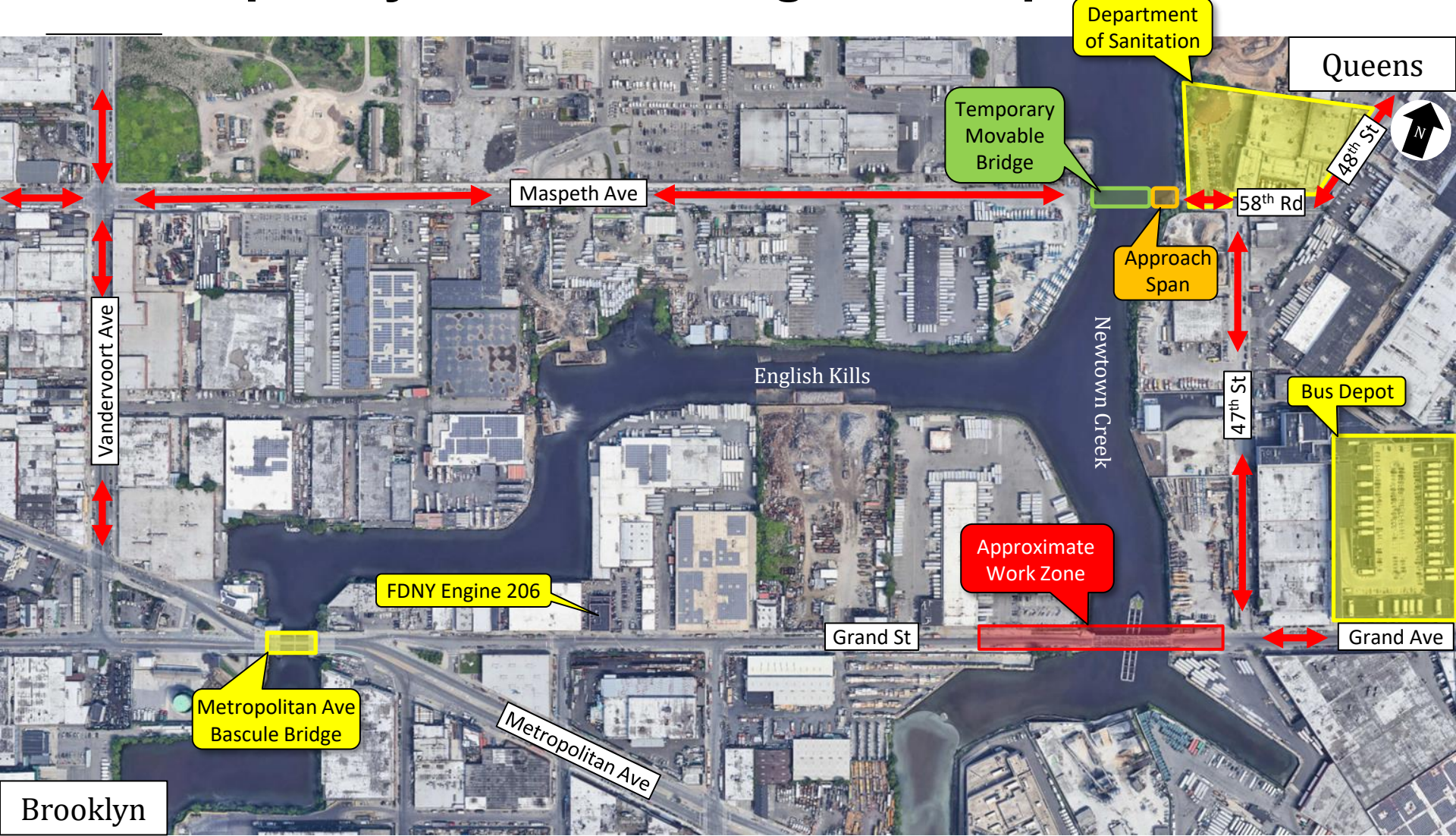


Detour

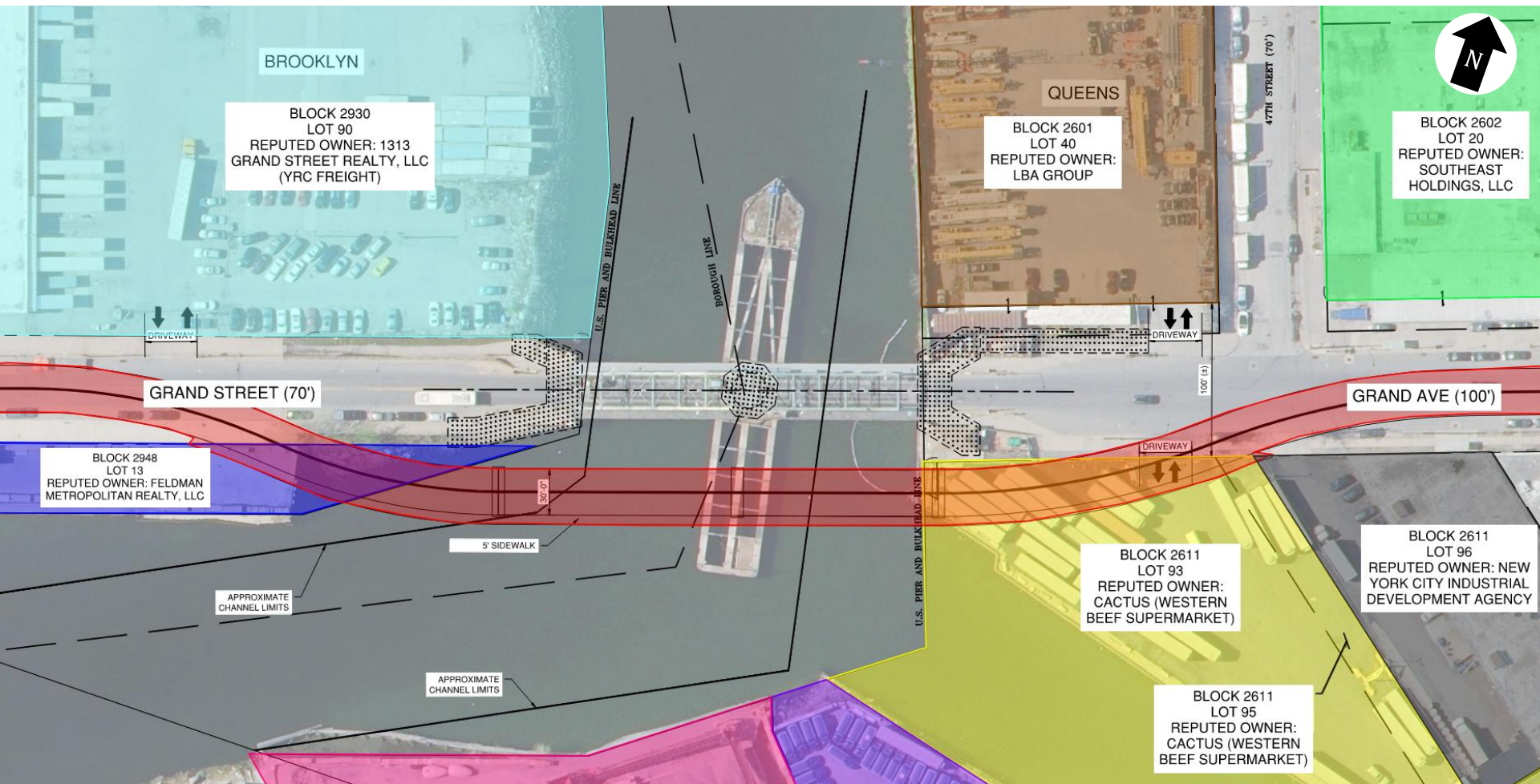
Via Flushing Avenue to Metropolitan Avenue & Johnson Street to Morgan Avenue



Detour Via Temporary Movable Bridge at Maspeth Avenue

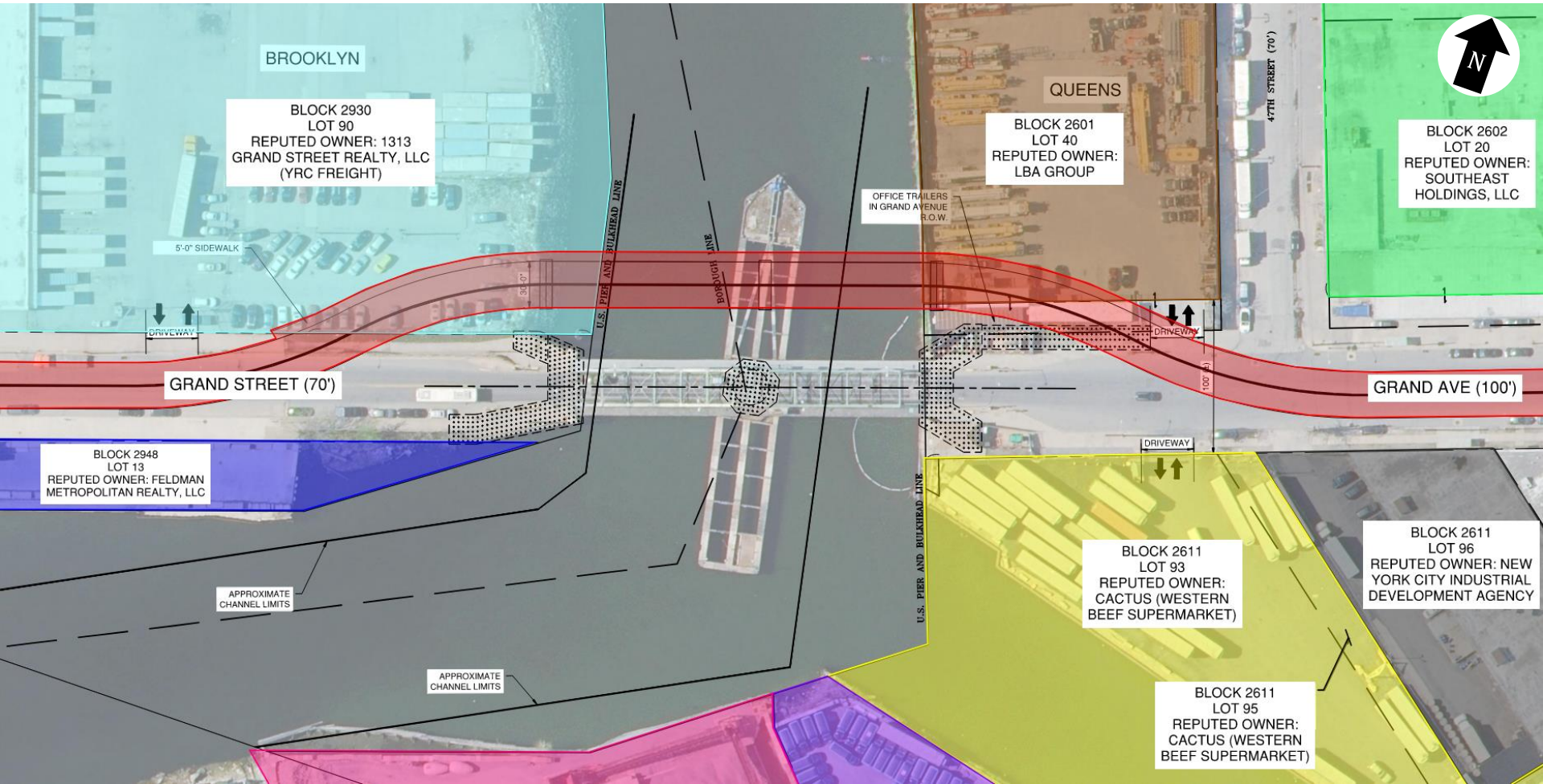


Adjacent Temporary Bridge Located on the South



Note: Parallel temporary fixed bridge would be subject to USCG approval.

Adjacent Temporary Bridge Located on the North



Note: Parallel temporary fixed bridge would be subject to USCG approval.

Status and Schedule

Current Status:

- Pending Environmental Classification
- The project is in the Pre-Scoping phase of Preliminary Design.
- Project is on the NYSDOT TIP and is slated to receive Federal Funds for construction.

Schedule:

- Preliminary Design – Study Phase Started July 2019
- NEPA/CEQR Process - TBD
- Final Design – August 2023
- Anticipated Construction – 2026 – 2029
- To be adjusted as per the environmental classification

Thank You!

Questions?



NYCDOT



nyc_dot



nyc_dot



NYCDOT

**Statement by Assemblymember Emily Gallagher
Brooklyn Community Board 1 - Sept. 14, 2021**

Thank you for the opportunity to speak.

While city land use decisions are not part of my responsibilities as a state legislator, the tax subsidy programs used by developers to help finance large scale projects are a creation of state law. And as a longtime member of this community who was asked to share my perspective by several members of this board, I am happy to oblige.

I'll be brief but my concerns with the proposed rezoning on River Street are threefold:

- 1) The failure of the City and the developers it helped enrich to live up to the commitments of the 2005 rezoning of the Williamsburg-Greenpoint waterfront;
- 2) The sunseting of the "Affordable New York" / 421-a tax abatement program next year;
- 3) The number of affordable units envisioned by this project, especially given the amount of economic value that's going to be created for the developers by this rezoning, is totally insufficient;

This first point is not specific to this developer or proposed project but it undeniably overshadows *any* developer-requested rezoning on the Williamsburg waterfront: the continued failure to fulfill the commitments of the 2005 rezoning. Sixteen years after North Brooklyn was promised 27 acres for Bushwick Inlet Park, only 20% is open to the public and there is no timeline to complete the work. In general, it feels inappropriate to continue to create the conditions for even more real estate profit-making on the waterfront when so many of the *public* benefits that were promised alongside them still haven't materialized.

More centrally to my own role as a state legislator, I want to remind this board that the "Affordable New York Housing Program," more commonly referred to by its section in the law 421-a, is scheduled to expire next summer. At a cost of \$1.7

billion a year in forgone city taxes, it is New York's largest subsidy and one that the developer here will surely avail themselves of. Even if the program is ultimately renewed in some form, it will change. I can promise you that. There will be a significant and I hope successful push to dramatically increase the affordability requirements or limit the sheer size of the public subsidy. And those changes will bear upon the actual reality of this project, regardless of what's committed to now. That's worth considering.

Finally, I just want to add to the chorus of voices regarding the number of affordable units contemplated for this project. 25% is simply not enough, not when this rezoning will generate hundreds of millions of dollars in development value and likely receive 35-years of property tax abatements. They can and should do a lot better here.

Thank you.



COMMUNITY BOARD No. 1

435 GRAHAM AVENUE - BROOKLYN, NY 11211- 8813

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HON. ERIC L. ADAMS
BROOKLYN BOROUGH PRESIDENT



SIMON WEISER
FIRST VICE-CHAIRMAN

DEL TEAGUE
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COUNCILMEMBER, 33rd CD

HON. ANTONIO REYNOSO
COUNCILMEMBER, 34th CD

September 14, 2021

COMMITTEE REPORT

Parks & Waterfront Committee Meeting
Monday, August 30, 2021
(held at Bushwick Inlet Park)

TO: CB#1 Chairperson Ms. Dealice Fuller
and Board Members

FROM: Philip A. Caponegro, Committee Chair
Parks & Waterfront Committee

RE: Committee Meeting held on August 30, 2021.

The Parks & Waterfront Committee met in person, at 6:30 PM, at the Bushwick Inlet Park Facility, 86 Kent Avenue, Brooklyn, NY 11249 (at North 9th Street.)

ATTENDANCE

Present: Philip Caponegro, Trina McKeever, Stephen Chesler, Mary Odomirok.

Absent: Carbone; Cianciotta; Elkins; Golstein; Horowitz; Lebovits; Miceli; Peterson;
Cappucci *; Berger* Raymond*) [** non-board committee member*].

(A quorum was not achieved)

1.) Update on Marsh P. Johnson State Park

An update was presented by Ms. Leslie Wright, NYC Regional Director, New York State Parks, Recreation & Historic Preservation. It was noted that because of the many changes made to the original design, there will be a rebidding for the construction contract after Labor Day (September 6, 2021). All construction will be completed by the Spring of 2022.

Key elements that will be added to the park are:

- Gateway Treatment at the entrance
- Decorative Parkhouse
- Public Art to be permanently placed in the park.

(A steering committee from the community will be formed to address this issue)

It was brought to the committee's attention that Bushwick Inlet Park closes at 10:00 PM, and that the Marsha P. Johnson State Park closes at 9:00 PM. We will work with NY State Parks to add this extra hour at closing time .

2.) **Letter to OMB** (attached)

A motion was made by the committee members who were present to send a letter to Mr. Joseph Taranto, Chief of Staff/OMB, for the immediate demolition of the Citi Storage building at Bushwick Inlet Park.

The motion was made by Mr. Chesler and seconded by Ms. McKeever.

The vote was unanimous: 4-0-0 (Caponegro; McKeever; Chesler; Odomirok) in favor of the motion.

Thank You.

Philip A. Caponegro
Chair
Parks & Waterfront Committee

Friends of
**Bushwick
Inlet Park**

August 13, 2021

Joseph Taranto
Chief of Staff
City of New York
Mayor's Office of Management and Budget
255 Greenwich Street, 8th Floor
New York, NY 10007

Dear Mr. Taranto:

We, the undersigned coalition of North Brooklyn community associations, urgently implore the Office of Management and Budget to allow the funding for the demolition of the former CitiStorage warehouse located at 5 North 11th Street. This building is located within Bushwick Inlet Park. Bushwick Inlet Park was mapped and planned as a 27-acre park by the City of New York in 2005 as part of the Greenpoint-Williamsburg Waterfront Rezoning. The CitiStorage property was acquired by the city in 2016 with the intent to demolish the building and complete the park. It is our understanding that OMB has prevented the allocation of this critical funding to develop Brooklyn's waterfront.

This abandoned building has become a safety concern for the community and must come down immediately. CitiStorage vacated the building in early 2020. Since it is no longer an operating business it has become a nuisance; people are breaking into the building and the structure has become a site for raves and graffiti. As long as the building remains, this street must remain open, and this nuisance will continue. Situated between 86 Kent, the operating parcel of Bushwick Inlet Park, and 50 Kent, the park parcel currently under construction, the CitiStorage building blocks sight lines from the street.

In the past, driven by issues of safety, funds were allocated for the demolition of structures at 50 Kent and the Bayside Fuel Oil site at Bushwick Inlet Park. Consistent with that, we ask that OMB allow the funding for the demolition of CitiStorage without further delay. This building is a safety concern for the community and must come down.

Please direct questions to:
Steve Chesler
Co-Chair, Friends of Bushwick Inlet Park
info@bushwickinletpark.org
917-804-1313

Sincerely,

Steve Chesler & Katherine Thompson, Co-Chairs
Friends of Bushwick Inlet Park

Christina Roushakes, Regional Commissioner
Greenpoint Williamsburg Youth Soccer League

Paul Samulski, President
North Brooklyn Chamber of Commerce

Anthony Buissereth, Executive Director
North Brooklyn Neighbors

Katie Denny Horowitz, Executive Director
North Brooklyn Parks Alliance

Cory Kantin, Chair
Sustainable Williamsburg

Brian Alfred & Jeff Groner, Directors
Triboro United Soccer Club

cc:

Margaret Nelson, Acting Commissioner, NYC Parks & Recreation
Carolyn Maloney, US Congresswoman
Emily Gallagher, NYS Assemblymember
Brian Kavanagh, NYS Senator
Stephen Levin, NYC Council
Eric Adams, Brooklyn Borough President



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RECORDING SECRETARY

PHILIP A. CAPONEGRO
MEMBER-AT-LARGE

Corrected
September 14, 2021

COMMITTEE REPORT

SLA REVIEW AND DCWP COMMITTEE

TO: Chairperson Dealice Fuller
and CB#1 Board Members

FROM: Thomas J. Burrows, Committee Chair
SLA Review & DCWP Committee

RE: Committee Meeting held via WebEx
On July 27, 2021

The SLA Review & DCWP Committee met via WebEx at 6:30pm on July 27, 2021. Representatives of the Community and other members of the Community Board participated in discussion on a number of the applications resulting in revisions in some applications and postponement of others to gather additional information and to facilitate meetings with Neighborhood and Block Associations before presenting to the Committee. The list of New and Renewal applications was also submitted after the Public Hearing to both the 90 and 94 Precincts of the NYPD. No issues or complaints were reported from either precinct.

ATTENDANCE:

Present: Burrows, Chair; Bachorowski, Co-Chair, Barros, Bruzaitis, Foster, Sopher, Stuart, Cohen*, Daly*(*non-board member)
Absent: Dybanowski, Solano, Torres
Board members: Chesler, Miceli, McKeever, Weiser

(A quorum was present)

LIQUOR LICENSES:

NEW

- 1) **53 Broadway Restaurant LLC, dba Etiquette**, 53 Broadway, (Corporate Change, Renewal, liquor, wine, beer, cider, restaurant)

Committee recommends **Denial**. No appearance by applicant or representative.
The committee voted unanimously to deny the application'

- 2) **221 North 4th Rest. Corp, dba Golden Years**, 221 North 4th Street (Corporate Change, liquor wine, beer, cider, rest)

Committee recommends **Approval**. Applicant removing one member from Board.
The committee voted unanimously to approve the application.

- 3) **An Entity to be formed by Barbara & James Piliero, dba TBD**, 61, 71, 75 Ingraham Street, (New, liquor, wine, beer, cider, Bar, Tavern)

Committee recommends **Denial**. No appearance by applicant or representative.
The committee voted unanimously to deny the application.

- 4) **Brooklyn Dynamic Squared LLC, dba Lucy's Vietnamese**, 112 Berry Street, (New, wine, beer, cider, rest)

Committee recommends **Approval** with conditions. (Wine/Beer)

This application is for a Beer/Wine license for an existing restaurant. Applicant is to add additional sound dampening in the back yard, soften the hard surface of the cinder block wall by adding plants and hangings and replace the picket fence with a solid 8' fence.

The Committee received emails of both support and opposition to this application. Shannon Phipps spoke on behalf of the Berry Street Alliance. This group had also provided an email to the Committee voicing their opposition to the license citing the use of the backyard, questioning how noise could possibly be mitigated from the backyard and lamenting the oversaturation of Berry Street with alcohol licenses and the noise, congestion and other quality of life issues related to open streets and open restaurants.

The committee voted unanimously to approve the application with conditions.

- 5) **Caracas Café I, IIc, dba Caracas arepa bar**, 291 Grand Street, (Renewal, liquor, wine, beer, cider, rest)

Committee recommends **Approval**.
The committee voted unanimously to approve the application.

- 6) **Franklin Tasty Food Inc.**, 157 Franklin Street, (New, wine, beer, cider, rest)

Committee recommends **Denial**. No appearance by applicant or representative.
The committee voted unanimously to deny the application.

- 7) **Foodex Brooklyn LLC, dba TBD**, 109 North 3rd Street, (New, liquor, wine, beer, cider)

Committee recommends **Approval**.
The committee voted unanimously to approve the application.

- 8) **Forever Thai Inc., dba TBD**, 1031 Flushing Avenue, (New, liquor, wine, beer, cider, rest)

Committee recommends **Approval**.
The committee voted unanimously to approve the application.

- 9) **I'll Bring the Wines LLC, dba Kini**, 550 Metropolitan Avenue, (New, wine, beer, cider, tavern)

Committee recommends **Approval**. (Wine/Beer)
The committee voted unanimously to approve the application.

- 10) **K Top Chicken Inc, dba TBA**, 639 Driggs Avenue, (New, wine, beer, cider, rest)
 Committee recommends **Approval**. (Wine/Beer)
The committee voted unanimously to approve the application.
- 11) **Mayu Restaurant Inc., dba Warique**, 181 Graham Avenue, (New,wine, beer, cider, rest)
 Applicant requested **Postponement**.
 Information needed; new p.4, photographs, signatures from 179, 181,183.
The committee voted unanimously to postpone the application.
- 12) **Made 21 Inc, 425 Graham Avenue**, (New, liquor, wine beer, cider, rest)
 Applicant requested **Postponement**.
The committee voted unanimously to postpone the application.
- 13) **McCarren Park House LLC, dba McCarren Parkhouse**, 855 Lorimer Street, (New, liquor, wine, beer, cider, rest)
 Committee recommends **Approval**.
 Community members, representatives of community organizations and Community Board members spoke in support of the applicant. Emails of support had also been received by the Community Board office. The Parks and Waterfront Committee also commented. Committee chair and committee members raised questions regarding the hiring practices of the applicant to assure diverse representation of the entire Community Board area, controls in place to keep consumption of alcohol beverages purchased from the applicant staying within the boundaries of the establishment and the closing hour of 1:00am.
The committee voted unanimously to approve the application.
- 14) **New Plant Based Pizza Williamsburg LLC**, dba TBD, 235 Kent Avenue, (New, liquor, wine, beer, cider, rest)
 Committee recommends **Denial**. No appearance by applicant or representative.
The committee voted unanimously to deny the application.
- 15) **Maurizio de Rosa-Borboni LLC**,284 Grand Street, (New, liquor, wine, beer, cider, rest)
 Committee recommends **Approval**.
The committee voted unanimously to approve the application.
- 16) **MFK Gentle Inc.**, 66 South 2nd Street, (New, liquor, wine, beer, cider, rest)
 Committee recommends **Approval** with conditions.
 Applicant must supply additional signatures from adjoining and nearby residential buildings and must stipulate to no roof use ever.
The committee voted unanimously to approve the application with conditions.
- 17) **Mugatu Inc, dba Bar Bruno**, 560 Manhattan Avenue, (New, liquor, wine, beer, cider, rest)
 Committee recommends **Approval** with no outdoor space.
The committee voted unanimously to approve the application with no outdoor space.

- 18) **Plant Based Pizza Williamsburg LLC**, dba TBD, 235 Kent Avenue, (New, liquor, wine, beer, cider)
Committee recommends **Denial**. No appearance by applicant or representative.
- 19) **Tribicha Inc. dba Pies N Thighs**, 166 South 4th Street, (Class Change, liquor, wine, beer, cider, rest)
Committee recommends **Approval** with no outdoor space.
The committee voted unanimously to approve the application with no outdoor space.
- 20) **The Hoxton (Williamsburg) LLC, and Ennismore International USA, INC., dba The Hoxton Williamsburg/Apartment/ Laser Wolf/ K'Far/ Jaffa**, 93-97 Wythe Avenue, (Alteration, liquor, wine, beer, cider, hotel with restaurant)
Applicant requested **Postponement**.
The committee voted unanimously to postpone the application.
- 21) **Valentina Restaurant Corp. dba Dough Vale NYC**, 330 South 3rd Street, (New, wine, beer, cider, rest)
Committee recommends **Approval**. (Wine/Beer)
Applicant to increased sound dampening on outside space. Additional signatures provided.
The committee voted unanimously to approve the application.
- 22) **Williamsburg Tavern & Grill Inc.**, 140 Graham Avenue. (New, liquor, wine, beer, cider)
Applicant requested **Postponement**.
The committee voted unanimously to postpone the application.
- 23) **Walid Idriss, dba Macoletta LLC**, 56 North 9th Street, (New, wine, beer, cider, rest)
Committee recommends **Denial**. No appearance by applicant or representative.
The committee voted unanimously to deny the application.

RENEWALS

- 1) 48 South Fourth Street Corp., dba The Woods, 48 South 4th Street, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 2) Action Burger Inc., 292 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 3) AV 143 LLC, dba Rise Radio, 57 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 4) Brooklyn Flea LLC, 90 Kent Drive, #1210 East River State Park, (Renewal, liquor, wine, beer, cider, bar, tavern) *

- 5) Coyoacan Lorimer LLC, Zona Rosa Brooklyn, 571 Lorimer Street, (Renewal, liquor, wine, beer, cider, rest)
- 6) Cybele LLC, dba A-Pou's Taste, 963 Grand Street, (Renewal, wine, beer, cider, rest)
- 7) Disruption Grain LLC, dba Interboro Spirits & Ales, 942 Grand Street, (Renewal, liquor, wine, beer, cider, bar, tavern, distiller "A")
- 8) Eddie Jr's Sports Lounge Inc., dba Eddie JR's Sports Lounge, 40 Marcy Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 9) EL Ketzalt Corp, dba HAAB, 202 Leonard Street A, (Renewal, wine, beer, cider, rest)
- 10) Elsewhere LLC, dba Elsewhere, 599 Johnson Avenue, (Renewal, liquor, wine, beer, cider, legitimate theater or concert hall)
- 11) Family Group Enterprises Inc. dba Patrizia Pizza & Pasta, 35 Broadway, (Renewal, wine, beer, cider)
- 12) Graham United Corp. dba 189 Graham Avenue, (Renewal, wine, beer, cider, rest)
- 13) Grand Affairs LL, dba Croxley's The Abbey, 63-65 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 14) Knitting Factory Brooklyn Inc., 361-365 Metropolitan Avenue, (Renewal, liquor, wine, beer, cider, music Venue & Bar)
- 15) Marina Caffè LLC, dba Fabricca Restaurant & Bar, 34 North 6th Street, (Renewal, liquor, wine, beer, cider, rest)
- 16) New Hope Brooklyn LLC, dba Ten Hope, 10 12 Hope Street, (Renewal, liquor, wine, beer, cider, rest)
- 17) Ontario Bar LLC, 559 Grand Street, (Renewal, liquor, wine, beer, cider, corner, neighborhood bar with pool table)
- 18) One Shot Away LLC, dba Jackbar, 143 Havemeyer Street, (Renewal, liquor, wine, beer, cider, bar/tavern)
- 19) Pates & Traditions LLC, dba Pates and Traditions, 52 Havemeyer Street, (Renewal, wine beer, cider, rest)
- 20) Piast European Market Inc., DBA Daniel's European Market, 152 Norman Avenue, (Renewal, beer, & Cider, deli store)

- 21) Pick Quick Foods Inc., dba Key Food, 224 McGuinness Blvd., (Renewal, wine, beer, cider)
- 22) Poquito Fesante LLC, Little Pheasant, 445 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 23) Privilege Lounge INC. dba Privilege Lounge, 140 Graham Avenue, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 24) Spuyten Duyvil LLC, dba Spuyten Dyvil, 359 Metropolitan Avenue, (Renewal, wine, beer, cider, bar, tavern)
- 25). Pomp & Circumstance Hospitality LLC, dba Pomp and Circumstance, 577 Lorimer Street, (Renewal, liquor, wine, beer, cider, rest)
- 26) Sakura 6 Inc., 837 Manhattan Avenue, (Renewal, wine, beer, cider, rest)
- 27) Studio 299 LLC, dba Polygon Brooklyn, 299 Vandervoort Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 28) The Gutter Bar LLC, 200 North 14th Street, (Renewal, liquor, wine, beer, cider, Bowling Establishment)

Renewal licenses were posted at the Public Hearing of the Community Board and all Community Board members were encouraged to review the list and report any issues or concerns to the SLA Committee. The list was also provided to the 90th and 94th Precincts requesting input from the NYPD regarding any problem locations, complaints or problems. Other than item #4 we have received no complaints or concerns and as to all applicants other than #4, the Committee recommends **Approval**.

*Regarding Renewal item #4, **Brooklyn Flea LLC**, 90 Kent Drive, #1210 East River State Park, (Renewal, liquor, wine, beer, cider, bar, tavern).
Committee recommends **Denial**.

Emails were received at the Community Board office regarding this item. Speakers from the community, Community Board members and political leaders spoke in opposition to renewal of this license for what is commonly known as Smorgasburg which occupies two large slabs of the Martha P. Johnson State Park.

A number of concerns have been evident throughout the discussions of the appropriate use of state park land during the review of the renaming and renovation of the Park and community opposition to an RFP that could result in a 10 year contract which was later withdrawn.

The Committee recommends to the Community Board that before a renewal of this license is considered a letter be sent to the New York State Liquor Authority, the New York State Parks Department, and NYS and NYC elected officials that this renewal should not be considered until a RFP for the operation of a commercial food venture in the park is properly issued and reviewed and that there be further community input in the use of the concrete

slabs within the park. Also, considering the capital expenditure put into the project, the financial terms of operating a food market concession should be reassessed and the fees be established and set at a level where NYS taxpayers can recoup some of the capital costs that directly benefit the food market concession. Until these stipulations are established no license renewal should be issued to this applicant.

The committee voted unanimously to approve the renewals with the exception Brooklyn Flea LLC, which the committee denied.

PREVIOUSLY POSTPONED ITEMS

- 1) **Corp to be formed by Meghan Joye, dba Megs Ale House**, 125 Bedford Avenue, (New, liquor, wine, beer, cider, rest, bar).
Continued **Postponement**.
The committee voted unanimously to postpone the application.
- 2) **Justin Ahiyon, 90 Wythe LLC**, 47 Berry Street, (New Liquor, wine, beer, cider, bar, tavern).
Continued **Postponement**.
The committee voted unanimously to postpone the application.
- 3) **LFG Pizza LLC, dba TBD**, 305 Bedford Avenue, (New. wine, beer, cider, rest).
Committee recommends **Approval** with no outdoor seating. (Wine/Beer)
The committee voted unanimously to approve the application with not outdoor seating.
- 4) **Masquerade Brooklyn I LLC, dba Masquerade**, 351 Broadway, (New, liquor, wine, beer, cider, rest). *(No Action --- Voted on at previous Board meeting).*
- 5) **Rossi's Lounge LLC**, 25 Broadway, (New, liquor, wine, beer, cider, bar, tavern).
Committee recommends **Approval** with revised p. 4 to remove outdoor seating and change closing hours.
Item was postponed from prior meeting for applicant to meet with Lower Broadway Association, Community Board members from area and others. A petition was also provided. The applicant will remove outdoor space and roll back closing hours to Midnight Sunday-Wednesday and 1:00am Thursday to Saturday.
The committee voted unanimously to approve the application with changed hours and to remove the outdoor space.
- 6) **Taqueria Ramirez LLC, 94 Franklin Street**, (New, beer, cider, rest)
Committee recommends **Approval** of Revised Application that incorporates the agreement reached with the impacted community organization. (Wine/Beer)
The committee voted unanimously to approve the application incorporating the agreement reached by the impacted community organization.
- 7) **Trench Town Rock Corporation, dba Trench Town**, 134 Metropolitan Avenue, (New, liquor, wine, beer, cider, rest).

Applicant withdrew application. *(No action taken as the application was withdrawn).*

The next meeting of the SLA Review & DCWP Committee is scheduled as follows:

WHEN: Tuesday, October 26, 2021
TIME: 6:30 PM
WHERE: Via WEBEX



COMMUNITY BOARD No. 1

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HON. ANTONIO REYNOSO
COUNCILMEMBER, 34th CD

September 14, 2021

LAND USE REPORT

For September 1, 2021 public Hearing
and September 9, 2021 Committee Meeting

TO: Chairperson Ms. Dealice Fuller
and CB#1 Board Members

FROM: Ms. Del Teague, Committee Chair

RE: Land Use, ULURP & Landmarks [subcommittee] Committee
Report for September 1, 2021 Public Hearing
and September 9, 2021 Committee Meeting.

The Committee held an in-person public hearing on Wednesday, September 1, 2021 at 6:30 PM, at MS 126 (John Ericsson Middle School facility), 424 Leonard Street, Brooklyn, NY 11222. The committee subsequently held its meeting on Thursday, September 9, 2021 via WEBEX at 6:30 PM.

ATTENDANCE

September 1, 2021

Present: Teague; McKeever; Chesler; Indig; Miceli; Nieves; Sofer; Solano; Vega; Weidberg; Weiser; Berger*; Kantin*; Kawochka*; Naplatarski*; Stone*

Absent: Viera; Drinkwater; Kaminski; Lebovits; Rabbi Niederman; Andrews* (*non-board committee member).

September 9, 2021

Present: Teague; Viera; McKeever; Chesler; Drinkwater; Indig; Kaminski; Miceli; Rabbi Niederman; Nieves; Solano; Vega; Weiser; Andrews*; Berger*; Kantin*; Kawochka*; Naplatarski*; Stone*.

Absent: Lebovits; Sofer; Weidberg.

AGENDA:

(1.) **ANNOUNCEMENT: 1 WYTHE AVENUE IBIA SPECIAL PERMIT (C210272ZSK, N220031LDK, N210273ZRK)** - requesting a zoning special permit. This is a private application

by One Wythe LLC requesting a zoning special permit pursuant to Section 74-962 and 74-963 and zoning text amendment pursuant to ZR 74-96 to facilitate a new 8-story commercial and industrial building at 1 Wythe Avenue in the Greenpoint neighborhood of Brooklyn Community District 1, will be heard and voted on at the full board meeting on September 14, 2021.

(2.) **OPEN RESTAURANTS/SIDEWALK CAFES ZONING TEXT AMENDMENT.** New York City is working to create a permanent, streamlined Open Restaurants program. As part of this program, the Department of City Planning and Department of Transportation propose a zoning text amendment **to remove geographic restrictions on where sidewalk cafes can be located within NYC.** To be eligible for a sidewalk café, restaurants would need to meet physical criteria -- such as “clear path” requirements, including ensuring that table and chairs are appropriate distances from fire hydrants and neighboring businesses. The proposal would not change the process for how sidewalk cafes are reviewed by local community boards; but, the areas where they can be considered would expand to all neighborhoods. This proposed amendment to NYC’s Zoning Resolution complements proposed legislative changes that would **cut red tape for restaurant owners.** Applications for the sidewalk café program and a new roadway café program would be consolidated under one agency, the Department of Transportation (DOT)

Ms. Alexandra Paty-Diaz and Mr. Ben Huff Presented.

At the full board’s public hearing many board members and residents agreed that the restaurants had suffered through no fault of their own from the shutdowns and needed help getting back on their feet. However, there was much opposition to the overall Open Restaurants plan due to a lack of safety standards regulating the construction of the outdoor sheds, the increase in garbage and noise associated with the use of the sheds and sidewalk cafes, the reduction in parking spaces and size of sidewalk space for pedestrians, and the permanent nature of the amendment. Most speakers felt it was premature to ask for the board’s approval even of this initial request for the text amendment (which is allegedly targeting only the decrease of regulations on restaurants’ ability to apply for permission to have a sidewalk café) until these concerns were met.

The committee acknowledged the recent meeting of community board leaders and the strong opposition to granting this application until the city presented the details of the overall all plan for sidewalk cafes and Open Restaurant regulations. It was noted that restaurants still have time to take advantage of the current emergency regulations. In the meantime, the city should present a plan for oversight, including inspections and enforcement of sanitation and noise regulations. In addition, the city should meet with the land use and SLA committees to discuss whether the plan is a good fit for our neighborhood.

Recommendation:

Deny the application as premature.

18 in favor of the motion to deny.

0 against the motion to deny.

(3.) **79 QUAY STREET APPLICATION FOR ZONING MAP AMENDMENT.** (ULURP Number: C210166ZMK; N210167ZRK) A zoning map amendment (M1-2/R6A [MX-8] to M1-4/R7D [MX-8]) and text amendment (123-00 and Appendix F), to facilitate a new nine-story residential and commercial building (approximately 92,1000 sf and 83 DUs), are sought by

private applicant Quay Plaza LLC at 79 Quay Street in Greenpoint, Community District 1, Brooklyn.

Mr. Richard Lobel and Ms. Fayanne Betan presented.

This is an application to amend the zoning map from an M1-2/R6A District to an M1-4/R7D district. The change would allow for two more stories and larger 1–2-bedroom affordable units instead of studios and 1-bedroom units. The plan is to have 86 units, with either 22 or 26 affordable units, plus, 10,000 sq. feet of commercial use on the ground floor. Given the new higher water table the building will be elevated to meet the requirements. There will be greenery put in on the sidewalk, but there are no open space amenities for the public, due to the small 13,000 sq. foot size of the site.

The committee members felt the application had positive potential; however, they felt the design had too many horizontal hotel-like lines, which were not contextual with the surrounding buildings. The owner stated he was willing to work with his architect to try to make the building more interesting and contextual.

In light of the absence of open space amenities for the public, the committee asked if the owner was willing to consider contributing to the Bushwick Inlet Park, which is only a block away. He said he was willing to consider such a donation.

The owner also agreed to work with the coalition of block associations in the immediate community to provide appropriate retail diversity in the commercial space.

Recommendation:

Approve the application with the following conditions.

- 1- The owner will work with his architect to make the building more interesting and contextual, with less horizontal, hotel-like lines.
- 2- The owner will work with the Parks Department to make a long-term contribution towards the maintenance of the Bushwick Inlet Park.
- 3- The owner will work with the coalition of block associations in the immediate community to provide appropriate retail diversity in the commercial space.
- 4- The owner will utilize more green and sustainable elements than just providing greenery around the building, e.g., a green roof, carbon absorbing concrete, sourcing energy from non-fossil fuel sources, incorporating “vertical forest of Milan” concepts, and rain gardens on the curb.

Vote: 18 in favor of the motion

0 against the motion

(4.) RIVER RING PUBLIC HEARING and POST-PUBLIC HEARING DELIBERATION.

The applicant, River Street Partners LLC, seeks a Zoning Map Amendment, Zoning Text Amendments, Large-Scale General Development Special Permits, Waterfront Certification, and Authorizations, and a Landfill action to facilitate a new mixed-use development with approximately 1,050 residential units including 263 affordable units, commercial, community facility space, and waterfront public access areas in Williamsburg, Community District 1, Brooklyn. [Zoning Map Amendment ULURP Number: C220062ZMK, Zoning Text Amendment ULURP Number: N220063ZRK; Zoning Special Permit ULURP Number: C220064ZSK; Zoning Authorization ULURP Number: N220065ZAK; Zoning Certification ULURP Number: N220066ZCK (Legal Document NOC, NOR, RD) ULURP Number: N220067LDK; Zoning Authorization ULURP Number: N220068ZAK Zoning Authorization ULURP Number: N220069ZAK; Zoning Special Permit ULURP Number: C220070ZSK.]

On September 1, 2021, the committee conducted a public hearing at which the River Ring application was presented.

The committee then heard oral testimony from CB1 residents and several non-CB1 residents who spoke in favor of the application, as well as those who were opposed. The committee also received a petition with over 7,605 signatures in opposition, as well as written testimony urging approval, disapproval, and conditional approval.

Testimony in favor:

In sum, the testimony in favor of the application centered primarily around support for the promise of affordable housing, the possibility that the building will house a “Y”, and the open space plans.

With respect to affordable housing, several speakers acknowledged the development fatigue felt by the residents and the strain on our infrastructure but argued that Williamsburg might as well take on additional market-rate development in order to save the surrounding areas from suffering the same fate. One speaker suggested we should trap all the rich people in the two towers, so they won’t spill over to adjoining areas.

With respect to the projected open space, one speaker from Coney Island stated the outdoor space will attract large numbers of people from outside the community, making Williamsburg "the place to be".

With respect to the possibility that the building will house a "Y", representatives from the "Y" stated they could not give any specific information or commitments regarding details of the aquatic facility that might be established at the site, nor could they commit to any particular services that might be offered to the Greenpoint area by the Greenpoint branch.

Testimony in opposition:

Testimony in opposition to the application argued that the proposal for the site, if re-zoned, is not viable for the community. More specifically it was said that the project would be radically out of scale for the neighborhood and would bring a host of issues for already overburdened transportation, schools, sanitation, traffic conditions, general quality of life and our infrastructure overall. Speakers and written testimony stated that the promised affordable units are not sufficient to counter-balance the effect that the market rate units will have on increasing the cost of living and the pressure on homeowners to further sell out to developers. A member of Catholic Charities agreed and estimated that only 50 affordable units would provide housing to the local residents.

Many speakers and testimonial argued that the proposed park is not large enough to accommodate the projected additional 2,500 residents as well as the expected influx of people from within and without the community.

Testimony also raised objection to the 421-A tax breaks, arguing that the development will not provide its fair share of revenue.

Other speakers felt that the limited industrial zoned parcels that we have left, and that the community board has said needs to be protected, should not be given up.

A motion was made that we vote No with the following conditions:

- Two Trees must rent all affordable housing units in their 1 South 1st Street development to honor prior community affordable housing commitments.
- Reduce total number of apartment units in the project by 33%, to reduce the anticipated increased load on existing overcapacity on subway transit, vehicular traffic, pedestrian traffic, wastewater and with street sanitation storage and collection, and open space.

- Increase the number of total affordable units to 50% to support deeper diversity and affordable living in the neighborhood.
- 60% of affordable units must be 2 & 3-bedroom units to encourage long term family occupancy.
- Within all affordable units one bedroom must be a minimum of 128 square feet to comfortably accommodate bedroom furniture, a closet and efficient movement throughout the room.
- The City of New York must include funding for the full completion of Bushwick Inlet Park in their 10-year capital plan so the fully operational park can help mitigate the existing severe local open space deficiencies that will persist if this project is built out and the massive population increase from the quantity of current and future local waterfront housing developments.
- The project must use a fossil-free energy source such as a geothermal heat loop system instead of a natural gas reliant system for heating, which will work to have the project more aggressively meet the challenging but critical goals of the New York City Climate Protection Act, Climate Leadership and Community Protection Act and those set by the Intergovernmental Panel on Climate Change.
- Redesign the towers so that they are significantly less obtrusive and oppressive in feel and fit more contextually with nearby structures and better connect with the historic fabric of the neighborhood.
- Two Trees must negotiate in good faith with the New York City & Vicinity District Council of Carpenters to ensure the project adheres to the safest and best construction work practices.
- Two Trees must negotiate in good faith with local workforce organizations in order to provide service jobs for local job seekers.
- Two Trees must provide funding in perpetuity for a local, independent agency or organization to oversee and enforce the rental fees and increases of affordable and market-rate apartments.
- Two Trees and the City of New York must present and execute a plan to manage the steadily increasing volume of street trash that has come with the incredible volume of additional area residents that the project will exacerbate.
- Before being granted any rezoning, Two Trees must present community facility architectural design plans which verify that the YMCA facility will serve the stated purpose and promise of serving both the Williamsburg and Greenpoint communities as well as 250 school children annually; it must show that the size and location of the facility elements including pool, locker rooms, saunas, facility/pool access including elevator, pool depth and lane width, lifeguard station, staging area and pool equipment, weight rooms, full gym arena, and exercise rooms are adequate as a full service facility for the communities. The community facility must be built out and in operation before the building can be occupied as a rental.

Discussion

The committee discussed the importance of protecting our dwindling manufacturing/industrial zoning and the fact that there are many options for using that site as of right. Many agreed that we must not give up the current zoning unless the proposed alternate use is a clear benefit over the possible as of right uses.

There followed discussion regarding whether we should vote "*No With Conditions*" or "*Yes With Conditions*". Members in favor of "*No With Conditions*" felt such a vote would make the seriousness of our demands clearer. Members in favor of "*Yes With Conditions*" thought the conditions would be taken more seriously with that vote.

Mr. Richard Bearak, from the Borough President's office, and Mr. Ben Solitaire, representing Council Member Steve Levin, assured us that either way the conditions would be looked at with equal weight. They advised that we vote whichever way we felt would give the overall message we wanted to give.

Mr. Richard Bearak further explained that when the conditions are a significant change from what is proposed, the vote is often "*No With Conditions*". Several members reminded the group that the vote on Transmitter Park was "*No With Conditions*", and essentially all of the conditions were met.

Recommendation:

Deny the application with the above conditions.

Vote:

11 – in favor of the motion

9 – against the motion **

** Members questioned whether two of the votes against the motion (both by non-board committee members) should be recusals, because one is on the board of St. Nicks Alliance, which has an agreement with the developer to manage the affordable units, and the other is on the board of the Greenpoint YMCA. The board member of St. Nicks Alliance said he decided he did not have to recuse himself because the agreement is not in writing. The board member of the Greenpoint YMCA said he does not have to recuse himself because the agreement with the developer to house a YMCA was not made specifically with the Greenpoint branch but was made with the parent YMCA organization.