

**376-382 WALLABOUT STREET**  
**BROOKLYN, NEW YORK**

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# **Remedial Action Work Plan**

**NYC VCP Number: 13CVCP150K**  
**E-Designation Site Number: 13EHAN469K**

**Prepared for:**

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# **REMEDIAL ACTION WORK PLAN**

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## LIST OF ACRONYMS

Acronym	Definition
AOC	Area of Concern
AS/SVE	Air Sparging/Soil Vapor Extraction
BOA	Brownfield Opportunity Area
CAMP	Community Air Monitoring Plan
C/D	Construction/Demolition
COC	Certificate of Completion
CQAP	Construction Quality Assurance Plan
CSOP	Contractors Site Operation Plan
DCR	Declaration of Covenants and Restrictions
ECs/ICs	Engineering and Institutional Controls
HASP	Health and Safety Plan
IRM	Interim Remedial Measure
VCA	Voluntary Cleanup Agreement
MNA	Monitored Natural Attenuation
NOC	Notice of Completion
NYC VCP	New York City Voluntary Cleanup Program
NYC DEP	New York City Department of Environmental Protection
NYC DOHMH	New York State Department of Health and Mental Hygiene
NYCRR	New York Codes Rules and Regulations
NYC OER	New York City Office of Environmental Remediation
NYS DEC	New York State Department of Environmental Conservation
NYS DEC DER	New York State Department of Environmental Conservation Division of Environmental Remediation
NYS DOH	New York State Department of Health
NYS DOT	New York State Department of Transportation
ORC	Oxygen-Release Compound
OSHA	United States Occupational Health and Safety Administration
PE	Professional Engineer

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PID	Photo Ionization Detector
QEP	Qualified Environmental Professional
QHHEA	Qualitative Human Health Exposure Assessment
RAOs	Remedial Action Objectives
RAR	Remedial Action Report
RAWP	Remedial Action Work Plan or Plan
RCA	Recycled Concrete Aggregate
RD	Remedial Design
RI	Remedial Investigation
RMZ	Residual Management Zone
SCOs	Soil Cleanup Objectives
SCG	Standards, Criteria and Guidance
SMP	Site Management Plan
SPDES	State Pollutant Discharge Elimination System
SVOC	Semi-Volatile Organic Compound
USGS	United States Geological Survey
UST	Underground Storage Tank
VOC	Volatile Organic Compound

# CERTIFICATION

I, Ariel Czemerinski, am a Professional Engineer licensed in the State of New York. I have primary direct responsibility for implementation of the remedial action for the Redevelopment Project located at 376-382 Wallabout Street, Brooklyn, New York, VCP Site number 13CVCP150K.

I certify that this Remedial Action Work Plan (RAWP) has a plan for handling, transport and disposal of soil, fill, fluids and other materials removed from the property in accordance with applicable City, State and Federal laws and regulations. Importation of all soil, fill and other material from off-Site will be in accordance with all applicable City, State and Federal laws and requirements. This RAWP has provisions to control nuisances during the remediation and all invasive work, including dust and odor suppression.

\_\_\_\_\_  
Name

\_\_\_\_\_  
NYS PE License Number

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



## **EXECUTIVE SUMMARY**

Throop Wallabout Realty, LLC has enrolled in the New York City Voluntary Cleanup Program (NYC VCP) to investigate and remediate a 10,000-ft<sup>2</sup> Site located at 376-382 Wallabout Street in Brooklyn, New York. A remedial investigation (RI) was performed to compile and evaluate data and information necessary to develop this Remedial Action Work Plan (RAWP). The remedial action described in this document provides for the protection of public health and the environment consistent with the intended property use, complies with applicable environmental standards, criteria and guidance and conforms with applicable laws and regulations.

### **Site Location and Current Usage**

The Site is located at 376-382 Wallabout Street in the Williamsburg section of Brooklyn, New York, and is identified as Block 2266 and Lots 14, 15, 16 and 17 on the New York City Tax Map. Figure 1 shows the Site location. The Site is 10,000-square feet and is bounded by Wallabout Street and Block 2250 Lots 41 and 46 (single story industrial buildings) to the north, Block 2266 Lot 46 (vacant lot) to the south, Block 2266 Lot 18 (vacant lot) to the east, and Block 2266 Lot 13 (multi-story residential building) to the west. A map of the site boundary is shown in Figure 2. Currently, the Site is comprised of four undeveloped vacant 25ft by 100ft uncapped lots.

### **Summary of Proposed Redevelopment Plan**

The proposed future use of the Site will consist of redeveloping the Lot with a 4-story apartment building. The 25.48 ft wide tax lot will have a full cellar beneath the footprint of the building. The building will extend approximately 65 feet. Therefore, the gross building square footage will be approximately 8,125 ft<sup>2</sup>. There will be a rear cellar level walk-out court yard behind the building, which will be approximately 35 feet deep. The concrete slab of the cellar will be approximately 6 feet 4 inches below sidewalk level. The street front portion of the cellar will consist of a boiler room, gas meter room, electric meter room and a large open cellar area. The remaining portions of the cellar will consist of residential space. The building will consist of three residential units.

Excavation for each new building and rear cellar level court yard will likely extend to a depth of approximately 8 feet below grade for construction of the buildings cellar levels and foundations. Assuming an excavation volume of approximately 25 feet (wide) by 100 feet (length) and 8 feet (deep), a total of approximately 750 cubic yards (1,100 tons) of soil will require excavation. The slab and rear cellar level court yard for each building will be capped with a 1 ft 6 inch layer of concrete.

### **Summary of the Remedy**

The proposed remedial action achieves protection of public health and the environment for the intended use of the property. The proposed remedial action achieves all of the remedial action objectives established for the project and addresses applicable standards, criterion, and guidance; is effective in both the short-term and long-term and reduces mobility, toxicity and volume of contaminants; is cost effective and implementable; and uses standards methods that are well established in the industry.

The proposed remedial action will consist of:

1. Preparation of a Community Protection Statement and implementation of all required NYC VCP Citizen Participation activities according to an approved Citizen Participation Plan;
2. Performance of a Community Air Monitoring Program for particulates and volatile organic carbon compounds;
3. Establishment of Track 1 Unrestricted Use Soil Cleanup Objectives (SCOs);
4. Site mobilization involving Site security setup, equipment mobilization, utility mark outs and marking & staking excavation areas;
5. Excavation and removal of soil/fill exceeding Track 1 Unrestricted Use SCOs. For development purposes, the entire property will be excavated to a depth of 8 feet;
6. Screening of excavated soil/fill during intrusive work for indications of contamination by visual means, odor, and monitoring with a PID. Appropriate segregation of excavated media on-Site;
7. Removal of underground storage tanks (if encountered) and closure of petroleum spills (if evidence of a spill/leak is encountered during Site excavation) in compliance with applicable local, State and Federal laws and regulations;

8. Transportation and off-Site disposal of all soil/fill material at permitted facilities in accordance with applicable laws and regulations for handling, transport, and disposal, and this plan. Sampling and analysis of excavated media as required by disposal facilities;
9. Collection and analysis of end-point samples to determine the performance of the remedy with respect to attainment of SCOs;
10. Import of materials to be used for backfill and cover in compliance with this plan and in accordance with applicable laws and regulations;
11. As part of development, installation of a vapor barrier below the basement concrete slab and behind the foundation walls of the proposed building;
12. As part of construction, installation of an passive sub slab depressurization system;
13. As part of development, construction and maintenance of an engineered composite cover consisting of a 12 inches thick concrete basement slab and 4 inches thick rear cellar level courtyard cap;
14. Implementation of storm-water pollution prevention measures in compliance with applicable laws and regulations;
15. Performance of all activities required for the remedial action, including permitting requirements and pretreatment requirements, in compliance with applicable laws and regulations;
16. Submission of a Remedial Action Report (RAR) that describes the remedial activities, certifies that the remedial requirements have been achieved, defines the Site boundaries, lists any changes from this RAWP, and, if Track 1 SCOs are not achieved, describes all Engineering and Institutional Controls to be implemented at the Site;
17. If Track 1 is not achieved, submission of an approved Site Management Plan (SMP) in the RAR for long-term management of residual contamination, including plans for maintenance, monitoring, inspection and certification of Engineering and Institutional Controls and reporting at a specified frequency; and
18. If Track 1 is not achieved, the property will continue to be flagged with an E-Designation by the NYC Buildings Department. Establishment of Engineering Controls and Institutional Controls in this RAWP and a requirement that management of these controls must be in compliance with an approved SMP. Institutional Controls will include prohibition of the following: (1) vegetable gardening and farming; (2) use of groundwater

without treatment rendering it safe for the intended use; (3) disturbance of residual contaminated material unless it is conducted in accordance with the SMP; and (4) higher level of land usage without OER-approval.

## COMMUNITY PROTECTION STATEMENT

The Office of Environmental Remediation (OER) created the New York City Voluntary Cleanup Program (NYC VCP) to provide governmental oversight for the cleanup of contaminated property in NYC. This Remedial Action Work Plan (“cleanup plan”) describes the findings of prior environmental studies that show the location of contamination at the Site, and describes the plans to clean up the Site to protect public health and the environment.

This cleanup plan provides a very high level of protection for neighboring communities and also includes many other elements that address common community concerns, such as community air monitoring, odor, dust and noise controls, hours of operation, good housekeeping and cleanliness, truck management and routing, and opportunities for community participation. The purpose of this Community Protection Statement is to explain these community protection measures in non-technical language to simplify community review.

**Remedial Investigation and Cleanup Plan.** Under the NYC VCP, a thorough cleanup study of this property (called a remedial investigation) has been performed to identify past property usage, to sample and test soils, groundwater and soil vapor, and identify contaminant sources present on the property. The cleanup plan has been designed to address all contaminant sources that have been identified during the study of this property.

**Identification of Sensitive Land Uses.** Prior to selecting a cleanup, the neighborhood was evaluated to identify sensitive land uses nearby, such as schools, day care facilities, hospitals and residential areas. The cleanup program was then tailored to address the special conditions of this community.

**Qualitative Human Health Exposure Assessment.** An important part of the cleanup planning for the Site is the performance of a study to find all of the ways that people might come in contact with contaminants at the Site now or in the future. This study is called a Qualitative Human Health Exposure Assessment (QHHEA). A QHHEA was performed for this project. This assessment has considered all known contamination at the Site and evaluated the potential for people to come in contact with this contamination. All identified public exposures will be addressed under this cleanup plan.

**Health and Safety Plan.** This cleanup plan includes a Construction Health and Safety Plan (CHASP) that is designed to protect community residents and on-Site workers. The elements of this plan are in compliance with safety requirements of the United States Occupational Safety and Health Administration (OSHA). This plan includes many protective elements including those discussed below.

**Site Safety Coordinator.** This project has a designated Site Safety Coordinator to implement the Health and Safety Plan. The Site Safety Coordinator maintains an emergency contact sheet and protocol for management of emergencies. The Site Safety Coordinator is Mr. Kevin Waters of Environmental Business Consultants. Mr. Waters can be reached at (631) 504-6000.

**Worker Training.** Workers participating in cleanup of contaminated material on this project are required to be trained in a 40-hour hazardous waste operators training course and to take annual refresher training. This pertains only to workers performing specific tasks including removing hazardous material and installing cleanup systems in contaminated areas.

**Community Air Monitoring Plan.** Community air monitoring will be performed during this cleanup project to ensure that the community is properly protected from contaminants, dust and odors. Air samples will be tested in accordance with a detailed plan called the Community Air Monitoring Plan (CAMP). Results will be regularly reported to the NYC OER. This cleanup plan also has a plan to address any unforeseen problems that might occur during the cleanup (called a 'Contingency Plan').

**Odor, Dust and Noise Control.** This cleanup plan includes actions for odor and dust control. These actions are designed to prevent off-Site odor and dust nuisances and includes steps to be taken if nuisances are detected. Generally, dust is managed by application of physical covers and by water sprays. Odors are controlled by limiting the area of open excavations, physical covers, spray foams and by a series of other actions (called operational measures). The project is also required to comply with NYC noise control standards. If you observe problems in these areas, please contact the on-Site Project Manager, Kevin Brussee at (631) 504-6000 or NYC Office of Environmental Remediation Project Manager, Rebecca Bub at (212) 341.2073.

**Quality Assurance.** This cleanup plan requires that evidence be provided to illustrate that all cleanup work required under the plan has been completed properly. This evidence will be summarized in the final report, called the Remedial Action Report. This report will be submitted to the NYC Office of Environmental Remediation and will be thoroughly reviewed.

**Storm-Water Management.** To limit the potential for soil erosion and discharge, this cleanup plan has provisions for storm-water management. The main elements of the storm water management include physical barriers such as tarp covers and erosion fencing, and a program for frequent inspection.

**Hours of Operation.** The hours for operation of cleanup will comply with the NYC Department of Buildings construction code requirements or according to specific variances issued by that agency. For this cleanup project, the hours of operation are 7:00AM to 6:00PM Monday through Friday.

**Signage.** While the cleanup is in progress, a placard will be prominently posted at the main entrance of the property with a laminated project Fact Sheet that states that the project is in the NYC Voluntary Cleanup Program, provides project contact names and numbers, and locations of project documents can be viewed.

**Complaint Management.** The contractor performing this cleanup is required to address all complaints. If you have any complaints, you can call the facility Project Manager, Mr. Kevin Brussee (EBC) at (631) 504-6000, the NYC Office of Environmental Remediation Project Manager, Rebecca Bub at (212) 341-2073, or call 311 and mention the Site is in the NYC Voluntary Cleanup Program.

**Utility Mark-outs.** To promote safety during excavation in this cleanup, the contractor is required to first identify all utilities and must perform all excavation and construction work in compliance with NYC Department of Buildings regulations.

**Soil and Liquid Disposal.** All soil and liquid material removed from the Site as part of the cleanup will be transported and disposed of in accordance with all applicable City, State and Federal regulations and required permits will be obtained.

**Soil Chemical Testing and Screening.** All excavations will be supervised by a trained and properly qualified environmental professional. In addition to extensive sampling and chemical testing of soils on the Site, excavated soil will be screened continuously using hand-held instruments, by sight, and by smell to ensure proper material handling and management, and community protection.

**Stockpile Management.** Soil stockpiles will be kept covered with tarps to prevent dust, odors and erosion. Stockpiles will be frequently inspected. Damaged tarp covers will be promptly replaced. Stockpiles will be protected with silt fences. Hay bales will be used, as needed to protect storm water catch basins and other discharge points.

**Trucks and Covers.** Loaded trucks leaving the Site will be covered in compliance with applicable laws and regulations to prevent dust and odor. Trucks will be properly recorded in logs and records and placarded in compliance with applicable City, State and Federal laws, including those of the New York State Department of Transportation. If loads contain wet material that can leak, truck liners will be used. All transport of materials will be performed by licensed truckers and in compliance with all laws and regulations.

**Imported Material.** All fill materials proposed to be brought onto the Site will comply with rules outlined in this cleanup plan and will be inspected and approved by a qualified worker located on-Site. Waste materials will not be brought onto the Site. Trucks entering the Site with imported clean materials will be covered in compliance with applicable laws and regulations.

**Equipment Decontamination.** All equipment used for cleanup work will be inspected and washed, if needed, before it leaves the Site. Trucks will be cleaned at a truck inspection station on the property before leaving the Site.

**Housekeeping.** Locations where trucks enter or leave the Site will be inspected every day and cleaned regularly to ensure that they are free of dirt and other materials from the Site.

**Truck Routing.** Truck routes have been selected to: (a) limit transport through residential areas and past sensitive nearby properties; (b) maximize use of city-mapped truck routes; (c) limit total distance to major highways; (d) promote safety in entry to highways; (e) promote overall safety

in trucking; and (f) minimize off-Site line-ups (queuing) of trucks entering the property. Operators of loaded trucks leaving the Site will be instructed not to stop or idle in the local neighborhood.

**Final Report.** The results of all cleanup work will be fully documented in a final report (called a Remedial Action Report) that will be available for you to review in the public document repositories located at the Brooklyn Library - Bushwick Branch (340 Bushwick Avenue)..

**Long-Term Site Management.** To provide long-term protection after the cleanup is complete, the property owner will be required to comply with an ongoing Site Management Plan (If Track 1 is not achieved) that calls for continued inspection of protective controls, such as Site covers. The Site Management Plan is evaluated and approved by the NYC OER. Requirements that the property owner must comply with are established through a cit environmental designation. A certification of continued protectiveness of the cleanup will be required from time to time to show that the approved cleanup is still effective.

# REMEDIAL ACTION WORK PLAN

## 1.0 SITE BACKGROUND

Throop Wallabout Realty, LLC has enrolled in the New York City Voluntary Cleanup Program (NYC VCP) to investigate and remediate a property located at 376-382 Wallabout Street in the Williamsburg section of Brooklyn, New York (the Site). A Remedial Investigation (RI) was performed to compile and evaluate data and information necessary to develop this Remedial Action Work Plan (RAWP) in a manner that will render the Site protective of public health and the environment consistent with the contemplated end use. This RAWP establishes remedial action objectives, provides remedial alternatives analysis that includes consideration of a permanent cleanup, and provides a description of the selected remedial action. The remedial action described in this document provides for the protection of public health and the environment, complies with applicable environmental standards, criteria and guidance and applicable laws and regulations.

### 1.1 Site Location and Current Usage

The Site is located at 376-382 Wallabout Street in the Williamsburg section of Brooklyn, New York, and is identified as Block 2266 and Lots 14, 15, 16, and 17, on the New York City Tax Map. Figure 1 shows the Site location. The Site is 10,000-square feet and is bounded by Wallabout Street and Block 2250 Lots 41 and 46 (single story industrial buildings) to the north, Block 2266 Lot 46 (vacant lot) to the south, Block 2266 Lot 18 (vacant lot) to the east, and Block 2266 Lot 13 (multi-story residential building) to the west. A map of the site boundary is shown in Figure 2. Currently, the Site is comprised of four undeveloped vacant 25ft by 100ft uncapped lots.

### 1.2 Proposed Redevelopment Plan

The proposed future use of the Site will consist of four identical 4-story apartment buildings. Layout of the proposed site development is presented in Figure 3. The current zoning designation for each of the Site Lots is R7A. R7A is a contextual district that allows residential and community facility buildings. The proposed use is consistent with existing zoning for the property.



The four 25 ft wide tax lots will be developed with identical residential four-story masonry buildings with full cellars. Each of the four buildings will extend approximately 65 feet, meeting both side lot lines. Therefore, the gross building square footage for each building is 8,125 ft<sup>2</sup>. There will be a rear cellar level walk-out court yard behind each building, that will be extend from the rear of the building to the rear property line. The concrete slab of the cellar will be approximately 6 feet 4 inches below sidewalk level. The street front portion of the cellar will consist of a boiler room, gas meter room, electric meter room and a large open cellar area. The remaining portions of the cellar will be used as residential and accessory residential space.

Each building will consist of three residential units. Unit #1 consists of the cellar level and first floor, Unit #2 is the second floor and Unit #3 is the third and fourth floors.

Excavation for each new building will likely extend to a depth of approximately 8 feet below grade for construction of the buildings' cellar levels and foundations. In addition, each rear cellar level court yard will require excavation to approximately 8 feet below grade. Assuming an excavation volume of approximately 25 feet (wide) by 100 feet long (length) and 8 feet (deep), a total of approximately 740 cubic yards (1,000 tons) of soil will require excavation per building. The total excavated volume of soil for the entire Site will be approximately 2,960 cubic yards (4,000 tons). The rear cellar level court yard will be capped with concrete.

The remedial action contemplated under this RAWP may be implemented independently of the proposed redevelopment plan.

### 1.3 Description of Surrounding Property

The area surrounding the Site consists of a mix of residential and industrial properties. Figure 4 shows the surrounding land usage of the adjacent properties listed below as well as additional properties located up to 500 feet away from the Site. No hospitals, daycare facilities or schools are located within a 250 ft radius of the Site.

#### Surrounding Property Usage

Direction	Property Description
North – Opposite side of Wallabout Street	Block 2250, Lot 41 and 46 (291 and 295 Wallabout Street) – Developed with 1-story industrial buildings.

<b>South</b> – Adjacent property	<u>Block 2266, Lot 46</u> (75 Gerry Street) – A 200ft by 100ft undeveloped, vacant lot.
<b>East</b> – Adjacent property	<u>Block 2266, Lot 18</u> (384 Wallabout Street) – A 25ft by 100ft undeveloped vacant lot.
<b>West</b> – Adjacent property	<u>Block 2266, Lot 13</u> (374 Wallabout Street) – Developed with a multi-story residential building.

#### 1.4 Remedial Investigation

A remedial investigation was performed and the results are documented in a companion document called “*Remedial Investigation Report, 82 Throop Avenue, Brooklyn, New York*”, dated June 2013 (RIR).

#### Summary of Past Uses of Site and Areas of Concern

EBC was able to establish the following site history based upon Sanborn maps dating back to 1887:

- From 1887 through 1965 Lots 14, 16 and 17 consisted of residential dwellings.
- In 1887 Lot 15 was developed with a bowling alley which was converted into a knitting mill at some point prior to 1904 and remained as such through 1918 at which time the property is listed as a slipper factory.
- At some point between 1918 and 1935 Lot 15 was converted into a residential dwelling which remained through 1965.
- Between 1965 and 1977 all residences were removed and the lots are listed as vacant through present day.

The AOCs identified for this Site include:

1. Historic fill layer is present at the Site from grade to depths as great as 5 feet below grade.

#### Summary of the Work Performed under the Remedial Investigation

Throop Wallabout Realty, LLC performed the following scope of work:

1. Conducted a Site inspection to identify AOCs and physical obstructions (i.e. structures, buildings, etc.);

2. Installed six soil borings across the entire project Site, and collected twelve soil samples and one duplicate soil sample for chemical analysis from the soil borings to evaluate soil quality;
3. Installed three groundwater monitoring wells throughout the Site to establish groundwater flow and collected three groundwater samples and one duplicate groundwater sample for chemical analysis to evaluate groundwater quality; and
4. Installed four soil vapor probes across the Site and collected four samples for chemical analysis.

### **Summary of Environmental Findings**

1. Elevation of the property ranges from 19 to 20 feet.
2. Depth to groundwater ranges from 5.95 to 7.48 feet at the Site.
3. Groundwater flow is generally from southwest to northeast beneath the Site.
4. Depth to bedrock is at the Site is greater than 100 feet.
5. The stratigraphy of the Site, from the surface down, consists of 5 feet of historic fill underlain by native brown silty sand and clay.
6. Soil/fill samples collected during the RI showed no detectable concentrations of VOCs. Seven SVOCs including benzo(a)anthracene (max. of 16,000  $\mu\text{g}/\text{Kg}$ ), benzo(a)pyrene (max. of 9,700  $\mu\text{g}/\text{Kg}$ ), benzo(b)fluoranthene (max. of 17,000  $\mu\text{g}/\text{Kg}$ ), benzo(k)fluoranthene (max. of 4,000  $\mu\text{g}/\text{Kg}$ ), chrysene (max. of 12,000  $\mu\text{g}/\text{Kg}$ ), dibenzo(a,h)anthracene (max. of 2,200  $\mu\text{g}/\text{Kg}$ ), and indeno(1,2,3-cd)pyrene (max. of 6,100  $\mu\text{g}/\text{Kg}$ ) were detected above their respective Restricted Residential Use SCOs within shallow soil samples. The SVOCs detected above Restricted Residential SCOs are all PAH compounds and their concentrations and distribution indicate that they are associated with historic fill material observed during the sampling. Three pesticides 4,4'-DDE (max. of 160  $\mu\text{g}/\text{Kg}$ ); 4,4'-DDT (max. of 780  $\mu\text{g}/\text{Kg}$ ); and dieldrin (max. of 34  $\mu\text{g}/\text{Kg}$ ) were detected above Unrestricted Use SCOs, mostly in shallow soil samples and one deep soil sample. One PCB, PCB-1254 was detected above Unrestricted Use SCOs at a maximum concentration of 200  $\mu\text{g}/\text{Kg}$ . Six metals including barium (max. of 849  $\mu\text{g}/\text{Kg}$ ), cadmium (max. of 3.62  $\mu\text{g}/\text{Kg}$ ), copper (max. of 358  $\mu\text{g}/\text{Kg}$ ), lead (max. of 1,850  $\mu\text{g}/\text{Kg}$ ), mercury (max. of 4.9  $\mu\text{g}/\text{Kg}$ ) and zinc (max. of 1,080  $\mu\text{g}/\text{Kg}$ ) exceeded

Unrestricted Use SCOs in all six shallow soil samples. Of these metals, barium, cadmium, copper, lead, and mercury also exceeded Restricted Residential SCOs. Other than one pesticide, VOCs, SVOCs, metals or PCBs were not detected above Unrestricted Use SCOs within any of the six deep soil samples. Overall, the findings were consistent with observations for historical fill sites in areas throughout NYC.

7. Groundwater samples collected during the RI showed no VOCs, PCBs or pesticides detected above NYSDEC Groundwater Quality Standards (GQS). Five SVOCs were detected in groundwater at a concentration above GQS. The metals iron, manganese and sodium were detected above their respective GQS in all three dissolved groundwater samples.
8. Soil vapor samples collected during the RI showed petroleum and chlorinated VOCs at low concentrations. Tetrachloroethylene (PCE) was identified in all soil vapor samples at a maximum concentration of 25.8  $\mu\text{g}/\text{m}^3$ , carbon tetrachloride was detected at a maximum concentration of 4.02  $\mu\text{g}/\text{m}^3$ , trichloroethylene (TCE) was detected in one soil vapor sample, at a concentration of 0.48  $\mu\text{g}/\text{m}^3$ , and 1,1,1- TCA was detected in one soil vapor sample, at a concentration of 2.62  $\mu\text{g}/\text{m}^3$ . The PCE, TCE, 1,1,1-TCA and carbon tetrachloride concentrations are all below the monitoring level ranges established within the State DOH soil vapor guidance matrix. Concentrations of petroleum-related VOCs (BTEX) ranged from 152  $\mu\text{g}/\text{m}^3$  to 203  $\mu\text{g}/\text{m}^3$ . Overall the highest reported concentrations were for propylene (maximum of 213  $\mu\text{g}/\text{m}^3$ ) and acetone (maximum of 202  $\mu\text{g}/\text{m}^3$ ).

For more detailed results, consult the RIR. Based on an evaluation of the data and information from the RIR and this RAWP, disposal of significant amounts of hazardous waste is not suspected at this Site.

## **2.0 REMEDIAL ACTION OBJECTIVES**

Based on the results of the RI, the following Remedial Action Objectives (RAOs) have been identified for this Site:

### **Groundwater**

- Remove contaminant sources causing impact to groundwater.
- Prevent direct exposure to contaminated groundwater.
- Prevent exposure to contaminants volatilizing from contaminated groundwater.

### **Soil**

- Prevent direct contact with contaminated soil.
- Prevent exposure to contaminants volatilizing from contaminated soil.
- Prevent migration of contaminants that would result in groundwater or surface water contamination.

### **Soil Vapor**

- Prevent exposure to contaminants in soil vapor.
- Prevent migration of soil vapor into dwelling and other occupied structures.

### **3.0 REMEDIAL ALTERNATIVES ANALYSIS**

The goal of the remedy selection process under is to select a remedy that is protective of human health and the environment taking into consideration the current, intended and reasonably anticipated future use of the property. The remedy selection process begins by establishing RAOs for media in which chemical constituents were found in exceedence of applicable standards, criteria and guidance values (SCGs). A remedy is then developed based on the following ten criteria:

- Protection of human health and the environment;
- Compliance with SCGs;
- Short-term effectiveness and impacts;
- Long-term effectiveness and permanence;
- Reduction of toxicity, mobility, or volume of contaminated material;
- Implementability;
- Cost effectiveness;
- Community Acceptance;
- Land use; and
- Sustainability.

The following is a detailed description of the alternatives analysis and remedy selection to address impacted media at the Site. As required, a minimum of two remedial alternatives (including a Track 1 scenario) are evaluated, as follows:

#### **Alternative 1 involves**

- Establishment of NYSDEC Part 375 Track 1 Unrestricted Use Soil Cleanup Objectives (SCOs).
- Removal of all soil/fill exceeding Unrestricted Use SCOs throughout the Site and confirmation that Unrestricted Use SCOs have been achieved with post-excavation endpoint sampling. Based on the results of the Remedial Investigation, it is expected that this alternative would require excavation to a minimum depth of approximately 5 feet to remove all historic fill. Excavation for construction of the cellar and rear cellar level courtyard would take place to a depth of approximately 8 feet. However, if soil/fill

containing analytes at concentrations above Unrestricted Use SCOs is still present at the base of the excavation after removal of all soil required for construction of the new building's cellar level and rear courtyard is complete, additional excavation will be performed to ensure complete removal of soil that does not meet Track 1 Unrestricted Use SCOs.

- No Engineering or Institutional Controls are required for a Track 1 cleanup, but a vapor barrier would be installed beneath the basement foundation and behind foundation sidewalls of the new building as a part of development to prevent any potential future exposures from off-Site soil vapor.
- As part of development, placement of a final cover over the entire Site.

**Alternative 2 involves:**

- Establishment of Track 4 Site-Specific SCOs;
- Removal of all soil/fill exceeding Track 4 Site-Specific SCOs and confirmation that Track 4 has been achieved with post-excavation endpoint sampling. Excavation for construction of the cellar and rear courtyard would take place to a depth of approximately 8 feet for the entire Site, which would effectively remove all historic fill at the Site. However, if soil/ fill containing VOCs, pesticides, SVOCs or metals at concentrations above Track 4 Site-Specific SCOs is still present at the base of the excavation after removal of all soil required for construction of the new building is complete, additional excavation will be performed to meet Track 4 Site-Specific SCOs;
- Placement of a final cover over the entire Site to prevent exposure to remaining soil/fill;
- Installation of a soil vapor barrier beneath the building slab and along foundation side walls to prevent any potential future exposures from off-Site soil vapor;
- Establishment of use restrictions including prohibitions on the use of groundwater from the Site; prohibitions of sensitive Site uses, such as farming or vegetable gardening, to prevent future exposure pathways; and prohibition of a higher level of land use without OER approval;
- Establishment of an approved Site Management Plan to ensure long-term management of these Engineering and Institutional Controls including the performance of periodic inspections and certification that the controls are performing as they were intended; and

- Continued registration as an E-designated property to memorialize the remedial action and the Engineering and Institutional Controls required by this RAWP.

### **3.1 Threshold Criteria**

#### **Protection of Public Health and the Environment**

This criterion is an evaluation of the remedy's ability to protect public health and the environment, and an assessment of how risks posed through each existing or potential pathway of exposure are eliminated, reduced or controlled through removal, treatment, and implementation of Engineering Controls or Institutional Controls. Protection of public health and the environment must be achieved for all approved remedial actions.

Alternative 1 would be protective of human health and the environment by removing contaminated soil/fill exceeding Track 1 SCOs and groundwater protection standards, thus eliminating potential for direct contact with contaminated soil/fill once construction is complete and eliminating the risk of contamination leaching into groundwater.

Alternative 2 would achieve comparable protections of human health and the environment by excavating the historic fill at the Site and by ensuring that remaining soil/fill on-Site meets Track 4 Site-Specific SCOs, as well as by placement of Institutional and Engineering controls, including a composite cover system. The composite cover system would prevent direct contact with any remaining on-Site soil/fill. Implementing Institutional Controls including a Site Management Plan would ensure that the composite cover system remains intact and protective. Establishment of Track 4 Site-Specific SCOs would minimize the risk of contamination leaching into groundwater.

For both Alternatives, potential exposure to contaminated soils or groundwater during construction would be minimized by implementing a Construction Health and Safety Plan, an approved Soil/Materials Management Plan and Community Air Monitoring Plan (CAMP). Potential use of groundwater for potable supply would be prevented as its use is prohibited by city laws and regulations. Potential future migration of off-Site soil vapors into the new building would be prevented by installing a vapor barrier below the new building's basement slab and continuing the vapor barrier around foundation walls.

### **3.2. Balancing Criteria**

#### **Compliance with Standards, Criteria and Guidance (SCGs)**

This evaluation criterion assesses the ability of the alternative to achieve applicable standards, criteria and guidance.

Alternative 1 would achieve compliance with the remedial goals, SCGs and RAOs for soil through removal of soil to achieve Track 1 Unrestricted Use SCOs and groundwater protection standards. Management of potential future off-site soil vapors would also be achieved by installing a vapor barrier below the new building's basement slab and continuing the vapor barrier around foundation walls, as part of development.

Alternative 2 would achieve compliance with the remedial goals, SCGs and RAOs for soil through removal of soil to meet Track 4 Site-Specific SCOs. Compliance with SCGs for soil vapor would also be achieved by installing a vapor barrier below the new building's basement slab and continuing the vapor barrier around foundation walls. A Site Management Plan would ensure that these controls remained protective for the long term.

Health and safety measures contained in the CHASP and Community Air Monitoring Plan (CAMP) that comply with the applicable SCGs shall be implemented during Site redevelopment under this RAWP. For both Alternatives, focused attention on means and methods employed during the remedial action would ensure that handling and management of contaminated material would be in compliance with applicable SCGs. These measures will protect on-site workers and the surrounding community from exposure to Site-related contaminants.

#### **Short-term effectiveness and impacts**

This evaluation criterion assesses the effects of the alternative during the construction and implementation phase until remedial action objectives are met. Under this criterion, alternatives are evaluated with respect to their effects on public health and the environment during implementation of the remedial action, including protection of the community, environmental impacts, time until remedial response objectives are achieved, and protection of workers during remedial actions.

Both Alternative 1 and Alternative 2 have similar short-term effectiveness during their respective implementations, as each requires excavation of historic fill material. Both alternatives would result in short-term dust generation impacts associated with excavation, handling, load out of materials, and truck traffic. Short term impacts could potentially be higher for Alternative 1 if excavation of greater amounts of historical fill material is encountered below the excavation depth of the proposed building. However, focused attention to means and methods during the remedial action during a Track 1 removal action, including community air monitoring and appropriate truck routing, would minimize or negate the overall impact of these.

An additional short-term adverse impact and risks to the community associated with both remedial alternatives is increased truck traffic. Approximately 120, 25-ton capacity truck trips would be necessary to transport fill and soil excavated during Site development. Truck traffic will be routed on the most direct course using major thoroughfares where possible and flaggers will be used to protect pedestrians at Site entrances and exits.

The effects of these potential adverse impacts to the community, workers and the environment will be minimized through implementation of corresponding control plans including a Construction Health and Safety Plan, a Community Air Monitoring Plan (CAMP) and a Soil/Materials Management Plan (SMMP), during all on-Site soil disturbance activities and would minimize the release of contaminants into the environment. Both alternatives provide short term effectiveness in protecting the surrounding community by decreasing the risk of contact with on-Site contaminants. Construction workers operating under appropriate management procedures and a Construction Health and Safety Plan (CHASP) will be protected from on-Site contaminants (personal protective equipment would be worn consistent with the documented risks within the respective work zones).

### **Long-term effectiveness and permanence**

This evaluation criterion addresses the results of a remedial action in terms of its permanence and quantity/nature of waste or residual contamination remaining at the Site after response objectives have been met, such as permanence of the remedial alternative, magnitude of remaining contamination, adequacy of controls including the adequacy and suitability of ECs/ICs that may be used to manage contaminant residuals that remain at the Site and assessment of

containment systems and ICs that are designed to eliminate exposures to contaminants, and long-term reliability of Engineering Controls.

Alternative 1 would achieve long-term effectiveness and permanence related to on-Site contamination by permanently removing all impacted soil/fill and enabling unrestricted usage of the property.

Alternative 2 would provide long-term effectiveness by removing most on-Site contamination and attaining Track 4 Site-Specific SCOs; a composite cover system across the Site, maintaining use restrictions, establishing an SMP to ensure long-term management of Institutional Controls (ICs) Engineering Controls (ECs), and maintaining continued registration as an E-designated property to memorialize these controls for the long term. The SMP would ensure long-term effectiveness of all ECs and ICs by requiring periodic inspection and certification that these controls and restrictions continue to be in place and are functioning as they were intended assuring that protections designed into the remedy will provide continued high level of protection in perpetuity.

Both alternatives would result in removal of soil contamination exceeding the SCOs providing the highest level, most effective and permanent remedy over the long-term with respect to a remedy for contaminated soil, which will eliminate any migration to groundwater. Potential sources of soil vapor and groundwater contamination will also be eliminated as part of the remedy.

### **Reduction of toxicity, mobility, or volume of contaminated material**

This evaluation criterion assesses the remedial alternative's use of remedial technologies that permanently and significantly reduce toxicity, mobility, or volume of contaminants as their principal element. The following is the hierarchy of source removal and control measures that are to be used to remediate a Site, ranked from most preferable to least preferable: removal and/or treatment, containment, elimination of exposure and treatment of source at the point of exposure. It is preferred to use treatment or removal to eliminate contaminants at a Site, reduce the total mass of toxic contaminants, cause irreversible reduction in contaminants mobility, or reduce of total volume of contaminated media.

Alternative 1 will permanently eliminate the toxicity, mobility, and volume of contaminants from on-Site soil by removing all soil in excess of Track 1 - Unrestricted Use SCOs.

Alternative 2 would likely remove all the historic fill at the Site, and any remaining on-Site soil beneath the new building will meet Track 4 - Site-Specific SCOs. Alternative 1 could potentially eliminate a greater total mass of contaminants on Site.

### **Implementability**

This evaluation criterion addresses the technical and administrative feasibility of implementing an alternative and the availability of various services and materials required during its implementation, including technical feasibility of construction and operation, reliability of the selected technology, ease of undertaking remedial action, monitoring considerations, administrative feasibility (e.g. obtaining permits for remedial activities), and availability of services and materials.

The techniques, materials and equipment to implement Alternatives 1 and 2 are readily available and have been proven effective in remediating the contaminants associated with the Site. They use standard materials and services that are well established technology. The reliability of each remedy is also high. There are no special difficulties associated with any of the activities proposed.

### **Cost effectiveness**

This evaluation criterion addresses the cost of alternatives, including capital costs (such as construction costs, equipment costs, and disposal costs, engineering expenses) and site management costs (costs incurred after remedial construction is complete) necessary to ensure the continued effectiveness of a remedial action.

Since historic fill at the Site was found during the RI to extend to a depth of 5 feet, and the new building requires excavation of the entire Site to a depth of 8 ft, the costs associated with both Alternative 1 and Alternative 2 would likely be the same. If additional soil/fill with analytes above Track 1 Unrestricted Use SCOs but below Track 4 Site-Specific SCOs remains after excavation for the new building, long-term costs for Alternative 2 would likely be higher than Alternative 1 based on implementation of a Site Management Plan as part of Alternative 2.

### **Community Acceptance**

This evaluation criterion addresses community opinion and support for the remedial action. Observations here will be supplemented by public comment received on the RAWP.

This RAWP will be subject to a public review under the NYC VCP and will provide the opportunity for detailed public input on the remedial alternatives and the selected remedy. This public comment will be considered by OER prior to approval of this plan. The Citizen Participation Plan for the project is provided in Attachment B.

### **Land use**

This evaluation criterion addresses the proposed use of the property. This evaluation has considered reasonably anticipated future uses of the Site and takes into account: current use and historical and/or recent development patterns; applicable zoning laws and maps; NYS Department of State's Brownfield Opportunity Areas (BOA) pursuant to section 970-r of the general municipal law; applicable land use plans; proximity to real property currently used for residential use, and to commercial, industrial, agricultural, and/or recreational areas; environmental justice impacts, Federal or State land use designations; population growth patterns and projections; accessibility to existing infrastructure; proximity of the site to important cultural resources and natural resources, potential vulnerability of groundwater to contamination that might emanate from the site, proximity to flood plains, geography and geology; and current Institutional Controls applicable to the site.

The proposed redevelopment of the Site is compatible with its current zoning and is consistent with recent development patterns. Following remediation, the Site will meet either Track 1 Unrestricted Use or Track 4 Site-Specific SCOs, which is appropriate for its planned residential use. However, the Track 1 alternative does not allow ECs or ICs that would provide protection against off-Site vapor migration which would be needed for residential use. Improvements in the current brownfield condition of the property achieved by both alternatives are also consistent with the City's goals for cleanup of contaminated land and bringing such properties into productive reuse. Both alternatives are equally protective of natural resources and cultural resources.

### **Sustainability of the Remedial Action**

This criterion evaluates the overall sustainability of the remedial action alternatives and the degree to which sustainable means are employed to implement the remedial action including those that take into consideration NYC's sustainability goals defined in *PlaNYC: A Greener, Greater New York*. Sustainability goals may include: maximizing the recycling and reuse of non-virgin materials; reducing the consumption of virgin and non-renewable resources; minimizing energy consumption and greenhouse gas emissions; improving energy efficiency; and promotion of the use of native vegetation and enhancing biodiversity during landscaping associated with Site development.

While Alternative 2 would potentially result in lower energy usage based on reducing the volume of material transported off-Site, both remedial alternatives are comparable with respect to the opportunity to achieve sustainable remedial action. New York City Clean Soil Bank program may be utilized for reuse of native soils. To the extent practicable, energy efficient building materials, appliances, and equipment will be utilized to complete the development. A complete list of green remedial activities considered as part of the NYC VCP is included in the Sustainability Statement, included as Appendix D.

## **4.0 REMEDIAL ACTION**

### **4.1 Summary of Preferred Remedial Action**

The preferred remedial action alternative is the Track 1 Alternative. The preferred remedial action alternative achieves protection of public health and the environment for the intended use of the property. The preferred remedial action alternative will achieve all of the remedial action objectives established for the project and addresses applicable SCGs. The preferred remedial action alternative is effective in both the short-term and long-term and reduces mobility, toxicity and volume of contaminants. The preferred remedial action alternative is cost effective and implementable and uses standards methods that are well established in the industry.

The proposed remedial action will consist of:

1. Preparation of a Community Protection Statement and implementation of all required NYC VCP Citizen Participation activities according to an approved Citizen Participation Plan;
2. Performance of a Community Air Monitoring Program for particulates and volatile organic carbon compounds;
3. Establishment of Track 1 Unrestricted Use Soil Cleanup Objectives (SCOs);
4. Site mobilization involving Site security setup, equipment mobilization, utility mark outs and marking & staking excavation areas;
5. Excavation and removal of soil/fill exceeding Track 1 Unrestricted Use SCOs. For development purposes, the entire property will be excavated to a depth of 8 feet;
6. Screening of excavated soil/fill during intrusive work for indications of contamination by visual means, odor, and monitoring with a PID. Appropriate segregation of excavated media on-Site;
7. Removal of underground storage tanks (if encountered) and closure of petroleum spills (if evidence of a spill/leak is encountered during Site excavation) in compliance with applicable local, State and Federal laws and regulations;
8. Transportation and off-Site disposal of all soil/fill material at permitted facilities in accordance with applicable laws and regulations for handling, transport, and disposal, and this plan. Sampling and analysis of excavated media as required by disposal facilities;
9. Collection and analysis of end-point samples to determine the performance of the remedy

- with respect to attainment of SCOs;
10. Import of materials to be used for backfill and cover in compliance with this plan and in accordance with applicable laws and regulations;
  11. As part of development, installation of a vapor barrier below the basement concrete slab and behind the foundation walls of the proposed building;
  12. As part of construction, installation of an passive sub slab depressurization system;
  13. As part of development, construction and maintenance of an engineered composite cover consisting of a 12 inches thick concrete basement slab and 4 inches thick rear cellar level courtyard cap;
  14. Implementation of storm-water pollution prevention measures in compliance with applicable laws and regulations;
  15. Performance of all activities required for the remedial action, including permitting requirements and pretreatment requirements, in compliance with applicable laws and regulations;
  16. Submission of a Remedial Action Report (RAR) that describes the remedial activities, certifies that the remedial requirements have been achieved, defines the Site boundaries, lists any changes from this RAWP, and, if Track 1 SCOs are not achieved, describes all Engineering and Institutional Controls to be implemented at the Site;
  17. If Track 1 is not achieved, submission of an approved Site Management Plan (SMP) in the RAR for long-term management of residual contamination, including plans for maintenance, monitoring, inspection and certification of Engineering and Institutional Controls and reporting at a specified frequency; and
  18. If Track 1 is not achieved, the property will continue to be flagged with an E-Designation by the NYC Buildings Department. Establishment of Engineering Controls and Institutional Controls in this RAWP and a requirement that management of these controls must be in compliance with an approved SMP. Institutional Controls will include prohibition of the following: (1) vegetable gardening and farming; (2) use of groundwater without treatment rendering it safe for the intended use; (3) disturbance of residual contaminated material unless it is conducted in accordance with the SMP; and (4) higher level of land usage without OER-approval.

## 4.2 Soil Cleanup Objectives and Soil/Fill Management

Track 1 Soil Cleanup Objectives (SCOs) are proposed for this project. The SCOs for this Site are listed in Table 1.

If Track 1 is not achieved, the following Track 4 Site-Specific SCOs will be used:

<u>Contaminant</u>	<u>Track 4 SCOs</u>
Total SVOCs	250 ppm
Lead	900 ppm
Mercury	2.5 ppm

Soil and materials management on-Site and off-Site, including excavation, handling and disposal, will be conducted in accordance with the Soil/Materials Management Plan in Attachment D. Soil and fill management at the Site will include impacted soil removal and disposal within the development cut. The location of planned excavations is shown in Figure 5.

No over-excavation beyond the development cut is anticipated. If any hot-spot areas are identified during development and remediation at the site, they will be removed to the extent practical.

Discrete contaminant sources (such as hotspots) identified during the remedial action will be identified by GPS or surveyed. This information will be provided in the Remedial Action Report.

### Estimated Soil/Fill Removal Quantities

The total quantity of soil/fill expected to be excavated and disposed off-Site is 4,400 tons.

Disposal location(s) will be reported promptly to the OER Project Manager prior to the start of the remedial action.

### End-Point Sampling

Removal actions under this plan will be performed in conjunction with remedial end-point sampling. The RI provided endpoint data that met Track 1 - Unrestricted Use SCOs at the 7 to 9 feet interval, with the exception of the SB2 location, which showed slightly elevated concentrations of pesticides. Additional post-excavation end-point sampling and testing will be

performed promptly following materials removal and completed prior to Site development activities. To evaluate attainment of Track 1 - Unrestricted Use SCOs, six post excavation soil samples will be collected and analyzed for SVOCs, pesticides, and TAL Metals. The approximate collection location of the endpoint soil samples is shown on Figure 6.

In addition, if hotspots are encountered, hotspot removal end-point sampling frequency will consist of the following:

1. For excavations less than 20 feet in total perimeter, at least one bottom sample and one sidewall sample biased in the direction of surface runoff.
2. For excavations 20 to 300 feet in perimeter:
  - For surface removals, one sample from the top of each sidewall for every 30 linear feet of sidewall and one sample from the excavation bottom for every 900 square feet of bottom area.
  - For subsurface removals, one sample from each sidewall for every 30 linear feet of sidewall and one sample from the excavation bottom for every 900 square feet of bottom area.
3. For sampling of volatile organics, bottom samples should be taken within 24 hours of excavation, and should be taken from the zero to six-inch interval at the excavation floor. Samples taken after 24 hours should be taken at six to twelve inches.
4. For contaminated soil removal, post remediation soil samples for laboratory analysis should be taken immediately after contaminated soil removal. If the excavation is enlarged horizontally, additional soil samples will be taken pursuant to bullets 1-3 above.

Post-remediation sample locations and depth will be biased towards the areas and depths of highest contamination identified during previous sampling episodes unless field indicators such as field instrument measurements or visual contamination identified during the remedial action indicate that other locations and depths may be more heavily contaminated. In all cases, post-remediation samples should be biased toward locations and depths of the highest expected contamination.

New York State ELAP certified labs will be used for all end-point sample analyses. Labs for end-point sample analyses will be reported in the RAR. The RAR will provide a tabular and map summary of all end-point sample results and will include all data including non-detects and applicable standards and/or guidance values. End-point samples will be analyzed for trigger analytes (those for which SCO exceedence is identified) utilizing the following methodology:

Soil analytical methods will include:

- Volatile organic compounds by EPA Method 8260;
- Semi-volatile organic compounds by EPA Method 8270;
- Target Analyte List metals; and
- Pesticides/PCBs by EPA Method 8081/8082.

If either LNAPL and/or DNAPL are detected, appropriate samples will be collected for characterization and required regulatory reporting (i.e. spills hotline) will be performed.

### **Quality Assurance/Quality Control**

The fundamental QA objective with respect to accuracy, precision, and sensitivity of analysis for laboratory analytical data is to achieve the QC acceptance of the analytical protocol. The accuracy, precision and completeness requirements will be addressed by the laboratory for all data generated.

Collected samples will be appropriately packaged, placed in coolers and shipped via overnight courier or delivered directly to the analytical laboratory by field personnel. Samples will be containerized in appropriate laboratory provided glassware and shipped in plastic coolers. Samples will be preserved through the use of ice or “cold-paks” to maintain a temperature of 4°C.

Dedicated disposable sampling materials will be used for the collection endpoint samples, eliminating the need to prepare field equipment (rinsate) blanks. However, if non-disposable equipment is used, (stainless steel scoop, etc.) field rinsate blanks will be prepared at the rate of 1 for every eight samples collected. Decontamination of non-dedicated sampling equipment will consist of the following:

- Gently tap or scrape to remove adhered soil
- Rinse with tap water
- Wash withalconox® detergent solution and scrub
- Rinse with tap water
- Rinse with distilled or deionized water

Prepare field blanks by pouring distilled or deionized water over decontaminated equipment and collecting the water in laboratory provided containers. Trip blanks will be used whenever samples are transported to the laboratory for analysis of VOCs. Trip blanks will not be used for samples to be analyzed for metals, SVOCs or pesticides. One blind duplicate sample will be prepared and submitted for analysis every 20 samples.

### **Import and Reuse of Soils**

Import of soils onto the property and reuse of soils already on-Site will be performed in conformance with the Soil/Materials Management Plan in Attachment D. The estimated quantity of soil to be imported into the Site for backfill and cover soil is 0 tons. The estimated quantity of on-Site soil/fill expected to be reused/relocated on Site is 0 tons.

### **4.3 Engineering Controls**

The excavation required for the proposed Site development will achieve Track 1 Unrestricted Use SCOs. No Engineering Controls are required to address residual contamination at the Site. However, the following features will be incorporated into the foundation design as part of the development: composite cover system and soil vapor barrier. If Track 1 is not achieved, these two elements will constitute Engineering Controls that will be employed in the remedial action to address residual contamination remaining at the Site.

### **Composite Cover System**

Exposure to residual soil/fill will be prevented by an engineered, permanent composite cover system to be built on the Site. This composite cover system will be comprised of 12-inch thick concrete-building slab beneath the area of the proposed building and will act as permanent engineering control for the Site. A 4 inch thick concrete cap will be installed in the cellar level rear yard areas. If a Track 1 cleanup is not achieved, the system will be inspected and reported at

specified intervals as required by this RAWP and the SMP. A Soil Management Plan will be included in the Site Management Plan and will outline the procedures to be followed in the event that the composite cover system and underlying residual soil/fill is disturbed after the remedial action is complete. Maintenance of this composite cover system will be described in the Site Management Plan in the RAR.

### **Vapor Barrier**

As part of development, migration of soil vapor will be mitigated with a combination of building slab and vapor barrier. The vapor barrier will consist of Raven Industries' VaporBlock 20 Plus, which is a seven layer co-extruded barrier made from state-of-the-art polyethylene and EVOH resins. The vapor barrier will be installed prior to pouring the building's concrete slab. The vapor barrier will extend throughout the area occupied by the footprint of the new building and up the foundation sidewalls in accordance with manufacturer specifications. The specifications for installation will be provided to the construction management company and the foundation contractor or installer of the liner. The specifications state that all vapor barrier seams, penetrations, and repairs will be sealed either by the tape method or weld method, according to the manufacturer's recommendations and instructions.

The project's Professional Engineer licensed by the State of New York will have primary direct responsibility for overseeing the implementation of the vapor barrier. The extent of the proposed vapor barrier membrane is provided in Figure 8. Installation details (penetrations, joints, etc.) with respect to the proposed building foundation, footings, slab, and sidewalls are provided in Figure 8. Product specification sheets are provided in Attachment E. The Remedial Closure Report will include photographs (maximum of two photos per page) of the installation process, PE/RA certified letter (on company letterhead) from primary contractor responsible for installation oversight and field inspections, and a copy of the manufacturer's certificate of warranty.

### **4.4 Institutional Controls**

Institutional Controls are not required on sites that achieve Track 1 Remedial Action. If Track 1 SCOs are not achieved, Institutional Controls (IC) will be utilized in this remedial action to manage residual soil/fill and other media and render the Site protective of public health and the

environment. Institutional Controls are listed below. Long-term employment of EC/ICs will be implemented under a site-specific Site Management Plan (SMP) that will be included in the RAR. The property will continue to be registered with an E-Designation by the NYC Buildings Department.

Institutional Controls for this remedial action are:

- The property will continue to be registered with an E-Designation by the NYC Buildings Department. This RAWP includes a description of all ECs and ICs and summarizes the requirements of the Site Management Plan which will note that the property owner and property owner's successors and assigns must comply with the approved SMP;
- Submittal of a Site Management Plan in the RAR for approval by OER that provides procedures for appropriate operation, maintenance, , inspection and certification of ECs. SMP will require that the property owner and property owner's successors and assigns will submit to OER a periodic written statement that certifies that: (1) controls employed at the Site are unchanged from the previous certification or that any changes to the controls were approved by OER; and, (2) nothing has occurred that impairs the ability of the controls to protect public health and environment or that constitute a violation or failure to comply with the SMP. OER retains the right to enter the Site in order to evaluate the continued maintenance of any controls. This certification shall be submitted annually and will comply with RCNY §43-1407(1)(3).
- Vegetable gardens and farming on the Site are prohibited;
- Use of groundwater underlying the Site is prohibited without treatment rendering it safe for its intended use;
- All future activities on the Site that will disturb residual material must be conducted pursuant to the soil management provisions in an approved SMP;
- The Site will be used for residential use and will not be used for a higher level of use without prior approval by OER.

#### **4.5 Site Management Plan**

Site Management is not required for Track 1 remedial actions. However, if Track 1 Unrestricted Use SCOs are not achieved, Site Management will be the last phase of remediation and begins with the approval of the Remedial Action Report and issuance of the Notice of Completion

(NOC) for the Remedial Action. The Site Management Plan (SMP) describes appropriate methods and procedures to ensure implementation of all ECs and ICs that are required by the DCR and this RAWP. The Site Management Plan is submitted as part of the RAR but will be written in a manner that allows its use as an independent document. Site Management continues until terminated in writing by OER. The property owner is responsible to ensure that all Site Management responsibilities defined in the DCR and the Site Management Plan are implemented.

The SMP will provide a detailed description of the procedures required to manage residual soil/fill left in place following completion of the remedial action in accordance with the Voluntary Cleanup Agreement with OER. This includes a plan for: (1) implementation of EC's and ICs; (2) operation and maintenance of EC's; and (3) inspection and certification of EC's.

Site management activities, reporting, and EC/IC certification will be scheduled on an periodic basis to be established in the SMP and will be subject to review and modification by OER. The Site Management Plan will be based on a calendar year and certification reports will be due for submission to OER by July 31 of the year following the reporting period.

#### **4.6 Qualitative Human Health Exposure Assessment**

The objective of the qualitative exposure assessment is to identify potential receptors to the contaminants of concern (COC) that are present at, or migrating from, the Site. The identification of exposure pathways describes the route that the COC takes to travel from the source to the receptor. An identified pathway indicates that the potential for exposure exists; it does not imply that exposures actually occur.

Investigations reported in the Remedial Investigation Report (RIR) are sufficient to complete a Qualitative Human Health Exposure Assessment (QHHEA). As part of the VCP process, a QHHEA was performed to determine whether the Site poses an existing or future health hazard to the Site's exposed or potentially exposed population. The sampling data from the RI were evaluated to determine whether there is any health risk by characterizing the exposure setting, identifying exposure pathways, and evaluating contaminant fate and transport. This QHHEA was prepared in accordance with Appendix 3B and Section 3.3 (b) 8 of the NYSDEC Draft DER-10

## Technical Guidance for Site Investigation and Remediation.

### **Known and Potential Sources**

Based on the results of the Remedial Investigation Report, historic fill was encountered at the Site only to a depth of approximately 5 feet. The following contaminants of concern were detected within the historic fill:

#### Soil

- Barium, cadmium, lead and mercury exceeding Restricted Residential SCOs;
- SVOCs including benzo(a)anthracene, benzo(a)pyrene, benzo(b)-fluoranthene, benzo(k)fluoranthene, chrysene, dibenz(a,h)anthracene, and indeno(1,2,3-cd)pyrene exceeding Restricted Residential SCO;
- Pesticides including 4,4'-DDE, 4,4'-DDT, and Dieldrin reported well below Restricted Residential SCOs; and
- PCB-1254 exceeding Unrestricted Use SCOs, but well below Restricted Residential SCOs

#### Groundwater

- Chlorinated VOCs including cis-1,2-dichloroethene, tetrachloroethene, trichloroethene, and vinyl chloride at concentrations below GQS;
- SVOCs including benzo(a)anthracene, benzo(b)-fluoranthene, benzo(k)fluoranthene, chrysene, and indeno(1,2,3-cd)pyrene exceeding GQSs; and
- Metals including iron, manganese, and sodium exceeding GQSs.

#### Soil vapor

- Chlorinated VOCs including carbon tetrachloride, TCA, TCE and PCE detected at trace concentrations and below NYS DOH monitoring thresholds;
- Petroleum VOCs detected at trace concentrations including benzene, toluene, ethylbenzene and xylene; and
- Acetone and ethanol at low levels.

## **Nature, Extent, Fate and Transport of Contaminants**

The information compiled during previous investigations has confirmed the presence of contaminated fill material from surface grade to an approximate depth of 5 feet bgs. SVOCs, pesticides and metals are present in the historic fill materials throughout the Site. Metal and SVOC contaminants found in soil were also detected in the groundwater samples at concentrations above their respective GQs. Concentrations of dissolved metals in the groundwater were significantly lower than the total levels of metals in groundwater. The trace levels of petroleum and chlorinated VOCs identified in the soil vapor were well below guidance issued by New York State DOH and were not found in any of the on-Site soil samples collected.

## **Receptor Populations**

On-Site Receptors – The Site is undeveloped and unused. The Site is uncapped and overgrown with weeds. Potential on-Site receptors are Site representatives and trespassers. During redevelopment of the Site, the on-Site potential receptors will include construction workers, Site representatives, and visitors. Once the Site is redeveloped, the on-Site potential sensitive receptors will include adult and child building residents and visitors.

Off-Site Receptors - Potential off-Site receptors within a 0.25-mile radius of the Site include: adult and child residents, and commercial and construction workers, pedestrians, trespassers, and cyclists, based on the following:

1. Commercial Businesses (up to 0.25 mile) – existing and future
2. Residential Buildings (up to 0.25 mile) – existing and future
3. Building Construction/Renovation (up to 0.25 mile) – existing and future
4. Pedestrians, Trespassers, Cyclists (up to .25 mile) – existing and future
5. Schools (up to .25 mile) – existing and future

## **Potential Routes of Exposure**

The five elements of an exposure pathway are:

- 1) The source of contamination;
- 2) The environmental media and transport mechanisms - direct contact, ingestion, and inhalation;

- 3) The point of exposure;
- 4) The route of exposure;
- 5) The receptor population.

An exposure pathway is considered complete when all five elements of an exposure pathway are documented. A potential pathway exists when any one or more of the five elements comprising an exposure pathway cannot be determined. An exposure pathway may be eliminated from further evaluation when any one of the five elements comprising an exposure pathway has not existed in the past, does not exist in the present, and will never exist in the future. Three potential primary routes exist by which chemicals can enter the body:

- Ingestion of water, fill, or soil;
- Inhalation of vapors and particulates; and
- Dermal contact with water, fill, or soil.

The work performed at the Site will include excavation of soil/fill material, and general construction activities. The construction and remediation work at the Site will expose the contaminants to the on-Site workers in a variety of ways listed above. These exposures will be limited to short durations through the intrusive work. A Construction Health and Safety Plan (CHASP) will be implemented during remediation work for the safety of on-Site workers and off-Site local population. Upon completion of the remedial activities, the Site will achieve Track 1 Unrestricted Use SCOs and the Site will be covered by the engineered composite cover (i.e., building slab and vapor/moisture barrier). This will prevent direct exposure to humans from any off-Site contamination.

### **Potential Points of Exposure**

Existing: Exposure to historic fill is possible because the Site is uncapped. Access to the property includes owner representatives, and trespassers. Groundwater is not accessible at the Site, and because the Site is served by the public water supply and groundwater use for potable supply is prohibited, groundwater is not used at the Site. There are no on-Site buildings, therefore is no potential for soil vapor to enter and accumulate within the on-Site building.

Construction/Remediation Activities: Once redevelopment activities begin, construction workers will come into direct contact with surface and subsurface soils, as a result of on-Site construction and excavation activities. On-Site construction workers potentially could ingest, inhale or have dermal contact with soil, fill, and groundwater. Similarly, off-Site receptors could be exposed to dust and vapors from on-Site activities. During construction, on-Site and off-Site exposures to contaminated dust from on-Site will be addressed through the Soil/Materials Management Plan, dust controls, and through the implementation of the Community Air-Monitoring Program and a Construction Health and Safety Plan.

Proposed Future Conditions: Once the remedial actions and redevelopment of the Site has been completed, there will be no potential on-Site or off-Site exposure pathways. Not only will soil/fill exceeding Track 1 - Unrestricted Use SCOs be removed, but the Site will also be fully capped with a basement concrete slab and rear courtyard concrete slab, which will prevent contact with soil. Any exposures to vapors will be prevented by the installation of a vapor barrier as part of development.

### **Overall Human Health Exposure Assessment**

The proposed development will consist of the construction of four new 4-story apartment buildings, each with a full basement and a rear cellar level courtyard. Soil/fill material exceeding Part 375 Unrestricted Use SCOs will be removed during Site development, eliminating potential impacts to human health or the environment. If there is any remaining residual metal- or SVOC-impacted soil that is not excavated, it will be removed to achieve Track 1, thereby eliminating the exposure pathway. Additionally, the impermeable cap (i.e., the proposed development) and vapor barrier will eliminate exposure pathways to contaminated groundwater and soil vapor and related potential impacts to human health.

Based upon this analysis, complete on-Site exposure pathways appear to be present during the remedial action phase. Under current conditions, on-Site exposure pathways exist for contractors and others that may access the Site. During remedial construction, on-Site and off-Site exposures to contaminated dust from historic fill material will be addressed through dust controls, and through the implementation of the Community Air Monitoring Program, the Soil/Materials Management Plan, and a Construction Health and Safety Plan. After the remedial action is

complete, there will be no remaining exposure pathways to on-Site soil/fill or groundwater, as all soil above Unrestricted Use SCOs will have been removed and a vapor barrier system will have been installed as part of development. If Track 1 remedy is not achieved, continued protection after the remedial action will be achieved by the implementation of site management including periodic inspection and certification of the performance of remedial controls..

## **5.0 REMEDIAL ACTION MANAGEMENT**

### **5.1 Project Organization and Oversight**

Principal personnel who will participate in the remedial action include Kevin Brussee, Project Manager-EBC and Kevin Waters, Field Operations Officer-EBC. The Professional Engineer (PE) and Qualified Environmental Professionals (QEP) for this project are Ariel Czemerinski P.E., AMC Engineering and Charles Sosik P.G. EBC.

### **5.2 Site Security**

Site access will be controlled by a chain link or wooden construction fence, which will surround the property.

### **5.3 Work Hours**

The hours for operation of remedial construction will be from 7:00AM to 6:00PM. These hours conform to the New York City Department of Buildings construction code requirements.

### **5.4 Construction Health and Safety Plan**

The Health and Safety Plan is included in Appendix 4. The Site Safety Coordinator will be Kevin Waters - EBC. Remedial work performed under this RAWP will be in full compliance with applicable health and safety laws and regulations, including Site and OSHA worker safety requirements and HAZWOPER requirements. Confined space entry, if any, will comply with OSHA requirements and industry standards and will address potential risks. The parties performing the remedial construction work will ensure that performance of work is in compliance with the HASP and applicable laws and regulations. The HASP pertains to remedial and invasive work performed at the Site until the issuance of the Notice of Completion.

All field personnel involved in remedial activities will participate in training required under 29 CFR 1910.120, including 40-hour hazardous waste operator training and annual 8-hour refresher training. Site Safety Officer will be responsible for maintaining workers training records.

Personnel entering any exclusion zone will be trained in the provisions of the HASP and be required to sign an HASP acknowledgment. Site-specific training will be provided to field personnel. Additional safety training may be added depending on the tasks performed.

Emergency telephone numbers will be posted at the site location before any remedial work begins. A safety meeting will be conducted before each shift begins. Topics to be discussed include task hazards and protective measures (physical, chemical, environmental); emergency procedures; PPE levels and other relevant safety topics. Meetings will be documented in a log book or specific form.

An emergency contact sheet with names and phone numbers is included in the HASP. That document will define the specific project contacts for use in case of emergency.

### **5.5 Community Air Monitoring Plan**

Real-time air monitoring for volatile organic compounds (VOCs) and particulate levels at the perimeter of the exclusion zone or work area will be performed. Continuous monitoring will be performed for all ground intrusive activities and during the handling of contaminated or potentially contaminated media. Ground intrusive activities include, but are not limited to, soil/waste excavation and handling, test pit excavation or trenching, and the installation of soil borings or monitoring wells.

Periodic monitoring for VOCs will be performed during non-intrusive activities such as the collection of soil and sediment samples or the collection of groundwater samples from existing monitoring wells. Periodic monitoring during sample collection, for instance, will consist of taking a reading upon arrival at a sample location, monitoring while opening a well cap or overturning soil, monitoring during well baling/purging, and taking a reading prior to leaving a sample location. Depending upon the proximity of potentially exposed individuals, continuous monitoring may be performed during sampling activities. Examples of such situations include groundwater sampling at wells on the curb of a busy urban street, in the midst of a public park, or adjacent to a school or residence. Exceedences of action levels observed during performance of the Community Air Monitoring Plan (CAMP) will be reported to the OER Project Manager and included in the Daily Report.

### **VOC Monitoring, Response Levels, and Actions**

Volatile organic compounds (VOCs) will be monitored at the downwind perimeter of the immediate work area (i.e., the exclusion zone) on a continuous basis during invasive work.

Upwind concentrations will be measured at the start of each workday and periodically thereafter to establish background conditions. The monitoring work will be performed using equipment appropriate to measure the types of contaminants known or suspected to be present. The equipment will be calibrated at least daily for the contaminant(s) of concern or for an appropriate surrogate. The equipment will be capable of calculating 15-minute running average concentrations, which will be compared to the levels specified below.

- If the ambient air concentration of total organic vapors at the downwind perimeter of the work area or exclusion zone exceeds 5 parts per million (ppm) above background for the 15-minute average, work activities will be temporarily halted and monitoring continued. If the total organic vapor level readily decreases (per instantaneous readings) below 5 ppm over background, work activities will resume with continued monitoring.
- If total organic vapor levels at the downwind perimeter of the work area or exclusion zone persist at levels in excess of 5 ppm over background but less than 25 ppm, work activities will be halted, the source of vapors identified, corrective actions taken to abate emissions, and monitoring continued. After these steps, work activities will resume provided that the total organic vapor level 200 feet downwind of the exclusion zone or half the distance to the nearest potential receptor or residential/commercial structure, whichever is less - but in no case less than 20 feet, is below 5 ppm over background for the 15-minute average.
- If the organic vapor level is above 25 ppm at the perimeter of the work area, activities will be shutdown.

All 15-minute readings must be recorded and be available for OER personnel to review. Instantaneous readings, if any, used for decision purposes will also be recorded.

### **Particulate Monitoring, Response Levels, and Actions**

Particulate concentrations will be monitored continuously at the upwind and downwind perimeters of the exclusion zone at temporary particulate monitoring stations. The particulate monitoring will be performed using real-time monitoring equipment capable of measuring particulate matter less than 10 micrometers in size (PM-10) and capable of integrating over a period of 15 minutes (or less) for comparison to the airborne particulate action level. The equipment will be equipped with an audible alarm to indicate exceedance of the action level. In

addition, fugitive dust migration should be visually assessed during all work activities.

- If the downwind PM-10 particulate level is 100 micrograms per cubic meter ( $\text{mcg}/\text{m}^3$ ) greater than background (upwind perimeter) for the 15-minute period or if airborne dust is observed leaving the work area, then dust suppression techniques will be employed. Work will continue with dust suppression techniques provided that downwind PM-10 particulate levels do not exceed  $150 \text{ mcg}/\text{m}^3$  above the upwind level and provided that no visible dust is migrating from the work area.
- If, after implementation of dust suppression techniques, downwind PM-10 particulate levels are greater than  $150 \text{ mcg}/\text{m}^3$  above the upwind level, work will be stopped and a re-evaluation of activities initiated. Work will resume provided that dust suppression measures and other controls are successful in reducing the downwind PM-10 particulate concentration to within  $150 \text{ mcg}/\text{m}^3$  of the upwind level and in preventing visible dust migration.

All readings will be recorded and be available for OER personnel to review.

## **5.6 Agency Approvals**

All permits or government approvals required for remedial construction have been or will be obtained prior to the start of remedial construction. Approval of this RAWP by OER does not constitute satisfaction of these requirements and will not be a substitute for any required permit.

## **5.7 Site Preparation**

### **Pre-Construction Meeting**

OER will be invited to attend the pre-construction meeting at the Site with all parties involved in the remedial process prior to the start of remedial construction activities.

### **Mobilization**

Mobilization will be conducted as necessary for each phase of work at the Site. Mobilization includes field personnel orientation, equipment mobilization (including securing all sampling equipment needed for the field investigation), marking/staking sampling locations and utility mark-outs. Each field team member will attend an orientation meeting to become familiar with the general operation of the Site, health and safety requirements, and field procedures.

### **Utility Marker Layouts, Easement Layouts**

The presence of utilities and easements on the Site will be fully investigated prior to the performance of invasive work such as excavation or drilling under this plan by using, at a minimum, the One-Call System (811). Underground utilities may pose an electrocution, explosion, or other hazard during excavation or drilling activities. All invasive activities will be performed in compliance with applicable laws and regulations to assure safety. Utility companies and other responsible authorities will be contacted to locate and mark the locations, and a copy of the Markout Ticket will be retained by the contractor prior to the start of drilling, excavation or other invasive subsurface operations. Overhead utilities may also be present within the anticipated work zones. Electrical hazards associated with drilling in the vicinity of overhead utilities will be prevented by maintaining a safe distance between overhead power lines and drill rig masts.

Proper safety and protective measures pertaining to utilities and easements, and compliance with all laws and regulations will be employed during invasive and other work contemplated under this RAWP. The integrity and safety of on-Site and off-Site structures will be maintained during all invasive, excavation or other remedial activity performed under the RAWP.

### **Dewatering**

In the event that dewatering of groundwater during construction will be necessary, the water will be disposed into the New York City combined sanitary/storm sewer system. A permit to discharge will be obtained from the New York City Department of Environmental Protection (NYCDEP). As part of the permit to discharge, the location of discharge will be based on the Site-Specific requirements of the DEP. The need for pretreatment will be determined by DEP's requirements for the discharge permit. If pretreatment is required by the DEP, it will be performed in accordance with the requirements of the DEP.

### **Equipment and Material Staging**

Equipment and materials will be stored and staged in a manner that complies with applicable laws and regulations. Staging locations will be reported to OER prior to the start of the remedial action.

### **Stabilized Construction Entrance**

Steps will be taken to ensure that trucks departing the site will not track soil, fill or debris off-Site. Such actions may include use of cleaned asphalt or concrete roads or use of stone or other aggregate-based egress paths between the truck inspection station and the property exit. Measures will be taken to ensure that adjacent roadways will be kept clean of project related soils, fill and debris.

### **Truck Inspection Station**

An outbound-truck inspection station will be set up close to the Site exit. Before exiting the NYC VCP Site, trucks will be required to stop at the truck inspection station and will be examined for evidence of contaminated soil on the undercarriage, body, and wheels. Soil and debris will be removed. Brooms, shovels and potable water will be utilized for the removal of soil from vehicles and equipment, as necessary.

### **Extreme Storm Preparedness and Response Contingency Plan**

Damage from flooding or storm surge can include dislocation of soil and stockpiled materials, dislocation of site structures and construction materials and equipment, and dislocation of support of excavation structures. Damage from wind during an extreme storm event can create unsafe or unstable structures, damage safety structures and cause downed power lines creating dangerous site conditions and loss of power. In the event of emergency conditions caused by an extreme storm event, the Throop Wallabout Realty, LLC will undertake the following steps for site preparedness prior to the event and response after the event.

### **Storm Preparedness**

Preparations in advance of an extreme storm event will include the following: containerized hazardous materials and fuels will be removed from the property; loose materials will be secured to prevent dislocation and blowing by wind or water; heavy equipment such as excavators and generators will be removed from holes, trenches and depressions on the property to high ground or removed from the property; an inventory of the property with photographs will be performed to establish conditions for the site and equipment prior to the event; stockpile covers for soil and fill will be secured by adding weights such as sandbags for added security and worn or ripped stockpile covers will be replaced with competent covers; stockpiled hazardous wastes will be

removed from the property; stormwater management systems will be inspected and fortified, including, as necessary: clean and reposition silt fences, haybales; clean storm sewer filters and traps; and secure and protect pumps and hosing.

### **Storm Response**

At the conclusion of an extreme storm event, as soon as it is safe to access the property, a complete inspection of the property will be performed. A site inspection report will be submitted to OER at the completion of site inspection and after the site security is assessed. Site conditions will be compared to the inventory of site conditions and material performed prior to the storm event and significant differences will be noted. Damage from storm conditions that result in acute public safety threats, such as downed power lines or imminent collapse of buildings, structures or equipment will be reported to public safety authorities via appropriate means such as calling 911. Petroleum spills will be reported to NYS DEC within 2 hours of identification and consistent with State regulations. Emergency and spill conditions will also be reported to OER. Public safety structures, such as construction security fences will be repaired promptly to eliminate public safety threats. Debris will be collected and removed. Dewatering will be performed in compliance with existing laws and regulations and consistent with emergency notifications, if any, from proper authorities. Eroded areas of soil including unsafe slopes will be stabilized and fortified. Dislocated materials will be collected and appropriately managed. Support of excavation structure will be inspected and fortified as necessary. Impacted stockpiles will be contained and damaged stockpile covers will be replaced. Storm-water control systems and structures will be inspected and maintained as necessary. If soil or fill materials are discharged off site to adjacent properties, property owners and OER will be notified and corrective measure plan designed to remove and clean dislocated material will be submitted to OER and implemented following approval by OER and granting of site access by the property owner. Impacted offsite areas may require characterization based on site conditions, at the discretion of OER. If onsite petroleum spills are identified, a qualified environmental professional will determine the nature and extent of the spill and report to NYS DEC's spill hotline at DEC 800-457-7362. If the source of the spill is ongoing and can be identified, it should be stopped if this can be done safely. Potential hazards will be addressed immediately, consistent with guidance issued by NYS DEC.

## **Storm Response Reporting**

A site inspection report will be submitted to OER at the completion of site inspection. An inspection report established by OER is available on OER's website ([www.nyc.gov/oer](http://www.nyc.gov/oer)) and will be used for this purpose. Site conditions will be compared to the inventory of site conditions and material performed prior to the storm event and significant differences will be noted. The site inspection report will be sent to the OER project manager and will include the site name, address, tax block and lot, site primary and alternate contact name and phone number. Damage and soil release assessment will include: whether the project had stockpiles; whether stockpiles were damaged; photographs of damage and notice of plan for repair; report of whether soil from the site was dislocated and whether any of the soil left the site; estimates of the volume of soil that left the site, nature of impact, and photographs; description of erosion damage; description of equipment damage; description of damage to the remedial program or the construction program, such as damage to the support of excavation; presence of onsite or offsite exposure pathways caused by the storm; presence of petroleum or other spills and status of spill reporting to NYS DEC; description of corrective actions; schedule for corrective actions. This report should be completed and submitted to OER project manager with photographs within 24 hours of the time of safe entry to the property after the storm event.

## **5.8 Traffic Control**

Drivers of trucks leaving the NYC VCP Site with soil/fill will be instructed to proceed without stopping in the vicinity of the site to prevent neighborhood impacts. The planned route on local roads for trucks leaving the Site is will be southwest on Wallabout Street to Union Avenue and then north on Union Avenue to Interstate 278 - Brooklyn Queens Expressway.

## **5.9 Demobilization**

Demobilization will include:

- As necessary, restoration of temporary access areas and areas that may have been disturbed to accommodate support areas (e.g., staging areas, decontamination areas, storage areas, temporary water management areas, and access area);
- Removal of sediment from erosion control measures and truck wash and disposal of materials in accordance with applicable laws and regulations;
- Equipment decontamination, and;

- General refuse disposal.

Equipment will be decontaminated and demobilized at the completion of all field activities. Investigation equipment and large equipment (*e.g.*, soil excavators) will be washed at the truck inspection station as necessary. In addition, all investigation and remediation derived waste will be appropriately disposed.

## **5.10 Reporting and Record Keeping**

### **Daily Reports**

Daily reports providing a general summary of activities for each day of *active remedial work* will be emailed to the OER Project Manager by the end of the following day. Those reports will include:

- Project number and statement of the activities and an update of progress made and locations of work performed;
- Quantities of material imported and exported from the Site and the disposal locations of exported materials;
- Status of on-Site soil/fill stockpiles;
- A summary of all citizen complaints, with relevant details (basis of complaint; actions taken; etc.);
- A summary of CAMP excursions, if any;
- Photograph of notable Site conditions and activities.

The frequency of the reporting period may be revised in consultation with OER project manager based on planned project tasks. Daily email reports are not intended to be the primary mode of communication for notification to OER of emergencies (accidents, spills), requests for changes to the RAWP or other sensitive or time critical information. However, such information will be included in the daily reports. Emergency conditions and changes to the RAWP will be communicated directly to the OER project manager by personal communication. Daily reports will be included as an Appendix in the Remedial Action Report.

### **Record Keeping and Photo-Documentation**

Job-site record keeping for all remedial work will be performed. These records will be

maintained on-Site during the project and will be available for inspection by OER staff. Representative photographs will be taken of the Site prior to any remedial activities and during major remedial activities to illustrate remedial program elements and contaminant source areas. Photographs will be submitted at the completion of the project in the RAR in digital format (i.e. jpeg files).

### **5.11 Complaint Management**

All complaints from citizens will be promptly reported to OER. Complaints will be addressed and outcomes will also be reported to OER in daily reports. Notices to OER will include the nature of the complaint, the party providing the complaint, and the actions taken to resolve any problems.

### **5.12 Deviations from the Remedial Action Work Plan**

All changes to the RAWP will be reported to the OER Project Manager and will be documented in daily reports and reported in the Remedial Action Report. The process to be followed if there are any deviations from the RAWP will include a request for approval for the change from OER noting the following:

- Reasons for deviating from the approved RAWP;
- Effect of the deviations on overall remedy; and
- Determination that the remedial action with the deviation(s) is protective of public health and the environment.

## 6.0 REMEDIAL ACTION REPORT

A Remedial Action Report (RAR) will be submitted to OER following implementation of the remedial action defined in this RAWP. The RAR will document that the remedial work required under this RAWP has been completed and has been performed in compliance with this plan. The RAR will include:

- Information required by this RAWP;
- As-built drawings for all constructed remedial elements, required certifications, manifests and other written and photographic documentation of remedial work performed under this remedy;
- Site Management Plan;
- Description of any changes in the remedial action from the elements provided in this RAWP and associated design documents;
- Tabular summary of all end point sampling results and all material characterization results, QA/QC results for end-point sampling, and other sampling and chemical analysis performed as part of the remedial action and DUSR;
- Test results or other evidence demonstrating that remedial systems are functioning properly;
- Account of the source area locations and characteristics of all contaminated material removed from the Site including a map showing source areas;
- Account of the disposal destination of all contaminated material removed from the Site. Documentation associated with disposal of all material will include transportation and disposal records, and letters approving receipt of the material.
- Account of the origin and required chemical quality testing for material imported onto the Site.
- If Track 1 Remedial Action is not achieved, continue registration of the property with an E-Designation by the NYC Department of Buildings.
- Reports and supporting material will be submitted in digital form.

### **Remedial Action Report Certification**

The following certification will appear in front of the Executive Summary of the Remedial Action Report. The certification will include the following statements:

*I, \_\_\_\_\_, am currently a professional engineer licensed by the State of New York. I had primary direct responsibility for implementation of the remedial program for the Site name Site Site number.*

*I certify that the OER-approved Remedial Action Work Plan dated month day year and Stipulations in a letter dated month day, year; if any were implemented and that all requirements in those documents have been substantively complied with. I certify that contaminated soil, fill, liquids or other material from the property were taken to facilities licensed to accept this material in full compliance with applicable laws and regulations.*

## 7.0 SCHEDULE

The table below presents a schedule for the proposed remedial action and reporting. If the schedule for remediation and development activities changes, it will be updated and submitted to OER. Currently, a 6 month remediation period is anticipated.

<b>Schedule Milestone</b>	<b>Weeks from Remedial Action Start</b>	<b>Duration (weeks)</b>
OER Approval of RAWP	0	-
Fact Sheet 2 announcing start of remedy	0	-
Mobilization	1	1
Remedial Excavation	2	6
Demobilization	10	1
Submit Remedial Action Report	20	-

# **TABLES**

**TABLE 1**  
**SOIL CLEANUP OBJECTIVES**  
**SOIL IMPORT CRITERIA**

<b>Contaminant</b>	<b>CAS Number</b>	<b>Unrestricted Use</b>
<b>Metals</b>		
Arsenic	7440-38-2	13 <sup>c</sup>
Barium	7440-39-3	350 <sup>c</sup>
Beryllium	7440-41-7	7.2
Cadmium	7440-43-9	2.5 <sup>c</sup>
Chromium, hexavalent <sup>e</sup>	18540-29-9	1 <sup>b</sup>
Chromium, trivalent <sup>e</sup>	16065-83-1	30 <sup>c</sup>
Copper	7440-50-8	50
Total Cyanide <sup>e, f</sup>		27
Lead	7439-92-1	63 <sup>c</sup>
Manganese	7439-96-5	1600 <sup>c</sup>
Total Mercury		0.18 <sup>c</sup>
Nickel	7440-02-0	30
Selenium	7782-49-2	3.9 <sup>c</sup>
Silver	7440-22-4	2
Zinc	7440-66-6	109 <sup>c</sup>
<b>PCBs/Pesticides</b>		
2,4,5-TP Acid (Silvex) <sup>f</sup>	93-72-1	3.8
4,4'-DDE	72-55-9	0.0033 <sup>b</sup>
4,4'-DDT	50-29-3	0.0033 <sup>b</sup>
4,4'-DDD	72-54-8	0.0033 <sup>b</sup>
Aldrin	309-00-2	0.005 <sup>c</sup>
alpha-BHC	319-84-6	0.02
beta-BHC	319-85-7	0.036
Chlordane (alpha)	5103-71-9	0.094

**TABLE 1**  
**SOIL CLEANUP OBJECTIVES**

<b>Contaminant</b>	<b>CAS Number</b>	<b>Unrestricted Use</b>
delta-BHC <sup>g</sup>	319-86-8	0.04
Dibenzofuran <sup>f</sup>	132-64-9	7
Dieldrin	60-57-1	0.005 <sup>c</sup>
Endosulfan I <sup>d,f</sup>	959-98-8	2.4
Endosulfan II <sup>d,f</sup>	33213-65-9	2.4
Endosulfan sulfate <sup>d,f</sup>	1031-07-8	2.4
Endrin	72-20-8	0.014
Heptachlor	76-44-8	0.042
Lindane	58-89-9	0.1
Polychlorinated biphenyls	1336-36-3	0.1
<b>Semivolatile organic compounds</b>		
Acenaphthene	83-32-9	20
Acenaphthylene <sup>f</sup>	208-96-8	100 <sup>a</sup>
Anthracene <sup>f</sup>	120-12-7	100 <sup>a</sup>
Benz(a)anthracene <sup>f</sup>	56-55-3	1 <sup>c</sup>
Benzo(a)pyrene	50-32-8	1 <sup>c</sup>
Benzo(b)fluoranthene <sup>f</sup>	205-99-2	1 <sup>c</sup>
Benzo(g,h,i)perylene <sup>f</sup>	191-24-2	100
Benzo(k)fluoranthene <sup>f</sup>	207-08-9	0.8 <sup>c</sup>
Chrysene <sup>f</sup>	218-01-9	1 <sup>c</sup>
Dibenz(a,h)anthracene <sup>f</sup>	53-70-3	0.33 <sup>b</sup>
Fluoranthene <sup>f</sup>	206-44-0	100 <sup>a</sup>
Fluorene	86-73-7	30
Indeno(1,2,3-cd)pyrene <sup>f</sup>	193-39-5	0.5 <sup>c</sup>
m-Cresol <sup>f</sup>	108-39-4	0.33 <sup>b</sup>
Naphthalene <sup>f</sup>	91-20-3	12
o-Cresol <sup>f</sup>	95-48-7	0.33 <sup>b</sup>

**TABLE 1**  
**SOIL CLEANUP OBJECTIVES**

Contaminant	CAS Number	Unrestricted Use
p-Cresol <sup>f</sup>	106-44-5	0.33 <sup>b</sup>
Pentachlorophenol	87-86-5	0.8 <sup>b</sup>
Phenanthrene <sup>f</sup>	85-01-8	100
Phenol	108-95-2	0.33 <sup>b</sup>
Pyrene <sup>f</sup>	129-00-0	100
<b>Volatile organic compounds</b>		
1,1,1-Trichloroethane <sup>f</sup>	71-55-6	0.68
1,1-Dichloroethane <sup>f</sup>	75-34-3	0.27
1,1-Dichloroethene <sup>f</sup>	75-35-4	0.33
1,2-Dichlorobenzene <sup>f</sup>	95-50-1	1.1
1,2-Dichloroethane	107-06-2	0.02 <sup>c</sup>
cis -1,2-Dichloroethene <sup>f</sup>	156-59-2	0.25
trans-1,2-Dichloroethene <sup>f</sup>	156-60-5	0.19
1,3-Dichlorobenzene <sup>f</sup>	541-73-1	2.4
1,4-Dichlorobenzene	106-46-7	1.8
1,4-Dioxane	123-91-1	0.1 <sup>b</sup>
Acetone	67-64-1	0.05
Benzene	71-43-2	0.06
n-Butylbenzene <sup>f</sup>	104-51-8	12
Carbon tetrachloride <sup>f</sup>	56-23-5	0.76
Chlorobenzene	108-90-7	1.1
Chloroform	67-66-3	0.37
Ethylbenzene <sup>f</sup>	100-41-4	1
Hexachlorobenzene <sup>f</sup>	118-74-1	0.33 <sup>b</sup>
Methyl ethyl ketone	78-93-3	0.12
Methyl tert-butyl ether <sup>f</sup>	1634-04-4	0.93
Methylene chloride	75-09-2	0.05

**TABLE 1**  
**SOIL CLEANUP OBJECTIVES**

<b>Contaminant</b>	<b>CAS Number</b>	<b>Unrestricted Use</b>
n - Propylbenzene <sup>f</sup>	103-65-1	3.9
sec-Butylbenzene <sup>f</sup>	135-98-8	11
tert-Butylbenzene <sup>f</sup>	98-06-6	5.9
Tetrachloroethene	127-18-4	1.3
Toluene	108-88-3	0.7
Trichloroethene	79-01-6	0.47
1,2,4-Trimethylbenzene <sup>f</sup>	95-63-6	3.6
1,3,5-Trimethylbenzene <sup>f</sup>	108-67-8	8.4
Vinyl chloride <sup>f</sup>	75-01-4	0.02
Xylene (mixed)	1330-20-7	0.26

All soil cleanup objectives (SCOs) are in parts per million (ppm).

**Footnotes**

<sup>a</sup> The SCOs for unrestricted use were capped at a maximum value of 100 ppm. See [Technical Support Document \(TSD\)](#), section 9.3.

<sup>b</sup> For constituents where the calculated SCO was lower than the contract required quantitation limit (CRQL), the CRQL is used as the Track 1 SCO value.

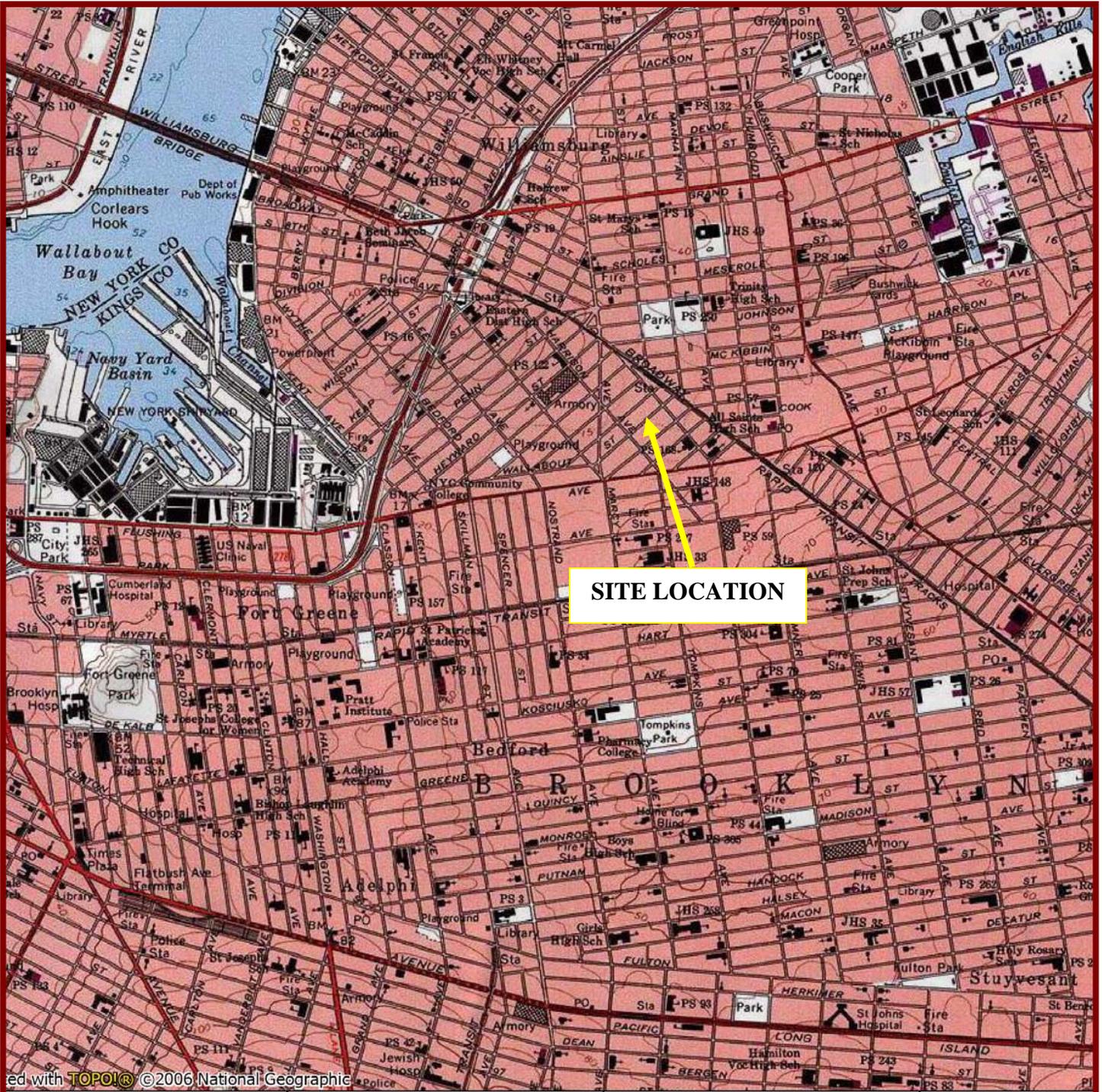
<sup>c</sup> For constituents where the calculated SCO was lower than the rural soil background concentration, as determined by the Department and Department of Health rural soil survey, the rural soil background concentration is used as the Track 1 SCO value for this use of the site.

<sup>d</sup> SCO is the sum of endosulfan I, endosulfan II and endosulfan sulfate.

<sup>e</sup> The SCO for this specific compound (or family of compounds) is considered to be met if the analysis for the total species of this contaminant is below the specific SCO.

<sup>f</sup> Protection of ecological resources SCOs were not developed for contaminants identified in Table 375-6.8(b) with "NS". Where such contaminants appear in Table 375-6.8(a), the applicant may be required by the Department to calculate a protection of ecological resources SCO according to the TSD.

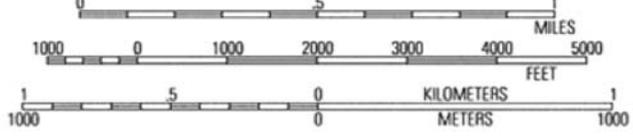
# **FIGURES**



**SITE LOCATION**

ed with TOPOIG ©2006 National Geographic

00' W      73°58.000' W      73°57.000' W      WGS84 73°56.000' W



**EBC**  
 ENVIRONMENTAL BUSINESS CONSULTANTS

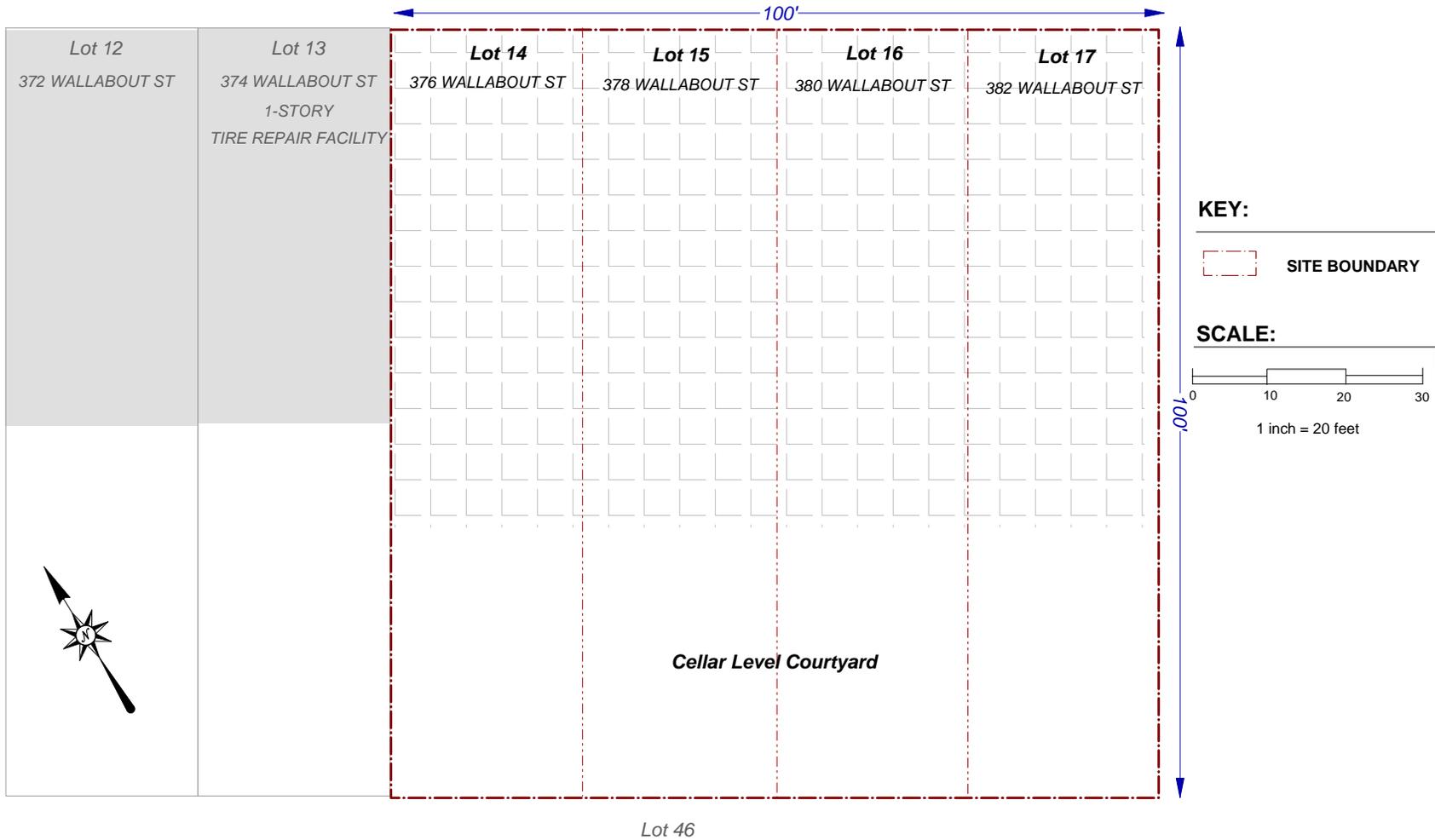
Phone 631.504.6000  
 Fax 631.924.2870

376-382 WALLABOUT STREET  
 BROOKLYN, NEW YORK 11206

FIGURE 1 - SITE LOCATION MAP

# Wallabout Street

**SIDEWALK**



**EBC**  
**ENVIRONMENTAL BUSINESS CONSULTANTS**  
 1808 MIDDLE COUNTRY ROAD, RIDGE, NY 11961

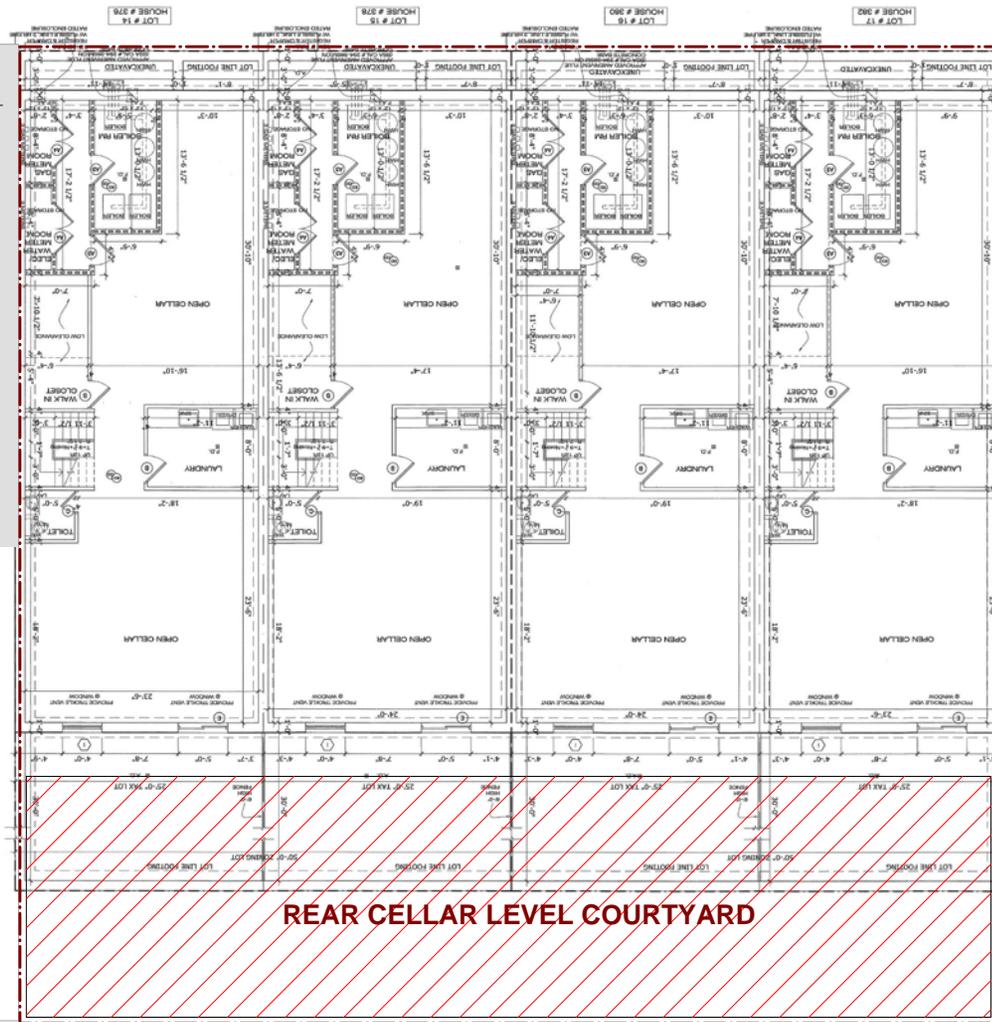
Phone 631.504.6000  
 Fax 631.924.2780

376-382 WALLABOUT STREET  
 BROOKLYN, NY 11206  
**FIGURE 2** SITE BOUNDARY

# Wallabout Street

## SIDEWALK

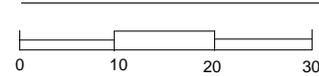
Lot 13  
374 WALLABOUT ST



### KEY:

 SITE BOUNDARY

### SCALE:



1 inch = 20 feet

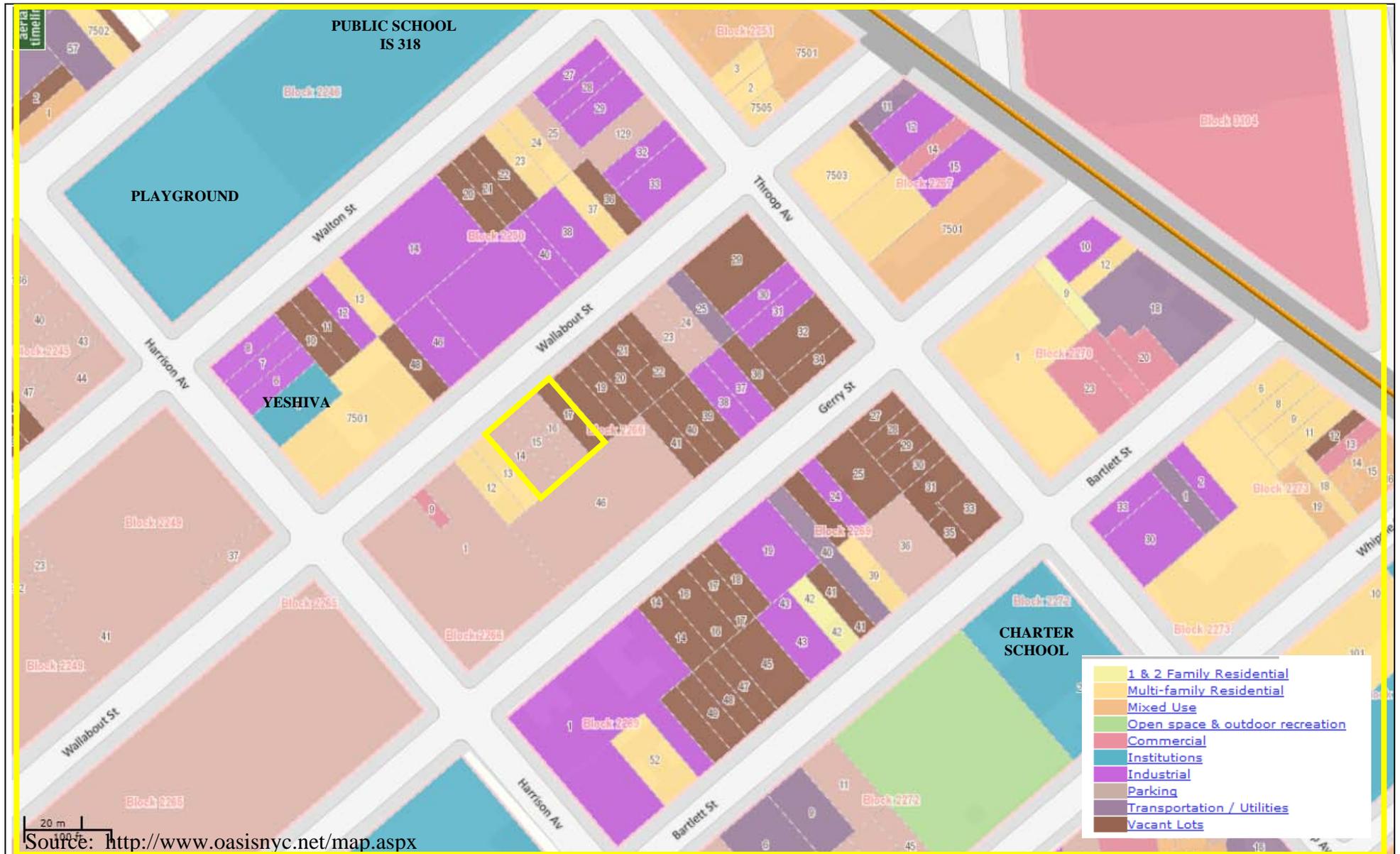
Lot 46

**EB**  
**ENVIRONMENTAL BUSINESS CONSULTANTS**  
1808 MIDDLE COUNTRY ROAD, RIDGE, NY 11961

Phone 631.504.6000  
Fax 631.924.2780

376-382 WALLABOUT STREET  
BROOKLYN, NY 11206

**FIGURE 3**  
REDEVELOPMENT PLAN



**FIGURE 4**  
**SURROUNDING LAND USE MAP**

376-382 WALLABOUT STREET, BROOKLYN NY  
 HAZARDOUS MATERIALS REMEDIAL INVESTIGATION REPORT

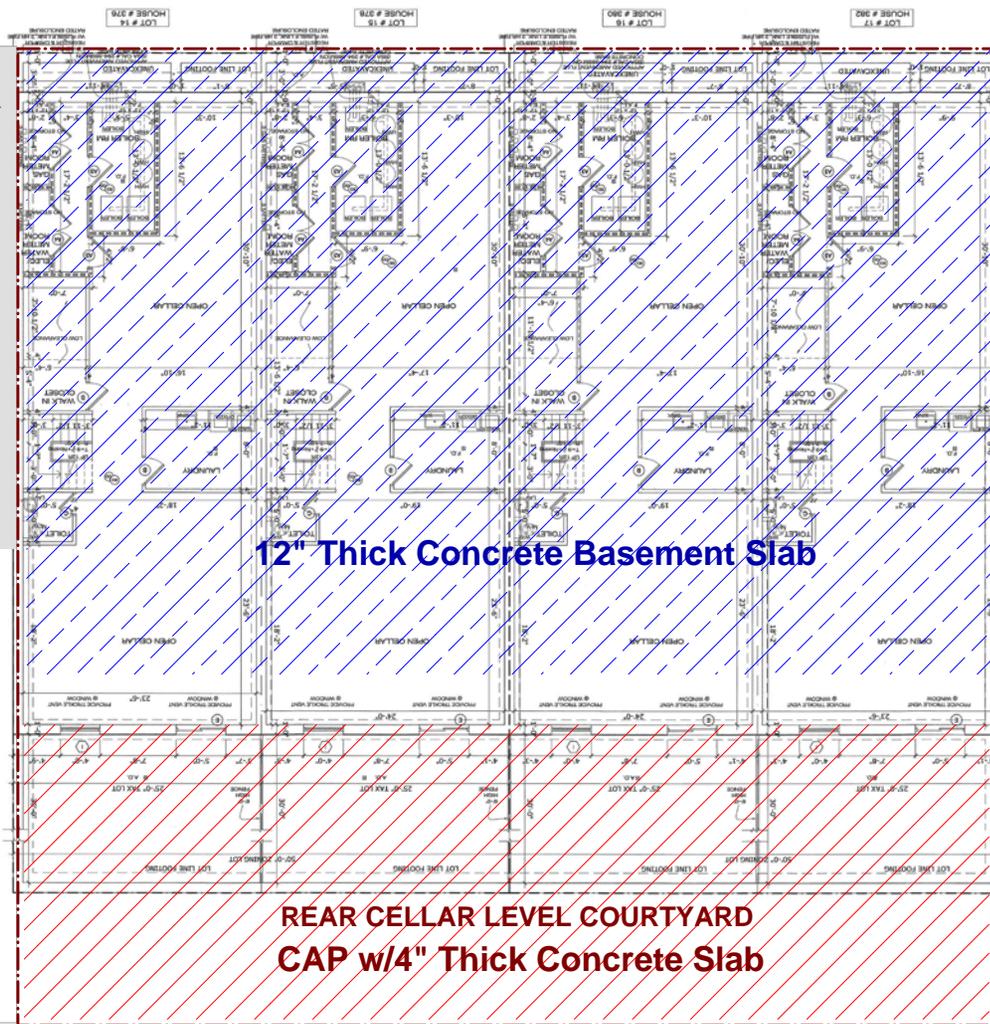


**ENVIRONMENTAL BUSINESS CONSULTANTS**  
 1808 MIDDLE COUNTRY ROAD, RIDGE, NEW YORK 11961  
 PHONE: (631) 504-6000 FAX: (631) 924-2870

# Wallabout Street

## SIDEWALK

Lot 13  
374 WALLABOUT ST



### KEY:

 SITE BOUNDARY

### SCALE:



1 inch = 20 feet

**12" Thick Concrete Basement Slab**

**REAR CELLAR LEVEL COURTYARD  
CAP w/4" Thick Concrete Slab**

Lot 46

**EB**

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1808 MIDDLE COUNTRY ROAD, RIDGE, NY 11961

Phone 631.504.6000  
Fax 631.924.2780

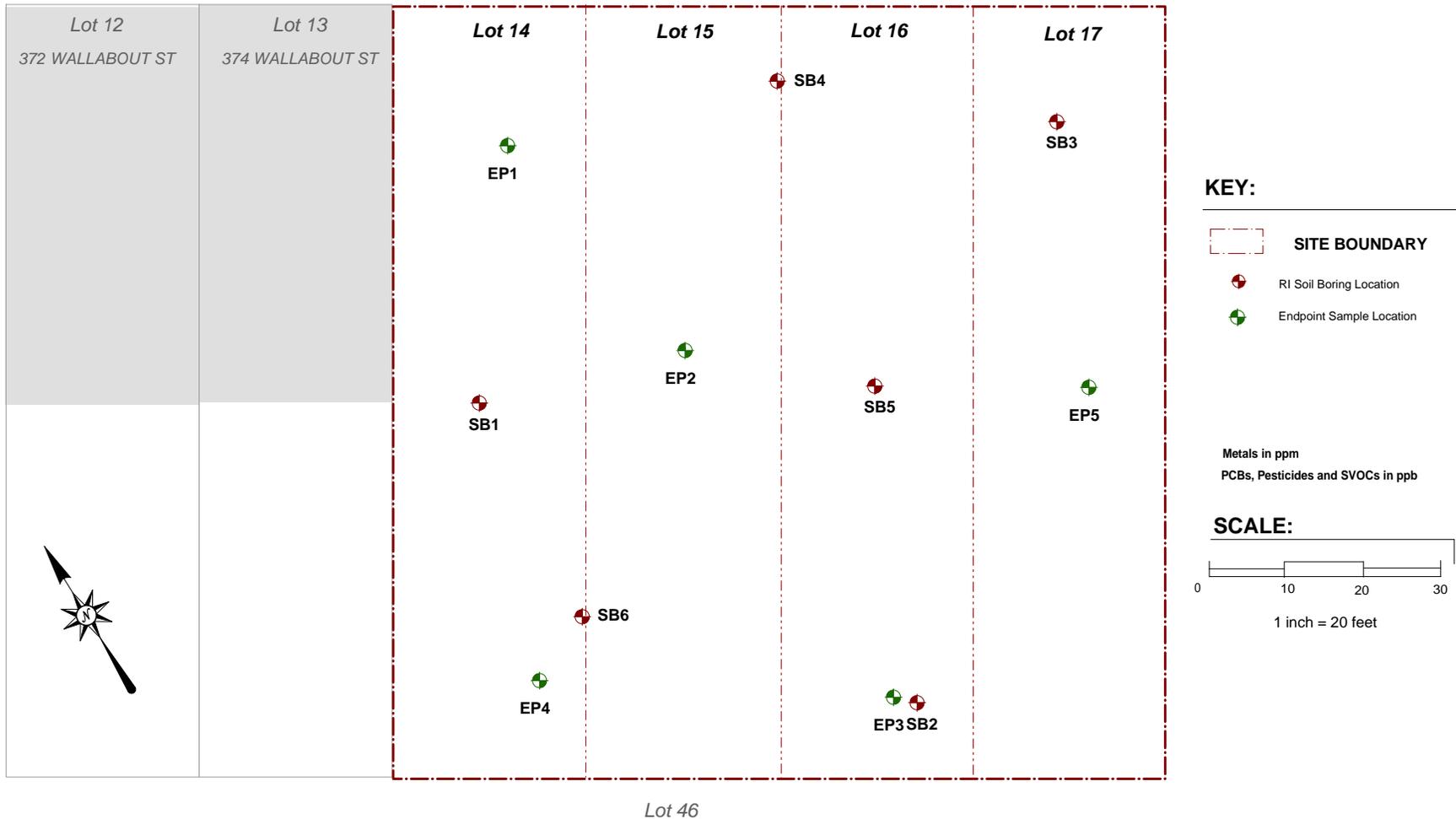
376-382 WALLABOUT STREET  
BROOKLYN, NY 11206

**FIGURE 5**

**EXCAVATION AND CAPPING PLAN**

# Wallabout Street

## SIDEWALK



**EBC**  
**ENVIRONMENTAL BUSINESS CONSULTANTS**  
 1808 MIDDLE COUNTRY ROAD, RIDGE, NY 11961

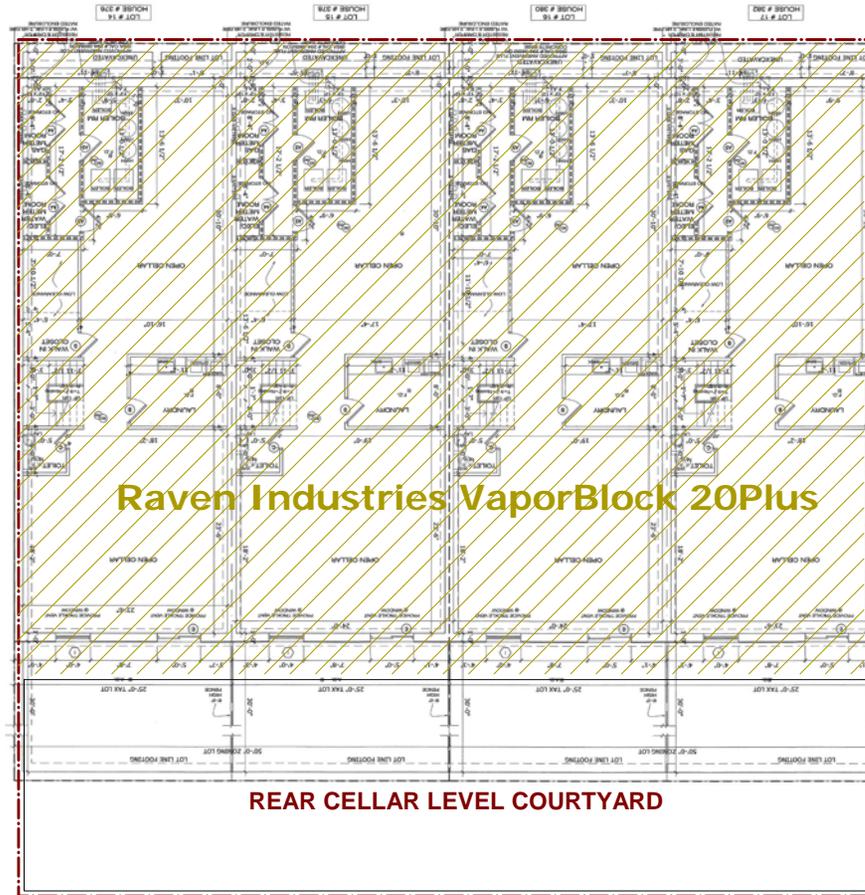
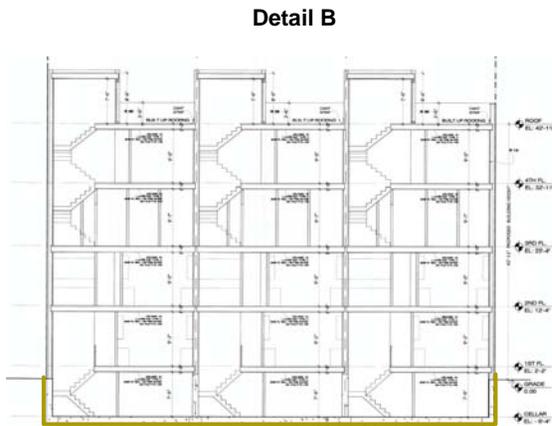
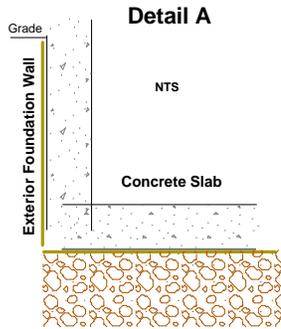
Phone 631.504.6000  
 Fax 631.924.2780

376-382 WALLABOUT STREET  
 BROOKLYN, NY 11206

**FIGURE 6**  
 ENDPOINT SAMPLING PLAN

# Wallabout Street

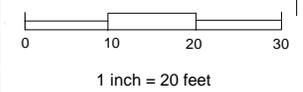
## SIDEWALK



**KEY:**

- SITE BOUNDARY**
- VaporBlock 20Plus

**SCALE:**



**ENVIRONMENTAL BUSINESS CONSULTANTS**  
 1808 MIDDLE COUNTRY ROAD, RIDGE, NY 11961

Phone 631.504.6000  
 Fax 631.924.2780

**376-382 WALLABOUT STREET  
 BROOKLYN, NY 11206**

**FIGURE 7  
 VAPOR BARRIER PLAN**

**ATTACHMENT A**  
**PROPOSED DEVELOPMENT PLANS**

# PROPOSED NEW BUILDING (6 D.U.)

## LEGEND

- MASONRY WALL = 4" THK. FACE BRICK W/ 10" OF 8" APPROVED TYPE LOAD BEARING CONC. BLOCK, FURRED W/ 3 5/8" METAL STUDS @ 16" O.C. W/ 3 1/2" FIBERGLASS BATT INSULATION (R-11) BETWEEN STUDS & (1) LAYER FC #60, 5/8" THK. G.W.B. (3) HR FIRE RATED
- EXTERIOR WALL  
GA FILE NO. WP 8250  
GYPSUM WALLBOARD, STEEL STUDS, GYPSUM SHEATHING, METAL LATH, CEMENT-LIME STUCCO, MINERAL FIBER INSULATION  
EXTERIOR SIDE: ONE LAYER #1 GYPSUM SHEATHING APPLIED AT RIGHT ANGLES TO #20 GAGE STEEL STUDS 16" O.C. SELF-FURRING METAL LATH 3/4 LB. ATTACHED THROUGH SHEATHING TO STUDS WITH #2 TYPE S-12 DRYWALL SCREWS @ 8" O.C. 1" PORTLAND CEMENT-LIME STUCCO APPLIED OVER LATH.  
INTERIOR SIDE: ONE LAYER #1 GYPSUM SHEATHING APPLIED AT RIGHT ANGLES TO #20 GAGE STEEL STUDS 16" O.C. SELF-FURRING METAL LATH 3/4 LB. ATTACHED THROUGH SHEATHING TO STUDS WITH #2 TYPE S-12 DRYWALL SCREWS @ 8" O.C. 1" PORTLAND CEMENT-LIME STUCCO APPLIED OVER LATH.  
MINERAL FIBER INSULATION, 2.0 PCF, IN STUD SPACE. (R-13)
- 3 5/8" METAL STUDS @ 16" O.C. W/ (2) LAYERS, FC #60, 5/8" THK. G.W.B. ON BOTH SIDES, (2) HR FIRE RATED, BSA CAL #301-60 SM GA FILE NO. WP 1521, 45-49 STC SOUND
- 3 5/8" METAL STUDS @ 16" O.C. W/ (1) LAYER, FC #60, 5/8" THK. G.W.B. ON BOTH SIDES, (1) HR FIRE RATED, BSA CAL #301-60 SM GA FILE NO. WP 1072, 40-44 STC SOUND
- 8" APPROVED TYPE LOAD BEARING CONCRETE BLOCK WALL
- POURED CONCRETE FOUNDATION WALL, ON CONCRETE FOOTING.
- MASONRY EQUIVALENT WALL  
SEE SHEET A003 - BSA CALL # 542-68-SM - STC 50 TO 54
- SMOKE & CARBON MONOXIDE DETECTOR (SEE NOTES)
- MECHANICAL VENT., 50 CFM FOR BATHROOM, 75 CFM FOR LAUNDRY ROOM & 125 CFM FOR KITCHEN, 4 CHANGES PER HOUR.
- ILLUMINATED DIRECTIONAL EXIT SIGN W/ 6" H. LETTERS  
ILLUMINATED DIRECTIONAL EXIT SIGN W/ HIGH AND 2" WIDE LETTERS. EXIT SIGN SHALL BE ILLUMINATED AT ALL TIMES
- DOOR KEY (SEE SCHEDULE)
- WINDOW KEY (SEE SCHEDULE)

## ZONING ANALYSIS

PROPERTY DATA:  
ADDRESS: 378-376, BROOKLYN, N.Y.  
BLOCK # 2266  
LOT # 15, 14  
CS # 301  
BIN # 3850965  
ZONING MAP # 13b  
ZONING LOT AREA: 50'-0" x 100'-0" = 5,000 SF  
ZONING DISTRICT: R7A (INCLUSIONARY HOUSING AREA - APPENDIX F, map 4)

(ZR 42-00) PERMITTED USE GROUPS:  
2 RESIDENTIAL, 4 COMMUNITY FACILITY;

SCOPE OF WORK:  
PROPOSED NEW 4-STORY & CELLAR MASONRY BUILDING, PROPOSED RESIDENTIAL UG-2, 06R-2 ON THE CELLAR THRU FOURTH FLOOR; CONSTRUCTION CLASSIFICATION IIA.

ZONING ANALYSIS:  
PROPOSED AS RESIDENTIAL, PERMITTED FLOOR AREA RATIO:  
(ZR 23-144) & (ZR 23-952) BASE F.A.R. = 3.45; MAX FLOOR AREA = 5,000 X 3.45 = 17,250 SF

PROPOSED RESIDENTIAL FLOOR AREA:  
FIRST FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
SECOND FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
THIRD FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
FOURTH FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
TOTAL FLOOR AREA = 13,000 SF + 17,250 S.F. = OK

PERMITTED MAXIMUM LOT COVERAGE  
(ZR 23-144) PERMITTED = 65%, THEREFORE = 0.65 x 5,000 = 3,250 S.F.  
PROPOSED LOT COVERAGE = 3,250 S.F. = 3,250 S.F. OK

DENSITY  
(ZR 23-23) MAX F.A. / 680, THEREFORE 17,250 / 680 = 25 D.U.  
PROPOSED D.U. = 6 x 25 = OK

STREET WALL LOCATION:  
(ZR 23-633 (a)(1)) SAME AS STREET WALL OF EXISTING BUILDING WITHIN 150'-0" LOCATED ON THE SAME BLOCK

PROPOSED STREET WALL LOCATION = 4'-0" OK

SIDEYARDS  
(ZR 23-462(c)) SIDE YARDS = 0'-0" OR 8'-0" MIN. IF ANY  
PROPOSED SIDEYARDS = 0'-0" OK

REAR YARD:  
(ZR 23-47) RESIDENTIAL INTERIOR LOT = 30'-0"  
PROPOSED REAR YARD = 31'-0" OK

PERMITTED HEIGHT AND SETBACK  
(ZR 23-633(d)(c))  
MIN BASE HEIGHT = 40'-0" PROPOSED BASE HEIGHT = 42'-11"  
MAX BASE HEIGHT = 65'-0" PROPOSED BASE HEIGHT = 42'-11"  
MAX BLDG HEIGHT = 80'-0" PROPOSED BLDG HEIGHT = 42'-11"  
SETBACK BEYOND BASE HEIGHT = 15'-0" PROPOSED SETBACK = N/A

REQUIRED PARKING:  
(ZR 23-23) RESIDENTIAL, R7A, REQUIRED PARKING = 50% OF PROPOSED D.U.  
PROPOSED D.U. = 0.5 x 6 = 3 SPACES REQUIRED  
(ZR 25-261) WAIVER FOR DEVELOPMENTS OR ENLARGEMENTS  
ZONING DISTRICT R7A, MIN # OF PARKING SPACES WAIVED = 5 SPACES  
REQUIRED = 3 + 5, THEREFORE RESIDENTIAL PARKING IS WAIVED  
NO PARKING PROPOSED

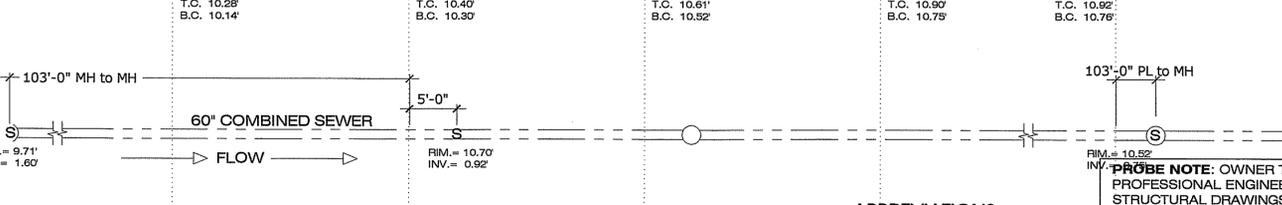
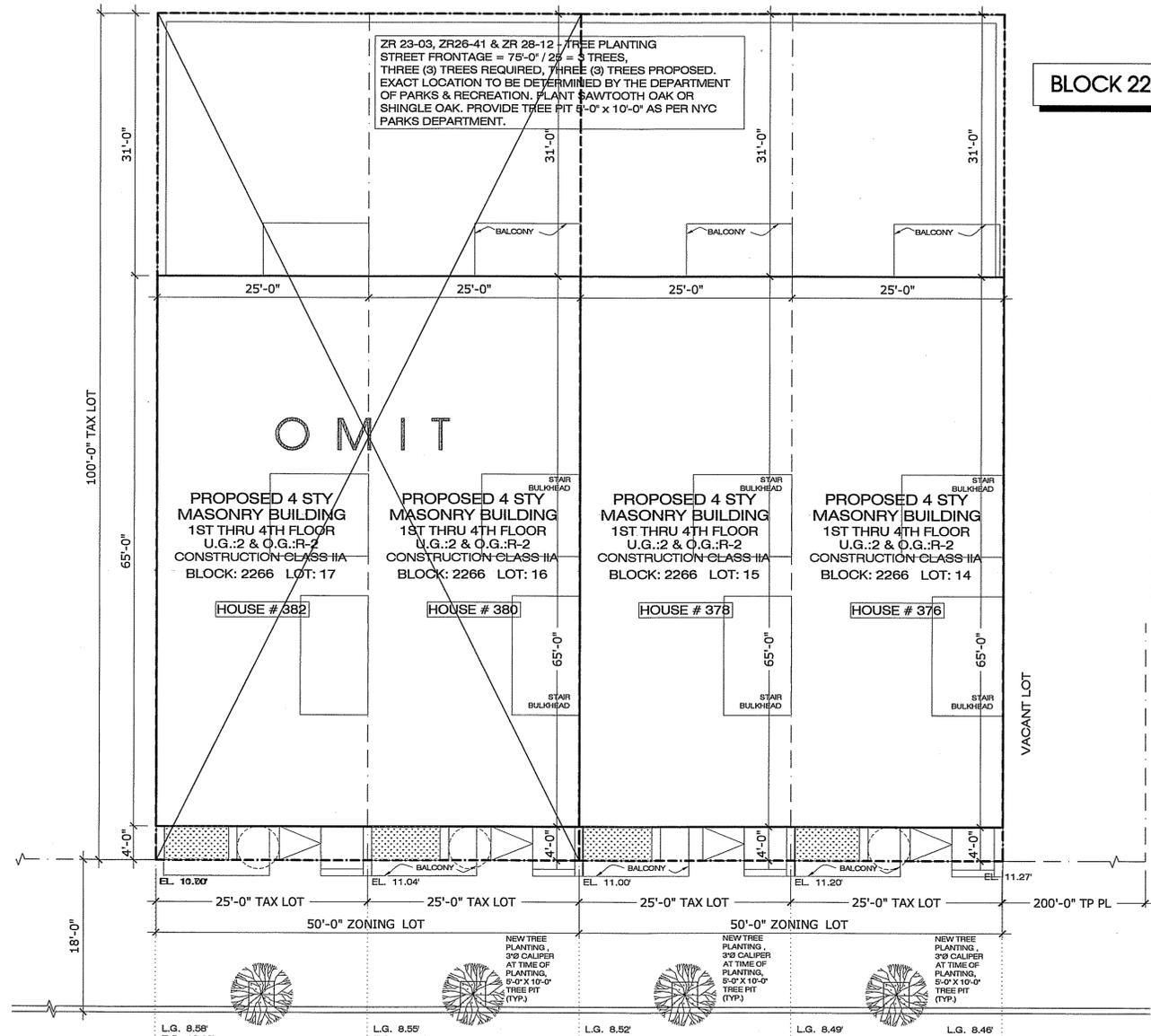
BICYCLE PARKING:  
(ZR 25-811) FOR ENCLOSED BICYCLE PARKING SPACE:  
UG-2 RESIDENTIAL 1 PER 2 D.U. PROPOSED UNITS = 6 / 2 = 3 SPACES REQUIRED  
BUT WHEN BUILDINGS CONTAINING LESS THAN 10 D.U.  
BICYCLE PARKING IS WAIVED

## - QUALITY HOUSING PROGRAM

ZR 28-11 BULK REGULATIONS  
SEE ART II, CHAPTER 3 & 4 BULK REGULATIONS  
ZR 28-21  
ALL DWELLING UNITS SHALL HAVE A MINIMUM 400 S.F. AREA  
PROPOSED MIN. SIZE OF D.U. = 1,350 S.F. APPROX  
ZR 28-22  
REQD: ALL WINDOWS IN THE RESIDENTIAL PORTION OF THE DEVELOPMENT SHALL BE DOUBLE GLAZED  
PROVID: ALL PROPOSED RESIDENTIAL WINDOWS TO BE DOUBLE GLAZED  
ZR 28-23  
DEVELOPMENT WITH 9 OR MORE D.U. PER VERTICAL CIRCULATION CORE TO PROVIDE REFUSE STORAGE DISPOSAL  
PROPOSED # OF D.U. PER VERTICAL CIRCULATION CORE = 3 < 9, NONE REQD  
ZR 28-24  
REQUIRED: 1 W/M PER 20 D.U. & 1 DRYER PER 20 D.U.  
PROPOSED ALL DWELLING UNITS WITH LAUNDRY WITHIN THE APARTMENT  
ZR 28-25  
DAYLIGHT IN CORRIDORS  
50% OF F.A. TO BE DEDUCTED IF WINDOW WITH NON TINTED GLAZED AREA OF 20 S.F. IS PROVIDED  
WINDOW TO BE VISIBLE FROM 50% OF CORRIDOR  
LOCATED AT LEAST 20'-0" FROM A WALL OR A SIDE OR REAR LOT LINE MEASURED IN A HORIZONTAL PLANE AND PERPENDICULAR TO THE ROUGH OPENING OF THE WINDOW  
PROPOSED WITH DAYLIGHT IN CORRIDOR BUT NO DEDUCTION TAKEN

TABLE 601  
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (hours)

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V <sup>1</sup>	
	A	B	A <sup>2</sup>	B	A <sup>2</sup>	B		A <sup>2</sup>	B
Structural frame <sup>a</sup> Including columns, girders, trusses	3 <sup>b</sup>	2 <sup>b</sup>	1	0	1	0	HT	1	0
Hearing walls Exterior <sup>c</sup> Interior	3	2	1	0	2	2	2	1	0
Nonbearing walls and partitions Exterior					See Table 602				
Nonbearing walls and partitions Interior <sup>d</sup>	0	0	0	0	0	0	See Section 602.4.6	0	0
Floor construction <sup>b</sup> Including supporting beams and joists	2	2	1	0	1	0	HT	1	0
Roof construction Including supporting beams and joists	1 1/2 <sup>c</sup>	1 <sup>c</sup>	1 <sup>c</sup>	0 <sup>e</sup>	1 <sup>c</sup>	0	HT	1 <sup>c</sup>	0



## SPECIAL INSPECTIONS

- SPECIAL INSPECTION ITEMS:
- STRUCTURAL STEEL - WELDING
  - STRUCTURAL STEEL - ERECTION & BOLTING
  - STRUCTURAL COLD-FORMED STEEL
  - CONCRETE - CAST-IN-PLACE
  - MASONRY
  - SOILS - SITE PREPARATION
  - SOILS - INVESTIGATIONS (BORINGS/TEST PITS)
  - EXTERIOR INSULATION FINISH SYSTEMS (EIFS)
  - MECHANICAL SYSTEMS
  - EXCAVATION - SHEETING, SHORING, AND BRACING
  - SITE STORM DRAINAGE DISPOSAL AND DETENTION SYSTEM INSTALLATION
  - FIRESTOP, DRAFTSTOP, AND FIREBLOCK SYSTEMS
  - CONCRETE TEST CYLINDERS
  - CONCRETE DESIGN MIX
- PROGRESS INSPECTION ITEMS:
- FOOTING AND FOUNDATION
  - ENERGY CODE COMPLIANCE INSPECTIONS

## SEPERATE APPLICATIONS

- SPRINKLERS
- BUILDERS PAVEMENT PLAN
- MECHANICAL
- STRUCTURES

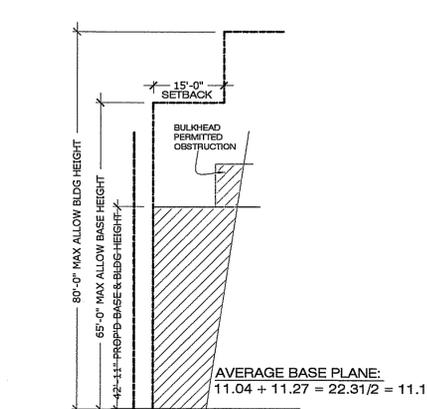
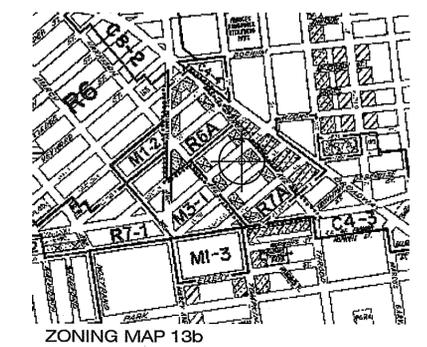
## ABBREVIATIONS

- @ RD. BOARD
- CL. CONCRETE BLOCK
- CL. CLOSET
- CONC. CONCRETE
- DR DRAIN
- DN DOWN
- D.U. DWELLING UNIT
- DWG. DRAWING
- F.P.S.C. FIRE PROOF SELF CLOSING FOOT (FEET)
- FT. GYPSUM
- GYV. LAVATORY
- LAV. GREEN HOUSE
- LN. LINEN
- MTL. METAL
- RD. ROOF DRAIN
- RM. ROOM
- S.F. SQUARE FEET
- STL. STEEL
- TYP. TYPICAL
- W. WATER CLOSET
- WD. WOOD
- WD. WASHER / DRYER
- W.M. WASHING MACHINE

## DRAWING LIST

- Z - 001.00 SITE PLAN & ZONING ANALYSIS
- A - 001.00 CELLAR FLOOR PLAN
- A - 002.00 FIRST FLOOR PLAN
- A - 003.00 SECOND FLOOR PLAN
- A - 004.00 THIRD FLOOR PLAN
- A - 005.00 FOURTH FLOOR PLAN
- A - 006.00 ROOF PLAN
- A - 007.00 CROSS SECTION
- A - 008.00 LONGITUDINAL SECTION
- A - 009.00 ELEVATIONS
- A - 010.00 RISER DIAGRAMS & SCHEDULES
- A - 011.00 NOTES
- A - 012.00 TYPICAL DETAILS
- A - 013.00 H.G. DETAILS
- EN - 001.00 ENERGY COMPLIANCE REPORT
- EN - 002.00 ENERGY COMPLIANCE REPORT

BLOCK 2266



## HEIGHT & SETBACK (ZR 23-633(d))

**PANOS VIKATOS R.A.**  
249-33 BEECH KNOLL AVE  
LITTLE NECK HILLS, NY 11362  
(917) 412-7105 PVARCHITECT@GMAIL.COM

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, MATERIALS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH FABRICATION.

PROJECT TITLE  
**NEW BUILDING**  
378-376 WALLABOUT STREET  
BROOKLYN, NY

DRAWING TITLE  
SITE PLAN  
ZONING  
NOTES  
SCALE: AS NOTED

RELEASE STATUS OF DRAWING ISSUED:  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 PROGRESS PRINT  
 PARTIAL RELEASE  
 FULL RELEASE  
 REVISION

SEAL & SIGNATURE  
  
DATE 5/20/13  
PROJECT No 018-11  
DRAWING BY  
CHECKED BY  
DWG No. 1 OF 11

ENERGY NOTE:  
"TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2010 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE."

Z-001.00

**LEGEND**

- MASONRY WALL = 4" THK. FACE BRICK W/ 10" or 8" APPROVED TYPE LOAD BEARING CONC. BLOCK, FURRED W/ 3 5/8" METAL STUDS @ 16" O.C. W/ 3 1/2" FIBERGLASS BATT INSULATION (R-11) BETWEEN STUDS & (1) LAYER FC #60, 5/8" THK. G.W.B., (3) HR FIRE RATED
- EXTERIOR WALL: GA FILE NO. WP 8250 GYPSUM WALLBOARD, STEEL STUDS, GYPSUM SHEATHING, METAL LATH, CEMENT-LIME STUCCO, MINERAL FIBER INSULATION EXTERIOR SIDE; ONE LAYER 5/8" GYPSUM SHEATHING APPLIED AT RIGHT ANGLES TO 1/2" GAGE STEEL STUDS 16" O.C. SELF-FURRING METAL LATH, 3/4" LB. ATTACHED THROUGH SHEATHING TO STUDS WITH 1/2" TYPE 9-12 DRYWALL SCREWS 6" O.C. 1" PORTLAND CEMENT-LIME STUCCO APPLIED OVER LATH INTERIOR SIDE; ONE LAYER 5/8" GYPSUM SHEATHING APPLIED AT RIGHT ANGLES TO 1/2" GAGE STEEL STUDS 16" O.C. SELF-FURRING METAL LATH, 3/4" LB. ATTACHED THROUGH SHEATHING TO STUDS WITH 1/2" TYPE 9-12 DRYWALL SCREWS 6" O.C. 1" PORTLAND CEMENT-LIME STUCCO APPLIED OVER LATH INTERIOR SIDE; ONE LAYER 5/8" GYPSUM SHEATHING APPLIED AT RIGHT ANGLES TO 1/2" GAGE STEEL STUDS 16" O.C. SELF-FURRING METAL LATH, 3/4" LB. ATTACHED THROUGH SHEATHING TO STUDS WITH 1/2" TYPE 9-12 DRYWALL SCREWS 6" O.C. 1" PORTLAND CEMENT-LIME STUCCO APPLIED OVER LATH INTERIOR SIDE.
- 3 5/8" METAL STUDS @ 16" O.C. W/ (2) LAYERS, FC #60, 5/8" THK. G.W.B. ON BOTH SIDES, (2) HR FIRE RATED, BSA CAL #301-60 SM GA FILE NO. WP 1521, 45-49 STC SOUND
- 3 5/8" METAL STUDS @ 16" O.C. W/ (1) LAYER, FC #60, 5/8" THK G.W.B. ON BOTH SIDES, (1) HR FIRE RATED, BSA CAL #301-60 SM GA FILE NO. WP 1072, 40-44 STC SOUND
- 8" APPROVED TYPE LOAD BEARING CONCRETE BLOCK WALL
- POURED CONCRETE FOUNDATION WALL, ON CONCRETE FOOTING.
- MASONRY EQUIVALENT WALL: SEE SHEET A003 - BSA CALL # 542-68-SM - STC 50 TO 54
- SMOKE & CARBON MONOXIDE DETECTOR (SEE NOTES)
- MECHANICAL VENT., 50 CFM FOR BATHROOM, 75 CFM FOR LAUNDRY ROOM & 125 CFM FOR KITCHEN, 4 CHANGES PER HOUR.
- ILLUMINATED DIRECTIONAL EXIT SIGN W/ 6" H. LETTERS
- ILLUMINATED DIRECTIONAL EXIT SIGN W/ 6" HIGH AND 2" WIDE LETTERS. EXIT SIGN SHALL BE ILLUMINATED AT ALL TIMES
- DOOR KEY (SEE SCHEDULE)
- WINDOW KEY (SEE SCHEDULE)

**ZONING ANALYSIS**

**PROPERTY DATA:**  
 ADDRESS: 382-380, BROOKLYN, NY.  
 BLOCK # 2266  
 LOT # 17, 16  
 CB # 301  
 BIN # 3850965  
 ZONING MAP # 13b  
 ZONING DISTRICT: R7A (INCLUSIONARY HOUSING AREA - APPENDIX F, map 4)  
 (ZR 42-00) PERMITTED USE GROUPS:  
 2 RESIDENTIAL, 4 COMMUNITY FACILITY

**SCOPE OF WORK:**  
 PROPOSED NEW 4-STORY & CELLAR MASONRY BUILDING, PROPOSED RESIDENTIAL U6-2, 06-R-2 ON THE CELLAR THRU FOURTH FLOOR; CONSTRUCTION CLASSIFICATION IIA.

**ZONING ANALYSIS:**  
 PROPOSED AS RESIDENTIAL, PERMITTED FLOOR AREA RATIO:  
 (ZR 23-144) & (ZR 23-952) BASE F.A.R. = 3.45; MAX FLOOR AREA = 5,000 X 3.45 = 17,250 SF

**PROPOSED RESIDENTIAL FLOOR AREA:**  
 FIRST FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
 SECOND FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
 THIRD FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
 FOURTH FLOOR = 50'-0" x 65'-0" = 3,250 S.F.  
 TOTAL FLOOR AREA = 13,000 SF < 17,250 S.F. OK

**PERMITTED MAXIMUM LOT COVERAGE:**  
 (ZR 23-148) PERMITTED = 65%, THEREFORE = 0.65 x 5,000 = 3,250 S.F.  
 PROPOSED LOT COVERAGE = 3,250 S.F. = 3,250 S.F. OK

**DENSITY:**  
 (ZR 23-22) MAX F.A. / 680, THEREFORE 17,250 / 680 = 25 D.U.  
 PROPOSED D.U. = 6 x 25 OK

**STREET WALL LOCATION:**  
 (ZR 23-633 (a)(1)) SAME AS STREET WALL OF EXISTING BUILDINGS WITHIN 150'-0" LOCATED ON THE SAME BLOCK

**PROPOSED STREET WALL LOCATION = 4'-0" OK**

**SIDEYARDS:**  
 (ZR 23-462(c)) SIDE YARDS = 0'-0" OR 8'-0" MIN. IF ANY  
 PROPOSED SIDEYARDS = 0'-0" OK

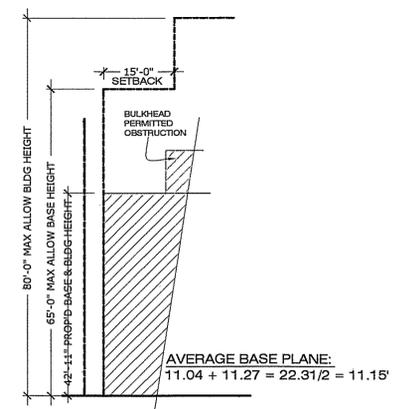
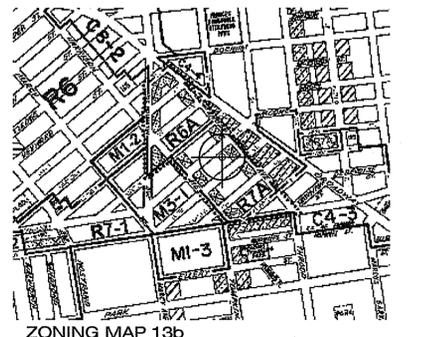
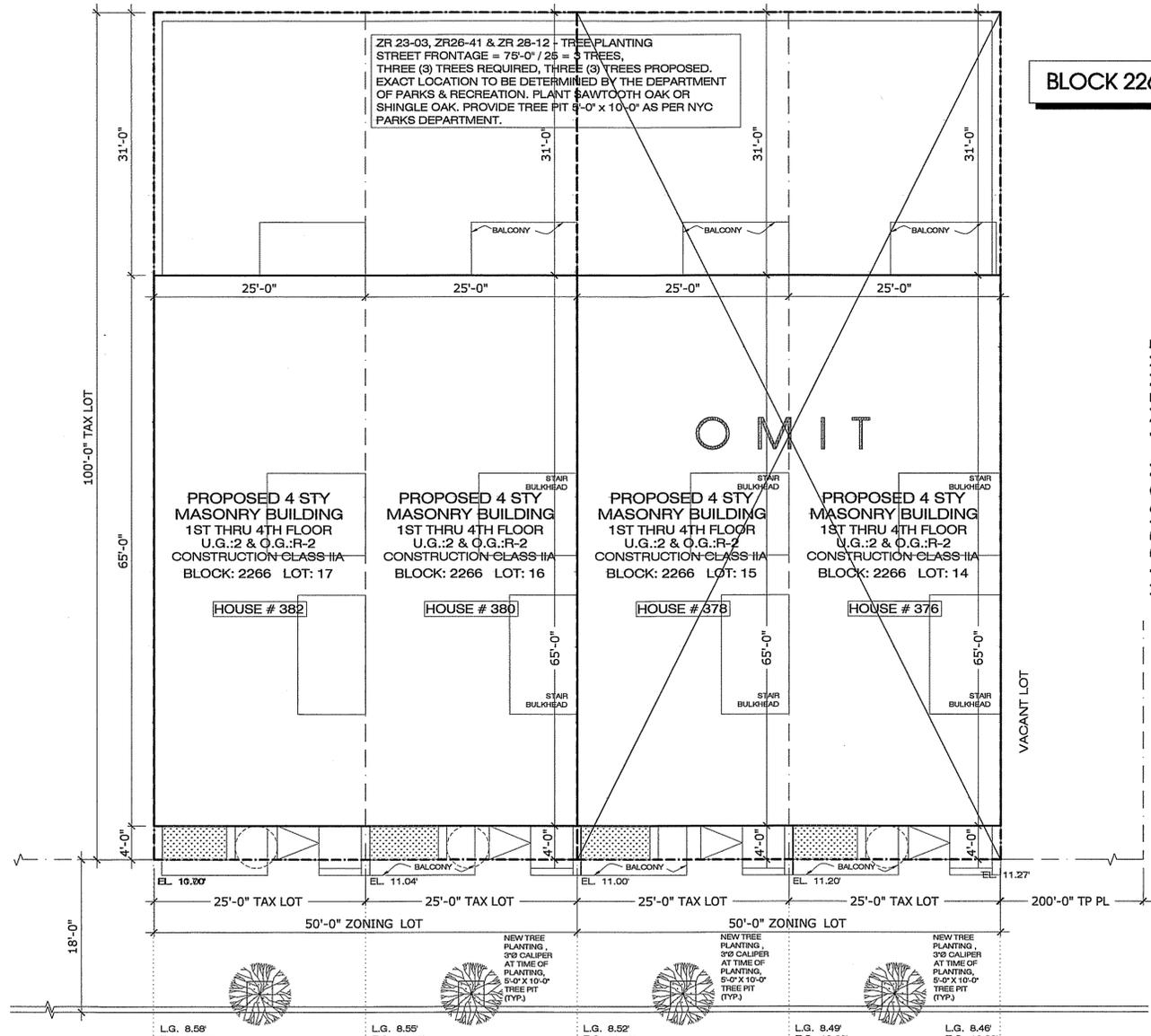
**REAR YARD:**  
 (ZR 23-47) RESIDENTIAL INTERIOR LOT = 30'-0"  
 PROPOSED REAR YARD = 31'-0" OK

**PERMITTED HEIGHT AND SETBACK:**  
 (ZR 23-633(b)(3))  
 MIN BASE HEIGHT = 40'-0" PROPOSED BASE HEIGHT = 42'-11"  
 MAX BASE HEIGHT = 65'-0" PROPOSED BASE HEIGHT = 42'-11"  
 MAX BLDG HEIGHT = 80'-0" PROPOSED BLDG HEIGHT = 42'-11"  
 SETBACK BEYOND BASE HEIGHT = 15'-0" PROPOSED SETBACK = N/A

**REQUIRED PARKING:**  
 (ZR 23-23) RESIDENTIAL R7A, REQUIRED PARKING = 50% OF PROPOSED D.U.  
 PROPOSED D.U. = 0.5 x 6 = 3 SPACES REQUIRED  
 (ZR 25-261) WAIVER FOR DEVELOPMENTS OR ENLARGEMENTS  
 ZONING DISTRICT R7A, MIN # OF PARKING SPACES WAIVED = 5 SPACES  
 REQUIRED = 3 x 5, THEREFORE RESIDENTIAL PARKING IS WAIVED  
 NO PARKING PROPOSED

**BICYCLE PARKING:**  
 (ZR 25-81) FOR ENCLOSED BICYCLE PARKING SPACE:  
 U6-2 RESIDENTIAL 1 PER 2 D.U. PROPOSED UNITS = 6 / 2 = 3 SPACES REQUIRED  
 BUT WHEN BUILDINGS CONTAINING LESS THAN 10 D.U.  
 BICYCLE PARKING IS WAIVED

**PROPOSED NEW BUILDING (6 D.U.)**



**HEIGHT & SETBACK (ZR 23-633(d))**

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**PROJECT TITLE**  
 NEW BUILDING  
 382-380 WALLABOUT STREET  
 BROOKLYN, NY

**DRAWING TITLE** STICKER  
**SITE PLAN**  
**ZONING**  
**NOTES**  
 SCALE: AS NOTED

**RELEASE STATUS OF DRAWING** ISSUED:  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 PROGRESS PRINT  
 PARTIAL RELEASE  
 FULL RELEASE  
 REVISION

**SEAL & SIGNATURE** DATE 5/20/13  
**PROJECT** No 018-11  
**DRAWING BY**  
**CHECKED BY**  
 DWG No 1 OF 11  
**Z-001.00**

**- QUALITY HOUSING PROGRAM**  
 ZR 28-11 BULK REGULATIONS  
 SEE ART II, CHAPTER 3 & 4 BULK REGULATIONS  
 ZR 28-21  
 ALL DWELLING UNITS SHALL HAVE A MINIMUM 400 S.F. AREA  
 PROPOSED MIN. SIZE OF D.U. = 1,350 S.F. appx  
 ZR 28-22  
 REQ'D: ALL WINDOWS IN THE RESIDENTIAL PORTION OF THE DEVELOPMENT SHALL BE DOUBLE GLAZED  
 PROP'D: ALL PROPOSED RESIDENTIAL WINDOWS TO BE DOUBLE GLAZED  
 ZR 28-23  
 DEVELOPMENT WITH 9 OR MORE D.U. PER VERTICAL CIRCULATION CORE TO PROVIDE REFUSE STORAGE DISPOSAL  
 PROPOSED # OF D.U. PER VERTICAL CIRCULATION CORE = 3 < 9, NONE REQ'D  
 ZR 28-24  
 REQUIRED: 1 W/M PER 20 D.U. & 1 DRYER PER 20 D.U.  
 PROPOSED ALL DWELLING UNITS WITH LAUNDRY WITHIN THE APARTMENT  
 ZR 28-25  
 DAYLIGHT IN CORRIDORS  
 50% OF F.A. TO BE DEDUCTED IF WINDOW WITH NON TINTED GLAZED AREA OF 20 S.F. IS PROVIDED  
 WINDOW TO BE VISIBLE FROM 50% OF CORRIDOR  
 LOCATED AT LEAST 20'-0" FROM A WALL OR A SIDE OR REAR LOT LINE MEASURED IN A HORIZONTAL PLANE AND PERPENDICULAR TO THE ROUGH OPENING OF THE WINDOW  
 PROPOSED WITH DAYLIGHT IN CORRIDOR BUT NO DEDUCTION TAKEN

**TABLE 601**  
**FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (hours)**

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V <sup>1</sup>	
	A	B	A <sup>d</sup>	B	A <sup>d</sup>	B		A <sup>d</sup>	B
Structural frame <sup>a</sup> Including columns, girders, trusses	3 <sup>b</sup>	2 <sup>b</sup>	1	0	1	0	HT	1	0
Bearing walls Exterior <sup>4,5</sup> Interior	3	2	1	0	2	2	2	1	0
Nonbearing walls and partitions Exterior					See Table 602				
Nonbearing walls and partitions Interior <sup>6</sup>	0	0	0	0	0	0	See Section 602.4.6	0	0
Floor construction <sup>b</sup> Including supporting beams and joists	2	2	1	0	1	0	HT	1	0
Roof construction Including supporting beams and joists	1 1/2 <sup>f</sup>	1 <sup>c</sup>	1 <sup>e</sup>	0 <sup>e</sup>	1 <sup>e</sup>	0	HT	1 <sup>e</sup>	0

- SPECIAL INSPECTIONS**  
 SPECIAL INSPECTION ITEMS:  
 1. STRUCTURAL STEEL - WELDING  
 2. STRUCTURAL STEEL - ERECTION & BOLTING  
 3. STRUCTURAL COLD-FORMED STEEL  
 4. CONCRETE - CAST-IN-PLACE  
 5. MASONRY  
 6. SOILS - SITE PREPARATION  
 7. SOILS - INVESTIGATIONS (BORINGS/TEST PITS)  
 8. EXTERIOR INSULATION FINISH SYSTEMS (EIFS)  
 9. MECHANICAL SYSTEMS  
 10. EXCAVATION - SHEETING, SHORING, AND BRACING  
 11. SITE STORM DRAINAGE DISPOSAL AND DETENTION SYSTEM INSTALLATION  
 12. FIRESTOP, DRAFTSTOP, AND FIREBLOCK SYSTEMS  
 13. CONCRETE TEST CYLINDERS  
 14. CONCRETE DESIGN MIX  
**PROGRESS INSPECTION ITEMS:**  
 15. FOOTINGS AND FOUNDATION  
 16. ENERGY CODE COMPLIANCE INSPECTIONS

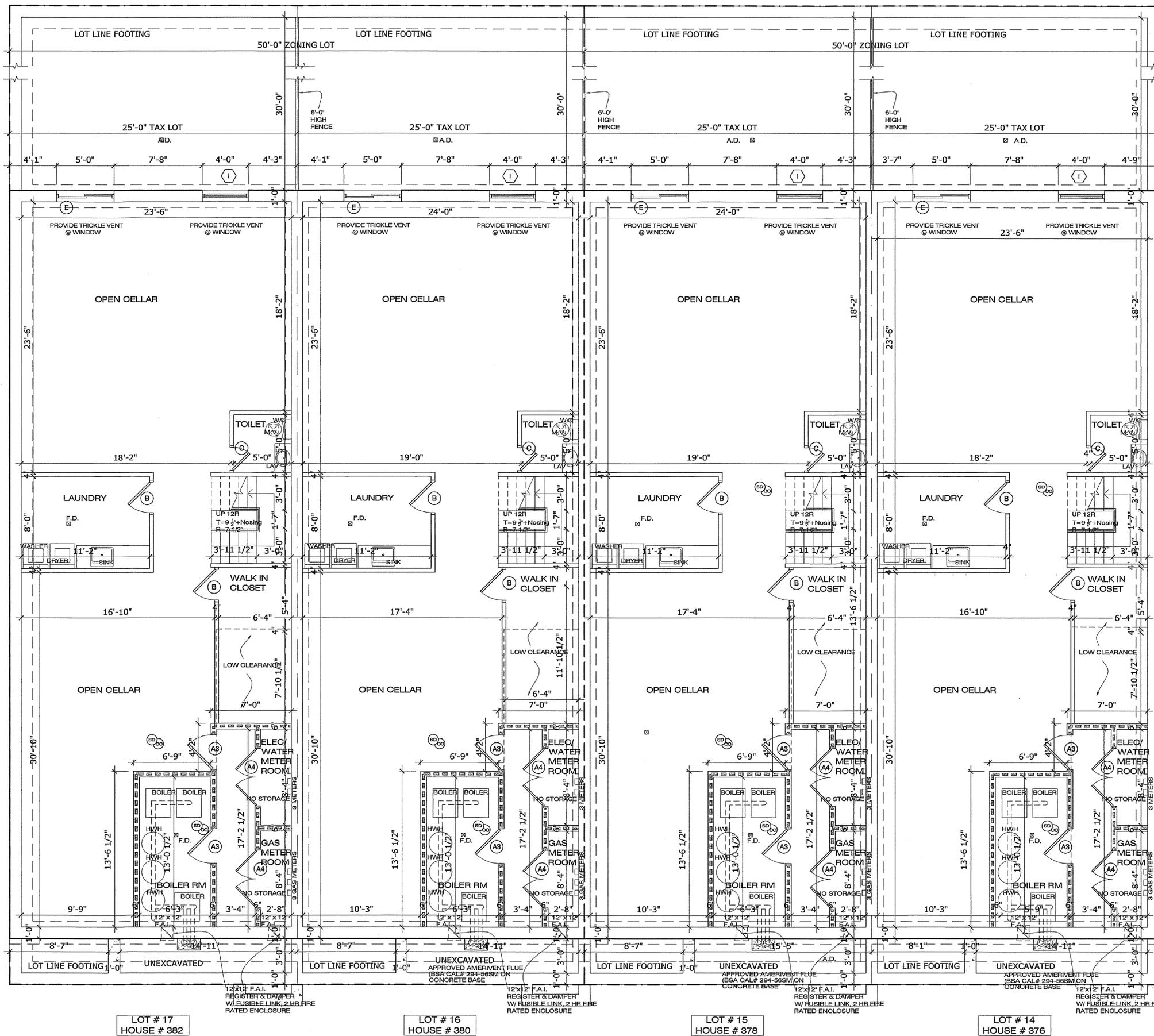
- SEPERATE APPLICATIONS**  
 1. SPRINKLERS  
 2. BUILDERS PAVEMENT PLAN  
 3. MECHANICAL  
 4. STRUCTURES
- DRAWING LIST**  
 Z - 001.00 SITE PLAN & ZONING ANALYSIS  
 A - 001.00 CELLAR FLOOR PLAN  
 A - 002.00 FIRST FLOOR PLAN  
 A - 003.00 SECOND FLOOR PLAN  
 A - 004.00 THIRD FLOOR PLAN  
 A - 005.00 FOURTH FLOOR PLAN  
 A - 006.00 ROOF PLAN  
 A - 007.00 CROSS SECTION  
 A - 008.00 LONGITUDINAL SECTION  
 A - 009.00 ELEVATIONS  
 A - 010.00 RISER DIAGRAMS & SCHEDULES  
 A - 011.00 NOTES  
 A - 012.00 TYPICAL DETAILS  
 A - 013.00 H.C. DETAILS  
 EN - 001.00 ENERGY COMPLIANCE REPORT  
 EN - 002.00 ENERGY COMPLIANCE REPORT

- ABBREVIATIONS**  
 @ BOARD  
 C.B. CONCRETE BLOCK  
 C.L. CLOSET  
 CONC. CONCRETE  
 DR DRAIN  
 DN DOWN  
 D.U. DWELLING UNIT  
 DWG. DRAWING  
 F.P.S.C. FIRE PROOF SELF CLOSING FOOT (FEET)  
 FT. FEET  
 GYPSUM GYPSUM  
 LAV. LAVATORY  
 G.H. GREEN HOUSE  
 LIN. LINEN  
 MTL. METAL  
 RD. ROOF DRAIN  
 RM. ROOM  
 S.F. SQUARE FEET  
 STL. STEEL  
 TYP. TYPICAL  
 W/ WITH  
 W.C. WATER CLOSET  
 WD. WOOD  
 W/D WASHER / DRYER  
 W.M. WASHING MACHINE

**NOTE:**  
 THERE IS NO CONFLICT FOR THE CONSTRUCTION OF BUILDING WITHIN ANY SUBWAY LINES

**NOTE:**  
 ENTIRE BUILDING TO BE FULLY SPRINKLERED. SPRINKLERS TO BE FILED UNDER A SEPERATE APPLICATION - PRIOR TO SIGN OFF

**ENERGY NOTE:**  
 "TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2010 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE."



- BOILER ROOM NOTES**
1. ANY CHANGE OF HEATING APPARATUS TO BE FILED PRIOR TO INSTALLATION.
  2. GAS VENT TO BE AMERIVENT FLUE BSA CAL# 294-565M.
  3. PROVIDE MASONRY FOUNDATION UNDER AMERIVENT FLUE.
  4. PROVIDE MINIMUM 18" CLEARANCE BETWEEN BOILERS & ENCLOSING WALL OR PARTITIONS. PROVIDE 3'-0" CLEARANCE IN FRONT OF BOILER FURNACE FOR MAINTENANCE.
  5. PROVIDE 4" CONCRETE SLAB, ELECTRIC LIGHT & FLOOR DRAIN IN BOILER ROOM.
  6. PROVIDE TWO (2) LAYERS 5/8" SHEETROCK, TYPE 'X' ON THE CEILING.
  7. REFER TO LEGEND FOR BOILER ROOM ENCLOSURE PARTITIONS.
  8. NO METERS, DUMPS/WATER SHAFTS, ELEVATOR SHAFTS, INTERIOR STAIR OR REQUIRED OUTSIDE CELLAR ENTRANCE TO BE LOCATED WITHIN BOILER ROOM.
  9. BOILER ROOM DOOR TO BE ONE (1-1/2) HOUR TEST FIREPROOF SELF-CLOSING BOARD OF STANDARDS & APPEALS APPROVED TYPE.
  10. NO STORAGE PERMITTED WITHIN BOILER ROOM. 11. PROVIDE 12"x12" FIXED REGISTER WITH B.S.A. APPROVED TYPE FIRE DAMPER WITH FUSIBLE LINK 12. INSTALLATION OF EQUIPMENT SHALL COMPLY WITH B.S.A./M.E.A. APPROVAL, BUILDING CODE REQUIREMENTS, DEPARTMENT OF BUILDINGS RULES & REGULATION, AND MANUFACTURER'S SPECIFICATIONS (LATEST EDITION).

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION  
 OCCUPANCY CLASSIFICATION  
 RESIDENTIAL R-2

TABLE 503 - 2008 NYC CONSTRUCTION CODE  
 ALLOWABLE HEIGHT & BUILDING AREA  
 GROUP R-2 & TYPE OF CONSTRUCTION IIA  
 → 6 STORIES AND U.L. S.F.

BC 1009.1 - 2008 NYC CONSTRUCTION CODE  
 STAIRWELL WIDTH, NOT LESS THAN 44" BUT, EXCEPTIONS:  
 1. NOT LESS THAN 36"  
 1.2 WHEN R-2 OCCUPANCY % LESS THAN 125' HEIGHT AND LESS THAN 30 OCCUPANTS PER FLOOR

**HOT WATER HEATER**  
 MANUF: AO SMITH  
 MODEL: (2) FCG-75, CAPACITY = 75,000 BTU'S  
 (1) GCVX-50, CAPACITY = 65,000 BTU'S

**BOILER**  
 MANUF: SLANT/FIN,  
 MODEL: SENTRY S-90 (UNIT 1) INPUT 90,000 BTU  
 SENTRY S-60 (UNIT 2) INPUT 60,000 BTU  
 SENTRY S-120 (UNIT 3) INPUT 120,000 BTU  
 MIN. EFFICIENCY REQUIREMENT AS PER 503.2.3(5)  
 BOILER < 300,000 BTU, GAS FIRED → MIN EFFICIENCY = 80% AFUE  
 PROPOSED UNIT EFFICIENCY = 95% AFUE  
 THERMOSTATIC CONTROLS (TYPICAL TO ALL FLOORS)  
 THE SUPPLY OF HEATING AND/OR COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITHIN THE ZONE

**CELLAR FLOOR PLAN**

SCALE: 1/4"=1'-0"  
 ENTIRE BUILDING TO BE FULLY SPRINKLERED

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**PROJECT TITLE**  
 NEW BUILDING  
 WALLABOUT STREET  
 BROOKLYN, NY

**DRAWING TITLE** | STICKER  
 CELLAR FLOOR PLANS

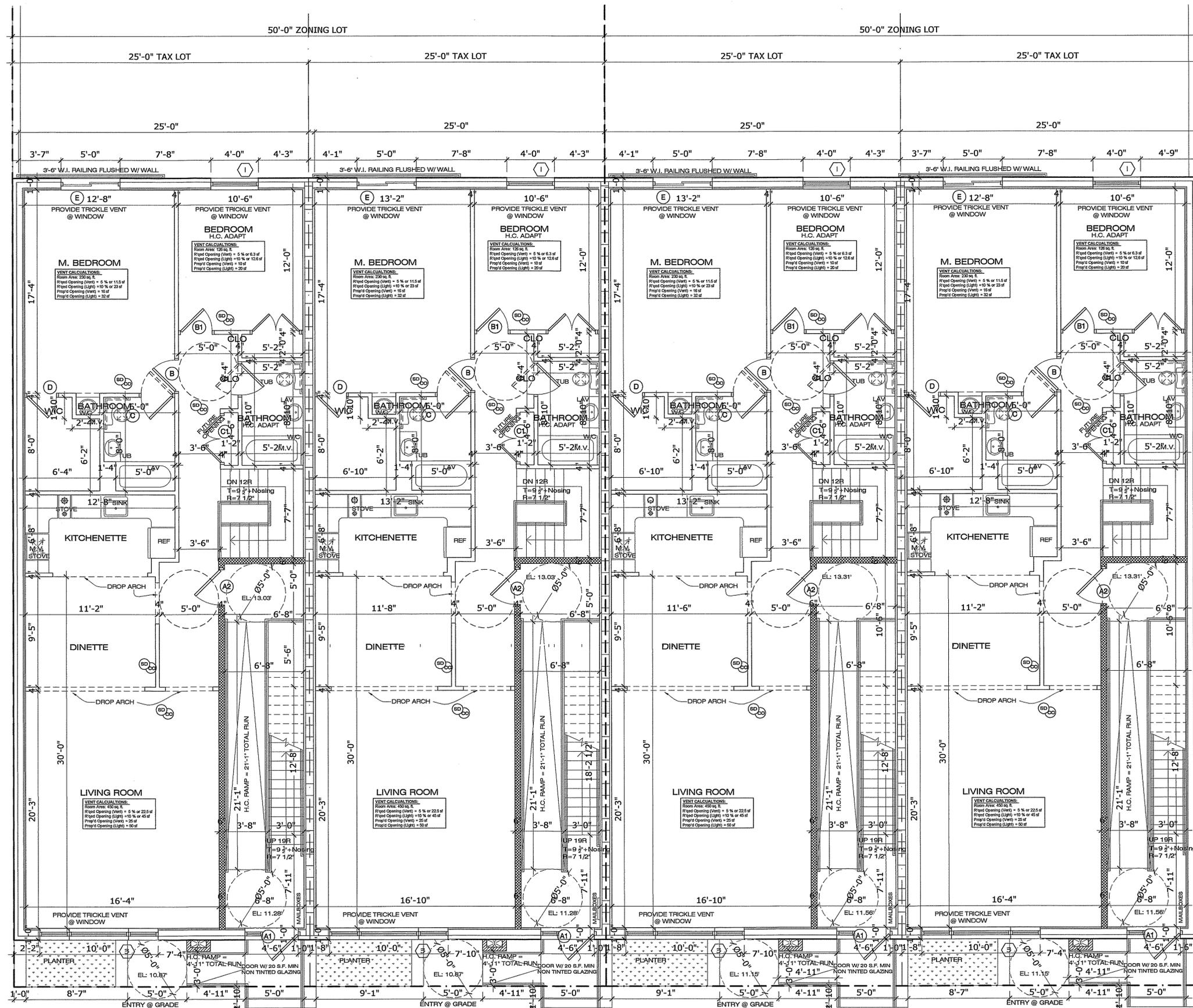
SCALE: AS NOTED

**RELEASE STATUS OF DRAWING** | ISSUED:  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 PROGRESS PRINT  
 PARTIAL RELEASE  
 FULL RELEASE  
 REVISION

**SEAL & SIGNATURE** | DATE: 5/20/13  
 PROJECT No 018-11  
 DRAWING BY  
 CHECKED BY  
 DWG No 2 OF 11

**A-001.00**

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**STAIR NOTES: (ALL STAIRS COMPLY WITH BC 1009)**

1. MIN. TREAD = 9 1/2", MAX. RISER = 7 3/4"
2. PROVIDE HANDRAILS AS FOLLOWS:
  - 1 5/8" PIPE RAILING @ WALLS
  - 2 1 5/8" PIPE RAILS BETWEEN NEWEL POST
3. THE MIN. HEADROOM IN ALL PARTS OF THE STAIR ENCLOSURE SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM
4. STAIR TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS

**BC 1018 - 2008 NYC CONSTRUCTION CODE**  
 NUMBER OF EXITS, MINIMUM # OF EXITS FOR SPACES WITH OCCUPANT LOAD OF 1-500 PERSONS -> 2 EXITS REQUIRED BUT AS PER TABLE 1018.2, OCCUPANCY R-2, NOT EXCEEDING 6 STORIES IN HEIGHT AND 2,000 S.F. PER FLOOR, ONE EXIT PER FLOOR IS PERMITTED

**CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION**  
 OCCUPANCY CLASSIFICATION  
 RESIDENTIAL R-2

**TABLE 503 - 2008 NYC CONSTRUCTION CODE**  
 ALLOWABLE HEIGHT & BUILDING AREA  
 GROUP R-2 & TYPE OF CONSTRUCTION IIA  
 -> 6 STORIES AND U.L. S.F.

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 1.2 WHEN R-2 OCCUPANCY % LESS THAN 12% HEIGHT AND LESS THAN 30 OCCUPANTS PER FLOOR

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PROJECT TITLE	
NEW BUILDING	
WALLABOUT STREET	
BROOKLYN, NY	
DRAWING TITLE	STICKER
FIRST FLOOR PLANS	
SCALE: AS NOTED	

RELEASE STATUS OF DRAWING	ISSUED:
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<input type="checkbox"/> DESIGN DEVELOPMENT	_____
<input type="checkbox"/> PROGRESS PRINT	_____
<input type="checkbox"/> PARTIAL RELEASE	_____
<input type="checkbox"/> FULL RELEASE	_____
<input type="checkbox"/> REVISION	_____

SEAL & SIGNATURE	DATE
	5/20/13
PROJECT No	018-11
DRAWING BY	
CHECKED BY	
DWG No	3 OF 12
<b>A-</b>	
<b>002.00</b>	

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT AND APPROVED BY THE DEPARTMENT OF BUILDINGS

LOT # 17  
 HOUSE # 382  
**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

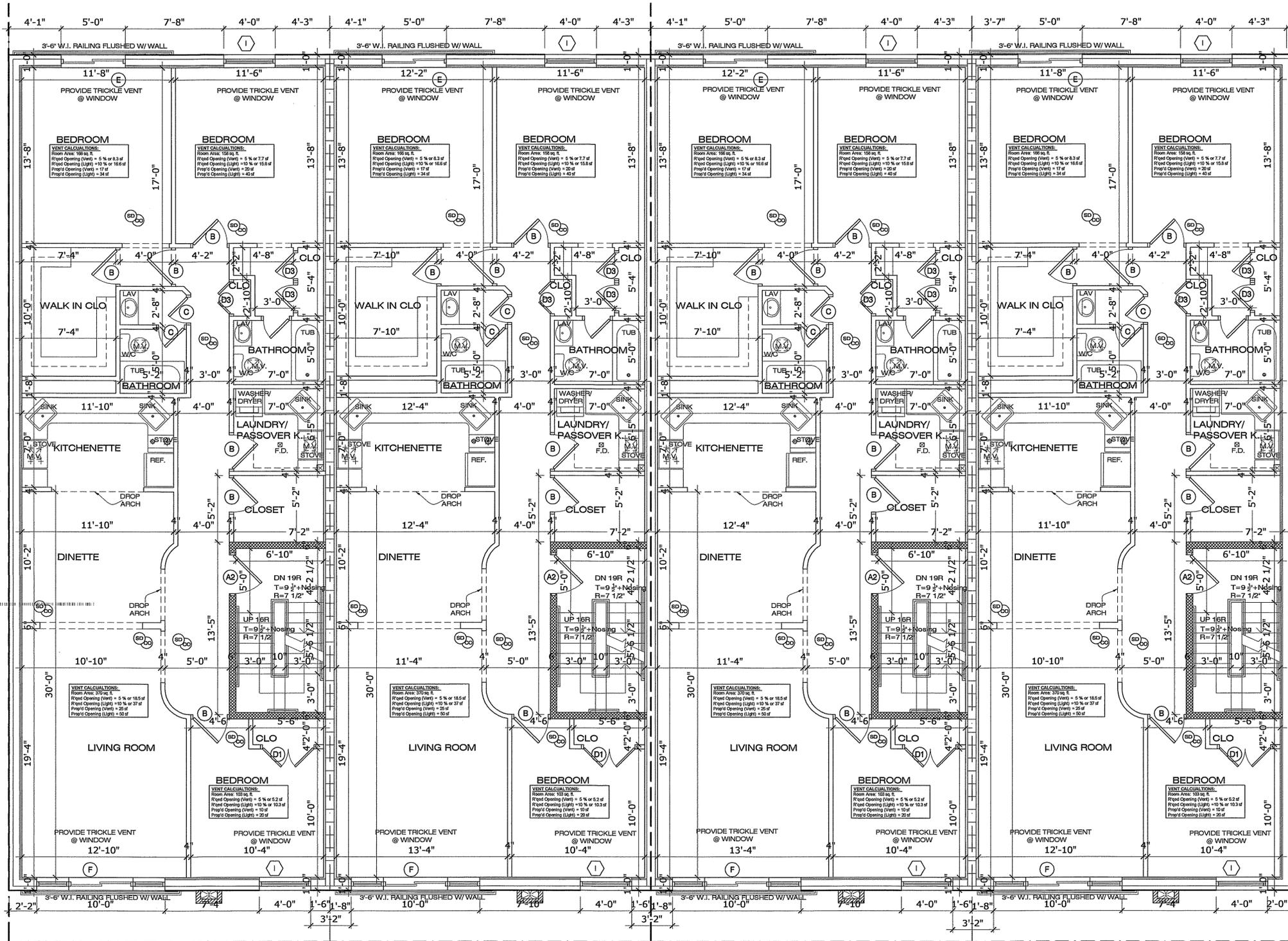
LOT # 16  
 HOUSE # 380

LOT # 15  
 HOUSE # 378

LOT # 14  
 HOUSE # 376

ENTIRE BUILDING TO BE FULLY SPRINKLERED

THERMOSTATIC CONTROLS (TYPICAL TO ALL FLOORS)  
 THE SUPPLY OF HEATING AND/OR COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITHIN THE ZONE



**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"

ENTIRE BUILDING TO BE FULLY SPRINKLERED

**THERMOSTATIC CONTROLS (TYPICAL TO ALL FLOORS)**  
 THE SUPPLY OF HEATING AND/OR COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITHIN THE ZONE

**STAIR NOTES: (ALL STAIRS COMPLY WITH BC 1009)**

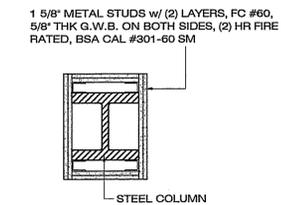
- MIN. TREAD = 9 1/2", MAX. RISER = 7 3/4"
- PROVIDE HANDRAILS AS FOLLOWS:
  - 1 5/8" Ø PIPE RAILING @ WALLS
  - 2 1 5/8" Ø PIPE RAILS BETWEEN NEVEL POST
- THE MIN. HEADROOM IN ALL PARTS OF THE STAIR ENCLOSURE SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OF PLATFORM.
- STAIR TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS

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**CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION**  
 OCCUPANCY CLASSIFICATION  
 RESIDENTIAL R-2

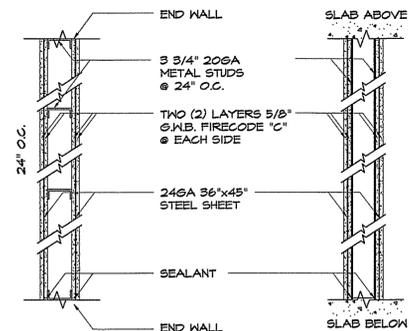
**TABLE 503 - 2008 NYC CONSTRUCTION CODE**  
 ALLOWABLE HEIGHT & BUILDING AREA  
 GROUP R-2 TYPE OF CONSTRUCTION IIIA  
 -> 6 STORIES AND U.L. S.F.

**BC 1009.1 - 2008 NYC CONSTRUCTION CODE**  
 STAIRWELL WIDTH, NOT LESS THAN 44" BUT, EXCEPTIONS:  
 1. NOT LESS THAN 36"  
 1.2 WHEN R-2 OCCUPANCY % LESS THAN 12% HEIGHT AND LESS THAN 30 OCCUPANTS PER FLOOR



**COLUMN PROTECTION DETAIL**

SCALE: 1/4"=1'-1"



PLAN

SECTION

**MASONRY EQUIVALENT WALL**

SCALE: 1" = 1'-0"

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**PROJECT TITLE**  
 NEW BUILDING  
 WALLABOUT STREET  
 BROOKLYN, NY

**DRAWING TITLE** STICKER  
 SECOND FLOOR PLANS  
 SCALE: AS NOTED

**RELEASE STATUS OF DRAWING** ISSUED:

SCHEMATIC DESIGN

DESIGN DEVELOPMENT

PROGRESS PRINT

PARTIAL RELEASE

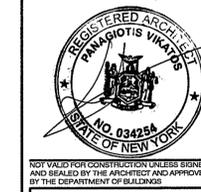
FULL RELEASE

REVISION

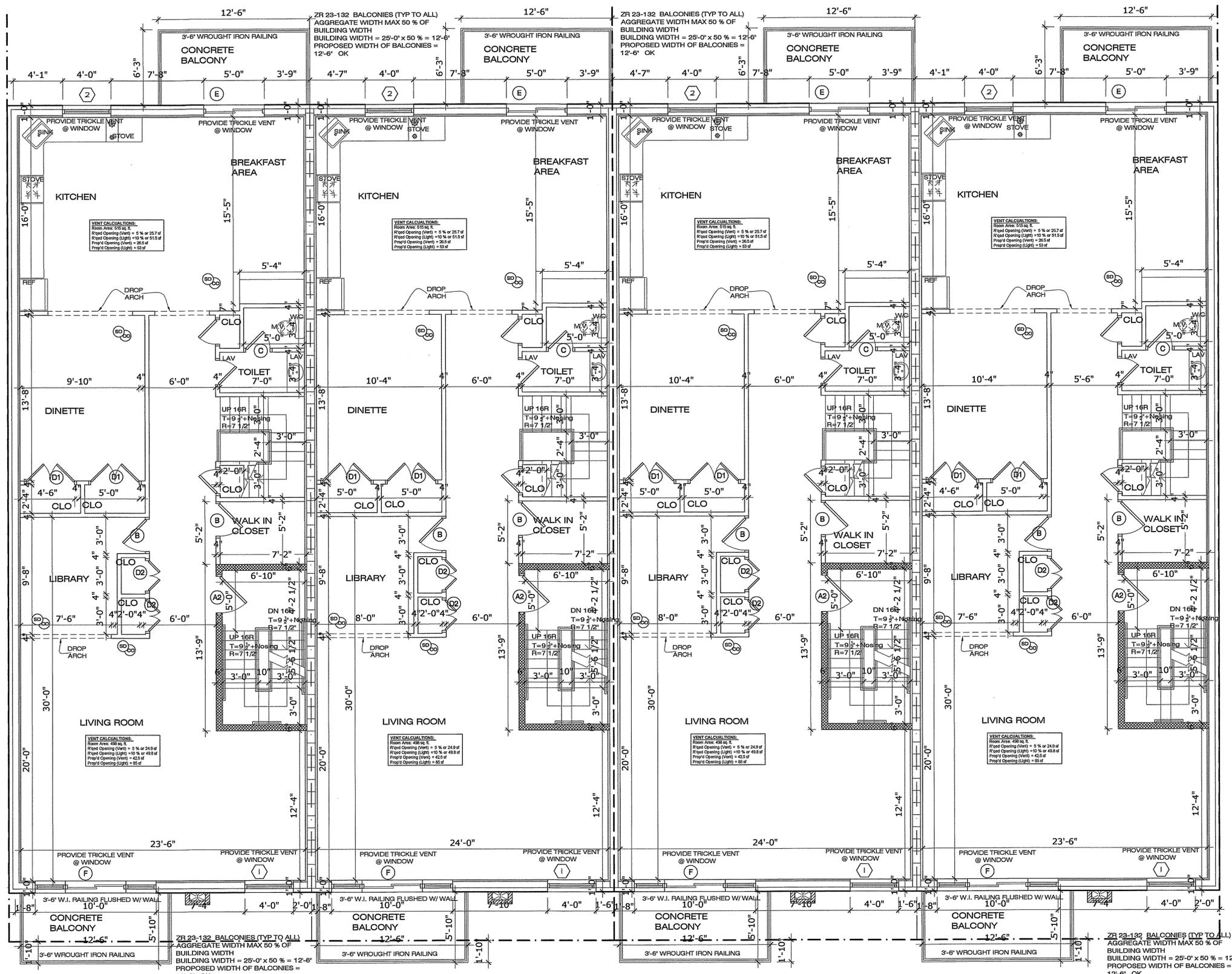
**SEAL & SIGNATURE** DATE 5/20/13

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**THIRD FLOOR PLAN**

SCALE: 1/4"=1'-0"

ENTIRE BUILDING TO BE FULLY SPRINKLERED

**THERMOSTATIC CONTROLS (TYPICAL TO ALL FLOORS)**  
 THE SUPPLY OF HEATING AND/OR COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITHIN THE ZONE

**STAIR NOTES: (ALL STAIRS COMPLY WITH BC 1009)**  
 1. MIN. TREAD = 9 1/2". MAX. RISE = 7 3/4"  
 2. PROVIDE HANDRAILS AS FOLLOWS:  
 - 1 5/8" PIPE RAILING @ WALLS  
 - 2-1 5/8" PIPE RAILS BETWEEN NEWEL POST  
 3. THE MIN. HEADROOM IN ALL PARTS OF THE STAIR ENCLOSURE SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OF PLATFORM  
 4. STAIR TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS

**BC 1009.1-2008 NYC CONSTRUCTION CODE**  
 STAIRWELL WIDTH, NOT LESS THAN 44" BUT, EXCEPTIONS:  
 1. NOT LESS THAN 36"  
 1.2 WHEN R-2 OCCUPANCY % LESS THAN 12% HEIGHT AND LESS THAN 30 OCCUPANTS PER FLOOR

**BC 1018 - 2008 NYC CONSTRUCTION CODE**  
 NUMBER OF EXITS, MINIMUM # OF EXITS FOR SPACES WITH OCCUPANT LOAD OF 1-500 PERSONS -> 2 EXITS REQUIRED BUT AS PER TABLE 1018.2, OCCUPANCY R-2, NOT EXCEEDING 6 STORIES IN HEIGHT AND 2,000 S.F. PER FLOOR, ONE EXIT PER FLOOR IS PERMITTED

**CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION**  
 OCCUPANCY CLASSIFICATION  
 RESIDENTIAL R-2

**TABLE 503 - 2008 NYC CONSTRUCTION CODE**  
 ALLOWABLE HEIGHT & BUILDING AREA  
 GROUP R-2 & TYPE OF CONSTRUCTION IIA  
 -> 6 STORIES AND U.L. S.F.

**PANOS VIKATOS R.A.**  
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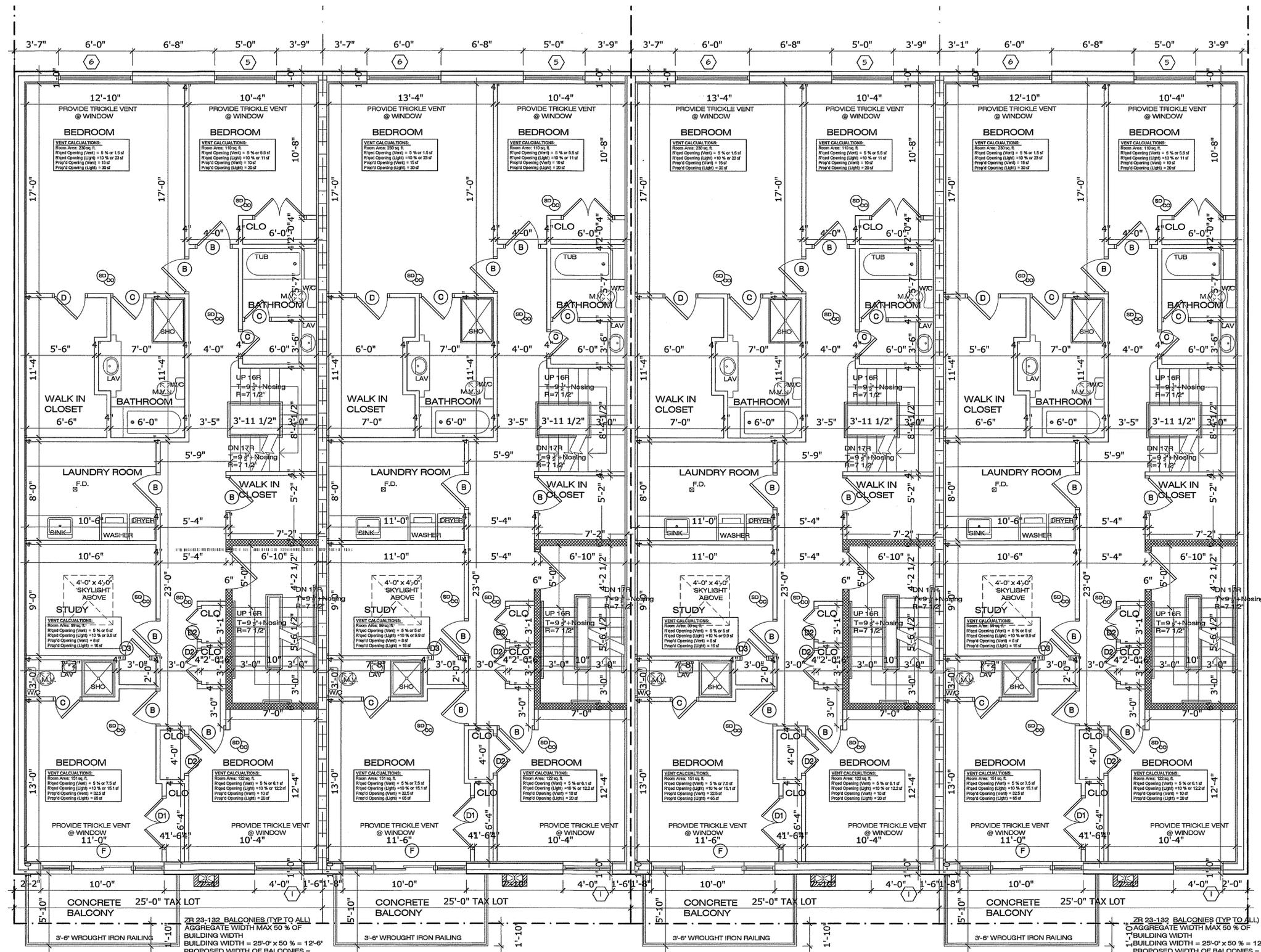
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**PROJECT TITLE**  
 NEW BUILDING  
 WALLABOUT STREET  
 BROOKLYN, NY

**DRAWING TITLE** STICKER  
 THIRD FLOOR PLANS  
 SCALE : AS NOTED

**RELEASE STATUS OF DRAWING** ISSUED:  
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 DESIGN DEVELOPMENT  
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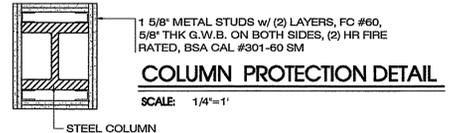
**SEAL & SIGNATURE** **DATE** 5/20/13  
**PROJECT No** 018-11  
**DRAWING BY**  
**CHECKED BY**  
**DWG No** 5 OF 12  
**A-**  
**004.00**



BC 1018 - 2008 NYC CONSTRUCTION CODE  
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 GROUP R-2 & TYPE OF CONSTRUCTION IIA  
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**NEW BUILDING**  
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 BROOKLYN, NY

DRAWING TITLE  
**FOURTH FLOOR PLANS**

STICKER

SCALE: AS NOTED

RELEASE STATUS OF DRAWING ISSUED:

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 REVISION

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DWG No 6 OF 12

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LOT # 17  
 HOUSE # 382

LOT # 16  
 HOUSE # 380

LOT # 15  
 HOUSE # 378

LOT # 14  
 HOUSE # 376

**FOURTH FLOOR PLAN**

SCALE: 1/4"=1'-0"

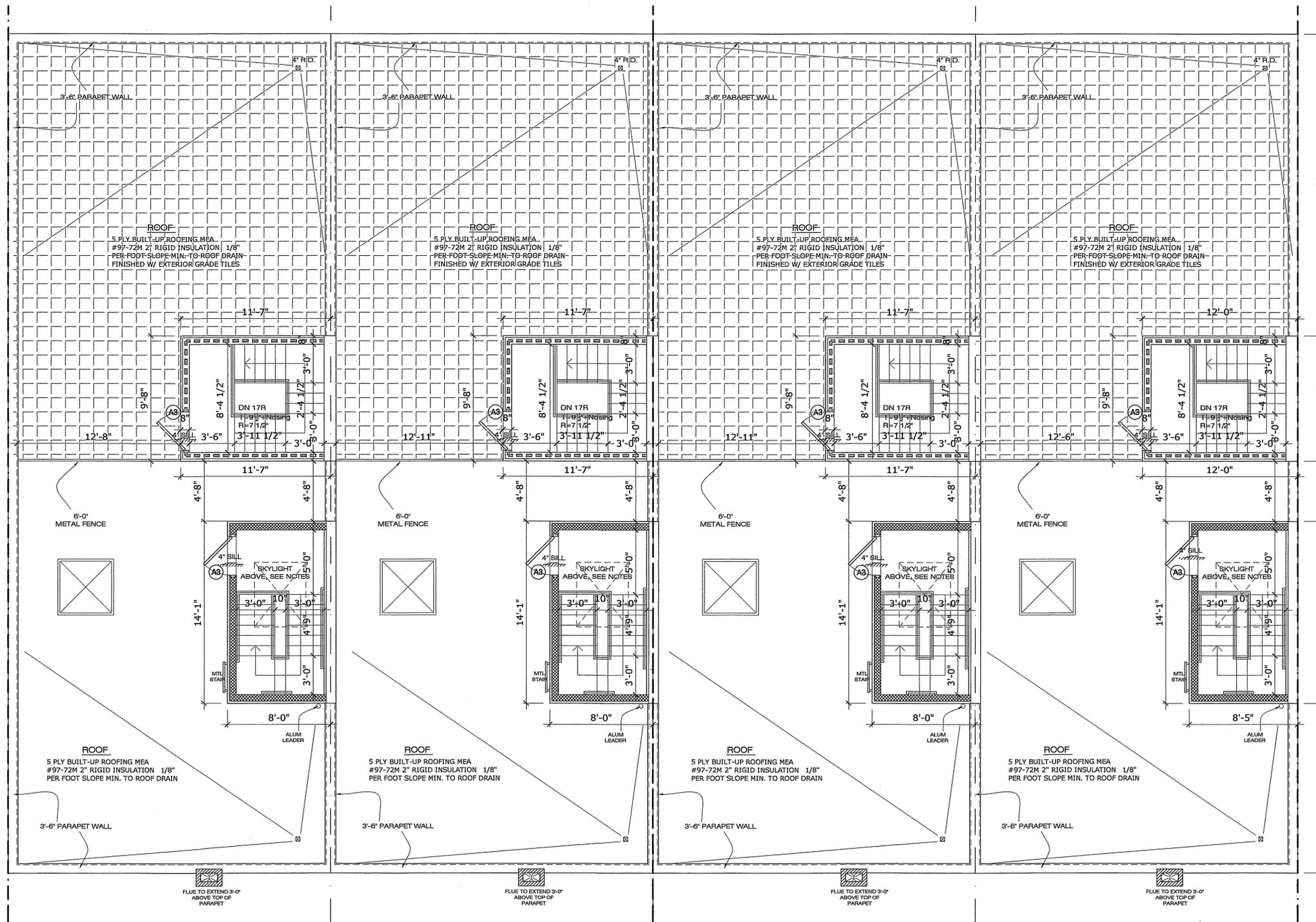
ENTIRE BUILDING TO BE FULLY SPRINKLERED

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 - 2 1/2" 5/8"Ø PIPE RAILS BETWEEN NEWEL POST
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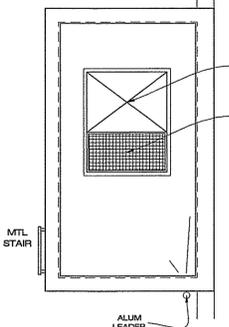
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HOUSE # 382

LOT # 16  
HOUSE # 380

LOT # 15  
HOUSE # 378

LOT # 14  
HOUSE # 376

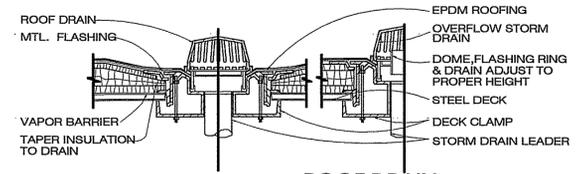
**ROOF PLAN**  
SCALE: 1/4"=1'-0"



SMOKE VENT CALCULATIONS AS PER BC 910.5  
AREA OF SHAFT = 12'-9" x 6'-10" = 87.1 S.F.  
SMOKE VENT DIMENSION AS PER BC 910.5.2:  
87.1 x 0.035 = 3.1 S.F. OR OR 446.4 S.I.

PROPOSED 4'-0" x 5'-0" SKYLIGHT OF TOTAL AREA 20 S.F. OR 2,880 S.I.  
20 S.F. x 1/3 = 6.67 S.F. OR 960 S.I. > 72 S.I.  
THEREFORE 4'-0" x 2'-0" (8 S.F. OR 1152 S.I.) FIXED LOUVER TO SERVE AS SMOKE VENT  
THE REMAINING PORTION OF 4'-0" x 3'-0" TO BE A SKYLIGHT GLAZED WITH PLAIN GLASS NOT  
MORE THAN 1/8 INCH THICK OR WITH PLASTIC GLAZING

**BULKHEAD PLAN & SMOKE VENT DETAILS**  
SCALE: 1/4"=1'-0"



**ROOF DRAIN**  
SCALE: 3/4"=1'-0"

- CONTROLLED FLOW NOTES
1. PROVIDE 3" BUILT-UP CONTROL-FLOW ROOF DRAIN; 2 ROOF DRAINS FOR 10,000 S.F. OR LESS OF ROOF AREA; 4 ROOF DRAINS FOR MORE THAN 10,000 S.F. OF ROOF AREA.
  2. THE WATER DEPTH ON THE ROOF SHALL NOT EXCEED 3" IN DEPTH, DURING A 10 YEAR REQUENCY STORM.
  3. FLASHING SHALL EXTEND AT LEAST 6" ABOVE THE ROOF LEVEL.
  4. SCUPPERS SHALL BE PLACED IN THE PARAPET WALL 4" ABOVE THE ROOF LEVEL.
  5. SEPERATE STORM & SANITARY DRAINAGE SYSTEMS WILL BE INSTALLED WITHIN THE BUILDING.

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BROOKLYN, NY

DRAWING TITLE  
**ROOF PLANS**

STICKER

SCALE : AS NOTED

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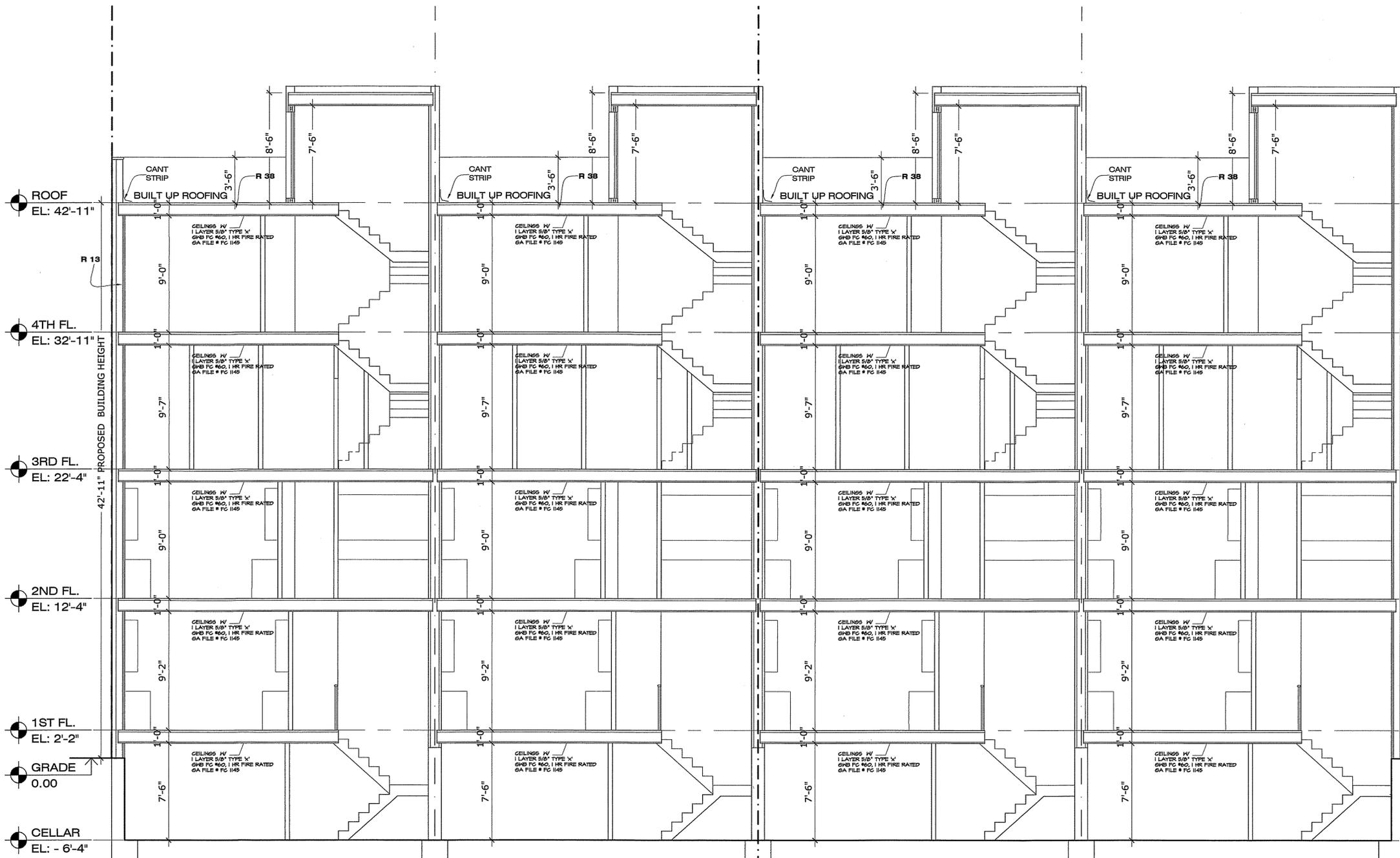
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REFER TO STRUCTURAL DRAWINGS FOR DETAILED SIZE AND DEPTH OF FOUNDATION

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LOT # 17  
HOUSE # 382

LOT # 16  
HOUSE # 380

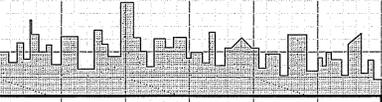
LOT # 15  
HOUSE # 378

LOT # 14  
HOUSE # 376

**CROSS SECTION**

SCALE: 1/4"=1'-0"

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DRAWING TITLE  
**CROSS SECTIONS**

SCALE : AS NOTED

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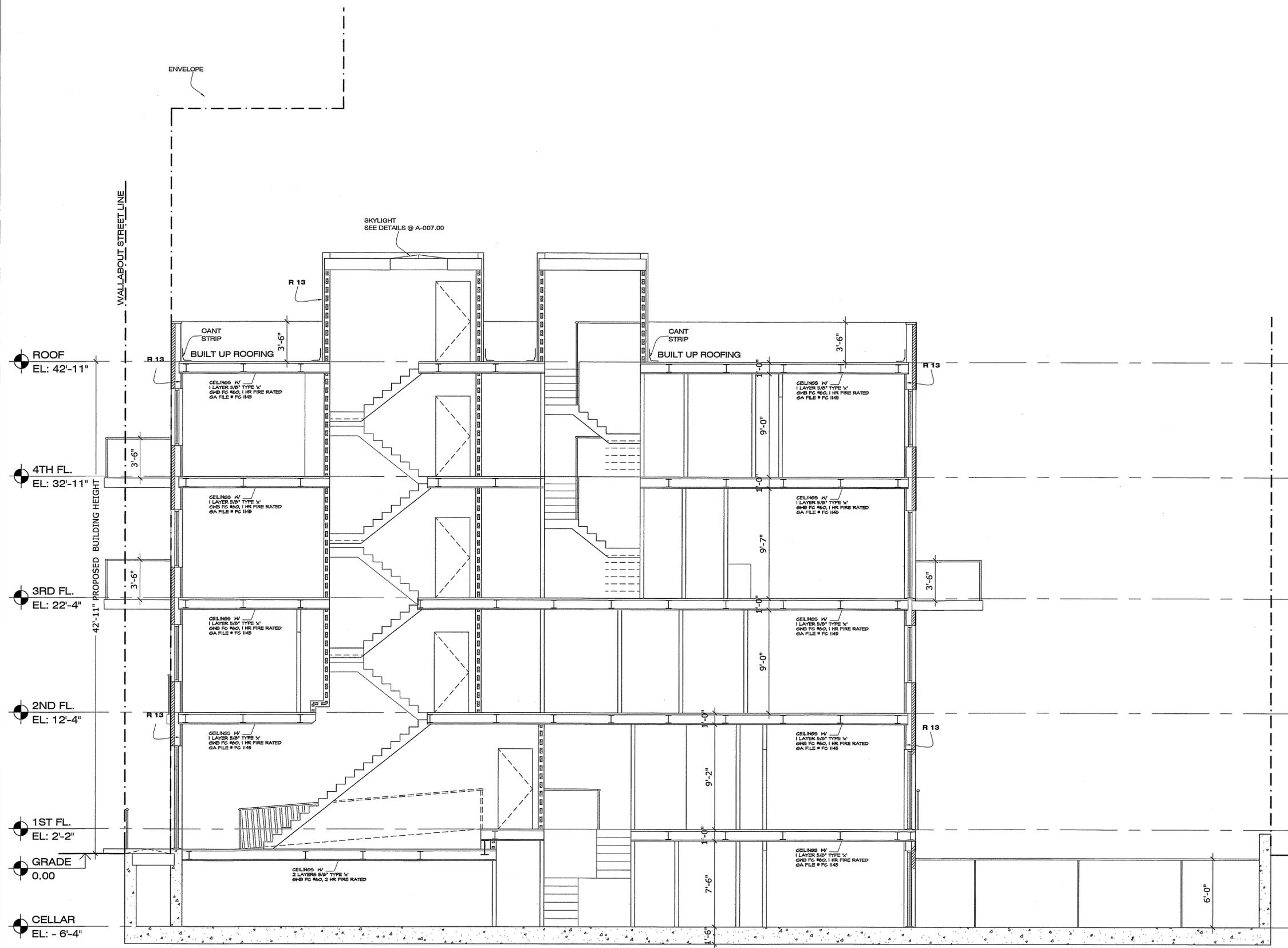
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DWG No 8 OF 12

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REFER TO STRUCTURAL DRAWINGS FOR DETAILED SIZE AND DEPTH OF FOUNDATION

**CROSS SECTION**

SCALE: 1/4"=1'-0"

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DRAWING TITLE  
 LONGITUDINAL SECTION

STICKER

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**WALLABOUT STREET ELEVATION**

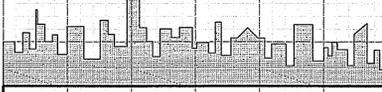
SCALE: 3/16"=1'-0"



**REAR ELEVATION**

SCALE: 3/16"=1'-0"

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DRAWING TITLE  
 ELEVATIONS

STICKER

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**009.00**

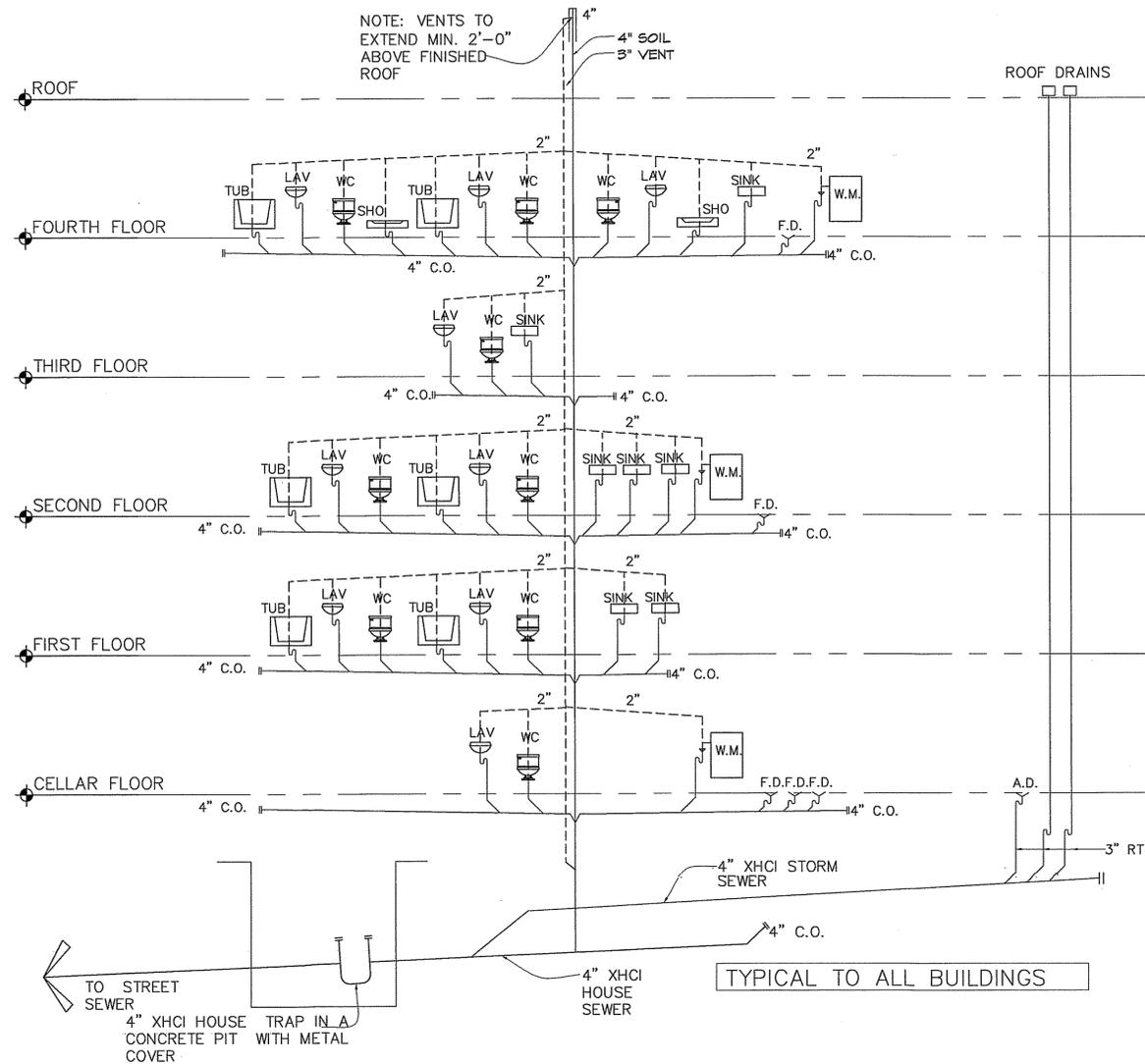


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**PLUMBING NOTES**

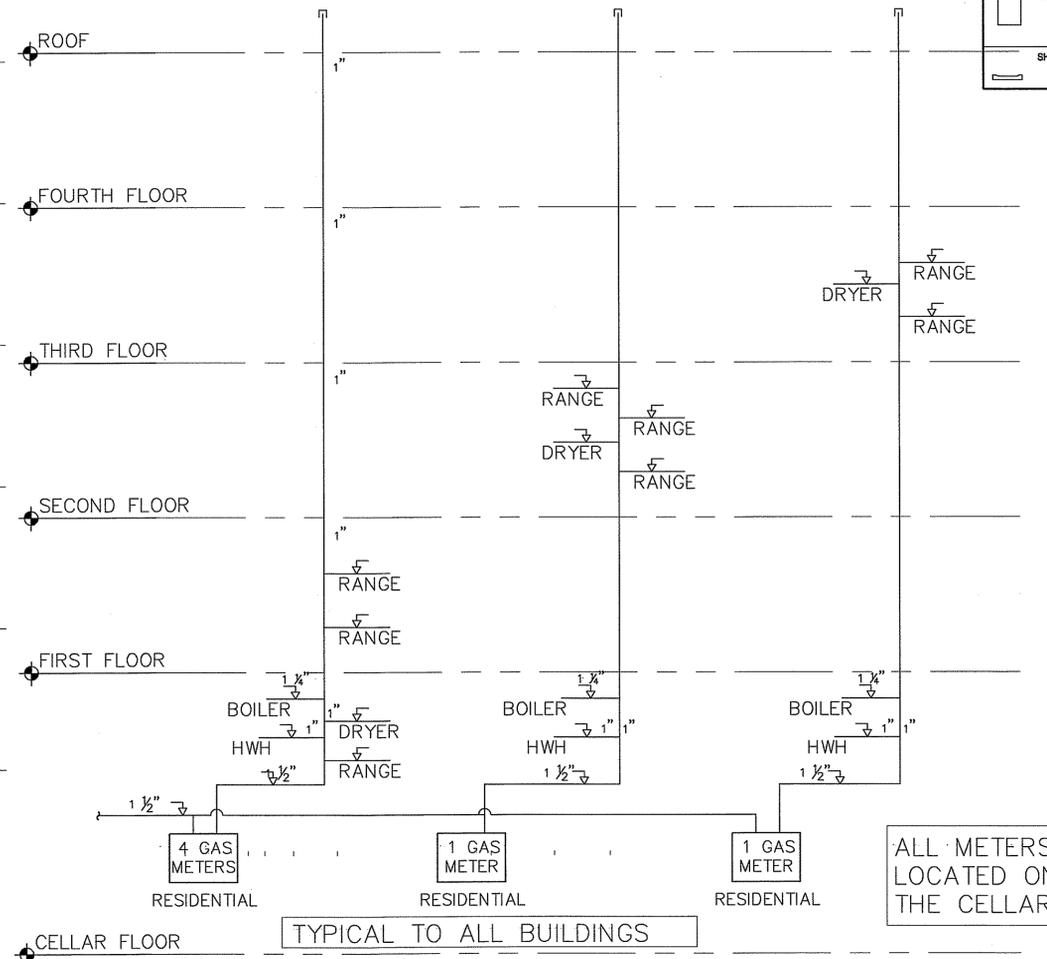
1. COMPLETE PLUMBING SYSTEM & DRAINAGE SYSTEM INSTALLATION SHALL COMPLY WITH ARTICLE 16 & RS16-1.
2. PROVIDE CLEANOUT AT BASE OF ALL STACKS.
3. PROVIDE AIR CHAMBERS AT TOP OF WATER RISERS MIN 18" TO 1' DIAMETER.
4. STANDARD WEIGHT BLACK STEEL PIPE FOR GAS SYSTEM WITH GALVANIZED STEEL FITTINGS.
5. FLOOR DRAINS SHALL BE PROVIDED WITH REMOVABLE STRAINER AS PER RS 16.
6. TRAPS FOR FLOOR DRAINS SHALL BE DEEP SEAL TYPE.
7. ROOF GUTTERS SHALL BE AS PER RS 16-19.
8. PLUMBING CONTRACTOR SHALL VERIFY ALL INVERT AND EXISTING CONDITIONS PRIOR TO THE INSTALLATION OF NEW WORK.
9. ALL HOT AND COLD WATER LINES TO BE INSULATED WITH 1" FIBERGLASS FOIL BACKED.
10. PROVIDE SHUT OFF VALVES ON ALL WATER SUPPLIES IN FIXTURE.
11. PURGE ALL WATER AND GAS LINES BEFORE FINAL CONNECTIONS.

PLUMBING FIXTURE SCHEDULE						
SYMBOL	ABBR	DESCRIPTION	S/W	V	HW	CW
	SINK	18 GA. STAINLESS STEEL WITH DRAIN 1 OR 2 COMPARTMENTS KITCHEN SINK	2"	1 1/2"	1/2"	1/2"
	LAV	LAVATORY SELF-RIMMING SET IN COUNTER TOP WITH CENTER SET & OPEN DRAIN	1 1/2"	1 1/2"	1/2"	1/2"
	WC	WATER CLOSET FLUSH TANK FLOOR MOUNTED - WHITE, WITH OPEN FRONT SOLID PLASTIC SEAT - VITREOUS CHINA	4"	2"		3/4"
	TUB	CAST IRON WITH ENAMEL FINISH BATH TUB	1/2"	1 1/2"	1/2"	1/2"
	WM	WASHING MACHINE, PROVIDED BY OWNER, PROVIDE AMERICAN STANDARD VACUUM BREAKER (ME#40-704)	2"	1 1/2"	1/2"	1/2"
	SHO	SHOWER WITH PRECAST RECEPTOR	2"	1 1/2"	1/2"	1/2"



**PLUMBING RISER DIAGRAM**

SCALE: NTS AS PER NYCPC 106.5



**GAS RISER DIAGRAM**

SCALE: NTS AS PER FGC 106.5

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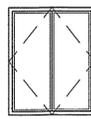
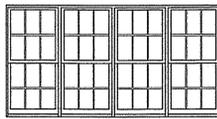
DRAWING TITLE  
**PLUMBING AND GAS RISERS**  
 STICKER

SCALE : AS NOTED

RELEASE STATUS OF DRAWING ISSUED:  
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SEAL & SIGNATURE  
  
 DATE 5/20/13  
 PROJECT No 018-11  
 DRAWING BY  
 CHECKED BY  
 DWG No 11 OF 12  
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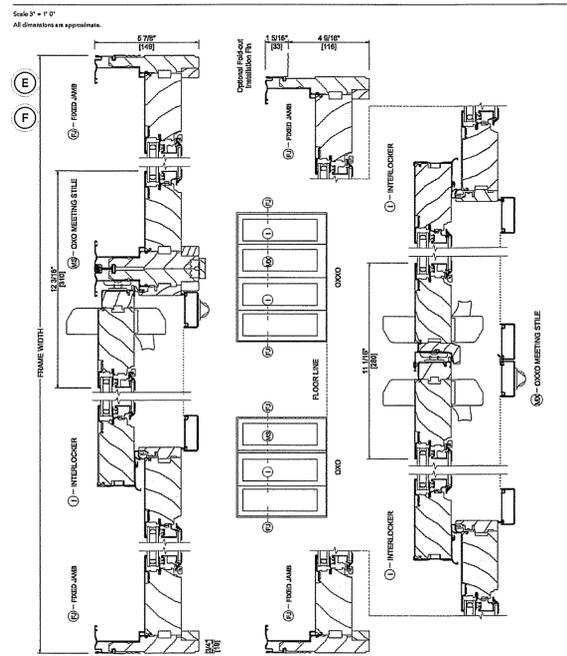
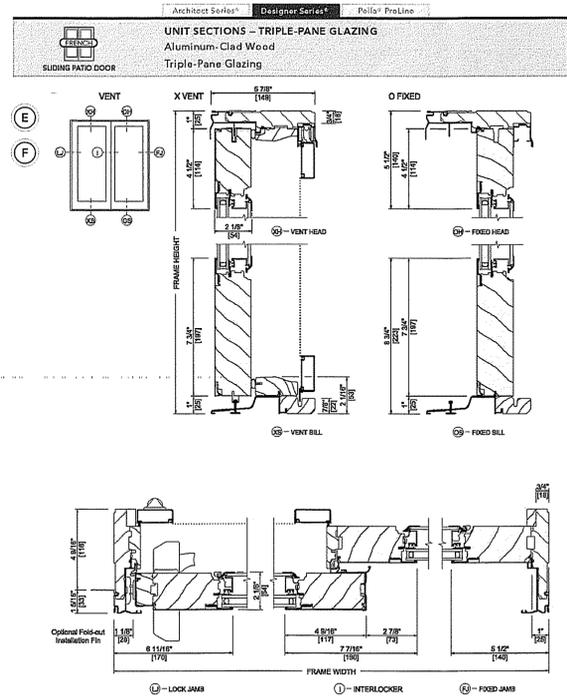
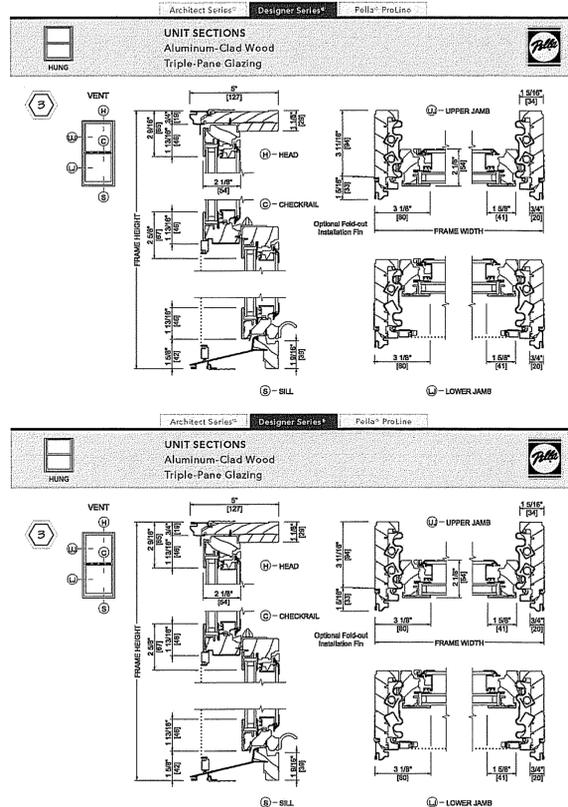
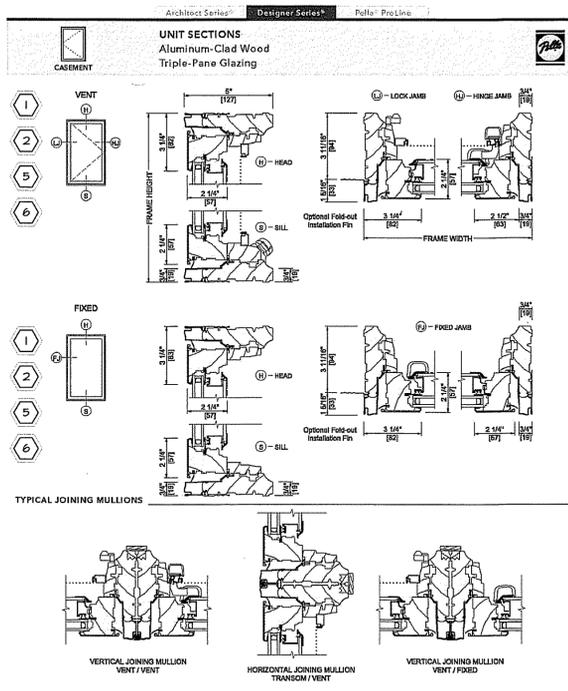


### WINDOW SCHEDULE

SCALE: NTS

WINDOW SCHEDULE										
SYMBOL	SIZE	TYPE	MATERIAL	MANUF.	DESCRIPTION	U VALUE	SHGC	OITC	STC	
1	50.75 x 59.75	2	ALUM CLAD	PELLA	2-WIDE CASEMENT	0.4	0.4	27	34	
2	50.75 x 47.75	2	ALUM CLAD	PELLA	2-WIDE CASEMENT	0.4	0.4	27	34	
3	116.75 x 59.75	1	ALUM CLAD	PELLA	4-WIDE DOUBLE HUNG	0.4	0.4	27	33	
4	BLANK									
5	58.75 x 59.75	2	ALUM CLAD	PELLA	2-WIDE CASEMENT	0.4	0.4	27	34	
6	70.75 x 59.75	2	ALUM CLAD	PELLA	2-WIDE CASEMENT	0.4	0.4	27	34	

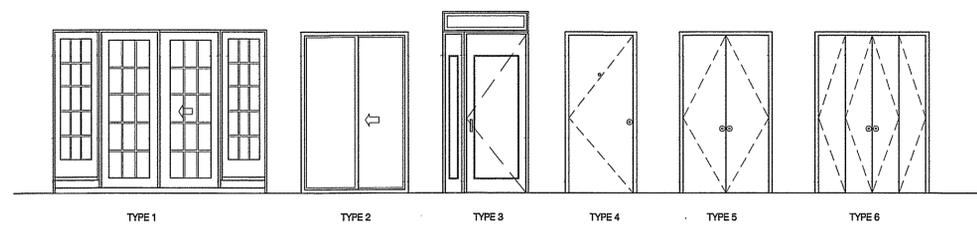
ALL WINDOWS TO BE EQUIPPED WITH TITON GLAZED IN VENTILATORS (TRICKLE VENT)



DOOR SCHEDULE											
SYMBOL	SIZE UNIT	MATERIAL	FRAME	SADDLE	TYPE	REMARKS	U VALUE	SHGC	STC	OITC	
A1	54.75 x 94	GLASS/AL.	ALUM.	ALUM.	3	MAIN ENTRANCE W/20 S.F. MIN. GLAZING	0.85	0.4	34	27	
A2	3'-0" X 6'-8"	STEEL	STEEL	ALUM.	4	UNIT ENTRY W/ REEFHOLE & LOCK					
A3	3'-0" X 6'-8"	STEEL	STEEL	-	4	STAIRWELL / STORAGE / MECH					
A4	(2) 2'-0" X 7'-0"	STEEL	STEEL	-	3	METER ROOMS					
A5	3'-0" X 6'-8"	STEEL	STEEL	-	4						
C	2'-0" X 6'-8"	WOOD	-	-	-	TOILET / BATHROOM					
B	2'-8" X 6'-8"	WOOD	-	-	-	BEDROOM					
B1	21'-0" X 6'-8"	WOOD	-	-	-	H.C. BEDROOM					
C1	2'-10" X 6'-8"	WOOD	-	-	-	H.C. TOILET					
D	2'-0" X 6'-8"	WOOD	-	-	-	W.I.C.					
D1	(2) 1'-6" X 6'-8"	WOOD	-	-	-	CLOSET					
D2	(2) 2'-0" X 6'-8"	WOOD	-	-	-	CLOSET					
D3	1'-6" X 6'-8"	WOOD	-	-	-	LINEN					
E	60 x 82	GLASS/AL.	-	ALUM.	2	SLIDING FRENCH DOOR	0.55	0.4	33	27	
F	121.75 x 80	GLASS/AL.	-	ALUM.	1	3-WIDE SLIDING FRENCH DOOR	0.55	0.4	33	27	

### DOOR SCHEDULE

SCALE: NTS



**PANOS VIKATOS R.A.**  
 24-33 BEECH KNOLL AVE  
 LITTLE NECK HILLS, NY 11362  
 (917) 412-7105 | PVARCHITECT@GMAIL.COM

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PROJECT TITLE  
**NEW BUILDING**  
 WALLABOUT STREET  
 BROOKLYN, NY

---

DRAWING TITLE  
**WINDOW AND DOOR SCHEDULES**

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SCALE: AS NOTED

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RELEASE STATUS OF DRAWING ISSUED:  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 PROGRESS PRINT  
 PARTIAL RELEASE  
 FULL RELEASE  
 REVISION

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SEAL & SIGNATURE  
  
 DATE: 5/20/13  
 PROJECT No 018-11  
 DRAWING BY  
 CHECKED BY  
 DWG No 12 OF 12

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**ATTACHMENT B**  
**CITIZEN PARTICIPATION PLAN**

## **ATTACHMENT B**

### **CITIZEN PARTICIPATION PLAN**

The NYC Office of Environmental Remediation and Throop Wallabout Realty, LLC have established this Citizen Participation Plan because the opportunity for citizen participation is an important component of the NYC Voluntary Cleanup Program. This Citizen Participation Plan describes how information about the project will be disseminated to the Community during the remedial process. As part of its obligations under the NYC VCP, Throop Wallabout Realty, LLC will maintain a repository for project documents and provide public notice at specified times throughout the remedial program. This Plan also takes into account potential environmental justice concerns in the community that surrounds the project Site. Under this Citizen Participation Plan, project documents and work plans are made available to the public in a timely manner. Public comment on work plans is strongly encouraged during public comment periods. Work plans are not approved by the NYC Office of Environmental Remediation (OER) until public comment periods have expired and all comments are formally reviewed. An explanation of cleanup plans in the form of a public meeting or informational session is available upon request to OER's project manager assigned to this Site, Rebecca Bub, who can be contacted about these issues or any others questions, comments or concerns that arise during the remedial process at (212) 341-2073.

**Project Contact List.** OER has established a Site Contact List for this project to provide public notices in the form of fact sheets to interested members of the Community. Communications will include updates on important information relating to the progress of the cleanup program at the Site as well as to request public comments on the cleanup plan. The Project Contact List includes owners and occupants of adjacent buildings and homes, principal administrators of nearby schools, hospitals and day care centers, the public water supplier that serves the area, established document repositories, the representative Community Board, City Council members, other elected representatives and any local Brownfield Opportunity Area (BOA) grantee organizations. Any member of the public or organization will be added to the Site Contact List on request. A copy of the Site Contact List is maintained by OER's project manager. If you would like to be added to the Project Contact List, contact NYC OER at (212) 788-8841 or by email at



[brownfields@cityhall.nyc.gov](mailto:brownfields@cityhall.nyc.gov).

**Repositories.** A document repository is maintained in the nearest public library that maintains evening and weekend hours. This document repository is intended to house, for community review, all principal documents generated during the cleanup program including Remedial Investigation plans and reports, Remedial Action work plans and reports, and all public notices and fact sheets produced during the lifetime of the remedial project. Throop Wallabout Realty, LLC will inspect the repositories to ensure that they are fully populated with project information. The repository for this project is:

Repository Name: Bushwick Library

Repository Address: 340 Bushwick Avenue, Brooklyn, NY

Repository Telephone Number: 718-602-1348

Repository Hours of Operation:

Mon	closed
Tue	10:00 AM - 6:00 PM
Wed	10:00 AM - 6:00 PM
Thu	1:00 PM - 8:00 PM
Fri	10:00 AM - 6:00 PM
Sat	10:00 AM - 5:00 PM
Sun	closed

**Digital Documentation.** NYC OER strongly encourages the use of digital documents in repositories as a means of minimizing paper use while also increasing convenience in access and ease of use.

**Identify Issues of Public Concern.** The major issues of concern to the public will be potential impacts of nuisance odors and dust during the disturbance of historic fill soils at the Site. This work will be performed in accordance with procedures which will be specified under a detailed Remedial Program which considers and takes preventive measures for exposures to future

residents of the property and those on adjacent properties during construction. Detailed plans to monitor the potential for exposure including a Construction Health and Safety Plan and a Community Air Monitoring Plan are required components of the remedial program. Implementation of these plans will be under the direct oversight of the New York City Department of Environmental Remediation (NYCOER).

These plans will specify the following worker and community health and safety activities during remedial activity at the Site:

- On-Site air monitoring for worker protection,
- Perimeter air monitoring for community protection.

The Health and Safety Plan and the Community Air Monitoring Plan prepared as part of the Remedial Action Work Plan will be available for public review at the document repository.

**Public Notice and Public Comment.** Public notice to all members of the Project Contact List is required at three major steps during the performance of the cleanup program (listed below) and at other points that may be required by OER. Notices will include Fact Sheets with descriptive project summaries, updates on recent and upcoming project activities, repository information, and important phone and email contact information. All notices will be prepared by Throop Wallabout Realty, LLC, reviewed and approved by OER prior to distribution and mailed by Throop Wallabout Realty, LLC. Public comment is solicited in public notices for all work plans developed under the NYC Voluntary Cleanup Program. Final review of all work plans by OER will consider all public comments. Approval will not be granted until the public comment period has been completed.

**Citizen Participation Milestones.** Public notice and public comment activities occur at several steps during a typical NYC VCP project. See flow chart on the following page, which identifies when during the NYC VCP public notices are issued: These steps include:

- **Public Notice of the availability of the Remedial Investigation Report and Remedial Action Work Plan and a 30-day public comment period on the Remedial Action Work Plan.**

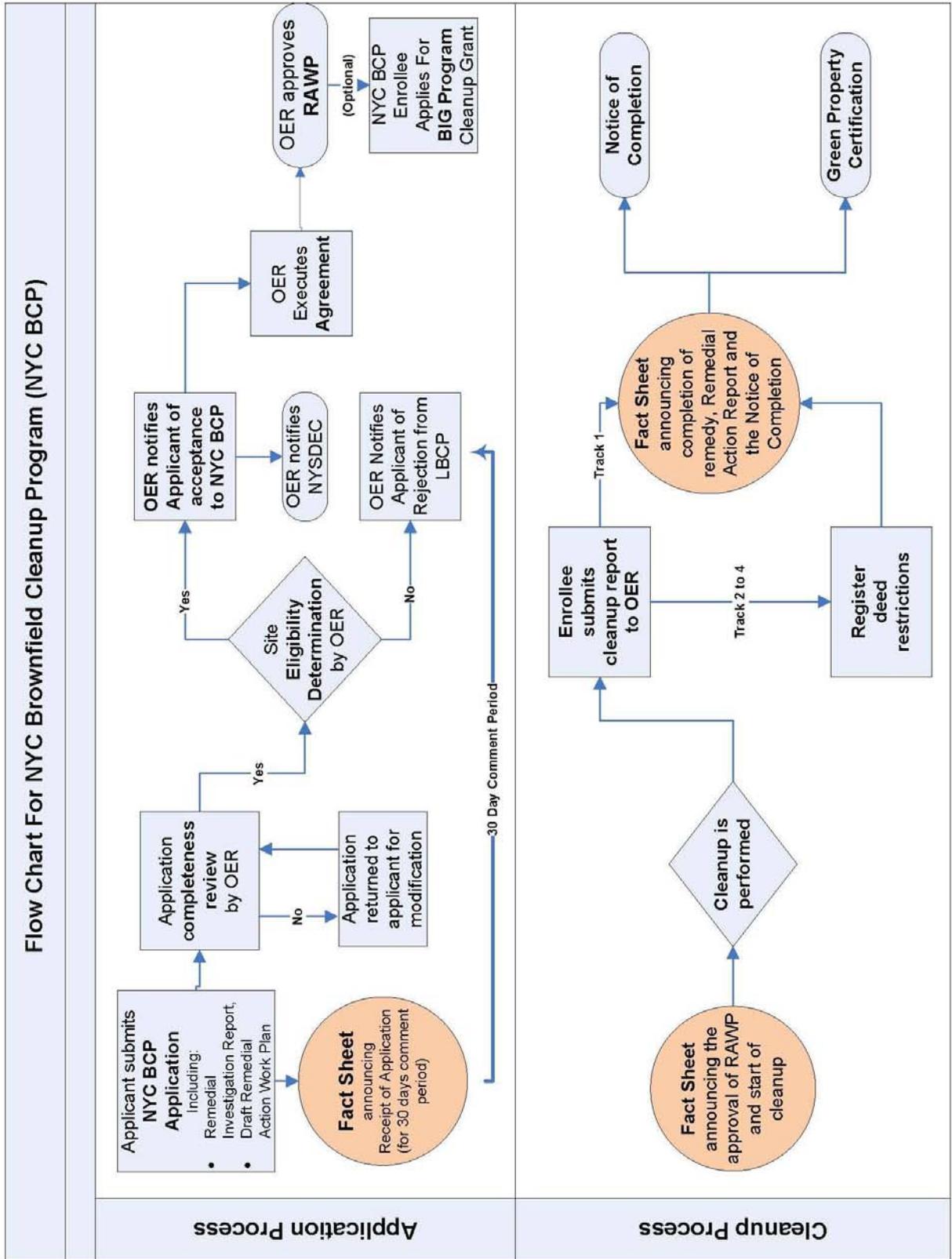
Public notice in the form of a Fact Sheet is sent to all parties listed on the Site Contact List announcing the availability of the Remedial Investigation Report and Remedial Action Work Plan and the initiation of a 30-day public comment period on the Remedial Action Work Plan. The Fact Sheet summarizes the findings of the RIR and provides details of the RAWP. The public comment period will be extended an additional 15 days upon public request. A public meeting or informational session will be conducted by OER upon request.

- **Public Notice announcing the approval of the RAWP and the start of remediation**

Public notice in the form of a Fact Sheet is sent to all parties listed on the Site Contact List announcing the approval of the RAWP and the start of remediation.

- **Public Notice announcing the completion of remediation, designation of Institutional and Engineering Controls and issuance of the Notice of Completion**

Public notice in the form of a Fact Sheet is sent to all parties listed on the Site Contact List announcing the completion of remediation, providing a list of all Institutional and Engineering Controls implemented for to the Site and announcing the issuance of the Notice of Completion



**ATTACHMENT C**  
**SUSTAINABILITY STATEMENT**

## **ATTACHMENT C SUSTAINABILITY STATEMENT**

This Sustainability Statement documents sustainable activities and green remediation efforts planned under this remedial action.

**Reuse of Clean, Recyclable Materials.** Reuse of clean, locally-derived recyclable materials reduces consumption of non-renewable virgin resources and can provide energy savings and greenhouse gas reduction.

This project intends to use recycled concrete aggregate wherever possible in grading and backfilling the Site. An estimate of the quantity (in tons) of clean, non-virgin materials (reported by type of material) reused under this plan will be quantified and reported in the RAR.

**Reduce Consumption of Virgin and Non-Renewable Resources.** Reduced consumption of virgin and non-renewable resources lowers the overall environmental impact of the project on the region by conserving these resources.

The project will reduce the consumption of virgin materials by substituting recycled concrete aggregate for mined gravel and/or sand backfill whenever possible. An estimate of the quantity (in tons) of virgin and non-renewable resources, the use of which will be avoided under this plan, will be quantified and reported in the RAR.

**Reduced Energy Consumption and Promotion of Greater Energy Efficiency.** Reduced energy consumption lowers greenhouse gas emissions, improves local air quality, lessens in-city power generation requirements, can lower traffic congestion, and provides substantial cost savings.

Recycled concrete materials and other backfill materials will be locally sourced reducing the energy consumption associated with transporting these materials to the Site. Best efforts will be made to quantify energy efficiencies achieved during the remediation and will be reported in the Remedial Action Report (RAR). Where energy savings cannot be easily quantified, a gross indicator of the amount of energy saved or the means by which energy savings was achieved will be reported.



**Paperless Voluntary Cleanup Program.** Throop Wallabout Realty, LLC is participating in OER's Paperless Voluntary Cleanup Program. Under this program, submission of electronic documents will replace submission of hard copies for the review of project documents, communications and milestone reports.

**Low-Energy Project Management Program.** Throop Wallabout Realty, LLC is participating in OER's low-energy project management program. Under this program, whenever possible, meetings are held using remote communication technologies, such as videoconferencing and teleconferencing to reduce energy consumption and traffic congestion associated with personal transportation.

**ATTACHMENT D**  
**SOIL/MATERIALS MANAGEMENT PLAN**

## **ATTACHMENT D**

### **SOIL/MATERIALS MANAGEMENT PLAN**

#### **1.1 SOIL SCREENING METHODS**

Visual, olfactory and PID soil screening and assessment will be performed under the supervision of a Qualified Environmental Professional and will be reported in the RAR. Soil screening will be performed during invasive work performed during the remedy and development phases prior to issuance of the Notice of Completion.

#### **1.2 STOCKPILE METHODS**

Excavated soil from suspected areas of contamination (e.g., hot spots, USTs, drains, etc.) will be stockpiled separately and will be segregated from clean soil and construction materials. Stockpiles will be used only when necessary and will be removed as soon as practicable. While stockpiles are in place, they will be inspected daily, and before and after every storm event. Results of inspections will be recorded in a logbook and maintained at the Site and available for inspection by OER. Excavated soils will be stockpiled on, at minimum, double layers of 8-mil minimum sheeting, will be kept covered at all times with appropriately anchored plastic tarps, and will be routinely inspected. Broken or ripped tarps will be promptly replaced.

All stockpile activities will be compliant with applicable laws and regulations. Soil stockpile areas will be appropriately graded to control run-off in accordance with applicable laws and regulations. Stockpiles of excavated soils and other materials shall be located at least of 50 feet from the property boundaries, where possible. Hay bales or equivalent will surround soil stockpiles except for areas where access by equipment is required. Silt fencing and hay bales will be used as needed near catch basins, surface waters and other discharge points.

#### **1.3 CHARACTERIZATION OF EXCAVATED MATERIALS**

Soil/fill or other excavated media that is transported off-Site for disposal will be sampled in a manner required by the receiving facility, and in compliance with applicable laws and regulations. Soils proposed for reuse on-Site will be managed as defined in this plan.

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## 1.4 MATERIALS EXCAVATION, LOAD-OUT AND DEPARTURE

The PE/QEP overseeing the remedial action will:

- oversee remedial work and the excavation and load-out of excavated material;
- ensure that there is a party responsible for the safe execution of invasive and other work performed under this work plan;
- ensure that Site development activities and development-related grading cuts will not interfere with, or otherwise impair or compromise the remedial activities proposed in this RAWP;
- ensure that the presence of utilities and easements on the Site has been investigated and that any identified risks from work proposed under this plan are properly addressed by appropriate parties;
- ensure that all loaded outbound trucks are inspected and cleaned if necessary before leaving the Site; and
- ensure that all egress points for truck and equipment transport from the Site will be kept clean of Site-derived materials during Site remediation.

Locations where vehicles exit the Site shall be inspected daily for evidence of soil tracking off premises. Cleaning of the adjacent streets will be performed as needed to maintain a clean condition with respect to Site-derived materials.

Open and uncontrolled mechanical processing of historical fill and contaminated soil on-Site will not be performed without prior OER approval.

## 1.5 OFF-SITE MATERIALS TRANSPORT

Loaded vehicles leaving the Site will comply with all applicable materials transportation requirements (including appropriate covering, manifests, and placards) in accordance with applicable laws and regulations, including use of licensed haulers in accordance with 6 NYCRR Part 364. If loads contain wet material capable of causing leakage from trucks, truck liners will be used. Queuing of trucks will be performed on-Site, when possible in order to minimize off Site disturbance. Off-Site queuing will be minimized. Outbound truck transport routes are will be southwest on Wallabout Street to Union Avenue and then north on Union Avenue to Interstate 278 - Brooklyn Queens Expressway.

This routing takes into account the following factors: (a) limiting transport through residential areas and past sensitive sites; (b) use of mapped truck routes; (c) minimizing off-Site queuing of trucks entering the facility; (d) limiting total distance to major highways; (e) promoting safety in access to highways; and (f) overall safety in transport. To the extent possible, all trucks loaded with Site materials will travel from the Site using these truck routes. Trucks will not stop or idle in the neighborhood after leaving the project Site.

## **1.6 MATERIALS DISPOSAL OFF-SITE**

The following documentation will be established and reported by the PE/QEP for each disposal destination used in this project to document that the disposal of regulated material exported from the Site conforms with applicable laws and regulations: (1) a letter from the PE/QEP or Throop Wallabout Realty, LLC to each disposal facility describing the material to be disposed and requesting written acceptance of the material. This letter will state that material to be disposed is regulated material generated at an environmental remediation Site in Brooklyn, New York under a governmental remediation program. The letter will provide the project identity and the name and phone number of the PE/QEP or Throop Wallabout Realty, LLC. The letter will include as an attachment a summary of all chemical data for the material being transported; and (2) a letter from each disposal facility stating it is in receipt of the correspondence (1, above) and is approved to accept the material. These documents will be included in the RAR.

The Remedial Action Report will include an itemized account of the destination of all material removed from the Site during this remedial action. Documentation associated with disposal of all material will include records and approvals for receipt of the material. This information will be presented in the RAR.

All impacted soil/fill or other waste excavated and removed from the Site will be managed as regulated material and will be disposed in accordance with applicable laws and regulations. Historic fill and contaminated soils taken off-Site will be handled as solid waste and will not be disposed at a Part 360-16 Registration Facility (also known as a Soil Recycling Facility).

Waste characterization will be performed for off-Site disposal in a manner required by the receiving facility and in conformance with its applicable permits. Waste characterization

sampling and analytical methods, sampling frequency, analytical results and QA/QC will be reported in the RAR. A manifest system for off-Site transportation of exported materials will be employed. Manifest information will be reported in the RAR. Hazardous wastes derived from on-Site will be stored, transported, and disposed of in compliance with applicable laws and regulations.

If disposal of soil/fill from this Site is proposed for unregulated disposal (i.e., clean soil removed for development purposes), including transport to a Part 360-16 Registration Facility, a formal request will be made for approval by OER with an associated plan compliant with 6NYCRR Part 360-16. This request and plan will include the location, volume and a description of the material to be recycled, including verification that the material is not impacted by site uses and that the material complies with receipt requirements for recycling under 6NYCRR Part 360. This material will be appropriately handled on-Site to prevent mixing with impacted material.

### **1.7 MATERIALS REUSE ON-SITE**

Soil and fill that is derived from the property that meets the soil cleanup objectives established in this plan may be reused on-Site. The soil cleanup objectives for on-Site reuse are listed in Table 1. 'Reuse on-Site' means material that is excavated during the remedy or development, does not leave the property, and is relocated within the same property and on comparable soil/fill material, and addressed pursuant to the NYC VCP agreement subject to Engineering and Institutional Controls. The PE/QEP will ensure that reused materials are segregated from other materials to be exported from the Site and that procedures defined for material reuse in this RAWP are followed.

Organic matter (wood, roots, stumps, etc.) or other waste derived from clearing and grubbing of the Site will not be buried on-Site. Soil or fill excavated from the site for grading or other purposes will not be reused within a cover soil layer or within landscaping berms.

### **1.8 DEMARCATION**

After completion of hotspot removal and any other invasive remedial activities, and prior to backfilling, the top of the residual soil/fill will be defined by one of three methods: (1) placement of a demarcation layer. The demarcation layer will consist of geosynthetic fencing or equivalent material to be placed on the surface of residual soil/fill to provide an observable reference layer.

A description or map of the approximate depth of the demarcation layer will be provided in the SMP; or (2) a land survey of the top elevation of residual soil/fill before the placement of cover soils, pavement and associated sub-soils, or other materials or structures or, (3) all materials beneath the approved cover will be considered impacted and subject to site management after the remedy is complete. Demarcation may be established by one or any combination of these three methods. As appropriate, a map showing the method of demarcation for the Site and all associated documentation will be presented in the RAR.

This demarcation will constitute the top of the site management horizon. Materials within this horizon require adherence to special conditions during future invasive activities as defined in the Site Management Plan.

## **1.9 IMPORT OF BACKFILL SOIL FROM OFF-SITE SOURCES**

This Section presents the requirements for imported fill materials to be used below the cover layer and within the clean soil cover layer. All imported soils will meet OER-approved backfill and cover soil quality objectives for this Site. The backfill and cover soil quality objectives are listed in Table 1.

A process will be established to evaluate sources of backfill and cover soil to be imported to the Site, and will include an examination of source location, current and historical use(s), and any applicable documentation. Material from industrial sites, spill sites, environmental remediation sites or other potentially contaminated sites will not be imported to the Site.

The following potential sources may be used pending attainment of backfill and cover soil quality objectives:

- Clean soil from construction projects at non-industrial sites in compliance with applicable laws and regulations;
- Clean soil from roadway or other transportation-related projects in compliance with applicable laws and regulations;
- Clean recycled concrete aggregate (RCA) from facilities permitted or registered by the regulations of NYS DEC.

All materials received for import to the Site will be approved by a PE/QEP and will be in

compliance with provisions in this RAWP. The RAR will report the source of the fill, evidence that an inspection was performed on the source, chemical sampling results, frequency of testing, and a Site map indicating the locations where backfill or soil cover was placed.

### **Source Screening and Testing**

Inspection of imported fill material will include visual, olfactory and PID screening for evidence of contamination. Materials imported to the Site will be subject to inspection, as follows:

- Trucks with imported fill material will be in compliance with applicable laws and regulations and will enter the Site at designated locations;
- The PE/QEP is responsible to ensure that every truck load of imported material is inspected for evidence of contamination; and
- Fill material will be free of solid waste including pavement materials, debris, stumps, roots, and other organic matter, as well as ashes, oil, perishables or foreign matter.

Composite samples of imported material will be taken at a minimum frequency of one sample for every 500 cubic yards of material. Once it is determined that the fill material meets imported backfill or cover soil chemical requirements and is non-hazardous, and lacks petroleum contamination, the material will be loaded onto trucks for delivery to the Site.

Recycled concrete aggregate (RCA) will be imported from facilities permitted or registered by NYSDEC. Facilities will be identified in the RAR. A PE/QEP is responsible to ensure that the facility is compliant with 6NYCRR Part 360 registration and permitting requirements for the period of acquisition of RCA. RCA imported from compliant facilities will not require additional testing, unless required by NYSDEC under its terms for operation of the facility. RCA imported to the Site must be derived from recognizable and uncontaminated concrete. RCA material is not acceptable for, and will not be used as cover material.

### **1.10 FLUIDS MANAGEMENT**

All liquids to be removed from the Site, including dewatering fluids, will be handled, transported and disposed in accordance with applicable laws and regulations. Liquids discharged into the New York City sewer system will receive prior approval by New York City Department of Environmental Protection (NYC DEP). The NYC DEP regulates discharges to the New York

City sewers under Title 15, Rules of the City of New York Chapter 19. Discharge to the New York City sewer system will require an authorization and sampling data demonstrating that the groundwater meets the City's discharge criteria. The dewatering fluid will be pretreated as necessary to meet the NYC DEP discharge criteria. If discharge to the City sewer system is not appropriate, the dewatering fluids will be managed by transportation and disposal at an off-Site treatment facility.

Discharge of water generated during remedial construction to surface waters (i.e. a stream or river) is prohibited without a SPDES permit issued by New York State Department of Environmental Conservation.

### **1.11 STORM-WATER POLLUTION PREVENTION**

Applicable laws and regulations pertaining to storm-water pollution prevention will be addressed during the remedial program. Erosion and sediment control measures identified in this RAWP (silt fences and barriers, and hay bale checks) will be installed around the entire perimeter of the remedial construction area and inspected once a week and after every storm event to ensure that they are operating appropriately. Discharge locations will be inspected to determine whether erosion control measures are effective in preventing significant impacts to receptors. Results of inspections will be recorded in a logbook and maintained at the Site and available for inspection by OER. All necessary repairs shall be made immediately. Accumulated sediments will be removed as required to keep the barrier and hay bale check functional. Undercutting or erosion of the silt fence toe anchor will be repaired immediately with appropriate backfill materials. Manufacturer's recommendations will be followed for replacing silt fencing damaged due to weathering.

### **1.12 CONTINGENCY PLAN**

This contingency plan is developed for the remedial construction to address the discovery of unknown structures or contaminated media during excavation. Identification of unknown contamination source areas during invasive Site work will be promptly communicated to OER's Project Manager. Petroleum spills will be reported to the NYS DEC Spill Hotline. These findings will be included in the daily report. If previously unidentified contaminant sources are found during on-Site remedial excavation or development-related excavation, sampling will be

performed on contaminated source material and surrounding soils and reported to OER. Chemical analytical testing will be performed for TAL metals, TCL volatiles and semi-volatiles, TCL pesticides and PCBs, as appropriate.

### **1.13 ODOR, DUST AND NUISANCE CONTROL**

#### **Odor Control**

All necessary means will be employed to prevent on- and off-Site odor nuisances. At a minimum, procedures will include: (a) limiting the area of open excavations; (b) shrouding open excavations with tarps and other covers; and (c) use of foams to cover exposed odorous soils. If odors develop and cannot otherwise be controlled, additional means to eliminate odor nuisances will include: (d) direct load-out of soils to trucks for off-Site disposal; and (e) use of chemical odorants in spray or misting systems.

This odor control plan is capable of controlling emissions of nuisance odors. If nuisance odors are identified, work will be halted and the source of odors will be identified and corrected. Work will not resume until all nuisance odors have been abated. OER will be notified of all odor complaint events. Implementation of all odor controls, including halt of work, will be the responsibility of the PE/QEP's certifying the Remedial Action Report.

#### **Dust Control**

Dust management during invasive on-Site work will include, at a minimum:

- Use of a dedicated water spray methodology for roads, excavation areas and stockpiles.
- Use of properly anchored tarps to cover stockpiles.
- Exercise extra care during dry and high-wind periods.
- Use of gravel or recycled concrete aggregate on egress and other roadways to provide a clean and dust-free road surface.

This dust control plan is capable of controlling emissions of dust. If nuisance dust emissions are identified, work will be halted and the source of dusts will be identified and corrected. Work will not resume until all nuisance dust emissions have been abated. OER will be notified of all dust complaint events. Implementation of all dust controls, including halt of work, will be the responsibility of the PE/QEP's responsible for certifying the Remedial Action Report.

### **Other Nuisances**

Noise control will be exercised during the remedial program. All remedial work will conform, at a minimum, to NYC noise control standards.

Rodent control will be provided, during Site clearing and grubbing, and during the remedial program, as necessary, to prevent nuisances.

**ATTACHMENT E**  
**SITE SPECIFIC CONSTRUCTION**  
**HEALTH AND SAFETY PLAN**

**REDEVELOPMENT PROJECT**  
**376-382 WALLABOUT STREET**  
**BROOKLYN, NEW YORK**

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**CONSTRUCTION**  
**HEALTH AND SAFETY PLAN**

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JUNE 2013

*Prepared for:*

Throop Wallabout Realty, LLC  
505 Flushing Avenue, Suite 1D  
Brooklyn, New York 11205

*Prepared By:*

**EBC**

**ENVIRONMENTAL BUSINESS CONSULTANTS**

1808 Middle Country Road  
Ridge, NY 11961

## HEALTH AND SAFETY PLAN

Site: **Redevelopment Project - TRG**

Location: **376-382 Wallabout Street, Brooklyn, NY**

Prepared By: **ENVIRONMENTAL BUSINESS CONSULTANTS**

Date Prepared: **June - 2013**

Version: **1**

Revision: **0**

### Project Description:

Waste types: **Solid**

Characteristics: **Semi-Volatile Organic Compounds, metals, and pesticides – in historic fill (Grade to 5 feet of soil)**

Overall Hazard: **Low**

ENVIRONMENTAL BUSINESS CONSULTANTS (EBC) AND EBC'S SUBCONTRACTORS DO NOT GUARANTEE THE HEALTH OR SAFETY OF ANY PERSON ENTERING THIS SITE. DUE TO THE NATURE OF THIS SITE AND THE ACTIVITY OCCURRING THEREON, IT IS NOT POSSIBLE TO DISCOVER, EVALUATE, AND PROVIDE PROTECTION FOR ALL POSSIBLE HAZARDS WHICH MAY BE ENCOUNTERED. STRICT ADHERENCE TO THE HEALTH AND SAFETY GUIDELINES SET FORTH HEREIN WILL REDUCE, BUT NOT ELIMINATE, THE POTENTIAL FOR INJURY AT THIS SITE. THE HEALTH AND SAFETY GUIDELINES IN THIS PLAN WERE PREPARED SPECIFICALLY FOR THIS SITE AND SHOULD NOT BE USED ON ANY OTHER SITE WITHOUT PRIOR RESEARCH AND EVALUATION.

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### ***FIGURES***

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Figure 1                      Route to Hospital (Appendix D)

### ***APPENDICES***

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## STATEMENT OF COMMITMENT

This Health and Safety Plan (HASP) has been prepared to ensure that workers are not exposed to risks from hazardous materials during the Remedial Activities planned for 386-382 Wallabout Street, Brooklyn, New York.

This HASP, which applies to persons present at the site actually or potentially exposed to hazardous materials, describes emergency response procedures for actual and potential chemical hazards. This HASP is also intended to inform and guide personnel entering the work area or exclusion zone. Persons are to acknowledge that they understand the potential hazards and the contents of this Health and Safety policy by signing off on receipt of their individual copy of the document. The General Contractor and their subcontractors and suppliers are retained as independent contractors and are responsible for ensuring the health and safety of their own employees. The General contractor has the option of adopting this HASP or providing its own for the planned scope of work under the Remedial Action Plan.



## 1.0 INTRODUCTION

This document describes the health and safety guidelines developed by Environmental Business Consultants (EBC) for implementation of a Remedial Action Plan at Redevelopment Project located at 374-382 Wallabout Street, Brooklyn, NY, to protect on-site personnel, visitors, and the public from physical harm and exposure to hazardous materials or wastes during the removal of underground storage tanks and the excavation and loading of contaminated soil. In accordance with the Occupational Safety and Health Administration (OSHA) 29 CFR Part 1910.120 Hazardous Waste Operations and Emergency Response Final rule, this CHASP, including the attachments, addresses safety and health hazards related to subsurface sample collection activities and is based on the best information available. The CHASP may be revised by EBC at the request of The Rabsky Group (“the owner”) and/or the New York State Department of Environmental Conservation (NYSDEC) or New York City Office of Environmental Remediation (NYCOER) upon receipt of new information regarding site conditions. Changes will be documented by written amendments signed by EBC’s Project Manager, site safety officer and/or the EBC Health and Safety Consultant.

### 1.1 Scope

This CHASP addresses the potential hazards related to the site Remedial Action Plan (RAP). The RAP activities are as described below:

- 1) Site mobilization of General Contractor (GC) and Subcontractors to install the building foundation.
  - a) Excavate top 8 feet of historic fill from Site.
  - b) Excavate as necessary for installation of new building's foundation.

### 1.2 Application

The HASP applies to all personnel involved in the above tasks who wish to gain access to active work areas, including but not limited to:

- General Contractor
- EBC employees and subcontractors;
- Client representatives; and
- Federal, state or local representatives.

### 1.3 Site Safety Plan Acceptance, Acknowledgment and Amendments

The project superintendent and the site safety officer are responsible for informing personnel (EBC employees and/or owner or owners representatives) entering the work area of the contents of this plan and ensuring that each person signs the safety plan acknowledging the on-site hazards and procedures required to minimize exposure to adverse effects of these hazards. A copy of the Acknowledgement Form is included in **Appendix A**.

Site conditions may warrant an amendment to the HASP. Amendments to the HASP are acknowledged by completing forms included in **Appendix B**.

### 1.4 Key Personnel - Roles and Responsibilities

Personnel responsible for implementing this Construction Health and Safety Plan are:

Name	Title	Address	Contact Numbers
Mr. Kevin Brussee	EBC Project Manager	1808 Middle Country Road Ridge, NY 11961	(631) 504-6000 Cell (631) 338-1749
Mr. Kevin Waters	EBC Site Safety Officer	1808 Middle Country Road Ridge, NY 11961	(631) 504-6000

The project manager is responsible for overall project administration and, with guidance from the site safety officer, for supervising the implementation of this CHASP. The site safety officer will conduct daily (tail gate or tool box) safety meetings at the project site and oversee daily safety issues. Each subcontractor and supplier (defined as an OSHA employer) is also responsible for the health and safety of its employees. If there is any dispute about health and safety or project activities, on-site personnel will attempt to resolve the issue. If the issue cannot be resolved at the site, then the project manager will be consulted.

The site safety officer is also responsible for coordinating health and safety activities related to hazardous material exposure on-site. The site safety officer is responsible for the following:

1. Educating personnel about information in this CHASP and other safety requirements to be observed during site operations, including, but not limited to, decontamination procedures, designation of work zones and levels of protection, air monitoring, fit testing, and emergency procedures dealing with fire and first aid.
2. Coordinating site safety decisions with the project manager.
3. Designating exclusion, decontamination and support zones on a daily basis.
4. Monitoring the condition and status of known on-site hazards and maintaining and implementing the air quality monitoring program specified in this CHASP.
5. Maintaining the work zone entry/exit log and site entry/exit log.
6. Maintaining records of safety problems, corrective measures and documentation of chemical exposures or physical injuries (the site safety officer will document these conditions in a bound notebook and maintain a copy of the notebook on-site).

The person who observes safety concerns and potential hazards that have not been addressed in the daily safety meetings should immediately report their observations/concerns to the site safety officer or appropriate key personnel.

## 2.0 SITE BACKGROUND AND SCOPE OF WORK

The Site is located at 376-382 Wallabout Street in the Williamsburg section of Brooklyn, New York, and is identified as Block 2266 and Lots 14, 15, 16 and 17, on the New York City Tax Map. The Site is 10,000-square feet and is bounded by Wallabout Street and Block 2250 Lots 41 and 46 (single story industrial buildings) to the north, Block 2266 Lot 46 (vacant lot) to the south, Block 2266 Lot 18 (vacant lot) to the east, and Block 2266 Lot 13 (multi-story residential building) to the west. Currently, the Site is comprised of four undeveloped vacant 25ft by 100ft uncapped lots.

### 2.1 Prior Investigations

#### 2.1.2 Remedial Investigation Report

Throop Wallabout Realty, LLC performed the following scope of work:

1. Conducted a Site inspection to identify AOCs and physical obstructions (i.e. structures, buildings, etc.);
2. Installed six soil borings across the entire project Site, and collected twelve soil samples and one duplicate soil sample for chemical analysis from the soil borings to evaluate soil quality;
3. Installed three groundwater monitoring wells throughout the Site to establish groundwater flow and collected three groundwater samples and one duplicate groundwater sample for chemical analysis to evaluate groundwater quality; and
4. Installed four soil vapor probes across the Site and collected four samples for chemical analysis.

#### Soil Sampling Results

Soil/fill samples collected during the RI showed no detectable concentrations of VOCs. Seven SVOCs including benzo(a)anthracene (max. of 16,000 µg/Kg), benzo(a)pyrene (max. of 9,700 µg/Kg), benzo(b)fluoranthene (max. of 17,000 µg/Kg), benzo-(k)fluoranthene (max. of 4,000 µg/Kg), chrysene (max. of 12,000 µg/Kg), dibenzo(a,h)anthracene (max. of 2,200 µg/Kg), and indeno(1,2,3-cd)pyrene (max. of 6,100 µg/Kg) were detected above their respective Restricted Residential Use SCOs within all of the shallow soil samples. The SVOCs detected above Restricted Residential SCOs are all PAH compounds and their concentrations and distribution indicate that they are associated with historic fill material observed during the sampling. Three pesticides 4,4'-DDE (max. of 160 µg/Kg), 4,4'-DDT (max. of 780 µg/Kg), and dieldrin (max. of 34 µg/Kg) were detected above Unrestricted Use SCOs in five of the six shallow samples collected and one of the six deep samples collected (SB2). One PCB, PCB-1254 was detected above Unrestricted Use SCOs in two of the six shallow samples at a maximum concentration of 200 µg/Kg. All pesticide and PCB concentrations were well below Restricted Residential SCOs. Six metals including barium (max. of 849 µg/Kg), cadmium (max. of 3.62 µg/Kg), copper (max. of 358 µg/Kg), lead (max. of 1,850 µg/Kg), mercury (max. of 4.9 µg/Kg) and zinc (max. of 1,080 µg/Kg) exceeded Unrestricted Use SCOs in all six shallow soil samples. Of these metals, barium, cadmium, copper (358 µg/Kg), lead, and mercury also exceeded Restricted Residential SCOs. No VOCs, SVOCs, pesticides or PCBs were detected above Unrestricted Use SCOs within 2 of the three shallow soil samples and no VOCs, SVOCs, metals, or pesticides were detected above Unrestricted Use SCOs within any of the six deep soil samples collected at the Site. Overall, the findings were consistent with observations for historical fill sites in areas throughout NYC.

### Groundwater Sampling Results

Groundwater samples collected during the RI showed no VOCs, PCBs or pesticides detected above GQS. Eight SVOCs were detected in monitoring wells MW2 and MW3, but only five of the SVOCs were detected at a concentration above GQS. The metals iron, manganese and sodium were detected above their respective NYSDEC Groundwater Quality Standards (GQS) in all three dissolved groundwater samples.

### Soil Gas Sampling Results

Soil vapor samples collected during the RI showed Soil vapor samples collected during the RI showed petroleum and chlorinated VOCs at low concentrations. Tetrachloroethylene (PCE) was identified in all three soil vapor samples at a maximum concentration of 25.8  $\mu\text{g}/\text{m}^3$ , carbon tetrachloride was detected in two of the four samples at a maximum concentration of 4.02  $\mu\text{g}/\text{m}^3$ , trichloroethylene (TCE) was detected in one soil vapor sample, SG-4, at a concentration of 0.483  $\mu\text{g}/\text{m}^3$ , and 1,1,1- TCA was detected in one soil vapor sample, SG-3, at a concentration of 2.62  $\mu\text{g}/\text{m}^3$ . The PCE, TCE, 1,1,1-TCA and carbon tetrachloride concentrations are all below the monitoring level ranges established within the State DOH soil vapor guidance matrix. Concentrations of petroleum-related VOCs (BTEX) ranged from approximately 152  $\mu\text{g}/\text{m}^3$  to 203  $\mu\text{g}/\text{m}^3$ . Overall the highest reported concentrations were for propylene (maximum of 213  $\mu\text{g}/\text{m}^3$ ) and acetone (maximum of 202  $\mu\text{g}/\text{m}^3$ ).

## **2.2 Redevelopment Plans**

The proposed future use of the Site will consist of four identical 4-story apartment buildings. Layout of the proposed site development is presented in Figure 3. The current zoning designation for each of the Site Lots is R7A. R7A is a contextual district that allows residential and community facility buildings. The proposed use is consistent with existing zoning for the property.

The four 25 ft wide tax lots will be developed with identical residential four-story masonry buildings with full cellars. Each of the four buildings will extend approximately 65 feet, meeting both side lot lines. Therefore, the gross building square footage for each building is 8,125  $\text{ft}^2$ . There will be a rear cellar level walk-out court yard behind each building, that will extend from the rear of the building to the rear property line. The concrete slab of the cellar will be approximately 6 feet 4 inches below sidewalk level. The street front portion of the cellar will consist of a boiler room, gas meter room, electric meter room and a large open cellar area. The remaining portions of the cellar will be used as residential and accessory residential space.

Each building will consist of three residential units. Unit #1 consists of the cellar level and first floor, Unit #2 is the second floor and Unit #3 is the third and fourth floors.

Excavation for each new building will likely extend to a depth of approximately 8 feet below grade for construction of the buildings' cellar levels and foundations. In addition, each rear cellar level court yard will require excavation to approximately 8 feet below grade. Assuming an excavation volume of approximately 25 feet (wide) by 100 feet long (length) and 8 feet (deep), a total of approximately 740 cubic yards (1,000 tons) of soil will require excavation per building. The total excavated volume of soil for the entire Site will be approximately 2,960 cubic yards (4,000 tons). The rear cellar level court yard will be capped with concrete.

### 2.3 Description of Remedial Action Plan

Site activities included within the Remedial Action Plan that are included within the scope of this HASP include the following:

The proposed remedial action will consist of:

1. Preparation of a Community Protection Statement and implementation of all required NYC VCP Citizen Participation activities according to an approved Citizen Participation Plan;
2. Performance of a Community Air Monitoring Program for particulates and volatile organic carbon compounds;
3. Establishment of Track 1 Unrestricted Use Soil Cleanup Objectives (SCOs);
4. Site mobilization involving Site security setup, equipment mobilization, utility mark outs and marking & staking excavation areas;
5. Excavation and removal of soil/fill exceeding Track 1 Unrestricted Use SCOs. For development purposes, the entire property will be excavated to a depth of 8 feet;
6. Screening of excavated soil/fill during intrusive work for indications of contamination by visual means, odor, and monitoring with a PID. Appropriate segregation of excavated media on-Site;
7. Removal of underground storage tanks (if encountered) and closure of petroleum spills (if evidence of a spill/leak is encountered during Site excavation) in compliance with applicable local, State and Federal laws and regulations;
8. Transportation and off-Site disposal of all soil/fill material at permitted facilities in accordance with applicable laws and regulations for handling, transport, and disposal, and this plan. Sampling and analysis of excavated media as required by disposal facilities;
9. Collection and analysis of end-point samples to determine the performance of the remedy with respect to attainment of SCOs;
10. Import of materials to be used for backfill and cover in compliance with this plan and in accordance with applicable laws and regulations;
11. As part of development, installation of a vapor barrier below the basement concrete slab and behind the foundation walls of the proposed building;
12. As part of development, construction and maintenance of an engineered composite cover consisting of a 4 inch thick concrete basement slab;
13. Implementation of storm-water pollution prevention measures in compliance with applicable laws and regulations;
14. Performance of all activities required for the remedial action, including permitting requirements and pretreatment requirements, in compliance with applicable laws and regulations;
15. Submission of a Remedial Action Report (RAR) that describes the remedial activities, certifies that the remedial requirements have been achieved, defines the Site boundaries, lists any changes from this RAWP, and, if Track 1 SCOs are not achieved, describes all Engineering and Institutional Controls to be implemented at the Site;
16. If Track 1 is not achieved, submission of an approved Site Management Plan (SMP) in the RAR for long-term management of residual contamination, including plans for maintenance, monitoring, inspection and certification of Engineering and Institutional Controls and reporting at a specified frequency; and
17. If Track 1 is not achieved, the property will continue to be flagged with an E-Designation by the NYC Buildings Department. Establishment of Engineering Controls and Institutional Controls in this RAWP and a requirement that management of these controls must be in compliance with an

approved SMP. Institutional Controls will include prohibition of the following: (1) vegetable gardening and farming; (2) use of groundwater without treatment rendering it safe for the intended use; (3) disturbance of residual contaminated material unless it is conducted in accordance with the SMP; and (4) higher level of land usage without OER-approval.

### **3.0 HAZARD ASSESSMENT**

This section identifies the hazards associated with the proposed scope of work, general physical hazards that can be expected at most sites; and presents a summary of documented or potential chemical hazards at the site. Every effort must be made to reduce or eliminate these hazards. Those that cannot be eliminated must be guarded against using engineering controls and/or personal protective equipment.

#### **3.1 Physical Hazards**

##### *3.1.1 Tripping Hazards*

An area of risk associated with on-site activities are presented by uneven ground, concrete, curbstones or equipment which may be present at the site thereby creating a potential tripping hazard. During intrusive work, care should be taken to mark or remove any obstacles within the exclusion zone.

##### *3.1.2 Climbing Hazards*

During site activities, workers may have to work on excavating equipment by climbing. The excavating contractor will conform with any applicable NIOSH and OSHA requirements or climbing activities.

##### *3.1.3 Cuts and Lacerations*

Field activities that involve excavating activities usually involve contact with various types of machinery. A first aid kit approved by the American Red Cross will be available during all intrusive activities.

##### *3.1.4 Lifting Hazards*

Improper lifting by workers is one of the leading causes of industrial injuries. Field workers in the excavation program may be required to lift heavy objects. Therefore, all members of the field crew should be trained in the proper methods of lifting heavy objects. All workers should be cautioned against lifting objects too heavy for one person.

##### *3.1.5 Utility Hazards*

Before conducting any excavation, the excavation contractor will be responsible for locating and verifying all existing utilities at each excavation.

##### *3.1.6 Traffic Hazards*

All traffic, vehicular and pedestrian, shall be maintained and protected at all times consistent with local, state and federal agency regulations regarding such traffic and in accordance with NYCDOT guidelines. The excavation contractor shall carry on his operations without undue interference or delays to traffic. The excavation contractor shall furnish all labor, materials, guards, barricades, signs, lights, and anything else necessary to maintain traffic and to protect his work and the public, during operations.

#### **3.2 Work in Extreme Temperatures**

Work under extremely hot or cold weather conditions requires special protocols to minimize the chance that employees will be affected by heat or cold stress.

### 3.2.1 Heat Stress

The combination of high ambient temperature, high humidity, physical exertion, and personal protective apparel, which limits the dissipation of body heat and moisture, can cause heat stress.

The following prevention, recognition and treatment strategies will be implemented to protect personnel from heat stress. Personnel will be trained to recognize the symptoms of heat stress and to apply the appropriate treatment.

#### 1. Prevention

- a. Provide plenty of fluids. Available in the support zone will be a 50% solution of fruit punch and water or plain water.
- b. Work in Pairs. Individuals should avoid undertaking any activity alone.
- c. Provide cooling devices. A spray hose and a source of water will be provided to reduce body temperature, cool protective clothing and/or act as a quick-drench shower in case of an exposure incident.
- d. Adjustment of the work schedule. As is practical, the most labor-intensive tasks should be carried out during the coolest part of the day.

#### 2. Recognition and Treatment

##### a. Heat Rash (or prickly heat):

Cause: Continuous exposure to hot and humid air, aggravated by chafing clothing.

Symptoms: Eruption of red pimples around sweat ducts accompanied by intense itching and tingling.

Treatment: Remove source or irritation and cool skin with water or wet cloths.

##### b. Heat Cramps (or heat prostration)

Cause: Profuse perspiration accompanied by inadequate replenishment of body water and electrolytes.

Symptoms: Muscular weakness, staggering gait, nausea, dizziness, shallow breathing, pale and clammy skin, approximately normal body temperature.

Treatment: Perform the following while making arrangement for transport to a medical facility. Remove the worker to a contamination reduction zone. Remove protective clothing. Lie worker down on back in a cool place and raise feet 6 to 12 inches. Keep warm, but loosen all clothing. If conscious, provide sips of salt-water solution, using one teaspoon of salt in 12 ounces of water. Transport to a medical facility.

##### c. Heat Stroke

Cause: Same as heat exhaustion. This is also an extremely serious condition.

Symptoms: Dry hot skin, dry mouth, dizziness, nausea, headache, rapid pulse.

Treatment: Cool worker immediately by immersing or spraying with cool water or sponge bare skin after removing protective clothing. Transport to hospital.

### 3.2.2 Cold Exposure

Exposure to cold weather, wet conditions and extreme wind-chill factors may result in excessive loss of body heat (hypothermia) and /or frostbite. To guard against cold exposure and to prevent cold injuries, appropriate warm clothing should be worn, warm shelter must be readily available, rest periods should be adjusted as needed, and the physical conditions of on-site field personnel should be closely monitored. Personnel and supervisors working on-site will be made aware of the signs and symptoms of frost bite and hypothermia such as shivering, reduced blood pressure, reduced coordination, drowsiness, impaired judgment, fatigue, pupils dilated but reactive to light and numbing of the toes and fingers.

### 3.3 Chemical Hazards

Soil collected from the site as part of several subsurface investigations performed at the site have revealed elevated levels of SVOCs, metals and pesticides in historic fill at the Site.

Semi-Volatile organic compounds reported to be present at elevated concentrations in historic fill materials at the Site include the following:

Benzo(a)anthracene	Benzo(b)fluoranthene	Benzo(a)pyrene	Benzo(k)fluoranthene
Chrysene	Dibenz(a,h)anthracene		Indeno(1,2,3-cd)pyrene

Metals reported to be present at elevated concentrations in historic fill materials at the Site include the following:

Barium	Chromium	Cadmium	Copper	Mercury	Lead	Zinc
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Pesticides reported to be present at elevated concentrations in historic fill materials at the Site include the following:

4,4'-DDE	4,4'-DDT	Chlordane	Dieldrin
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PCBs reported to be present at elevated concentrations in historic fill materials at the Site include the following:

PCB-1254
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The primary routes of exposure to identified contaminants in soil to on-site construction workers are through inhalation, ingestion and absorption.

**Appendix C** includes information sheets for all detected chemicals that may be encountered at the site.

#### 3.3.1 Respirable Dust

Dust may be generated from vehicular traffic and/or excavation activities. If visible observation detects elevated levels of dust, a program of wetting will be employed by the site safety officer. If elevated dust levels persist, the site safety office will employ dust monitoring using a particulate monitor (Miniram or equivalent). If monitoring detects concentrations greater than 150 µg/m<sup>3</sup> over daily background, the site safety officer will take corrective actions as defined herein, including the use of water for dust suppression and if this is not effective, requiring workers to wear APRs with efficiency particulate air (HEPA) cartridges.

Absorption pathways for dust and direct contact with soils or groundwater will be mitigated with the implementation of latex gloves, hand washing and decontamination exercises when necessary.

### 3.3.2 *Dust Control and Monitoring During Earthwork*

Dust generated during excavation activities or other earthwork may contain contaminants identified in soils at the site. Dust will be controlled by wetting the working surface with water. Calcium chloride may be used if the problem cannot be controlled with water. Air monitoring and dust control techniques are specified in a site specific Dust Control Plan (if applicable). Site workers will not be required to wear APR's unless dust concentrations are consistently over 150  $\mu\text{g}/\text{m}^3$  over site-specific background in the breathing zone as measured by a dust monitor unless the site safety officer directs workers to wear APRs. The site safety officer will use visible dust as an indicator to implement the dust control plan.

### 3.3.3 *Organic Vapors*

Although no VOCs were detected within any of the soil samples collected at the Site, the site safety officer will periodically monitor organic vapors with a Photo-ionization Detector (PID) during excavation activities to determine whether organic vapor concentrations exceed action levels shown in Section 5 and/or the Community Air Monitoring Plan.

## 4.0 PERSONAL PROTECTIVE EQUIPMENT

Personal protective equipment (PPE) shall be selected in accordance with the site air monitoring program, OSHA 29 CFR 1910.120(c), (g), and 1910.132. Protective equipment shall be NIOSH approved and respiratory protection shall conform to OSHA 29 CFR Part 1910.133 and 1910.134 specifications; head protection shall conform to 1910.135; eye and face protection shall conform to 1910.133; and foot protection shall conform to 1910.136. The only true difference among the levels of protection from D thru B is the addition of the type of respiratory protection. **It is anticipated that work will be performed in Level D PPE.**

### 4.1 Level D

Level D PPE shall be donned when the atmosphere contains no known hazards and work functions preclude splashes, immersion, or the potential for inhalation of, or contact with, hazardous concentrations of harmful chemicals. Level D PPE consists of:

- standard work clothes, coveralls, or tyvek, as needed;
- steel toe and steel shank work boots;
- hard hat;
- gloves, as needed;
- safety glasses;
- hearing protection;
- equipment replacements are available as needed.

### 4.2 Level C

Level C PPE shall be donned when sustained concentrations of measured total organic vapors in the breathing zone exceed background concentrations (using a portable OVA, or equivalent), by more than 5 ppm. The specifications on the APR filters used must be appropriate for contaminants identified or expected to be encountered. Level C PPE shall be donned when the identified contaminants have adequate warning properties and criteria for using APR have been met. Level C PPE consists of:

- chemical resistant or coated tyvek coveralls;
- steel-toe and steel-shank workboots;
- chemical resistant overboots or disposable boot covers;
- disposable inner gloves (surgical gloves);
- disposable outer gloves;
- full face APR fitted with organic vapor/dust and mist filters or filters appropriate for the identified or expected contaminants;
- hard hat;
- splash shield, as needed; and,
- ankles/wrists taped with duct tape.

The site safety officer will verify if Level C is appropriate by checking organic vapor concentrations using compound and/or class-specific detector tubes.

The exact PPE ensemble is decided on a site-by-site basis by the Site Safety Officer with the intent to provide the most protective and efficient worker PPE.

### 4.3 Activity-Specific Levels of Personal Protection

The required level of PPE is activity-specific and is based on air monitoring results (Section 4.0) and properties of identified or expected contaminants. **It is expected that site work will be performed in Level D.** If air monitoring results indicate the necessity to upgrade the level of protection, engineering controls (i.e. Facing equipment away from the wind and placing site personnel upwind of excavations, active venting, etc.) will be implemented before requiring the use of respiratory protection.

## 5.0 AIR MONITORING AND ACTION LEVELS

29 CFR 1910.120(h) specifies that monitoring shall be performed where there may be a question of employee exposure to hazardous concentrations of hazardous substances in order to assure proper selection of engineering controls, work practices and personal protective equipment so that employees are not exposed to levels which exceed permissible exposure limits, or published exposure levels if there are no permissible exposure limits, for hazardous substances.

### 5.1 Air Monitoring Requirements

If excavation work is performed, air will be monitored for VOCs with a portable ION Science 3000EX photoionization detector, or the equivalent. If necessary, Lower Explosive Limit (LEL) and oxygen will be monitored with a Combustible Gas Indicator (CGI). If appropriate, fugitive dust will be monitored using a MiniRam Model PDM-3 aerosol monitor. Air will be monitored when any of the following conditions apply:

- initial site entry;
- during any work where a potential IDLH condition or flammable atmosphere could develop;
- excavation work begins on another portion of the site;
- contaminants, other than those previously identified, have been discovered;
- each time a different task or activity is initiated;
- during trenching and/or excavation work.

The designated site safety officer will record air monitoring data and ensure that air monitoring instruments are calibrated and maintained in accordance with manufacturer's specifications. Instruments will be zeroed daily and checked for accuracy. Monitoring results will be recorded in a field notebook and will be transferred to instrument reading logs.

### 5.2 Work Stoppage Responses

The following responses will be initiated whenever one or more of the action levels necessitating a work stoppage are exceeded:

- 1 The SSO will be consulted immediately
- 2 All personnel (except as necessary for continued monitoring and contaminant migration, if applicable) will be cleared from the work area (eg from the exclusion zone).
- 3 Monitoring will be continued until intrusive work resumes.

### 5.3 Action Levels During Excavation Activities

Instrument readings will be taken in the breathing zone above the excavation pit unless otherwise noted. Each action level is independent of all other action levels in determining responses.

Organic Vapors (PID)	LEL %	Responses
0-1 ppm above background	0%	<ul style="list-style-type: none"> <li>• Continue excavating</li> <li>• Level D protection</li> <li>• Continue monitoring every 10 minutes</li> </ul>
1-5 ppm Above Background, Sustained Reading	1-10%	<ul style="list-style-type: none"> <li>• Continue excavating</li> <li>• Go to Level C protection or employ</li> </ul>

		<p>engineering controls</p> <ul style="list-style-type: none"> <li>• Continue monitoring every 10 minutes</li> </ul>
5-25 ppm Above Background, Sustained Reading	10-20%	<ul style="list-style-type: none"> <li>• Discontinue excavating, unless PID is only action level exceeded.</li> <li>• Level C protection or employ engineering controls</li> <li>• Continue monitoring for organic vapors 200 ft downwind</li> <li>• Continuous monitoring for LEL at excavation pit</li> </ul>
>25 ppm Above Background, Sustained Reading	>20%	<ul style="list-style-type: none"> <li>• Discontinue excavating</li> <li>• Withdraw from area, shut off all engine ignition sources.</li> <li>• Allow pit to vent</li> <li>• Continuous monitoring for organic vapors 200 ft downwind.</li> </ul>

Notes: Air monitoring will occur in the breathing zone 30 inches above the excavation pit. Readings may also be taken in the excavation pit but will not be used for action levels.

If action levels for any one of the monitoring parameters are exceeded, the appropriate responses listed in the right hand column should be taken. If instrument readings do not return to acceptable levels after the excavation pit has been vented for a period of greater than one-half hour, a decision will then be made whether or not to seal the pit with suppressant foam.

If, during excavation activities, downwind monitoring PID readings are greater than 5 ppm above background for more than one-half hour, excavation will stop until sustained levels are less than 5 ppm (see Community Air Monitoring Plan).

## 6.0 SITE CONTROL

### 6.1 Work Zones

The primary purpose of site controls is to establish the perimeter of a hazardous area, to reduce the migration of contaminants into clean areas, and to prevent access or exposure to hazardous materials by unauthorized persons. When operations are to take place involving hazardous materials, the site safety officer will establish an exclusion zone, a decontamination zone, and a support zone. These zones "float" (move around the site) depending on the tasks being performed on any given day. The site safety officer will outline these locations before work begins and when zones change. The site safety officer records this information in the site log book.

**Due to the dimensions of the Site and the work area, it is expected that an exclusion zone will include the entire fenced area with the exception of the construction entrance area, which will serve as the decontamination zone. A support zone if needed will be located outside of the fenced area.** All onsite workers during excavation of historic fill materials must provide evidence of OSHA 24 or 40-hour Hazardous Waste Operations and Emergency Response Operations training to conduct work within the exclusion zone established by the site safety officer. The exclusion zone is defined by the site safety officer but will typically be a 50-foot area around work activities. Gross decontamination (as determined by the site Health and Safety Officer) is conducted in the exclusion zone; all other decontamination is performed in the decontamination zone or trailer, if provided.

Protective equipment is removed in the decontamination zone. Disposable protective equipment is stored in receptacles staged in the decontamination zone, and non-disposable equipment is decontaminated. All personnel and equipment exit the exclusion zone through the decontamination zone. If a decontamination trailer is provided the first aid equipment, an eye wash unit, and drinking water are kept in the decontamination trailer.

The support zone is used for vehicle parking, daily safety meetings, and supply storage. Eating, drinking, and smoking are permitted only in the support zone. When a decontamination trailer is not provided, the eye wash unit, first aid equipment, and drinking water are kept at a central location designated by the site safety officer.

## 7.0 CONTINGENCY PLAN/EMERGENCY RESPONSE PLAN

Site personnel must be prepared in the event of an emergency. Emergencies can take many forms: illnesses, injuries, chemical exposure, fires, explosions, spills, leaks, releases of harmful contaminants, or sudden changes in the weather.

Emergency telephone numbers and a map to the hospital will be posted in the command post. Site personnel should be familiar with the emergency procedures, and the locations of site safety, first aid, and communication equipment.

### 7.1 Emergency Equipment On-site

Private telephones:	Site personnel.
Two-way radios:	Site personnel where necessary.
Emergency Alarms:	On-site vehicle horns*.
First aid kits:	On-site, in vehicles or office.
Fire extinguisher:	On-site, in office or on equipment.

\* Horns: Air horns will be supplied to personnel at the discretion of the project superintendent or site safety officer.

### 7.2 Emergency Telephone Numbers

General Emergencies	911
Suffolk County Police	911
NYC Fire Department	911
Woodhull Medical Center	(718) 963-7958
NYSDEC Spills Hotline	1-800-457-7362
NYSDEC Project Manager	(718) 482-4010
NYC Department of Health	(212) 676-2400
National Response Center	1-800-424-8802
Poison Control	1-800-222-1222
Project Manager	1-631-504-6000
Site Safety Officer	1-631-504-6000

### 7.3 Personnel Responsibilities During an Emergency

The project manager is primarily responsible for responding to and correcting any emergency situations. However, in the absence of the project manager, the site safety officer shall act as the project manager's on-site designee and perform the following tasks:

- Take appropriate measures to protect personnel including: withdrawal from the exclusion zone, evacuate and secure the site, or upgrade/downgrade the level of protective clothing and respiratory protection;
- Ensure that appropriate federal, state, and local agencies are informed and emergency response plans are coordinated. In the event of fire or explosion, the local fire department should be summoned immediately. If toxic materials are released to the air, the local authorities should be informed in order to assess the need for evacuation;
- Ensure appropriate decontamination, treatment, or testing for exposed or injured



evacuated safely. The head count will be correlated to the site and/or exclusion zone entry/exit log.

- If emergency site evacuation is necessary, all personnel are to escape the emergency situation and decontaminate to the maximum extent practical.

### **7.7 Spill Control Procedures**

Spills associated with site activities may be attributed to project equipment and include gasoline, diesel and hydraulic oil. In the event of a leak or a release, site personnel will inform their supervisor immediately, locate the source of spillage and stop the flow if it can be done safely. A spill containment kit including absorbent pads, booms and/or granulated speedy dry absorbent material will be available to site personnel to facilitate the immediate recovery of the spilled material. Daily inspections of site equipment components including hydraulic lines, fuel tanks, etc. will be performed by their respective operators as a preventative measure for equipment leaks and to ensure equipment soundness. In the event of a spill, site personnel will immediately notify the NYSDEC (1-800-457-7362), and a spill number will be generated.

### **7.8 Vapor Release Plan**

If work zone organic vapor (excluding methane) exceeds 5 ppm, then a downwind reading will be made either 200 feet from the work zone or at the property line, whichever is closer. If readings at this location exceed 5 ppm over background, the work will be stopped.

If 5 ppm of VOCs are recorded over background on a PID at the property line, then an off-site reading will be taken within 20 feet of the nearest residential or commercial property, whichever is closer. If efforts to mitigate the emission source are unsuccessful for 30 minutes, then the designated site safety officer will:

- contact the local police;
- continue to monitor air every 30 minutes, 20 feet from the closest off-site property. If two successive readings are below 5 ppm (non-methane), off-site air monitoring will be halted.
- All property line and off site air monitoring locations and results associated with vapor releases will be recorded in the site safety log book.

***APPENDIX A***  
***SITE SAFETY ACKNOWLEDGEMENT FORM***

## DAILY BRIEFING SIGN-IN SHEET

Date: \_\_\_\_\_ Person Conducting Briefing: \_\_\_\_\_

Project Name and Location: \_\_\_\_\_

1. AWARENESS (topics discussed, special safety concerns, recent incidents, etc...):

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---

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---

2. OTHER ISSUES (HASP changes, attendee comments, etc...):

---

---

---

3. ATTENDEES (Print Name):

1.	11.
2.	12.
3.	13.
4.	14.
5.	15.
6.	16.
7.	17.
8.	18.
9.	19.
10.	20.

***APPENDIX B***  
***SITE SAFETY PLAN AMENDMENTS***

**SITE SAFETY PLAN AMENDMENT FORM**

**Site Safety Plan Amendment #:** \_\_\_\_\_

**Site Name:** \_\_\_\_\_

**Reason for Amendment:** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Alternative Procedures:** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Required Changes in PPE:** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
**Project Superintendent (signature)**

\_\_\_\_\_  
**Date**

\_\_\_\_\_  
**Health and Safety Consultant (signature)**

\_\_\_\_\_  
**Date**

\_\_\_\_\_  
**Site Safety Officer (signature)**

\_\_\_\_\_  
**Date**

***APPENDIX C***  
***CHEMICAL HAZARDS***

**CHEMICAL HAZARDS**

The attached International Chemical Safety Cards are provided for contaminants of concern that have been identified in soils and/or groundwater at the site.

***APPENDIX D***  
***HOSPITAL INFORMATION AND MAP***  
***FIELD ACCIDENT REPORT***

FIELD ACCIDENT REPORT

This report is to be filled out by the designated Site Safety Officer after EVERY accident.

PROJECT NAME \_\_\_\_\_ PROJECT. NO. \_\_\_\_\_

Date of Accident \_\_\_\_\_ Time \_\_\_\_\_ Report By \_\_\_\_\_

Type of Accident (Check One):

Vehicular                       Personal                       Property

Name of Injured \_\_\_\_\_ DOB or Age \_\_\_\_\_

How Long Employed \_\_\_\_\_

Names of Witnesses \_\_\_\_\_  
\_\_\_\_\_

Description of Accident \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Action Taken \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Did the Injured Lose Any Time? \_\_\_\_\_ How Much (Days/Hrs.)? \_\_\_\_\_

Was Safety Equipment in Use at the Time of the Accident (Hard Hat, Safety Glasses, Gloves, Safety Shoes, etc.)? \_\_\_\_\_  
\_\_\_\_\_

(If not, it is the EMPLOYEE'S sole responsibility to process his/her claim through his/her Health and Welfare Fund.)

INDICATE STREET NAMES, DESCRIPTION OF VEHICLES, AND NORTH ARROW

## HOSPITAL INFORMATION AND MAP

The hospital nearest the site is:

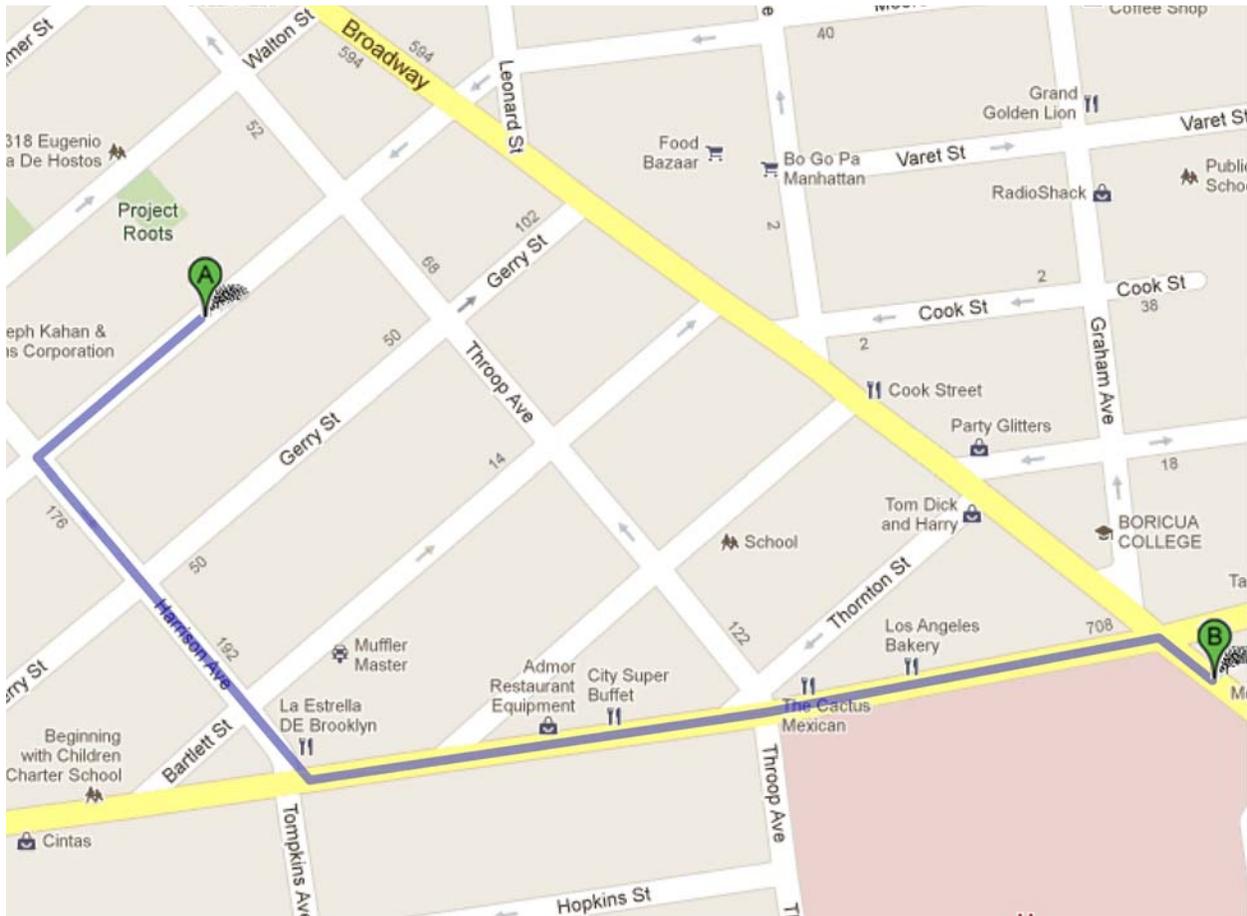
### WOODHULL MEDICAL CENTER

760 Broadway # 3C150, Brooklyn, NY 11206-5317

(718) 963-8000

0.5 Miles – About 2 Minutes

1. Head Southwest on Wallabout Street toward Harrison Avenue
2. Make the first Left onto Harrison Avenue
3. Make the third left onto Flushing Avenue
4. Right the second RIGHT onto Broadway, Woodhull Medical Center will be on the right.



**ATTACHMENT F**  
**VAPOR BARRIER SPECIFICATIONS**

# VAPORBLOCK® PLUS™ VBP20

Under-Slab Vapor / Gas Barrier



## Product Description

VaporBlock® Plus™ 20 is a seven-layer co-extruded barrier made from state-of-the-art polyethylene and EVOH resins to provide unmatched impact strength as well as superior resistance to gas and moisture transmission. VaporBlock® Plus™ 20 is a highly resilient underslab / vertical wall barrier designed to restrict naturally occurring gases such as radon and/or methane from migrating through the ground and concrete slab. VaporBlock® Plus™ 20 is more than 100 times less permeable than typical high-performance polyethylene vapor retarders against Methane, Radon and other harmful VOCs.

VaporBlock® Plus™ 20 is one of the most effective underslab gas barriers in the building industry today far exceeding ASTM E-1745 (Plastic Water Vapor Retarders Used in Contact with Soil or Granular Fill Under Concrete Slabs) Class A, B and C requirements. Available in a 20 (Class A) mil thicknesses designed to meet the most stringent requirements. VaporBlock® Plus™ 20 is produced within the strict guidelines of our ISO 9001:2008 Certified Management System.

## Product Use

VaporBlock® Plus™ 20 resists gas and moisture migration into the building envelop when properly installed to provide protection from toxic/harmful chemicals. It can be installed as part of a passive or active control system extending across the entire building including floors, walls and crawl spaces. When installed as a passive system it is recommended to also include a ventilated system with sump(s) that could be converted to an active control system with properly designed ventilation fans.

VaporBlock® Plus™ 20 works to protect your flooring and other moisture-sensitive furnishings in the building's interior from moisture and water vapor migration, greatly reducing condensation, mold and degradation.

## Size & Packaging

VaporBlock® Plus™ 20 is available in 10' x 150' rolls to maximize coverage. All rolls are folded on heavy-duty cores for ease in handling and installation. Other custom sizes with factory welded seams are available based on minimum volume requirements. Installation instructions and ASTM E-1745 classifications accompany each roll.



Under-Slab Vapor/Gas Retarder

## Product

## Part #

VaporBlock Plus 20 ..... VBP 20

## APPLICATIONS

- Radon Barrier Under-Slab Vapor Retarder
- Methane Barrier Foundation Wall Vapor Retarder
- VOC Barrier



		VAPORBLOCK PLUS 20	
PROPERTIES	TEST METHOD	IMPERIAL	METRIC
APPEARANCE		White/Gold	
THICKNESS, NOMINAL		20 mil	0.51 mm
WEIGHT		102 lbs/MSF	498 g/m <sup>2</sup>
CLASSIFICATION	ASTM E 1745	CLASS A, B & C	
TENSILE STRENGTH LBF/IN (N/CM) AVERAGE MD & TD (NEW MATERIAL)	ASTM E 154 Section 9 (D-882)	58 lbf	102 N
IMPACT RESISTANCE	ASTM D 1709	2600 g	
MAXIMUM USE TEMPERATURE		180° F	82° C
MINIMUM USE TEMPERATURE		-70° F	-57° C
PERMEANCE (NEW MATERIAL)	ASTM E 154 Section 7  ASTM E 96 Procedure B	0.0051 Perms grains/(ft <sup>2</sup> ·hr·in·Hg)	0.0034 Perms g/(24hr·m <sup>2</sup> ·mm Hg)
RADON DIFFUSION COEFFICIENT	K124/02/95	< 1.1 x 10 <sup>-13</sup> m <sup>2</sup> /s	
METHANE PERMEANCE	ASTM D 1434	< 1.7 x 10 <sup>-10</sup> m <sup>2</sup> /d·atm 0.32 GTR (Gas Transmission Rate) ml/m <sup>2</sup> ·D·ATM	

### VaporBlock® Plus™ Placement

All instructions on architectural or structural drawings should be reviewed and followed.  
Detailed installation instructions accompany each roll of VaporBlock® Plus™ and can also be located on our website.  
ASTM E-1643 also provides general installation information for vapor retarders.



VaporBlock® Plus™ is a seven-layer co-extruded barrier made using high quality virgin-grade polyethylene and EVOH resins to provide unmatched impact strength as well as superior resistance to gas and moisture transmission.

Note: To the best of our knowledge, unless otherwise stated, these are typical property values and are intended as guides only, not as specification limits. Chemical resistance as well as other performance criteria is not implied or given and actual testing must be performed for applicability in specific applications and/or conditions. RAVEN INDUSTRIES MAKES NO WARRANTIES AS TO THE FITNESS FOR A SPECIFIC USE OR MERCHANTABILITY OF PRODUCTS REFERRED TO, no guarantee of satisfactory results from reliance upon contained information or recommendations and disclaims all liability for resulting loss or damage.



**Engineered Films Division**  
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Limited Warranty available at [www.RavenEFD.com](http://www.RavenEFD.com)

Toll Free: 800-635-3456  
Email: [efdsales@ravenind.com](mailto:efdsales@ravenind.com)  
[www.ravenefd.com](http://www.ravenefd.com)  
10/10 EFD 1125