



250 Broadway, 29th Floor
 New York, NY 10007
 212-386-0009 - Phone
 646-500-6271 - Fax
 www.nyc.gov/bsa

ZONING (BZ) CALENDAR
 Application Form

BSA APPLICATION NO. _____
 CEQR NO. _____

Section A

Applicant/
Owner

<u>Jay Goldstein, Esq.</u> NAME OF APPLICANT	<u>JSM Associates LLC</u> OWNER OF RECORD
<u>365 Fulton Street, Suite 101</u> ADDRESS	<u>1325 6th Avenue</u> ADDRESS
<u>Brooklyn</u> <u>NY</u> <u>11201</u> CITY STATE ZIP	<u>New York</u> <u>NY</u> <u>10019</u> CITY STATE ZIP
<u>646</u> <u>535-3771</u> AREA CODE TELEPHONE	<u>Flywheel Sports Inc.</u> LESSEE / CONTRACT VENDEE
<u>646</u> <u>514-1881</u> AREA CODE FAX	<u>51 Astor Place</u> ADDRESS
<u>Jay@JayGoldsteinEsq.com</u> EMAIL	<u>New York</u> <u>NY</u> <u>10003</u> CITY STATE ZIP

Section B

Site
Data

51 Astor PL (2-026 3rd Av, 45 4th Av, 101 Astor Pl, 100-114 E9th St) 10011
 STREET ADDRESS (INCLUDE ANY A/K/A) ZIP CODE

City Block bounded by Astor Place, East 9th St., 3rd Ave. and 4th Ave
 DESCRIPTION OF PROPERTY BY BOUNDING OR CROSS STREETS

<u>554</u> <u>35</u> <u>Manhattan</u> <u>3</u> <u>N/A</u> BLOCK LOT(S) BOROUGH COMMUNITY DISTRICT LANDMARK/HISTORIC DISTRICT
<u>Mendez</u> <u>C6-3</u> <u>12c</u> CITY COUNCIL MEMBER ZONING DISTRICT ZONING MAP NUMBER <i>(include special district, if any)</i>

Section C

Dept of Building
Decision

BSA AUTHORIZING SECTION(S) 73-36 for VARIANCE SPECIAL PERMIT (Including 11-41)

Section(s) of the Zoning Resolution to be varied 32-10

DOB Decision (Objection/ Denial) date: 7/8/16 Acting on Application No: 120746826

Section D

Description

(LEGALIZATION YES NO IN PART)

Legalization of the operation of a physical culture establishment on a portion of the Cellar level of the premises.

Section E

BSA History
and
Related Actions

If "YES" to any of the below questions, please explain in the STATEMENT OF FACTS

	YES	NO
1. Has the premises been the subject of any previous BSA application(s)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PRIOR BSA APPLICATION NO(S): _____		
2. Are there any applications concerning the premises pending before any other government agency?....	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Is the property the subject of any court action?.....	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Section F

Signature

I HEREBY AFFIRM THAT BASED ON INFORMATION AND BELIEF, THE ABOVE STATEMENTS AND THE STATEMENTS CONTAINED IN THE PAPERS ARE TRUE.

[Signature] SWORN TO ME THIS 2nd DAY OF August 2016
 Signature of Applicant, Corporate Officer or Other Authorized Representative

Yaakov Goldstein Attorney
 Print Name Title

[Signature]
 NOTARY PUBLIC

ABRAHAM PATELSKY
 Notary Public, State of New York
 No. 01PA6146583
 Qualified in Kings County
 Commission Expires May 22, 2018



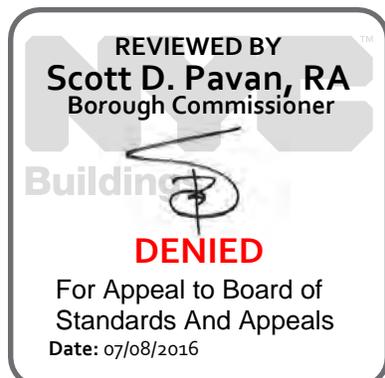
NYC Development Hub
 Department of Buildings
 80 Centre Street
 Third Floor
 New York, New York 10013
 nycdevelopmenthub@buildings.nyc.gov

Notice of Comments

Owner: CARLOS OLIVIERI, JR	Date: 07-08-16
	Job Application #: 120746826
	Application type: NB
Applicant: NICKOLAS ZIGOMANIS	Premises Address: 20 3 AVENUE MANHATTAN
	Zoning District: C6-1
	Block: 554 Lots: 35
Lead Plan Examiner at NYC Development Hub: Damian Titus	

Examiner's Signature: _____

No.	Section of ZR and/or MDL	Comments	Date Resolved
1.		Proposed physical culture establishment is not permitted as of right in a C6-1 district as per ZR 32-10.	
2.			





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New York, NY 10007
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AFFIDAVIT OF OWNERSHIP AND AUTHORIZATION

Affidavit of Ownership

Jeffrey M. Sussman, being duly sworn, deposes and says that (s)he resides at 1325 6th Ave, Fl. 23, in the City of New York, in the County of Manhattan, in the State of New York; that JSM Associates I LLC is the owner in fee of all that certain lot, piece or parcel of land located in the Borough of Manhattan, in the City of New York and known and designated as Block 554, Lot(s) 35, Street and House Number 51 Astor Place; and that the statement of facts in the annexed application are true.

Check one of the following conditions:

- Sole property owner of zoning lot
- Cooperative Building
- Condominium Building
- Zoning lot contains more than one tax lot and property owner

Owner's Authorization

The owner identified above hereby authorizes Jay Goldstein to make the annexed application in her/his behalf.

Signature of Owner

Print Name

Jeffrey M. Sussman

Print Title

Authorized Signatory

Sworn to before me this 6th day May, 2016

of May 2, 2016

Madelyn Maratea

Revised March 8, 2012

MADELYN MARATEA
Notary Public, State of New York
No. 01MA6107203
Qualified in Nassau County
Commission Expires ~~March 22, 20~~
April 30, 2018

Hon. Margery Perlmutter
Board of Standards & Appeals
250 Broadway, 29th Floor
New York, NY 10007

May 3, 2016

**Re: 51 Astor Place
New York, New York
Block 554, Lot 35**

Dear Chair Perlmutter:

I, Edward Kinnaly, the Chief Executive Officer of Flywheel Sports, Inc., operator of the proposed physical culture establishment located at the above-reference address, grant permission to the Law Office of Stuart Klein to file the accompanying application for a special permit to operate the proposed physical culture establishment at the Premises.

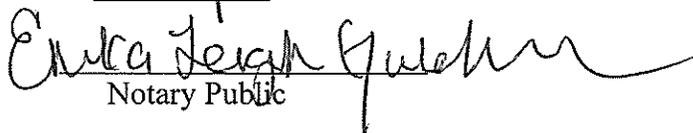
Respectfully,



Edward Kinnaly

So affirmed to me this 6th day

of May, 2016



Notary Public

ERIKALEIGH GOLDMAN
NOTARY PUBLIC-STATE OF NEW YORK
NO. 01GO6336432
QUALIFIED IN QUEENS COUNTY
MY COMMISSION EXPIRES 02-01-2020

LAW OFFICE OF JAY GOLDSTEIN, PLLC

Jay Goldstein, Esq.
356 Fulton Street, Suite 101
Brooklyn, NY 11201
Phone: (646) 535-3771
Fax: (646) 514-1881
Jay@JayGoldsteinEsq.com

August 1, 2016

Honorable Margery Perlmutter, Chair
Board of Standards & Appeals
250 Broadway, 29th Floor
New York, NY 10007

**Re: 51 Astor Place
New York, New York (the “Premises”)
Block 554, Lot 35
BSA Cal. No.:**

STATEMENT OF FACTS AND FINDINGS

Introduction

This application is submitted with the permission of JSM Associates, LLC, the ground lessee of the Premises, and on behalf of the tenant, Flywheel Sports Inc. d/b/a Flywheel (the “Applicant”) (see Affidavits of Ownership and Affidavit of Authorization annexed hereto), for a special permit pursuant to §73-36 of the New York City Zoning Resolution (“ZR”), for the legalization of the Physical Culture Establishment (“PCE”) located in a portion of the cellar (the “Space”) of the building located at 51 Astor Place. The PCE began operations in March 2016.

Department of Buildings Objection

This application is filed pursuant to an objection from the Borough Commissioner of the Department of Buildings (“DOB”) dated July 8, 2016 (see DOB Objection annexed hereto), pursuant to application number 120746826, which states:

“Proposed Physical Culture Establishment is not permitted as of right in a C6-1 district as per ZR 32-10.”

Current Site Conditions

The Premises is situated on the city block bounded by Astor Place, East 9th Street, 3rd Avenue and 4th Avenue. The lot comprises approximately 36,117 square feet, with approximately 171 feet of frontage on Astor Place, approximately 166 feet of frontage on 3rd Avenue,

approximately 231 feet of frontage on East 9th Street and approximately 198 feet of frontage on 4th Avenue (see tax map annexed hereto). The Space is located along the Astor Place frontage. The Premises is a 14-story mixed-use community facility and commercial building (see Certificate of Occupancy (“CO”) annexed hereto). The PCE occupies a portion of the cellar. There are no open Environmental Control Board violations and seven open DOB violations related to the building elevators (see BIS Property Profile Overview and Violations). These violations will be corrected during the Alteration 1 process.

Zoning

The Premises is located within a C6-3 Zoning District see Zoning Map annexed hereto).

The current proposal complies fully with all applicable district regulations and City Planning Special Permits (see BSA Zoning Analysis Form and BSA Sign Analysis Form annexed hereto).

Proposed Facility

The Applicant operates the PCE under the trade name of Flywheel. The PCE occupies a portion of the cellar (4,617 square feet) with its entrance in a portion of the first floor (458 square feet), for a total of 5,075 square feet. As depicted in the plans annexed hereto, the first floor contains an elevator and staircase. The sub cellar has a reception area, a spinning studio, storage rooms, a locker area, 3 bathrooms, 5 individual shower rooms and an office.

Flywheel offers spinning classes in its facilities. The proposed hours of operation are Monday through Friday 5:30am to 9pm with the earliest class at 6:00am and the latest class ending at 8:30 pm; Saturday and Sunday 8am to 5:30pm with the earliest class at 8:30am and the latest class ending at 5pm with an average of 5-7 classes per day.

The proposed PCE is designed for class use only, as such, patrons are only present immediately before, during and after classes. The spin classes host on average 40-50 patrons with a maximum class capacity of 70 patrons with 3-7 employees present in the Space at all times.

The space is equipped with code compliant sprinklers that will be tied into the building’s NYC DOB approved system. The tenant has developed an evacuation procedure in cases of emergencies and their employees have been trained in those procedures. The Premises is ADA-accessible and conform to the NYC Accessibility requirements.

All partitions at the studios are isolated from adjacent structures with 2 layers of 5/8” sheetrock in studio and 2 layers outside studio and 4” sound attenuated batt insulation. All flooring at the studio sits on 4” foam isolators, attenuated batt insulation, 2 layers 3/4” plywood and 2 layers of 5/8” sheetrock. Isolated Mat subfloor with Neoprene isolators, Fiberglass batting, and perimeter isolation boards at all edges. All penetrations at studio ceiling and partitions are sealed with Mineral Fiber insulation and caulked. STC ratings at acoustical separation are as follows: partitions are STC 60, and flooring is STC 64.

Compliance with ZR § 73-03

Under Z.R. §73-03, “the Board of Standards and Appeals shall have the power as authorized by Section 73-01, paragraph (a) or (b), and subject to such appropriate conditions and safeguards as the Board shall prescribe, to grant special permits uses... as specifically provided in this Chapter, provided in each case” it shall find the following:

- (a) The Board shall make all of the findings required in the applicable sections of this Chapter with respect to each such special permit use or modification of use, parking or bulk regulations and shall find that, under the conditions and safeguards imposed, the hazards or disadvantages to the community at large of such special permit use or modification of use, parking or bulk regulations at the particular site are outweighed by the advantages to be derived by the community by the grant of such special permit. In each case the Board shall determine that the adverse effect, if any, on the privacy, quiet, light and air in the neighborhood of such special permit use or modification of use, parking or bulk regulations will be minimized by appropriate conditions governing location of the site, design and method of operation.**

The PCE is managed by Flywheel Sports Inc. and operates under the trade name of Flywheel. The PCE occupies a portion of the ground floor and a portion of the cellar of the existing building at the Premises. Due to its location and limited size, the PCE has no potential hazards or disadvantages that will adversely impact the privacy, quiet, light and air within the neighborhood. The Space is located in a mixed-use community facility and commercial building. The surrounding area is comprised of residential, commercial uses and community facility uses (see Radius Diagram and photographs annexed hereto). Accordingly, the area is already heavily trafficked by retail customers as well as building tenants. Most of the patrons walk or use mass transit to access the PCE, so the PCE does not increase traffic to the surrounding area. Accordingly, the PCE has no negative impact on the neighborhood.

- (b) In all cases the Board shall deny a special permit whenever such proposed special permit use or modification of use, parking or bulk regulations will interfere with any public improvement project (including housing, highways, public buildings or facilities, redevelopment or renewal projects, or right-of-way for sewers, transit or other public facilities) which is approved by or pending before the Board of Estimate, Site Selection Board or the City Planning Commission as determined from the calendars of each such agency issued prior to the date of the public hearings before the Board of Standards and Appeals.**

As the facility is located entirely within the existing building, it will not interfere with any public improvement projects.

- (c) When under the applicable findings the Board is required to determine whether the special permit use or modification of use, parking or bulk regulations is appropriately located in relation to the street system, the Board shall in its discretion make such determination on the basis of the Master Plan of Arterial**

Highways and Major Streets on the official City Map. Whenever the Board is required to make a finding on the location of a proposed special permit use or modification of use, parking or bulk regulations in relation to secondary or local streets and such classification of streets is not shown on the Master Plan, the Board in its discretion shall request the City Planning Commission to establish a report on the appropriate classification of such street.

In the instant matter, the Board is not required to determine whether the special permit use is appropriately located in relation to the street system under ZR §73-36.

- (d) For applications relating to Sections 73-243, 73-48 and 73- 49, the Board in its discretion shall request from the Department of Transportation a report with respect to the anticipated traffic congestion resulting from such special permit use or modification of use, parking or bulk regulations in the proposed location. If such a report is requested, the Board shall in its decision or determination give due consideration to such report and further shall have the power to substantiate the appropriate finding solely on the basis of the report of the Department of Transportation with respect to the issue referred.**

This application does not relate to §73-243, §73-48 or §73-49, therefore this subsection is inapplicable.

- (e) If a term of years is specified in the applicable section, the Board shall establish a term of years not to exceed such maximum. For those special permit uses or modification of use parking or bulk regulations for which a maximum term has not been specified, the Board may fix an appropriate term for any such special permit use or modification of use parking or bulk regulations.**

A term of ten years is requested herein, as is permitted under §73-36.

- (f) On application for renewal of any such special permit authorized in this Chapter, the Board shall determine whether the circumstances warranting the original grant still obtain. In addition, the Board shall ascertain whether the applicant has complied with the conditions and safeguards theretofore described by the Board during the prior term. In the event that the Board shall find the applicant has been in substantial violation thereof, it shall deny the application for renewal.**

As this is a new application, this provision does not apply.

- (g) The Board may permit the enlargement or extension of any existing use, which, if new, would be permitted by special permit in the specified districts under the provisions of Section 73-01 and other applicable provisions of this Chapter, provided that before granting any such permit for enlargement or extension within the permitted districts, the Board shall make all of the required findings applicable to the special permit use, except that**

- (1) in the case of colleges or universities in R1 or R2 Districts, the Board may waive all such required findings set forth in Section 73-121 (Colleges and universities); and**
- (2) in the case of public utility uses, the Board may waive all such required findings set forth in Sections 73-14 (Public Service Establishments) or 73-16 (Public Transit, Railroad or Electric Utility Substations).**

No such enlargement or extension shall create a new noncompliance or increase the existing degree of non-compliance with the applicable bulk regulations, except as may be permitted in accordance with the provisions of Sections 73-62 to 73-68, inclusive, relating to Modification of Bulk Regulations.

This is a new use, not an extension or enlargement, therefore this section is not applicable.

Compliance with ZR § 73-36

- (a) In C1-8X, C1-9, C2, C4, C5, C6, C8, M1, M2 or M3 Districts, and in certain special districts as specified in the provisions of such special district, the Board of Standards and Appeals may permit physical culture or health establishments as defined in Section 12-10, including gymnasiums (not permitted under Use Group 9), massage establishments other than adult physical culture establishments, for a term not to exceed ten years, provided the following findings are made:**

- (1) that such use is so located as not to impair the essential character or the future use or development of the surrounding area; and**

The gym is entirely contained within the cellar of the existing building and, as such, visibility from the street is extremely limited. The Space is located in a mixed-use community facility and commercial building. The surrounding area is primarily comprised of commercial office buildings, community facilities, retail stores, restaurants, and residential uses. The PCE does not attract significant additional traffic to the area and therefore does not have a negative impact on the adjacent tenants or the neighborhood.

- (2) that such use contains:**

- (i) one or more of the following regulation size sports facilities; handball courts, basketball courts, squash courts, paddleball courts, racketball courts, tennis courts; or**

The gym does not contain any such sports facilities.

- (ii) a swimming pool of a minimum 1,500 square feet; or**

The gym does not contain a swimming pool.

- (iii) facilities for classes, instruction and programs for physical improvement, body building, weight reduction, aerobics or martial arts; or**

The gym includes one group exercise room, which will be used for instructional classes as described above.

- (iv) facilities for the practice of massage by New York State licensed masseurs or masseuses. Therapeutic or relaxation services may be provided only as accessory to programmed facilities as described in paragraphs (a)(2)(i) through (a)(2)(iv) of this Section.**

The gym does not offer any massage, therapeutic or other relaxation therapy.

- (b) In C4-7, C5-2, C5-3, C5-4, C5-5, C6-4, C6-5, C6-6, C6-7, C6-8 or C6-9 Districts, the Board may permit physical culture or health establishments located on the roof of a commercial building or the commercial portion of a mixed building, provided the following additional findings are made:**

- (1) that such use shall be an incidental part of a permitted physical culture or health establishment located within the same commercial or mixed building;**
- (2) that such use shall be open and unobstructed to the sky;**
- (3) that such use shall be located on a roof not less than 23 feet above curb level;**
- (4) that the application for such use shall be made jointly by the owner of the building and the operator of such physical culture or health establishment; and**
- (5) that the Board shall prescribe appropriate controls to minimize adverse impacts on the surrounding area, including but not limited to, requirements for the location, size and types of signs, limitations on the manner and/or hours of operation, shielding of floodlights, adequate screening, and the control of undue noise including the amplification of sound, music or voices.**

The proposed PCE is located on portions of the ground floor and cellar of the Premises, not on the roof, therefore this section does not apply.

- (c) No special permit shall be issued pursuant to this Section unless:**

- (1) the Board shall have referred the application to the Department of Investigation for a background check of the owner, operator and all principals having an interest in any application filed under a partnership or corporate name and shall have received a report from the Department of Investigation which the Board shall determine to be satisfactory; and**

(2) the Board, in any resolution granting a special permit, shall have specified how each of the findings required by this Section are made.

The Board shall retain the right to revoke the special permit, at any time, if it determines that the nature or manner of operation of the permitted use has been altered from that authorized.

The Board may prescribe appropriate conditions and safeguards including location of signs and limitations on the manner and/or hours of operation in order to minimize adverse effects on the character of the surrounding community.

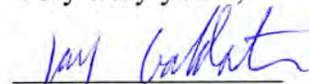
The Physical Culture Establishment Questionnaire Form and Physical Culture Principal Questionnaire Form are included herewith for review by the Board and DOI.

Conclusion

As has previously been recognized by the Board, the proposed PCE use is an extremely desirable use of the property. Additionally, the proposed PCE will promote the value of the land and will have a positive impact on the City's tax revenue.

As detailed above, the instant application meets the requirements set forth in ZR §73-03 and §73-36. The use is consistent with the neighborhood character, creates no adverse impacts, provides needed services, is a benefit to the community and blends nicely into its surroundings. Therefore, we respectfully request that the Board of Standards and Appeals grant this application for the operation of the Physical Culture Establishment at the Premises.

Very truly yours,


Jay Goldstein

Certificate of Occupancy

CO Number: 120746826T016

This certifies that the premises described herein conforms substantially to the approved plans and specifications and to the requirements of all applicable laws, rules and regulations for the uses and occupancies specified. No change of use or occupancy shall be made unless a new Certificate of Occupancy is issued. *This document or a copy shall be available for inspection at the building at all reasonable times.*

A.	Borough: Manhattan	Block Number: 00554	Certificate Type: Temporary
	Address: 100 EAST 9TH STREET	Lot Number(s): 35	Effective Date: 03/21/2016
	Building Identification Number (BIN): 1089443	Building Type: New	Expiration Date: 06/19/2016
This building is subject to this Building Code: 2008 Code			
<i>For zoning lot metes & bounds, please see BISWeb.</i>			
B.	Construction classification: 1-B	(2008 Code)	
	Building Occupancy Group classification: B	(2008 Code)	
	Multiple Dwelling Law Classification: None		
	No. of stories: 14	Height in feet: 185	No. of dwelling units: 0
C.	Fire Protection Equipment: None associated with this filing.		
D.	Type and number of open spaces: None associated with this filing.		
E.	This Certificate is issued with the following legal limitations: None		
Outstanding requirements for obtaining Final Certificate of Occupancy:			
There are 13 outstanding requirements. Please refer to BISWeb for further detail.			
Borough Comments: None			



Borough Commissioner



Commissioner

Certificate of Occupancy

CO Number: 120746826T016

Permissible Use and Occupancy						
All Building Code occupancy group designations below are 2008 designations.						
Floor From To	Maximum persons permitted	Live load lbs per sq. ft.	Building Code occupancy group	Dwelling or Rooming Units	Zoning use group	Description of use
CEL	3		S-1		6	STORAGE
CEL	11	100	F-2		6	MECHANICAL ROOMS
CEL	75		B		3	COLLEGE
CEL	270		M		6	RETAIL
CEL	1		S-2		6	STORAGE
SUB	7		S-2		6	STORAGE
SUB	5		S-2		6	LOCKER ROOMS
SUB	22		B		6	OFFICES
SUB	2		H-2		6	FUEL OIL STORAGE
SUB	14	OG	F-2		6	MECHANICAL ROOMS
001	120		B		3	COLLEGE
001	109		M		6	RETAIL 2
001	2		S-2		6	STORAGE



Borough Commissioner



Commissioner

Certificate of Occupancy

CO Number: 120746826T016

Permissible Use and Occupancy						
All Building Code occupancy group designations below are 2008 designations.						
Floor From To	Maximum persons permitted	Live load lbs per sq. ft.	Building Code occupancy group	Dwelling or Rooming Units	Zoning use group	Description of use
001	1		F-2		6	MECHANICAL ROOMS
001	88		M		6	RETAIL 3
001	4		S-1		6	LOADING DOCK
001	1		B		6	SERVICE LOBBY
001	293		M		6	RETAIL 1
001	13	100	B		6	OFFICE LOBBY
001	140		A-3		3	LECTURE HALL
002	1		S-2		3	ELECTRICAL
002	2		F-2		3	MECHANICAL ROOMS
002	278	50	B		3	OFFICES
003	004	2	F-2		6	MECHANICAL ROOMS EACH FLOOR
003	004	278	50	B	6	OFFICES EACH FLOOR
003	004	1	S-2		6	ELECTRICAL EACH FLOOR



Borough Commissioner



Commissioner

Certificate of Occupancy

CO Number: 120746826T016

Permissible Use and Occupancy						
All Building Code occupancy group designations below are 2008 designations.						
Floor From To	Maximum persons permitted	Live load lbs per sq. ft.	Building Code occupancy group	Dwelling or Rooming Units	Zoning use group	Description of use
005 008	159	50	B		6	OFFICES EACH FLOOR
005 008	2		F-2		6	MECHANICAL ROOMS EACH FLOOR
005 008	1		S-2		6	ELECTRICAL EACH FLOOR
009	227	50	B		6	OFFICES
009	2		F-2		6	MECHANICAL ROOMS
009	1		S-2		6	ELECTRICAL
010 012	159	50	B		6	OFFICES EACH FLOOR
010 012	2		F-2		6	MECHANICAL ROOMS EACH FLOOR
010 012	1		S-2		6	ELECTRICAL EACH FLOOR
013	4		S-2		6	ELECTRICAL
013	21	100	F-2		6	MECHANICAL ROOMS
014	2	100	F-2		6	MECHANICAL ROOMS
END OF SECTION						



Borough Commissioner



Commissioner

END OF DOCUMENT

BSA CALENDAR NO. _____

BLOCK 554

LOT 35

SUBJECT SITE ADDRESS

51 ASTOR PLACE

APPLICANT

FLYWHEEL SPORTS

ZONING DISTRICT C6-3

PRIOR BSA # _____

COMPLIANT: "Y"

SPECIAL/HISTORIC DISTRICT _____

IF NOT: "N" and
INDICATE AMT

COMMUNITY BOARD 3

LOT AREA

LOT WIDTH

USE GROUP (S)

FA RESIDENTIAL

FA COMMUNITY FACILITY

FA COMMERCIAL/INDUST.

FLOOR AREA TOTAL

FAR RESIDENTIAL

FAR COMMUNITY FACILITY

FAR COMMERCIAL/INDUST.

FAR TOTAL

OPEN SPACE

OPEN SPACE RATIO

LOT COVERAGE (%)

NO. DWELLING UNITS

WALL HEIGHT

TOTAL HEIGHT

NUMBER OF STORIES

FRONT YARD

SIDE YARD

SIDE YARD

REAR YARD

SETBACK (S)

SKY EXP. PLANE (SLOPE)

NO. PARKING SPACES

LOADING BERTH (S)

OTHER: _____

* APPLICABLE ZR SECTION	MAXIMUM PERMITTED	MINIMUM REQUIRED	LEGAL PER C of O or BSA	EXISTING	PROPOSED	OVER/UNDER
				36,117 SF	36,117 SF	
33-00	1-12		3,6,9	3,6,PCE	3,6,PCE	N
33-123	6.5			1.10	1.10	Y
33-122	6.0			6.38	6.38	Y**
	12.5			7.48	7.48	Y
33-123	234,760			40,000	40,000	Y
33-122	216,702			230,183	230,183	Y**
	451,462			270,183	270,183	Y
				185'	185'	Y**
				14	14	Y**



* In Applicable ZR Section column: For RESIDENTIAL developments in non-residential districts, indicate nearest R district, e.g., R4/23-141, and contrast compliance. For COMMERCIAL or MANUFACTURING developments in residential districts, contrast proposed bulk and area elements to **current R district requirements**, except for parking and loading requirements (contrast to nearest district where use is permitted). For COMMUNITY FACILITY uses in districts where not permitted, contrast to **nearest district where permitted**. For all applications, attach zoning map and highlight subject site. Be sure that all items noted in the DOB Denial/Objection are included. NOTES: _____

**Approved per special permit ULURP DESIGN: C020499(A)ZSM

BSA SIGN ANALYSIS - COMMERCIAL DISTRICTS

REVISED JANUARY 2004

BSA CALENDAR NO: _____

LOCATION: 51 Astor Place _____ BOROUGH Manhattan

BLOCK 554

APPLICANT: Flywheel Sports _____

LOT 35

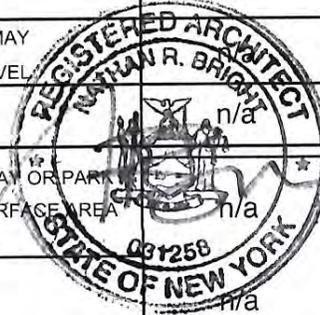
ZONING DISTRICT: C6-3 _____

SPECIAL DISTRICT _____

LOT AREA: 36,117 SF _____

EQUIVALENT C DISTRICT n/a

	SECTION	PERMITTED	PROPOSED	COMPLIANCE
ACCESSORY BUSINESS SIGNS	32-62	PERMITTED IN ALL COMMERCIAL DISTRICTS	Yes	Yes
ADVERTISING SIGNS	32-63	C6-5, C6-7, C7, C8 DISTRICTS	n/a	n/a
TOTAL SURFACE AREA - ALL SIGNS C1 - C8	32-641	SEE TABLE SECT. 32-642 FOR SURFACE AREA PERMITTED = <u>150 sf</u>	102sf	Yes
NON-ILLUMINATED SIGNS C1 - C8	32-642	SEE TABLE THIS SECTION FOR SURFACE AREA PERMITTED = <u>150 sf</u>	24 sf	Yes
ILLUMINATED NON-FLASHING C1, C2	32-643	SEE TABLE THIS SECTION FOR SURFACE AREA PERMITTED = <u>150 sf</u>	78 sf	Yes
ILLUMINATED OR FLASHING C4, C5-4, C6, C7 (NO FLASHING SIGNS IN C6-1A)	32-644	SEE TABLE THIS SECTION FOR SURFACE AREA PERMITTED = _____	none	Yes
ILLUMINATED OR FLASHING SIGNS IN C8 DISTRICTS - BUSINESS OR ADVERTISING	32-645	TOTAL SURFACE AREA OF ALL SUCH SIGNS < 5X STREET FRONTAGE OF ZONING LOT; EACH SIGN < 500 SF	n/a	n/a
PERMITTED PROJECTION C6-5, C6-7, C7 SEE SECTION 32-653 FOR ADD'L REGS	32-651	NO PERMITTED SIGN TO PROJECT ACROSS STREET LINE BY MORE THAN 8'	n/a	n/a
PERMITTED PROJECTION FOR ALL REMAINING COMMERCIAL DISTRICTS	32-652	NO PERMITTED SIGN TO PROJECT ACROSS STREET LINE BY MORE THAN 18" FOR DOUBLE OR MULTI-FACETED SIGNS OR 12" FOR ALL OTHERS	none	Yes
REGULATIONS FOR PROJECTING BUSINESS SIGNS: AWNINGS, CANOPIES, SIGNS ON MARQUEES C1 - C8	32-653	- AWNING OR CANOPY: NON-ILLUM. < 12SF, LETTERS < 12", FOR IDENTIFICATION ONLY; - SIGN ON MARQUEE: MUST PROJECT < 48" ABOVE, > 12" BELOW, EXCEPT C6-5, C6-7, C7	none	Yes
MAXIMUM HEIGHT OF SIGNS C8	32-654	< 40' ABOVE CURB LEVEL; < 58' FOR NON-ILLUM. OR INDIRECT SIGNS	n/a	n/a
MAXIMUM HEIGHT OF SIGNS C1 - C7	32-655	SEE TABLE: 25'-40' RANGE PER DISTRICT; C6-5, C6-7, C7: NO RESTRICTION	n/a	n/a
MAXIMUM HEIGHT ABOVE ROOF C1 - C5, C6-1 to 4, C6-6, C6-8, C6-9	32-656	ONLY VERTICAL SIGNS < 28" WIDE MAY EXTEND UP TO 15' ABOVE ROOF LEVEL	n/a	n/a
ROOF SIGNS C1 - C5, C6-1 to 4, C6-6, C6-8, C6-9	32-657	NONE PERMITTED	n/a	n/a
ADDITIONAL REGULATIONS FOR SIGNS OTHER THAN ADVERTISING SIGNS IN C6-5, C6-7, C7, C8	32-661	IF WITHIN 200' OF ARTERIAL HIGHWAY OR PARK SIGN SHALL NOT EXCEED 500sf SURFACE AREA IF WITHIN VIEW. SEE EXCEPTIONS	n/a	n/a
ADDITIONAL REGULATIONS FOR ADVERTISING SIGNS IN C6-5, C6-7, C7, C8	32-662	NONE PERMITTED WITHIN 200' OF ARTERIAL HIGHWAY OR PARK, IF WITHIN VIEW	n/a	n/a
WATERWAY ADVERTISING SIGNS	32-663	NOT PERMITTED ADJACENT TO C DISTRICTS	n/a	n/a
PROVISION FOR DIST. BOUNDARIES C2 - C8	32-67	IF WITHIN 100' OF RESIDENCE DISTRICT OR ADJ. TO PARK AND SIGN < 165 DEG., SEE C1 REGS.	n/a	n/a
RESIDENTIAL OR MIXED BUILDINGS C1 - C6	32-68	FOR UG 1, 2 or RESIDENTIAL USES, SEE RESIDENTIAL REGULATIONS. FOR NON-RESIDENTIAL USE ON 2 FLOORS - NON-ILLUM. SIGNS ONLY AND BELOW 3RD STORY	n/a	n/a
ADULT ESTABLISHMENTS	32-69	SEE SECTION	n/a	n/a





NYC Digital Tax Map

Effective Date : 12-31-2014 11:43:12
End Date : Current
Manhattan Block: 554



Legend

- Streets
- Miscellaneous Text
- Possession Hooks
- Boundary Lines
- Lot Face Possession Hooks
- Regular
- Underwater
- Tax Lot Polygon
- Condo Number
- Tax Block Polygon

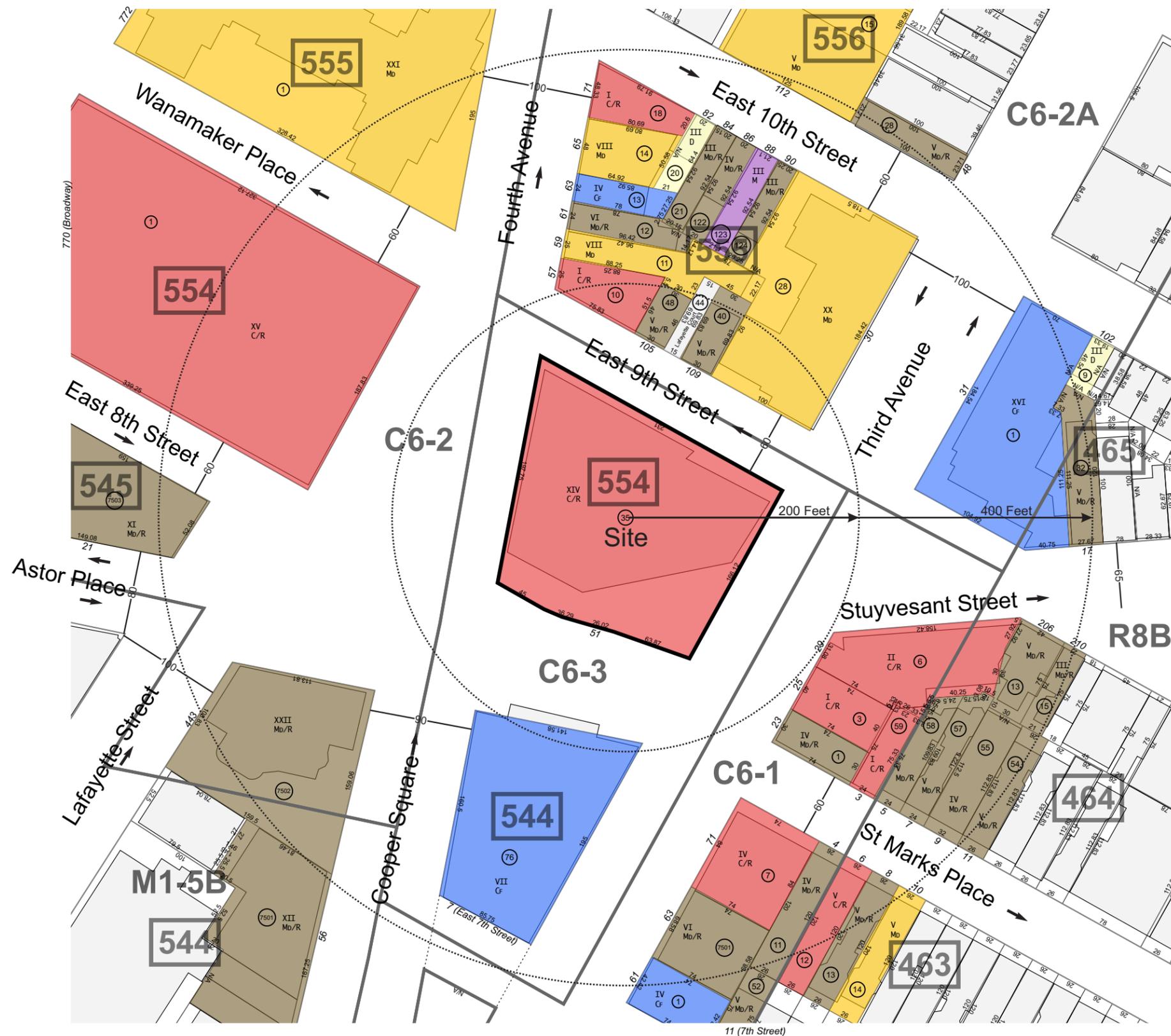
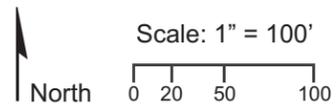


Site Information

Block 554, Lot 35
 Zoning Map: 12c
 Zoning District: C6-3
 Special District: n/a

Lot and Building Information

- # - Lot Numbers (within radius)
- ### - Block Numbers
- I, II, III - Story Height
- MD - Multiple Dwelling
- D - Dwelling
- R - Retail
- G - Garage
- C - Commercial
- I - Industrial
- M - Manufacturing
- W - Warehouse
- V - Vacant
- Cf - Community Facility

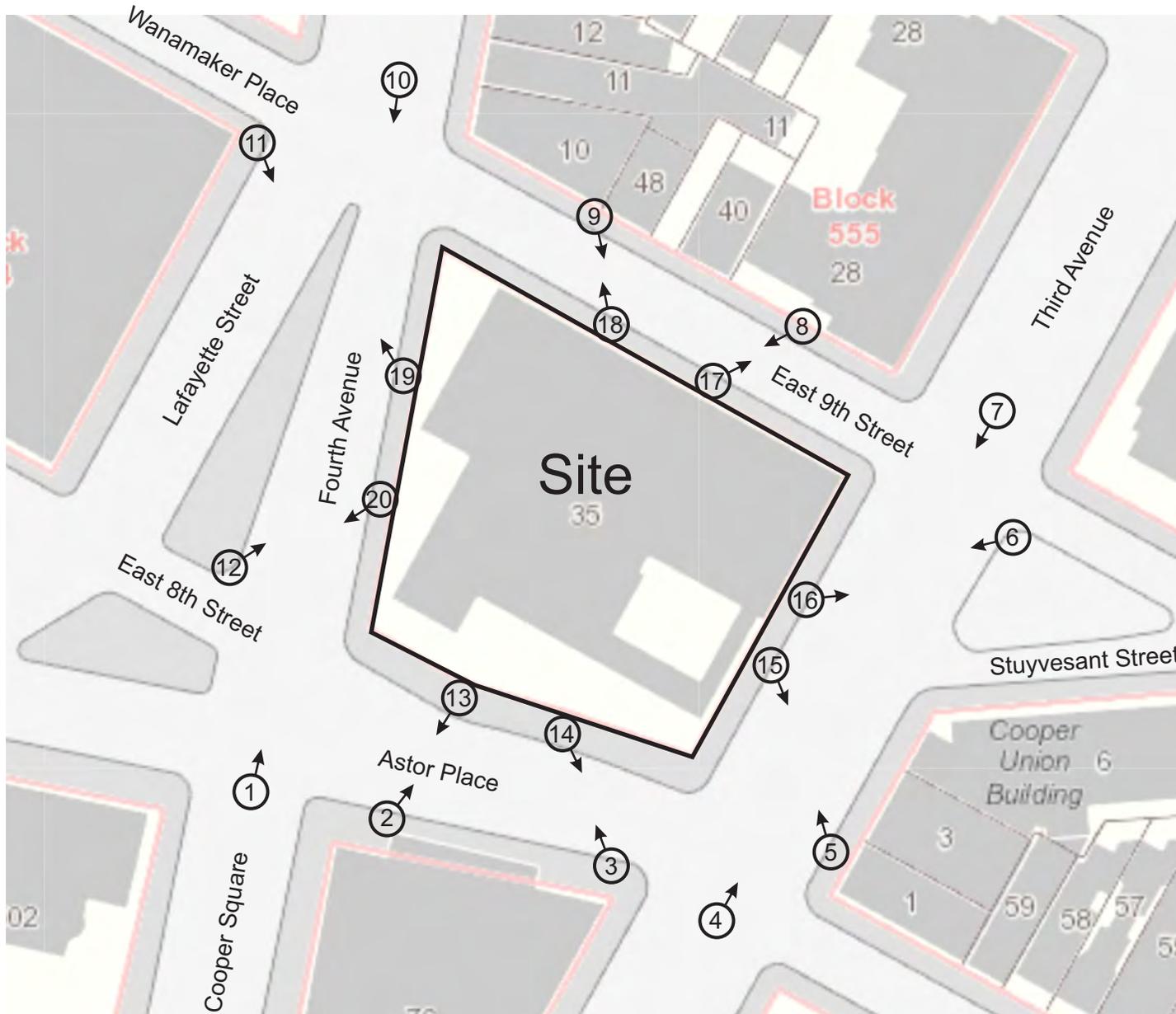


Zoning Districts and Commercial Overlays

- C1-1
- C1-2
- C1-3
- C1-4
- C1-5
- C2-1
- C2-2
- C2-3
- C2-4
- C2-5
- Zoning District Boundary
- Special District Boundary
- R7A** Zoning District Labels

Land Uses

- One and Two-Family Homes
- Multiple Dwelling
- Commercial
- Mixed Use (Residential/Commercial)
- Manufacturing
- Open Space / Park Land
- Institutional / Community Facility
- Parking / Automotive
- Vacant



















East 9th Street











Astor Place





Astor Place



Third Avenue







East 9th Street





Fourth Avenue



Fourth Avenue

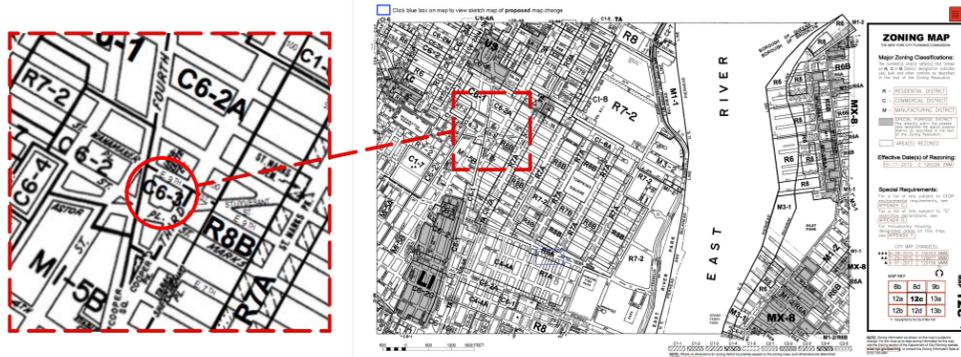


FLYWHEEL SPORTS

51 ASTOR PLACE, NEW YORK, NY 10003
ENTRY LEVEL AND CELLAR

ZONING MAP

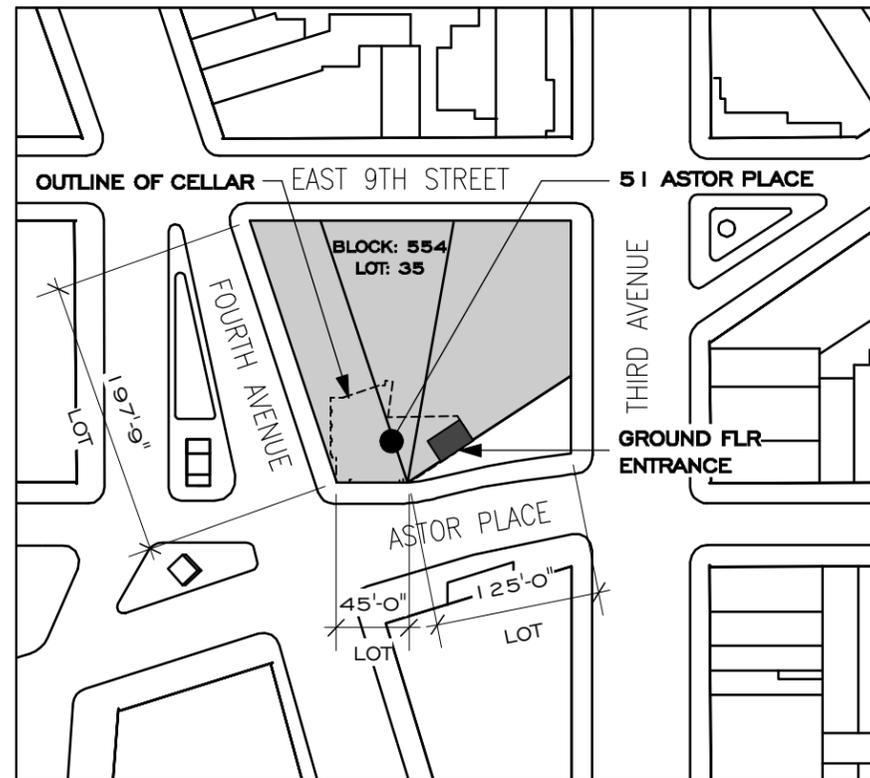
BLOCK: 554
LOT: 35
ZONING DISTRICT: C6-3
ZONING MAP: 12C
BUILDING HEIGHT: 14 STORIES
COMMUNITY DISTRICT: MANHATTAN 3
CONSTRUCTION CLASS: TYPE IB
LANDMARK DISTRICT: NO



FLOOR AREA SCHEDULE

FLOOR	USE GROUP 6					USE GROUP 3	PCE	TOTAL
	MERCANTILE	FACTORY	STORAGE	BUSINESS	HAZARD	COLLEGE	PHYSICAL CULTURE ESTABLISHMENT	
SUBCELLAR	0 SF	3,911 SF	3,654 SF	2,196 SF	560 SF	0 SF	0 SF	10,321 SF
CELLAR	6,101 SF	3,214 SF	728 SF	7,500 SF	0 SF	0 SF	4,617 SF	22,160 SF
GROUND FLOOR	12,780 SF	202 SF	1,089 SF	5,544 SF	0 SF	9,342 SF	458 SF	29,415 SF
2ND FLOOR	0 SF	0 SF	0 SF	0 SF	0 SF	30,682 SF	0 SF	30,682 SF
3RD-4TH FLOOR	0 SF	884 SF	360 SF	55,482 SF	0 SF	0 SF	0 SF	56,726 SF
5TH-12TH FLOOR	0 SF	3,536 SF	1,440 SF	126,488 SF	0 SF	0 SF	0 SF	131,464 SF
13TH FLOOR	0 SF	6,207 SF	1,045 SF	0 SF	0 SF	0 SF	0 SF	7,252 SF
ROOF	0 SF	360 SF	0 SF	0 SF	0 SF	0 SF	0 SF	360 SF
TOTAL	20,754 SF	18,756 SF	8,496 SF	226,951 SF	560 SF	40,000 SF	5,075 SF	288,650 SF

AREA OF WORK



PLOT PLAN

ZONING CALCULATIONS

LOT AREA 36,117 SF

ZR 32-10 PERMITTED USE GROUPS
USE GROUPS = 1-12

ZR 32-31 USE BY SPECIAL PERMIT
PHYSICAL CULTURE ESTABLISHMENT

ZR 33-122 MAXIMUM FLOOR AREA RATIO
ZR 33-122 IN DISTRICT C6-3 MAX F.A.R.
FOR COMMERCIAL = 6.0

MAXIMUM COMMERCIAL FLOOR AREA PERMITTED:
 $36,117 \text{ SF} \times 6.0 = 216,702 \text{ SF}$

EXISTING FLOOR AREA = 270,183 SF
NO CHANGE TO EXISTING CONDITION

BRIGHT
ARCHITECTURE
68 JAY STREET, BROOKLYN, NEW YORK 11201
SUITE 322
P: 646.935.7894
BUILD@BRIGHTARCHITECTURE.COM

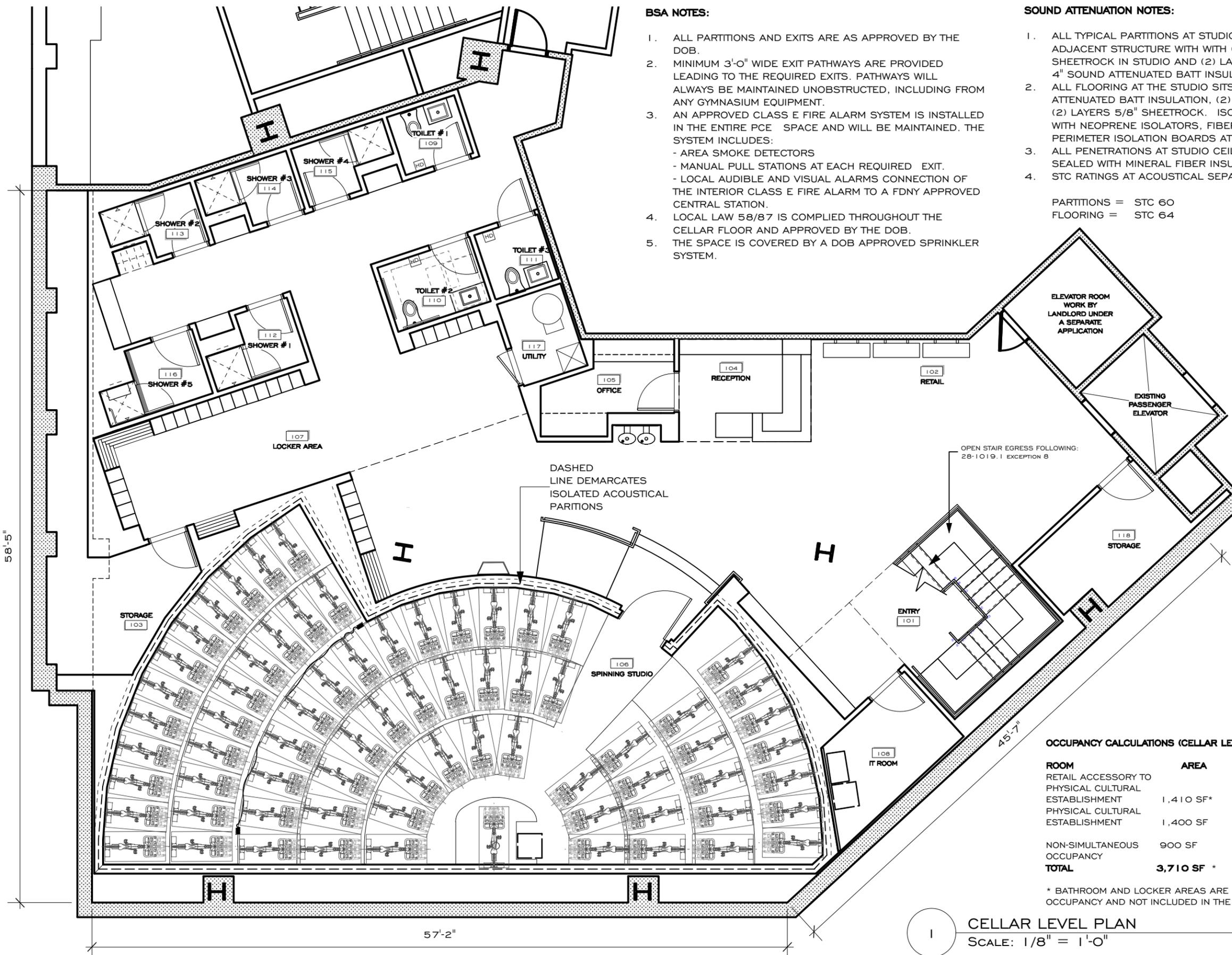
FLYWHEEL SPORTS
51 ASTOR PLACE
1ST FLOOR & CELLAR
NEW YORK, NY 10003

TITLE: COVER SHEET
DATE: 07/28/2016
SCALE: AS NOTED
REVISION: #1
#2
#3
#4
#5



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01 OF 04

ALL RIGHTS RESERVED. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE NATHAN BRIGHT ARCHITECT AND SHALL NOT BE USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.



BSA NOTES:

1. ALL PARTITIONS AND EXITS ARE AS APPROVED BY THE DOB.
2. MINIMUM 3'-0" WIDE EXIT PATHWAYS ARE PROVIDED LEADING TO THE REQUIRED EXITS. PATHWAYS WILL ALWAYS BE MAINTAINED UNOBSTRUCTED, INCLUDING FROM ANY GYMNASIUM EQUIPMENT.
3. AN APPROVED CLASS E FIRE ALARM SYSTEM IS INSTALLED IN THE ENTIRE PCE SPACE AND WILL BE MAINTAINED. THE SYSTEM INCLUDES:
 - AREA SMOKE DETECTORS
 - MANUAL PULL STATIONS AT EACH REQUIRED EXIT.
 - LOCAL AUDIBLE AND VISUAL ALARMS CONNECTION OF THE INTERIOR CLASS E FIRE ALARM TO A FDNY APPROVED CENTRAL STATION.
4. LOCAL LAW 58/87 IS COMPLIED THROUGHOUT THE CELLAR FLOOR AND APPROVED BY THE DOB.
5. THE SPACE IS COVERED BY A DOB APPROVED SPRINKLER SYSTEM.

SOUND ATTENUATION NOTES:

1. ALL TYPICAL PARTITIONS AT STUDIOS ARE ISOLATED FROM ADJACENT STRUCTURE WITH WITH (2) LAYERS 5/8" SHEETROCK IN STUDIO AND (2) LAYERS OUTSIDE STUDIO AND 4" SOUND ATTENUATED BATT INSULATION.
2. ALL FLOORING AT THE STUDIO SITS ON 4" FOAM ISOLATORS, ATTENUATED BATT INSULATION, (2) LAYERS 3/4" PLYWOOD AND (2) LAYERS 5/8" SHEETROCK. ISOLATED MAT SUBFLOOR WITH NEOPRENE ISOLATORS, FIBERGLASS BATTING, AND PERIMETER ISOLATION BOARDS AT ALL EDGES.
3. ALL PENETRATIONS AT STUDIO CEILINGS AND PARTITIONS ARE SEALED WITH MINERAL FIBER INSULATION AND CAULKED.
4. STC RATINGS AT ACOUSTICAL SEPARATION:

PARTITIONS = STC 60
 FLOORING = STC 64



OCCUPANCY CALCULATIONS (CELLAR LEVEL):

ROOM	AREA	OCCUPANCY	OCCUPANT LOAD
RETAIL ACCESSORY TO PHYSICAL CULTURAL ESTABLISHMENT	1,410 SF*	@ 30 SF	47 OCCUPANTS
PHYSICAL CULTURAL ESTABLISHMENT	1,400 SF	71 FIXED	71 OCCUPANTS
NON-SIMULTANEOUS OCCUPANCY	900 SF	0	0 OCCUPANTS
TOTAL	3,710 SF *		118 OCCUPANTS

* BATHROOM AND LOCKER AREAS ARE CONSIDERED NON-SIMULTANEOUS OCCUPANCY AND NOT INCLUDED IN THE OCCUPANCY SQUARE FOOTAGE.

CELLAR LEVEL PLAN

SCALE: 1/8" = 1'-0"

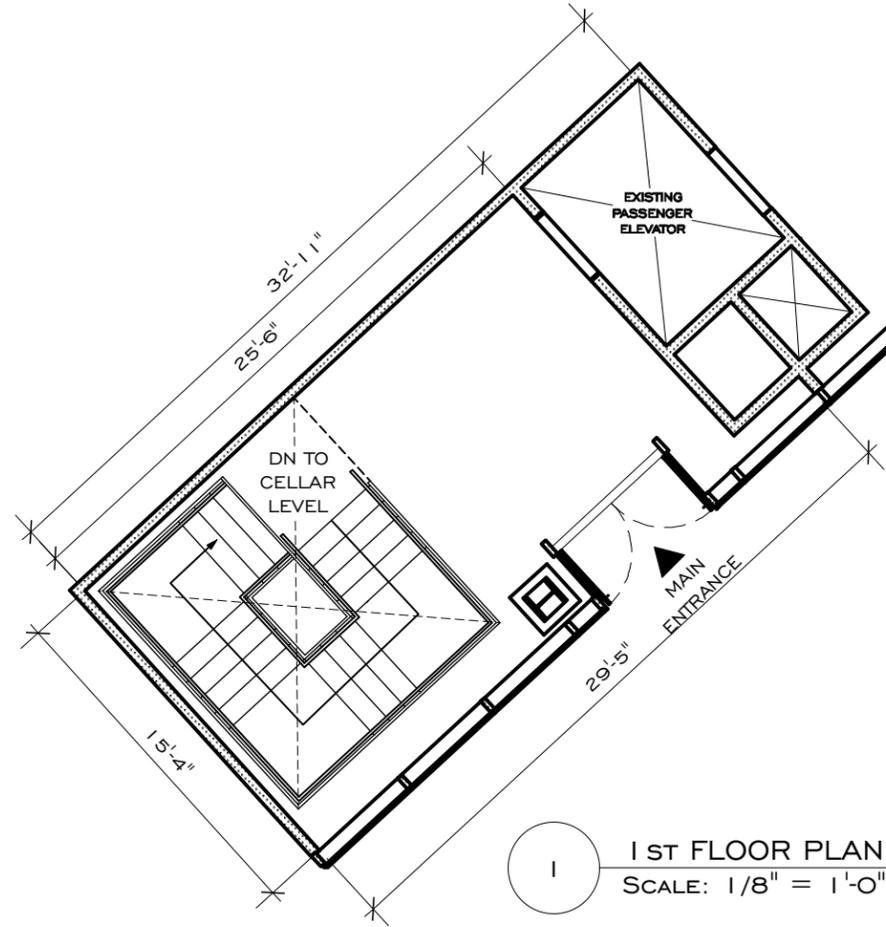
TITLE: CELLAR LEVEL

DATE: 07/28/2016

SCALE: AS NOTED

REVISION:

#1	
#2	
#3	
#4	
#5	



1 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

OCCUPANCY CALCULATIONS (1ST FLOOR):

ROOM	AREA	OCCUPANCY	OCCUPANT LOAD
LOBBY FOR PHYSICAL CULTURAL ESTABLISHMENT ON CELLAR LEVEL (RETAIL)	458 SF	@ 100 SF	5 OCCUPANTS
TOTAL	458 SF		5 OCCUPANTS



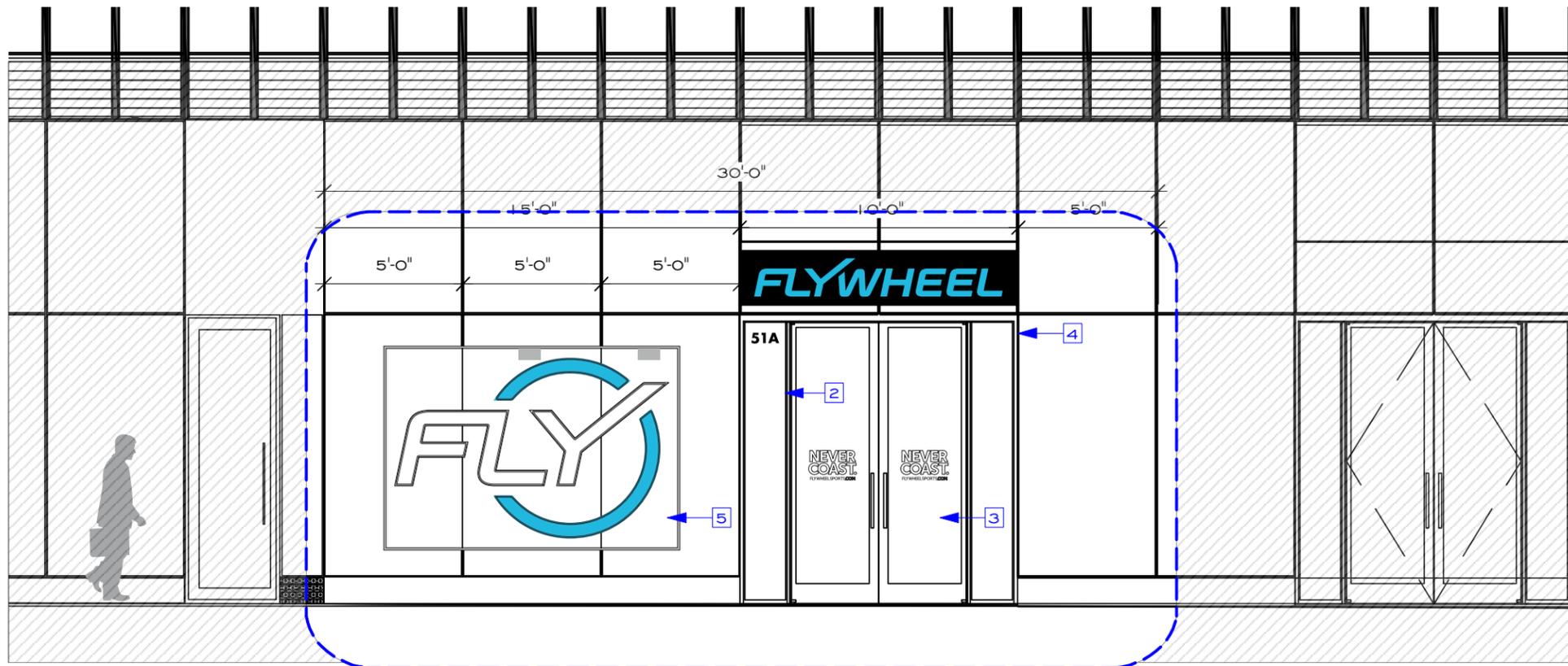
BRIGHT
ARCHITECTURE
68 JAY STREET BROOKLYN NEW YORK 11201 SUITE 322
BUILD@BRIGHTARCHITECTURE.COM P: 646.935.7894

FLYWHEEL SPORTS
51 ASTOR PLACE
1ST FLOOR & CELLAR
NEW YORK, NY 10003

TITLE: ENTRY LEVEL
DATE: 07/28/2016
SCALE: AS NOTED
REVISION: #1
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x1 **51A** 1'-0" x 4.5" 1/2 SF TOTAL

2 WINDOW VINYL
SCALE: 3/4" = 1'-0"

x2 **NEVER COAST.** 1'-8.75" x 12.75" 2 SF + 2 SF 4 SF TOTAL
FLYWHEELSPORTS.COM

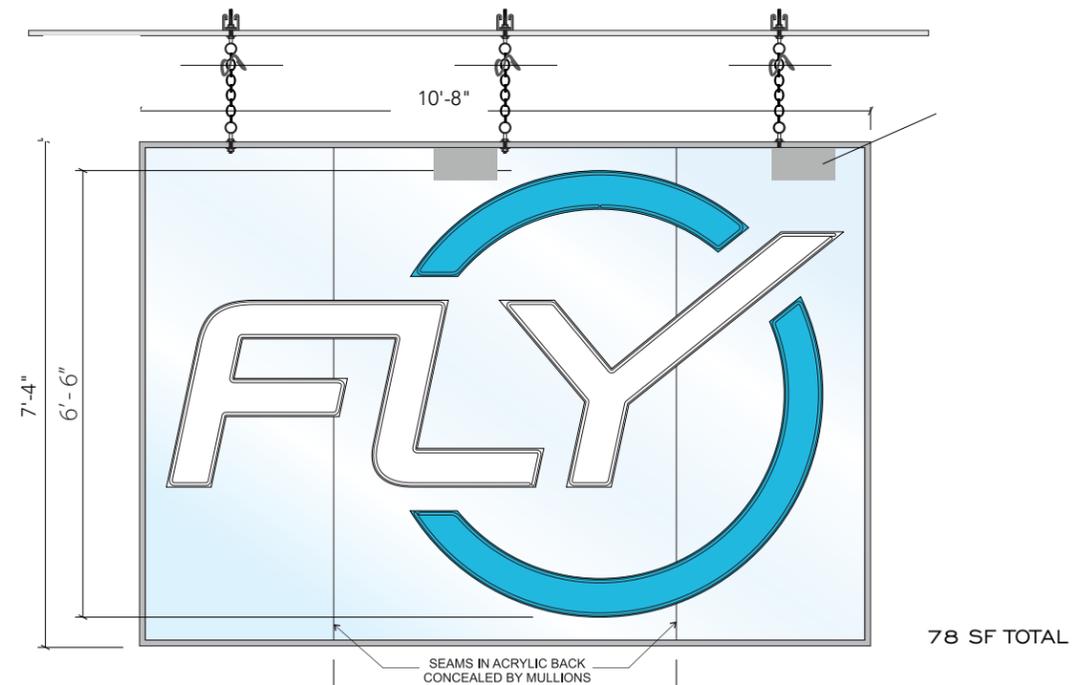
3 WINDOW VINYL
SCALE: 3/4" = 1'-0"

1 ELEVATION @ 1ST FLOOR
SCALE: 3/16" = 1'-0"



4 HALO-LIT CHANNEL LETTERS
SCALE: 1/2" = 1'-0"

SIGNAGE CALCULATIONS FOR C6-1			
LOT FRONTAGE	30'-0" FT		
ALLOWABLE TOTAL SIGNAGE	30'-0" FT x 5	=	150 SF
NON-ILLUMINATED	ALLOWED = 150 SF	PROPOSED =	24 SF
ILLUMINATED	ALLOWED = 150 SF	PROPOSED =	78 SF
TOTAL SIGNAGE			= 102 SF



5 NEON SIGN
SCALE: 3/8" = 1'-0"



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BUILD@BRIGHTARCHITECTURE.COM P: 646.935.7894

FLYWHEEL SPORTS
51 ASTOR PLACE
1ST FLOOR & CELLAR
NEW YORK, NY 10003

TITLE: EXTERIOR ELEVATIONS
DATE: 07/28/2016
SCALE: AS NOTED
REVISION: #1
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04 OF 04

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51 Astor Place, Manhattan

Block 544

Block 544, Lot 76

COOPER UNION ADVNCMNT SCIENCE/ART
30 COOPER SQ. FL. 7
NEW YORK, NY 10003-7120

Block 554

Block 554, Lot 35

COOPER UNION FOR. THE ADVANCEMENT OF
SCIENCE & ART
EJM EQUITIES, INC.
1325 AVENUE OF THE AMERIC APT. 23RD FLOOR
NEW YORK, NY 10019

Block 555

Block 555, Lot 10

101 EAST 9TH STREET LLC
17810 80TH DR.
JAMAICA, NY 11432-1406

Block 555, Lot 11

FOURTH AVE. LOFT CORP.
SANDBERG MANAGEMENT
345 7TH AVE. FL. 8
NEW YORK, NY 10001-5050

Block 555, Lot 28

EAST 9TH ST. APTS. CORP.
CHARLES H. GREENTHAL MGMT CO.
4 PARK AVENUE, 3RD FLO
NEW YORK, NY 10016

Block 555, Lot 40

171 HOLDING CORP.
C/O HERBERT WEINGAST
1111 CRANDON BLVD. APT. C606
KEY BISCAYNE, FL 33149-2744

Block 555, Lot 44

NO INFORMATION AVAILABLE

Block 555, Lot 48

FU FAMILY LLC
105 E. 9TH ST.
NEW YORK, NY 10003-5434

51 Astor Place, Manhattan

Community Board

Manhattan Community Board 3
59 East 4th Street
New York, NY 10003

City Councilperson

Rosie Mendez
237 First Ave, Suite 504
New York, NY 10003

Borough President

Office of Manhattan Borough President
Gale Brewer
1 Centre Street, 19th Floor
New York, NY 10007

Department of City Planning (Manhattan Office)

Edith Hsu-Chen
Director, Manhattan Office
Department of City Planning
120 Broadway, 31st Floor
New York, NY 10271

Department of City Planning (Central Office)

Christopher Holme
Department of City Planning
120 Broadway, 31st Floor
New York, NY 10271

State of New York)
County of Nassau)

Miya Alcivar, being duly sworn, deposes and says: That the foregoing names and addresses were obtained from the City Collector's office on the 2nd day of May, 2016.

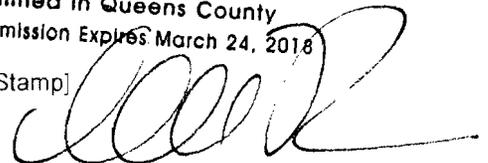


Miya Alcivar

Sworn before me on
this 9th day of May, 2016.

IAN RASMUSSEN
NOTARY PUBLIC-STATE OF NEW YORK
No. 02RA6298453
Qualified in Queens County
My Commission Expires March 24, 2018

[Notary Public Stamp]





**Board of Standards
and Appeals**

250 Broadway, 29th Floor
New York, NY 10007
212-386-0009 - Phone
646-500-6271 - Fax
www.nyc.gov/bsa

**CITY ENVIRONMENTAL QUALITY REVIEW
VARIANCE AND SPECIAL PERMIT APPLICATIONS**

BSA Cal. No. _____

CEQR No. _____

Place an X in the box to the right of the category that applies to your application. If your project is a Type II, an environmental review is not required. If your project is a Type I, an Environmental Assessment Statement (EAS) is required. If you cannot find an appropriate item on the list, your project is most likely "unlisted" and requires the submission of an EAS.

If your application is unlisted or Type I, submit one (1) original and two (2) copies of the completed EAS and one (1) copy in PDF format on a CD. If your application is Type II, submit three (3) copies of the checklist.

If you require assistance in completing this form, please call the Board's CEQR Examiner at (212) 788-8749.

PREMISES AFFECTED BY YOUR APPLICATION

Street Address 51 Astor Place Borough Manhattan

Tax Block 554 Tax Lot 35

Zoning District C6-3

PROJECT DESCRIPTION: Identify the action (variance or special permit), ZR section the application is filed under, ZR sections to be waived, if applicable, and a description of the proposal, including use, new construction or rehabilitation, square footage of development, and number of stories of proposed building.

Legalization of the operation of a physical culture establishment on a portion of the Cellar level of the premises.

GENERAL

1.	Any project or action which exceeds 25 percent of any threshold described in items 6-11 and 16 occurring wholly or partially within or substantially contiguous to any publicly-owned or operated parkland, recreation area or designated open space.	<input type="checkbox"/> Type I: EAS required
2.	Any unlisted action (unless the action is designed for the preservation of the facility or site) occurring wholly or partially within or substantially contiguous to any historic building, structure, facility, site or district or prehistoric site or that has been proposed by the New York State Board on Historic Preservation for a recommendation to the State Historic Preservation Officer for nomination for inclusion in the National Register, or that is listed on the State Register of Historic Places (The National Register of Historic Places is established by 36 Code of Federal Regulation (CFR) Parts 60 and 63, 1994 (see section 617.17 of this Part).	<input type="checkbox"/> Type I: EAS required
3.	Any Unlisted action that exceeds a Type I threshold established by an involved agency pursuant to section 617.14 of this Part.	<input type="checkbox"/> Type I: EAS required
4.	Any structure exceeding 100 feet above original ground level in a locality without any zoning regulation pertaining to height.	<input type="checkbox"/> Type I : EAS required
5.	Maintenance or repair involving no substantial changes in an existing structure or facility.	<input type="checkbox"/> Type II: No EAS required
6.	Interpretations of an existing code, rule or regulation.	<input type="checkbox"/> Type II: No EAS required
7.	Minor temporary uses of land having negligible or no permanent effect on the environment.	<input type="checkbox"/> Type II: No EAS required
8.	Mapping of existing roads, streets, highways, natural resources, land uses and ownership patterns.	<input type="checkbox"/> Type II: No EAS required

NEW CONSTRUCTION

9.	Any new office structure which has a minimum of 200,000 square feet of floor area and exceeds permitted floor area under existing zoning by more than 20 percent.	<input type="checkbox"/> Type I: EAS required
10.	Activities, other than residential construction, which meet or exceed any of the following thresholds:	
(a)	Parking for 1,000 or more vehicles.	<input type="checkbox"/> Type I: EAS required
(b)	A facility with more than 240,000 square feet of gross floor area.	<input type="checkbox"/> Type I: EAS required
11.	Any new community or public facility containing at least 100,000 square feet of floor area, or the expansion of an existing facility by more than 50 percent of floor area where the total size of the expanded facility exceeds 100,000 square feet of floor area.	<input type="checkbox"/> Type I: EAS required
12.	Granting of individual setback and lot line variances.	<input type="checkbox"/> Type II: No EAS required
13.	Granting of an area variance(s) for a single-family, two-family or a three-family residence.	<input type="checkbox"/> Type II: No EAS required
14.	Construction or expansion of a single-family, a two-family or a three-family residence on an approved lot including provision of necessary utility connections as provided in paragraph (11) and the installation, maintenance and/or upgrade of a drinking water well and a septic system.	<input type="checkbox"/> Type II: No EAS required

15.	Construction, expansion or placement of minor accessory/appurtenant residential structures, including garages, carports, patios, decks, swimming pools, tennis courts, satellite dishes, fences, barns, storage sheds or other buildings not changing land use or density.	<input type="checkbox"/> Type II: No EAS required
16.	Construction or expansion of a primary or accessory/appurtenant, non-residential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls, but not radio communication or microwave transmission facilities.	<input type="checkbox"/> Type II: No EAS required

EXPANSION, MAINTENANCE, ACCESSORY STRUCTURES

17.	Expansion of an existing office facility by more than 50 percent of its floor area, where the total size of the expanded facility exceeds 240,000 square feet of floor area.	<input type="checkbox"/> Type I: EAS required
18.	Expansion of an existing non-residential facility which exceeds the following thresholds:	
(a)	Parking for 500 or more vehicles.	<input type="checkbox"/> Type I: EAS required
(b)	A facility with more than 120,000 square feet of gross floor area.	<input type="checkbox"/> Type I: EAS required
19.	Replacement, rehabilitation or construction of a structure or facility, in kind, on the same site, including upgrading buildings to meet building and fire codes unless such a facility meets or exceeds any of the thresholds in section 617.4 of this Part.	<input type="checkbox"/> Type II: No EAS required
20.	Maintenance of existing landscaping or natural growth.	<input type="checkbox"/> Type II: No EAS required
21.	License, lease and permit renewals, or transfers of ownership thereof, where there will be no material change in permit conditions or the scope of permitted activities.	<input type="checkbox"/> Type II: No EAS required
22.	Routine activities of educational institutions, including expansion of existing facilities by less than 10,000 square feet of gross floor area and school closings, but not changes in use related to such closings.	<input type="checkbox"/> Type II: No EAS required

AFFIRMATION: I state that I am duly authorized by the fee owner/conditional owner of the said subject premises to make this application to the Board of Standards and Appeals. I have read this application thoroughly. I understand its contents and affirm to the best of my knowledge that the representations made above are true.

SIGNATURE

 8/11/16

Affix seal, if Registered Architect or Professional Engineer.

NOTE: This CEQR checklist is not exclusive and lists the Type II actions typically filed at the Board of Standards and Appeals. For further reference, see New York State's Environmental Quality Review Act (SEQRA), Article 8 of the New York State Environmental Conservation Law, New York State Department of Environmental Conservation's SEQRA Regulations at 6 N.Y.C.R.R. '617, including 6 N.Y.C.R.R. '617.5 (Type II actions); 6 N.Y.C.R.R. '617.4 (Type I actions); Official Compilation of the Rules of the City of New York, Title 62, Chapter 5, Appendix A, '6.04 (exempt actions) and '6-15(a)(1), (2) (additional New York City Type I thresholds from Executive Order No. 91 of 1977 as amended); Rules of Procedure for City Environmental Quality Review (CEQR), DCP #91-15, September 1991.

MEENAKSHI SRINIVASAN
Chair/Commissioner

Please be advised that effective January 26, 2014, the following types of applications are no longer subject to review under City Environmental Quality Review, the State Environmental Quality Review Act (Environmental Conservation Law, Article 8) or the SEQRA Regulations. For further information, please contact Rory Levy at (212) 386-0082 or rlevy@bsa.nyc.gov

Type II actions:

- (1) Special permits for physical culture or health establishments of up to 20,000 gross square feet, pursuant to § 73-36 of the Zoning Resolution;
- (2) Special permits for radio and television towers, pursuant to § 73-30 of the Zoning Resolution;
- (3) Special permits for ambulatory diagnostic or treatment health care facilities, pursuant to § 73-125 of the Zoning Resolution;
- (4) Special permits to allow a building or other structure to exceed the height regulations around airports, pursuant to § 73-66 of the Zoning Resolution;
- (5) Special permits for the enlargement of buildings containing residential uses by up to 10 units, pursuant to § 73-621 of the Zoning Resolution;
- (6) Special permits for eating and drinking establishments of up to 2,500 gross square feet with accessory drive-through facilities, pursuant to § 73-243 of the Zoning Resolution

Prerequisites:

- An action listed in (2)-(5) above involving ground disturbance shall remain subject to environmental review, unless it is determined that any potentially significant hazardous materials impacts will be avoided.
- An action listed in (2), (3), or (5) above involving excavation of an area that was not previously excavated shall remain subject to environmental review, unless it is determined that the project site is not archaeologically sensitive.
- An action listed in (4) above shall remain subject to environmental review, unless it is determined that any potentially significant noise impacts will be avoided.

Yalson
M. K. K. K.
8/1/16



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NYC Department of Buildings
Property Profile Overview

20 3 AVENUE

3 AVENUE : 20 - 26
 4 AVENUE : 45 - 45
 ASTOR PLACE : 101 - 101
 EAST 9 STREET : 100 - 114
 ASTOR PLACE : 51 - 51

[View DCP Addresses...](#) [Browse Block](#)

MANHATTAN 10003

Health Area : 6200
Census Tract : 42
Community Board : 103
Buildings on Lot : 1

BIN# 1089443

Tax Block : 554
Tax Lot : 35
Condo : NO
Vacant : NO

[View Zoning Documents](#) [View Challenge Results](#) [Pre - BIS PA](#) [View Certificates of Occupancy](#)

Cross Street(s): ASTOR PLACE, STUYVESANT STREET

DOB Special Place Name:

DOB Building Remarks:

Landmark Status:

Special Status: N/A

Local Law: NO

Loft Law: NO

SRO Restricted: NO

TA Restricted: NO

UB Restricted: NO

Environmental Restrictions: N/A

Grandfathered Sign: NO

Legal Adult Use: NO

City Owned: NO

Additional BINs for Building: [1008953](#)

Special District: UNKNOWN

This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, Coastal Erosion Hazard Area, or Special Flood Hazard Area. [Click here for more information](#)

Department of Finance Building Classification: O6-OFFICE BUILDINGS

Please Note: The Department of Finance's building classification information shows a building's tax status, which may not be the same as the legal use of the structure. To determine the legal use of a structure, research the records of the Department of Buildings.

	Total	Open	Elevator Records
Complaints	37	0	Electrical Applications
Violations-DOB	29	7	Permits In-Process / Issued
Violations-ECB (DOB)	24	0	Illuminated Signs Annual Permits
Jobs/Filings	208		Plumbing Inspections
ARA / LAA Jobs	0		Open Plumbing Jobs / Work Types
Total Jobs	208		Facades
Actions	61		Marquee Annual Permits
			Boiler Records
			DEP Boiler Information
			Crane Information
			After Hours Variance Permits

OR Enter Action Type:

OR Select from List:

AND

If you have any questions please review these [Frequently Asked Questions](#), the [Glossary](#), or call the 311 Citizen Service Center by dialing 311 or (212) NEW YORK outside of New York City.



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NYC Department of Buildings
DOB Violations

Page: 1

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) Block: 554 Lot: 35

NUMBER	TYPE	FILE DATE
V* 020679ESD1 CLOSURE DATE: 09/28/2011	DOB VIOLATION - CLOSED	00/00/0000
V* 033108LL2604NRF00199	DOB VIOLATION - DISMISSED	03/31/2008
V* 071288LL16LEA01M	DOB VIOLATION - DISMISSED	07/12/1988
V* 080905E9444/137925	DOB VIOLATION - RESOLVED	08/09/2005
V* 080905E9444/137926	DOB VIOLATION - RESOLVED	08/09/2005
V* 111507E9444/224206	DOB VIOLATION - RESOLVED	11/15/2007
V* 111507E9444/224207	DOB VIOLATION - RESOLVED	11/15/2007
V* 033110E9028/329895	DOB VIOLATION - RESOLVED	03/31/2010
V* 033110E9028/329896	DOB VIOLATION - RESOLVED	03/31/2010
V* 051811E9028/381711	DOB VIOLATION - RESOLVED	05/18/2011
V* 051811E9028/381712	DOB VIOLATION - RESOLVED	05/18/2011
V* 102912CC0302MT	DOB VIOLATION - DISMISSED	10/29/2012
V* 102912C0302MT	DOB VIOLATION - DISMISSED	10/29/2012
V* 013113FISP NRF00338	DOB VIOLATION - DISMISSED	01/31/2013
V* 060313BENCH00051	DOB VIOLATION - DISMISSED	06/03/2013
V* 050615E9028/542039	DOB VIOLATION - RESOLVED	05/06/2015
V* 050615E9028/542040	DOB VIOLATION - RESOLVED	05/06/2015
V* 050615E9028/542041	DOB VIOLATION - RESOLVED	05/06/2015
V* 050615E9028/542042	DOB VIOLATION - RESOLVED	05/06/2015
V* 050615E9028/542036	DOB VIOLATION - RESOLVED	05/06/2015
V* 050615E9028/542037	DOB VIOLATION - RESOLVED	05/06/2015
V* 050615E9028/542038	DOB VIOLATION - RESOLVED	05/06/2015
V 050416E9027/575862	DOB VIOLATION - ACTIVE	05/04/2016
V 050416E9027/575863	DOB VIOLATION - ACTIVE	05/04/2016
V 050416E9027/575864	DOB VIOLATION - ACTIVE	05/04/2016

Next

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NYC Department of Buildings
DOB Violations

Page: 2

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) Block: 554 Lot: 35

NUMBER	TYPE	FILE DATE
V 050416E9027/575861	DOB VIOLATION - ACTIVE	05/04/2016
V 050416E9027/575858	DOB VIOLATION - ACTIVE	05/04/2016
V 050416E9027/575859	DOB VIOLATION - ACTIVE	05/04/2016
V 050416E9027/575860	DOB VIOLATION - ACTIVE	05/04/2016

[Previous](#)

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NYC Department of Buildings

DOB Violation Display for 050416E9027/575862

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) **Block:** 554 **Lot:** 35

Issue Date: 05/04/2016

Violation Category: V - DOB VIOLATION - ACTIVE

Violation Type: E - ELEVATOR

Violation Number: 9027/575862

Device No.: [1P47130](#)

ECB No.:

Infraction Codes:

Description:

Disposition:

Code: **Date:**

Inspector:

Comments:

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NYC Department of Buildings

DOB Violation Display for 050416E9027/575863

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) **Block:** 554 **Lot:** 35

Issue Date: 05/04/2016

Violation Category: V - DOB VIOLATION - ACTIVE

Violation Type: E - ELEVATOR

Violation Number: 9027/575863

Device No.: [1P47160](#)

ECB No.:

Infraction Codes:

Description:

Disposition:

Code: **Date:**

Inspector:

Comments:

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NYC Department of Buildings

DOB Violation Display for 050416E9027/575864

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) **Block:** 554 **Lot:** 35

Issue Date: 05/04/2016

Violation Category: V - DOB VIOLATION - ACTIVE

Violation Type: E - ELEVATOR

Violation Number: 9027/575864

Device No.: [1P47161](#)

ECB No.:

Infraction Codes:

Description:

Disposition:

Code: **Date:**

Inspector:

Comments:

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NYC Department of Buildings

DOB Violation Display for 050416E9027/575861

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) **Block:** 554 **Lot:** 35

Issue Date: 05/04/2016

Violation Category: V - DOB VIOLATION - ACTIVE

Violation Type: E - ELEVATOR

Violation Number: 9027/575861

Device No.: [1P47125](#)

ECB No.:

Infraction Codes:

Description:

Disposition:

Code: **Date:**

Inspector:

Comments:

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NYC Department of Buildings

DOB Violation Display for 050416E9027/575858

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) **Block:** 554 **Lot:** 35

Issue Date: 05/04/2016

Violation Category: V - DOB VIOLATION - ACTIVE

Violation Type: E - ELEVATOR

Violation Number: 9027/575858

Device No.: [1P47122](#)

ECB No.:

Infraction Codes:

Description:

Disposition:

Code: **Date:**

Inspector:

Comments:

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NYC Department of Buildings

DOB Violation Display for 050416E9027/575859

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) **Block:** 554 **Lot:** 35

Issue Date: 05/04/2016

Violation Category: V - DOB VIOLATION - ACTIVE

Violation Type: E - ELEVATOR

Violation Number: 9027/575859

Device No.: [1P47123](#)

ECB No.:

Infraction Codes:

Description:

Disposition:

Code: **Date:**

Inspector:

Comments:

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NYC Department of Buildings

DOB Violation Display for 050416E9027/575860

Premises: 20 3 AVENUE MANHATTAN

BIN: [1089443](#) **Block:** 554 **Lot:** 35

Issue Date: 05/04/2016

Violation Category: V - DOB VIOLATION - ACTIVE

Violation Type: E - ELEVATOR

Violation Number: 9027/575860

Device No.: [1P47124](#)

ECB No.:

Infraction Codes:

Description:

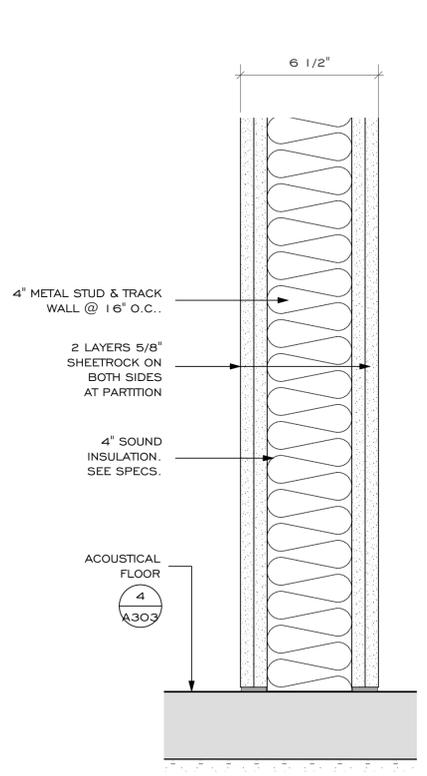
Disposition:

Code: **Date:**

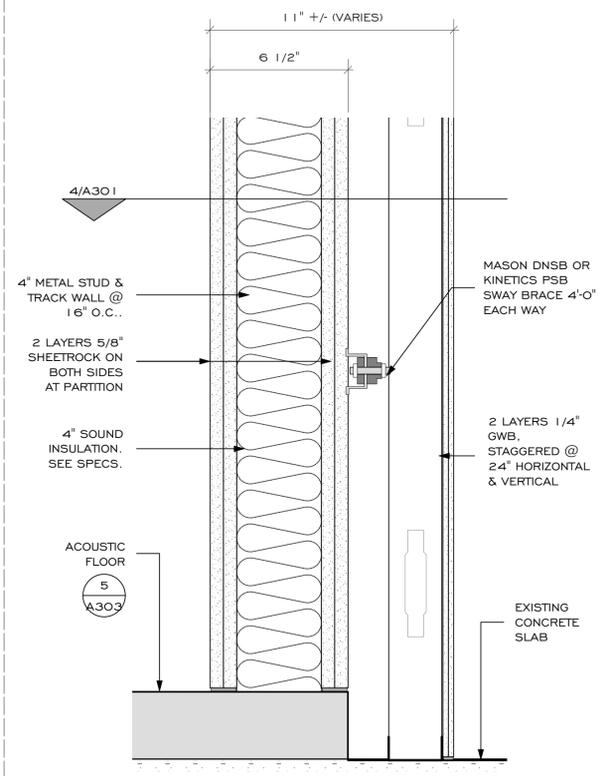
Inspector:

Comments:

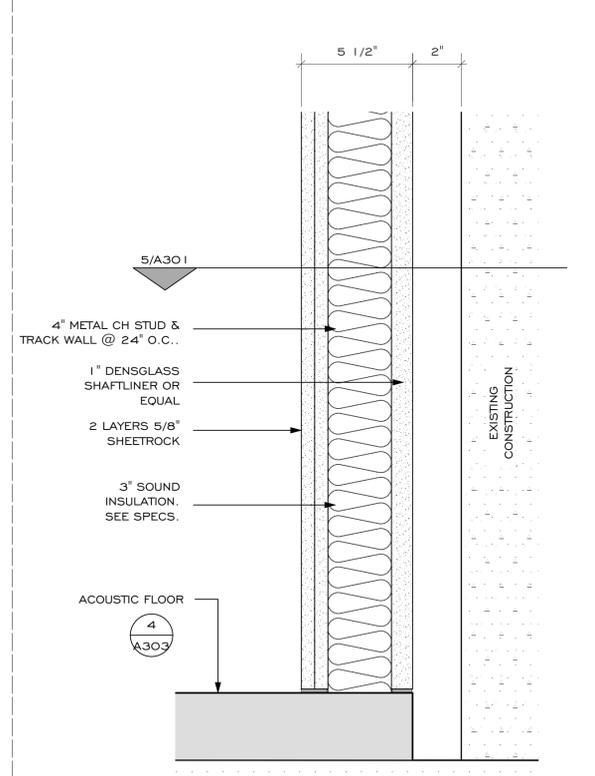
If you have any questions please review these [Frequently Asked Questions](#), the [Glossary](#), or call the 311 Citizen Service Center by dialing 311 or (212) NEW YORK outside of New York City.



1 DETAIL @ SOUND PARTITION TYPE 6
3" = 1'-0"

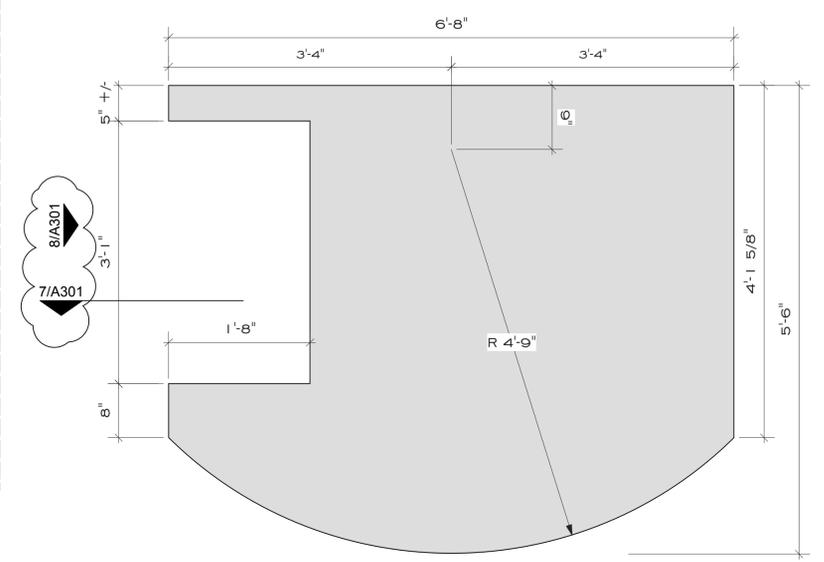


2 DETAIL @ SOUND PARTITION TYPE 6A
3" = 1'-0"

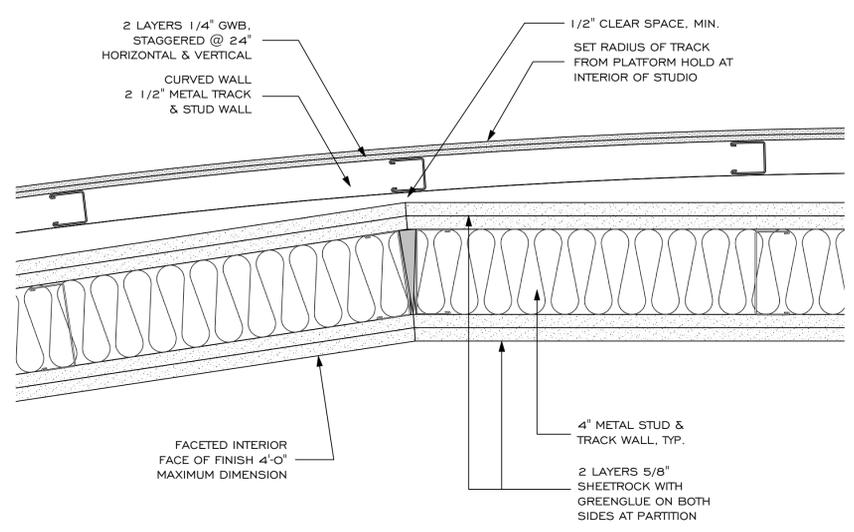


3 DETAIL @ SOUND PARTITION TYPE 7
3" = 1'-0"

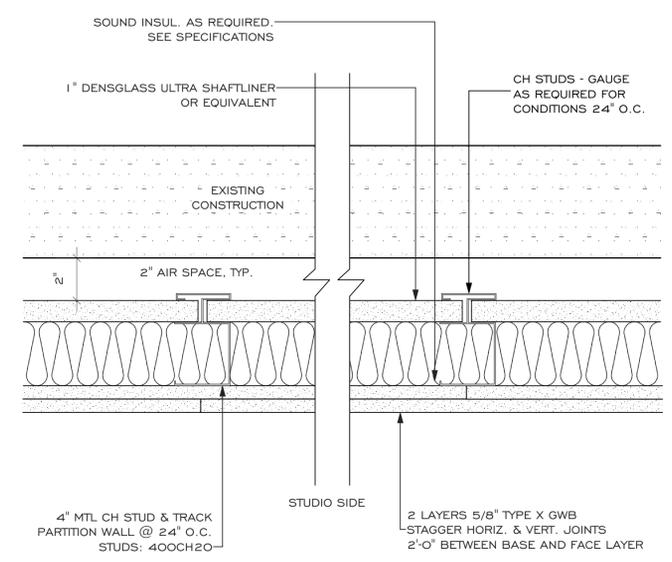
- SOUND PARTITION NOTES:**
1. ALL WORK TO BE COORDINATED WITH ACOUSTICAL ENGINEERING DETAILS.
 2. PENETRATIONS ARE TO BE MINIMIZED AT SOUND PARTITIONS. ALL REQUIRED PENETRATIONS TO PROVIDED WITH A MINIMUM SLEEVE OF 1/2" CLEARANCE BETWEEN PACKED WITH MINERAL WOOL. PROVIDE AIRTIGHT CAULKING AT ALL PENETRATIONS AND BETWEEN PENETRATIONS AND SLEEVE.
 3. SOUND PARTITIONS ARE TO BE ISOLATED FROM ALL ADJACENT CONSTRUCTION WITH MINIMUM 1/2" CONTINUOUS, CLOSED CELL FOAM WEATHERSTRIPPING.
 4. ALL ISOLATORS AND HANGERS SHALL BE BY MASON, KINETICS, OR APPROVED EQUIVALENT. SUBMIT SPECIFICATIONS TO ARCHITECT FOR APPROVAL.



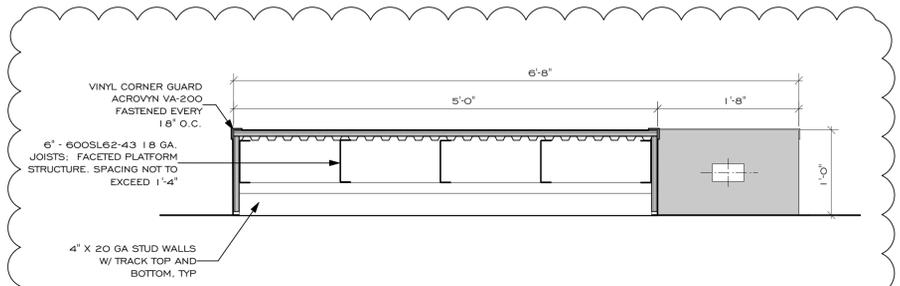
6 ENLARGED PLAN: INSTRUCTOR PLATFORM
1" = 1'-0"



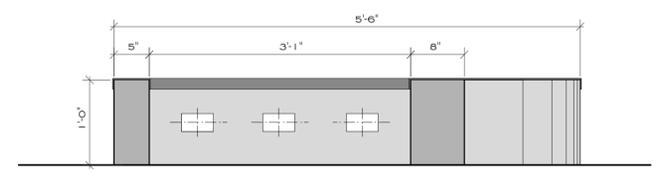
4 PARTITION TYPE 6A: PLAN/ SECTION
3" = 1'-0"



5 PARTITION TYPE 7: PLAN/ SECTION
3" = 1'-0"



7 SECTION: INSTRUCTOR PLATFORM
1" = 1'-0"



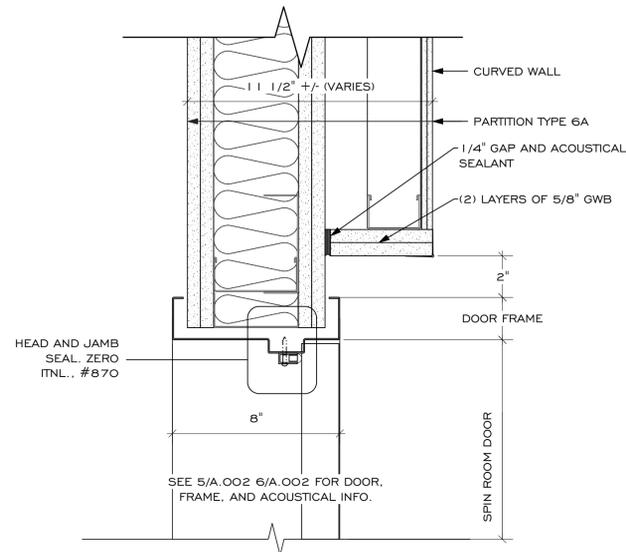
8 ELEVATION: INSTRUCTOR PLATFORM
1" = 1'-0"

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BUILD@BRIGHTARCHITECTURE.COM
P. 646.325.7894

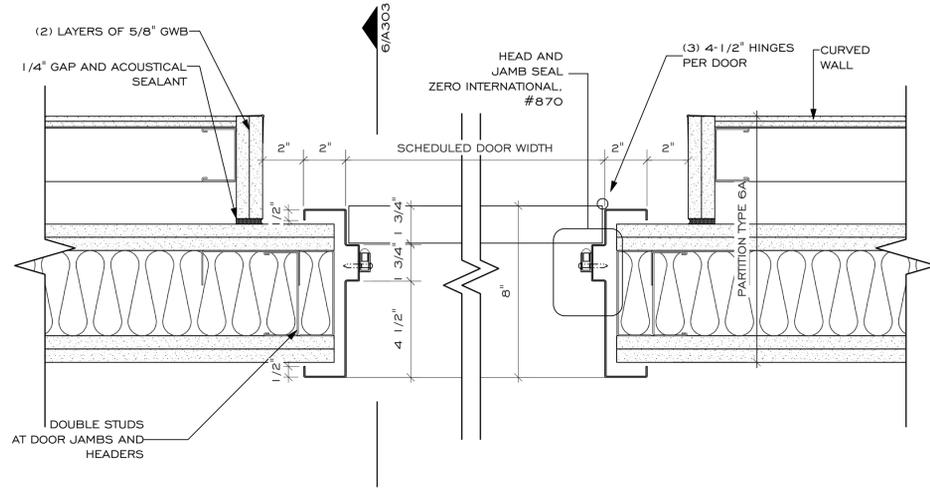
FLYWHEEL - ASTOR PLACE
51 ASTOR PLACE
NEW YORK, NY 10003

TITLE: DETAILS
DATE: 8/17/2015
SCALE: 3/16" = 1'-0"
REVISION: #1 9/30/2015
#2
#3
#4
#5

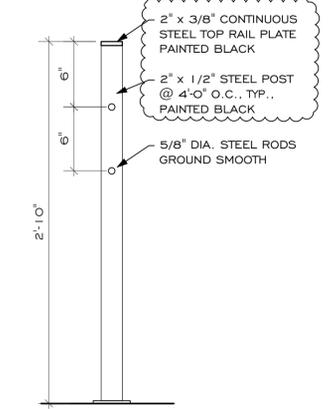
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CONSTRUCTION



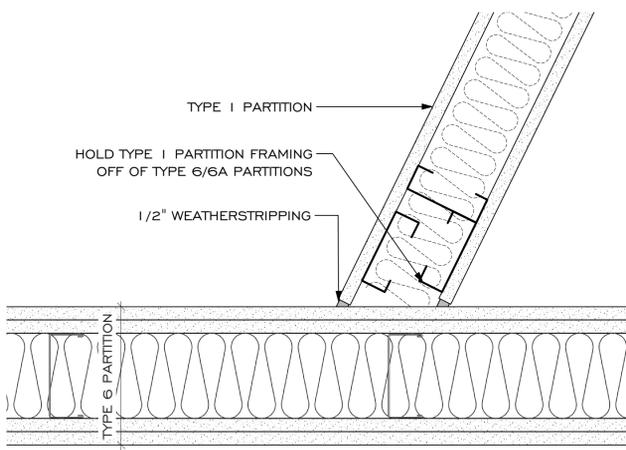
1 HEAD DETAIL @ SPIN ROOM DOOR HEADER
SCALE: 3" = 1'-0"



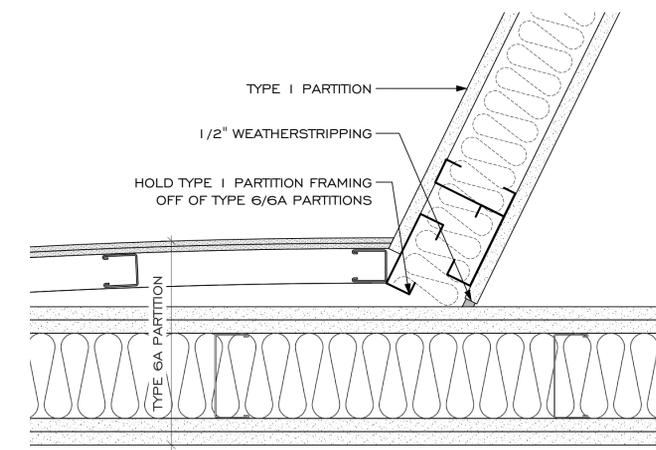
2 SECTION DETAIL: SPIN ROOM DOOR JAMB
SCALE: 3" = 1'-0"



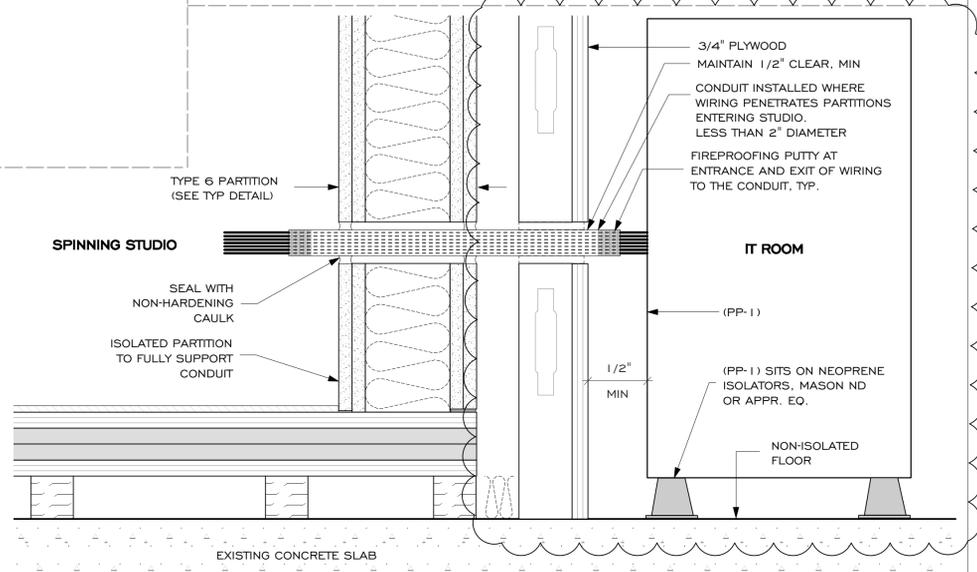
3 HANDRAIL @ RAMP OUTSIDE STUDIO
SCALE: 1 1/2" = 1'-0"



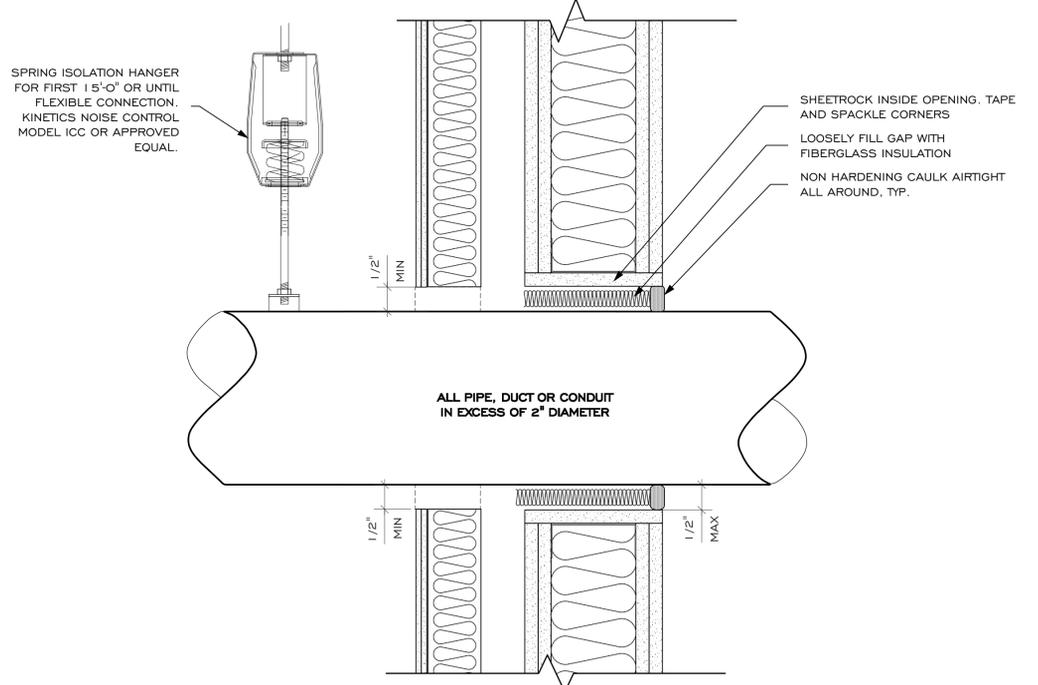
4 PARTITION TYPE 6 & TYPE 1 PLAN DETAIL
3" = 1'-0"



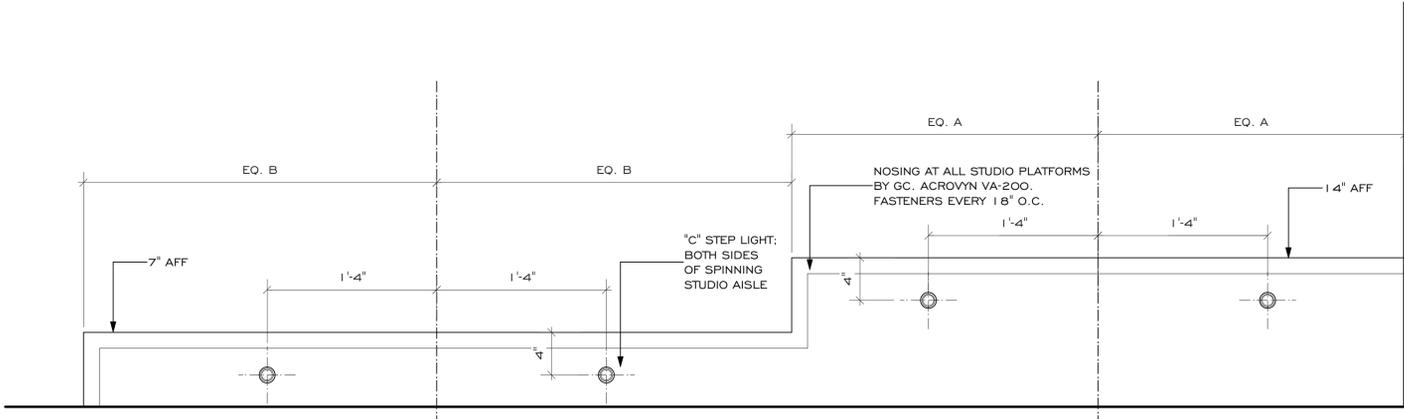
5 PARTITION TYPE 6A & TYPE 1 PLAN DETAIL
3" = 1'-0"



6 DETAIL - CONDUIT/ WIRING PENETRATION THROUGH ACOUSTIC PARTITION
3" = 1'-0"



8 DETAIL - PENETRATION THROUGH ACOUSTIC PARTITION
3" = 1'-0"



7 ELEVATION DETAIL @ SPINNING STUDIO - STEP LIGHTS
1 1/2" = 1'-0"

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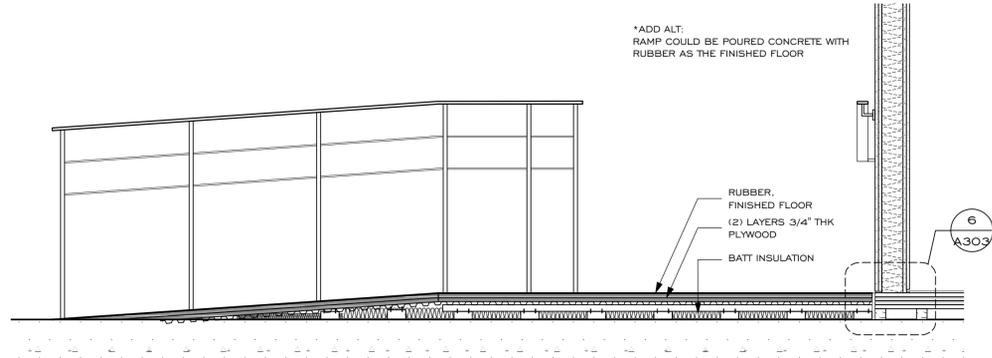
FLYWHEEL - ASTOR PLACE
51 ASTOR PLACE
NEW YORK, NY 10003

TITLE: DETAILS
DATE: 8/17/2015
SCALE: AS NOTED
REVISION: #1 9/30/2015
#2
#3
#4
#5

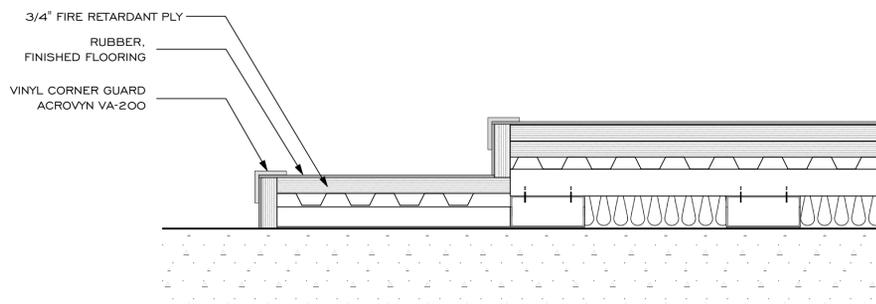
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CONSTRUCTION

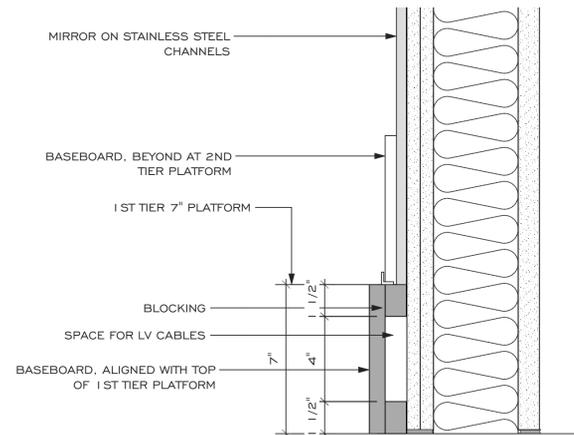
ALL RIGHTS RESERVED. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF BRIGHT ARCHITECTURE AND SHALL NOT BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.



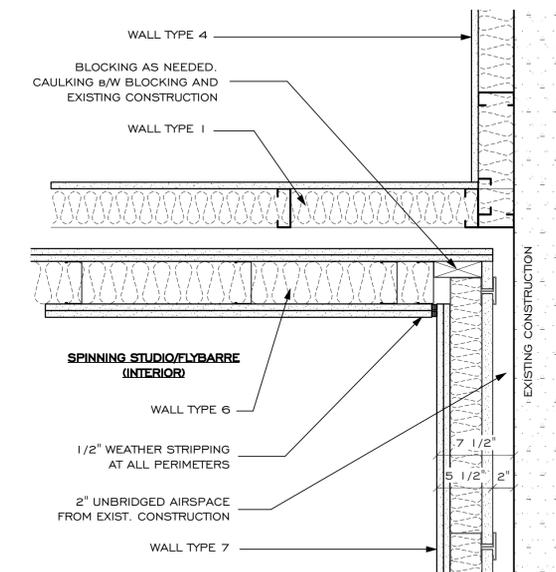
1 DETAIL - PENETRATION INTO ACOUSTIC PARTITION
3/4" = 1'-0"



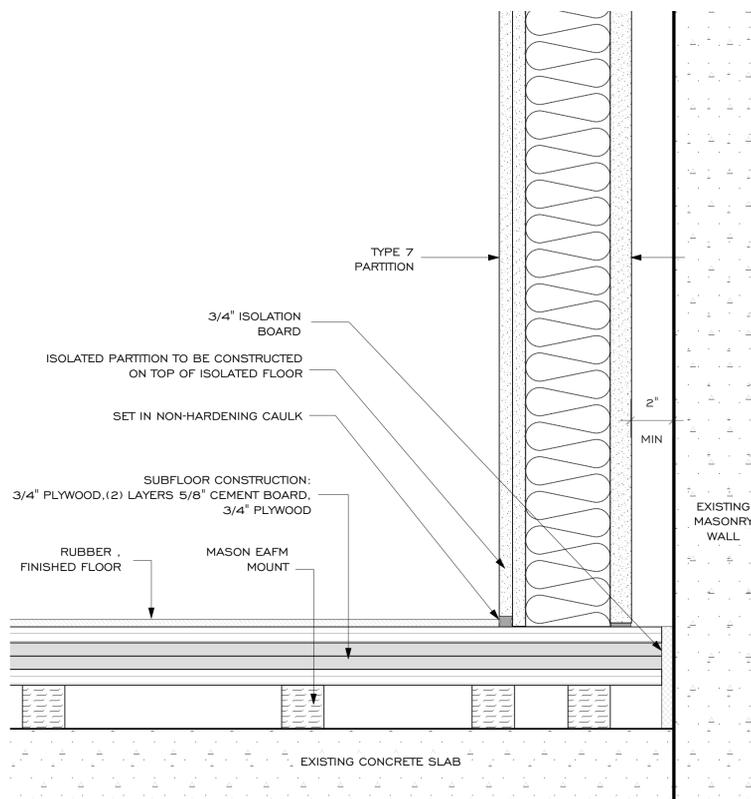
7 DETAIL - STAIRS INTO STUDIO
3" = 1'-0"



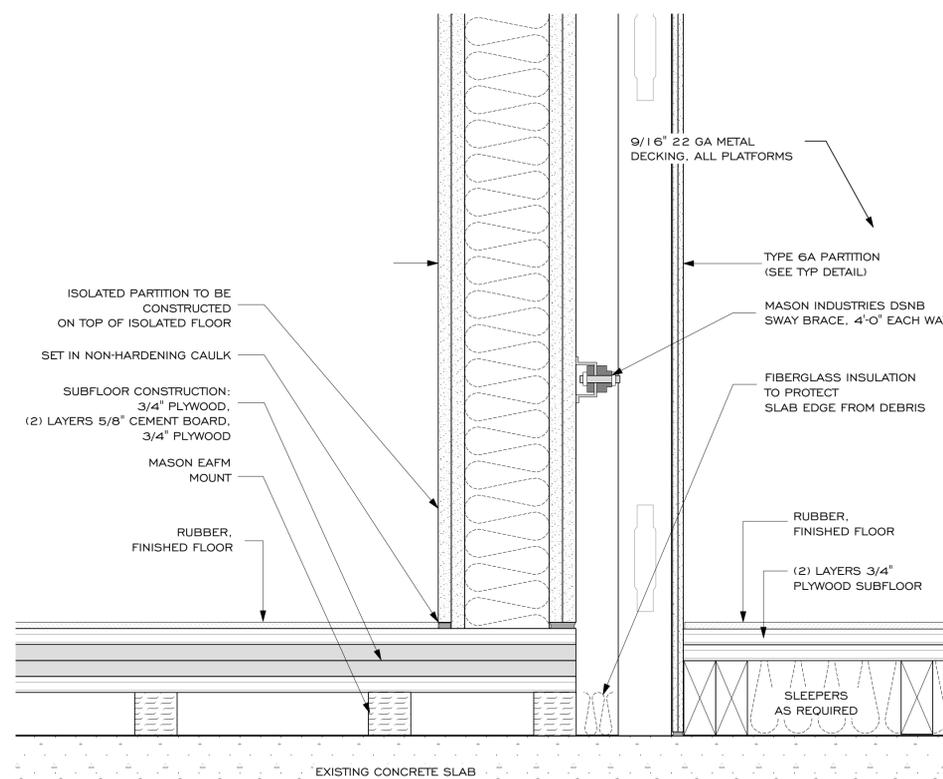
2 BASE DETAIL AT SPIN STUDIO
3" = 1'-0"



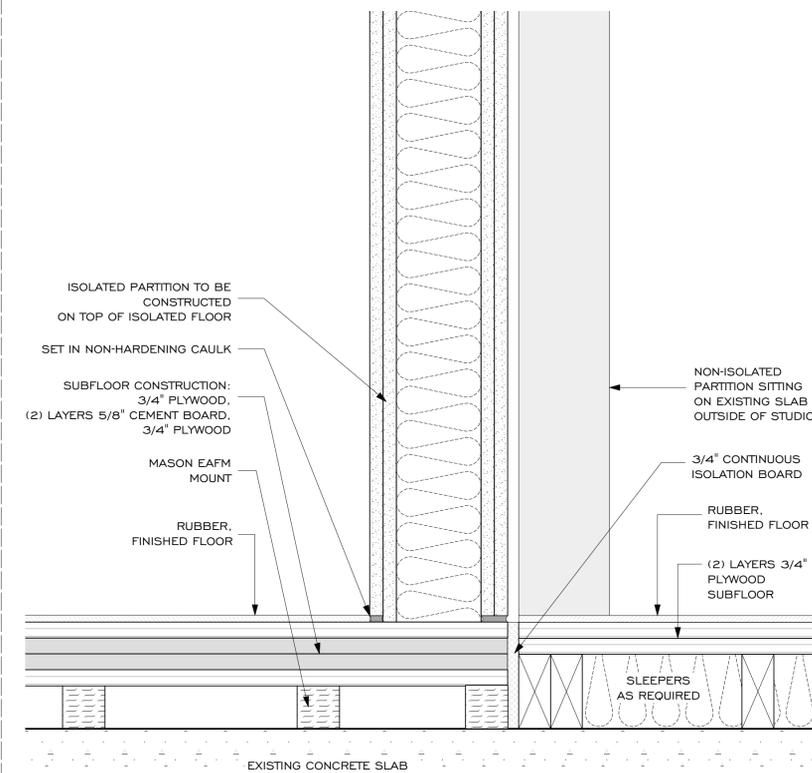
3 PLAN SECTION DETAIL @ STUDIO WALL
1 1/2" = 1'-0"



4 ISOLATED FLOOR DETAIL @ WALL TYPE 7
3" = 1'-0"



5 ISOLATED FLOOR DETAIL @ WALL TYPE 6A
3" = 1'-0"



6 FLOOR DETAIL AT STUDIO ENTRANCE
3" = 1'-0"

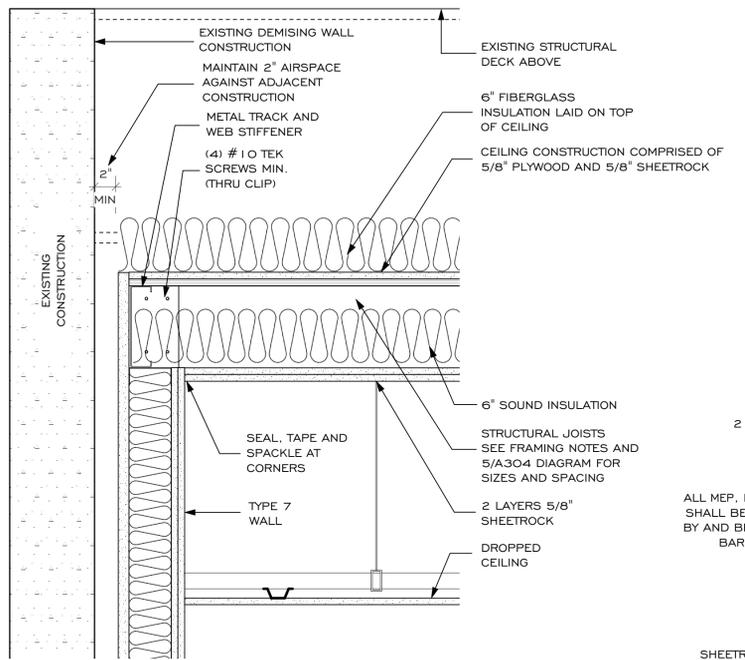
TITLE: DETAILS

DATE: 8/17/2015

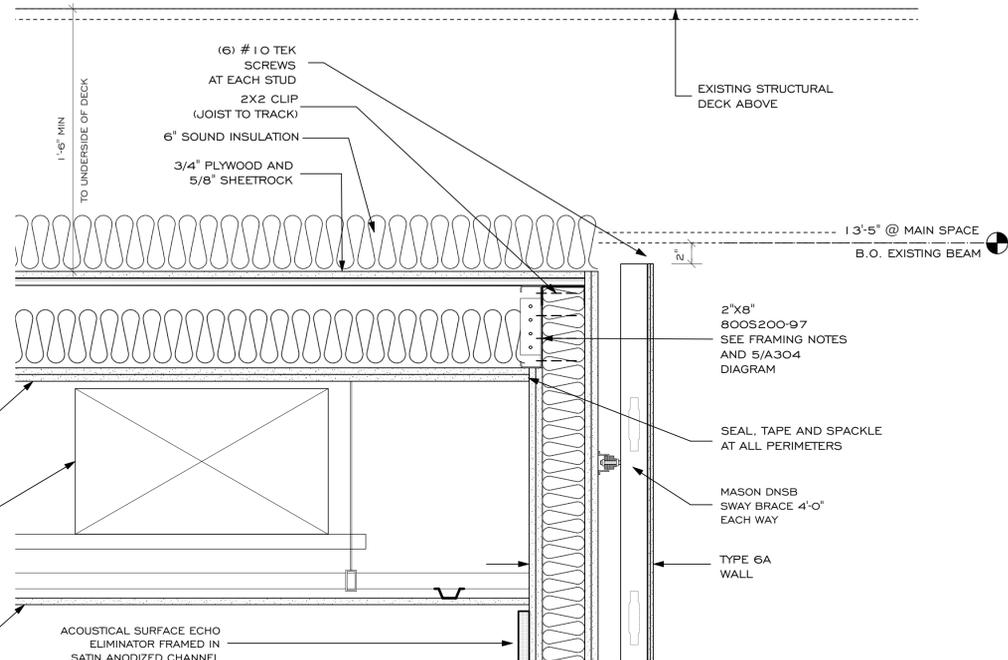
SCALE: 3/16" = 1'-0"

REVISION:

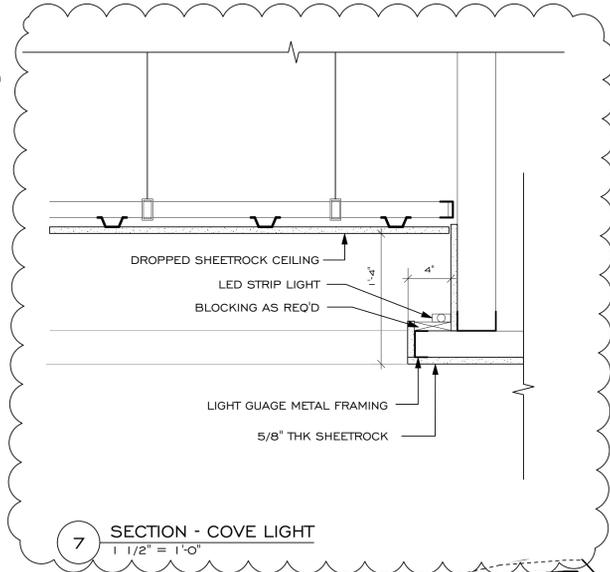
#1	9/30/2015
#2	
#3	
#4	
#5	



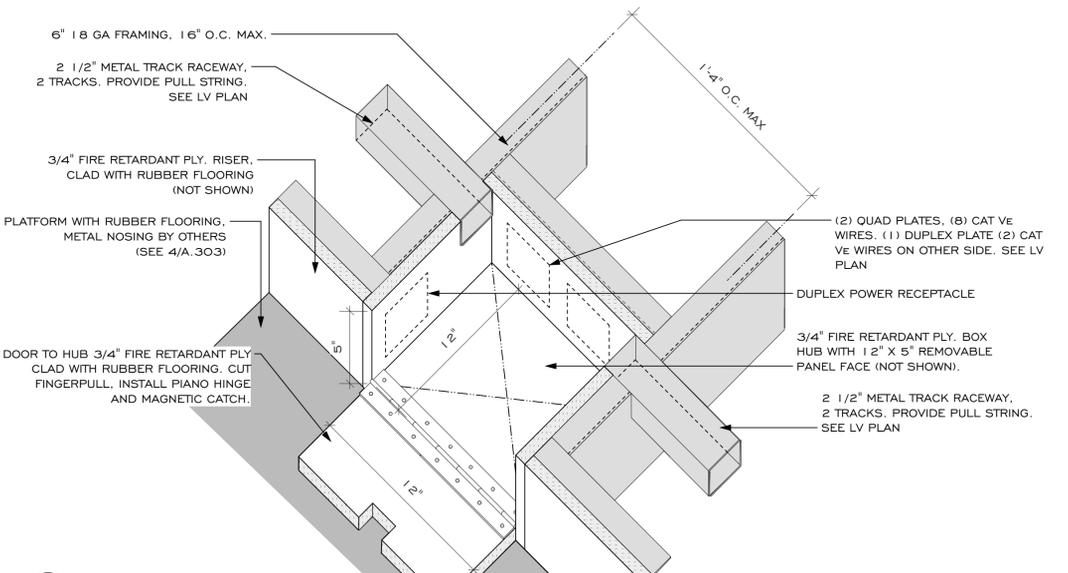
1 SECTION - TYPE 7 PARTITION AT CEILING
1 1/2" = 1'-0"



2 SECTION - TYPE 6A PARTITION AT CEILING
1 1/2" = 1'-0"



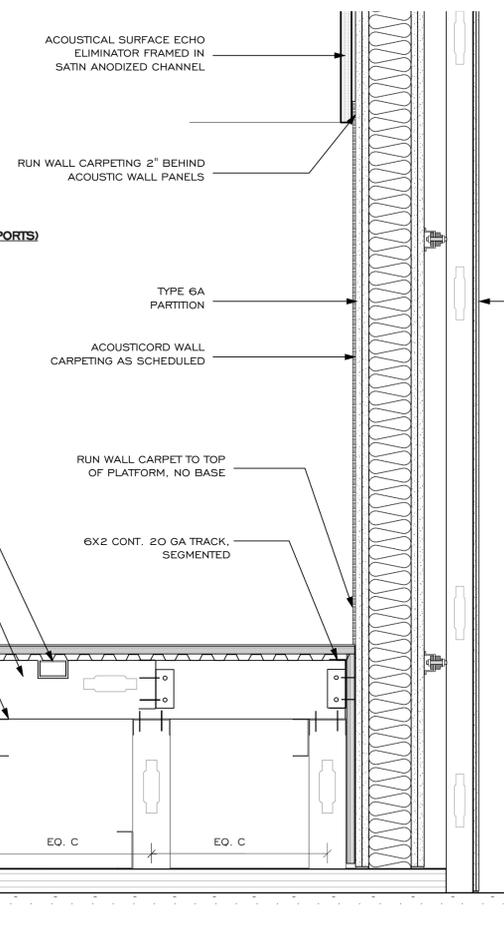
7 SECTION - COVE LIGHT
1 1/2" = 1'-0"



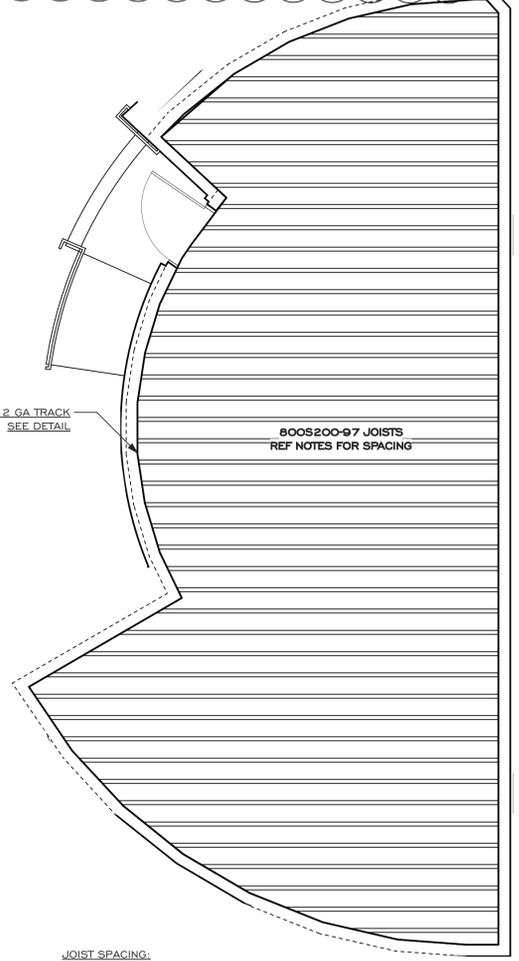
3 DIAGRAM OF HUB
SCALE: N/A

COLD-FORMED METAL FRAMING NOTES:
ALL LIGHT-GAGE METAL STUDS AND/OR JOISTS AND ACCESSORIES SHALL BE OF THE TYPE, SIZE, GAGE AND SPACING SHOWN ON THE DRAWINGS, AND SHALL BE MANUFACTURED BY DIETRICH INDUSTRIES, INC OR APPROVED EQUAL.
ALL MEMBERS SHALL BE CORROSION-RESISTANT STEEL, CORRESPONDING TO THE REQUIREMENTS OF ASTM A446, WITH A MINIMUM YIELD STRENGTH OF 33 OR 50 KSI FOR SJ AND CS-STYLE STUDS, 33 KSI FOR CR-RUNNERS.
CUT ALL FRAMING COMPONENTS SQUARELY FOR ATTACHMENT TO PERPENDICULAR MEMBERS, OR, AS REQUIRED, FOR AN ANGULAR FIT AGAINST ABUTTING MEMBERS.
STUDS SHALL BE INSTALLED IN A MANNER WHICH WILL ASSURE THAT THEIR ENDS ARE POSITIONED AGAINST THE INSIDE OF THE RUNNER PRIOR TO FASTENING.
FASTENING OF COMPONENTS SHALL BE WITH SELF-DRILLING SCREWS AS NOTED ON THE DRAWINGS.
ABUTTING LENGTHS OF RUNNERS SHALL BE SECURELY ANCHORED TO A COMMON STRUCTURAL ELEMENT, BUTT-WELDED OR SPLICED.
TEMPORARY BRACING, WHERE REQUIRED, SHALL BE PROVIDED UNTIL ERECTION IS COMPLETED.
3/4" STRUCTURAL STUDS ARE INTERCHANGEABLE PROVIDING THE SECTION PROPERTIES MEET THE MINIMUM REQUIREMENTS.
WALL STUD PROPERTIES ARE AS FOLLOWS:
400S-162-43: Lx = 0.992 in. Sx = 0.446 in² R_x = 1.581 in.
DESCRIPTION - 4", 18 GA - MIN.
600S-162-43: Lx = 2.316 in. Sx = 0.772 in² R_x = 2.276 in.
DESCRIPTION - 6", 18 GA - MIN.

GC TO CONFIRM LENGTHS AND SIZES OF JOISTS IN FIELD
NOTE: JOISTS ARE TO BE BOOS200-97 (NO INTERMEDIATE SUPPORTS)
SPAN LESS THAN 21'-0": 16" OC
SPAN OF 21'-0" TO 24'-0": 12" OC



4 DETAIL @ SPINNING ROOM PLATFORM, TYP
1 1/2" = 1'-0"



JOIST SPACING:
SPAN LESS THAN 21'-0": 16" OC
SPAN OF 21'-0" TO 24'-0": 12" OC

NOTES:
1. SEE DETAILS
2. ADD SIGN ON PLATFORM STATING 'LIVE LOADS NOT TO EXCEED 25 PSF'

5 SPINNING ROOM CEILING - STRUCTURAL PLAN
ACTUAL SIZE

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51 ASTOR PLACE
NEW YORK, NY 10003

TITLE: DETAILS
DATE: 8/17/2015
SCALE: AS NOTED
REVISION: #1 9/30/2015
#2
#3
#4
#5

A304.00
OF 0

CONSTRUCTION

















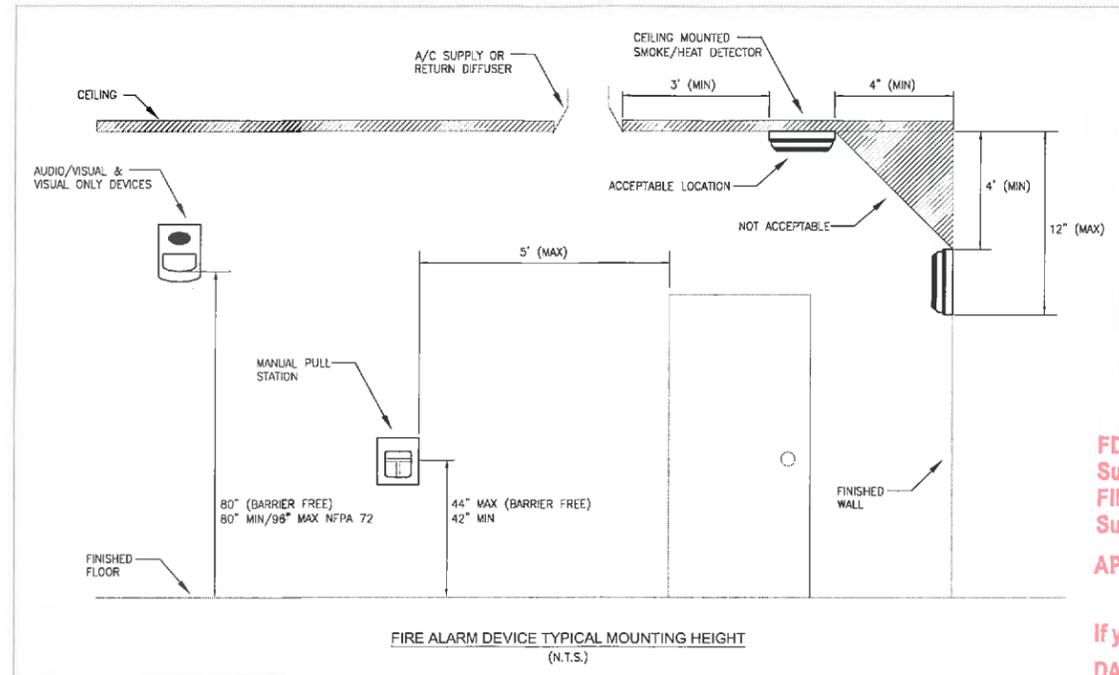
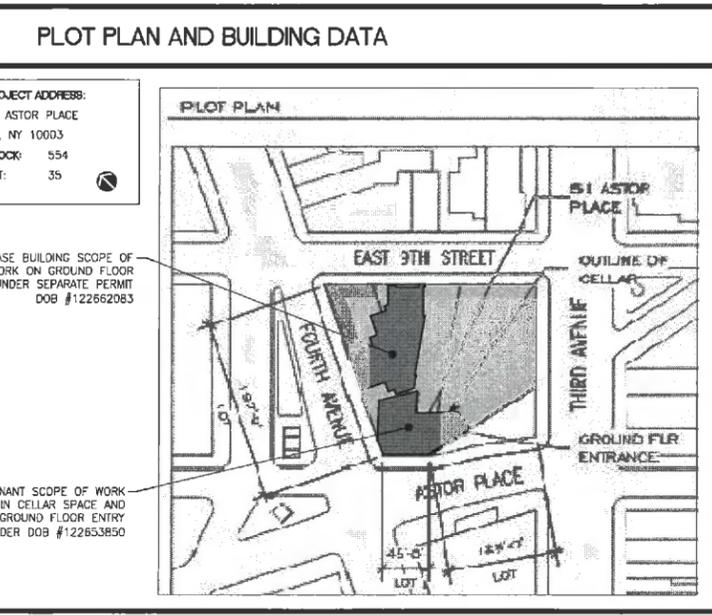




FIRE ALARM DRAWING INDEX	
DWG.#	DRAWING NAME
FA-001	FIRE ALARM COVER SHEET
FA-101	CELLAR & GROUND FLOOR ELECTRICAL FIRE ALARM PLAN

FIRE ALARM DEVICE LEGEND	
	FIRE ALARM 75 CD VISUAL NOTIFICATION DEVICE
	MANUAL FIRE ALARM PULL STATION
	FIRE ALARM 75 CD AUDIO/VISUAL NOTIFICATION DEVICE
	RELAY
	INTERFACEABLE ADDRESSABLE MODULE
	IAM WITH RELAY
	TEST/RESET KEY SWITCH W/ LED
	SMOKE DETECTOR
	ELEVATOR LOBBY SMOKE DETECTOR
	HEAT DETECTOR
	DUCT SMOKE DETECTOR
	FIRE SMOKE DAMPER CONTROL MODULE
	WATER FLOW
	TAMPER SWITCH
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL
	END OF LINE RESISTOR

FIRE ALARM MATRIX		ACTION CAUSED									
DEVICE ACTIVATED		ANNUNCIATES ALARM SIGNAL AT FACP	ANNUNCIATES SUPERVISORY SIGNAL AT FACP	TRANSmits ALARM TO FDNY VIA CENTRAL STATION CONNECTION	ELEVATOR RETURNS TO ALTERNATE LEVEL	ELEVATOR RETURNS TO DESIGNATED LEVEL	ANNUNCIATE ALL VISUAL AND AUDIBLE STANDARD EVACUATION ALARM SIGNALS INSIDE THE TENANT SPACE	SHUT DOWN AFFECTED HVAC UNIT	FIRE/SMOKE DAMPER ACTIVATION	SHUT DOWN ESCALATOR	ACTIVATE TROUBLE SIGNAL NOTIFICATION
SPRINKLER SYSTEM	AUTOMATIC SPRINKLER WATER FLOW	X	X	X	X	X	X	X	X	X	X
	SPRINKLER CONTROL VALVE (TAMPER SWITCH)	X	X	X	X	X	X	X	X	X	X
DETECTION	ELEVATOR LOBBY DESIGNATED LEVEL (SMOKE)	X	X	X	X	X	X	X	X	X	X
	ELEVATOR LOBBY OTHER LEVEL (SMOKE)	X	X	X	X	X	X	X	X	X	X
	AREA SMOKE DETECTOR	X	X	X	X	X	X	X	X	X	X
	HVAC DUCT DETECTOR	X	X	X	X	X	X	X	X	X	X
	PULL STATIONS	X	X	X	X	X	X	X	X	X	X



THE SEQUENCE OF OPERATIONS HAS BEEN REMOVED AND ONLY THE I/O MATRIX SHALL BE ADHERED TO.

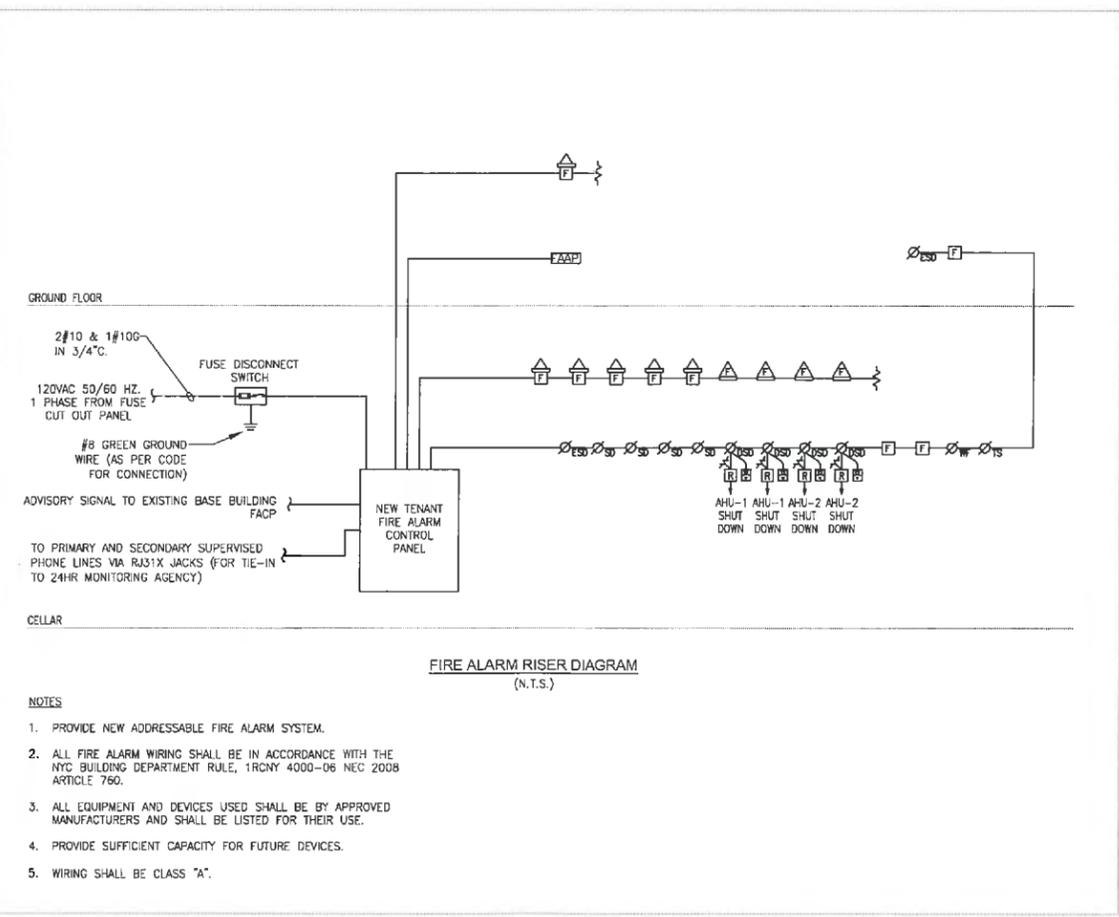
EXAMINED FOR COMPLIANCE WITH BLDG CODE SECTION BC 907 AND FIRE CODE SECTION FC 907 ONLY. APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH NYC ELECTRICAL CODE ARTICLE 760 AND BLDG CODE APPENDIX Q106

FDNY FIRE ALARM PLAN APPROVED
Subject to audibility & visibility throughout the premises
FINAL APPROVAL SUBJECT TO INSPECTION
Submitted DOB/DBS plan # 122653850

APPROVED WITH STIPULATION Yes No

If yes specify: See Tm-1
DATE: JUN 28 2016 EXAMINER: TING YU HUANG

Technology Management, BFP



- NOTES
1. PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM.
 2. ALL FIRE ALARM WIRING SHALL BE IN ACCORDANCE WITH THE NYC BUILDING DEPARTMENT RULE, 1RCNY 4000-06 NEC 2008 ARTICLE 760.
 3. ALL EQUIPMENT AND DEVICES USED SHALL BE BY APPROVED MANUFACTURERS AND SHALL BE LISTED FOR THEIR USE.
 4. PROVIDE SUFFICIENT CAPACITY FOR FUTURE DEVICES.
 5. WIRING SHALL BE CLASS "A".

DEPT. BLDGS. 122653850 Job Number

SC150505017 Scan Code



DATE: 1/18/2016
SCALE: AS NOTED
REVISION: #1 FA COMMENTS 2/23/16
#2 -
#3 FA COMMENTS 3/29/16
#4 FA COMMENTS 4/22/16
#5 FA COMMENTS 6/9/16

FA-001.00
OF

BRIGHT ARCHITECTURE
10 JAY STREET, BROOKLYN NEW YORK 11201
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P: 646.325.7894

FLYWHEEL-ASTOR PLACE
51 ASTOR PLACE
NEW YORK, NY 10003

EXAMINED FOR COMPLIANCE WITH BLDG CODE SECTION BC 907 AND FIRE CODE SECTION FC 907 ONLY. APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH NYC ELECTRICAL CODE ARTICLE 760 AND BLDG CODE APPENDIX Q106

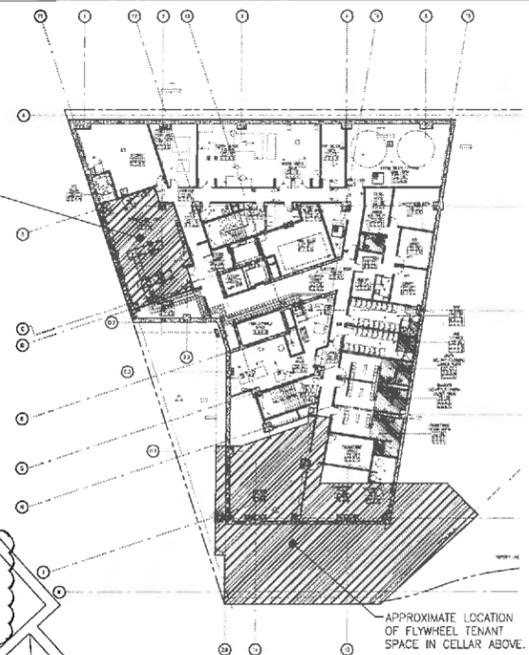
FDNY FIRE ALARM PLAN APPROVED
 Subject to audibility & visibility throughout the premises
 FINAL APPROVAL SUBJECT TO INSPECTION
 Submitted DOB/DBS plan # 122653850

APPROVED WITH STIPULATION Yes No

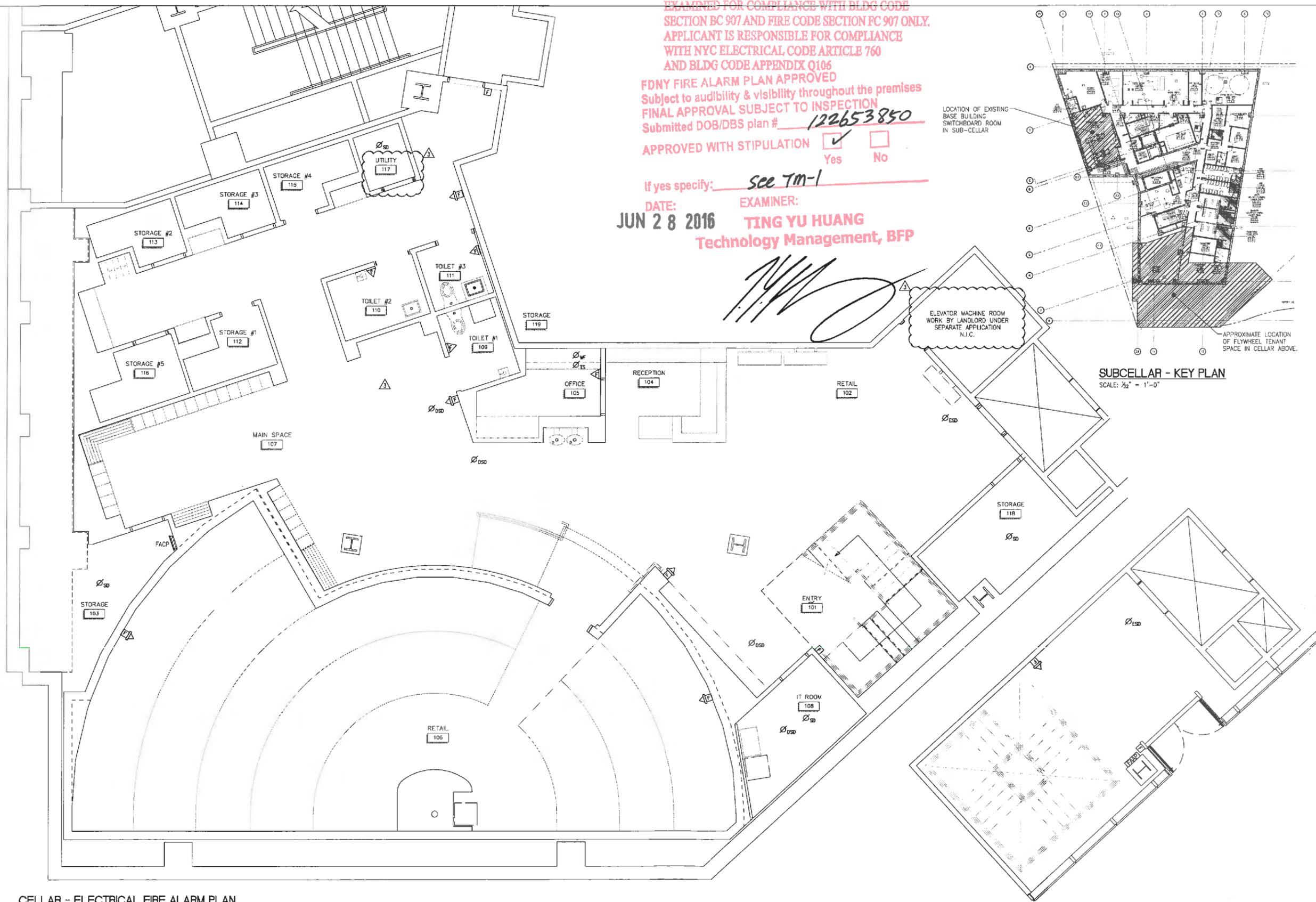
If yes specify: see Tm-1

DATE: **JUN 28 2016** EXAMINER: **TING YU HUANG**
 Technology Management, BFP

[Handwritten Signature]



SUBCELLAR - KEY PLAN
 SCALE: 7/8" = 1'-0"

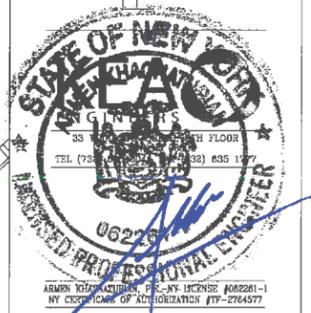


CELLAR - ELECTRICAL FIRE ALARM PLAN
 SCALE: 1/4" = 1'-0"

GROUND FLOOR ENTRY - ELECTRICAL FIRE ALARM PLAN
 SCALE: 1/4" = 1'-0"

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CELLAR & GROUND FLOOR ELECTRICAL FIRE ALARM PLAN

TITLE: _____

DATE: 1/18/2016

SCALE: AS NOTED

REVISION: #1 FA COMMENTS 2/23/15
 #2 -
 #3 FA COMMENTS 3/29/15
 #4
 #5

FA-101.00
 OF