

IGLESIA ALIANZA Y MISIONERA

76 2ND AVENUE
NEW YORK, NY 10003

ALT. TYPE II APPLICATION



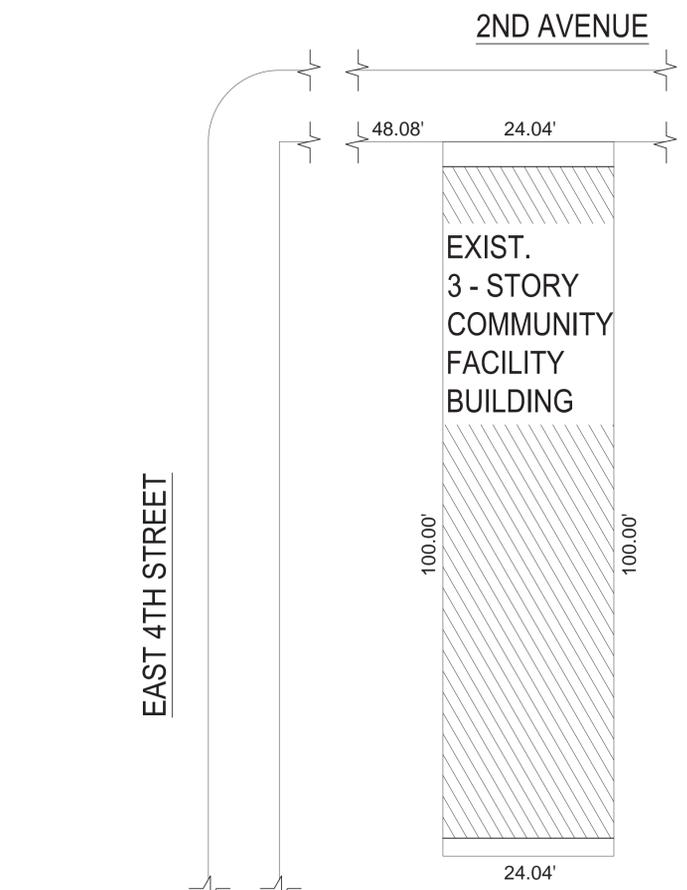
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CONSULTANTS

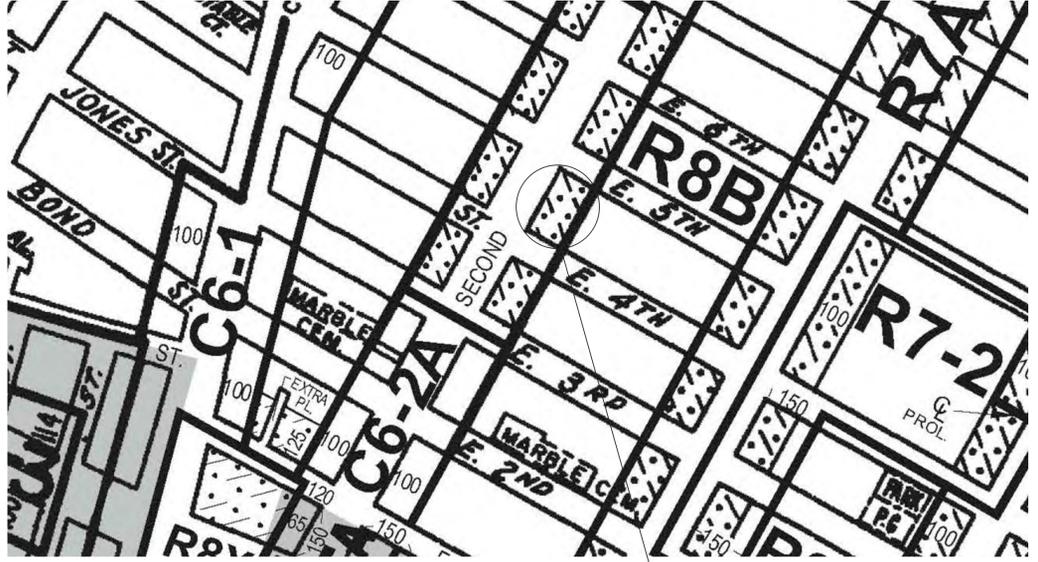
WALL LEGEND & SYMBOLS	
	DENOTES EXISTING WALLS TO REMAIN
	DENOTES EXISTING WALLS, DOORS, TO BE REMOVED
	DENOTES EXISTING/NEW GLASS PARTITION
	DENOTES NON-RATED NON BEARING PARTITION CONSTRUCTED OF 22 GA., 3 5/8" MTL. STUDS AT 16" O.C. WITH 1 LAYER 5/8" G.W.B. EACH SIDE.
	EXIT SIGN, VISIBLE & AUDIBLE
	COMBINED CARBON MONOXIDE & SMOKE DETECTOR

PLAN SYMBOLS			
	ELEVATION NUMBER		ELEVATION NUMBER
	DRAWING NUMBER		DRAWING NUMBER
	SECTION DESIGNATION		TITLE
	DRAWING NUMBER		DETAIL TITLE
	WINDOW NUMBER		SIMPLEX RECEPTACLE
	PARTITION TYPE		DUPLEX RECEPTACLE
	REVISION NUMBER		DEDICATED DUPLEX OUTLET
	DOOR TYPE		QUAD OUTLET
	STARTING POINT FOR TILES		DOOR RELEASE BUTTON W/ DECK-MOUNTED INTERCOM
	CENTER LINE		JUNCTION BOX
	CORNER OF COLUMN OR SLAB OPENING FOR DIMENSIONING		TELEPHONE OUTLET WALL MOUNTED
	LEVEL ABOVE DATUM		COMBINATION TEL./DATA QUAD CAT 5-WALL
	ROOF DRAIN		DUPLEX GROUND FAULT INTERRUPTER
	FLOOR DRAIN		QUAD GROUND FAULT INTERRUPTER
	ELECTRIC PANEL		WALL MOUNTED FIRE PULL STATION
	SMOKE AND CARBON MONOXIDE DETECTOR		FIREMAN'S WARDEN PHONE - WALL MOUNTED
	EXIT SIGN		WALL MOUNTED CABLE T.V. OUTLET
	HOT WATER TANK		WALL SWITCH
	WASHER/DRYER		THERMOSTAT

ABBREVIATIONS			
A.C.	AIR CONDITIONER	JAN. CL.	JANITOR CLOSET
ACOUS.	ACOUSTIC	JT.	JOINT
ABV.	ABOVE	LAM.	LAMINATED
ADJ.	ADJOINING	LAV.	LAVATORY
ADJUST.	ADJUSTABLE	L.C.L./L.C.	LINEN CLOSET
A.F.F.	ABOVE FINISHED FLOOR	LDR.	LEADER
ALUM.	ALUMINUM	L.P.	LOW POINT
APPROX.	APPROXIMATE	L.T. WT.	LIGHT WEIGHT
APPVD.	APPROVED	MACH.	MACHINE
B.C.	BRICK COURSE	MAINT.	MAINTENANCE
BET.	BETWEEN	MAS.	MASONRY
BLDG.	BUILDING	MAX.	MAXIMUM
BL'K.	BLOCK	MECH.	MECHANICAL
BOT.	BOTTOM	M.C.	MEDICINE CABINET
B.R.	BEDROOM	MET.	METAL
B.S.A.	BOARD OF STANDARDS AND APPEALS	MIN.	MINIMUM
C.	CARPET	MIRR.	MIRROR
C.G.	CORNER GUARD	M.O.	MASONRY OPENING
C.I.	CAST IRON	M.V.	MECHANICAL VENTILATION
CAB.	CABINET	N.I.C.	NOT IN CONTRACT NO. OR #
CEM.	CEMENT	NOM.	NOMINAL
CIND.	CINDER	O.C.	ON CENTER
CLG.	CEILING	O.D.	OUTSIDE DIAMETER
CL.	CLOSET	OPG.	OPENING
C.L.	CENTER LINE	P.	PAINT
C.M.U.	CONCRETE MASONRY UNIT	PL.	PLUMBING
COL.	COLUMN	PART.	PARTITION
CONC.	CONCRETE	PART. E.	PARTITION END
CONST.	CONSTRUCTION	PAV'T.	PAVEMENT
CONT.	CONTINUOUS	P.E.	PASSENGER ELEVATOR
CORR.	CORRIDOR	PERF.	PERFORATED
C.T.	CERAMIC TILE	PL.	PLATE
D.	DRYER	POL.	POLISH
D.A.	DINING ALCOVE OR AREA	PRE. FAB.	PREFABRICATED
DET.	DETAIL	R.	RISERS
DIAG.	DIAGONAL	RAD.	RADIUS
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REF.	REFRIGERATOR
DR.	DRAIN	REINF.	REINFORCED
D.W.	DISHWASHER	REQ'D.	REQUIRED
DWG.	DRAWING	RESIST.	RESISTANT
ELEC.	ELECTRIC	R.C.	REFUSE CHUTE
EL.	ELEVATION	RM.	ROOM
ENGR.	ENGINEER	S.	SINK
EXH.	EXHAUST	SCHED.	SCHEDULED
EQUIP.	EQUIPMENT	S.E.	SERVICE ELEVATOR
EXIST.	EXISTING	SECT.	SECTION
EXP. JT.	EXPANSION JOINT	SPECS.	SPECIFICATIONS
F.A.I.	FRESH AIR INTAKE	S.T.C.	SOUND TRANSMISSION CLASS
F.B.O.	FURNISHED BY OTHERS	STL.	STEEL
FIN.	FINISH	ST. STL.	STAINLESS STEEL
FL.	FLOOR	STOR.	STORAGE
FL. DR. OR	FLOOR DRAIN	STRUC.	STRUCTURAL
F.D.	FLASHING	T.	TREAD
FLASH.	FIRE PROOF SELF-CLOSING	TOILET	TOILET
F.P.S.C.	FIRE STANDPIPE	T.C.	TOP OF CURB
FURR.	METAL FURRING	T.D.	TERRACE DRAIN
G.	GAS	THK.	THICK
GALV.	GALVANIZED	T.O.P.	TRIMMED OPENING
GA.	GYP.	T.O.P.	TOP OF PARAPET
GWB.	GYP.	T.O.S.	TOP OF SLAB
G.C.T.	GLAZED CERAMIC TILE	T.O.W.	TOP OF WALL
G.D.	GAS DRYER	TYP.	TYPICAL
GEN.	GENERAL	VENT.	VENTILATION
GL.	GLASS	VEST.	VESTIBULE
GR.	GRADE	V.W.C.	VINYL WALL COVERING
GYP.	GYP.	V.C.T.	VINYL COMPOSITE TILE
H/HD/CP	HANDICAPPED	W/	WITH
H.C.	HUNG CEILING	W.C.	WATER CLOSET
HT.	HEIGHT	WD.	WOOD
H.M.	HOLLOW METAL	W.GL.	WIRE GLASS
H.P.	HIGH POINT	W.P.	WATER PROOFING
HORIZON.	HORIZONTAL	W.M.	WASHING MACHINE
H.R.	HANDRAIL	W.R.G.B.	WATER RESISTANT GYP.
HR.	HOUR	WB.	WALL BOARD
I.D.	INSIDE DIAMETER		
I.N.R.	IMPACT NOISE RATING		
INSUL.	INSULATION		
INT.	INTERIOR		



1 PLOT PLAN
SCALE: NTS



2 ZONING MAP 12C
SCALE: NTS

PROPERTY INFORMATION	
76 2nd Avenue, New York 10003	
Community Facility Building	
Block: 446 Lot: 3	
Property Characteristics:	
Lot Area: 2,400 sq ft (24' x 100')	
# of Buildings: 1 Year built: 1920	
# of floors: 3 Building Area: 6,708 sq ft	
Total Units: 2 Residential Units: 0	
Primary zoning: R7A Commercial Overlay: C2-5	
Floor Area Ratio: 2.8 Max. FAR: 4	
SCOPE OF WORK	
HEREWITH SUBMITTING APPLICATION TYPE II FOR REPAIR & RENOVATION OF FACADE. NO CHANGE IN USE, EGRESS AND OCCUPANCY	
NOTES	
LIST OF ITEMS TO BE FILED SEPARATELY	
LIST OF CONTROL INSPECTIONS	
MASONRY	
FINAL	

ENERGY ANALYSIS FOR ALTERATION - CLIMATE ZONE 10B		
WORK ITEM including new and replacement	Proposed designed values	Code Prescribed value & Citation
Envelop, Windows, Doors, Store Front, Basement	NO CHANGE	
Interior partitions between condition corridor and conditioned apartment	NO CHANGE	
Piping insulation	NO CHANGE	
Interior Lighting	NO CHANGE	
Exterior Lighting	NO CHANGE	
Boilers/Heating Furnaces	NO CHANGE	
Hvac System	NO CHANGE	
Other Note		

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT THIS APPLICATION IS IN COMPLIANCE WITH THE ECCCNY 2010 & EEC Chapter 5 or with ASHRAE 90.1.

REMARKS

REVISIONS

#	DATE	REVISION
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PROJECT

IGLESIA ALIANZA Y MISIONERA
APPLICATION FOR BLOCK 446 LOT 3
76 2ND AVENUE
NEW YORK, NY 10003

DRAWING TITLE

COVER SHEET

B-SCAN JOB STICKER

DOB JOB#



PROJECT # 762
DRAWN BY: DC
CHECK BY: CB
DATE: 03.20.14
SHEET 1 of 5

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE (LL 76/68 AS AMENDED).
- 2. THE ARCHITECT OF RECORD HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR INSPECTION; THIS RESPONSIBILITY IS LIMITED TO THE ACCURACY OF THE PLAN.
- 3. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES (C27-127-C27-128).
- 4. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
 - A. IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OR
 - B. SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER OR
 - C. APPROVED BY THE BOARD OF STANDARDS AND APPEALS. (C 27-131)
- 5. AT LEAST 24 HOUR WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE COMMENCEMENT OF WORK. (C27-195)
- 6. FIVE DAYS PRIOR NOTICE SHALL BE GIVEN TO ADJOINING LOT OWNER AFFECTED BY FOUNDATION; EARTHWORK OR DEMOLITION WORK. (C27-165 AND C27-169)
- 7. NO WORK TO BE DONE BEYOND THE BUILDING LINES WITHOUT APPROVAL OF THE DEPARTMENT OF HIGHWAYS.
- 8. SIDEWALKS TO BE LAID IN ACCORDANCE WITH RULES OF THE DEPARTMENT OF HIGHWAYS.
- 9. BORING DIAGRAM WILL BE FILED BEFORE CONSTRUCTION IS STARTED AS PER SUB-ARTICLE C27-662 ADMINISTRATIVE CODE.
- 10. AN ACCURATE AND COMPLETE FINAL SURVEY, MADE BY A LICENSED SURVEYOR SHALL BE SUBMITTED AFTER COMPLETE OF WORK SHOWING THE LOCATION OF NEW BUILDING. ELEVATION OF FIRST FLOOR, FINISHED GRADES OF OPEN SPACES ESTABLISHED CURB LEVEL, LOCATION AND BOUNDARIES OF LOT. (C27-219)
- 11. ALL ELEVATIONS SHALL REFER TO THE DATUM IN USE BY THE DEPARTMENT OF HIGHWAYS, BOROUGH PRESIDENT OF BROOKLYN WHICH IS 2.55 ABOVE THE U.S. COAST AND GEODETIC SURVEY DATUM OF MEAN SEA LEVEL AT SANDY HOOK. (C27-158)
- 12. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- 13. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECTS' OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS.
- 14. ALL CONSTRUCTION, DIMENSIONS AND DETAILS SHALL CONCUR WITH AND BE DETERMINED FROM THESE DRAWINGS ONLY.
- 15. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I., A.I.S.C.E.T.C.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED IN THE WORK SHALL BE NEW.
- 16. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGES, COLLAPSE, DISTORTIONS AND OFF-ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- 17. CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS PERTAINING TO LABOR AND MATERIALS.
- 18. ALL NOTES HEREIN MENTIONED WITH THOSE ON THE VARIOUS DRAWINGS, SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.
- 19. EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK. ANY DISCREPANCIES IN THE PLANS OR DETAILS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- 20. THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION, MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER AND ACCEPTABLE TO ARCHITECT OF RECORD. TEST REPORTS AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING.
 - A. UNDERPINNING 27-724
 - B. UPGRADE 27-227 DIR 15/71
 - C. HIGH STRENGTH BOLTS TAB;E 10-2
 - D. FIRE STOPPING 27-345
 - E. ENG / INSTALLER / AVERT. CERT. 27-779
 - F. STRUCTURAL STABILITY 6-11-83
 - G. MASONRY UNITS 10-3 3.2
 - H. SHORING 27-1010
 - I. CONCRETE DESING MIX 27-605
 - J. CONCRETE TEST CYLINDERS 27-606a (1)
 - K. ALL CONCRETE 27-603

- 21. ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI-CONTROLLED INSPECTION BY THE PERSON SUPERINTENDING THE CONSTRUCTION. SIGNED COPIES OF ALL TEST AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT WITH THE DEPARTMENT OF BUILDING.
- 22. ALL MATERIALS, AND ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - A. IT SHALL CONFORM WITH NFBU "FIRE RESISTANCE RATINGS" - "DECEMBER 1964" OR
 - B. IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E-119-1961, "STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS" AND ACCEPTED BY THE COMMISSIONER, OR
 - C. IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- 23. WHERE PIPES, WIRES, CONDUITS, DUCTS, ETC., PIERCE FIRE PROTECTION OF INDIVIDUALLY ENCASED STRUCTURAL MEMBERS, SUCH PENETRATION SHALL NOT EXCEED 2 PERCENT OF ANY ONE FACE SUCH PROTECTION, AND SHALL BE CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS OR PLATES. (C27-324)
- 24. LINTELS SUPPORTING MASONRY WALLS OVER 4 FEET IN WIDTH SHALL BE FIRE PROTECTED WITH MATERIALS HAVING THE REQUIRED FIRE RESISTANCE RATING OF THE WALL SUPPORTED (C27-326)
- 25. CEILINGS THAT CONTRIBUTE TO THE REQUIRED FIRE RESISTANCE RATING OF A FLOOR OR ROOF ASSEMBLY SHALL BE CONTINUOUS BETWEEN FIRE DIVISIONS, FIRE SEPARATIONS OR VERTICAL PARTITIONS HAVING THE SAME FIRE RESISTANCE RATING AS THE CEILING CONCEALED SPACE ABOVE SUCH CEILING, UNLESS SPRINKLERED SHALL BE FIRESTOPPED INTO AREAS NOT EXCEEDING 3,000 SQ.FT. ACCESS TO SUCH SPACE MAY BE THROUGH ONE OR MORE OPENINGS NOT EXCEEDING 9 SQ.FT. PROTECTED BY SELF-CLOSING OPENING PROTECTIVE (C27-327)
- 26. OPENING PROTECTIVE INCLUDING FRAMES, SELF-CLOSING DEVICES AND HARDWARE, SHALL COMPLY WITH ASTM E-152-1966 "STANDARD METHODS OF FIRE TEST OF DOOR ASSEMBLIES" AND ASTM E-163, 1965 "STANDARD METHODS OF FIRE TEST OF WINDOW ASSEMBLIES" AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA NO.8-1967 "INSTALLATION OF FIRE DOORS AND WINDOW" OPENING PROTECTIVE SHALL BE LABELED, CERTIFYING PERFORMANCE RATING, AND SHALL HAVE BEEN ACCEPTED BY THE COMMISSIONER OR THE BOARD OF STANDARDS AND APPEALS C27-339.
- 27. ROOF SHALL BE COVERED WITH CLASS "A" ROOF COVERING MEETING THE REQUIREMENTS OF ASTM-108 "STANDARD METHODS OF FIRE TESTS OF ROOF COVERINGS - 1965, OR REFERENCE STANDARD R55-9, "ROOF COVERING CLASSIFICATIONS". (C27-337)
- 28. FIRESTOPPING CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING PIPE SPACES, COLUMN ENCLOSURES, ETC. SHALL BE FIRESTOPPED (EXCEPTED WHERE CONCEALED SPACED IS SPRINKLERED OR IS CONSTRUCTED AS A SHAFT) AS FOLLOWS:
 - A. CONSTRUCTION GROUP 1: WITH NON-COMBUSTIBLE MATERIAL THAT CAN BE SHAPED AS ACCEPTED BY A.S.T.M. E-814 "THROUGH PENETRATION FIRE STOP SYSTEM".
 - B. NON-COMBUSTIBLE FIRESTOPPING MAY BE MASONRY SET IN MORTAR, CONCRETE 3/4" MORTAR OR PLASTER ON NON-COMBUSTIBLE LATH, PLASTER BOARD AT LEAST 3/8" THICK, SHEET METAL OF AT LEAST 0.002" THICK, SOLID WED METAL STRUCTURAL MEMBER, 1/4" MINIMUM CEMENT BOARD OF EQUIVALENT MATERIALS, MINERAL, SLAG, OR, ROCKWOOL WHEN COMPACTED INTO CONFINED SPACES. (C27-345)
- 29. INTERIOR FINISH: MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH THE SURFACE FLAME-SPREAD RATING OBTAINED AS PRESCRIBED IN ASTM E-84-1961 "STANDARD METHOD OF TEST FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS". AS PER C27-345.
- 30. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.
- 31. STAIRS SHALL HAVE HANDRAILS ON EACH SIDE (EXCEPT THAT STAIRS LESS THAN 44 INCHES IN WIDTH). HAVING FINGER CLEARANCE OF 1 1/2 INCHES, PROJECTING NOT MORE THAN 3 1/2 INCHES INTO THE REQUIRED STAIR WIDTH.

HEIGHT OF HANDRAIL SHALL BE BETWEEN 28" AND 34" ABOVE THE TREAD NOSING. HANDRAILS SHALL BE RETURNED TO WALLS AND POSTS AT THEIR TERMINATION. MATERIALS OF HANDRAILS SHALL HAVE A FLAME SPREAD RATING NOT EXCEEDING 150. HANDRAILS SHALL BE DESIGNED TO RESISTS A SIMULTANEOUS APPLICATION OF A LATERAL FORCE OF 40 PLF AND A VERTICAL LOAD OF 50 PLF. LANDINGS AND PLATFORMS SHALL BE ENCLOSED ON SIDES BY WALL OR RAILINGS AT LEAST 3'-0" HIGH. RISERS SHALL BE MAXIMUM 7 3/4" HIGH, TREADS MINIMUM 9 1/2" WIDE EXCLUSIVE OF NOSING AND THE SUM OF 2 RISERS PLUS ONE TREAD EXCLUSIVE OF NOSING SHALL BE NOT LESS THAN 24 OR MORE THAN 25 1/2".
- 32. TREAD, STRINGERS, AND LANDINGS SHALL BE BUILT OF/OR SURFACED WITH NON-SKID MATERIALS
- 33. VENTILATION OF EACH REQUIRED STAIR EXTENDING TO THE ROOF WILL CONSIST OF WINDOWS AND LOUVERS MIN. 20 SQ.F.T. OF 1/4" GLASS GLAZING IN WINDOWS, MIN. 144 SQ.IN. OF LOUVER C27-375.
- 34. ILLUMINATION OF AT LEAST 5 FOOT CANDLES MEASURED AT THE FLOOR LEVEL SHALL BE MAINTAINED CONTINUOUSLY IN EXITS AND THEIR ACCESS FACILITIES.
- 35. EXIT LIGHTING SHALL BE CONNECTED TO AN EMERGENCY POWER SOURCE OR TO STORAGE BATTERY EQUIPMENT, WHERE MORE THAN FOUR LIGHTS ARE REQUIRED AS PER SECTION C27-382.
- 36. DOORS TO DWELLING UNITS SHALL BE REQUIRED WITH A HEAVY DUTY DEAD BOLT OR OPERABLE BY KEY FROM OUTSIDE AND THUMB TURN FROM INSIDE AND A CHAIN DOOR GUARD.

- 37. ALL DOORS SHALL BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- 38. A MINIMUM CEILING HEIGHT OF 8'-0" SHALL BE MAINTAINED IN ALL LIVING ROOMS.
- 39. FIRE EXTINGUISHING EQUIPMENT
 - A. PER C27-951- INSPECTIONS AND TESTS OF STANDPIPES ARE SUBJECT TO CONTROLLED INSPECTION, IF APPLICANT DOES NOT CHOOSE TO HAVE TESTS WITNESSED BY REPRESENTATIVE OF DEPARTMENTS.
- 40. INSPECTION DURING PROGRESS OF WORKS
 - A. THE COMMISSIONER MAY ACCEPT SIGNED STATEMENTS BY ARCHITECTS AND ENGINEERS AND SUPPORTING INSPECTIONS AND TESTS REPORTS WITHOUT VERIFYING INSPECTION OR TEST BY DEPARTMENT INSPECTORS PER C27-209.
- 41. ALL PERMITS ISSUED BY THE DEPARTMENT OF BUILDINGS SHALL BE POSTED IN A CONSPICUOUS PLACE OPEN TO THE PUBLIC INSPECTION FOR THE ENTIRE TIME OF THE PROSECUTION OF THE WORK OF THE USE AND OPERATION OF THE EQUIPMENT OR UNTIL THE EXPIRATION OF THE PERMIT.
- 42. OBLIGATIONS OF THE OWNER SHALL COMPLY WITH D26-22.03
- 43. CENTRAL HEAT, ELECTRIC OR GAS HEATING SYSTEM SHALL COMPLY WITH D 26-17.01 THE SUPPLY OF HOT WATER SHALL COMPLY WITH D 26-17.07
- 44. ALL DUCT SHAFT OFFSETS SHALL BE ENCASED WITH 1 AND 2 HOUR FIRE RATING
- 45. PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS WITHIN APARTMENTS AS REQUIRED PER SECTION C27-978 AND D6-20.08
 - SMOKE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE OF ANY SLEEPING ROOM WALL OR CEILING MOUNTED, AS PER N.F.P.A. # 74-1980.
 - APPROVED TYPE SMOKE DETECTORS MUST BE INSTALLED IN ANY SPACE WITH A FUNCTIONAL WOOD BURNING FIREPLACE AS PER SECT. 27.848.12A
 - SMOKE DETECTORS SHALL BE EITHER IONIZATION CHAMBER OR PHOTO-ELECTRIC TYPE TO COMPLY WITH 17-11
 - ALL DWELLING UNITS ARE TO BE PROVIDED WITH APPROVED HARD WIRED SMOKE DETECTORS. THERE ARE TO BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER-CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT, AS PER SEC. 26-1705.3. BATTERY OPERATED DEVICES ARE PERMITTED WHERE THERE IS NO CHANGE IN THE USE OF THE STRUCTURE, AND AND WHERE THE ALTERATION COST IS LESS THAN \$150,000 AND LESS THAN \$15,000 PER DWELLING UNIT. WITH INSTALLATION TO COMPLY WITH RS 17-12 AND AS PER SEC. C26-1705.4
 - UNITS TO BE APPROVED BY THE BOARD OF STANDARDS AND APPEALS PURSUANT TO THE RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER OR LISTED BY AN ACCEPTABLE TESTING LABORATORY SUCH AS:
 - UNDERWRITERS LABS, MEA LAB = 1-69-L, CANADIAN STANDARD ASSOC., MEA LAB = 25-69-L, MEA LAB = 81-80-L.
- 46. RADIO AND TV WIRES AND ANTENNA SHALL COMPLY WITH SECTION 62 M.D.L. AND SHALL BE PLACED A MIN. OF 10'-0" ABOVE HIGHEST POINT ON ROOF
- 47. ALL CLEANING OF WINDOWS WILL BE IN CONFORMITY WITH THE WINDOW CLEANING CODE.
- 48. FIREPROOFING
 - C. THE CONSTRUCTION CLASSIFICATION OF THE BUILDING IS CONSTRUCTION GROUP 1 NON-COMBUSTIBLE CLASS 1C AND SUB-ARTICLE C27-269 B.C. IN ACCORDANCE WITH AREA AND HEIGHT LIMITATIONS AS SPECIFIED IN SUB-ARTICLE C27-301B.C. AND C27-305B.C. THE CONSTRUCTION ELEMENTS SHALL BE OF THE REQUIRED MINIMUM FIRE RESISTANCE RATINGS AS OUTLINED IN TABLE 3-4 AND DEFINED IN SUB-ARTICLE 27-318 TO 27-354.
- 49. EXIT DOORS SHALL BE READILY OPERABLE AT ALL TIMES FROM THE SIDE WHICH EGRESS IS TO BE MADE. DOORS OPENING INTO INTERIOR ENCLOSED STAIR SHALL NOT BE LOCKED FROM EITHER SIDE EXCEPT THAT DOORS MAY BE LOCKED TO PREVENT ACCESS TO THE STAIR FROM THE OUTDOORS AT THE STREET LEVEL
- 50. ALL WIRE GLASS IN RATED DOORS AND WINDOWS WILL BE OF A TYPE APPROVED BY THE B.S.A
- 51. FIRE DIVISION SHALL COMPLY WITH PROVISIONS OF SECTION C27-340 AND SHALL BE CONTINUOUS THROUGH AND CONCEALED SPACE IN FLOOR OR ROOF CONSTRUCTION.
- 52. OPENINGS IN FIRE DIVISIONS AND SEPARATIONS TO COMPLY WITH SECTION C27-34.
- 53. PENETRATION OF OPENINGS IN WALLS, PARTITIONS, OR FLOORS FOR PIPE SLEEVES, MEDICINE CABINETS, HAMPERS ELECTRIC DEVICES, ETC., SHALL BE PACKED AND SEALED.
- 54. ALL VENT DUCT SHAFTS TO BE ENCLOSED WITH 1 OR 2 HOUR ENCLOSURES. NO DUCT VENTS TO PASS THROUGH STAIR ENCLOSURES. 1 1/2 HOUR AUTOMATIC SELF-CLOSING FIRE DAMPERS TO BE INSTALLED IN VENT DUCTS WHEN THEY PIERCE PUBLIC CORRIDORS.
- 55. FIRE PREVENTION APPLICATIONS WILL BE FILED IF REQUIRED FOR ALL INSTALLATIONS.
- 56. WOOD REQUIRED TO BE FIREPROOFED SHALL BE TESTED IN ACCORDANCE WITH REFERENCE STANDARDS RS 5-3 AND RS 5-4.
- 57. INTERIOR FINISH TO HAVE FLAME SPREAD RATINGS IN ACCORDANCE WITH TABLE 5-4 AND ALL INTERIOR FINISH TO COMPLY WITH SUB-ARTICLE C27-339 TO C27-351 B.C. SEE SECTION C27-348 FOR EXCEPTION.



CONSULTANTS

REMARKS

Table with 4 columns: #, DATE REV., ISSUE/REVISION, and a blank column for notes.

PROJECT: IGLESIA ALIANZA Y MISIONERA APPLICATION FOR BLOCK 446 LOT 3 76 2ND AVENUE NEW YORK, NY 10003

DRAWING TITLE: NOTES

Professional seal of a Registered Architect in the State of New York, dated 03.20.14, project #762, drawn by DC, checked by CB, sheet 2 of 5.

2ND AVENUE

CONSULTANTS

REMARKS

REVISIONS

NO. DATE ISSUE/REVISION

NO.	DATE	ISSUE/REVISION
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PROJECT

IGLESIA ALIANZA Y MISIONERA

APPLICATION FOR BLOCK 446 LOT 3

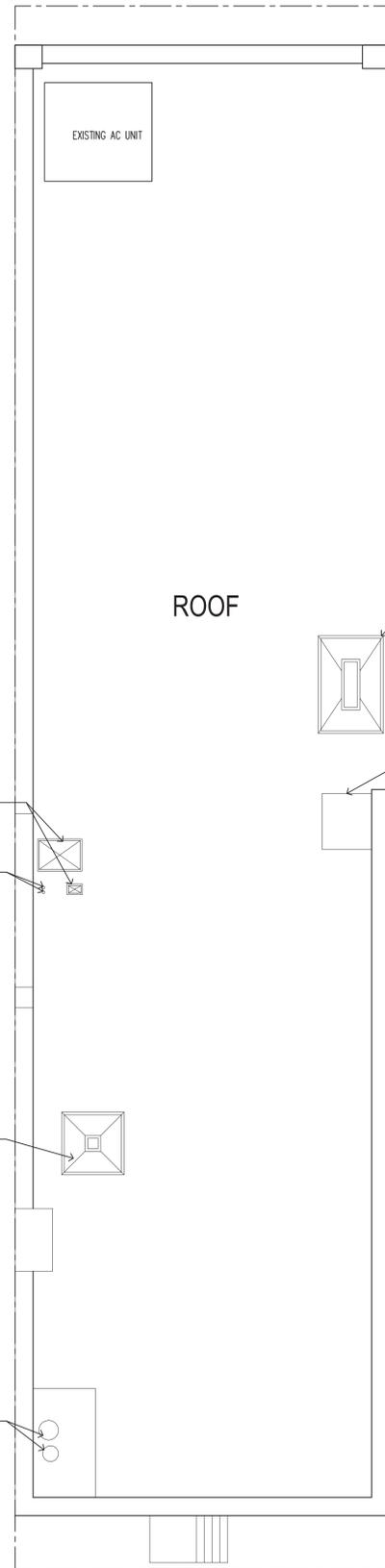
76 2ND AVENUE
 NEW YORK, NY 10003

DRAWING TITLE
EXISTING ROOF PLAN & PARTIAL FRONT PLANS

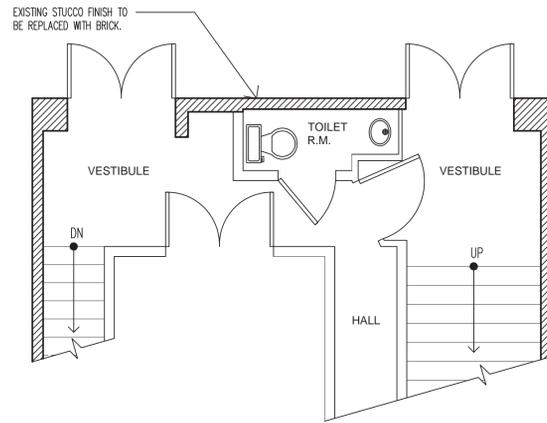
B-SCAN JOB STICKER

DOB JOB #

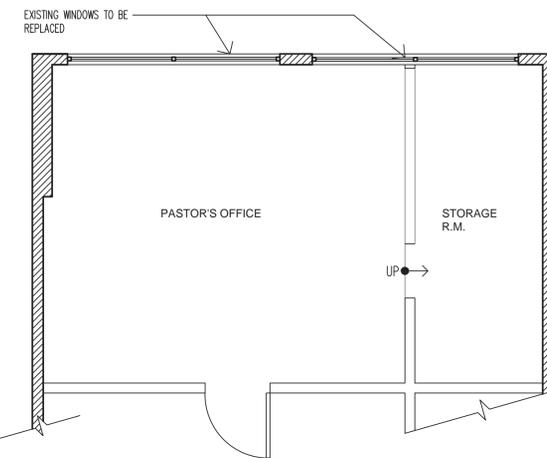
PROFESSIONAL ENGINEER
 STATE OF NEW YORK
 No. 034827



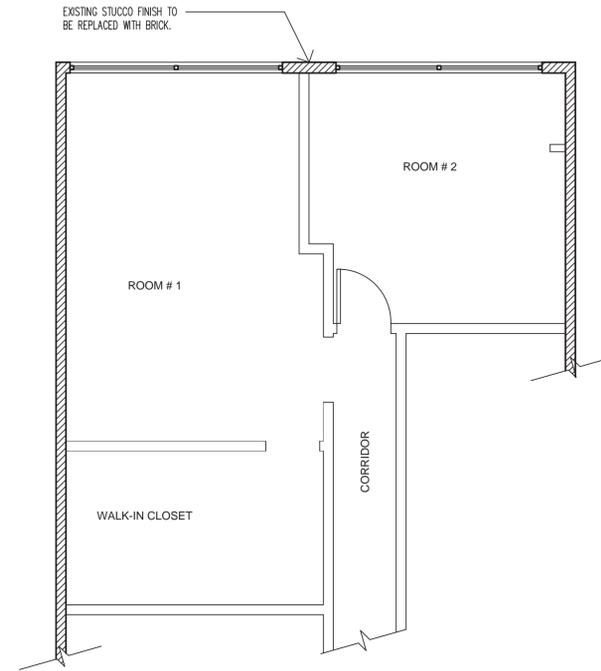
1 EXISTING ROOF PLAN
 A-003 SCALE: 3/16"=1'-0"



2 PARTIAL FRONT 1ST FLOOR PLAN
 A-003 SCALE: 1/4"=1'-0"



3 PARTIAL FRONT 2ND FLOOR PLAN
 A-003 SCALE: 1/4"=1'-0"



4 PARTIAL FRONT 3RD FLOOR PLAN
 A-003 SCALE: 1/4"=1'-0"

DEMOLISHING NOTES

- 1 REMOVE EXISTING WINDOWS. REFRAME OPENINGS AS REQUIRED
- 2 REMOVE AND RE-USE EXISTING DOORS. REFRAME OPENINGS AS REQUIRED
- 3 REMOVE ALL LETTERING AND SIGNS FROM FRONT FACADE
- 4 REMOVE EXISTING STUCCO FINISH FROM FRONT FACADE
- 5 REMOVED ORIGINAL BRICK FACADE THAT IS LOCATED UNDER STUCCO FINISH
- 6 CONTRACTOR TO MAKE SURE BRICK BACK UP WALL IS STRUCTURALLY IN GOOD CONDITION. ANY DISCREPANCIES TO BE POINT OUT TO THE ARCHITECT OF RECORD FOR CORRECTIONS
- 7 REBUILT PARAPET WALL AS REQUIRED

CONSULTANTS

REMARKS

REVISIONS

PROJECT

**IGLESIA ALIANZA
Y MISIONERA**

APPLICATION
FOR BLOCK 446 LOT 3

76 2ND AVENUE
NEW YORK, NY 10003

DRAWING TITLE

**PROPOSED
ELEVATION**

B-SCAN JOB STICKER

DOB JOB #

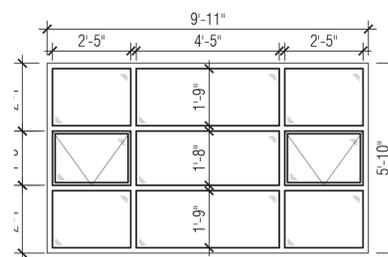


004.00
SHEET 4 of 5



1 EXISTING DEMOLITION FRONT ELEVATION
A-004 SCALE: 3/8"=1'-0"

2 EXISTING CONDITIONS
A-004 SCALE: 3/8"=1'-0"



3 EXISTING WINDOW
A-004 SCALE: 3/8"=1'-0"

DEMOLISHING NOTES

- 1 REMOVE EXISTING WINDOWS. REFRAME OPENINGS AS REQUIRED
- 2 REMOVE AND RE-USE EXISTING DOORS. REFRAME OPENINGS AS REQUIRED
- 3 REMOVE ALL LETTERING AND SIGNS FROM FRONT FACADE
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- 6 CONTRACTOR TO MAKE SURE BRICK BACK UP WALL IS STRUCTURALLY IN GOOD CONDITION. ANY DISCREPANCIES TO BE POINT OUT TO THE ARCHITECT OF RECORD FOR CORRECTIONS
- 7 REBUILT PARAPET WALL AS REQUIRED



446 - 3 M

Sue's Curious
ANTIQUARIAN BOOKS

ANTIQUARIAN BOOKS
SUE'S CURIOUS

TRA

ATTENTION RESIDENTS & NEIGHBORS

Spanish Evangelical Church of the CMA
(Property Owner Name)

**Certificate of Appropriateness Application from the
Landmarks Preservation Commission for**

76 Second Avenue, New York, NY 10003
(Landmark Address)

This applicant is seeking approval to
do EMERGENCY replacement of building facade which
includes rooftop and windows.

(Brief Description of Proposed Work)

There will be an opportunity for public comment on

Thursday, July 3rd, 2014 at 6:30 P.M.
(Date)

at JASA/Green Residence - 200 East 5th Street at Bowery
(Meeting Address)

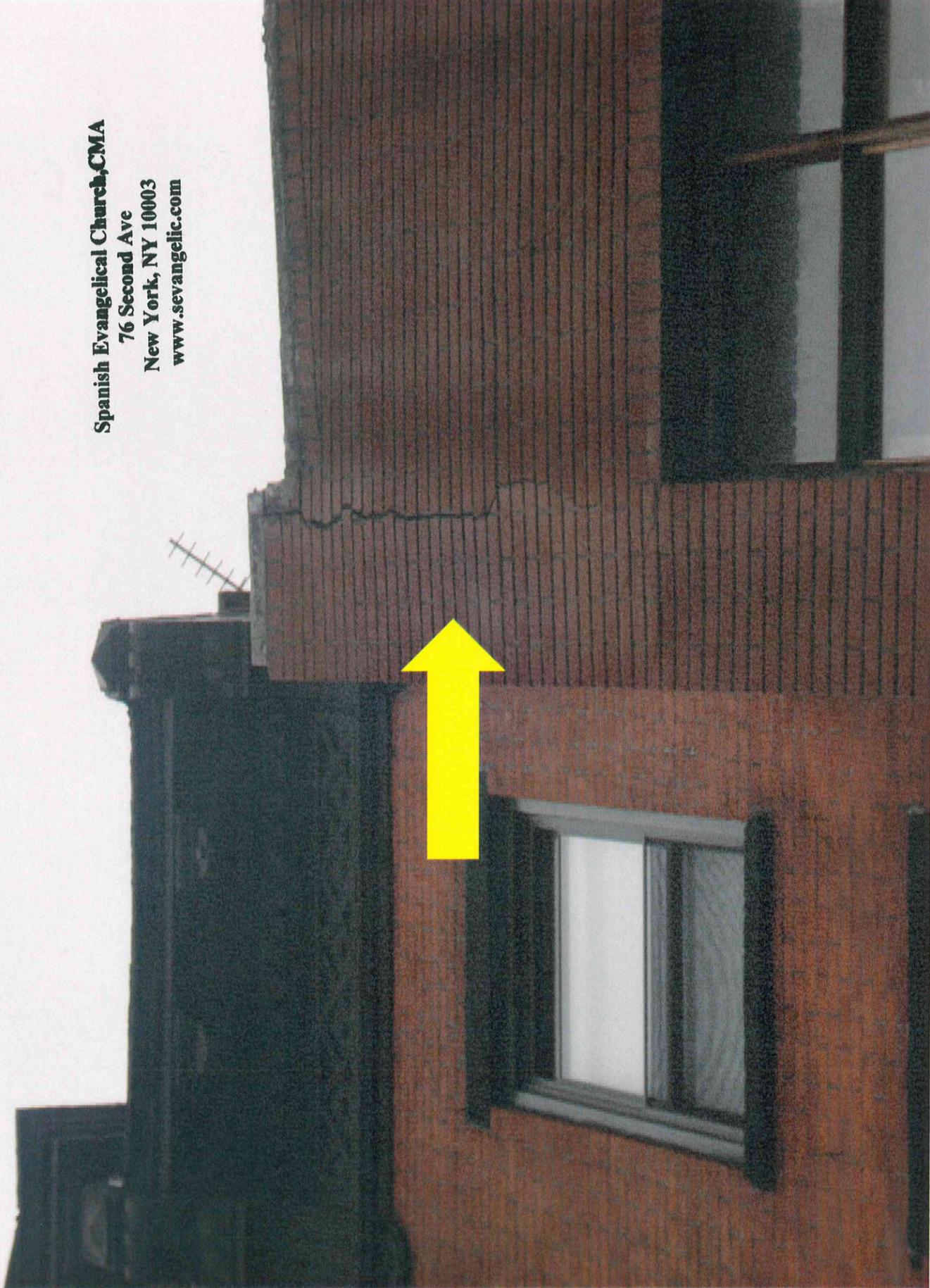
At COMMUNITY BOARD 3
Landmarks Subcommittee Meeting
info@cb3manhattan.org - www.cb3manhattan.org

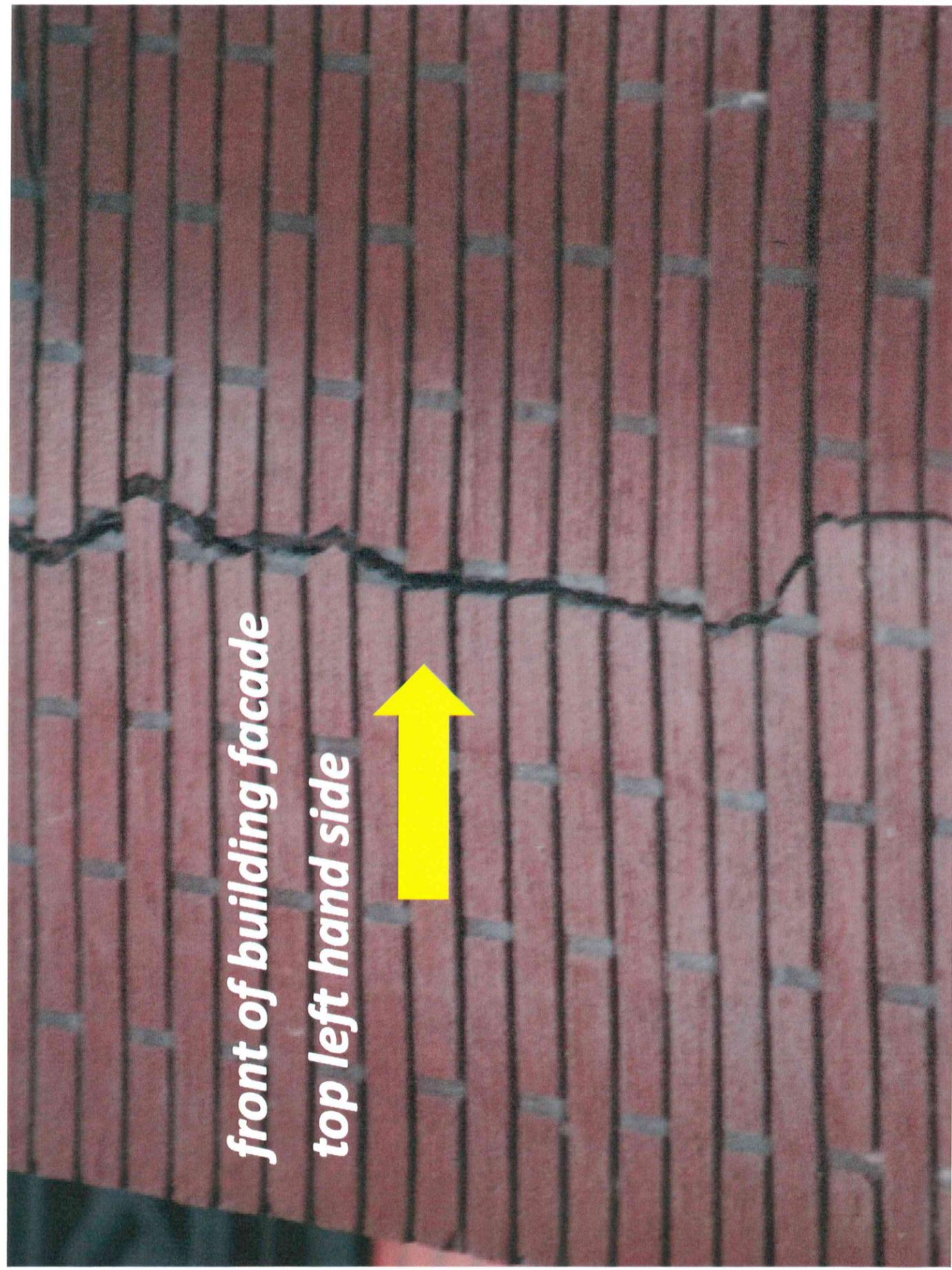
Felipe Narváez, Corporate Secretary: fnarvaez@sevangelic.com
(Applicant Contact Information)

Crack in facade - main reason for renovations EMERGENCY REPAIRS

#1 of 8

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76 Second Ave
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front of building facade
top left hand side



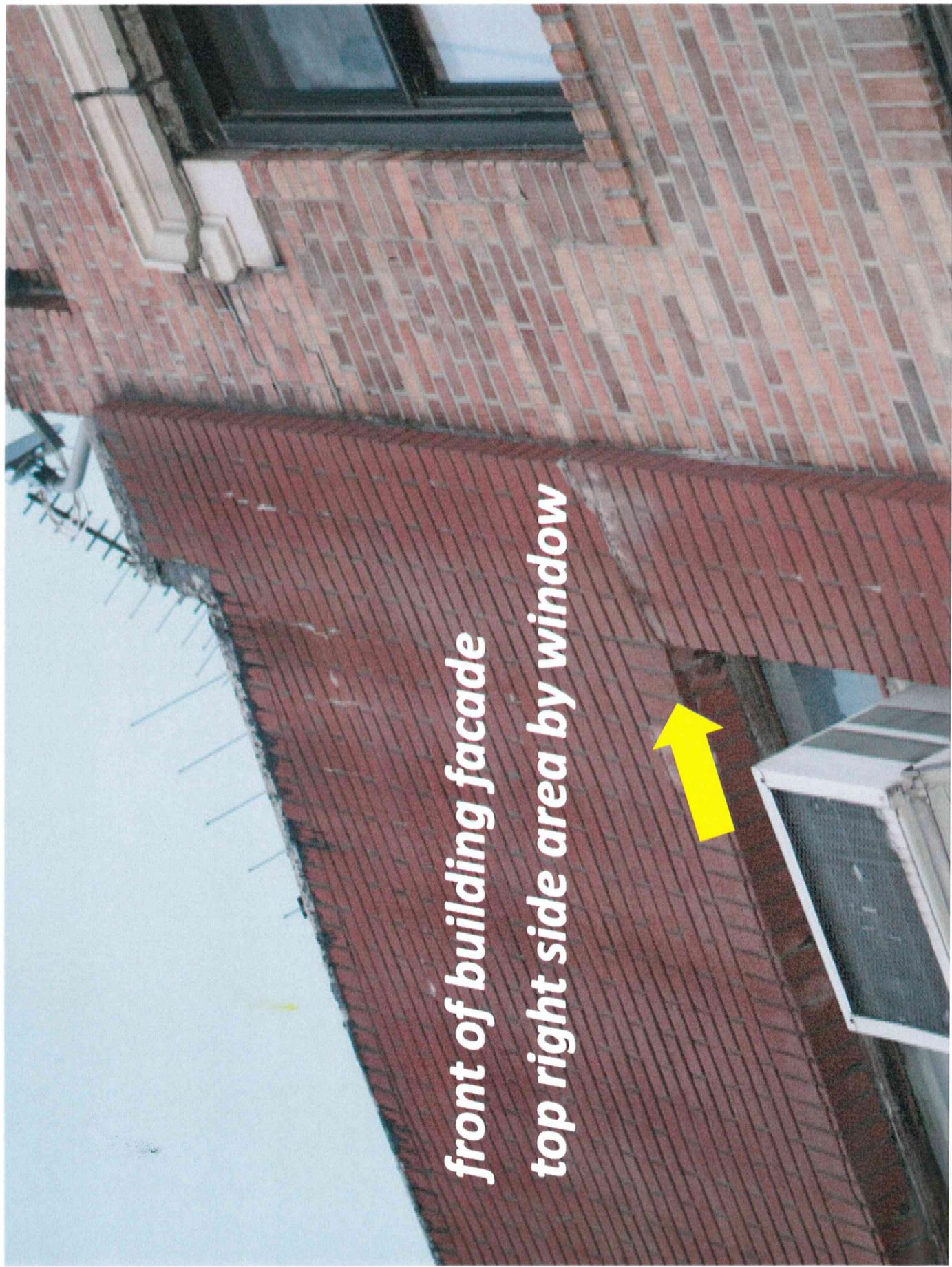
Spanish Evangelical Church, CMA
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front of building facade
top left hand side



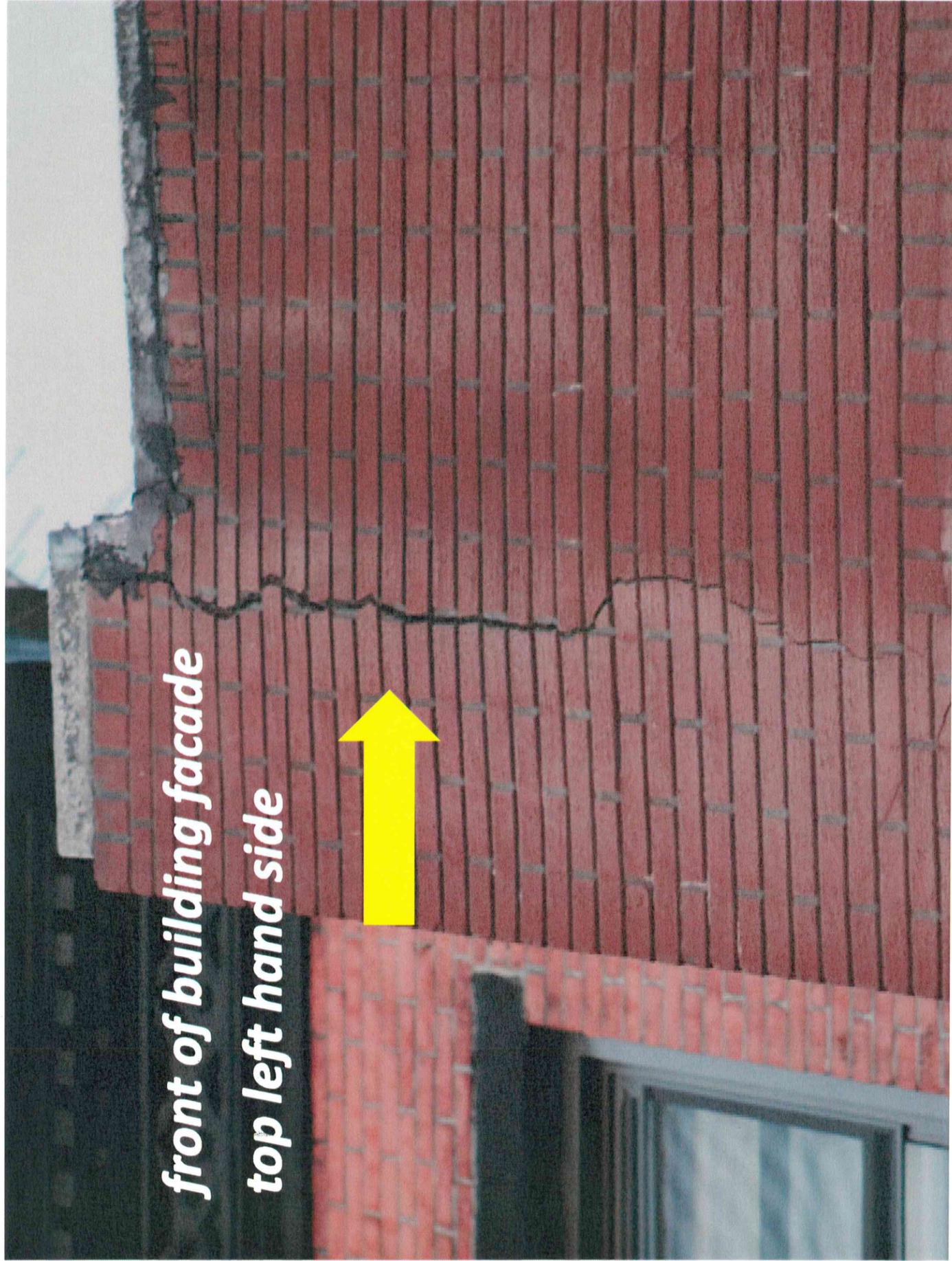
#4 of 8





front of building facade
top right side area by window



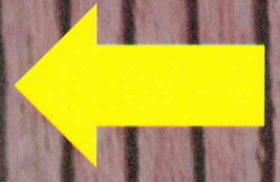


front of building facade

top left hand side

front of building facade

right side area by window





*left side
of building facade*

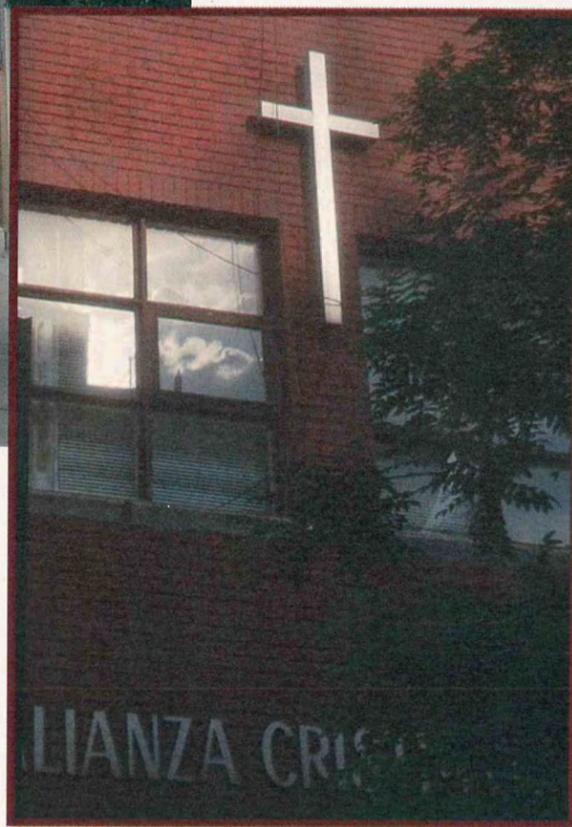




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SECOND AVENUE CHURCH

Spanish Evangelical Church



IGLESIA DE LA SEGUNDA AVENIDA

76 Second Avenue, New York, NY 10003

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New York, NY 10003
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*Existing facade and signage
as of 6/20/14*



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Existing facade and
signage as of 6/20/14



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Existing facade and
signage as of 2014



Existing facade and signage as of 6/20/14

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Brick selection

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76 Second Ave
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Brick selection info





Potential signage

Paul Signs, Inc.

654 4th Avenue and 19th St.

Brooklyn, NY 11232

7 18-788-7593

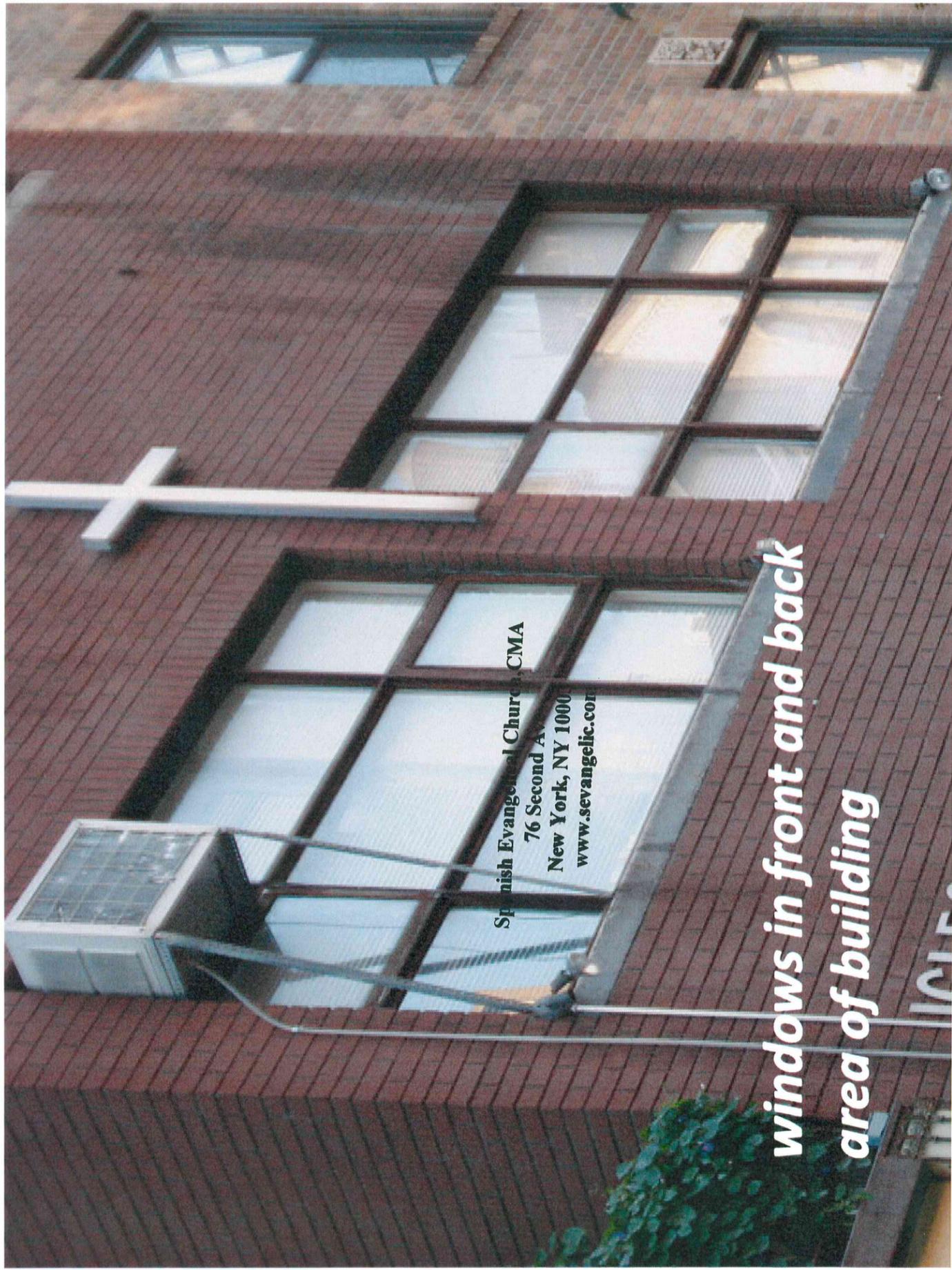
Email: paulsigns419@aol.com

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New York, NY 10003
www.sevangelic.com



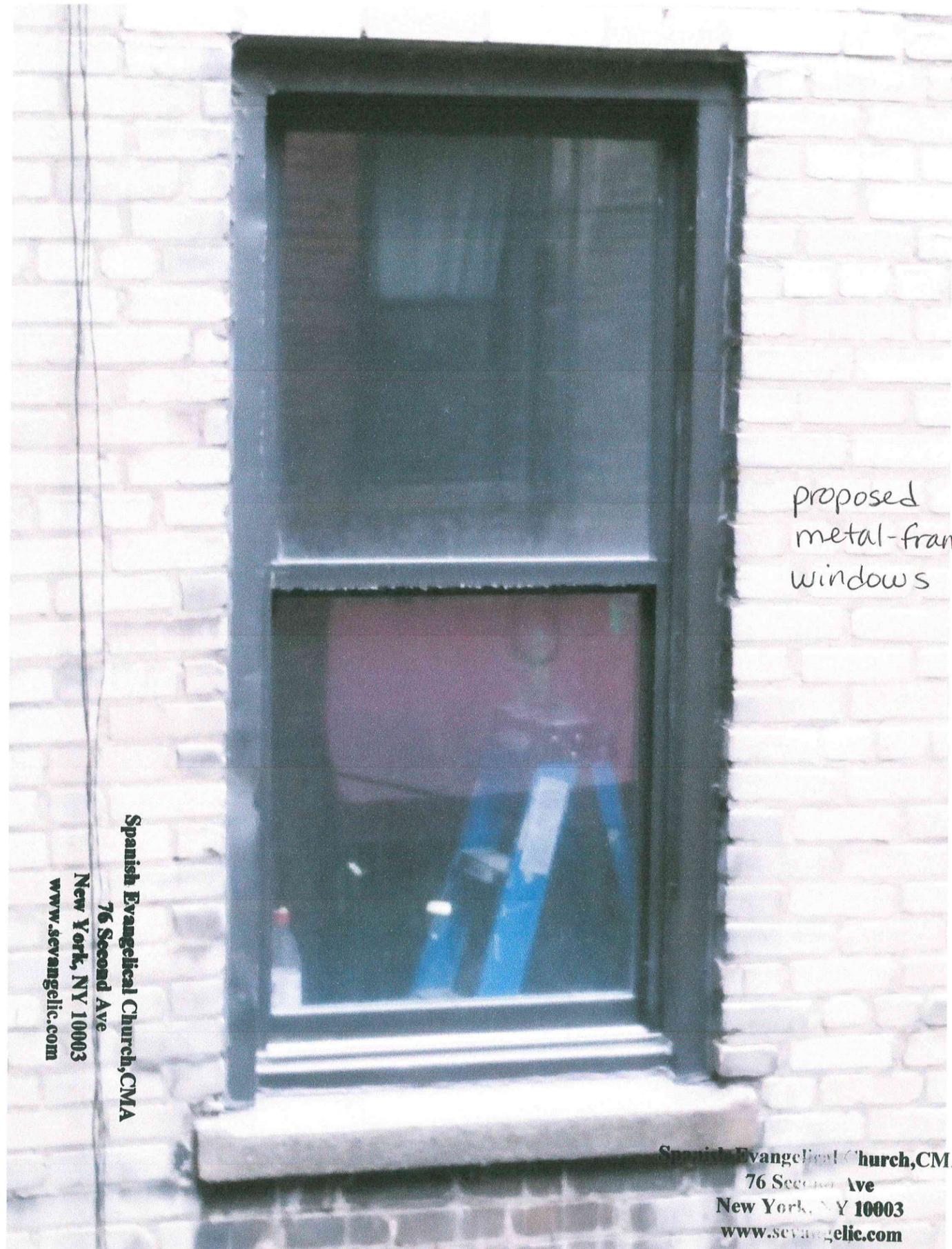
Logo of the Christian
and Missionary Alliance
-will be included in
signage

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windows in front and back
area of building



proposed
metal-frame
windows

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Firestone
BUILDING PRODUCTS

APP 160

APP Modified Bitumen Roofing Membrane
Smooth Surface
Polyester Mat Reinforcement

Membrane élastomère APP
Surface lisse
Armature de polyester

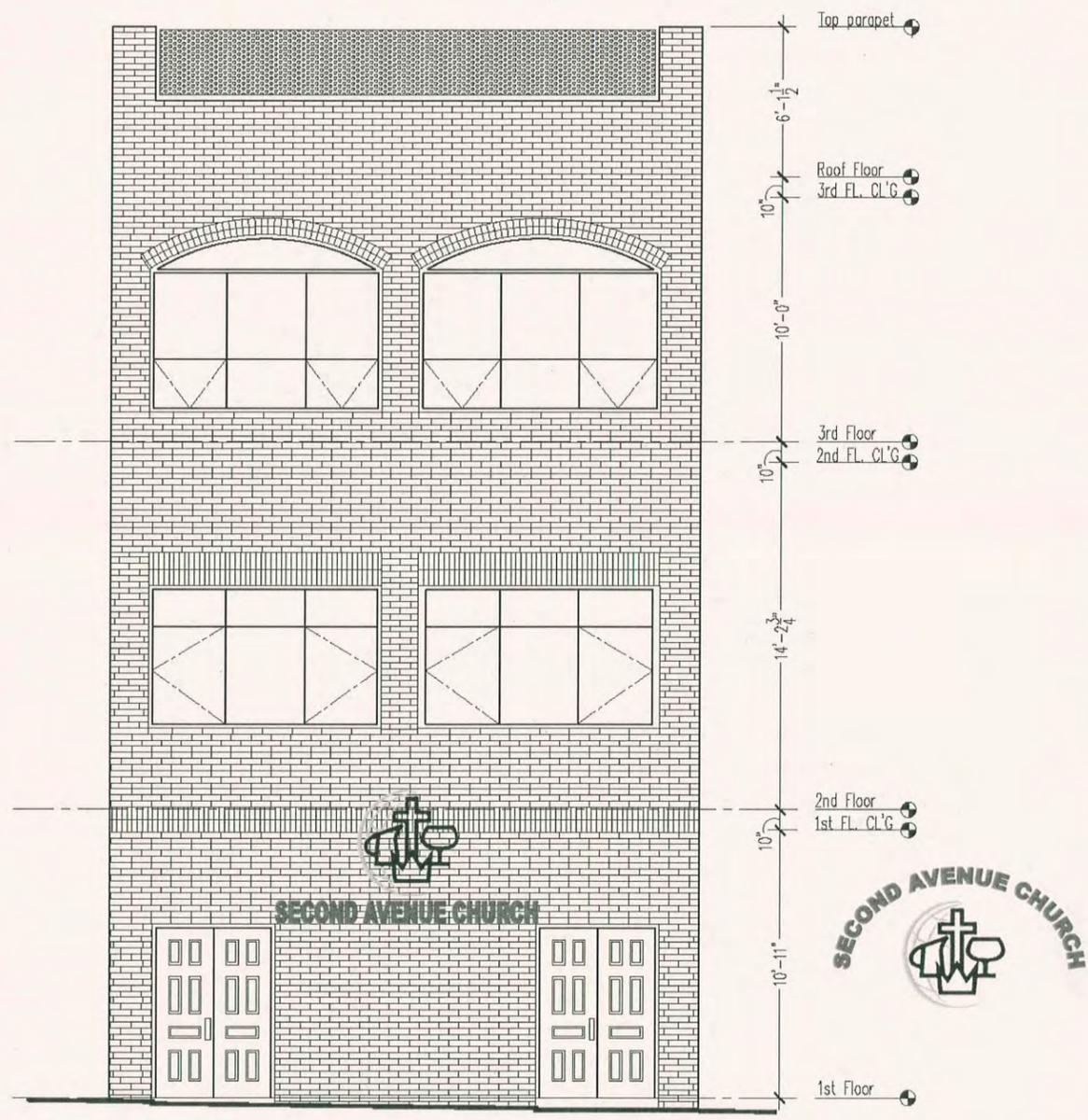
Membrana de Asfalto Modificado APP
Superficie lisa
Malla reforzada con poliéster

08/12/2009

Item # 0561

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New York, NY 10003
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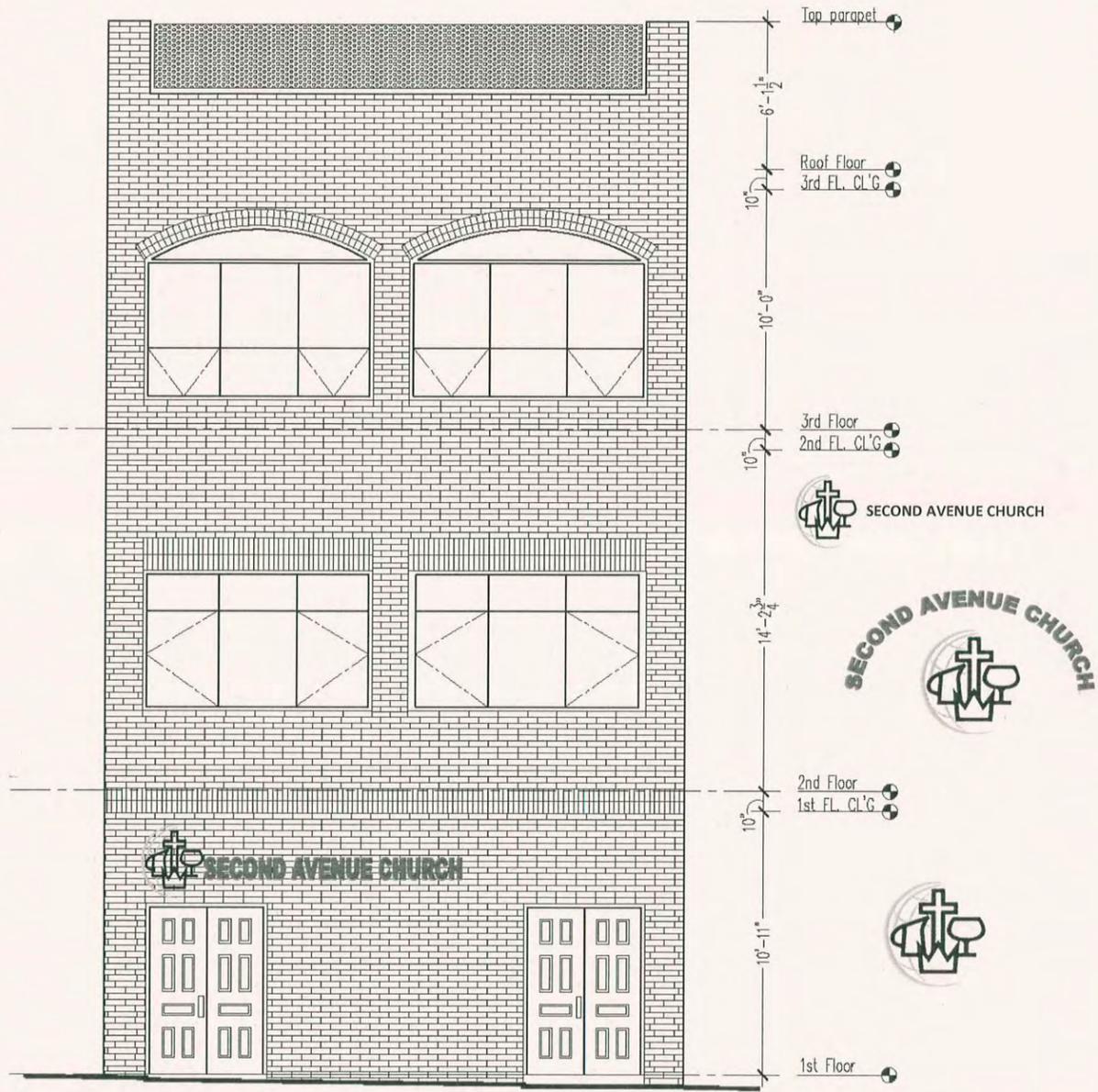
Proposed roof top material



1 PROPOSED ELEVATION B
 A-006 SCALE: 3/8"=1'-0"

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#1 proposed facade elevation
 with arched windows and
 signage



1 PROPOSED ELEVATION B
 A-006 SCALE: 3/8" = 1'-0"

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#2 Proposed elevation with
 arched windows and
 signage

IGLESIA ALIANZA Y MISIONERA

76 2ND AVENUE
NEW YORK, NY 10003
ALT. TYPE II APPLICATION

Spanish Evangelical Church, CMA
76 Second Ave
New York, NY 10003
www.sevangelic.com

RESTAURANT
DESIGN & DEVELOPMENT
220 FIFTH AVENUE MANHATTAN, NY 10001
TEL: (212) 392-4722 Fax: (212) 355-9441
INFO@RDNY.COM WWW.RDNY.COM

WALL LEGEND & SYMBOLS

	DENOTES EXISTING WALLS TO REMAIN
	DENOTES EXISTING WALLS, DOORS, TO BE REMOVED
	DENOTES EXISTING/NEW GLASS PARTITION
	DENOTES NON-RATED NON BEARING PARTITION CONSTRUCTED OF 22 GA., 3 5/8" MTL. STUDS AT 16" O.C. WITH 1 LAYER 5/8" G.W.B. EACH SIDE.
	EXIT SIGN, VISIBLE & AUDIBLE
	COMBINED CARBON MONOXIDE & SMOKE DETECTOR

PLAN SYMBOLS

	ELEVATION NUMBER		ELEVATION NUMBER
	DRAWING NUMBER		DRAWING NUMBER
	SECTION DESIGNATION		DETAIL TITLE
	DRAWING NUMBER		DRAWING NUMBER
	WINDOW NUMBER		SIMPLEX RECEPTACLE
	PARTITION TYPE		DUPLEX RECEPTACLE
	REVISION NUMBER		DEDICATED DUPLEX OUTLET
	DOOR TYPE		QUAD OUTLET
	STARTING POINT FOR TILES		DOOR RELEASE BUTTON W/ DECK-MOUNTED INTERCOM
	CENTER LINE		JUNCTION BOX
	CORNER OF COLUMN OR SLAB OPENING FOR DIMENSIONING		TELEPHONE OUTLET WALL MOUNTED
	LEVEL ABOVE DATUM		COMBINATION TEL./DATA QUAD CAT 5-WALL
	ROOF DRAIN		DUPLEX GROUND FAULT INTERRUPTER
	FLOOR DRAIN		QUAD GROUND FAULT INTERRUPTER
	ELECTRIC PANEL		WALL MOUNTED FIRE PULL STATION
	SMOKE AND CARBON MONOXIDE DETECTOR		FIREMAN'S WARDEN PHONE - WALL MOUNTED
	EXIT SIGN		WALLMOUNTED CABLE T.V. OUTLET
	HOT WATER TANK		WALL SWITCH
	WASHER/DRYER		THERMOSTAT

ABBREVIATIONS

A.C.	AIR CONDITIONER	JAN. CL.	JANITOR CLOSET
ACOUS.	ACOUSTIC	JT.	JOINT
ABV.	ABOVE	LAM.	LAMINATED
ADJ.	ADJOINING	LAV.	LAVATORY
ADJUST.	ADJUSTABLE	L.C.L./L.C.	LINEN CLOSET
A.F.F.	ABOVE FINISHED FLOOR	LDR.	LEADER
ALUM.	ALUMINUM	L.P.	LOW POINT
APPROX.	APPROXIMATE	L.T. WT.	LIGHT WEIGHT
APPRVD.	APPROVED	MACH.	MACHINE
B.C.	BRICK COURSE	MAINT.	MAINTENANCE
BET.	BETWEEN	MAS.	MASONRY
BLDG.	BUILDING	MAX.	MAXIMUM
BL'K.	BLOCK	MECH.	MECHANICAL
BOT.	BOTTOM	M.C.	MEDICINE CABINET
B.R.	BEDROOM	MET.	METAL
B.S.A.	BOARD OF STANDARDS AND APPEALS	MIL.	MINIMUM
C.	CARPET	MIRR.	MIRROR
C.G.	CORNER GUARD	M.O.	MASONRY OPENING
C.I.	CAST IRON	M.V.	MECHANICAL VENTILATION
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
CEM.	CEMENT	NO. OR #	NUMBER
CHD.	CHIMNEY	NOM.	NOMINAL
CLG.	CEILING	O.C.	ON CENTER
CL.	CLOSET	O.D.	OUTSIDE DIAMETER
C.L.	CENTER LINE	OPG.	OPENING
C.M.U.	CONCRETE MASONRY UNIT	P.	PAINT
COL.	COLUMN	PL.	PLUMBING
CONC.	CONCRETE	PART.	PARTITION
CONSTR.	CONSTRUCTION	PART. E.	PARTITION END
CONT.	CONTINUOUS	PAV'T.	PAVEMENT
CORR.	CORRIDOR	P.E.	PASSENGER ELEVATOR
C.T.	CERAMIC TILE	PERF.	PERFORATED
D.	DRYER	PL	PLATE
D.A.	DINING ALCOVE OR AREA	POL.	POLISH
DET.	DETAIL	PRE. FAB.	PREFABRICATED
DIA.	DIAMETER	R.	RISERS
DIAG.	DIAGONAL	RAD.	RADIUS
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REF.	REFRIGERATOR
DR.	DRAIN	RENF.	REINFORCED
D.W.	DISHWASHER	REQ'D.	REQUIRED
DWG.	DRAWING	RESIST.	RESISTANT
ELEC.	ELECTRIC	R.C.	REFUSE CHUTE
ELEV.	ELEVATION	RM.	ROOM
ELEV.	ELEVATOR	S.	SINK
ENGR.	ENGINEER	SCHED.	SCHEDULED
EXH.	EXHAUST	S.E.	SERVICE ELEVATOR
EQUIP.	EQUIPMENT	SECT.	SECTION
EXIST.	EXISTING	SPEC.	SPECIFICATIONS
EXP. JT.	EXPANSION JOINT	S.T.C.	SOUND TRANSMISSION CLASS
F.A.I.	FRESH AIR INTAKE	STL.	STEEL
F.B.O.	FURNISHED BY OTHERS	STL.	STAINLESS STEEL
FIN.	FINISH	STOR.	STORAGE
FL.	FLOOR	STRUC.	STRUCTURAL
FL. DR. OR	FLOOR DRAIN	T.	TREAT
F.D.	FLOOR DRAIN	T.	TILE
FLASH.	FLASHING	T.C.	TOP OF CURB
F.P.S.C.	FIRE PROOF SELF-CLOSING	T.D.	TERRACE DRAIN
F.S.P.	FIRE STANDPIPE	THK.	THICK
FURR.	METAL FURRING	T.O.	TRIMMED OPENING
G.	GAS	T.O.P.	TOP OF PARAPET
GALV.	GALVANIZED	T.O.S.	TOP OF SLAB
GA.	GYP-SUM WALL BOARD	T.O.W.	TOP OF WALL
GWB.	GLAZED CERAMIC TILE	TP.	TYPICAL
G.C.T.	GAS DRYER	VENT.	VENTILATION
G.D.	GAS DRYER	VEST.	VESTIBULE
GEN.	GENERAL	V.V.C.	VINYL WALL COVERING
GL.	GLASS	V.C.T.	VINYL COMPOSITE TILE
GR.	GRADE	W/	WITH
GYP.	GYP-SUM	W.C.	WATER CLOSET
H/HDCP	HANDICAPPED HUNG CEILING	WD.	WOOD
H.C.	HUNG CEILING	W.GL.	WIRE GLASS
HT.	HOLLOW METAL	W.P.	WATER PROOFING
H.M.	HOLLOW METAL	W.M.	WASHING MACHINE
H.P.	HIGH POINT	W.R.G.B.	WATER RESISTANT GYP-SUM WALL BOARD
HORIZON.	HORIZONTAL	W.B.	WALL BOARD
H.R.	HANDRAIL		
HR.	HOUR		
I.D.	INSIDE DIAMETER		
I.N.R.	IMPACT NOISE RATING		
INSUL.	INSULATION		
INT.	INTERIOR		

PROPERTY INFORMATION

76 2nd Avenue, New York 10003
Mixed Residential & Commercial
Block: 446 Lot: 3
Property Characteristics:
Lot Area: 2,400 sq ft (24' x 100')
of Buildings: 1 Year built: 1920
of floors: 3 Building Area: 6,708 sq ft
Total Units: 2 Residential Units: 0
Primary zoning: R7A Commercial Overlay: C2-5
Floor Area Ratio: 2.8 Max. FAR: 4

SCOPE OF WORK

HEREWITH SUBMITTING APPLICATION TYPE II FOR REPAIR & RENOVATION OF FACADE

NOTES

LIST OF ITEMS TO BE FILED SEPARATELY

LIST OF CONTROL INSPECTIONS
MASONRY
FINAL

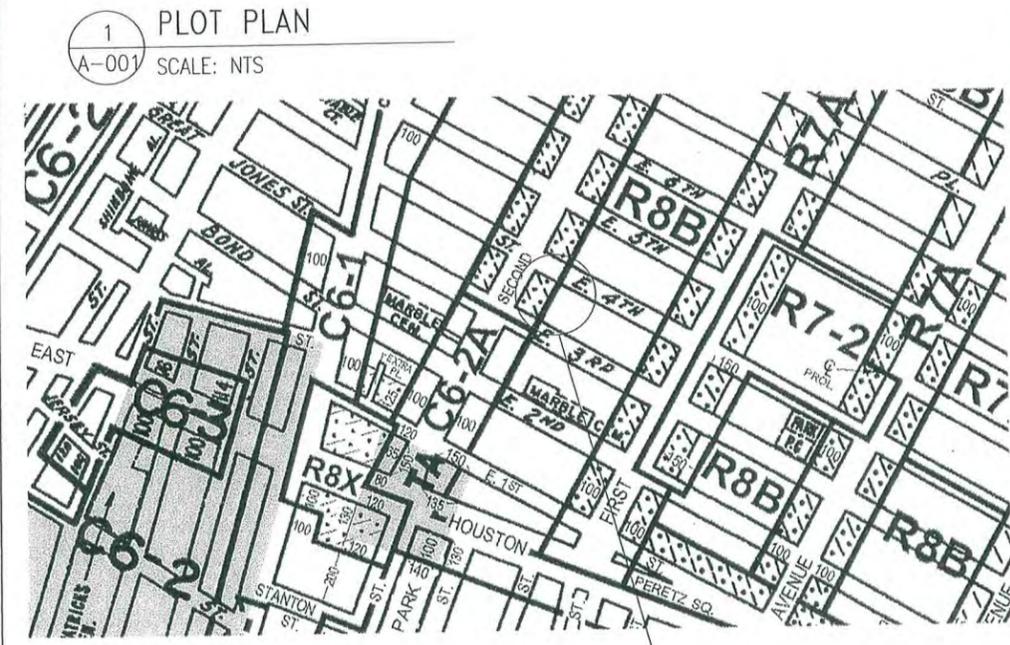
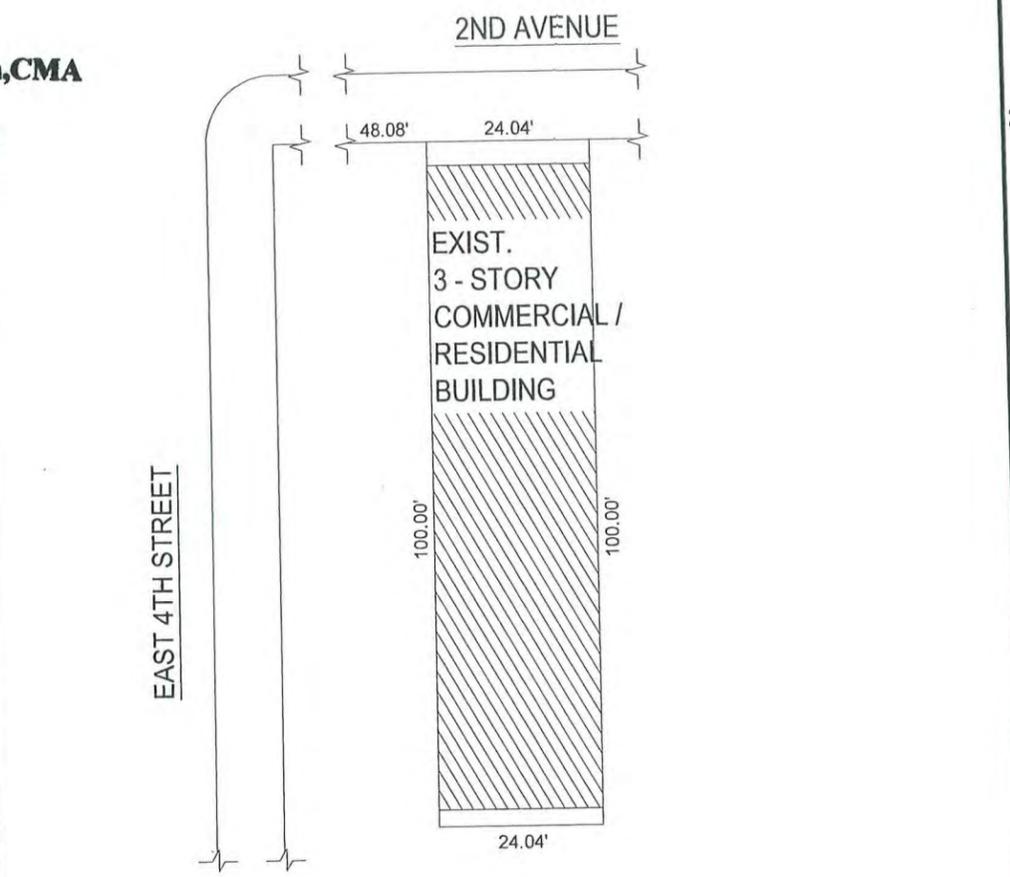
DRAWING SCHEDULE

A-001.01	COVER SHEET, ZONING INFO, SYMBOLS
A-002.00	DOB GENERAL NOTES
A-003.01	EXISTING/DEMOLITION ELEVATION
A-004.01	EXISTING ROOF PLAN

ENERGY ANALYSIS FOR ALTERATION - CLIMATE ZONE 100

WORK ITEM including new and replacement	Proposed designed values	Code Prescribed value & Citation
Envelop, Windows, Doors, Store Front, Basement	NO CHANGE	
Interior partitions between condition corridor and conditioned apartment	NO CHANGE	
Piping Insulation	NO CHANGE	
Interior Lighting	NO CHANGE	
Exterior Lighting	NO CHANGE	
Boilers/Heating Furnaces	NO CHANGE	
Hvac System	NO CHANGE	
Other Note		

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2 ZONING MAP 12C
A-001 SCALE: NTS

CONSULTANTS

REMARKS

REVISIONS

DATE REV 3	ISSUE/REVISION 3
DATE REV 2	ISSUE/REVISION 2
DATE REV 1	ISSUE/REVISION 1
NO	DATE

PROJECT

IGLESIA ALIANZA Y MISIONERA

APPLICATION FOR BLOCK 446 LOT 3

76 2ND AVENUE
NEW YORK, NY 10003

DRAWING TITLE

COVER SHEET

B-SCAN JOB STICKER

DOB JOB #

NYC DOB IDENTIFICATION NUMBER

SEAL & SIGNATURE

DATE: 10-26-24
PROJECT # 762
DRAWN BY: DC
CHECK BY: CE
DWG No.
A-001
SHEET 1 of 9

CONSULTANTS

REMARKS

REVISIONS

#	DATE	REV. 1	ISSUE	REVISION

PROJECT

**IGLESIA ALIANZA
Y MISIONERA**

APPLICATION
FOR BLOCK 446 LOT 3

76 2ND AVENUE
NEW YORK, NY 10003

DRAWING TITLE

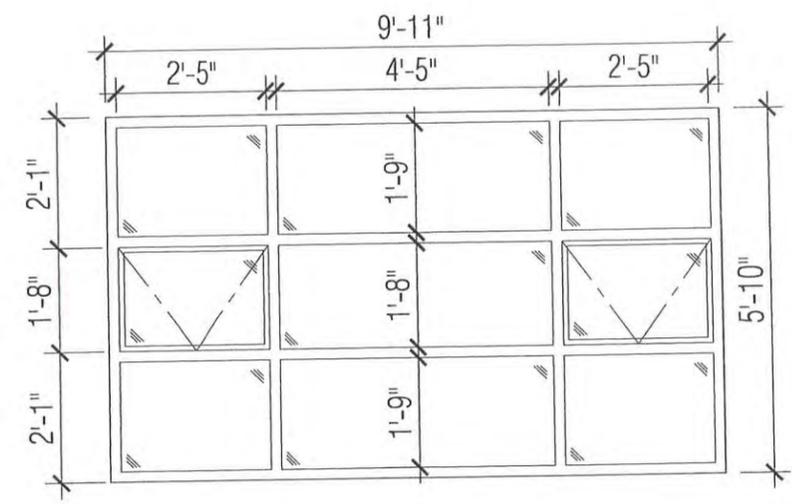
EXISTING / DEMO
ELEVATION, EXISTING
WINDOW ELEVATION

B-SCAN JOB STICKER

DOB JOB#

NYC DOB IDENTIFICATION NUMBER

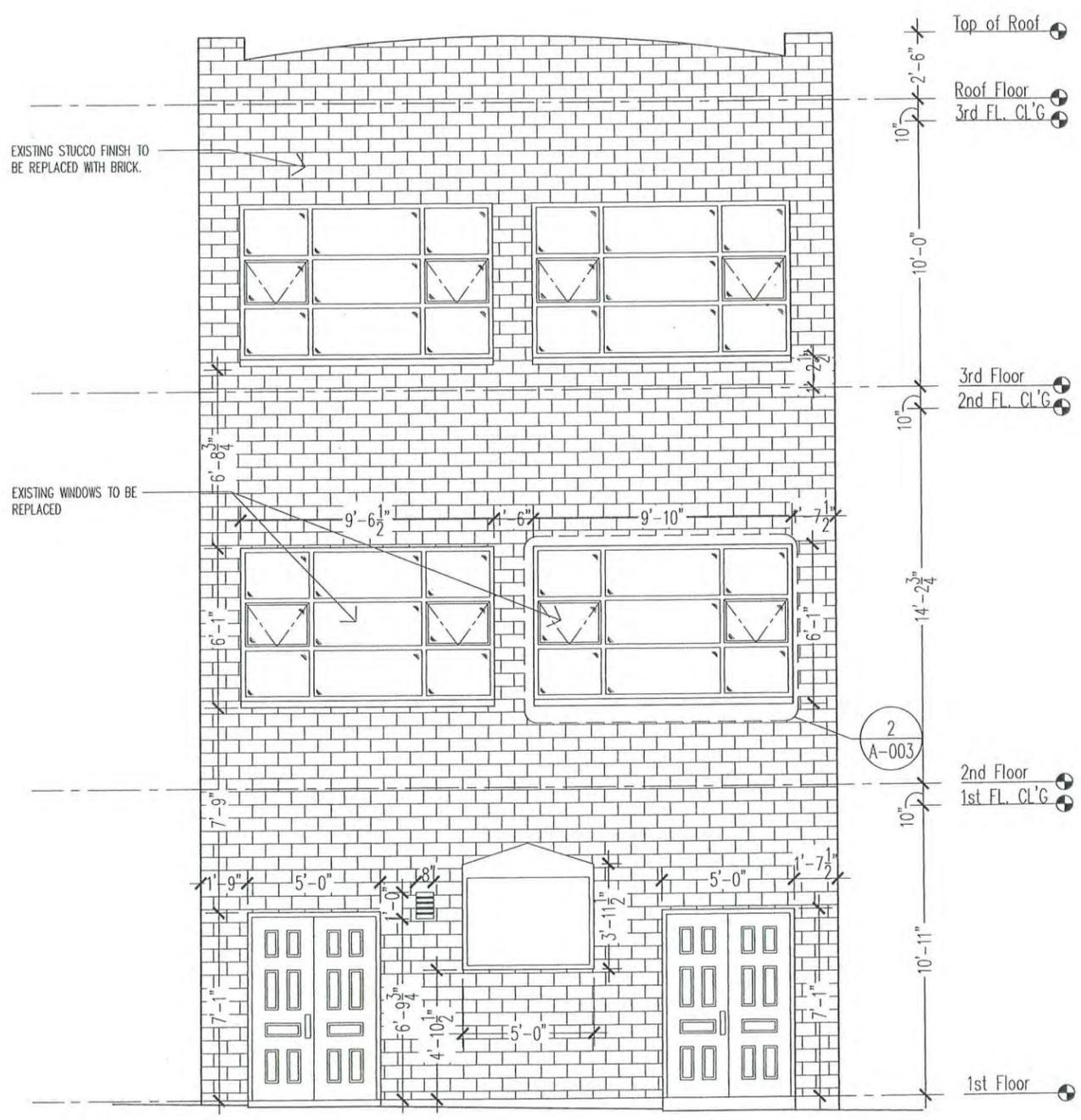
DATE: 10-25-24
PROJECT #: 762
DRAWN BY: DC
CHECK BY: CB
DWG. No. **A-003.00**
SHEET 3 of 9



2 EXIST WINDOW DETAIL
A-003 SCALE: 3/4"=1'-0"



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1 EXISTING/DEMOLITION ELEVATION
A-003 SCALE: 3/8"=1'-0"

EXISTING STUCCO FINISH TO BE REPLACED WITH BRICK.

EXISTING WINDOWS TO BE REPLACED

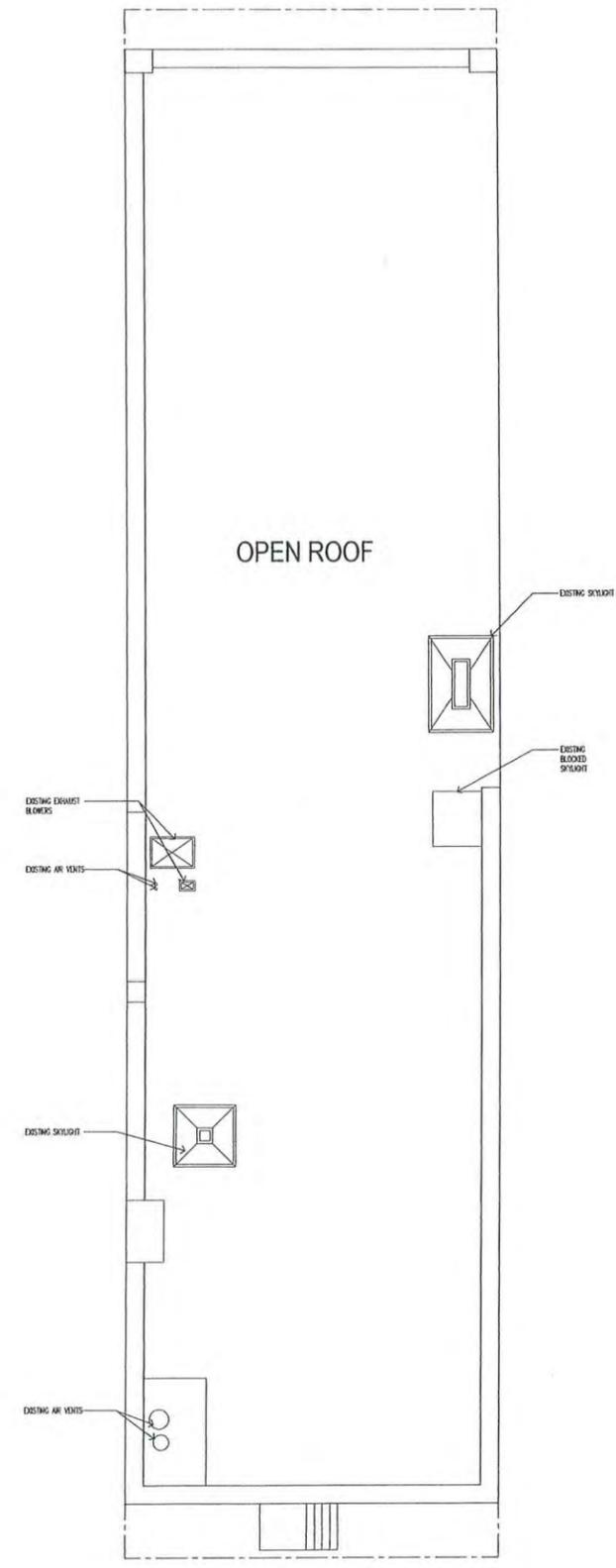
Top of Roof

Roof Floor
3rd FL. CL'G

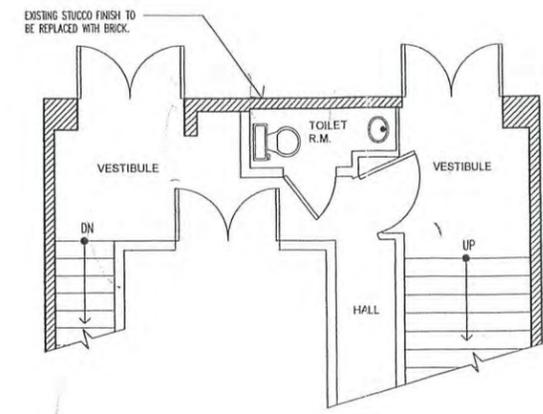
3rd Floor
2nd FL. CL'G

2nd Floor
1st FL. CL'G

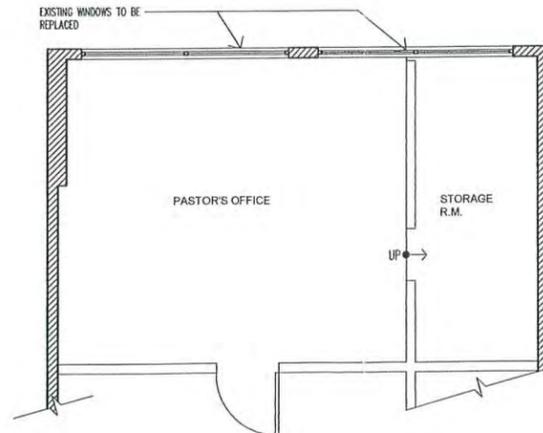
1st Floor



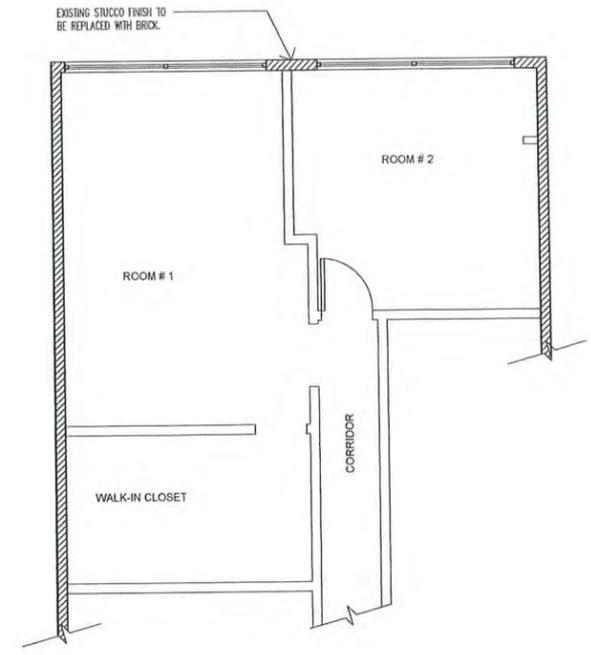
1 EXISTING ROOF PLAN
 A-004 SCALE: 3/16"=1'-0"



2 PARTIAL FRONT 1ST FLOOR PLAN
 A-004 SCALE: 1/4"=1'-0"



3 PARTIAL FRONT 2ND FLOOR PLAN
 A-004 SCALE: 1/4"=1'-0"



4 PARTIAL FRONT 3RD FLOOR PLAN
 A-004 SCALE: 1/4"=1'-0"

- DEMOLISHING LEGEND**
- 1 REMOVE EXISTING WALLS FOR WALK IN FREEZER
 - 2 REMOVE EXISTING FINISH FLOOR TILE.
 - 3 REMOVE EXISTING DOORS
 - 4 REMOVE EXISTING HOOD AND TO RELOCATE
 - 5 REMOVED EXISTING 3 COMPARTMENT SINK AND TO BE RELOCATED.
 - 6 REMOVED EXISTING HAND SINK AND TO BE RELOCATED.
 - 7 REMOVE EXISTING BATHROOM FIXTURES..
 - 8 REMOVED EXISTING PARTITIONS
 - 9 EXISTING FLOOR DRAIN TO REMAIN
 - 10 EXISTING WINDOWS TO REMAIN
 - 11 EXISTING GLASS PARTITION TO REMAIN
 - 12 EXISTING GLASS PARTITION TO BE REMOVE
 - 13 NEW OPENING

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CONSULTANTS

REMARKS

REVISIONS

NO	DATE	ISSUE/REVISION
J1	DATE REV 3	ISSUE/REVISION 3
J2	DATE REV 2	ISSUE/REVISION 2
J3	DATE REV 1	ISSUE/REVISION 1
NO	DATE	ISSUE/REVISION

PROJECT

IGLESIA ALIANZA Y MISIONERA
 APPLICATION FOR BLOCK 446 LOT 3
 76 2ND AVENUE
 NEW YORK, NY 10003

DRAWING TITLE

EXISTING ROOF PLAN & PARTIAL FRONT PLANS

B-SCAN JOB STICKER

DOB JOB #

NYC DOR IDENTIFICATION NUMBER

DATE: 10-25-24
 PROJECT #: 762
 DRAWN BY: DC
 CHECK BY: CB
 ENG. NO.
A-004.00
 SHEET 4 of 9