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Ezra Moser

June 5, 2014

125-14-B7 =

BY HAND

Hon. Meenakshi Srinivasan, Chair
NYC Board of Standards and Appeals
250 Broadway, 29th Floor
New York, NY 10007

**Re: Variance Application
11 Avenue C
New York, New York
Block 384, Lot 33**

Dear Chair Srinivasan:

Submitted herewith is an application for a variance pursuant to Zoning Resolution Section 71-21 to allow the construction of a ten-story Use Group 2 residential development with Use Group 6 retail on the ground floor at the above captioned property (the "Property"). The Property is located in a R8A zoning district, and the proposed development would require waivers of the use (ZR §22-00) and lot coverage (ZR §23-145) regulations of the Zoning Resolution.

In connection with this application, please find enclosed the following attachments:

1. BZ Application Form;
2. Statement of Facts and Findings;
3. Department of Buildings Objection;
4. Affidavit of Ownership;
5. Certificate of Occupancy;
6. Economic Analysis and Financial Feasibility Study, prepared by Freeman Frazier Associates and dated May 30, 2014;
7. Zoning Map;
8. BSA Zoning Analysis form;
9. Tax Map;
10. Radius Diagram/Land Use Map;
11. Photographs;
12. Existing Conditions and Site Plans;
13. As-of-Right Building Massing;
14. Typical Development Plans;
15. Proposed Conditions Plans;
16. List of Affected Property Owners;

17. CEQR Application; and

18. Evidence of Uniqueness:

- A. Geotechnical Memorandum prepared by JZN Engineering and dated May 19, 2014;
- B. Structural Engineering Report prepared by Anastos Engineering, dated May 27, 2014;
- C. Preliminary Construction Cost Estimate for the As-of-Right Development, prepared by McQuilkin Associates and dated May 23, 2014;
- D. Preliminary Construction Cost Estimate for the Typical Development, prepared by McQuilkin Associates and dated May 21, 2014;
- E. Preliminary Construction Cost Estimate for the Proposed Development, prepared by McQuilkin Associates and dated May 23, 2014;
- F. Construction Cost Premium Memorandum, prepared by McQuilkin Associates and dated May 23, 2014.
- G. Limited Soil Investigation Report, prepared by Emteque LLC and dated July 15, 2013; and
- H. Remediation Cost Estimate Memorandum, prepared by WCD Group and dated March 24, 2014.

In addition, checks in the amount of \$8,560.00 for the filing fee and \$5,465.00 for the CEQR fee are submitted herewith.

Please let us know if you require any additional information in this regard.

Very truly yours,



Ezra Moser
Planning Specialist

cc: Hon. Gale Brewer, Manhattan Borough President;
Hon. Rosie Mendez, Council Member, District 2;
Ms. Susan Stetzer, District Manager, Manhattan Community Board 3;
Mr. Edwin Tang, R.A., Department of Buildings;
Ms. Edith Hsu-Chen, Director, Department of City Planning Manhattan Bor. Office;
Mr. Christopher Holme, Zoning Division, Department of City Planning;



**Board of Standards
and Appeals**

250 Broadway, 29th Floor
New York, NY 10007
212-386-0009 - Phone
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www.nyc.gov/bsa

**ZONING (BZ) CALENDAR
Application Form**

BSA APPLICATION NO. 125-14-B 7 -
CEQR NO. 14-BSA-169M

Section A

**Applicant/
Owner**

GoldmanHarris LLC

NAME OF APPLICANT

475 Park Avenue South

ADDRESS

New York NY 10016

CITY STATE ZIP

212 935-1622

AREA CODE TELEPHONE

212 935-2651

AREA CODE FAX

charris@goldmanharris.com

EMAIL

350 East Houston LLC c/o BLDG Management Inc.

OWNER OF RECORD

417 Fifth Avenue, Suite 400

ADDRESS

New York NY 10016

CITY STATE ZIP

LESSEE / CONTRACT VENDEE

ADDRESS

CITY STATE ZIP

Section B

**Site
Data**

11 Avenue C

STREET ADDRESS (INCLUDE ANY A/K/A)

10009

ZIP CODE

Between E. 2nd Street & E. Houston Street

DESCRIPTION OF PROPERTY BY BOUNDING OR CROSS STREETS

384

33

Manhattan

3

None

BLOCK

LOT(S)

BOROUGH

COMMUNITY DISTRICT

LANDMARK/HISTORIC DISTRICT

Hon. Rosie Mendez

R8A

12C

CITY COUNCIL MEMBER

ZONING DISTRICT

ZONING MAP NUMBER

(include special district, if any)

Section C

**Dept of Building
Decision**

BSA AUTHORIZING SECTION(S) §72-21 for ☒ VARIANCE ☐ SPECIAL PERMIT (Including 11-41)

Section(s) of the Zoning Resolution to be varied 22-00, 23-145

DOB Decision (Objection/ Denial) date: 5/7/14

Acting on Application No: 121185092

Section D

Description

(LEGALIZATION ☐ YES ☒ NO ☐ IN PART)

Variance pursuant to 72-21 to modify use and lot coverage regulations to facilitate the construction of a ten-story residential development with ground-floor commercial uses.

Section E

**BSA History
and
Related Actions**

If "YES" to any of the below questions, please explain in the STATEMENT OF FACTS

YES NO

1. Has the premises been the subject of any previous BSA application(s)? ☒ ☐

PRIOR BSA APPLICATION NO(S): 55-08-BZ, 381-60-BZ, 130-99-BZ

2. Are there any applications concerning the premises pending before any other government agency?.... ☐ ☒

3. Is the property the subject of any court action?..... ☐ ☒

Section F

Signature

I HEREBY AFFIRM THAT BASED ON INFORMATION AND BELIEF, THE ABOVE STATEMENTS AND THE STATEMENTS CONTAINED IN THE PAPERS ARE TRUE.

Caroline G. Harris

(Signature of Applicant, Corporate Officer or Other Authorized Representative)

SWORN TO ME THIS 30th DAY OF May 2014

Caroline G. Harris

Print Name

Partner, Goldman Harris LLC

Title

NOTARY PUBLIC

BARBARA T. CHMIELEWSKA
Notary Public, State of New York
No. 0100070950

Qualification expires: June 2, 2015
Commission Expires: June 2, 2015

June 5, 2014

STATEMENT OF FACTS AND FINDINGS

**Re: Variance Application
11 Avenue C, Manhattan
Block 384, Lot 33**

I. INTRODUCTION

This is an application pursuant to Section 72-21 of the Zoning Resolution of the City of New York (the "ZR") on behalf of 350 East Houston LLC to facilitate the construction of a ten-story mixed-use residential building (the "Proposed Development") on the captioned property (the "Property").

The Property is a 5,874 square-foot small, narrow, irregularly shaped parcel on Avenue C, East 2nd Street, and East Houston Street. The Property is currently occupied by a Use Group 16 gasoline service station.

The Property is located entirely in an R8A zoning district and within an Inclusionary Housing Designated Area in Manhattan Community Board 3. The base maximum floor area ratio ("FAR") is 5.4, bonusable to 7.2 under the Inclusionary Housing Program.

The Proposed Development is 7.20 FAR,¹ ten-story, mixed-use residential rental building with 46 dwelling units and Use Group 6 retail at the ground floor and cellar, built full on the lot. This proposal requests variances of ZR Section 22-10 (Uses permitted as-of-right) and Section 23-145 (Lot coverage for Quality Housing Buildings). The requested variances are necessary due to the uniquely small, narrow and irregular shape of the Property, as well as unique subsurface conditions.

¹ Under the provisions of Section 23-90 of the Zoning Resolution of the City of New York (the "Zoning Resolution"), the base maximum residential floor area ratio ("FAR") for the Property is 5.4, which may be increased up to a maximum FAR of 7.2 through either the provision of affordable housing onsite, or the purchase of bonus development rights from a qualified generating site. It is intended that the floor area of the Proposed Development will be increased to 7.20 FAR through the purchase of bonus development rights.

II. STATEMENT OF FACTS

A. Property

The Property is a 5,874 square foot parcel on the block bounded by Avenue C, East 2nd Street, Avenue B, and East Houston Street. The Property is small, narrow and trapezoidal in shape. It fronts on three streets, with 122 feet of frontage on East 2nd Street, 123 feet of frontage on Houston Street, and approximately 40 feet of frontage on Avenue C. The western end of the Property is approximately 56 feet wide.

The Property is zoned R8A and currently is improved with a Use Group 16 gasoline service station that was granted a variance in 1961. This gasoline service station will be demolished in connection with the Proposed Development. The Property and improvements thereon are neither an individual landmark nor located in a historic district as designated by the New York City Landmarks Preservation Commission.

B. Neighborhood Context

The Property is located on the northern side of East Houston Street, which separates the neighborhoods of "Alphabet City" to the north (bounded by East 13th Street, Avenue D, East Houston, and Avenue A) and the Lower East Side to the south.

East Houston Street

East Houston Street was dramatically widened in the early 1930's and again in the late 1950's. Incidentally, the widening actions created five narrow, triangular shaped blocks on the north side of East Houston Street between Second Avenue and Avenue D. (See Irregular Site Study attached as **Exhibit A.**) Two of these blocks are occupied by Peretz Square and Gustave Hartman Square, both of which are public parks. One block (between First and Second Ave) is partially improved with buildings and partially occupied by First Park. The remaining two blocks (between Avenues A and B, and Avenues B and C, which is the block containing the Property) are entirely improved with buildings. These two blocks contain three irregularly shaped, trapezoidal parcels: 250 East Houston Street (Block 397, Lot 63), 310 East Houston Street (Block 384, Lot 7503) and the Property.

The block that contains the Property, Block 384, is the narrowest block with building. It contains two trapezoidal lots. 310 East Houston Street, was granted a variance for ground floor retail use (BSA Ca. No. 132-04-BZ) on the basis of its small, narrow and irregular shape. 310 East Houston Street is approximately 7,860 square feet, which is 2,000 square feet larger than the Property. The Property is the smallest of these irregularly shaped lots on both blocks.

Zoning

The Property is zoned R8A. The blocks directly north of the Property along both sides of Avenue C are zoned residential with a commercial overlay (R7A with a C2-2 overlay, and R8A with a C2-2 overlay; see Zoning Map submitted herewith). The Property is the only lot facing Avenue C without a commercial overlay, even though it has been improved with a commercial use since 1960.

The parcels on the south side of East Houston Street are located within the same R8A zoning district as the Property. The midblock portions of the blocks between Avenue B and Avenue D are zoned R8B.

Surrounding Uses, Heights and Buildings

The surrounding area is comprised of a mix of residential, commercial, and community facility uses. Avenue C is characterized by five-to-seven-story multifamily buildings with ground floor, local retail uses. The midblock portions of East 2nd and East 3rd Streets are predominantly five-to-seven-story multifamily buildings. East Houston Street easterly to FDR Drive is primarily five-to-eight-story residential buildings with a mix of auto-related and local retail uses in ground floor spaces.

There are four residential developments located near the Property that are comparable to or greater in height than the Proposed Development. A new eleven-story affordable housing development is located directly across East Houston Street to the south that was developed in 2010. A seven-story residence located to the north, across East 2nd Street, was developed in 2006. An eleven-story multifamily residential building developed in 1997 to the northeast of the Property is on the south side of East 2nd and East 3rd Streets. A new twelve-story multifamily residential building with ground

floor retail is currently under construction at the corner of East Houston Street and Avenue D.

Gustave Hartman Square, a publicly accessible open area, is located directly to the east of the Property, and Hamilton Fish Park is located cater-corner to its southeast, at the corner of Houston Street and Pitt Street (the southern continuation of Avenue C).

Traffic

East Houston Street experiences a high volume of automobile traffic. Rear yard gardens and ground floor retail uses in the buildings on the north side of East Houston Street serve as a buffer for the upper floor dwellings in those buildings. The residential uses on the block cater-corner to the northeast are either fully shielded from East Houston Street by Gustave Hartman Square or contain ground floor retail.

C. Applicable Zoning Regulations

The Property is located in a R8A zoning district and within an Inclusionary Housing designated area. The Property fronts on East 2nd Street and Avenue C, both of which are narrow streets, and East Houston Street, which is wide. Pursuant to ZR Section 22-10, Use Groups 1, 2, 3, and 4 are permitted in R8A zoning districts, but Use Group 6 commercial uses are not permitted. The Applicant seeks a waiver of the prohibition on Use Group 6.

Under the Inclusionary Housing provisions of Section 23-90 of the Zoning Resolution, the base maximum residential FAR for the Property is 5.4, which may be increased up to a maximum FAR of 7.2 through either the provision of affordable housing onsite, or the purchase of certificates for bonus development rights from a qualified generating site. It is intended that the floor area of the Proposed Development will be increased through the purchase of bonus development rights certificates.

Section 23-145 of the Zoning Resolution permits a maximum lot coverage of 80% for corner lots and 70% for through lots in R8A districts. The Applicant seeks a variance of the lot coverage requirements.

The R8A zoning district permits a maximum base height of 85', after which setbacks of ten and 15 feet are required from wide streets and narrow streets respectively. Above the maximum base height of 85 feet, a building may rise to a

maximum permitted height of 120 feet. If the variance for lot coverage is granted, the Proposed Development will meet the height and setback requirements.

No rear yard or rear yard equivalent is required. A rear yard with a depth of at least 30 feet is required pursuant to Section 23-47, except that the portions of the Property within 100 feet of the corners of Avenue C and East Houston and East 2nd Streets are not subject to rear yard regulations. The westernmost portion of the Property is a through lot that measures approximately 22 feet wide by 56 feet deep. Pursuant to Section 23-531(a) of the Zoning Resolution, in a R8A district, no rear yard regulations apply to any through lot with a maximum depth of less than 110 feet from street to street. Therefore, no rear yard is required for the entirety of the Property.

D. As-of-Right and Typical Development Schemes

Submitted herewith are architectural plans for: (1) an as-of-right building based on current site conditions (the "As-of-Right Drawings"); and (2) an as-of-right building assuming a 100-foot by 50-foot rectangular corner parcel with no physical hardship (the "Typical Development Drawings").

As-of-Right Development

As-of-right, the Property could be developed with a 6.3 FAR, ten-story, 100-foot tall Use Group 2 residential building containing 37,296.5 square feet of floor area. As shown on the As-of-Right Drawings, a conforming building would have 4,009.5 square feet on the first floor. The first floor would be occupied by six one- and two-bedroom dwelling units and a small residential lobby entered from East 2nd Street. The second through eighth floors would comprise 4,138.5 square feet each, and include a mix of one- and two-bedroom dwelling units. The ninth floor would contain 2,240 square feet with three one-bedroom dwelling units; it would have a 1,722 square-foot outdoor recreation area. The tenth floor would include 2,077.5 square feet, with two one-bedroom units featuring terraces. Tenant storage space would be located in the cellar.

Due to the unusual configuration of the Property, the lot coverage regulations significantly constrain the portion of the Property that is buildable. The resulting footprint is shallow (north to south); it would not reach a depth of 45 feet at any point. As shown on the As-of-Right Drawings, the floor plates of an as-of-right residential

building can accommodate only small, irregularly configured residential units with many acute angles. The underlying lot coverage regulations also result a zigzag strip of non-buildable land fronting on East 2nd Street. To meet the street wall requirements, a "fin wall" must be erected on Avenue C.

Height and setback regulations require a ten-foot setback from Houston Street and a 15-foot setback from Avenue C and East 2nd Street above 85 feet (the ninth floor). When on top of a base that complies with the lot coverage requirements, the height and setback regulations cause the ninth floor to become exceptionally narrow, with irregularly configured dwelling units.

Typical Development

The Typical Development would be a 7.20 FAR residential development with 41,760 zoning square feet of floor area. The Typical Development would include 12 stories and contain 51 dwelling units. It would be located on a 5,800 square-foot, rectangular corner lot and would contain a 1,200 square-foot inner court.

At a height of 80 feet (eight stories), the Typical Development would set back ten feet from a wide street and 15 feet from a narrow street. It would then rise to a maximum building height of 120 feet. The Typical Development would comply with all bulk regulations applicable to an R8A zoning district.

E. The Proposed Development

The Proposed Development would comprise a 7.20 FAR, mixed-use residential and retail development totaling 42,293 zoning square feet built full on the Property. The Proposed Development would include ten stories with ground-floor retail, accessory retail storage space in the cellar, and residential apartments above.

The first floor of the Proposed Development would contain a residential lobby, entered from East 2nd Street, and a 4,550 zoning square-foot retail space accessed from Houston Street. A 3,330 square-foot cellar for accessory storage would be provided. The second through eighth floors would contain six units each comprising one- and two-bedroom units.

The ninth and tenth floors would each contain one one-bedroom and one two-bedroom unit, and the ninth floor would feature a 2,812 square-foot outdoor recreation

area that complies with Quality Housing Program regulations. The total dwelling unit count for the Proposed Development, therefore, is 46 dwelling units. Although the units will not be rectangular, their increased width mitigates their acute angular shape.

Waiver of Use Regulations: Because retail use is not permitted in the R8A zoning district on an as-of-right basis, a variance of ZR Section 22-10 (Uses permitted as-of-right) is requested to permit the proposed Use Group 6 commercial space on the ground floor and a portion of the cellar.

Waiver of Lot Coverage Regulations: As the Proposed Development would be built full on the zoning lot, a variance of ZR Section 23-145 (Lot coverage for Quality Housing Buildings) is requested.

F. Department of Buildings & Violations

The New York City Department of Buildings issued the following objections, dated May 6, 2014, with respect to the Proposed Development:

1. ZR 22-10: Proposed use group 6 is not permitted as-of-right in an R8A district.
2. ZR 23-145: Proposed lot coverage (corner lot and through lot portion) exceeds the maximum permitted, and therefore is contrary to ZR 23-145.

The attached printout from the online records of the Department of Buildings shows that there are no outstanding violations of record against the Property as of the date hereof.

G. Prior Actions by the Board

In 1960, the Board permitted the use of the Property for a gasoline service station for a term of 20 years (381-60-BZ). The Board amended the site plan in 1961 and 1975, and amended the resolution in 1982 to allow for a "self-service" operation. The term of the variance was extended a number of times and lapsed in 1995. The Property continued to be used as a self-service automotive service station, and the variance was re-established in 2000 (130-99-BZ) pursuant to Section 11-411 of the Zoning Resolution. The variance was granted for a term of ten years. The variance was renewed and amended in 2008 (55-08-BZ) and is valid until July 1, 2018.

III. FINDINGS PURSUANT TO ZONING RESOLUTION SECTION 72-21

Pursuant to ZR §72-21, the Board has the authority to vary the strict application of zoning regulations, provided that the required findings are satisfied. Each of the necessary findings is satisfied by this application, as discussed below.

(A) UNIQUENESS

There are unique physical conditions, including irregularity, narrowness or shallowness of lot size or shape, or exceptional topographical or other physical conditions peculiar to and inherent in the particular zoning lot; and that, as a result of such unique physical conditions, practical difficulties or unnecessary hardship arise in complying strictly with the use or bulk provisions of the Resolution; and that the alleged practical difficulties or unnecessary hardship are not due to circumstances created generally by the strict application of such provisions in the neighborhood or district in which the zoning lot is located;

There are three unique physical conditions that create practical difficulty and unnecessary hardship in complying with the use and lot coverage requirements of the R8A zoning district in which the Property is located. Specifically, these are: (1) the Property's small, narrow and irregular shape; (2) a weak, liquefaction-probable layer of soil between the sidewalk grade and bedrock that necessitates a more costly and robust foundation system, and (3) subsurface contamination resulting from a documented spill that requires environmental remediation.

As a result of the unique physical conditions, unnecessary hardship arises in complying strictly with the bulk provisions of the Zoning Resolution. The grant of a variance is necessary to enable the owner of the Property to realize a reasonable return.

Lot Size and Shape

The Property is a 5,874 square-foot small, narrow, trapezoidal lot with 122 feet of frontage on East 2nd Street, 123 feet of frontage on Houston Street, and approximately 40 feet of frontage on Avenue C. The western end of the Property is approximately 56

feet wide. Due to this unusual configuration, the lot coverage regulations significantly reduce the buildable portion of the Property.

A building footprint that complies with the lot coverage regulations compromises the utility of the interior spaces due to the shallowness of the site (measured north to south). The width of an as-of-right building would range from 40 to 43 feet. Such a narrow floor plate results in inefficient interior layouts. As shown on Drawings AR-000 through AR-303, submitted herewith (the "As-of-Right Drawings"), the floor plates of an as-of-right residential building can accommodate only irregularly configured residential units that are small and have many acute angles. These units are inefficient and below market standards. The underlying lot coverage regulations also result in an unusable zigzag strip of land fronting on East 2nd Street, and require the construction of a useless "fin wall" in order to comply with the street wall requirements along Avenue C.

Above a height of 85 feet, the Zoning Resolution requires a ten-foot setback from Houston Street and a 15-foot setback from Avenue C and East 2nd Street. This setback occurs at the 9th floor. At this level, the already narrow floor plates become 25 feet thinner. Such long, narrow, irregularly configured dwelling units are even less efficient than those on the lower floor and would be difficult to market.

Subsurface Conditions

The Property is burdened by two unique subsurface conditions. First, the liquefaction potential of its underlying soil necessitates a more costly deep foundation system, and, combined with the Property's narrow and irregular shape, requires additional lateral bracing. Second, the presence of subsurface contamination requires further excavation and environmental remediation measures than would be necessary for a typical site.

Liquefaction Potential

A Geotechnical Memorandum was prepared by JZN Engineering (dated May 2014 and submitted herewith; the "JZN Memo") to review the soil conditions on the Property. The JZN Memo describes a zone of probable liquefaction below the groundwater table and up to 50 feet below the ground surface. Soil liquefaction occurs when a saturated or partially saturated soil loses strength in response to an applied

stress, such as seismic activity. As a result of an applied stress, the granular soil will act more like a liquid than a solid, thereby jeopardizing the load-bearing capacity of a foundation system. The piles for the As-of-Right and the Proposed Development would therefore need to be deep enough to extend through the liquefiable zone, as they cannot rely on friction between the soil and pile within the liquefiable zone. In this case, the Piles must extend 90 to 100 feet to bedrock. These longer piles are more costly than typical piles.

The combination of liquefiable soil condition with the Property's narrow, trapezoidal profile magnifies the overturning or "foundation uplift" forces during a seismic event. The foundational uplift requires that the deep foundation be laterally braced, requiring additional lateral support, especially for the As-of-Right Development. These are an added expense. According to the Structural Report prepared by Anastos Engineering, dated May 27, 2014, and submitted herewith (the "Anastos Memo"), the As-of-Right Development would be subject to a maximum foundation uplift load of 762.29 kips.² It would therefore require additional steel reinforcement in the west sheer and increased lateral bracing at the foundation level.

In contrast, the Proposed Development, with its higher lot coverage and slightly more squat footprint, is subject to a lower maximum foundation uplift load of 607.05 kips, necessitating less lateral reinforcement and representing a cost savings. A typical corner site would not require lateral bracing.

Subsurface Contamination

The Property is further burdened by subsurface contamination, which requires additional excavation and remediation measures that would not apply to a typical, clean site. The Property has been occupied by a gasoline service station since 1961. In May 1990, the New York State Department of Environmental Conservation ("NYSDEC") was notified of a release as a result of an underground storage tank ("UST") tank test failure. A spill case number (9-001894) was assigned to the Property by NYSDEC and the spill remains open. NYSDEC also assigned a petroleum bulk storage number (2-157872) to the Property for the registration of 21 active USTs.

² A kip is a non-SI engineering unit of measurement representing 1,000 pounds of force.

As described in the Limited Soil Investigation Report prepared by Emteque LLC (the "Emteque Report") and submitted herewith, the soil sample analyses revealed that the VOC n-butylbenzene and SVOC naphthalene were detected in one or more soil samples exceeding NYSDEC regulatory standards. In addition, the metals copper, lead, and zinc and certain pesticides also were detected in one or more soil samples above their respective regulatory standards.

As a result of these environmental conditions, development of the Property must include additional soil excavation and remediation measures than would be required to accommodate a single cellar on an unburdened site. Groundwater was encountered at approximately 11 feet below grade, which is anticipated to complicate remediation efforts. The extra excavation is required in order to safely remove and dispose of potentially contaminated soil, and generates additional costs and complications relating to dewatering, dust control, soil disposal, support of excavation, backfilling, oversight, and general site work. In addition, special protective features must be incorporated into the building's design. The developer must install a vapor barrier, an active sub-slab depressurization system and similar engineering controls.

As described in the Environmental Assessment Statement ("EAS") prepared by Equity Environmental LLC and submitted herewith, remediation of the site has been overseen by the New York State Department of Environmental Conservation ("DEC") as DEC Spill No. 90-01894. DEC issued Consent Order No. 2-157872 and a Corrective Action Plan for the site on October 21, 2004. DEC has approved a Remedial Action Plan Amendment for the Property, by letter dated October 29, 2007 and a Localized Air Sparge/Soil Vapor Extraction Work Plan by letter dated February 24, 2012. The Remedial Action Plan and subsequent amendment consists of various methods to mitigate the soil vapors caused by the previous petroleum spill as reflected in the Emteque Report.

(B) REASONABLE RETURN

Because of such physical conditions there is no reasonable possibility that the development of the zoning lot in strict conformity with the provisions of this Resolution will bring a reasonable return, and that the grant of a variance is therefore necessary to enable the owner to realize a reasonable return from such zoning lot; this finding shall not be required for the granting of a variance to a non-profit organization;

The Economic Analysis Report prepared by J.S. Freeman Associates, dated May 30, 2014 and submitted herewith (the "Freeman Report"), uses the capitalization of income method to determine the financial feasibility of the Proposed Development, the As-of-Right Development, and the Typical Development. The Freeman Report concludes that the As-of-Right Development will not yield a reasonable return.

As-of-Right Development

As shown on the As-of-Right Drawings, the As-of-Right Development would contain 37,296 square feet of floor area on a 5,874 square foot lot (FAR 6.53) in ten stories. It would be occupied only by conforming Use Group 2 dwelling units on the ground floor.

The Freeman Report found that the As-of-Right Development would have a total development cost of \$32,774,000, including the premium costs described below, but would have a value of capitalized net operating income of only \$29,109,000—a significantly negative net capital value of \$3,665,000. The Freeman Report concluded that the As-of-Right Development "contains significantly less value than the development cost and, therefore, would not be considered feasible."

Typical Development

The Typical Development would contain a total of 41,760 square feet of floor area on a 5,800 square foot corner lot (FAR 7.2) in 12 stories. Because the Typical Development would be built on a rectangular site with a typical width-to-depth ratio, it would have an efficient floor plan. Like the As-of-Right Development, the Typical Development would be occupied on the ground floor by conforming Use Group 2 dwelling units.

The Freeman Report found that the Typical Development would have no premium costs. It would have a total development cost of \$33,730,000, and a capitalized net operating income of \$33,727,000 resulting in a slightly negative net capital value of \$3,000. The Freeman Report concluded that because the Typical Development would have "negligibly less value than the total development cost, and therefore... would be considered feasible." However, because the Typical Development is theoretical, this development scenario only has value for comparison purposes.

Proposed Development

The Proposed Development would contain a total of 42,293 square feet of floor area on a 5,874 square foot corner lot (FAR 7.2) in ten stories. The Freeman Report found that the Proposed Development would have premium costs, but fewer than the As-of-Right Design. It would have a total development cost of \$35,350,000 and a capitalized net operating income \$35,400,000, which results in a positive net capitalized value of \$50,000. The Freeman Report found that the "Proposed Development contains slightly more value than the total development cost and is a significant improvement over the As-of-Right Development alternative."

Cost Premiums

As noted above in Finding (A), the Property has a small and irregular shape. The irregular shape of the Property results in inefficient floor plates. A rectangular site, such as that in the Typical Development, would allow for efficient floors of greater size and provide more beneficial income than the constrained floor plates of the Property.

The Property is also burdened by liquefaction-probable soil, which in combination with its narrow profile requires a deeper, more robust and, ultimately, a more costly foundation as well as supplementary structural support. Furthermore, the Property is burdened by subsurface contamination, which requires additional excavation and remediation measures.

As shown in both the Freeman Report and the Construction Cost Premium Memorandum prepared by McQuilkin Associates, dated May 23, 2014 and submitted herewith, the As-of-Right Development has premium construction costs of approximately \$2,287,476 resulting from the unique physical conditions inherent in the

Property. Compared to the Typical Development, the As-of-Right Development has \$50 per-square-foot greater construction costs due to these premiums (\$394/square-foot versus \$344/square-foot).

As documented in the WCD Group Memorandum, dated March 24, 2014 and submitted herewith, environmental mitigation results in an additional \$900,371 in premium costs.

In summary, the Freeman Report found that the total cost premiums resulting from the unique physical conditions at the Property are estimated at \$3,187,476, significantly contributing to the inability to realize a reasonable return from a development of the Property in strict conformity and compliance with the applicable provisions of the Zoning Resolution.

Apart from the premium costs, the unique shape of the Property contributes to a loss of net operating income from dwelling units. The Freeman Report found that due to the narrow and trapezoidal shape of the Property, average monthly rents for units in the As-of-Right Development were \$3,783/month for one-bedroom units and \$5,013/month for two-bedroom units. By comparison, the Typical Development, with more regularly configured units, would have average monthly rents of \$4,319/month for one-bedroom units and \$5,519/month for two-bedroom units. The Freeman Report concludes that "the value of the residential income in the As-of-Right Development does not support the cost of development."

Summary

Based on the Freeman Report, the requested variance is needed in order to enable the Applicant to make a reasonable return from a development on the Property.

(C) CHARACTER OF NEIGHBORHOOD

The variance, if granted, will not alter the essential character of the neighborhood or district in which the zoning lot is located; will not substantially impair the appropriate use or development of adjacent property; and will not be detrimental to the public welfare;

The Proposed Development will not alter the essential character of the area, or impair the permitted use or development of nearby or adjacent properties. With the exception of the requested lot coverage waiver, the Proposed Development would comply with the zoning envelope permitted by the R8A zoning district. It would contain less floor area than the maximum FAR of 7.2 and be shorter than the maximum building height of 120 feet. Owing to its location on the corner of three street frontages, the Property is well suited for a building built full to the lot lines. In fact, the requested waiver would eliminate the need to provide an 8-foot zigzag strip along the side lot line and the unusual fin wall required for an as-of-right design, which are inconsistent with the street walls of the buildings to the west. The waiver would extend the existing street wall on East 2nd Street to the eastern end of the block, which would be consistent with other street frontages in the neighborhood.

The proposed first floor commercial use would be consistent with the historic use of the Property, as well as the use and zoning of Avenue C, as described above. Anticipated tenants for the ground floor of the Proposed Development include retail or a restaurant, consistent with other local area uses and existing neighborhood character.

The proposed first floor commercial use would also create a de facto vertical buffer between the automobile traffic on East Houston Street and the residential uses on the second through ninth floors. The other residential buildings on the subject block and further west either have rear yards or ground floor commercial uses that serve as buffers from East Houston Street.

(D) SELF-CREATED HARDSHIP

The practical difficulties or unnecessary hardship claimed as a ground for a variance have not been created by the owner or by a predecessor in title; however where all other required findings are made, the purchase of a zoning lot subject to the restrictions sought to be varied shall not itself constitute a self-created hardship; and

The practical difficulties and unnecessary hardship encountered on the Property have not been created by the owner of the Property or a predecessor in title, but result from the unique subsurface conditions discussed above.

(E) MINIMUM VARIANCE

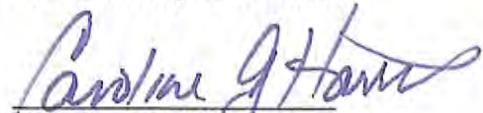
Within the intent and purposes of this Resolution the variance, if granted, is the minimum variance necessary to afford relief; and to this end, the Board may permit a lesser variance than that applied for.

The Freeman Report demonstrates that the Proposed Development is the only feasible scenario that would provide the owner of the Property with a reasonable return on investment. The return that would be derived from the Proposed Development represents a minimally acceptable return for a commercial real estate investment venture. The variances requested are no greater than is necessary to permit financing and afford relief.

IV. CONCLUSION

The five findings of ZR §72-21 are met, as demonstrated above. We respectfully request that the Board approve this application for a variance to facilitate the construction of the Proposed Development on the Property.

Respectfully submitted,


Caroline G. Harris

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U.S. AIR FORCE (AF) WFO/AFM

2016 JUN -3 A 11:11

CAL. NO.



6. Block 371, Lot 3
10 Ave. C
Lot Area: 8,292 ft.²
Public Park



**Board of Standards
and Appeals**

250 Broadway, 29th Floor
New York, NY 10007
212-386-0009 - Phone
646-500-6271 - Fax
www.nyc.gov/bsa

125-14-B 7/-

2014 JUN -5 A 11:11

AFFIDAVIT OF OWNERSHIP AND AUTHORIZATION

Affidavit of Ownership

Lloyd Goldman, being duly sworn, deposes and says that (s)he resides
at 941 Park Avenue, in the City of New York, in the County of Manhattan, in the
State of New York; that 350 East Houston LLC is the owner in fee of all that certain
lot, piece or parcel of land located in the Borough of Manhattan, in the City of New York
and known and designated as Block 384, Lot(s) 33, Street and House Number
11 Avenue C; and that the statement of facts in the annexed application are true.

Check one of the following conditions:

- ☒ Sole property owner of zoning lot
☐ Cooperative Building
☐ Condominium Building
☐ Zoning lot contains more than one tax lot and property owner

Owner's Authorization

The owner identified above hereby authorizes GoldmanHarris LLC
to make the annexed application in her/his behalf.

Signature of Owner

Print Name

Print Title

[Signature]
Lloyd Goldman
President

Sworn to before me this 16th day

of APRIL 2 2014

[Signature]

JEANNINE CACACE
Notary Public, State of New York
No. 01CA6087741
Qualified in Richmond County
Commission Expires Feb. 24, 2015



1 25 - 1 4 - B 7 -

NYC Development Hub
Department of Buildings
80 Centre Street
Third Floor
New York, New York 10013
nycdevelopmenthub@buildings.nyc.gov

2010 JUL -5 A 11:11

CAL. NO.

Notice of Comments

Owner: KEVIN TARTAGLIONE

Date: 05-06-14

Job Application #: 121185092

Applicant: LANCE BLAKE

Application type: NEW BUILDING

Premises Address: 251 EAST 2 STREET

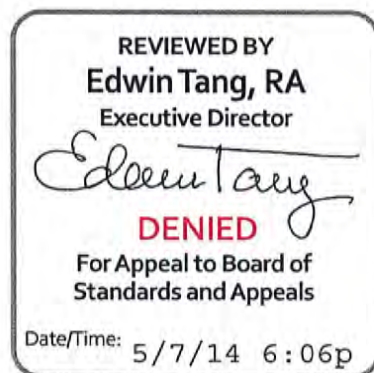
Zoning District: R8A

Block: 384 Lot: 33 Doc(s):

Lead Plan Examiner at NYC Development Hub: Damian Titus

Examiner's Signature:

Obj. #	Doc #	Section of Code	Comments	Date Resolved	Comments
1.	01	ZR 22-10	Proposed use group 6 is not permitted as-of-right in an R8A district as per ZR 22-10.		
2.	01	ZR 23-145	Proposed lot coverage (corner lot and through lot portion) exceeds the maximum permitted, and therefore is contrary to ZR 23-145.		





Certificate of Occupancy

CO Number: 110100774F

This certifies that the premises described herein conforms substantially to the approved plans and specifications and to the requirements of all applicable laws, rules and regulations for the uses and occupancies specified. No change of use or occupancy shall be made unless a new Certificate of Occupancy is issued. *This document or a copy shall be available for inspection at the building at all reasonable times.*

A. Borough: Manhattan Address: 350 EAST HOUSTON STREET Building Identification Number (BIN): 1004586	Block Number: 00384 Lot Number(s): 33 Building Type: Altered	Certificate Type: Final Effective Date: 11/26/2008
<i>For zoning lot metes & bounds, please see BISWeb.</i>		
B. Construction classification: 3 (Prior to 1968 Code) Building Occupancy Group classification: E (1968 Code) Multiple Dwelling Law Classification: None		
No. of stories: 1 Height in feet: 14 No. of dwelling units: 0		
C. Fire Protection Equipment: None associated with this filing.		
D. Type and number of open spaces: None associated with this filing.		
E. This Certificate is issued with the following legal limitations: None		
Borough Comments: None		

Borough Commissioner

Commissioner

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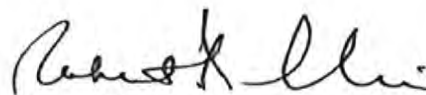
Certificate of Occupancy

CO Number: 110100774F

Permissible Use and Occupancy						
All Building Code occupancy group designations are 1968 designations, except RES, COM, or PUB which are 1938 Building Code occupancy group designations.						
Floor From To	Maximum persons permitted	Live load lbs per sq. ft.	Building Code occupancy group	Dwelling or Rooming Units	Zoning use group	Description of use
001	5	OG			16B	GASOLINE SERVICE STATION,LUBRITION,MINOR AUTO REPAIRS,CAR WASHINE (NON-AUTOMATIC OFFICE AND SALES,STORAGE ROOM AND PARKING AND STORAGE OR MOTOR VEHICLES IN OPEN AREA ALL IN AACORDANCE WITH BOARD OF STANDARDS AND APPEALSCAL.#55-08 BZ ON CONDITION THAT: -THIS PERMIT SHALL BE FOR A TERM OF 10 YEARS TO EXPIRE ON JULY 2018 -THE LOFT SHALL KEPT FREE OF GRAFFITI,DIRT AND DEBRIS
END OF SECTION						



Borough Commissioner



Commissioner

END OF DOCUMENT

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ECONOMIC ANALYSIS REPORT

11 AVENUE C

NEW YORK, NEW YORK

**BLDG Management Co., Inc.
May 30, 2014**

**J.S. Freeman Associates, Inc.
132 Nassau Street, Suite 1220
New York, New York 10038**

1.00 Scope of Report

The purpose of this Report is to analyze the feasibility of three alternatives for the development of a site located at 11 Avenue C, New York, New York. The alternatives considered include: 1) the As of Right Development (“As of Right Development”); 2) the Typical As of Right Development (“Typical As of Right Development”); and 3) the Proposed Development (“Proposed Development”). The Proposed Development option requires approval from the Board of Standards and Appeals.

The report includes detailed financial schedules that compare the ability of each development alternative to provide an acceptable return on the investment required to facilitate development. A summary of the economic characteristics of the As of Right Development and Proposed Development alternatives, including projected cash flows, and development costs, may be found on Schedules A and B.

Recent, verifiable comparable land sales were reviewed to establish the market in the vicinity of the subject property. A schedule of this review may be found as Schedule C.

Recent, verifiable retail rents were reviewed to establish the potential space market in the vicinity of the subject property. A schedule of this review may be found as Schedule D.

Recent, verifiable rental apartments were reviewed to establish the potential market in the vicinity of the subject property. A schedule of this review may be found as Schedule E.

Financial feasibility, that is the ability to provide the developer and investor with the return of, and a reasonable return on capital invested, was analyzed for each alternative using actual and estimated costs, for acquisition, hard and soft construction costs and building operating expenses. These assumptions are detailed in subsequent sections of this Report.

1.10 Description of Property and Project Area

The subject property is an irregularly shaped lot located at 11 Avenue C (Block 384, Lot 33) with frontage on three streets: approximately 122 feet of frontage along East 2nd Street, approximately 40 feet of frontage along Avenue C and approximately 123 feet of frontage along East Houston Street. The site has approximately 56 feet of depth along the adjacent five-story residential building. The site has an area of approximately 5,874 sq. ft. There is an existing gas station on the site.

The subject property is located in Manhattan Community Board #3. The East Village community is composed of a mix of rental and condominium apartment buildings, along with a variety of ground floor commercial uses, and mixed-use. The immediate vicinity of the site is mixed residential and commercial.

1.20 Zoning Regulations

The present zoning for the property is R8A. The property is located within an Inclusionary Housing Designated area.

The current base floor area ratio (FAR) permitted by the Zoning Resolution for this district is 5.40, which allows a bonus up to an FAR of 7.20, pursuant to the IH Regulations of Section 23-90 of the ZR. For residential use, the maximum developable square footage permitted by R8A regulations for this site is 7.20 x 5,874.3 sq. ft. (total site area), which yields an allowable zoning floor area of 42,295 sq. ft.

Under the Proposed Development, the zoning floor area would be 42,293 sq.ft., of which, 4,550 sq.ft. would be commercial. The proposed development requires approval by the Board of Standards and Appeals to allow commercial use.

1.30 Property Ownership

350 East Houston, LLC owns the subject property.

The property is tentatively assessed in the 2014/15-tax year as follows:

	<u>Land</u>	<u>Total</u>
Target	\$385,200	\$688,950
Transitional	\$385,173	\$612,963

At a Class 4 tax rate of 10.323%, taxes on the property are estimated at \$63,276/year as per the NYC Department of Finance website.

The applicant in this BSA case is Caroline Harris, Esq. of Goldman Harris, LLP on behalf of 350 East Houston, LLC.

1.40 Development Alternatives

The alternatives analyzed include the As of Right Development, Typical As of Right and Proposed Development.

1.41 As of Right Development

The As of Right Development alternative would consist of new construction of a ten story residential development with the following program:

The ground floor through tenth floors would have 41,270 sq.ft. of gross residential space. There would be six apartments per floor on floors ground through eight; three apartments on the ninth floor and two apartments on the tenth floor for a total of 53 apartments and a total

rentable area of 35,009 sq.ft. There would be 45 one bedroom apartments and eight two bedroom apartments. The average apartment size would be 661 sq.ft. The gross built area of this alternative would be 41,270 sq. ft. not including the cellar. The zoning floor area for this development would be 37,295 sq. ft. The F.A.R. for the As of Right Development would be 6.35.

This development program is referred to as the "As of Right Development".

1.42 Typical As of Right Development

The Typical As of Right Development alternative would consist of new construction of a regularly shaped twelve story residential development that would have a lot area of 5,800 sq.ft. and assumed to be on a corner lot. The Typical As of Right Development would have the following program:

The ground floor through twelfth floors would have 50,255 sq.ft. of gross residential space. There would be five apartments per floor on floors ground through eight; three apartments per floor on floors nine through eleven; and two apartments on the twelfth floor for a total of 51 apartments and a total rentable area of 37,689 sq.ft. There would be 37 one bedroom apartments and 14 two bedroom apartments. The average apartment size would be 768 sq.ft. The gross built area of this alternative would be 50,255 sq. ft. not including the cellar. The zoning floor area for this development would be 41,760 sq. ft. The F.A.R. for the Typical As of Right Development would be 7.20.

This development program is referred to as the "Typical As of Right Development".

1.43 Proposed Development

The Proposed Development alternative would consist of new construction of a ten story mixed-use building with the following program:

The ground floor would have 4,550 sq.ft. of retail along with 3,330 sq.ft. of retail storage in the cellar. The second through ninth floor would have 43,786 sq.ft. of gross residential space. There would be six apartments per floor on floors two through eight and two apartments per floor on floors nine and ten for a total of 46 apartments and a total rentable area of 35,351 sq.ft. There would be 30 one bedroom apartments and 16 two bedroom apartments. The average apartment size would be 768 sq.ft.

The total gross built area would be 49,442 sq. ft. The total zoning floor area for this development would be 42,293 sq. ft. The F.A.R. for the Proposed Development would be 7.20.

This development program would require a variance from the Board of Standards and Appeals and is referred to as the "Proposed Development".

2.00 Methodology

2.10 Value of the Vacant Land

The value of the property was estimated based on comparison with recent sales of similar properties.

The subject property contains approximately 5,874 sq. ft. of land area.

In order to estimate the value of the land under consideration, recent sales prices for comparable properties in similar residential zones and in geographic proximity within Manhattan were reviewed. Five appropriate sales were identified. A site visit to each property was made and location, condition and sales price data were compared. A schedule of the comparable sales is attached as Schedule C.

When adjusted for comparability, existing building sales ranged from \$207/sq.ft. of development area to \$327/sq. ft. with an average of \$255/sq.ft. For purposes of this analysis, a value of \$250/sq. ft. or slightly below average was used. The site area is approximately 5,874 sq. ft. with a base FAR of 5.40 the potential zoning floor area of 31,720 sq. ft. Therefore, the value of the site is estimated at \$7,930,000.

2.11 Value of Inclusionary Housing Bonus Floor Area

In order for the development alternatives to develop to an FAR over 5.40, inclusionary housing bonus floor area would need to be purchased. In order to estimate the value of the development rights under consideration transferred development rights transactions were researched throughout Manhattan to determine an appropriate ratio of value compared to vacant land sales.

As seen in Schedule C1, transferred development rights values range from 53% to 84% of price/FAR sq.ft. The average ratio of transferred development rights to price/FAR sq.ft. is 72%. For purposes of this analysis, 70% of the value of vacant land price has been utilized with a value of \$175/sq.ft.

As of Right Development

The As of Right Development has an FAR of 6.35. This is approximately 0.95 FAR over the base FAR of 5.40 and approximately 5,573 sq.ft. of inclusionary housing bonus floor area would need to be purchased to develop this alternative. Therefore, the value of the inclusionary housing bonus floor area for the As of Right Development is estimated to be 5,573 sq.ft times \$175/sq.ft. which is \$975,324.

Typical As of Right Development

The Typical As of Right Development has an FAR of 7.20. This is approximately 1.80 FAR over the base FAR of 5.40 and approximately 10,440 sq.ft. of inclusionary housing bonus floor area would need to be purchased to develop this alternative. Therefore, the value of the inclusionary housing bonus floor area for the Typical As of Right Development is estimated to be 10,440 sq.ft times \$175/sq.ft. which is \$1,827,000.

Proposed Development

The Proposed Development has an FAR of 7.20. This is approximately 1.80 FAR over the base FAR of 5.40 and approximately 10,572 sq.ft. of inclusionary housing bonus floor area would need to be purchased to develop this alternative. Therefore, the value of the inclusionary housing bonus floor area for the Proposed Development is estimated to be 10,572 sq.ft. times \$175/sq.ft. which is \$1,850,062.

2.12 Total Value of the Property As Is

The total value of each development alternative is the sum of the vacant land and the individual cost to purchase the inclusionary housing bonus floor area.

As of Right Development

The total acquisition cost of the As of Right Development is \$7,930,000 for the vacant land and \$975,000 for the inclusionary housing bonus floor area for a total value of the property of \$8,905,000.

Typical As of Right Development

The total acquisition cost of the Typical As of Right Development is \$7,930,000 for the vacant land and \$1,827,000 for the inclusionary housing bonus floor area for a total value of the property of \$9,757,000.

Proposed Development

The total acquisition cost of the Proposed Development is the \$7,930,000 for the vacant land and \$1,850,000 for the inclusionary housing bonus floor area for a total value of the property of \$9,780,000.

3.00 Economic Assumptions

An economic analysis of the three development alternatives was undertaken. As part of this analysis, a review of comparable recent retail and apartment rentals was performed. Schedule A of this Report identifies and compares the ability of each alternative to provide acceptable income to justify the capital investments required.

3.10 Development Cost Assumptions

Development Costs consist of Acquisition Costs, as described in Section 2.00, above; Hard Construction Costs for specific improvements; and Soft Costs including construction loan interest, professional and other fees, property and other taxes and miscellaneous development related expenses incurred during the construction period.

Development related soft costs for the alternatives were estimated based on typical expenses incurred for similar types of development.

The architectural firm, Rotwein + Blake has provided plans for each development alternative and construction cost estimates have been provided by McQuilkin Associates, LLC. The construction cost estimates are attached as Exhibit "A" to this Report.

The estimated hard construction cost for the As of Right Development is \$18,106,660. The work includes residential core and shell, electrical, mechanical and elevator systems as well as residential lobbies. Apartment interiors include kitchen appliances, bathrooms and high end finishes. The estimated hard construction cost for the As of Right Development includes premium costs.

The estimated hard construction cost for the Typical As of Right Development is \$18,927,838. The work includes residential core and shell, electrical, mechanical and elevator systems as well as residential lobbies. Apartment interiors include kitchen appliances, bathrooms and high end finishes. The estimated hard construction cost for the Typical As of Right Development has no premium costs.

The estimated hard construction cost for the Proposed Development is \$19,313,581. The work includes residential core and shell, electrical, mechanical and elevator systems as well as residential lobbies. Apartment interiors include kitchen appliances, bathrooms and high end finishes. The estimated hard construction cost for the Proposed Development includes premium costs.

Based on our review, the cost estimates provided by McQuilkin Associates, LLC can be considered within the reasonable range for comparable construction and finishes for this type of project, taking into account the cost premiums resulting from the property's unique physical conditions.

3.20 Financing Assumptions

Typically, construction loan interest rates are indexed to the Prime Rate, at a variable index related to the type of project and its inherent risks. As of the Report's date, the Prime Rate was an unusually low 3.25%, which cannot be reasonably assumed to remain in effect during the development's projected timeframe. Therefore, 5.00% was used as the construction loan rate for the analysis.

Long-term mortgage financing rates are incorporated in the determination of the capitalization rate referenced in section 4.30 of this report. No further consideration of long-term mortgage financing rates is assumed.

3.30 Real Estate Tax Assumptions

Current taxes were assumed as a base for the construction periods for each alternative.

Current taxes, for the assumed construction period, are included as a development cost.

3.40 Expense Assumptions

Operating characteristics for similar projects were reviewed. Expenses for the residential units are consistent with expenses for similar properties.

3.60 Retail Rents

Retail rents in the East Village and surrounding neighborhoods of Manhattan were reviewed.

As identified in Schedule D, adjusted rents are in the \$55/sq. ft. to \$63/sq. ft. range for comparable retail space, with an average of \$61/sq. ft. For purposes of the analysis, \$60/sq. ft., or slightly below average, has been used for ground floor retail space and \$20/sq.ft. has been used for cellar retail storage space.

3.70 Rental Apartments

A review of apartments in the East Village and surrounding neighborhood of Manhattan were reviewed. Comparable apartments have been used, and appropriate adjustments made to account for their location and other pertinent factors. In estimating the potential rental prices for the development alternatives, adjustments to rental rates were made for time, building location and location of unit within the building, size and level of finish.

Attached as Schedule E, are comparable recent apartment rents within the East Village market. Appropriate adjustments were made to the comparable apartment rents to account for their location and other pertinent factors. The comparables for one bedroom apartments

range in the \$3,308/month to \$4,714/month with an average of \$3,582; the comparables for two bedroom apartments range in the \$4,000/month to \$6,210/month with an average of \$4,838.

Pricing for each unit in the development alternatives was estimated based on the adjusted comparable rentals contained in Schedule E. The attached Schedules E1, E2 and E3 identify these estimated rental prices.

4.00 Consideration

4.10 Property Acquisition

Based on our market review, the estimated price is within the observed market range, taking into account the special features and conditions regarding the subject property as noted in Section 2.10. Economic feasibility issues regarding the project are not, therefore, a result of the estimated value of the property.

4.20 Unique Site Conditions

The unique physical site conditions of the site have a significant impact on the economic feasibility of conforming use for several reasons.

Environmental Cost Premiums

Unique environmental conditions which have an effect on construction costs are documented in the report of WCD Group, attached as Exhibit B to this Report. As described in the WCD Group report, the remediation on site is estimated to be \$900,371.

Construction Cost Premiums

As seen in the attached McQuilkin Associates, LLC memo, attached as Exhibit C to this Report, the cost premiums associated with the As of Right Development when compared to the Typical As of Right Development is a result of the liquefaction probable soil, deep piles, supplementary structural support and site configuration. The As of Right Development has a construction cost of \$18,106,660 which is approximately \$394/sq.ft., while the Typical As of Right Development has a construction cost of \$18,927,838 which is approximately \$344/sq.ft. On a \$/sq.ft. basis there is a significant difference between the As of Right Development and the Typical As of Right Development.

As noted in the McQuilkin Associates, LLC comparison document:

“By multiplying the Actual AOR area (45,986 SF) by the Cost/SF of the Typical AOR (\$344/SF), we ascertain the non-premium construction cost of our Actual AOR Building to be (\$15,819,184).

To calculate the construction cost premium associated with our Actual AOR building. We deduct the non-premium construction cost (\$15,819,184) from the Actual AOR construction cost (\$18,106,660) resulting in a construction cost premium of \$2,287,476.”

The As of Right Development is slightly smaller, but costs more on a price per sq.ft. basis because the premium costs and the conditions affecting the value cannot be spread over a larger building.

Total Cost Premium

The total cost premium consists of the sum of the environmental cost premium of \$900,371 and the construction cost premium, identified in the McQuilkin Associates comparison of \$2,287,476. Therefore, the total cost premium is \$3,187,476.

Site Conditions Affecting Value

The unique shape of the lot with its varying width does not provide for an efficient floor plate for a complying residential development. The unique shape results in an As of Right building with a floor plate of 4,561 sq.ft. and a useable square footage of 3,930 sq.ft. per floor. The small and odd shape of the floorplate generates an economically inefficient relationship between the size of the core (elevator and stairs) and rentable area. A building having a floorplate of twice the size could easily be served by a core of almost the same size.

In addition, the trapezoidal shape of the lot creates units in the As of Right Development, which generate less income when compared with the Typical As of Right Development. As seen in the pricing schedules, the average monthly rents for one bedrooms in the As of Right is \$3,783/month and an average of \$5,013/month for two bedrooms. The Typical As of Right with its more regularly configured units has an average monthly rents for one bedrooms of \$4,319/month and an average of \$5,519/month for two bedrooms. As a result of the deficient income, the value of the income from the apartments in the As of Right Development is significantly less than the value of the income from the apartments in the Typical As of Right Development. Therefore, the value of the residential income in the As of Right Development does not support the cost of development.

The As of Right Development is limited in other ways when compared to the Typical Development. In a Typical Development, without the limitations of the unique site conditions, two additional floors could be built. There is a larger percentage of regularly configured two bedroom apartments and approximately 8,985 sq.ft. of additional gross floor area and approximately 4,159 sq.ft. of additional rentable floor area could be built.

4.30 Feasibility Analysis

We have used the capitalization of income method to determine the development alternatives value and feasibility. This method capitalizes the net operating income, which is the sum of all rents less commission and expenses. For purposes of our analyses, capitalization rates are based on a survey of lenders and investors taken by RealtyRates.com in the 2nd quarter of 2014, which includes both lender and investor expectations, attached as Exhibit C. The Lower East Side can be considered a strong residential market area for residential rental projects. Therefore, for purposes of the development alternatives contained in this Report, a capitalization rate of 5.50% has been utilized for the development alternatives. This is at the low end of the range of cap rates identified by RealtyRates for these types of projects.

The feasibility of the development is determined by comparing the value created by capitalizing the net operating income with the cost of development, including land acquisition, holding and preparation costs, hard construction cost and development related soft costs. When the capitalized value is approximately equal to the total development cost then the project is feasible. When the capitalized value is significantly less than the total development cost, it is not a feasible project.

A project value which is equal to or not significantly more or less than the total development cost would meet the minimum acceptable return on investment generally acceptable as the minimum variance standard of the Board of Standards and Appeals.

4.40 As of Right Development

Using the capitalization of income method, as shown in the attached Schedule A, the capitalized value determined by the analysis for the As of Right Development is \$29,109,000.

As shown in the attached Schedule A, the total development cost, including estimated property value, hard construction costs and soft costs, for the As of Right Development is estimated to be \$32,774,000.

The difference between the value of the capitalized net operating income of \$29,109,000 and the development cost of \$32,774,000 is (\$3,665,000). The As of Right Development contains significantly less value than the total development cost and, therefore, would not be considered feasible.

4.50 Typical As of Right Development

Using the capitalization of income method, as shown in the attached Schedule A, the capitalized value determined by the analysis for the Typical As of Right Development is \$33,727,000.

As shown in the attached Schedule A, the total development cost, including estimated property value, hard construction costs and soft costs, for the Typical As of Right Development is estimated to be \$33,730,000.

The difference between the value of the capitalized net operating income of \$33,727,000 and the development cost of \$33,730,000 is (\$3,000). The Typical As of Right Development contains negligibly less value than the total development cost and, therefore a project of this size would be considered feasible.

4.60 Proposed Development

Using the capitalization of income method, as shown in the attached Schedule A, the capitalized value of the Net Operating Income determined by the analysis for the Proposed Development is \$35,400,000.

As shown in the attached Schedule A, the total development cost, including estimated property value, hard construction costs and soft costs, for the Proposed Development is estimated to be \$35,350,000.

The difference between the value of the capitalized net operating income of \$35,400,000 and the development cost of \$35,350,000 is \$50,000. The Proposed Development contains slightly more value than the total development cost and is a significant improvement over the As of Right Development alternative.

5.00 Conclusion

Using the capitalization of income, the Proposed Development contains slightly more value than the total development cost. Although this slightly positive value is at the threshold of economic feasibility, taking into account the current investment in the property and the lack of alternative development opportunities, the Proposed Development would meet the minimum return on investment criteria of the Board of Standards and Appeals.

The As of Right Development contains significantly less value than development cost and would not be considered feasible.

6.00 Professional Qualifications

A statement of my professional qualifications is attached. Please note that I am independent of the subject property's owner and have no legal or financial interest in the subject property.

SCHEDULE A: DEVELOPMENT ANALYSIS

	AS OF RIGHT RESIDENTIAL DEVELOPMENT	TYPICAL AS OF RIGHT DEVELOPMENT	PROPOSED RESIDENTIAL DEVELOPMENT
BUILDING AREA (SQ.FT.)			
RENTABLE RESIDENTIAL AREA	35,009	39,168	44,892
RETAIL AREA	NA	NA	7,880
TOTAL AREA	45,831	50,255	55,316
CAPITAL INVESTMENT SUMMARY			
LAND PURCHASE COST	\$7,930,000	\$7,930,000	\$7,930,000
IH BONUS PURCHASE COST	\$975,000	\$1,827,000	\$1,850,000
HOLDING & PREP. COSTS	\$900,000	\$0	\$900,000
BASE CONSTRUCTION COSTS	\$18,107,000	\$18,928,000	\$19,314,000
SOFT CONSTRUCTION COSTS	\$4,862,000	\$5,045,000	\$5,356,000
	\$32,774,000	\$33,730,000	\$35,350,000
PROJECT VALUE			
RESIDENTIAL INCOME	\$2,524,000	\$2,848,000	\$2,575,000
RETAIL INCOME	NA	NA	\$340,000
GROSS INCOME	\$2,524,000	\$2,848,000	\$2,915,000
(less)VACANCY (@ 2/10%)	(\$50,000)	(\$57,000)	(\$86,000)
EFFECTIVE INCOME	\$2,524,000	\$2,791,000	\$2,829,000
(less)M&O EXPENSES	(\$352,000)	(\$351,000)	(\$339,000)
(less)WATER & SEWER	(\$16,000)	(\$15,000)	(\$14,000)
(less)R.E. TAXES	(\$505,000)	(\$570,000)	(\$529,000)
NET OPERATING INCOME	\$1,601,000	\$1,855,000	\$1,947,000
CAPITALIZED VALUE OF NOI @ 5.50%	\$29,109,000	\$33,727,000	\$35,400,000
FEASIBILITY ANALYSIS			
PROJECT VALUE @ CAP RATE = 5.50%	\$29,109,000	\$33,727,000	\$35,400,000
PROJECT DEVELOPMENT COST	\$32,774,000	\$33,730,000	\$35,350,000
PROJECT VALUE (less) PROJECT DEVELOPMENT COST	(\$3,665,000)	(\$3,000)	\$50,000

NOTE : ALL \$ FIGURES ROUNDED TO NEAREST THOUSAND

SCHEDULE B : DEVELOPMENT COSTS

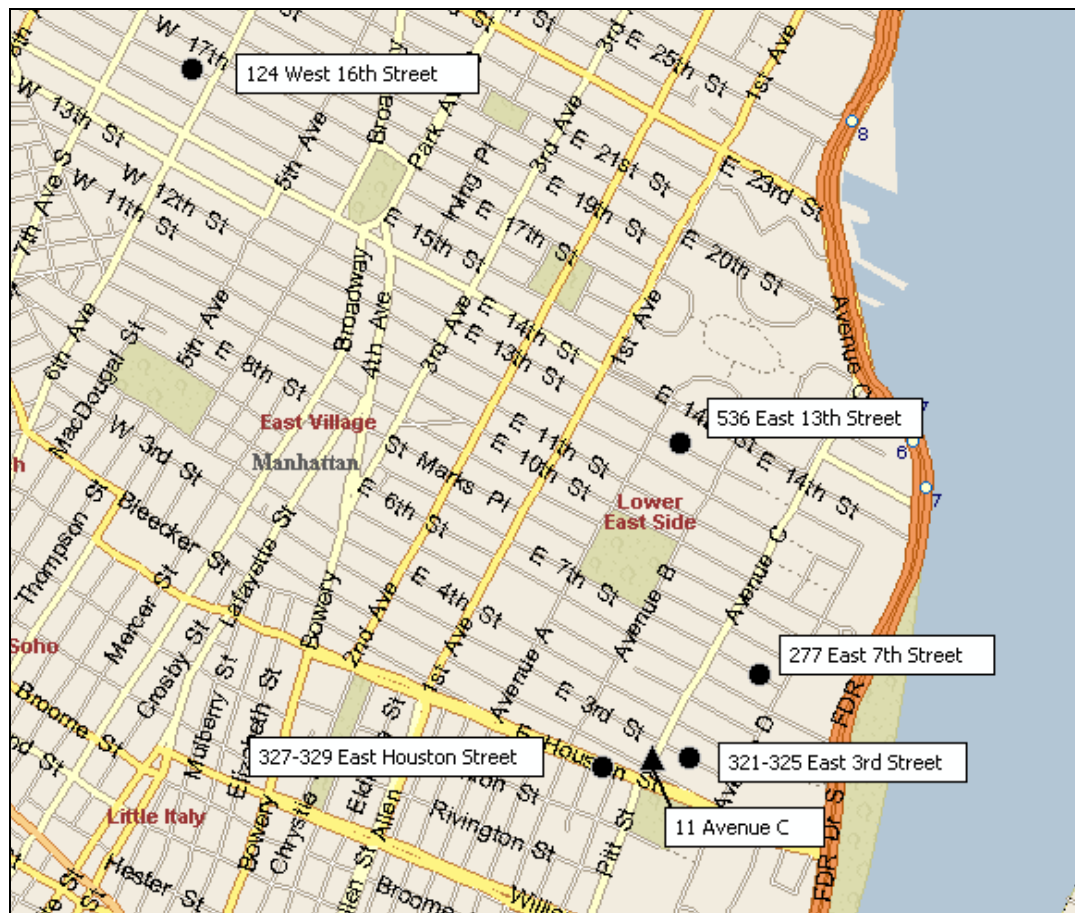
		AS OF RIGHT DEVELOPMENT	TYPICAL AS OF RIGHT DEVELOPMENT	PROPOSED DEVELOPMENT
DEVELOPMENT COST SUMMARY				
LAND PURCHASE COST		\$7,930,000	\$7,930,000	\$7,930,000
IH BONUS PURCHASE COST		\$975,000	\$1,827,000	\$1,850,000
HOLDING & PREP. COSTS:		\$900,000	\$1,827,000	\$900,000
BASE CONSTRUCTION COSTS		\$18,107,000	\$18,928,000	\$19,314,000
EST.SOFT COSTS		\$4,862,000	\$5,045,000	\$5,356,000
EST. TOTAL DEV.COSTS		\$32,774,000	\$33,730,000	\$35,350,000
ACQUISITION COSTS :				
Land Purchase Price		\$7,930,000	\$7,930,000	\$7,930,000
IH Bonus Floor Area Purchase Price		\$975,000	\$1,827,000	\$1,850,000
TOTAL LAND VALUE		\$8,905,000	\$9,757,000	\$9,780,000
HOLDING & PREP. COSTS:		\$900,000	\$0	\$900,000
BASE CONSTRUCTION COSTS :		\$18,107,000	\$18,928,000	\$19,314,000
EST.CONST.LOAN AMOUNT :		\$18,633,000	\$19,350,000	\$20,565,000
EST.CONST.PERIOD(MOS) :		20	18	20
EST. SOFT COSTS :				
Builder's Fee/Developer's Profit	1.50%	\$492,000	\$506,000	\$530,000
Archit.& Engin. Fees		\$1,086,000	\$1,136,000	\$1,159,000
Bank Inspect.Engin.		\$7,000	\$7,000	\$7,000
Inspections, Borings & Surveys				
Laboratory Fees	LS	\$5,000	\$5,000	\$5,000
Soil Investigation	LS	\$10,000	\$10,000	\$10,000
Preliminary Surveys	LS	\$5,000	\$5,000	\$5,000
Ongoing Surveys	LS	\$10,000	\$10,000	\$10,000
Environmental Surveys/Reports	LS	\$2,000	\$2,000	\$2,000
Controlled Inspection Fees	LS	\$75,000	\$75,000	\$75,000
Legal Fees				
Dev.Legal Fees		\$15,000	\$15,000	\$40,000
Con.Lender Legal		\$28,000	\$29,000	\$31,000
End Loan Legal		\$13,000	\$15,000	\$16,000
Permits & Approvals				
D.O.B. Fees	25.53%	\$12,000	\$13,000	\$13,000
Other		\$10,000	\$10,000	\$10,000
Accounting Fees		\$5,000	\$5,000	\$5,000
Appraisal Fees		\$8,000	\$8,000	\$8,000
Financing and Other Charges				
Con.Loan Int. @ Loan Rate =	5.00%	\$776,000	\$726,000	\$857,000
Rent-up Loan Int. @ Loan Rate =	5.00%	\$384,000	\$445,000	\$467,000
Con.Lender Fees	1.00%	\$186,000	\$194,000	\$206,000
End Loan Fee	1.00%	\$256,000	\$297,000	\$312,000
Construction Real Estate Tax		\$95,000	\$95,000	\$95,000
Rent-up Real Estate Tax		\$32,000	\$32,000	\$32,000
Title Insurance	0.33%	\$108,000	\$111,000	\$117,000
Mtge.Rec.Tax	2.75%	\$512,000	\$532,000	\$566,000
Construction Insurance	1.00%	\$272,000	\$284,000	\$290,000
Water and Sewer		\$5,000	\$5,000	\$5,000
Other		\$0	\$0	\$0
TOTAL EST.SOFT COSTS		\$4,862,000	\$5,045,000	\$5,356,000

NOTE : ALL \$ FIGURES ROUNDED TO NEAREST THOUSAND

Page 14

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Schedule C: Comparable Vacant Land Sales



Schedule C: Comparable Vacant Land Sales

1. 277 East 7th Street

This is a 2,169 sq.ft. vacant lot in a R8B zoning district. Located in the East Village neighborhood of Manhattan, the lot is located between Avenue C and Avenue D, and is approximately six blocks away from the subject property. A -5% adjustment was made for the superior location. No adjustments were made for time, size, zoning or other factors.

2. 536 East 13th Street

This is a 2,581 sq.ft. vacant lot in a R8B zoning district. Located in the East Village neighborhood of Manhattan, the lot is located between Avenue A and Avenue B, and is approximately 0.7 of a mile away from the subject property. A -10% adjustment was made for the superior location. No adjustments were made for time, size, zoning or other factors.

3. 321-325 East 3rd Street

This is a 5,770 sq.ft. vacant lot in a R8B zoning district. Located in the East Village neighborhood of Manhattan, the lot is located between Avenue C and Avenue D, and is approximately two blocks away from the subject property. A +5% adjustment was made for time. No adjustments were made for location, size, zoning or other factors.

4. 124 West 16th Street

This is a 2,581 sq.ft. vacant lot in a R8A zoning district. The existing building was demolished under NYC DOB Job # 121012000. Located in the Chelsea neighborhood of Manhattan, the lot is located between 6th and 7th Avenue, and is approximately two miles away from the subject property. A +5% adjustment was made for time and a -10% adjustment was made because the existing building needed to be demolished. No adjustments were made for location, size or zoning.

Schedule C: Comparable Vacant Land Sales

5. 327-329 East Houston Street

This is a 5,000 sq.ft. vacant lot in a R8A zoning district. Located in the East Village neighborhood of Manhattan, the lot is located between Attorney and Ridge Streets, and is approximately two blocks away from the subject property. A +5% adjustment was made for time. No adjustments were made for location, size, zoning or other factors.

Schedule C: Comparable Vacant Land Sales

1. 277 East 7th Street



2. 536 East 13th Street



Schedule C: Comparable Vacant Land Sales

3. 321-325 East 3rd Street



4. 124 West 16th Street



Schedule C: Comparable Vacant Land Sales

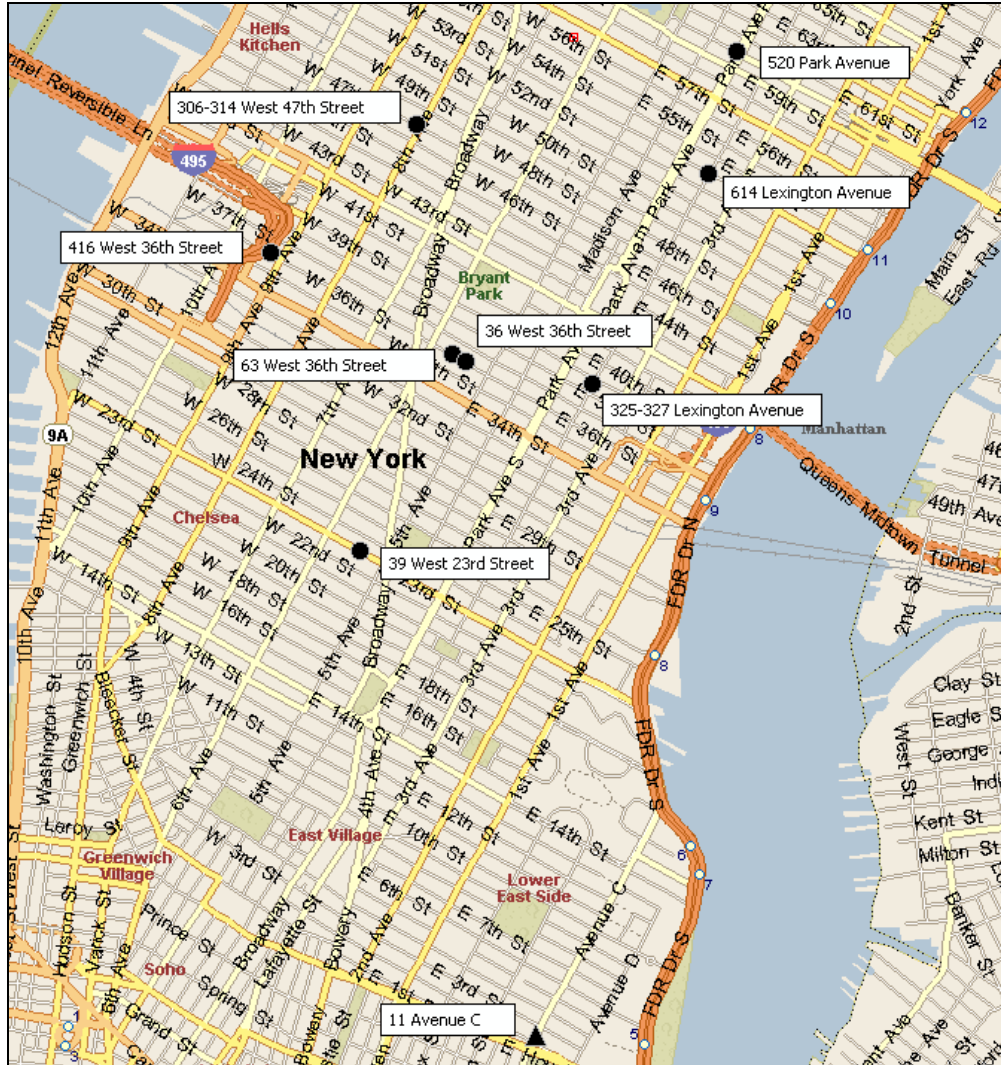
5. 327-329 East Houston Street



Date : May 30, 2014
Property : 11 Avenue C
Block : 384 Lot 33
Total Land Area : 5,874.3 sq.ft.
Zone : R8A
Page 21

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Schedule C1: Land Sales and Development Rights Comparisons



Schedule C1: Land Sales and Development Rights Comparisons

1a. 306-314 West 47th Street

This is an existing building that sold approximately 9,903 sq.ft. of development rights. Located in a R8/CL/C6-4 zoning district, it is located between 8th and 9th Avenues and is approximately 4.4 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

1b. 416 West 36th Street

This is a 2,173 sq.ft. vacant lot located in a C2-5/R8A/HY zoning district. Located between 9th and 10th Avenues it is approximately 5.2 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

2a. 520 Park Avenue

This is an existing building that sold approximately 70,659 sq.ft. of development rights. Located in a R10/PL zoning district, it is located between East 60th and East 61st Street and is approximately 3.2 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

2b. 325-327 Lexington Avenue

This is a 3,787 sq.ft. vacant lot located in a R10 zoning district. Located between East 38th and East 39th Streets it is approximately 4.4 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

3a. 63 West 36th Street

This is an existing building that sold approximately 21,065 sq.ft. of development rights. Located in a C6-6/MID zoning district, it is located between 5th and 6th Avenues and is approximately 4.8 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

Schedule C1: Land Sales and Development Rights Comparisons

3b. 614 Lexington Avenue

This is a 13,342 sq.ft. vacant lot located in a C6-6/MID zoning district. Located between East 52nd and East 53rd Streets it is approximately 3.7 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

4a. 36 West 36th Street

This is an existing building that sold approximately 7,000 sq.ft. of development rights. Located in a M1-6 zoning district, it is located between 5th and 6th Avenues and is approximately 4.7 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

4b. 39 West 23rd Street

This is a 6,541 sq.ft. vacant lot located in a M1-6 zoning district. Located between 5th and 6th Avenues it is approximately 5.3 miles away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

Schedule C1: Land Sales and Development Rights Comparisons

1a. 306-314 West 47th Street



1b. 416 West 36th Street



Schedule C1: Land Sales and Development Rights Comparison

2a. 520 Park Avenue



2b. 325-327 Lexington Avenue

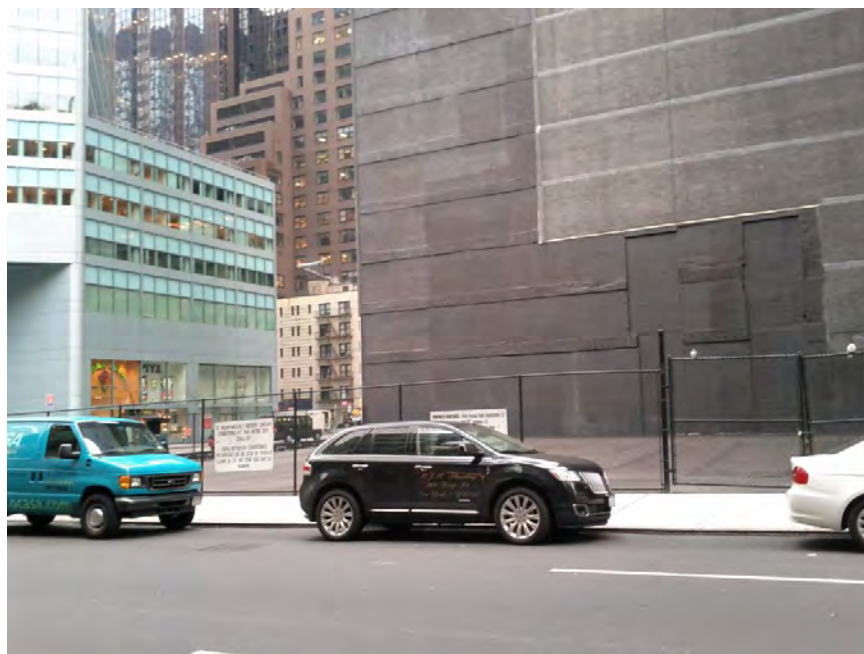


Schedule C1: Land Sales and Development Rights Comparison

3a. 63 West 36th Street



3b. 614 Lexington Avenue



Schedule C1: Land Sales and Development Rights Comparison

4a. 36 West 36th Street



4b. 39 West 23rd Street



Date : May 30, 2014
Property : 11 Avenue C
Block : 384 Lot 33
Total Land Area : 5,874.3 sq.ft.
Zone : R8A
Page 28

Property : 11 Avenue C

Total Land Area : 5,874.3 sq.ft.

Zone : R8A

Page 28

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Schedule D: Comparable Retail Rents



Schedule D: Comparable Retail Rents

1. 8-10 Avenue B

This is a 1,200 sq.ft. retail space for rent in the East Village neighborhood of Manhattan. It is located between East Houston and East 2nd Streets, and is approximately four blocks away from the subject property. A -10% adjustment was made for the small size. No adjustments were made for time, location, zoning or other factors.

2. 136 East 3rd Street

This is a 1,328 sq.ft. retail space for rent in the East Village neighborhood of Manhattan. It is located between 1st Avenue and Avenue A, and is approximately three blocks away from the subject property. A +10% adjustment was made for the inferior location and a -5% adjustment was made for the small size. No adjustments were made for time, zoning or other factors.

3. 172 Avenue B

This is a 1,600 sq.ft. retail space for rent in the East Village neighborhood of Manhattan. It is located between East 10th and East 11th Streets, and is approximately ten blocks away from the subject property. A -5% adjustment was made for the small size. No adjustments were made for time, location, zoning or other factors.

4. 128 1st Avenue

This is a 1,500 sq.ft. retail space for rent in the East Village neighborhood of Manhattan. It is located between St. Marks Place and East 9th Streets, and is approximately nine blocks away from the subject property. A -5% adjustment was made for the small size. No adjustments were made for time, location, zoning or other factors.

5. 107-109 Avenue B

This is an 1,450 sq.ft. retail space for rent in the East Village neighborhood of Manhattan. It is located between East 6th and East 7th Streets, and is approximately six blocks away from the subject property. A -5% adjustment was made for the small size. No adjustments were made for time, location, zoning or other factors.

Schedule D: Comparable Retail Rents

1. 8-10 Avenue B



2. 136 East 3rd Street



Schedule D: Comparable Retail Rents

3. 172 Avenue B



4. 128 1st Avenue



Schedule D: Comparable Retail Rents

5. 107-109 Avenue B



Date : May 30, 2014
Property : 11 Avenue C
Block : 384 Lot 33
Total Land Area : 5,874.3 sq.ft.
Zone : R8A
Page 34

<u>RENTAL LOCATION</u>	<u>DATE</u>	<u>ANNUAL RENT</u>	<u>MONTHLY RENT</u>	<u>UNIT TYPE</u>	<u>TIME</u>	<u>LOCATION</u>	<u>SIZE</u>	<u>ZONING</u>	<u>OTHER</u>	<u>COMPOS FACTOR</u>	<u>ADJUSTED MONTHLY RENT</u>
1. 62 Avenue B #1F New York, NY	Asking	\$42,000	\$3,500	1 Bd/1 Ba	1.00	1.00	1.00	1.00	1.00	1.00	\$3,500
2. 229 Chrystie Street #709 New York, NY	Asking	\$52,500	\$4,375	1 Bd/1 Ba	1.00	0.90	1.00	1.00	1.00	0.90	\$3,938
3. 250 East Houton #PHL New York, NY	Asking	\$44,100	\$3,675	1 Bd/1 Ba	1.00	0.90	1.00	1.00	1.00	0.90	\$3,308
4. 188 Ludlow Street #14G New York, NY	Asking	\$51,420	\$4,285	1 Bd/1 Ba	1.00	1.10	1.00	1.00	1.00	1.10	\$4,714
										Average	\$3,582
5. 252 East 2nd Street New York, NY	Asking	\$48,000	\$4,000	2 Bd/1 Ba	1.00	1.00	1.00	1.00	1.00	1.00	\$4,000
6. 62 Avenue B #6F New York, NY	Asking	\$60,000	\$5,000	2 Bd/2 Ba	1.00	1.00	1.00	1.00	1.00	1.00	\$5,000
7. 250 East Houston #3D New York, NY	Asking	\$55,200	\$4,600	2 Bd/2 Ba	1.00	0.90	1.00	1.00	1.00	0.90	\$4,140
8. 229 Chrystie Street #515 New York, NY	Asking	\$82,800	\$6,900	2 Bd/2 Ba	1.00	0.90	1.00	1.00	1.00	0.90	\$6,210
										Average	\$4,838
Subject Property 11 Avenue C New York, NY					1.00	1.00	1.00	1.00	1.00	1.00	(See Schedule E1, E2 & E3)

Date : May 30, 2014

Property : 11 Avenue C

Block : 384 Lot 33

Total Land Area : 5,874.3 sq.ft.

Zone : R8A

Page 35

Schedule E1: As of Right Development Apartment Pricing

<u>Floor</u>	<u>Unit</u>	<u>Size</u>	<u>\$/Month</u>	<u>\$/Year</u>		<u>Type</u>
Ground	A	418	\$ 3,655	\$ 43,860		1
	B	416	\$ 3,650	\$ 43,800		1
	C	664	\$ 3,720	\$ 44,640		1
	D	580	\$ 3,670	\$ 44,040		1
	E	583	\$ 3,675	\$ 44,100		1
	F	994	\$ 4,925	\$ 59,100		2
Two	A	595	\$ 3,700	\$ 44,400		1
	B	580	\$ 3,695	\$ 44,340		1
	C	665	\$ 3,745	\$ 44,940		1
	D	553	\$ 3,685	\$ 44,220		1
	E	544	\$ 3,680	\$ 44,160		1
	F	993	\$ 4,950	\$ 59,400		2
Three	A	595	\$ 3,725	\$ 44,700		1
	B	580	\$ 3,720	\$ 44,640		1
	C	665	\$ 3,770	\$ 45,240		1
	D	553	\$ 3,710	\$ 44,520		1
	E	544	\$ 3,705	\$ 44,460		1
	F	993	\$ 4,975	\$ 59,700		2
Four	A	595	\$ 3,750	\$ 45,000		1
	B	580	\$ 3,745	\$ 44,940		1
	C	665	\$ 3,795	\$ 45,540		1
	D	553	\$ 3,735	\$ 44,820		1
	E	544	\$ 3,730	\$ 44,760		1
	F	993	\$ 5,000	\$ 60,000		2
Five	A	595	\$ 3,775	\$ 45,300		1
	B	580	\$ 3,770	\$ 45,240		1
	C	665	\$ 3,820	\$ 45,840		1
	D	553	\$ 3,760	\$ 45,120		1
	E	544	\$ 3,755	\$ 45,060		1
	F	993	\$ 5,025	\$ 60,300		2
Six	A	595	\$ 3,800	\$ 45,600		1
	B	580	\$ 3,795	\$ 45,540		1
	C	665	\$ 3,845	\$ 46,140		1
	D	553	\$ 3,785	\$ 45,420		1
	E	544	\$ 3,780	\$ 45,360		1
	F	993	\$ 5,050	\$ 60,600		2

J.S. Freeman Associates

Date : May 30, 2014

Property : 11 Avenue C

Block : 384 Lot 33

Total Land Area : 5,874.3 sq.ft.

Zone : R8A

Page 36

Schedule E1: As of Right Development Apartment Pricing

<u>Floor</u>	<u>Unit</u>	<u>Size</u>	<u>\$/Month</u>	<u>\$/Year</u>	<u>Type</u>
Seven	A	595	\$ 3,825	\$ 45,900	1
	B	580	\$ 3,820	\$ 45,840	1
	C	665	\$ 3,870	\$ 46,440	1
	D	553	\$ 3,810	\$ 45,720	1
	E	544	\$ 3,805	\$ 45,660	1
	F	993	\$ 5,075	\$ 60,900	2
Eight	A	595	\$ 3,850	\$ 46,200	1
	B	580	\$ 3,845	\$ 46,140	1
	C	665	\$ 3,895	\$ 46,740	1
	D	553	\$ 3,835	\$ 46,020	1
	E	544	\$ 3,830	\$ 45,960	1
	F	993	\$ 5,100	\$ 61,200	2
Nine	A	684	\$ 3,925	\$ 47,100	1
	B	736	\$ 3,895	\$ 46,740	1
	C	700	\$ 3,935	\$ 47,220	1
Ten	A	1047	\$ 3,985	\$ 47,820	1
	B	677	\$ 3,950	\$ 47,400	1
Total		53	35,009	\$ 210,320	\$ 2,523,840

	<u>Count</u>	<u>Sum of Sizes</u>	<u>Average Size by Type</u>	<u>Average Per Month</u>
One Bedroom	45	27,064	601	\$3,783
Two Bedrooms	8	7,945	993	\$5,013
Total	53	35,009	661	

J.S. Freeman Associates

Date : May 30, 2014

Property : 11 Avenue C

Block : 384 Lot 33

Total Land Area : 5,874.3 sq.ft.

Zone : R8A

Page 37

Schedule E2: Typical Development Apartment Pricing

<u>Floor</u>	<u>Unit</u>	<u>Size</u>	<u>\$/Month</u>	<u>\$/Year</u>		<u>Type</u>
Ground	A	590	\$ 4,175	\$ 50,100		1
	B	616	\$ 4,185	\$ 50,220		1
	C	638	\$ 4,195	\$ 50,340		1
	D	642	\$ 4,200	\$ 50,400		1
	E	660	\$ 4,210	\$ 50,520		1
Two	A	616	\$ 4,210	\$ 50,520		1
	B	638	\$ 4,220	\$ 50,640		1
	C	706	\$ 4,250	\$ 51,000		1
	D	775	\$ 4,260	\$ 51,120		1
	E	924	\$ 5,375	\$ 64,500		2
Three	A	616	\$ 4,235	\$ 50,820		1
	B	638	\$ 4,245	\$ 50,940		1
	C	706	\$ 4,275	\$ 51,300		1
	D	775	\$ 4,285	\$ 51,420		1
	E	924	\$ 5,400	\$ 64,800		2
Four	A	616	\$ 4,260	\$ 51,120		1
	B	638	\$ 4,270	\$ 51,240		1
	C	706	\$ 4,300	\$ 51,600		1
	D	775	\$ 4,310	\$ 51,720		1
	E	924	\$ 5,425	\$ 65,100		2
Five	A	616	\$ 4,285	\$ 51,420		1
	B	638	\$ 4,295	\$ 51,540		1
	C	706	\$ 4,325	\$ 51,900		1
	D	775	\$ 4,335	\$ 52,020		1
	E	924	\$ 5,450	\$ 65,400		2
Six	A	616	\$ 4,310	\$ 51,720		1
	B	638	\$ 4,320	\$ 51,840		1
	C	706	\$ 4,350	\$ 52,200		1
	D	775	\$ 4,360	\$ 52,320		1
	E	924	\$ 5,475	\$ 65,700		2

J.S. Freeman Associates

Date : May 30, 2014

Property : 11 Avenue C

Block : 384 Lot 33

Total Land Area : 5,874.3 sq.ft.

Zone : R8A

Page 38

Schedule E2: Typical Development Apartment Pricing

<u>Floor</u>	<u>Unit</u>	<u>Size</u>	<u>\$/Month</u>	<u>\$/Year</u>		<u>Type</u>
Seven	A	616	\$ 4,335	\$ 52,020		1
	B	638	\$ 4,370	\$ 52,440		1
	C	706	\$ 4,425	\$ 53,100		1
	D	775	\$ 4,460	\$ 53,520		1
	E	924	\$ 5,475	\$ 65,700		2
Eight	A	616	\$ 4,360	\$ 52,320		1
	B	638	\$ 4,395	\$ 52,740		1
	C	706	\$ 4,450	\$ 53,400		1
	D	775	\$ 4,485	\$ 53,820		1
	E	924	\$ 5,500	\$ 66,000		2
Nine	A	638	\$ 4,420	\$ 53,040		1
	B	1130	\$ 5,550	\$ 66,600		2
	C	1144	\$ 5,550	\$ 66,600		2
Ten	A	606	\$ 4,445	\$ 53,340		1
	B	1038	\$ 5,600	\$ 67,200		2
	C	1060	\$ 5,625	\$ 67,500		2
Eleven	A	709	\$ 4,470	\$ 53,640		1
	B	805	\$ 4,520	\$ 54,240		1
	C	985	\$ 5,625	\$ 67,500		2
Twelve	A	1000	\$ 5,700	\$ 68,400		2
	B	1294	\$ 5,755	\$ 69,060		2

Total 51 39,168 \$ 237,305 \$ 2,847,660

	<u>Count</u>	<u>Sum of Sizes</u>	<u>Average Size by Type</u>	<u>Average Per Month</u>
One Bedroom	37	25,049	677	\$4,319
Two Bedrooms	14	14,119	1009	\$5,519
	51	39,168		

J.S. Freeman Associates

Date : May 30, 2014

Property : 11 Avenue C

Block : 384 Lot 33

Total Land Area : 5,874.3 sq.ft.

Zone : R8A

Page 39

Schedule E3: Proposed Development Apartment Pricing

<u>Floor</u>	<u>Unit</u>	<u>Size</u>	<u>\$/Month</u>	<u>\$/Year</u>		<u>Type</u>
Two	A	1,001	\$ 5,375	\$ 64,500		2
	B	1,118	\$ 5,400	\$ 64,800		2
	C	612	\$ 4,150	\$ 49,800		1
	D	612	\$ 4,150	\$ 49,800		1
	E	612	\$ 4,150	\$ 49,800		1
	F	643	\$ 4,175	\$ 50,100		1
Three	A	1,001	\$ 5,400	\$ 64,800		2
	B	1,118	\$ 5,425	\$ 65,100		2
	C	612	\$ 4,175	\$ 50,100		1
	D	612	\$ 4,175	\$ 50,100		1
	E	612	\$ 4,175	\$ 50,100		1
	F	643	\$ 4,200	\$ 50,400		1
Four	A	1,001	\$ 5,425	\$ 65,100		2
	B	1,118	\$ 5,450	\$ 65,400		2
	C	612	\$ 4,200	\$ 50,400		1
	D	612	\$ 4,200	\$ 50,400		1
	E	612	\$ 4,200	\$ 50,400		1
	F	643	\$ 4,225	\$ 50,700		1
Five	A	1,001	\$ 5,450	\$ 65,400		2
	B	1,118	\$ 5,475	\$ 65,700		2
	C	612	\$ 4,225	\$ 50,700		1
	D	612	\$ 4,225	\$ 50,700		1
	E	612	\$ 4,225	\$ 50,700		1
	F	643	\$ 4,250	\$ 51,000		1
Six	A	1,001	\$ 5,450	\$ 65,400		2
	B	1,118	\$ 5,475	\$ 65,700		2
	C	612	\$ 4,225	\$ 50,700		1
	D	612	\$ 4,225	\$ 50,700		1
	E	612	\$ 4,225	\$ 50,700		1
	F	643	\$ 4,250	\$ 51,000		1

J.S. Freeman Associates

Date : May 30, 2014

Property : 11 Avenue C

Block : 384 Lot 33

Total Land Area : 5,874.3 sq.ft.

Zone : R8A

Page 40

Schedule E3: Proposed Development Apartment Pricing

<u>Floor</u>	<u>Unit</u>	<u>Size</u>	<u>\$/Month</u>	<u>\$/Year</u>		<u>Type</u>
Seven	A	1,001	\$ 5,475	\$ 65,700		2
	B	1,118	\$ 5,500	\$ 66,000		2
	C	612	\$ 4,250	\$ 51,000		1
	D	612	\$ 4,250	\$ 51,000		1
	E	612	\$ 4,250	\$ 51,000		1
	F	643	\$ 4,275	\$ 51,300		1
Eight	A	1,001	\$ 5,500	\$ 66,000		2
	B	1,118	\$ 5,525	\$ 66,300		2
	C	612	\$ 4,275	\$ 51,300		1
	D	612	\$ 4,275	\$ 51,300		1
	E	612	\$ 4,275	\$ 51,300		1
	F	643	\$ 4,300	\$ 51,600		1
Nine	A	982	\$ 5,600	\$ 67,200		2
	B	602	\$ 4,375	\$ 52,500		1
Ten	A	601	\$ 4,425	\$ 53,100		1
	B	980	\$ 5,650	\$ 67,800		2

Total 46 35,351 \$ 214,550 \$ 2,574,600 \$ 72.83

	<u>Count</u>	<u>Sum of Sizes</u>	<u>Average Size by Type</u>	<u>Average Per Month</u>
One bedroom	30	18,556	618.5	\$ 4,269.32
Two Bedroom	16	16,795	1049.7	\$ 5,473.44
	46	35,351		

Schedule E: Comparable Residential Rents



Schedule E: Comparable Residential Rents

1. 62 Avenue B #1F

This is a one bedroom one bathroom apartment for rent located in the East Village neighborhood of Manhattan. Located between East 4th and East 5th Street, it is approximately three blocks away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

2. 229 Chrystie Street #709

This is a one bedroom one bathroom apartment for rent located in the Lower East Side neighborhood of Manhattan. Located between Stanton and East Houston Street, it is approximately four blocks away from the subject property. A -10% adjustment was made for the superior location. No adjustments were made for time, size, zoning or other factors.

3. 250 East Houston Street #PHL

This is a one bedroom one bathroom apartment for rent located in the East Village neighborhood of Manhattan. Located between Avenue A and Avenue B, it is approximately two blocks away from the subject property. A -10% adjustment was made for the superior location. No adjustments were made for time, size, zoning or other factors.

4. 188 Ludlow Street #14G

This is a one bedroom one bathroom apartment for rent located in the Lower East Side neighborhood of Manhattan. Located between Stanton and East Houston Street, it is approximately three blocks away from the subject property. A +10% adjustment was made for the inferior location. No adjustments were made for time, size, zoning or other factors.

5. 252 East 2nd Street

This is a two bedroom one bathroom apartment for rent located in the East Village neighborhood of Manhattan. Located between Avenue B and Avenue C, it is approximately one block away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

Schedule E: Comparable Residential Rents

6. 62 Avenue B #6F

This is a two bedroom two bathroom apartment for rent located in the East Village neighborhood of Manhattan. Located between East 4th and East 5th Street, it is approximately three blocks away from the subject property. No adjustments were made for time, location, size, zoning or other factors.

7. 250 East Houston Street #3D

This is a two bedroom two bathroom apartment for rent located in the East Village neighborhood of Manhattan. Located between Avenue A and Avenue B, it is approximately two blocks away from the subject property. A -10% adjustment was made for the superior location. No adjustments were made for time, size, zoning or other factors.

8. 229 Chrystie Street #515

This is a two bedroom two bathroom apartment for rent located in the Lower East Side neighborhood of Manhattan. Located between Stanton and East Houston Street, it is approximately four blocks away from the subject property. A -10% adjustment was made for the superior location. No adjustments were made for time, size, zoning or other factors.

Schedule E: Comparable Residential Rents

1. 62 Avenue B #1F



2. 229 Chrystie Street #709



Schedule E: Comparable Residential Rents

3. 250 East Houston Street #PHL



4. 188 Ludlow Street #14G



Schedule E: Comparable Residential Rents

5. 252 East 2nd Street



6. 62 Avenue B #6F



Schedule E: Comparable Residential Rents

7. 250 East Houston Street #3D



8. 229 Chrystie Street #515



EXHIBIT A: CONSTRUCTION COST ESTIMATES

11 AVENUE C

As of Right Residential

Preliminary Construction Cost Estimate

New York, New York

May 23, 2014

McQUILKIN ASSOCIATES, LLC

Construction Consultants

500 Morris Avenue
Springfield, NJ 07081
Tel: 973-218-1600
Fax: 973-218-1700

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/23/14
REV.:

AS OF RIGHT RESIDENTIAL

QUALIFICATIONS

- 1 Estimate is based on drawings AR-000 through AR-303 as prepared by Rotwein+Blake dated 5/9/14 labeled As of Right Scheme (FAR 6.3)
- 2 Escalation - Estimate Based on Construction Start 2ND Qtr 2014

EXCLUSIONS

- 1 Design/Professional fees.
- 2 Surveys & Reports
- 3 Treatment/Removal of Contaminated Materials
- 4 Controlled Testing and Inspection
- 5 Public Agency Approvals/Inspection Fees
- 6 Building permit/filing fees.
- 7 Builder's risk insurance.
- 8 Utility Company Charges (other than Temporary for Contractor)
- 9 Overtime
- 10 Performance Bond
- 11 Tenant Fit Out- Retail
- 12 Mock-Ups
- 13 Contractors Profit or Construction Manager's Fee

McQUILKIN ASSOCIATES, LLC

DATE: 5/23/14

PROJECT: 11 AVENUE C

REV.:

LOCATION: NEW YORK, NY

CSI CODE	DESCRIPTION	TOTAL
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AS OF RIGHT RESIDENTIAL

01500	TEMPORARY CONSTRUCTION	469,125
02500	PAVING & SURFACING	139,854
02600	SITE UTILITIES	88,500
02800	PILING	589,500
02950	EXCAVATION/FOUNDATION	931,598
3300	SUPERSTRUCTURE CONCRETE	2,979,632
04100	MASONRY	77,418
05500	MISCELLANEOUS IRON	55,690
06100	ROUGH CARPENTRY	148,739
06200	FINISH CARPENTRY	317,807
07100	WATERPROOFING	63,662
07510	ROOFING/INSULATION/FIRESTOPPING	149,395
07900	CAULKING & SEALANTS	72,295
08100	HOLLOW METAL	36,575
08200	WOOD DOORS	62,600
08400	ENTRANCES AND STOREFRONT	34,000
08700	HARDWARE	62,800
08950	EXTERIOR FAÇADE	2,462,245
09000	INTERIOR FIT OUT	88,200
09250	DRYWALL	911,417
09300	TILE	965,000
09550	WOOD FLOORING	335,290
09650	RESILIENT FLOORING	13,513
09900	PAINTING	246,752
10400	IDENTIFYING DEVICES	10,600
10550	POSTAL SPECIALTIES	7,950
10800	TOILET ACCESSORIES	12,200
11175	TRASH CHUTE & COMPACTOR	33,750
11450	RESIDENTIAL EQUIPMENT	238,500
14200	ELEVATORS	275,000
15300	FIRE PROTECTION	298,909
15400	PLUMBING	811,800
15500	HEATING, VENTILATING AND AIR CONDITIONING	1,689,288
16,000	ELECTRICAL WORK	1,016,183
		<hr/>
		SUBTOTAL 15,695,787
GENERAL CONDITIONS 12%		1,883,494
		<hr/>
		SUBTOTAL 17,579,281
INSURANCE 3%		527,378
		<hr/>
		TOTAL 18,106,660



May 23, 2014

11 AVENUE C – AS OF RIGHT RESIDENTIAL

This document explains the cost premiums associated with constructing our As of Right residential building at the 11 Avenue C site with a Typical As of Right residential building site unencumbered by the construction cost hardships associated with the 11 Avenue C site. These construction cost premiums are caused by two factors.

1. Soil Conditions
Due to the poor soil conditions, we are required to construct a driven steel H pile foundation system to refusal onto bedrock to support our structure. As opposed to a more conventional spread footing foundation system.
2. Site Configuration
Because of the long, narrow, and tapered shape of the site, including street frontages on both sides of the site, the comparative costs of several items are adversely affected. The first being the exterior façade. Due to the site shape and the dual frontages, we have a considerably larger area of exterior façade than would be encountered in a typical residential scenario. The second affected area is the efficiency of the residential layouts.

In order to calculate the construction cost premium, we offer the following:

Actual AOR Residential Building Cost	\$	18,106,660
Actual AOR Residential Building Area		45,986 SF
Actual AOR Residential Building Cost/SF		\$394/SF
Typical AOR Residential Building Cost	\$	18,927,838
Typical AOR Residential Building Area		55,019 SF
Typical AOR Residential Building Cost/SF		\$344/SF

By multiplying the Actual AOR area (45,986 SF) by the Cost/SF of the Typical AOR (\$344/SF), we ascertain the non-premium construction cost of our Actual AOR building to be (\$15,819,184).

To calculate the construction cost premium associated with our Actual AOR building. We deduct the non-premium construction cost (\$15,819,184) from the Actual AOR construction cost (\$18,106,660) resulting in a construction cost premium of \$2,287,476.

11 AVENUE C

Proposed Residential

Preliminary Construction Cost Estimate

New York, New York

May 23, 2014

McQUILKIN ASSOCIATES, LLC

Construction Consultants

500 Morris Avenue
Springfield, NJ 07081
Tel: 973-218-1600
Fax: 973-218-1700

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/23/14
REV.:

PROPOSED RESIDENTIAL

QUALIFICATIONS

- 1 Estimate is based on drawings SK-000 through SK-303 as prepared by Rotwein+Blake dated 5/9/14 labeled Proposed Scheme (FAR 7.2)
- 2 Escalation - Estimate Based on Construction Start 2ND Qtr 2014

EXCLUSIONS

- 1 Design/Professional fees.
- 2 Surveys & Reports
- 3 Treatment/Removal of Contaminated Materials
- 4 Controlled Testing and Inspection
- 5 Public Agency Approvals/Inspection Fees
- 6 Building permit/filing fees.
- 7 Builder's risk insurance.
- 8 Utility Company Charges (other than Temporary for Contractor)
- 9 Overtime
- 10 Performance Bond
- 11 Tenant Fit Out- Retail
- 12 Mock-Ups
- 13 Contractors Profit or Construction Manager's Fee

McQUILKIN ASSOCIATES, LLC

DATE: 5/23/14

PROJECT: 11 AVENUE C

REV.:

LOCATION: NEW YORK, NY

CSI CODE	DESCRIPTION	TOTAL
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PROPOSED RESIDENTIAL

01500	TEMPORARY CONSTRUCTION	419,125
02500	PAVING & SURFACING	81,444
02600	SITE UTILITIES	88,500
02800	PILING	492,000
02950	EXCAVATION/FOUNDATION	1,045,362
3300	SUPERSTRUCTURE CONCRETE	3,648,550
04100	MASONRY	179,586
05500	MISCELLANEOUS IRON	55,690
06100	ROUGH CARPENTRY	165,931
06200	FINISH CARPENTRY	295,712
07100	WATERPROOFING	48,428
07510	ROOFING/INSULATION/FIRESTOPPING	253,060
07900	CAULKING & SEALANTS	83,397
08100	HOLLOW METAL	17,400
08200	WOOD DOORS	24,200
08400	ENTRANCES AND STOREFRONT	411,500
08700	HARDWARE	58,000
08950	EXTERIOR FAÇADE	2,421,630
09000	INTERIOR FIT OUT	94,500
09250	DRYWALL	981,776
09300	TILE	887,800
09550	WOOD FLOORING	330,500
09650	RESILIENT FLOORING	24,014
09900	PAINTING	268,088
10400	IDENTIFYING DEVICES	9,200
10550	POSTAL SPECIALTIES	6,900
10800	TOILET ACCESSORIES	12,400
11175	TRASH CHUTE & COMPACTOR	35,000
11450	RESIDENTIAL EQUIPMENT	207,000
14200	ELEVATORS	275,000
15300	FIRE PROTECTION	360,412
15400	PLUMBING	803,600
15500	HEATING, VENTILATING AND AIR CONDITIONING	1,521,742
16,000	ELECTRICAL WORK	1,134,562
		<hr/>
		SUBTOTAL 16,742,009
GENERAL CONDITIONS 12%		2,009,041
		<hr/>
		SUBTOTAL 18,751,050
INSURANCE 3%		562,531
		<hr/>
		TOTAL 19,313,581

11 AVENUE C

Typical Residential

Preliminary Construction Cost Estimate

New York, New York

May 21, 2014

McQUILKIN ASSOCIATES, LLC

Construction Consultants

500 Morris Avenue
Springfield, NJ 07081
Tel: 973-218-1600
Fax: 973-218-1700

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/21/14
REV.:

TYPICAL RESIDENTIAL

QUALIFICATIONS

- 1 Estimate is based on drawings TYP-000 through TYP-303 as prepared by Rotwein+Blake dated 5/9/14 labeled Typical Design Scheme (FAR 7.2)
- 2 Escalation - Estimate Based on Construction Start 2ND Qtr 2014

EXCLUSIONS

- 1 Design/Professional fees.
- 2 Surveys & Reports
- 3 Treatment/Removal of Contaminated Materials
- 4 Controlled Testing and Inspection
- 5 Public Agency Approvals/Inspection Fees
- 6 Building permit/filing fees.
- 7 Builder's risk insurance.
- 8 Utility Company Charges (other than Temporary for Contractor)
- 9 Overtime
- 10 Performance Bond
- 11 Tenant Fit Out- Retail
- 12 Mock-Ups
- 13 Contractors Profit or Construction Manager's Fee

LOCATION: NEW YORK, NY

REV.:

CSI CODE	DESCRIPTION	TOTAL
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01500	TEMPORARY CONSTRUCTION		468,820
02500	PAVING & SURFACING		97,964
02600	SITE UTILITIES		88,500
02950	EXCAVATION/FOUNDATION		1,123,900
3300	SUPERSTRUCTURE CONCRETE		3,578,678
04100	MASONRY		90,222
05500	MISCELLANEOUS IRON		66,250
06100	ROUGH CARPENTRY		165,696
06200	FINISH CARPENTRY		316,714
07100	WATERPROOFING		35,336
07510	ROOFING/INSULATION/FIRESTOPPING		143,815
07900	CAULKING & SEALANTS		80,017
08100	HOLLOW METAL		37,275
08200	WOOD DOORS		74,200
08400	ENTRANCES AND STOREFRONT		55,500
08700	HARDWARE		69,100
08950	EXTERIOR FAÇADE		2,498,610
09000	INTERIOR FIT OUT		195,300
09250	DRYWALL		1,014,888
09300	TILE		941,660
09550	WOOD FLOORING		363,230
09650	RESILIENT FLOORING		22,334
09900	PAINTING		279,124
10400	IDENTIFYING DEVICES		10,200
10550	POSTAL SPECIALTIES		7,650
10800	TOILET ACCESSORIES		12,800
11175	TRASH CHUTE & COMPACTOR		36,250
11450	RESIDENTIAL EQUIPMENT		229,500
14200	ELEVATORS		325,000
15300	FIRE PROTECTION		357,624
15400	PLUMBING		843,000
15500	HEATING, VENTILATING AND AIR CONDITIONING		1,641,250
16,000	ELECTRICAL WORK		1,137,221
		SUBTOTAL	16,407,627
	GENERAL CONDITIONS 12%		1,968,915
		SUBTOTAL	18,376,542
	INSURANCE 3%		551,296
		TOTAL	18,927,838

EXHIBIT B: ENVIRONMENTAL REPORT



March 24, 2013

Based on the results of the Limited Soil Investigation performed by WCD in June 2013 and a document review performed by WCD in October 2013, implementing the remediation and environmental control measures listed below is recommended for the property located at 11 Avenue C, New York, New York 10009 (Block 384, Lot 33):

- Site development should involve coordination with the NYSDEC to ensure closure of the spill case following completion of development.
- To prevent volatile organic compounds in soil vapor from entering the building, a soil vapor barrier and active sub-slab depressurization system should be integrated into the building design.
- Emteque recommends properly characterizing the soil to identify appropriate material handling, reuse, and/or disposal requirements. Excavated material should be managed in accordance with applicable federal, state, and local laws and regulations and in consideration of the results of the characterization sampling and analysis. Based on the results of the analyses of soil samples collected during the Limited Soil Investigation, material excavated from the Site is expected to be non-hazardous industrial waste, and should be identified as such for bidding purposes. Additionally, the project construction specifications should require completion of waste characterization sampling.
- A minimum of 2 feet of environmentally clean fill should be placed over remaining existing soils in all landscaped or exposed areas.
- USTs, hydraulic lifts, and all associated on-site petroleum impacted soil (to approximately 9 to 15 feet below grade or four feet into the water table) should be excavated, decommissioned, and/or disposed of in accordance with all federal, state, and local regulations.
- Dewatering may be necessary during remedial excavation and treatment of dewatering effluent will be required prior to discharge to the municipal sewer. Dewatering, groundwater treatment, and disposal should be performed in accordance with applicable local, state and federal regulations. Dewatering required during construction should be minimized to mitigate potential influx of contaminated water from off-site sources toward the Site.
- Any asbestos containing materials (ACM), lead-based paint (LBP), or polychlorinated biphenyl (PCB) containing materials (from the on-site structures and/or buried debris) affected by future redevelopment of the Site should be identified and properly managed during such activities.
- Construction of the building will require Site excavation of petroleum-impacted odiferous soils. A community air monitoring plan should be implemented during excavation activities. Additionally, post-excavation samples should be collected in accordance with DER-10 to confirm the absence of petroleum-related VOCs and SVOCs at concentrations above regulatory criteria in unsaturated soil samples.

Site Remediation – UST, Hydraulic Lift System and Associated Contaminated Soil Removal, Dewatering and Environmental Oversight

The cost estimate for the first remediation measure uses the following assumptions:

- Five (5) gasoline USTs and one (1) waste oil UST are present on Site;
- Two (2) hydraulic lift systems are present on Site;
- The five (5) gasoline USTs are 4,000-gallons in capacity and the waste oil UST is 550-gallons in capacity;
- The USTs and hydraulic lift systems contain a combined total of 10,000 gallons of fuel oil/waste oil/hydraulic oil;
- Approximately 1,450 tons of petroleum-contaminated material (PCM) will be removed from the Site (assumes Site is approximately 5,250 square feet, petroleum contaminated soil will be removed from 5 to 15 feet bgs and one cubic yard weighs 1.5 tons);
- Approximately 2,623 tons of non-hazardous regulated material will be removed from the Site (assumes Site is approximately 5,250 square feet, non-hazardous regulated materials will be removed from grade surface to 9 feet bgs and one cubic yard weighs 1.5 tons);
- Dewatering will be required for excavation into the water table. Dewatering will be performed using sump or “trash” pumps and dewatering fluids will be conveyed to an on-site treatment system consisting of a settling tank (i.e., oil-water separator), bag filters, and activated carbon. Dewatering will be required for a period of 4 weeks; and
- Soil characterization sampling is required by soil disposal facilities prior to acceptance of the material. The Site is approximately 5,250 square feet, the depth of excavation is estimated to extend to 15 feet bgs generating approximately 2,900 cubic yards of material.
- On-site environmental oversight is recommended during the Site remediation activities.

Activity	Units	Rate	Total
Removal and disposal of oil for recycling	10,000 gallons	\$1.00/gallon	\$10,000
Excavation, UST removal, hydraulic lift and tank decommissioning	Lump Sum	\$75,000	\$75,000
Soil Characterization Sampling	Lump Sum	\$17,000	\$17,000
CAMP Air Monitoring During Excavation	4 Weeks	\$5,300/week	\$21,000
Owner Environmental Inspector	4 Weeks	\$4,600/week	\$18,400
Transportation and disposal of 5 feet of overburden Historic Fill material within the building footprint. From 0 to 5 feet bgs.	1,460 tons	\$50/ton	\$73,000
Transportation and disposal of petroleum contaminated soil at a permitted landfill. From 5 to 15 feet bgs.	2,900 tons	\$90/ton	\$261,000
Transportation and disposal of soil generated during foundation installation.	150 tons	\$90/ton	\$13,500
Laboratory analysis of endpoint samples for CP-51 list VOCs/SVOCs	20 samples	\$200/sample	\$4,000
Closure Reporting and Agency Liaison	\$12,500	LS	\$12,500

Activity	Units	Rate	Total
Dewatering	\$100,000	LS	\$100,000
Activity Total Cost (rounded)			\$605,400
Engineering Design, Specifications, Drawings, Data Evaluation, and Labor Expenses (10%)			\$60,540
Subtotal Project Costs (rounded)			\$666,000
15% Contingency on all Costs (rounded)			\$99,900
Total System Cost (rounded):			\$765,900

First Engineering Control – Soil Vapor Barrier

The cost estimate for the vapor barrier is based on the following:

1. The proposed 9-story building includes a full basement.
2. The area of the vapor barrier includes an assumed building footprint of approximately 5,246 square feet with a 14 foot deep basement. Therefore, for cost estimating purposes, Emteque has assumed that the total area to be covered by the vapor barrier is approximately 10,020 square feet to cover any vertical sub-grade foundation elements (including an assumed 14 foot sub-grade wall and 341 foot building perimeter).

Vapor Barrier Cost Estimate

Activity	Units	Rate	Total
Install Vapor Barrier (Building footprint and sub-grade walls)	10,020 sf	\$5.50/sf	\$55,110
Activity Total Estimated Cost			\$55,110
Engineering Design, Specifications, Drawings, Data Evaluation, and Reporting Labor Expenses (20%)			\$11,022
Subtotal Estimated Project Costs			\$66,132
15% Contingency on all Costs (rounded)			\$9,919
Total System Cost (rounded):			\$76,051

Second Engineering Control – Sub-Slab Depressurization System (SSDS)

The cost estimate for the installation of an active SSDS is based on the following:

1. The building will be a nine-story building with full basement.
2. The SSDS would underlie the entire 5,246-square foot footprint of the proposed building.
3. The major components of the system will consist of sub-slab pits embedded in a 12-inch thick layer of permeable aggregate, roof-mounted suction fan, and steel pipe risers.
4. One (1) sub-slab pit will be required for every 6,000-square feet of building footprint. Therefore, one (1) sub-slab pit will be required. The sub-slab pit will be constructed of masonry block covered with 2-inch thick reinforced concrete planks.
5. Operations and maintenance (O&M) costs are not included.

Sub-Slab Depressurization System Cost Estimate

Activity	Units	Rate	Total Cost
Non-Woven Drainage Geotextile	600 sy	\$3/sy	\$1,800
12 Inches of Gas Permeable Aggregate Backfill and Compaction	200 cy	\$45/cy	\$9,000
Suction Pits and Associated Sub-Slab Piping	1 each	\$3,000/ea	\$3,000
Cast Iron Pipe Risers (four)	120 lf	\$95/lf	\$11,400
Roof-Mounted Suction Fans and Accessories	1 ea	\$4,000/ea	\$4,000
Monitoring Points	2 ea	\$800/ea	\$1,600
Testing	1 ea	\$5,000/ea	\$5,000
Activity Total Estimated Cost			\$35,800
Engineering Design, Specifications, Drawings, Data Evaluation, and Reporting Labor Expenses (Lump Sum)			\$15,000
Subtotal Project Costs			\$50,800
15% Contingency on all Costs			\$7,620
Total System Cost (rounded):			\$58,420

Total Engineering and Remediation Cost Estimate (Rounded)

Line Item Description	Cost
First Remediation Measure (UST, Hydraulic Lift System and Associated Contaminated Soil Removal and Groundwater Monitoring)	\$765,900
First Engineering Control (Soil Vapor Barrier)	\$76,051
Second Engineering Control (Active Sub-Slab Depressurization System)	\$58,420
Total (rounded)	\$900,371

Note: The total engineering and remedial cost estimate may change based on remedial measures required by the NYSDEC. In addition, the installation cost of the SSDS may change based on the design need to install an active SSDS below the water table.

EXHIBIT C: REALTY RATES RESEARCH

RealtyRates.com INVESTOR SURVEY - 2nd Quarter 2014*							
APARTMENTS - HI-RISE/URBAN TOWNHOUSE							
Item	Input						OAR
Minimum							
Spread Over 10-Year Treasury	0.87%	DCR Technique		1.35	0.054423	0.75	5.51
Debt Coverage Ratio	1.35	Band of Investment Technique					
Interest Rate	3.58%	Mortgage		75%	0.054423	0.040817	
Amortization	30	Equity		25%	0.065415	0.016354	
Mortgage Constant	0.054423	OAR					5.72
Loan-to-Value Ratio	75%	Surveyed Rates					5.43
Equity Dividend Rate	6.54%						
Maximum							
Spread Over 10-Year Treasury	5.88%	DCR Technique		1.96	0.118803	0.50	11.64
Debt Coverage Ratio	1.96	Band of Investment Technique					
Interest Rate	8.59%	Mortgage		50%	0.118803	0.059401	
Amortization	15	Equity		50%	0.158064	0.079032	
Mortgage Constant	0.118803	OAR					13.84
Loan-to-Value Ratio	50%	Surveyed Rates					13.15
Equity Dividend Rate	15.81%						
Average							
Spread Over 10-Year Treasury	3.38%	DCR Technique		1.66	0.081701	0.68	9.13
Debt Coverage Ratio	1.66	Band of Investment Technique					
Interest Rate	6.09%	Mortgage		68%	0.081701	0.055148	
Amortization	23	Equity		33%	0.107107	0.034810	
Mortgage Constant	0.081701	OAR					9.00
Loan-to-Value Ratio	68%	Surveyed Rates					9.02
Equity Dividend Rate	10.71%						

RealtyRates.com INVESTOR SURVEY - 2nd Quarter 2014*
RETAIL - ALL TYPES

Item	Input						OAR
Minimum							
Spread Over 10-Year Treasury	0.75%	DCR Technique	1.05	0.046199	0.90		4.37
Debt Coverage Ratio	1.05	Band of Investment Technique					
Interest Rate	3.46%	Mortgage	90%	0.046199	0.041580		
Amortization	40	Equity	10%	0.080484	0.008048		
Mortgage Constant	0.046199	OAR					4.96
Loan-to-Value Ratio	90%	Surveyed Rates					4.71
Equity Dividend Rate	8.05%						
Maximum							
Spread Over 10-Year Treasury	7.21%	DCR Technique	2.25	0.128366	0.50		14.44
Debt Coverage Ratio	2.25	Band of Investment Technique					
Interest Rate	9.92%	Mortgage	50%	0.128366	0.064183		
Amortization	15	Equity	50%	0.180736	0.090368		
Mortgage Constant	0.128366	OAR					15.46
Loan-to-Value Ratio	50%	Surveyed Rates					14.68
Equity Dividend Rate	18.07%						
Average							
Spread Over 10-Year Treasury	2.80%	DCR Technique	1.42	0.074333	0.70		7.41
Debt Coverage Ratio	1.42	Band of Investment Technique					
Interest Rate	5.51%	Mortgage	70%	0.074333	0.052266		
Amortization	25	Equity	30%	0.135623	0.040263		
Mortgage Constant	0.074333	OAR					9.25
Loan-to-Value Ratio	70.3%	Surveyed Rates					10.17
Equity Dividend Rate	13.6%						

EXHIBIT C: PROFESSIONAL QUALIFICATIONS

Resumé

JACK FREEMAN

Jack Freeman is principal of J.S. Freeman Associates and Freeman/Frazier & Associates. Mr. Freeman's professional background combines real estate finance, development planning, project management and public sector experience to provide comprehensive real estate advisory services to the benefit of his clients.

His development financing background includes several years experience as a mortgage Officer for The New York City Community Preservation Corporation, responsible for construction and permanent loan origination. The Corporation is a consortium of the New York City Commercial Banks and Savings Institutions, established to provide mortgage financing for multifamily housing rehabilitation and economic development.

Public Sector experience includes the position of Director, New York City Department of City Planning, Zoning Study Group and Senior Staff positions in the Mayor's Office of Development, responsible for management of major commercial and residential projects in Lower Manhattan.

As a developer, Mr. Freeman has been a principal and General Partner in the development of multifamily market rate and affordable housing projects, with a value in excess of \$17 million.

In 1993, Mr. Freeman was appointed, and served until 1996, as a Commissioner of the New York City Landmarks Preservation Commission. For three years, Mr. Freeman was a member of the New York State Council of Arts Capital Program Review Panel. He has been a recipient of a National Endowment for the Arts Grant for Architecture and a Progressive Architecture Award for Urban Design.

Mr. Freeman is a Licensed Real Estate Broker, a member of the Real Estate Board of New York, the Urban Land Institute and the American Planning Association. He has taught Real Estate Development as a member of the Graduate Faculty of the City University of New York and has been a regular lecturer in Real Estate Finance at Princeton University.

Mr. Freeman holds a Masters Degree in City Planning from the City University of New York and a Bachelor of Architecture Degree from Cooper Union.

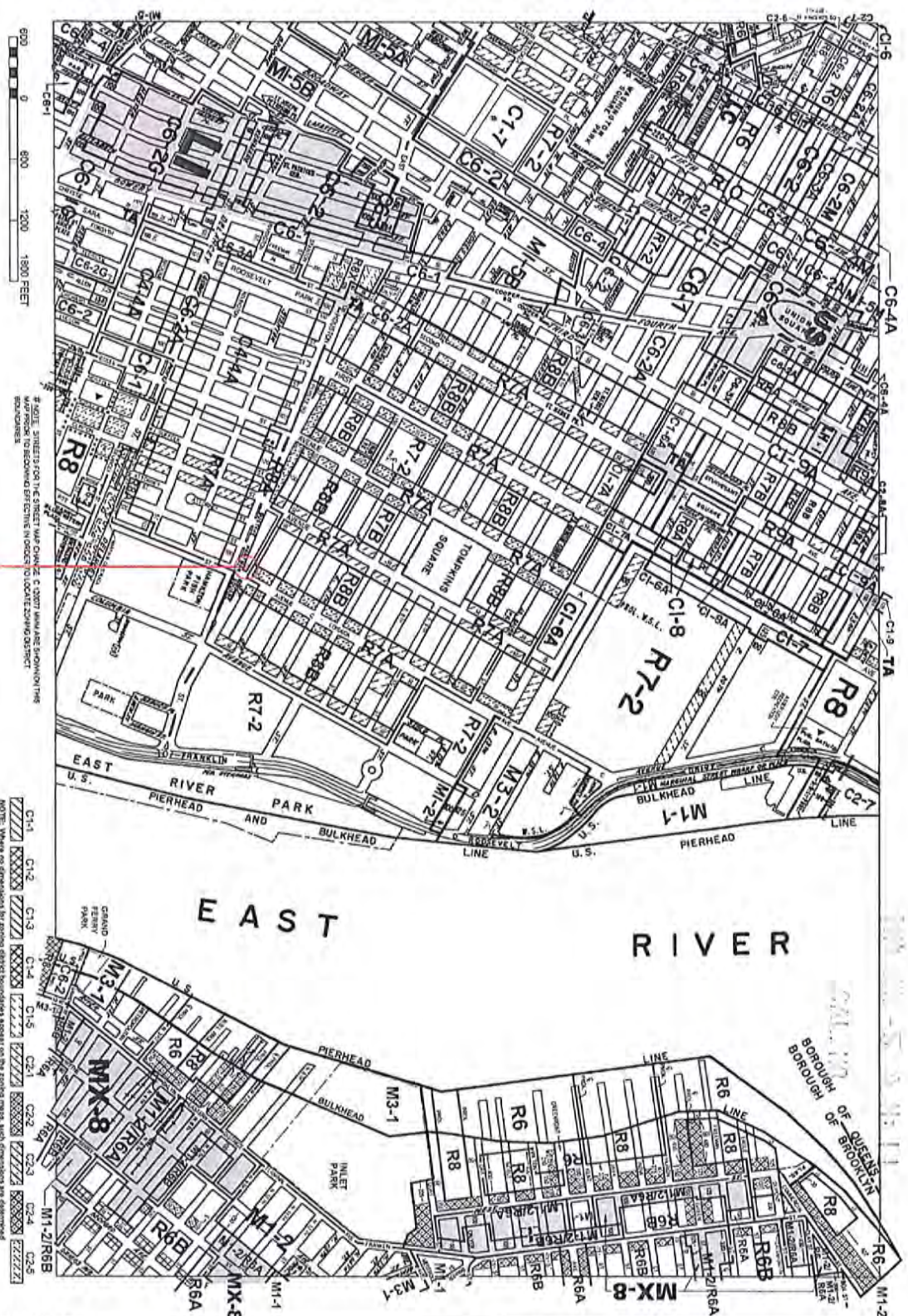
real estate consulting services

j.s.freeman associates, inc.

132 Nassau Street | Suite 1220
New York City, NY 10038

212. 871. 0878

www.jsfreemanassociates.com



Premises

ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

Major Zoning Classifications:

- R - RESIDENTIAL DISTRICT
- C - COMMERCIAL DISTRICT
- M - MANUFACTURING DISTRICT
- S - SPECIAL PURPOSE DISTRICT

The letter(s) within the shaded area designate the special purpose of the Zoning Revision.

..... AREAS REZONED

Effective Date(s) of Rezoning:
10-11-2012 C 120226 ZMW

Special Requirements:

For a list of lots subject to CCOR requirements, see APPENDIX C.

For a list of lots subject to "D" requirements, see APPENDIX D.

For inclusionary housing, see APPENDIX E.

CITY MAP CHANGE(S):
▲ 6-01-2013 C 120156 MMW

MAP KEY

8b	8d	9b
12a	12c	13a
12b	12d	13b

N

ZONING MAP 12c

NOTES: Zoning information is shown on this map as subject to the City of New York Department of City Planning website: www.nyc.gov/dcp/planning. For the most current zoning information, visit the Zoning website of the Department of City Planning website: www.nyc.gov/dcp/planning. For the most current zoning information, visit the Zoning website of the Department of City Planning website: www.nyc.gov/dcp/planning.

NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined by Article 24, Chapter 8 of the Zoning Resolution.

NYS RA / PE SEAL AND SIGN

BSA ZONING ANALYSIS

REVISED APRIL 2005

BSA CALENDAR NO.

BLOCK 384

LOT 33

SUBJECT SITE ADDRESS

11 Avenue C, NY NY

APPLICANT

350 East Houston LLC

ZONING DISTRICT R8A

PRIOR BSA # 5 A 11: 11

SPECIAL/HISTORIC DISTRICT

COMMUNITY BOARD 3

COMPLIANT: "Y"

IF NOT: "N" and

INDICATE AMT

OVER/UNDER

LOT AREA

23-32

MAXIMUM

MINIMUM

LEGAL PER

EXISTING

PROPOSED

Y

LOT WIDTH

23-32

PERMITTED

REQUIRED

C of O or BSA

40

40

Y

USE GROUP (S)

22-00

1-4

16B

16B

2 & 6

N (6)

FA RESIDENTIAL

23-952

42,295 sf

0

37,743 sf

Y

FA COMMUNITY FACILITY

23-952

0

0

0

Y

FA COMMERCIAL/INDUST.

23-952

0

1,344 sf

4,550 sf

N (+4,550 sf)

FLOOR AREA TOTAL

23-952

42,295 sf

1,344 sf

42,293 sf

Y

FAR RESIDENTIAL

23-952

7.2

0

6.43

Y

FAR COMMUNITY FACILITY

23-952

0

0

0

Y

FAR COMMERCIAL/INDUST.

23-952

0

0.22

0.77

N (+0.77)

FAR TOTAL

23-952

7.2

0.22

7.2

Y

OPEN SPACE

23-952

NA

0

0

Y

OPEN SPACE RATIO

23-952

NA

0

0

Y

LOT COVERAGE (%)

23-145

78%

23%

100%

N (+ 1,295 sf)

NO. DWELLING UNITS

23-22 & 23

57

0

46

Y

WALL HEIGHT

23-633

85'

14'

85'

Y

TOTAL HEIGHT

23-692 (6)

120'

14'

105'

Y

NUMBER OF STORIES

23-633

1

10

10

Y

FRONT YARD

23-633

0

0

0

Y

SIDE YARD

23-462c

0

0

0

Y

SIDE YARD

23-462c

0

0

0

Y

REAR YARD

23-531

0

0

0

Y

SETBACK (S)

23-633

10',15',15'

10',21',15'

10',21',15'

Y

SKY EXP. PLANE (SLOPE)

23-633

NA

NA

NA

Y

NO. PARKING SPACES

28-51

0

0

0

Y

LOADING BERTH (S)

25-72

0

0

0

Y

OTHER:

* In Applicable Section column: For RESIDENTIAL developments in non-residential districts, indicate nearest R district, e.g., R4/23-141, and contrast compliance. For COMMERCIAL/INDUSTRIAL/FACTORY developments in residential districts, contrast proposed bulk and area elements to current R district requirements, except for parking and loading requirements (contrast to nearest district where use is permitted). For COMMUNITY FACILITY uses in districts where not permitted, contrast to nearest district where permitted. For all applications, attach zoning map and highlight subject site. Be sure that all items noted in the DOB Denial/Objection are included.

NOTES: Existing structure to be demolished and use discontinued



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CAL. NO.



NYC Digital Tax Map

Effective Date : 01-01-2010 10:42:27
End Date : Current
Manhattan Block: 384

Legend

- Streets
- Miscellaneous Text
- Possession Hooks
- Boundary Lines
- Lot Face Possession Hooks
- Regular
- Underwater
- Tax Lot Polygon
- Condo Number
- Tax Block Polygon



Premises

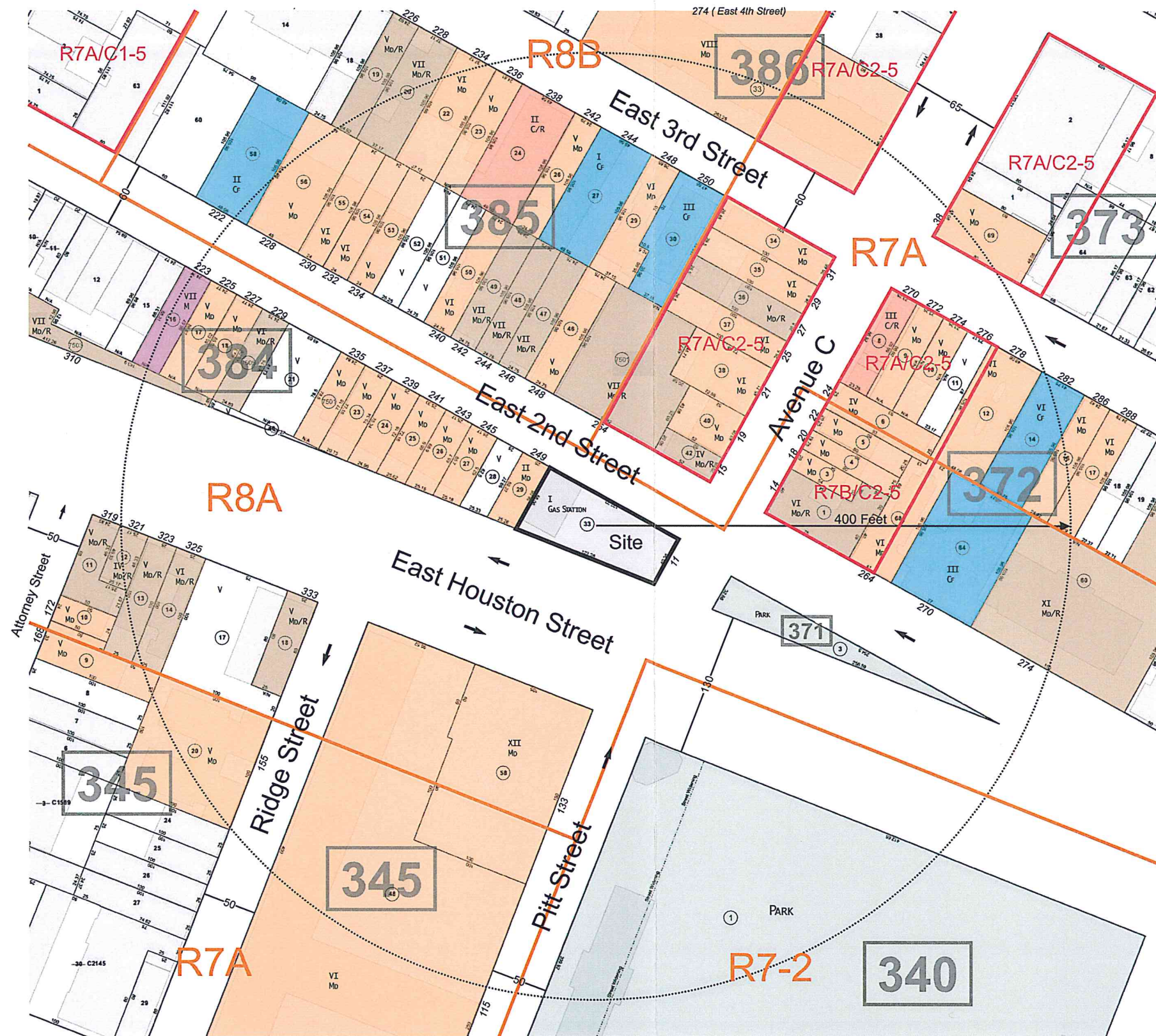
0 15 30 Feet

11 Avenue C, Manhattan

125-14-B7-

Block 384, Lot 33
Zoning Map: 12c
Site - R8A

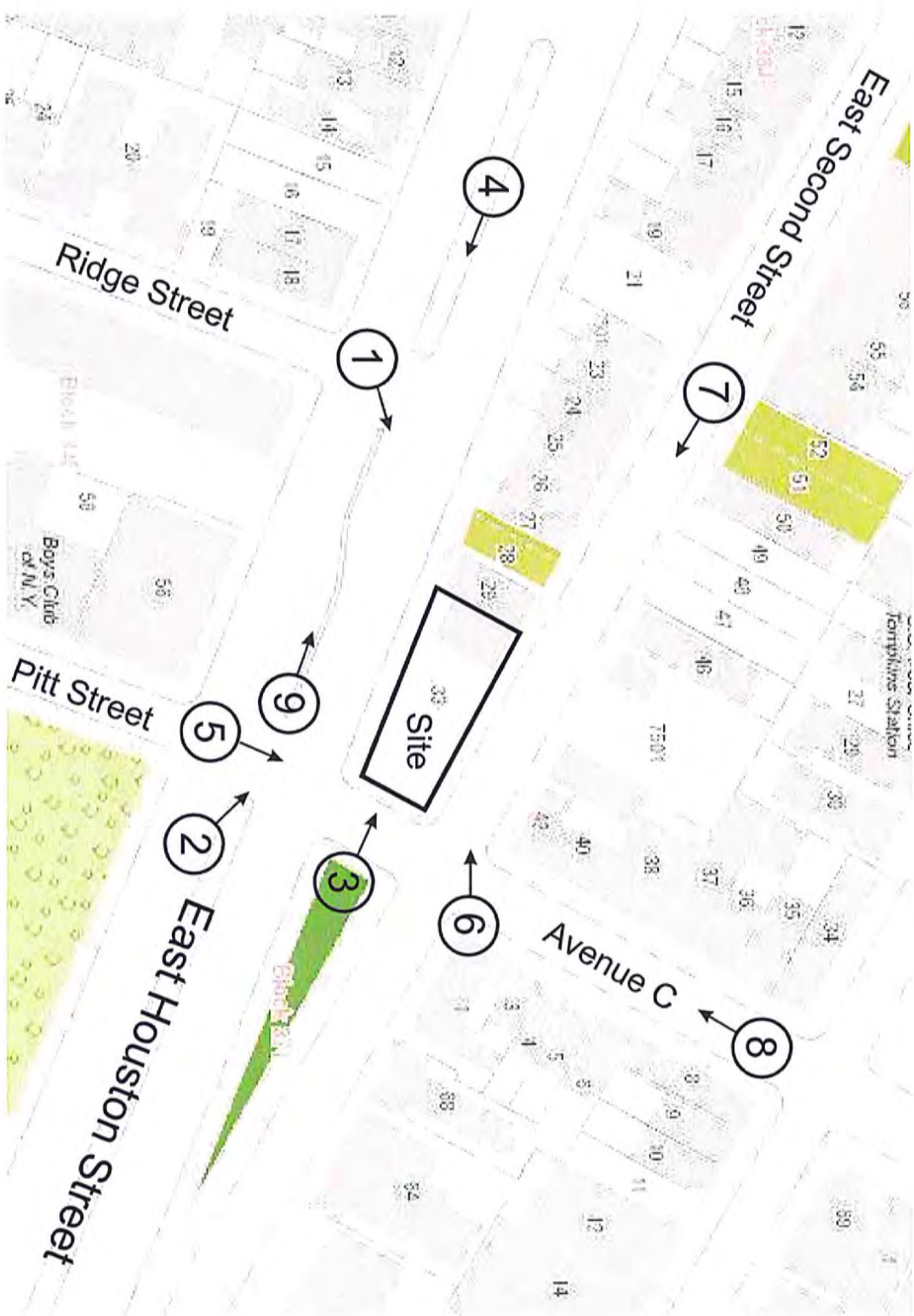
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- Land Uses**
- One and Two-Family Homes
 - Multiple Dwelling
 - Commercial
 - Mixed Use (Residential-Commercial)
 - Manufacturing
 - Open Space / Park Land
 - Institutional / Community Facility
 - Parking / Automotive

- Legend**
- # - Lot Numbers (within radius)
 - ### - Block Numbers
 - I, II, III - Story Height
 - MD - Multiple Dwelling
 - D - Dwelling
 - R - Retail
 - G - Garage
 - C - Commercial
 - I - Industrial
 - M - Manufacturing
 - W - Warehouse
 - V - Vacant
 - Cf - Community Facility

North
Scale: 1" = 100'
0 20 50 100



1 25-14-B 7-3

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Urban Cartographics

107-40 Queens Boulevard Fl. 3 Forest Hills, NY 11375 781.477.5399 urban@urbanlogix.com

Photographed by: Dan Pesaturo on September 12, 2013



East Houston Street

Urban Cartographics

107-41 Queens Boulevard, 3 Floor, 11365 718.417.5399 urbancartographics@gmail.com www.urbancartographics.com

Photographed by: Dan Pesaturo on September 12, 2013

7 05-7 2- 0 7 7 -

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11 Avenue C, Manhattan
Block 384, Lot 33

Photo #2



East Houston Street

Avenue C

N

Urban Cartographics

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107-41 Queens Boulevard (In.) Forest Hills, NY 11355 718.477.5299 info@urbancartographics.com www.urbancartographics.com

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11 Avenue C, Manhattan
Block 384, Lot 33

Photo #4



East Houston Street

125-14-0000

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Urban Cartographics

107-14 Queens Boulevard, 3rd Floor, Rego, NY 11050 718.475.5099 info@urbancartographics.com www.urbancartographics.com

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Urban Cartographics

100-4 Queens Boulevard, 3rd Floor, Flushing, NY 11355 718-427-5309 info@urbanlogix.com www.urbanlogix.com

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11 Avenue C, Manhattan
Block 384, Lot 33

Photo #6



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1 25-7 0- 7

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100-14-B 2-2

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2011 JUN -5 AM 11

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Urban Cartographics

801-4088888 / 801-4088888 784.475.5099 info@urbancartographics.com www.urbancartographics.com

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Urban Cartographics

107-41 Queens Boulevard, 3 Floor, 11365, NY 11365 718.471.5209 info@urban-cartographics.com www.urban-cartographics.com

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1 25-14-R 7-

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2013 SEP -5 AM 11

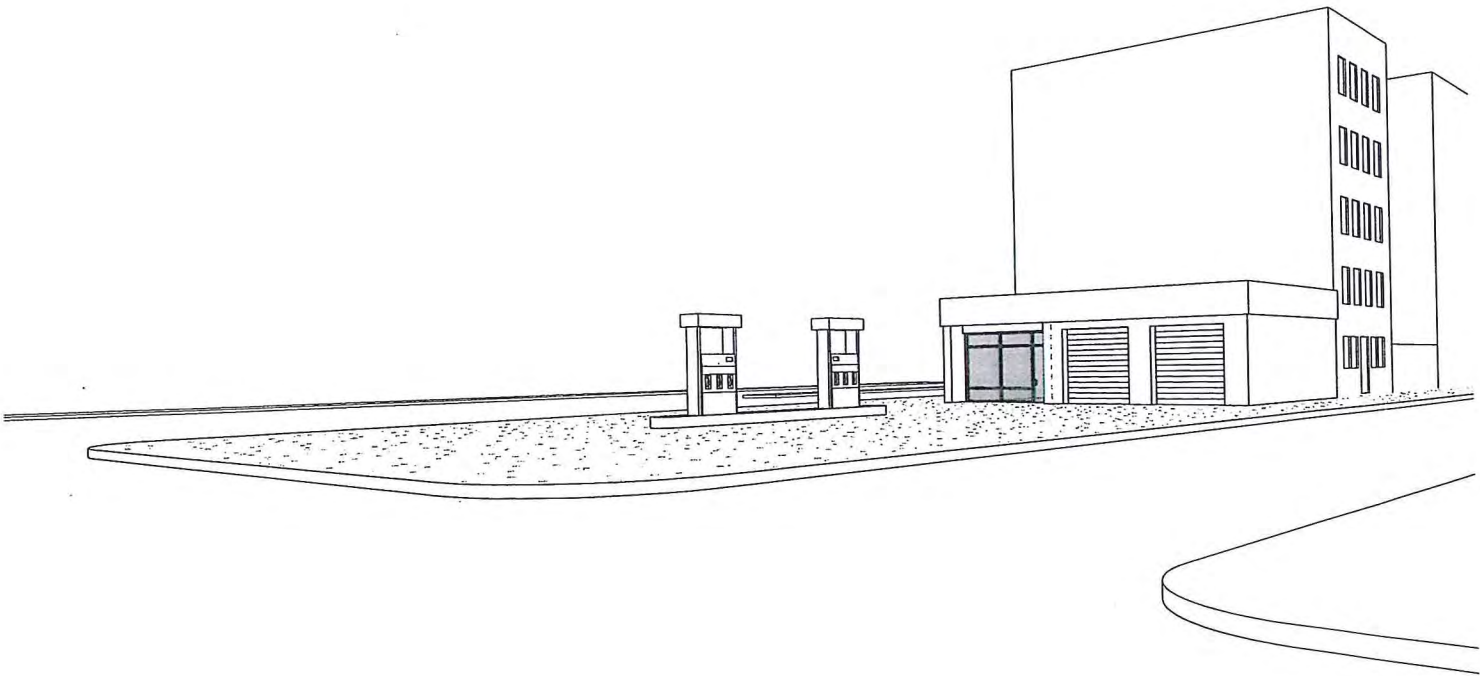
CAL. NO.

PROPOSED RESIDENTIAL DEVELOPMENT

11 AVENUE C NEW YORK, N.Y.

OWNER:
350 EAST HOUSTON, LLC

EXISTING BUILDING





DRAWING INDEX

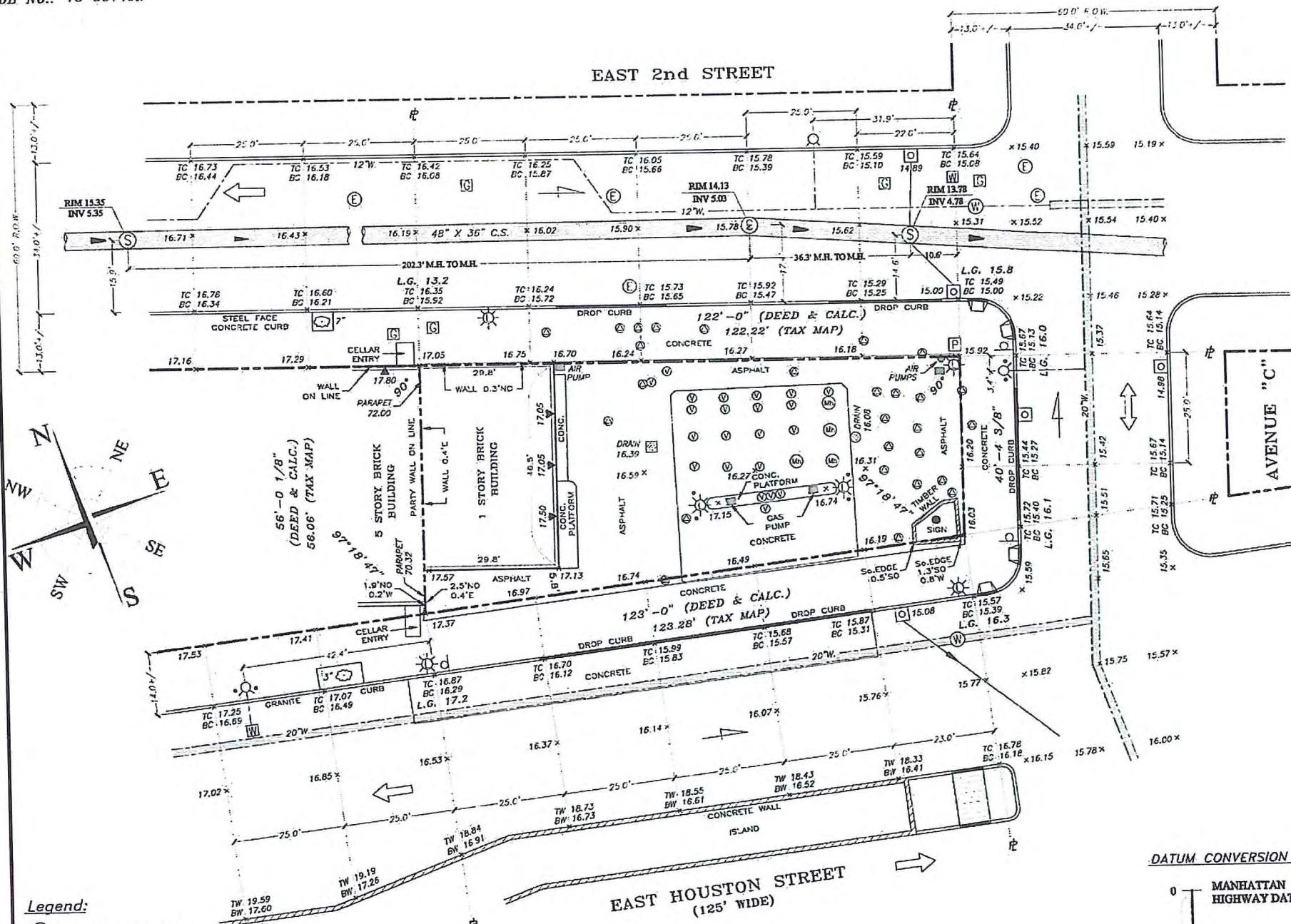
EX-000	TITLE SHEET
EX-001	SURVEY
EX-101	FLOOR PLAN
EX-201	ELEVATIONS
EX-202	ELEVATIONS
EX-301	SECTIONS

125-1A-D7-

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2014 JUN -5 A 11:11
CAL. NO.

NO.	REVISION	DATE
ARCHITECT:		
 Rotwein+Blake <small>16 Microtab Road Suite B Livingston, NJ 07039-1602 973.740.9755 • Fax: 973.740.9766 E-mail: email@rb-arch.com</small>		
PROPOSED RESIDENTIAL DEVELOPMENT 350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION EXISTING TITLE SHEET		
		05/28/14 DATE: 201305 PROJECT NO. MGT DWN. BY: LMB CHECKED BY:
EX-000 DRAWING NO.		1 of 6

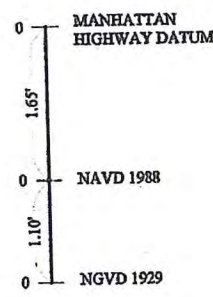
JOB NO.: 13-36149E



Legend:

- | | | |
|----------------------|-------------------------------|--|
| (S) SEWER MANHOLE | (F) LOW PRESSURE FIRE HYDRANT | (V) MONITORING WELL |
| (T) TREE WITH SIZE | (D) DRAIN INLET | (V) VALVE |
| (T) TRAFFIC SIGN | (D) DRAIN INLET | (P) PEDESTRIAN RAMP |
| (E) ELECTRIC MANHOLE | (G) GAS VALVE | (A) DIRECTION OF TRAFFIC FLOW |
| (W) WATER MANHOLE | (L) LIGHT POLE | (A) DIRECTION OF SURFACE WATER FLOW |
| (V) WATER VALVE | (P) PUBLIC PHONE | (C) COMBINED SEWER WITH SIZE OF PIPE AND DIRECTION OF FLOW |
| (C) CATCH BASIN | | (W) WATER MAIN WITH SIZE OF PIPE |
| (M) MANHOLE | | |

DATUM CONVERSION TABLE



AVERAGE BASE PLANE = 16.5 FT
BASED ON AVERAGE OF 14 REFERENCE POINTS ALONG PROPERTY LINE

ARCHITECTURAL SURVEY

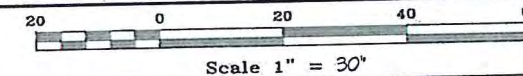
LOCATED AT:
BOROUGH OF MANHATTAN, COUNTY,
CITY AND STATE OF NEW YORK

TAX DESIGNATION:
BLOCK: 384, LOT: 33

SURVEYED ON: JANUARY 08, 2014

DRAWN BY: M.V. CHECKED BY: A.T.

- NOTES:
- 1) ELEVATIONS AND ESTABLISHED GRADES SHOWN HEREON REFER TO THE NAVD 1988.
 - 2) LEGAL GRADES SHOWN HEREON REFER TO THE TOP OF THE CURB TAKEN AT THE PROJECTION OF THE PROPERTY LINES.
 - 3) THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND/OR SUBSTRUCTURES IS NOT CERTIFIED AS TO ACCURACY OR COMPLETENESS.
 - 4) NO UTILITY AND/OR SUBGRADE INFORMATION OTHER THAN SEWER, WATER IS INDICATED ON THIS SURVEY. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.
 - 5) SIZES AND TYPES OF SEWERS SHOWN HEREON AS OBTAINED FROM THE BOROUGH OF MANHATTAN SEWER DEPARTMENT RECORDS. SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON OBTAINED BY FIELD MEASUREMENTS.
 - 6) SIZE OF WATER MAIN SHOWN HEREON AS OBTAINED FROM THE CITY OF NEW YORK DEPARTMENT OF ENVIRONMENTAL PROTECTION RECORDS, AS SHOWN ON MAP.
 - 7) THE OWNER, CONTRACTOR AND/OR HIS AGENTS MUST NOTIFY THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION IN ACCORDANCE WITH INDUSTRIAL CODE RULE 53.
 - 8) THIS IS TO CERTIFY THAT THERE ARE NO STREAMS NOR NATURAL WATERCOURSES IN THE PROPERTY AS SHOWN ON THIS SURVEY.
 - 9) TOTAL AREA OF THE PARCEL = 5878.69 SQ.FT. = 0.135 ACRE.
- THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
- COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
- CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.



LEONARD J. STRANDBERG AND ASSOCIATES
CONSULTING ENGINEERS AND LAND SURVEYORS, P.C.
32 SMITH STREET, FREEPORT, NY 11520
516-378-2064 • 212-213-4090 • FAX 516-378-6649

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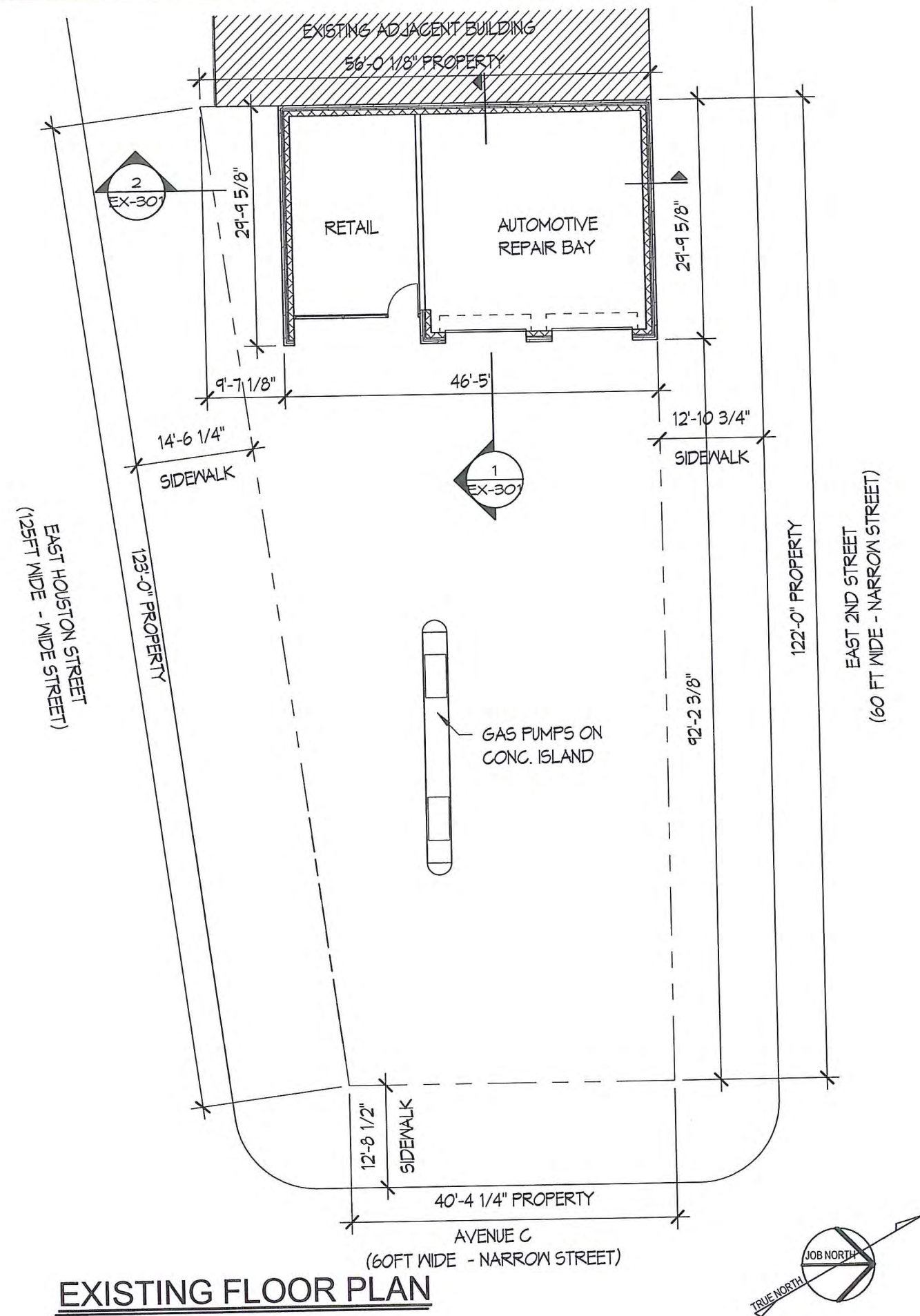
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16 MicroLab Road Suite B Livingston, NJ 07035-1602
973.740.9755 • Fax: 973.740.9766
E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
EXISTING SURVEY



05/28/14
DATE:
201305
PROJECT NO.
MGT
DWN. BY:
LMB
CHECKED BY:
EX-001
DRAWING NO.



EXISTING FLOOR PLAN

SCALE: 1/16" = 1'-0"

FLOOR AREA SCHEDULE

FLOOR AREA = 1,331 SF

125-14-B7-

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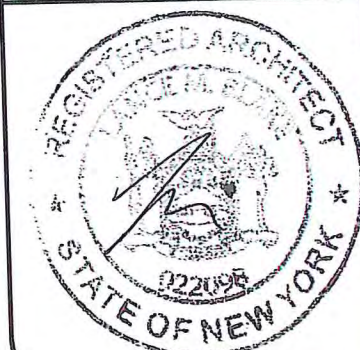
NO.	REVISION	DATE
ARCHITECT:		

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973.740.9755 • Fax: 973.740.9766
E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**EXISTING
FLOOR PLAN**



05/28/14
DATE:
201305
PROJECT NO.
MGT
DWN. BY:
LMB
CHECKED BY:
EX-101
DRAWING NO.
3 of 6

120-14-07

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NO.	REVISION	DATE
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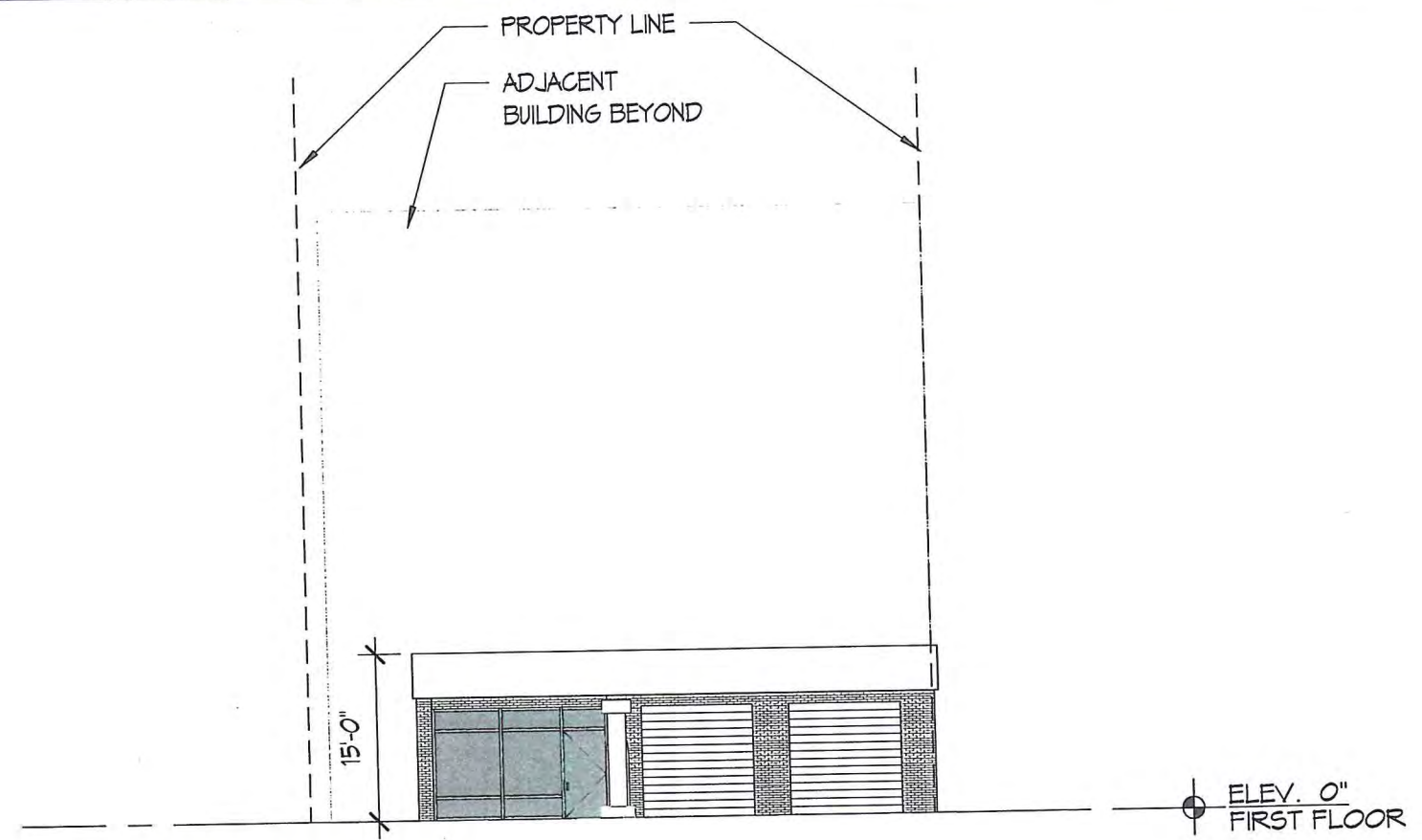
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Rotwein+Blake
16 Microplab Road Suite B Livingston, NJ 07039-1602
973.740.9755 • Fax: 973.740.9766
E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**EXISTING
ELEVATIONS**

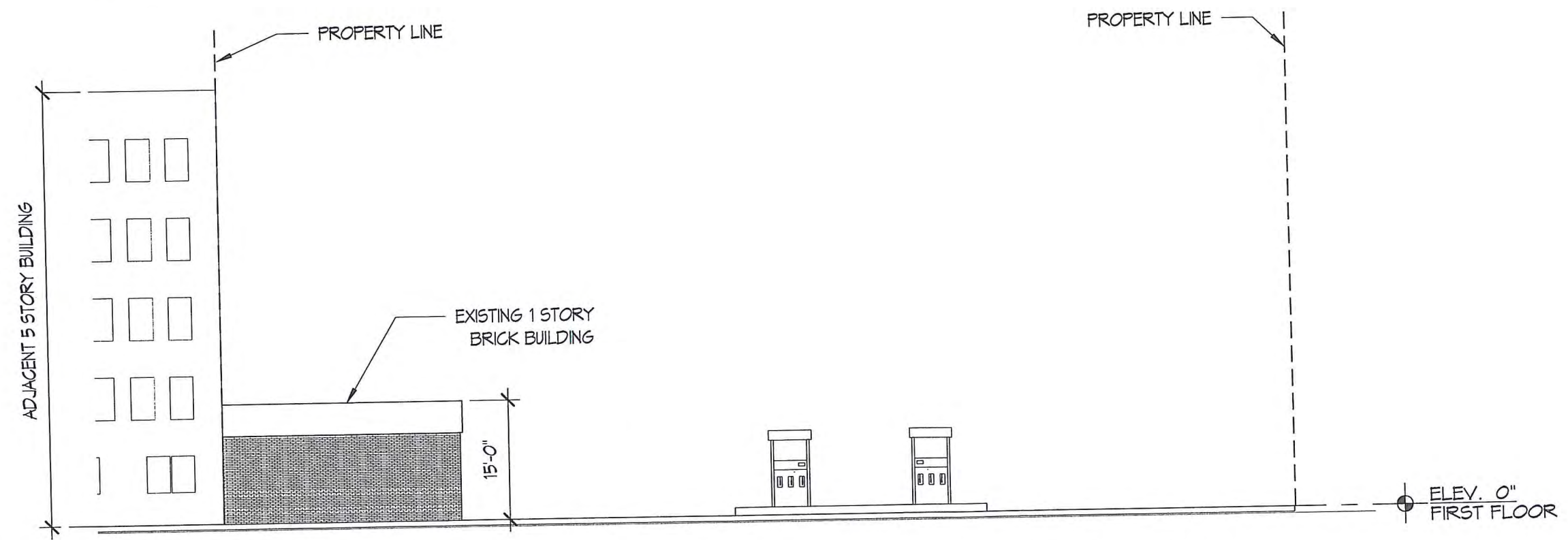


05/28/14
DATE:
201305
PROJECT NO.
MGT
DWN. BY:
LMB
CHECKED BY:
EX-201
DRAWING NO.
4 of 6



EAST ELEVATION

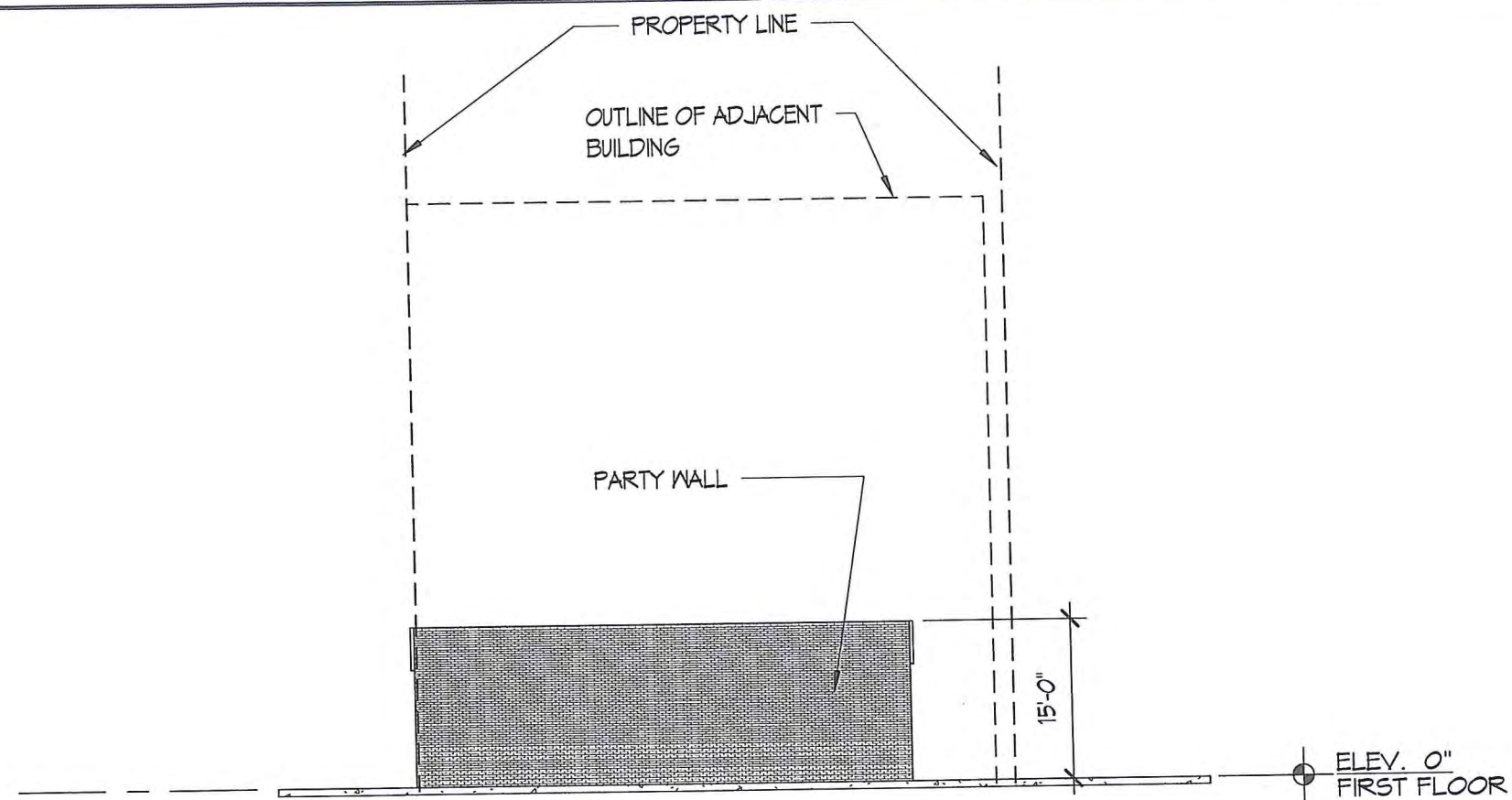
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION


SCALE: 1/16" = 1'-0"

AVERAGE BASE PLANE = 16.5 FT
(AVERAGE BASE PLANE = PROJECT 0'-0")




125-14-RB

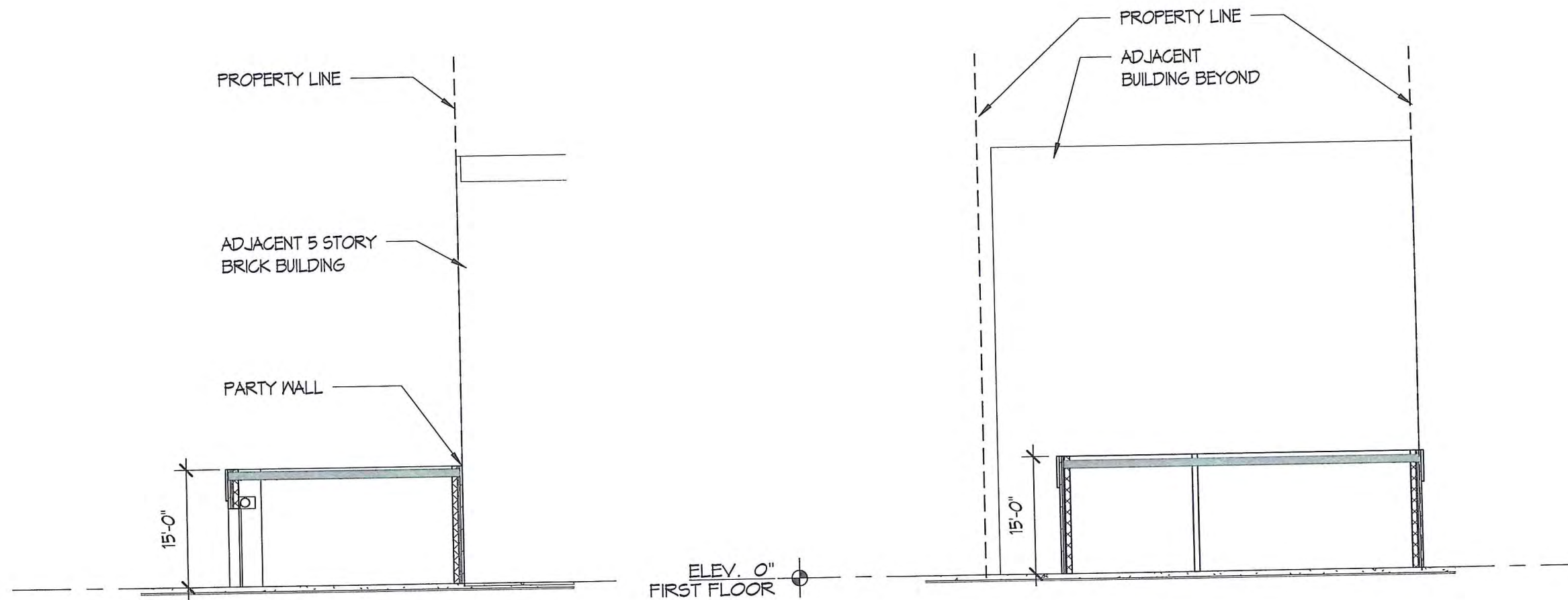
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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

BSA APPLICATION
**EXISTING
 SECTIONS**

	05/28/14
	DATE:
	201305
	PROJECT NO.
	MGT
	DWN. BY:
	LMB
	CHECKED BY:
	EX-301
	DRAWING NO.
	6 of 6



SECTION 1
 SCALE: 1/16" = 1'-0"

SECTION 2
 SCALE: 1/16" = 1'-0"

PROPOSED RESIDENTIAL DEVELOPMENT

11 AVENUE C NEW YORK, N.Y.

OWNER:
350 EAST HOUSTON, LLC

AS OF RIGHT SCHEME: (F.A.R. = 6.3)



DRAWING INDEX

AR-000	TITLE SHEET
AR-001	EXISTING SURVEY
AR-002	ZONING COMPARISON
AR-003	ZONING ANALYSIS
AR-004	FLOOR AREA & RESIDENTIAL UNIT SCHEDULES
AR-005	LOT PLAN, ZONING SITE PLAN & ZONING MAP
AR-100	LOT COVERAGE PLANS PLANS
AR-101	CELLAR & FIRST FLOOR PLANS
AR-102	SECOND THRU EIGHTH & NINTH FLOOR PLANS
AR-103	TENTH FLOOR & ROOF PLANS
AR-201	ELEVATIONS
AR-202	ELEVATIONS
AR-203	ELEVATIONS
AR-301	SECTIONS
AR-302	SECTIONS
AR-303	AXON

1 25 - 1 4 = B 7 =

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NO.	REVISION	DATE
-----	----------	------

ARCHITECT:

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16 Microtab Road Suite B Livingston, NJ 07033-1602
973.740.9755 • Fax: 973.740.9766
E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
AS OF RIGHT
TITLE SHEET



05-28-14
DATE:

201305
PROJECT NO.

MGT
DWN. BY:

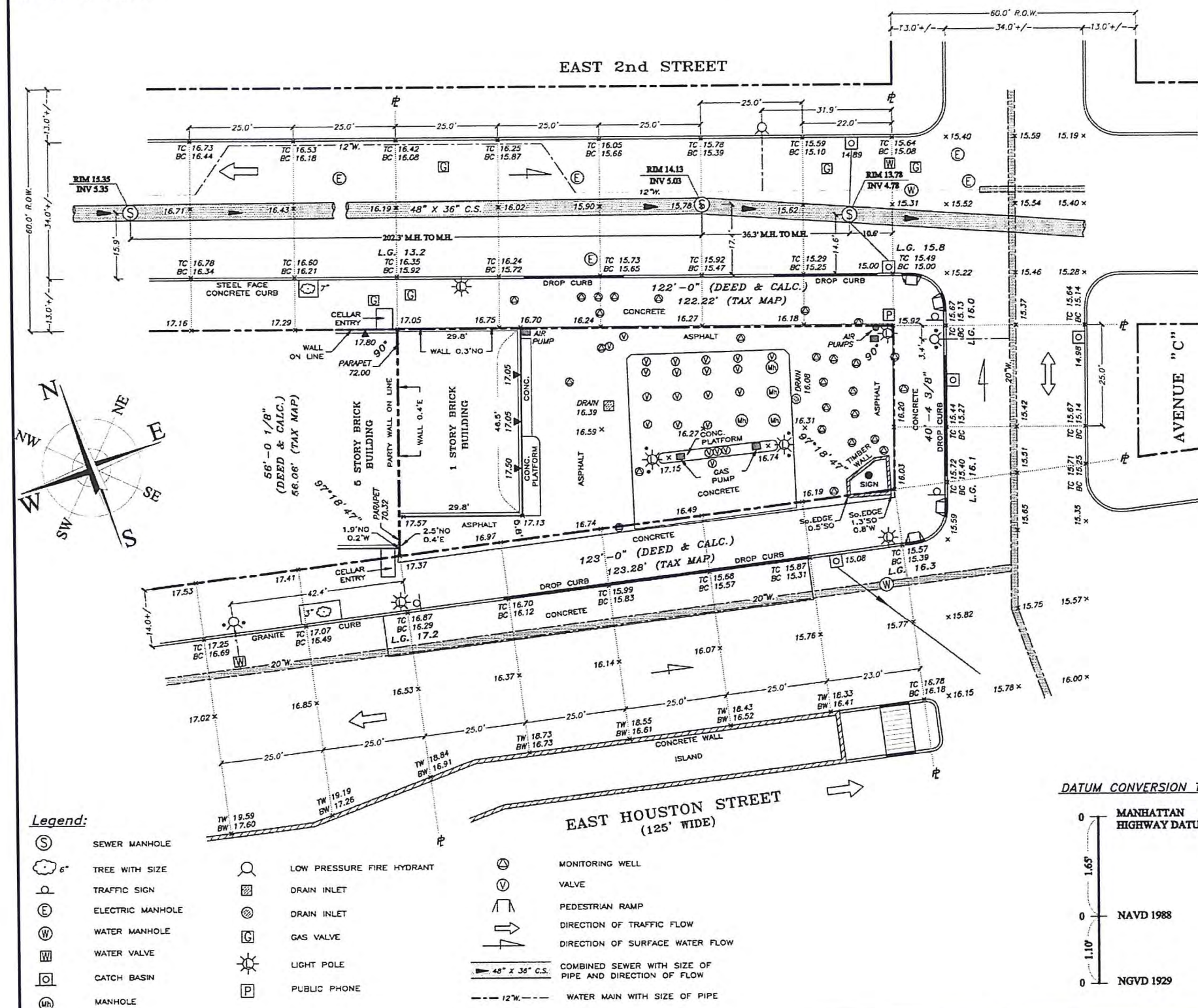
LMB
CHECKED BY:

AR-000

DRAWING NO.

1 of 16

JOB NO.: 13-36149E



SITE SURVEY

SCALE: 1" = 30'-0"

EXISTING STRUCTURE, UNDERGROUND TANKS AND ALL SITE ELEMENTS TO BE DEMOLISHED & REMOVED IN ACCORDANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS

AVERAGE BASE PLANE = 16.5 FT
BASED ON AVERAGE OF 14 REFERENCE POINTS ALONG PROPERTY LINE

ARCHITECTURAL SURVEY

LOCATED AT:
BOROUGH OF MANHATTAN, COUNTY,
CITY AND STATE OF NEW YORK

TAX DESIGNATION:
BLOCK: 384, LOT: 33

SURVEYED ON: JANUARY 08, 2014

DRAWN BY: M.V.

CHECKED BY: A.T.

- NOTES: 1) ELEVATIONS AND ESTABLISHED GRADES SHOWN HEREON REFER TO THE NAVD 1988.
- 2) LEGAL GRADES SHOWN HEREON REFER TO THE TOP OF THE CURB TAKEN AT THE PROJECTION OF THE PROPERTY LINES.
- 3) THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND/OR SUBSTRUCTURES IS NOT CERTIFIED AS TO ACCURACY OR COMPLETENESS.
- 4) NO UTILITY AND/OR SUBGRADE INFORMATION OTHER THAN SEWER, WATER IS INDICATED ON THIS SURVEY. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.
- 5) SIZES AND TYPES OF SEWERS SHOWN HEREON AS OBTAINED FROM THE BOROUGH OF MANHATTAN SEWER DEPARTMENT RECORDS. SEWER MANHOLE RM AND INVERT ELEVATIONS SHOWN HEREON OBTAINED BY FIELD MEASUREMENTS.
- 6) SIZE OF WATER MAIN SHOWN HEREON AS OBTAINED FROM THE CITY OF NEW YORK DEPARTMENT OF ENVIRONMENTAL PROTECTION RECORDS, AS SHOWN ON MAP.
- 7) THE OWNER, CONTRACTOR AND/OR HIS AGENTS MUST NOTIFY THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION IN ACCORDANCE WITH INDUSTRIAL CODE RULE 53.
- 8) THIS IS TO CERTIFY THAT THERE ARE NO STREAMS NOR NATURAL WATERCOURSES IN THE PROPERTY AS SHOWN ON THIS SURVEY.
- 9) TOTAL AREA OF THE PARCEL = 5878.69 SQ.FT. = 0.135 ACRE.

THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.

LEONARD J. STRANDBERG AND ASSOCIATES
CONSULTING ENGINEERS AND LAND SURVEYORS, P.C.
32 SMITH STREET, FREEPORT, NY 11520
516-378-2064 • 212-213-4090 • FAX 516-378-6649

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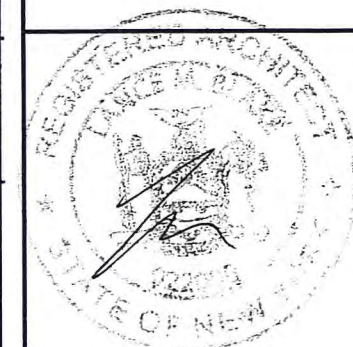
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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
AS OF RIGHT
EXISTING SURVEY



05-28-14
DATE:
201305
PROJECT NO.
MGT
DWN. BY:
LMB
CHECKED BY:
AR-001
DRAWING NO.

ZONING COMPARISON

ZR REF	ZONING RESOLUTION HEADING	ZR ITEM	ZR DATA	AS-OF-RIGHT SCHEME	TYPICAL SCHEME	PROPOSED SCHEME
	ZONING MAP ZONING DISTRICT COMMUNITY DISTRICT INCLUSIONARY HOUSING		12C R8A 3 YES	12C R8A 3 YES	12C R8A 3 YES	12C R8A 3 YES
	SITE AREA IRREGULAR 40.3X1233X56X123 100' CORNER + 22' THROUGH LOT WIDTH		5874.3 SF	5874.3 SF	5800 SF	5874.3 SF
22-00	USES		USE GROUPS 1-4 PERMITTED AS-OF-RIGHT	USE GROUPS 2	USE GROUPS 2	USE GROUPS 2 & 6 (NONCOMPLIANT)
23-010	QUALITY HOUSING	CHAPTER 28	REQUIRED	PROVIDED	PROVIDED	PROVIDED
23-951	MAXIMUM FLOOR AREA RATIO	RESIDENTIAL BASE FAR (INCLUSIONARY HOUSING) MAX. FAR WITH BONUS (INCLUSIONARY HOUSING)	5.4 FAR 7.2 FAR	NA 6.3 FAR	NA 7.2 FAR	NA 7.2 FAR (MIXED USE - SEE BELOW)
		MAX. RESIDENTIAL ZONING FAR MAX. RESIDENTIAL ZONING FLOOR AREA	5,874.3 SF X 7.2 = 42,295 SF	37,296.5 SF	41,760 SF (41,760 SF PERMITTED)	6.43 FAR 37,743 SF
		MAX. COMMERCIAL ZONING FAR MAX. COMMERCIAL ZONING FLOOR AREA	NOT PERMITTED NOT PERMITTED	0 FAR 0 SF	0 FAR 0 SF	0.77 FAR (NONCOMPLIANT) 4,550 SF (NONCOMPLIANT) MIXED USE 7.2 FAR (42,293 SF) (NONCOMPLIANT)
28-31	QUALITY HOUSING: MINIMUM INTERIOR OR EXTERIOR RECREATION SPACE	2.8% OF TOTAL FLOOR AREA	42,295 SF X 2.8% = 1,184 SF MIN.	37,296 SF X 2.8% = 1,044 SF MIN. 1,722 SF ROOF DECK PROVIDED	41,760 SF X 2.8% = 1,169 SF MIN. 1200 SF GROUND FLOOR OPEN SPACE PROVIDED	42,293 SF X 2.8% = 1,184 SF MIN. 2,812 SF ROOF DECK PROVIDED
23-145	MAXIMUM LOT COVERAGE	CORNER LOT 80% THROUGH LOT 70% MAXIMUM TOTAL LOT COVERAGE	3,738.4 SF 840.0 SF 4,579 SF (78.0 %)	3,738.4 SF (80%) 830.7 SF (69.2%) 4,569.1 SF (78.0%)	4,640 SF NA 4,640 SF (80%) (CORNER LOT 80%)	4.673 SF (100%) (NONCOMPLIANT) 1,201 SF (100%) (NONCOMPLIANT) 5,874SF (100%) (NONCOMPLIANT)
23-22	DENSITY - MAX DWELLING UNITS	FLR AREA X 740 (FACTOR FROM CHART)	42,292 SF / 740 = 57 UNITS	53 UNITS	51 UNITS (56 PERMITTED)	46 UNITS
23-620 (23-633)	INITIAL SET BACKS: 23-633 PROVIDES ZERO SETBACK UP TO 85' MAX BASE HEIGHT					
	(HOUSTON @ 125' IS A "WIDE STREET") (AVE C & 2ND STREETS @ 60' ARE "NARROW STREETS")	WIDE STREET NARROW STREET	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK
23-621C	PERMITTED OBSTRUCTIONS	DORMERS 60% OF STREET WALL AT MAX BASE HEIGHT & REDUCES AT A RATE OF 1% OF STREET WALL	NONE	DORMERS	DORMERS	DORMERS
23-633 (a)(3) & CHART	MINIMUM BASE HEIGHT MAXIMUM BASE HEIGHT MAXIMUM BUILDING HEIGHT		60' 85' 120'	80' 80' 100'	80' 80' 120'	85' 85' 105'

45 1BEDROOM
8 2BEDROOM
53 TOTAL APARTMENTS

10 STORIES

37 1BEDROOM
14 2BEDROOM
51 TOTAL APARTMENTS

12 STORIES

30 1BEDROOM
16 2BEDROOM
46 TOTAL APARTMENTS

10 STORIES

4,547 SF COMMERCIAL =
POSSIBLE (6) 1BEDROOM APTS.

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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
AS OF RIGHT
ZONING COMPARISON



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3 of 16

ZONING ANALYSIS

Map 12C Zoning District R8A
No Commercial Overlay
Community District 3
Within Inclusionary Housing Area

Site Area =5874.3
Irregular Site 40.3 x 123.3 x 56 x 123
100' Corner Lot + 22' Through Lot

Average Base Plane = 16.5ft (Average Base Plane = Project 0'-0")

22-9 Uses: Use Groups 1-4

22-321 Nameplates or Identification signs: b)multiple dwellings...Non-illuminated...one identification sign, with an area not exceeding 12 square feet and indicating only the name of the permitted use,the name or address of the building or name of management....height of letters on any side of such awnings or canopies shall not exceed 12 inches

23-10 Quality Housing required (See Chapter 28)

23-144 Maximum Floor Area Ratio (Inclusionary Housing see 23-952)

23-952 Maximum Floor Area Ratio (FAR)
Maximum Floor Area Ratio (FAR)
Lot Area = 5874sf

Inclusionary Housing: 5.4 minimum to 7.2 maximum
Zoning Area = 5874sf x 5.4 = 31,719.6 sf
Zoning Area = 5874sf x 7.2 = 42,292.8 sf

23-145 Maximum Lot Coverage
Corner Lot: 80% 4,704sf x .8 = 3,763sf
Through Lot: 70% 1170sf x .7 = 819sf
Total = 4582sf

Quality Housing: 6.02 FAR
Zoning Area = 5874sf x 6.02 = 35,361.5 sf

23-22 & 23 Maximum number of Dwelling Units
R8A: factor of 740
Max. Residential FAR / Factor
42,292.8 sf / 740 = 57.1

23-462c Side Yards:
None required in R8 zones. Any Open Area along a side yard shall be min. 8ft wide and extend length of Side Lot Line

23-47 Rear Yards:
Minimum 30ft

23-471 R8: for #interior# or through lot portions of corner lots, and for zoning lots bounded by two or more streets that are neither corner lots nor through lots, the portion of a side lot line beyond 100 feet of the street line that it intersects shall be considered a rear lot line and the following rules shall apply along such rear lot line
a) In all districts, a rear yard with a minimum depth of 30 feet shall be provided where such rear lot line coincides with a rear lot line of an adjoining zoning lot
b) NA
c) In R6 through R10 Districts, no rear yard shall be required where such rear lot line coincides with a side lot line of an adjoining zoning lot.
lot line# beyond 100 feet of the #street line# that it intersects shall be considered a #rear lot line#

23-531 a) R8 zones: no rear yard regulations shall apply to any through lots that extend less than 110 feet in maximum depth from street to street.
b) Quality Housing buildings, no rear yard regulations shall apply to any zoning lot that includes a through lot portion that is contiguous on one side to two corner lot portions and such zoning lot occupies the entire block frontage of a street

23-532 Rear yard Equivalents: Do not apply to through lots less than 110 in depth

23-542 Short Demension Block, R8: front lot line of a zoning lot coincides with all or part of a street line measuring less than 230 feet in length between two intersecting streets, no rear yard shall be required within 100 feet of such front lot line.

23-62 Height & Setback Obstructions
a) Awnings and sun control 2'-6" max projection above first story level.... When located on the first story above a setback, awnings and other sun control devices shall be limited to a projection of 50 percent of the depth of the required setback, and shall be limited, in total, to 50 percent of the width of the building wall from which they project
g) Elevator or stair bulkheads (including shafts; and vestibules not larger than 60 square feet in area providing access to a roof....
1) shall be located not less than 10 feet from the street wall ...except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair bulkheads (including shafts or vestibules), provided the aggregate width of street walls of such bulkheads within 10 feet of a street wall, facing each street frontage, times their average height, in feet, does not exceed an area equal to four times the width, in feet, of the street wall of the building facing such frontage
Other obstructions: balconies, columns, chimnies, decks, Screened mechanical equip, flagpoles, parapets, roof thickness, skylights, solar energy sys,vegetated roofs,

Projections over Streetline: Architectural details, Marquee, balconies, overhangs, awnings.... see Chapter 32 of Building Code: Encroachments into Right of Way
3202.2.1.2 Architectural Details ground to 10ft 4" projection....Above 10ft 10"....projections above 10ft may be allowed more subject to approval of Commissioner DOT
3202.2.1.4 Marquees: 10ft above...project no closer than 2ft from curb..3ft max thickness, supported from building...on Multiple dwellings
3202.2.1.3 Balconies: 10 ft above 22" projection beyond streetline
3202.2.3.1 Store awnings: 8ft above 8ft max projection
above building elements to be removable, permission revocable.....all subject to applicable Iregulations including DOB & DOT

23-621 Permitted obstructions
c) R8A & QH: Dormers 60% of street wall and reduces at a rate of 1% of street wall

23-633 a3) Along Wide street and within 50ft of wide street intersection
a3i) the street wall shall extend along the entire street frontage of a zoning lot
a3ii) at least 70 percent of the aggregate width of street walls shall be located within eight feet of the street line and extend to at least the minimum base height specified in the table in this Section or the height of the building, whichever is less. The remaining 30 percent of the aggregate width of street walls may be recessed beyond eight feet of the street line provided any such recesses deeper than 10 feet along a wide street or 15 feet along a narrow street are located within an outer court; and
a3iii) No street wall location provisions shall apply along any narrow street beyond 50 feet of their intersection with a wide street
b)Setbacks required above maximum base height
Wide Street = 10ft
Narrow Street= 15ft
c) Maximum Building Height R8A
60ft Min Base Height 85ft Max Base Height 120 Max. Building Height

23-663b no portion of building above maximum base shall be nearer than 10ft to Rear Yard Line.

23-692 Height Limitation for narrow building R8: ..buildings with street walls less than 45 feet in width shall not be permitted above the following heights
c) For corner lots bounded by at least one wide street, a height equal to the width of the widest street on which it fronts, or 100 feet, whichever is less
6) Quality Housing buildings shall be exempt from the provisions of this Section provided the width of the street wall at the maximum base height specified in the applicable table in Section 23-633 or 35-24 is at least 45 feet. For such buildings, a street wall that is less than 45 feet wide may be constructed above such base

23-80 Court Regulations, Open area requirements

23-841 R8: In all districts indicated, if an outer court is less than 30 feet wide, the width of such outer court shall be at least one and one third the depth of such outer court

23-842 R8: In all districts, as indicated, if an outer court is 30 feet or more in width, the width of such outer court must be at least equal to the depth of such outer court, except that such width need not exceed 60 feet

23-843 R8: In all districts, as indicated, the width of an outer court recess shall be at least twice the depth of the recess, except that such width need not exceed 60 feet

23-851 Inner Courts - minimal dimensions: R8: the area of an inner court shall not be less than 1,200 square feet, and the minimum dimension of such inner court shall not be less than 30 feet.
852: inner court recess similar to 843

23-861 Min distance between Legally required Windows, walls lot lines at an inner court
R8: 30ft to any wall, rear lotline or side lot line or verical projection thereof

23-863 Min distance between legal req windows and walls on same lot (Inner Court). 30ft min or 1/2 the height above window sill to max of 60ft

23-892 R8A and QH planting at ground or raised in raised planters open space between street line and streetwalls

28 Quality Housing
The Quality Housing Program consists of four components: neighborhood impact, building interior, recreation space and planting, and safety and security

28-21 A dwelling unit shall have an area of at least 400 square feet of floor area

28-23 A refuse disposal room of not less than twelve square feet with no dimension less than three feet shall be provided on each story that has entrances to dwelling units ... Twelve square feet of such refuse storage room shall beexcluded from the definition of floor area.

28-24 Laundry Facility: provide a laundry room with one washing machine per 20 units and 1 dryer per 40 units. (Provided: one washer and dryer in each unit)

28-25 Daylight in Corridors: Fifty percent of the square footage of a corridor may be excluded from the definition of floor area if a window with a clear, non-tinted, glazed area of at least 20 square feet is provided in such corridor, provided that such window:
(a) shall be directly visible from 50 percent of the corridor or from the#vertical circulation core. This standard shall be achieved when a visually unobstructed straight line can be drawn between such corridor, elevator or stairwell, and the window; and
(b) is located at least 20 feet from a wall or a side or rear lot line measured in a horizontal plane and perpendicular to the rough window opening.

28-31 Recreation Space:
Minimum Required Recreation Space as a percentage of the residential floor area R8: 2.8
a) All recreation space shall be accessible to the residents...
b) The minimum dimension of any recreation space shall be 15 feet. The minimum size of any outdoor recreation space shall be 225 square feet, and the minimum size of any indoor recreation space shall be 300 square feet
c) Outdoor open to the sky
d) Indoor...at least one exterior wall with windows that measure not less than 9.5 percent of the total floor space of the room ...

28-33 Planting Area see 23-892

28-41 Density per Corridor: If the number of dwelling units ... served by a vertical circulation core and corridor on each story does not exceed...(10)... 50 percent of the square feet of the corridor serving such dwelling units


28-51 Off street Parking...required by QH but in 25-242 waived for R8 districts with zoning lot 10,00sf or less

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC


11 AVENUE C

NEW YORK, N.Y.

BSA APPLICATION

AS OF RIGHT

ZONING ANALYSIS



05-28-14 DATE:
201305 PROJECT NO.
MGT DWN. BY:
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4 of 16

FLOOR AREA SCHEDULE

FLOOR LEVEL	GROSS FLOOR AREA	DEDUCTIONS	ZONING FLOOR AREA	REMARKS
CELLAR	4,561 SF	- 4,561 SF	0 SF	NOT ZONING AREA
FIRST FLOOR	4,561 SF	- 551.5 SF	4,009.5 SF	
SECOND FLOOR	4,561 SF	- 422.5 SF	4,138.5 SF	
THIRD FLOOR	4,561 SF	- 422.5 SF	4,138.5 SF	
FOURTH FLOOR	4,561 SF	- 422.5 SF	4,138.5 SF	
FIFTH FLOOR	4,561 SF	- 422.5 SF	4,138.5 SF	
SIXTH FLOOR	4,561 SF	- 422.5 SF	4,138.5 SF	
SEVENTH FLOOR	4,561 SF	- 422.5 SF	4,138.5 SF	
EIGHT FLOOR	4,561 SF	- 422.5 SF	4,138.5 SF	
9TH FLOOR	2,579 SF	- 339.0 SF	2,240.0 SF	
10TH FLOOR	2,203 SF	- 125.5 SF	2,077.5 SF	

TOTALS	45,831.0	- 8,534.5	37,296.5 SF	
45,831.0 SF	GROSS FLOOR AREA			
8,534.5 SF	DEDUCTIONS			
37,296.5 SF	TOTAL ZONING FLOOR AREA	37,296.5 SF / 5,874 SF = 6.3 FAR		
37,296.5 SF	RESIDENTIAL ZONING FLOOR AREA			
0 SF	COMMERCIAL ZONING FLOOR AREA			

QUALITY HOUSING DEDUCTIONS:
50% OF CORRIDOR - DENSITY PER CORRIDOR (FLOORS 1-10)
50% OF CORRIDOR - DAYLIGHT IN CORRIDORS (FLOOR 9)
12 SF REFUSE STORAGE & DISPOSAL ROOMS (FLOORS 1-10)

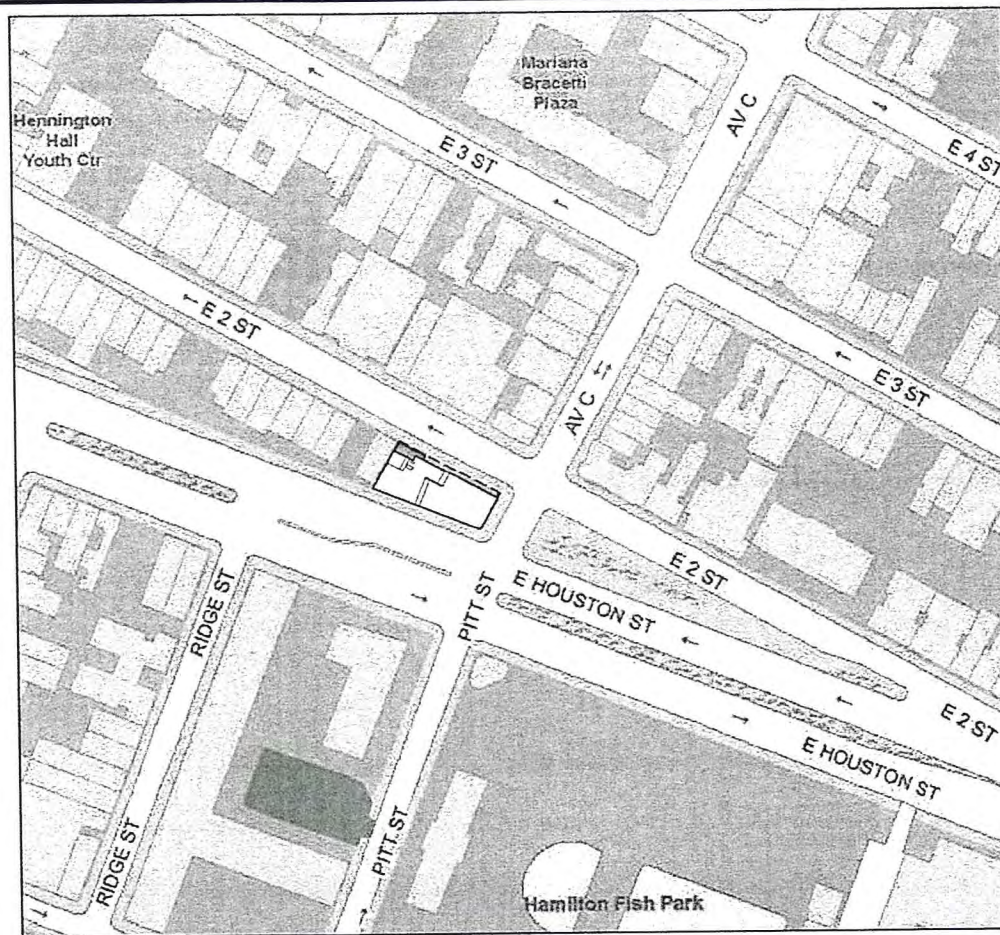
MECHANICAL DEDUCTIONS:
SHAFTS, PLUMBING CHASES & TRASH CHUTE 5% (2290 SF)

RESIDENTIAL UNIT SCHEDULE

UNIT TYPE	Area	UNIT TYPE	Area	UNIT TYPE	Area
1ST FLOOR		4TH FLOOR		7TH FLOOR	
1 BEDROOM	418 SF	1 BEDROOM	595 SF	1 BEDROOM	595 SF
1 BEDROOM	416 SF	1 BEDROOM	580 SF	1 BEDROOM	580 SF
1 BEDROOM	664 SF	1 BEDROOM	665 SF	1 BEDROOM	665 SF
1 BEDROOM	580 SF	1 BEDROOM	553 SF	1 BEDROOM	553 SF
1 BEDROOM	583 SF	1 BEDROOM	544 SF	1 BEDROOM	544 SF
2 BEDROOM	994 SF	2 BEDROOM	993 SF	2 BEDROOM	993 SF
	3654 SF		3929 SF		3929 SF
2ND FLOOR		5TH FLOOR		8TH FLOOR	
1 BEDROOM	595 SF	1 BEDROOM	595 SF	1 BEDROOM	595 SF
1 BEDROOM	580 SF	1 BEDROOM	580 SF	1 BEDROOM	580 SF
1 BEDROOM	665 SF	1 BEDROOM	665 SF	1 BEDROOM	665 SF
1 BEDROOM	553 SF	1 BEDROOM	553 SF	1 BEDROOM	553 SF
1 BEDROOM	544 SF	1 BEDROOM	544 SF	1 BEDROOM	544 SF
2 BEDROOM	993 SF	2 BEDROOM	993 SF	2 BEDROOM	993 SF
	3929 SF		3929 SF		3929 SF
3RD FLOOR		6TH FLOOR		9TH FLOOR	
1 BEDROOM	595 SF	1 BEDROOM	595 SF	1 BEDROOM	684 SF
1 BEDROOM	580 SF	1 BEDROOM	580 SF	1 BEDROOM	736 SF
1 BEDROOM	665 SF	1 BEDROOM	665 SF	1 BEDROOM	700 SF
1 BEDROOM	553 SF	1 BEDROOM	553 SF		2120 SF
1 BEDROOM	544 SF	1 BEDROOM	544 SF	10TH FLOOR	
2 BEDROOM	993 SF	2 BEDROOM	993 SF	1 BEDROOM	1047 SF
	3929 SF		3929 SF	1 BEDROOM	677 SF
					1724 SF
45 1 BEDROOM				Grand total	35003 SF
8 2 BEDROOM					
53 TOTAL					

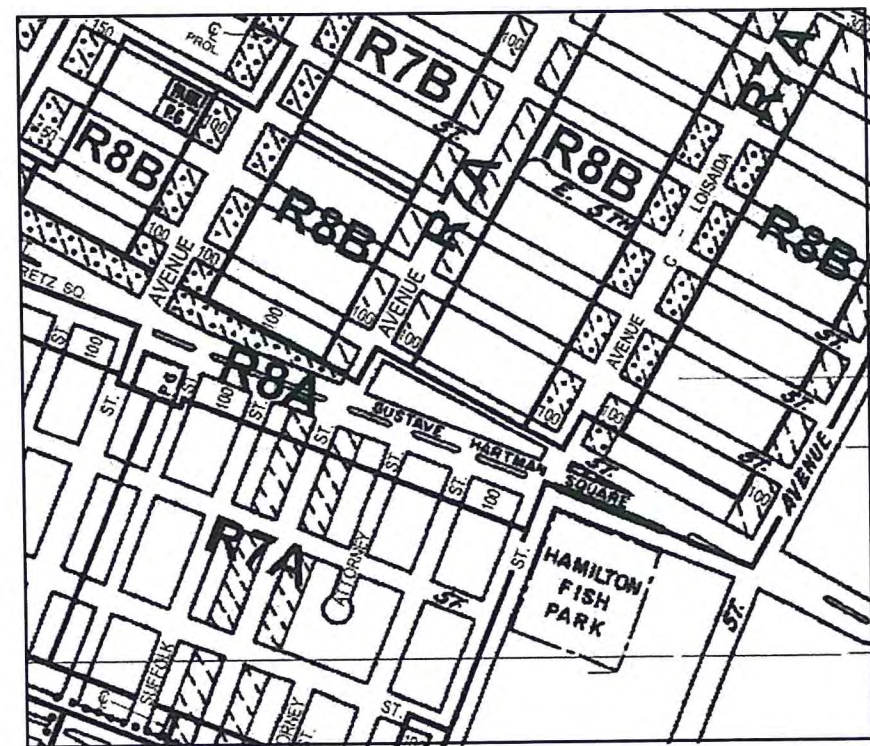
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350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION AS OF RIGHT FLOOR AREA & RESIDENTIAL UNIT SCHEDULES		
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5 of 16		



LOT PLAN

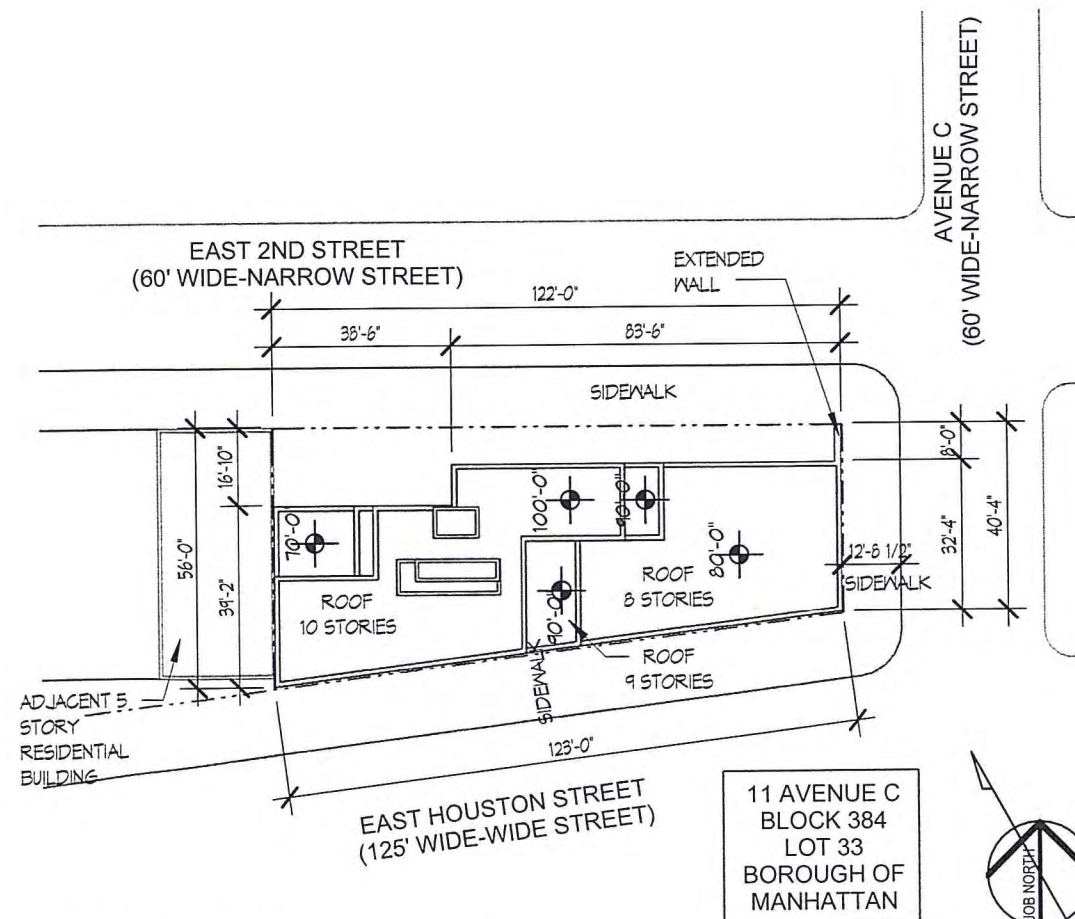
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PORTION OF ZONING MAP 12C

ZONING MAP

SCALE: 1" = 600'-0"



ZONING SITE PLAN

SCALE: 1" = 40'-0"

11 AVENUE C
BLOCK 384
LOT 33
BOROUGH OF
MANHATTAN

OVERLAPPING
PROPERTY LINES
OFFSET FOR CLARITY



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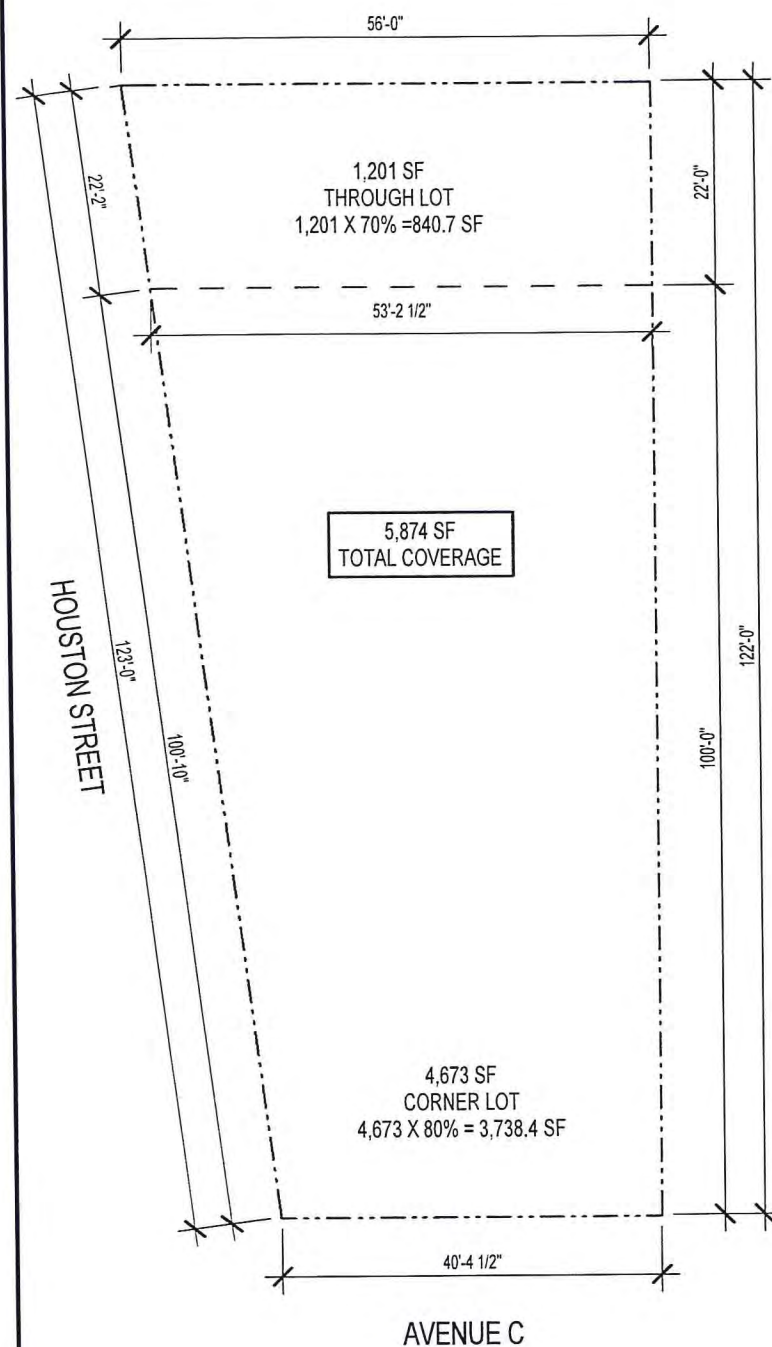
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NEW YORK, N.Y.

BSA APPLICATION
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LOT PLAN, ZONING SITE
PLAN & ZONING MAP

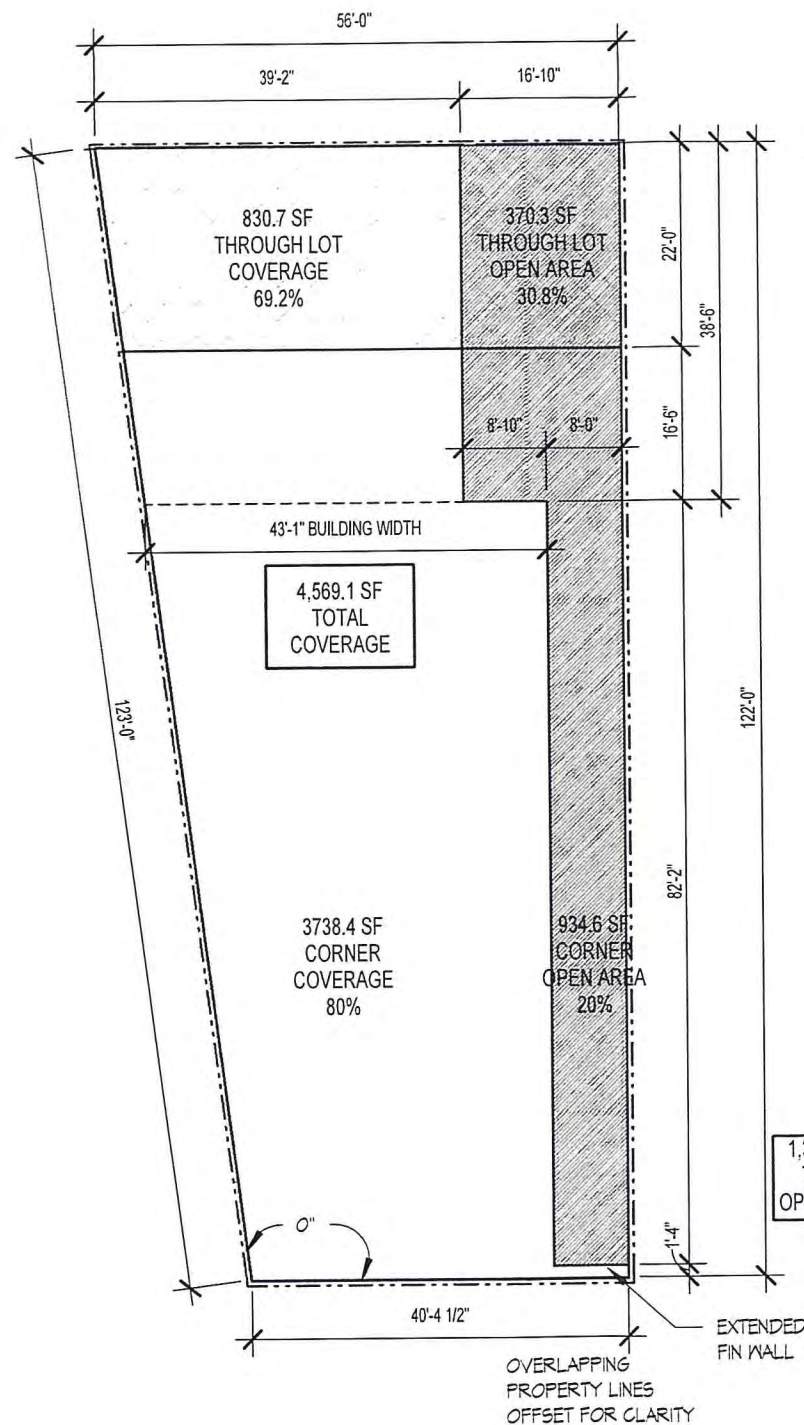


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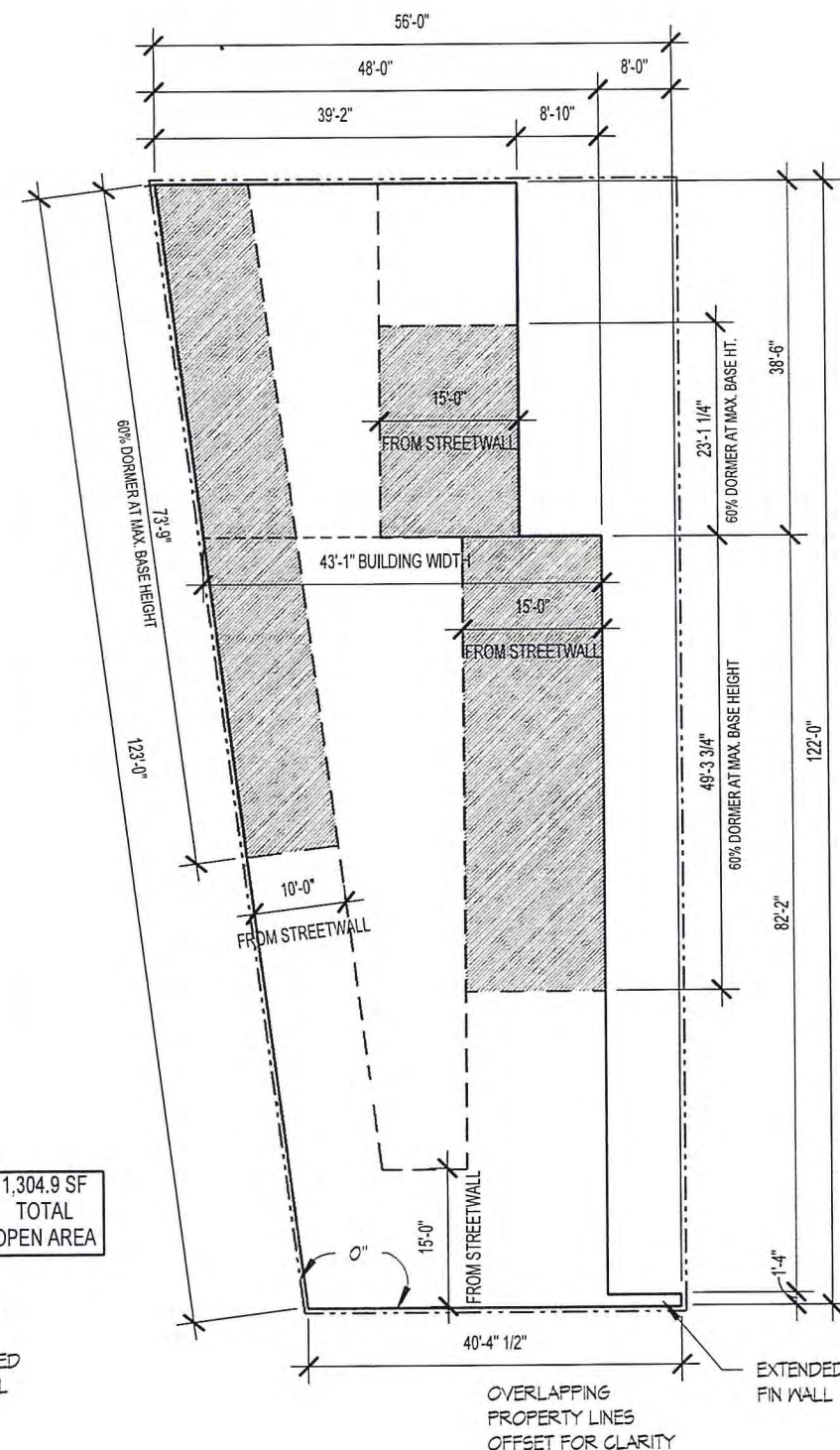
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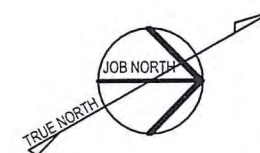
LOT COVERAGE
SCALE: 1" = 20'-0"



POSSIBLE LOT COVERAGE
SCALE: 1" = 20'-0"



SETBACKS @ 85'
SCALE: 1" = 20'-0"



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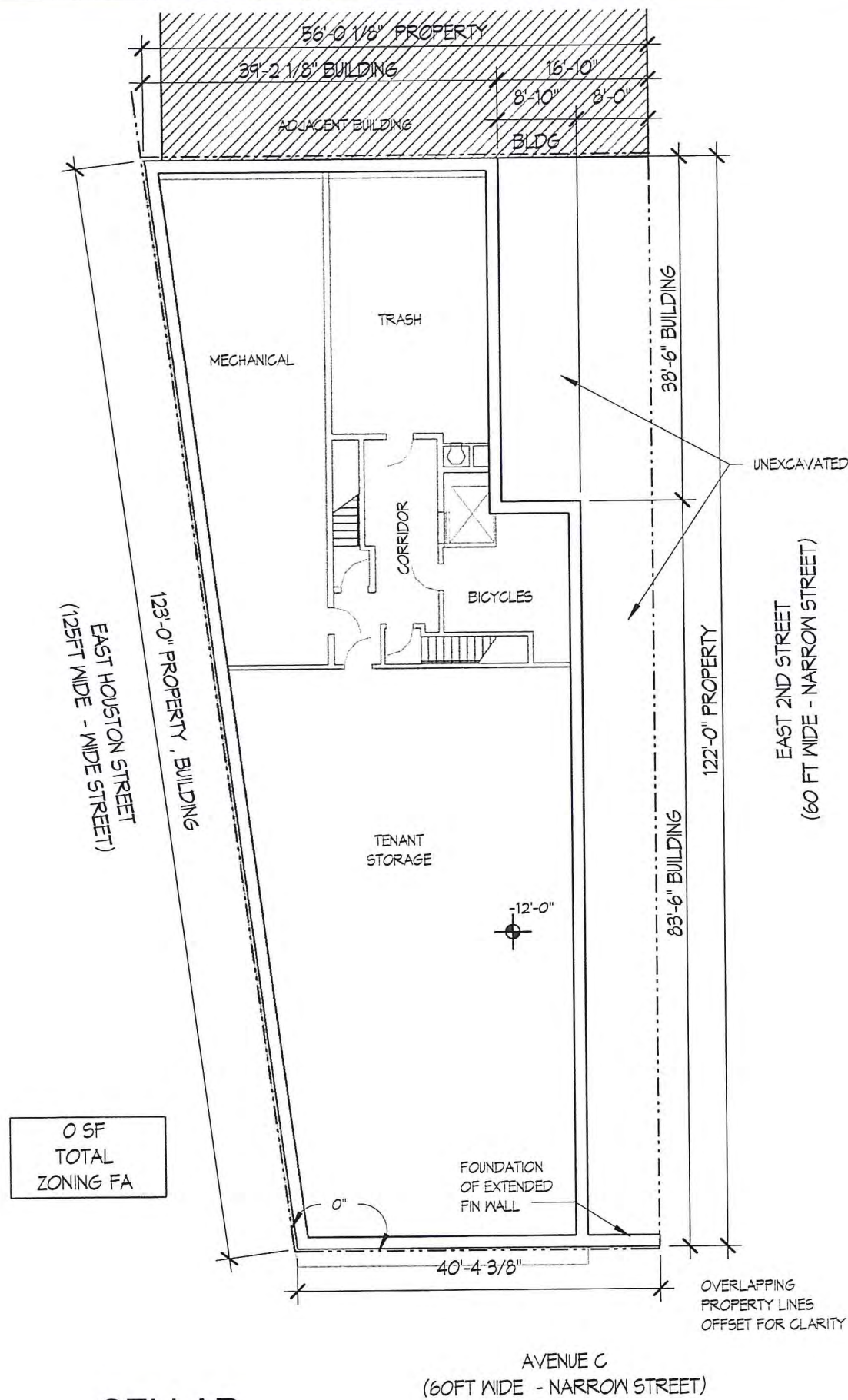
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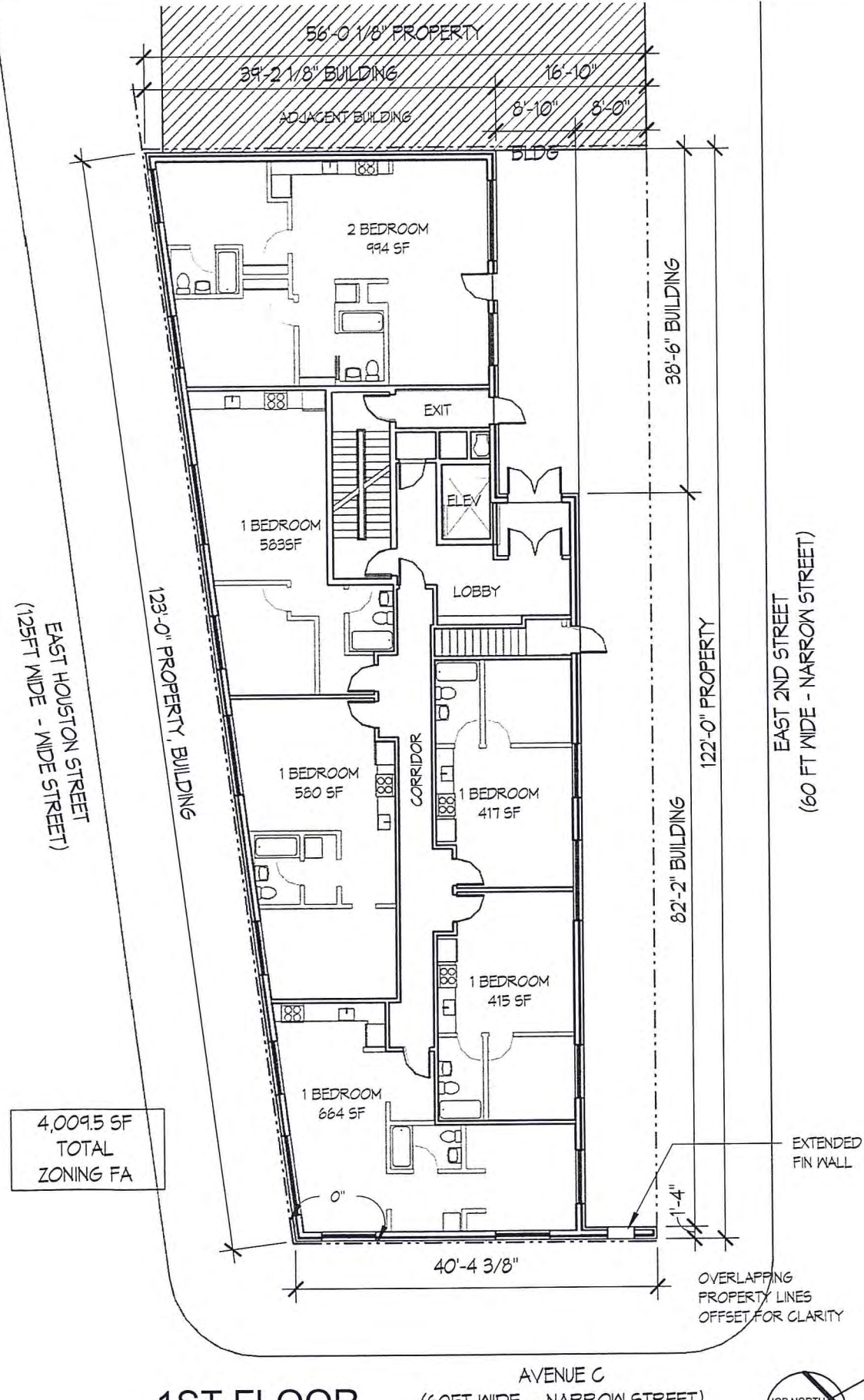
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**AS OF RIGHT
LOT COVERAGE PLANS**
PLANS



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AR-100
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7 of 16




CELLAR
SCALE: 1/16" = 1'-0"



1ST FLOOR
SCALE: 1/16" = 1'-0"

NOTE: ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

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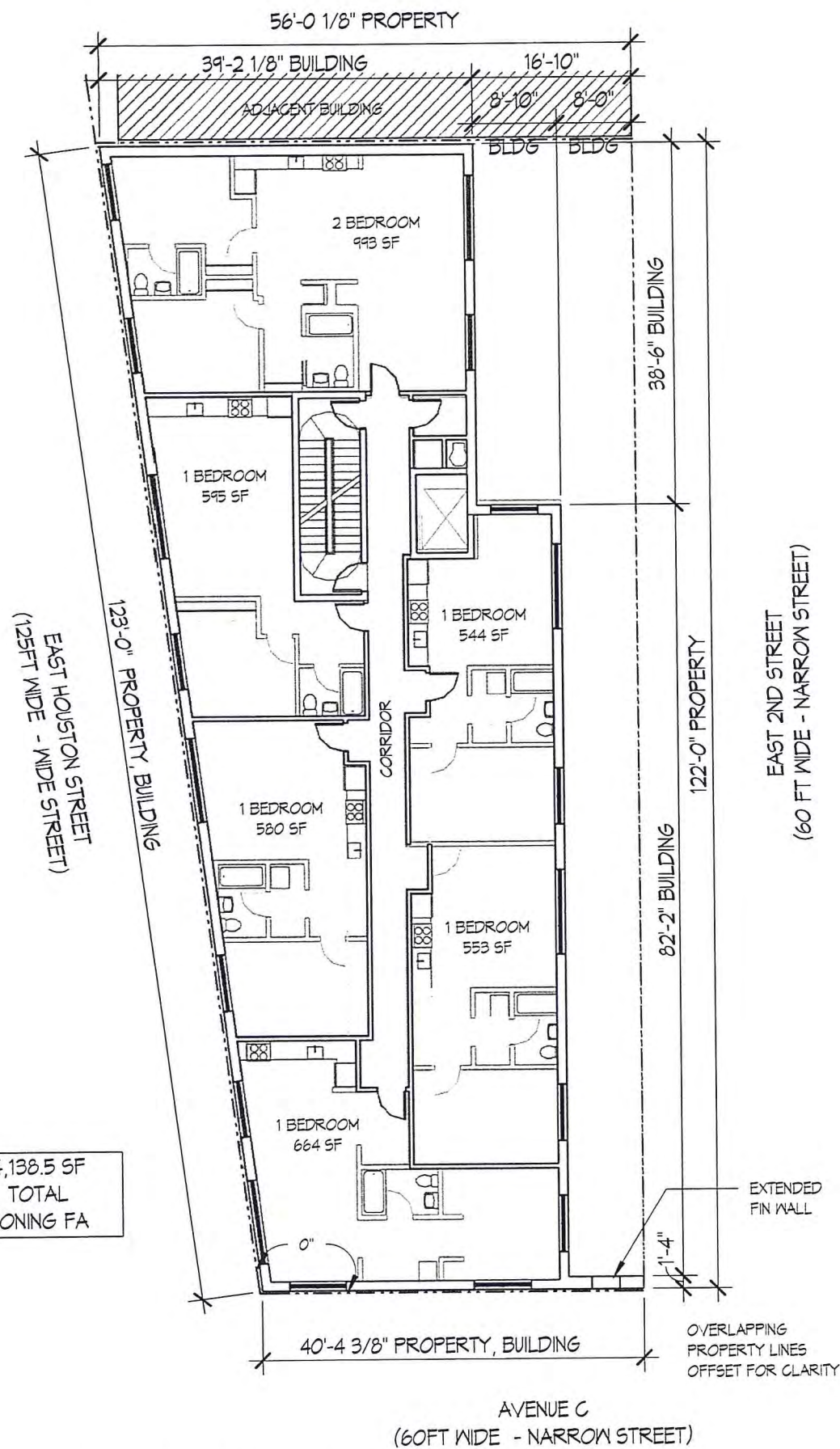
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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**AS OF RIGHT
CELLAR & FIRST FLOOR
PLANS**

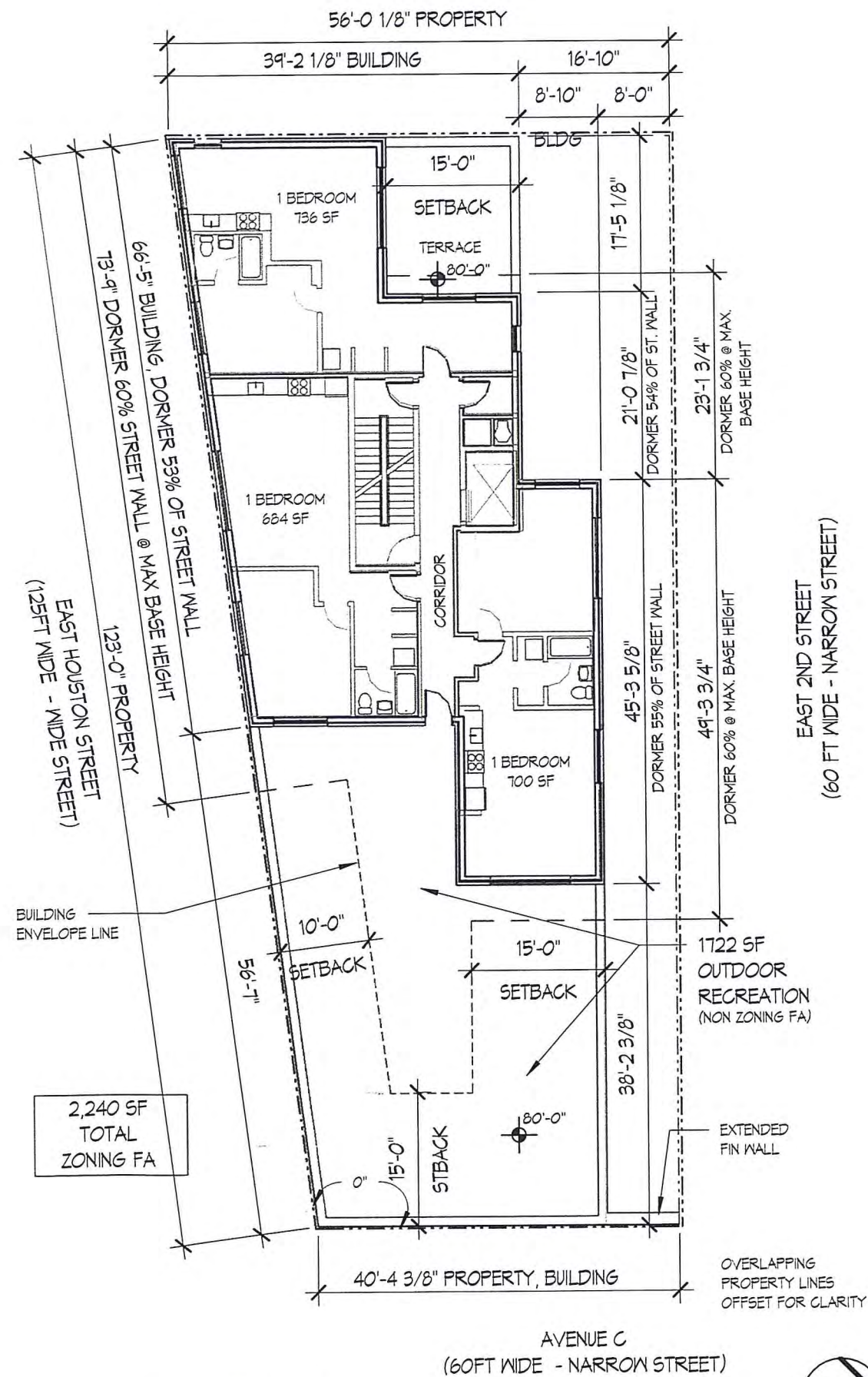


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2ND-8TH FLOORS

SCALE: 1/16" = 1'-0"



9TH FLOOR

SCALE: 1/16" = 1'-0"

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC

11 AVENUE C

NEW YORK, N.Y.

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SECOND THRU EIGHTH &
NINTH FLOOR PLANS



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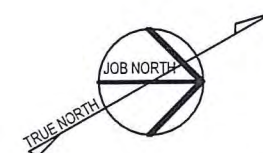
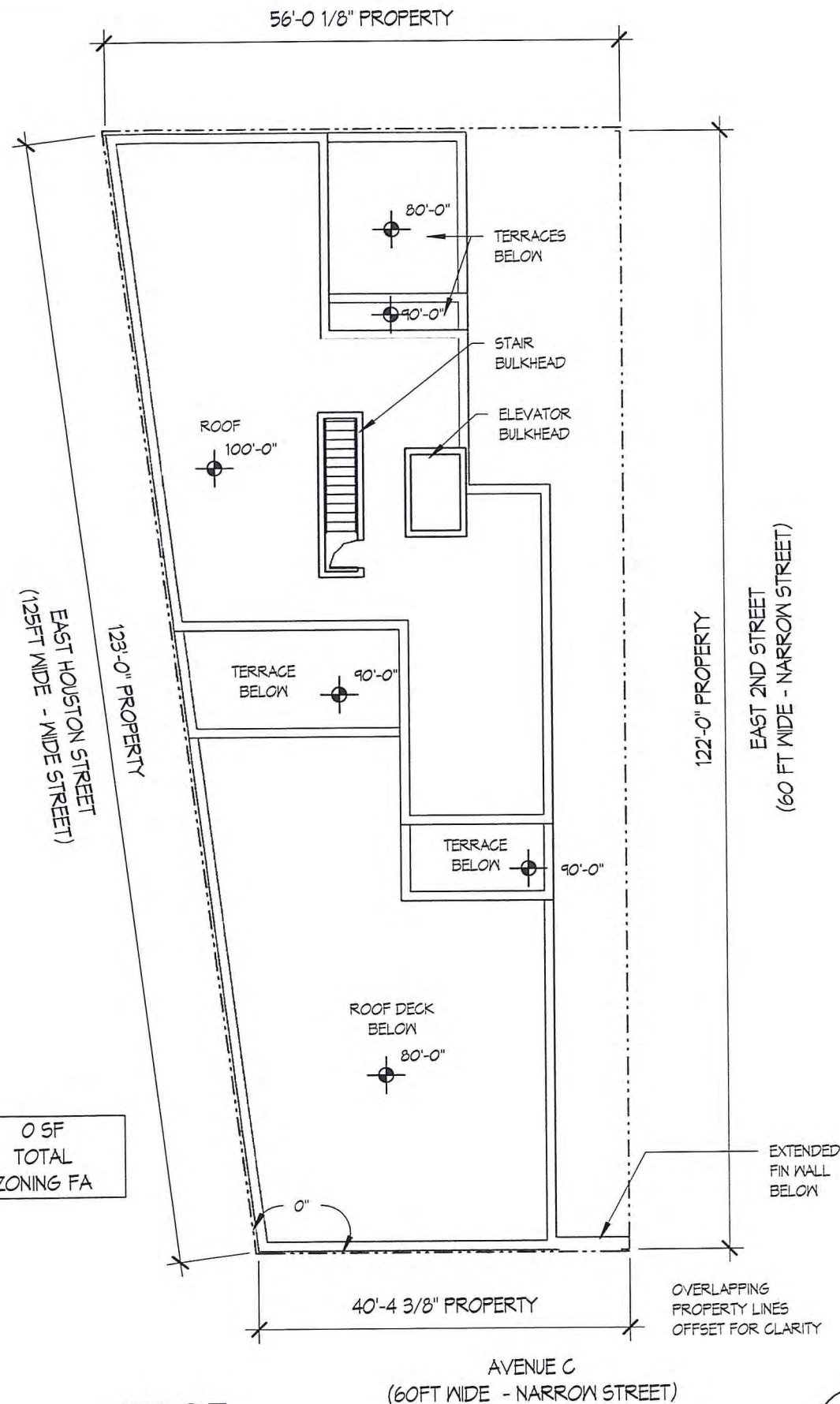
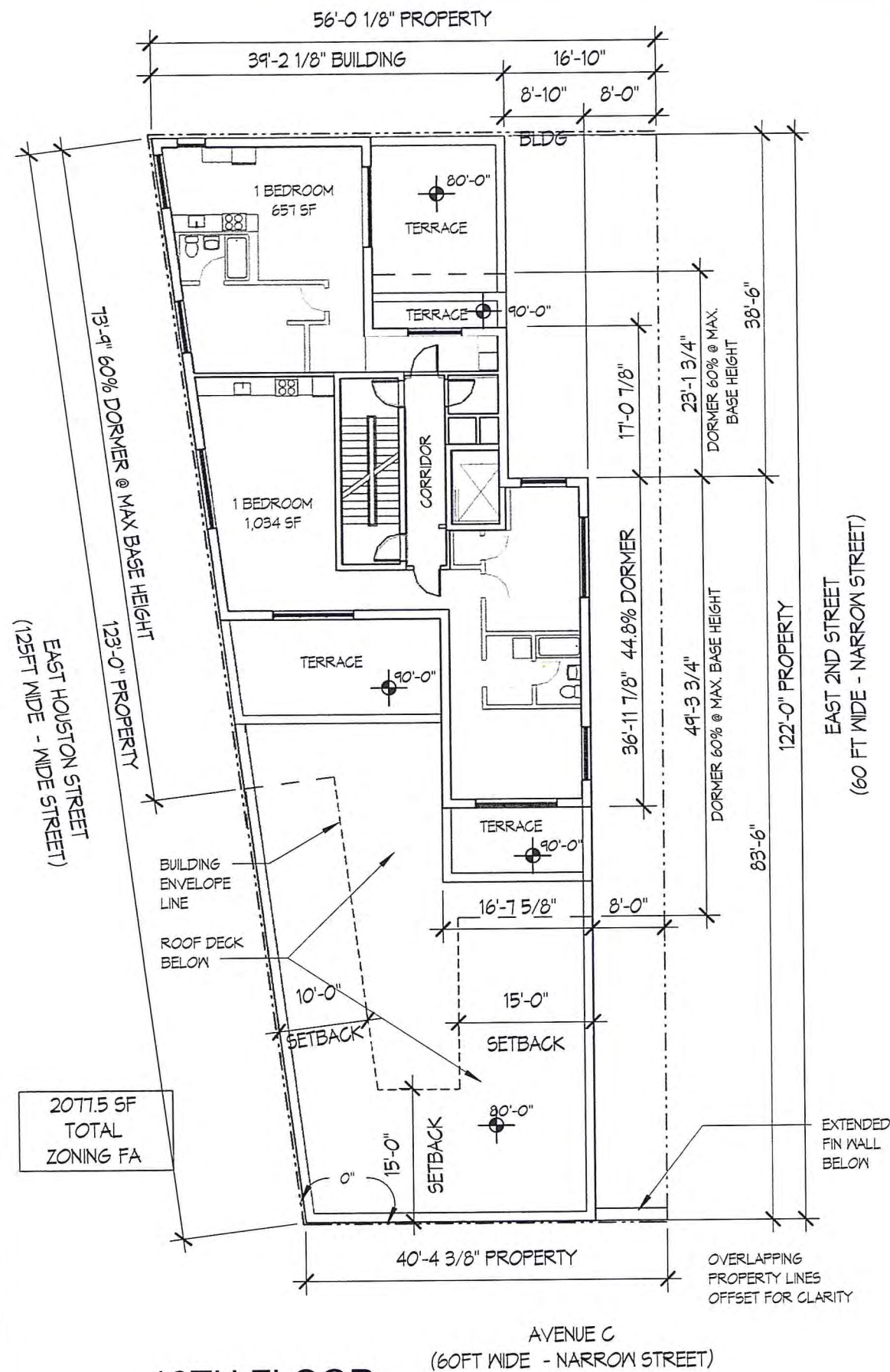
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9 of 16



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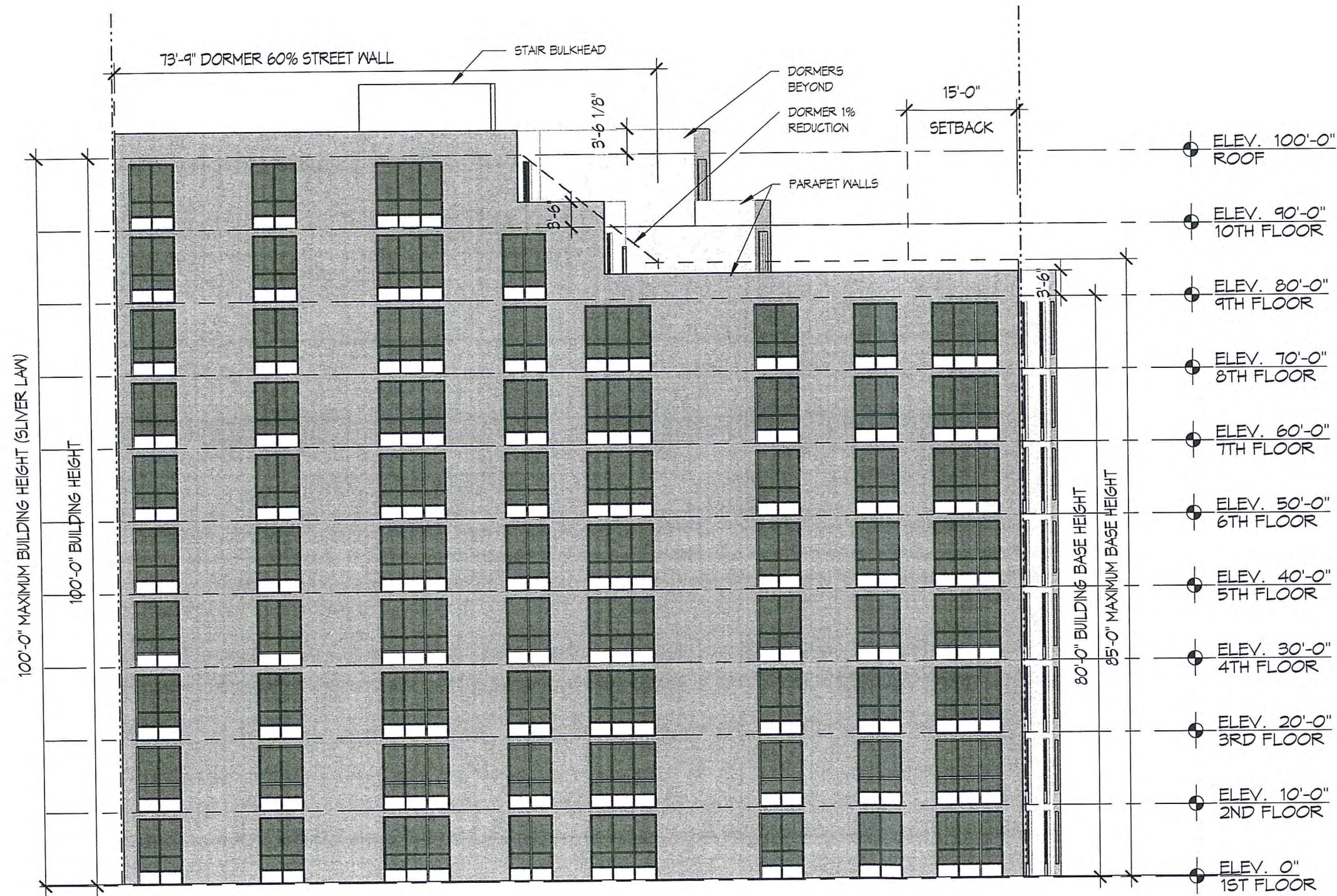
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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**AS OF RIGHT
TENTH FLOOR & ROOF
PLANS**



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DWN. BY:
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DRAWING NO.
10 of 16



AVERAGE BASE PLANE = 16.5 FT
(AVERAGE BASE PLANE = PROJECT 0 FT)

SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

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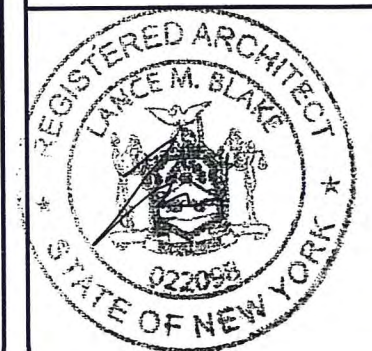
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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**AS OF RIGHT
ELEVATIONS**

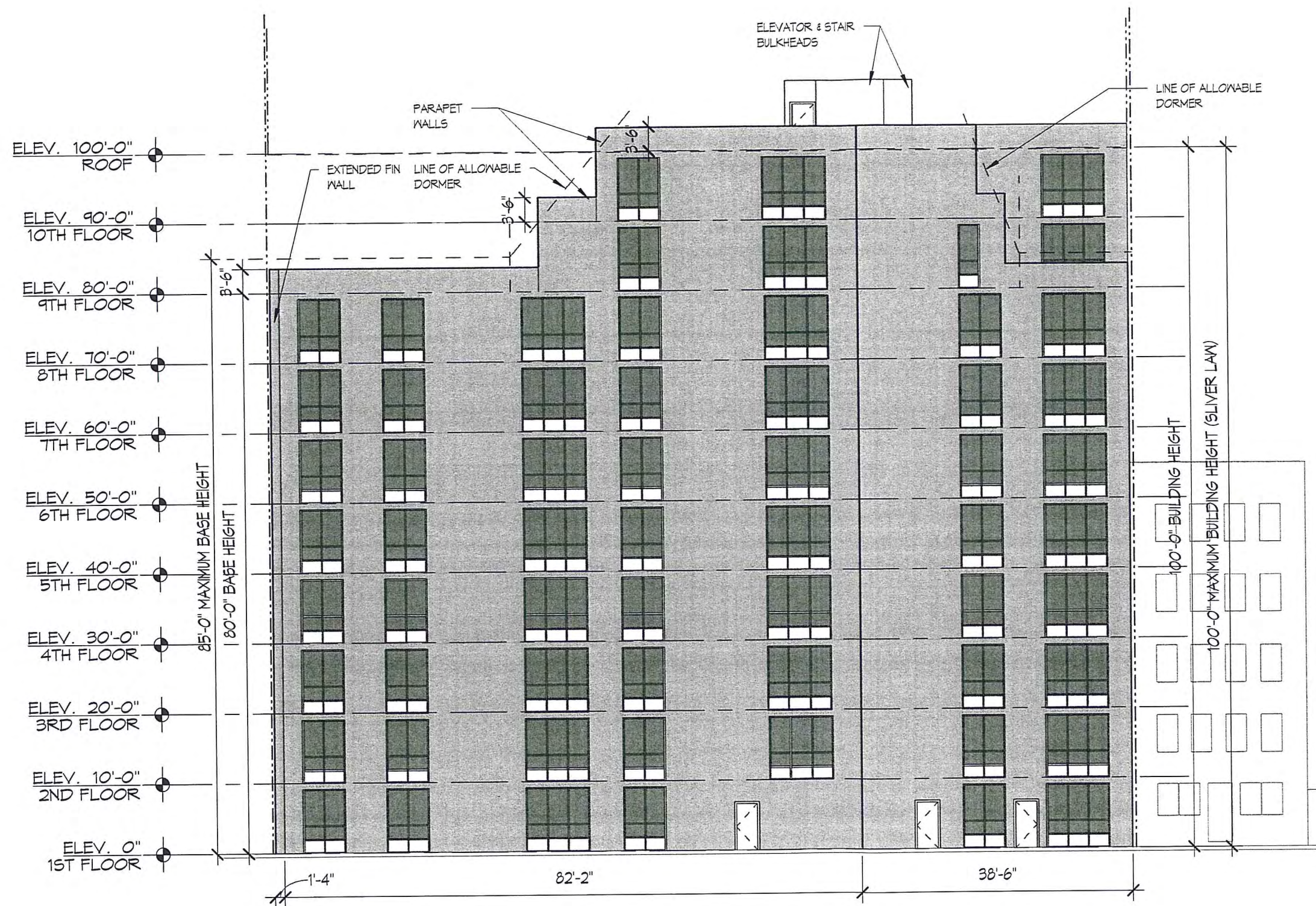


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11 of 16



NORTH ELEVATION

SCALE: 1/16" = 1'-0"

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

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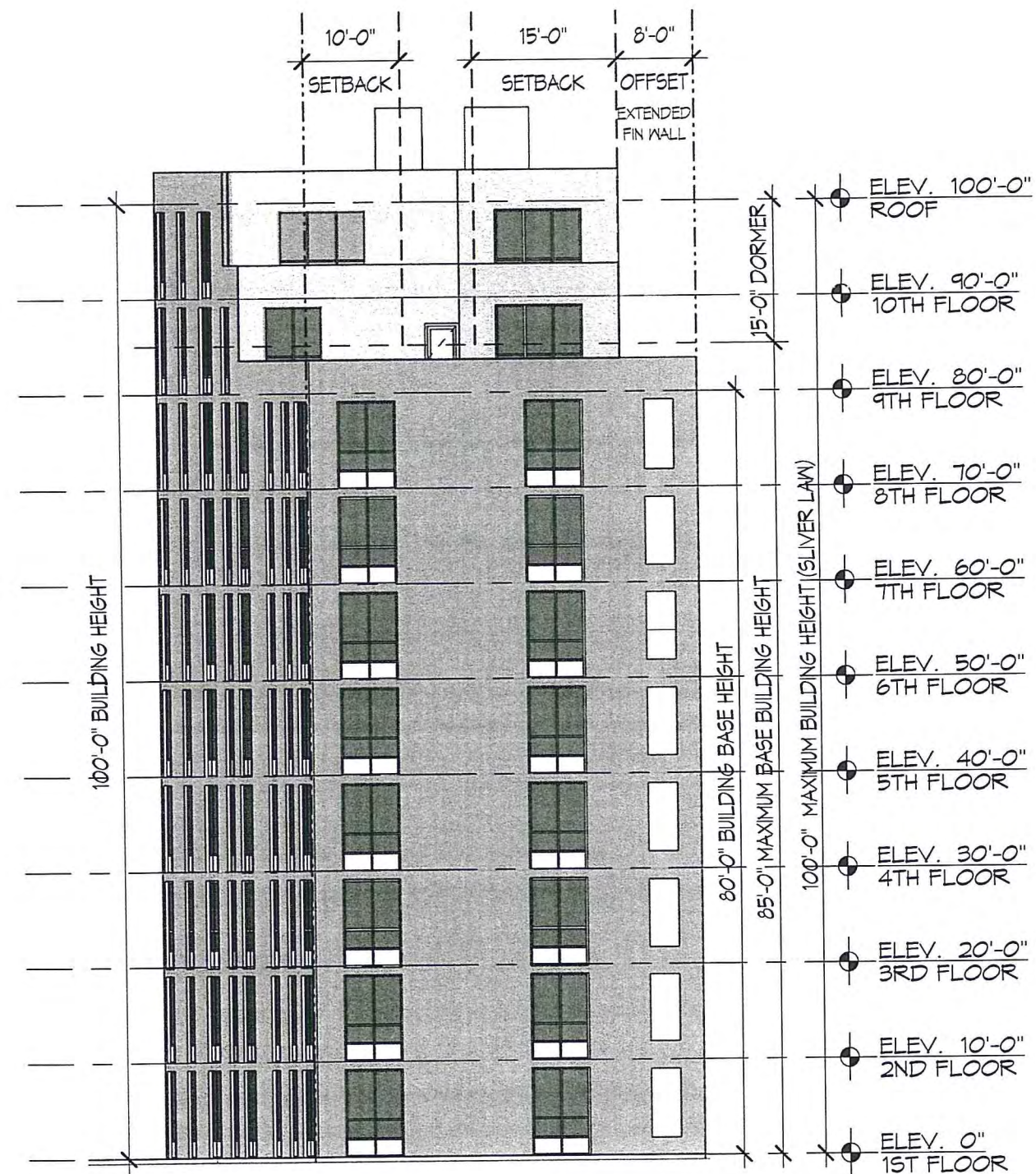


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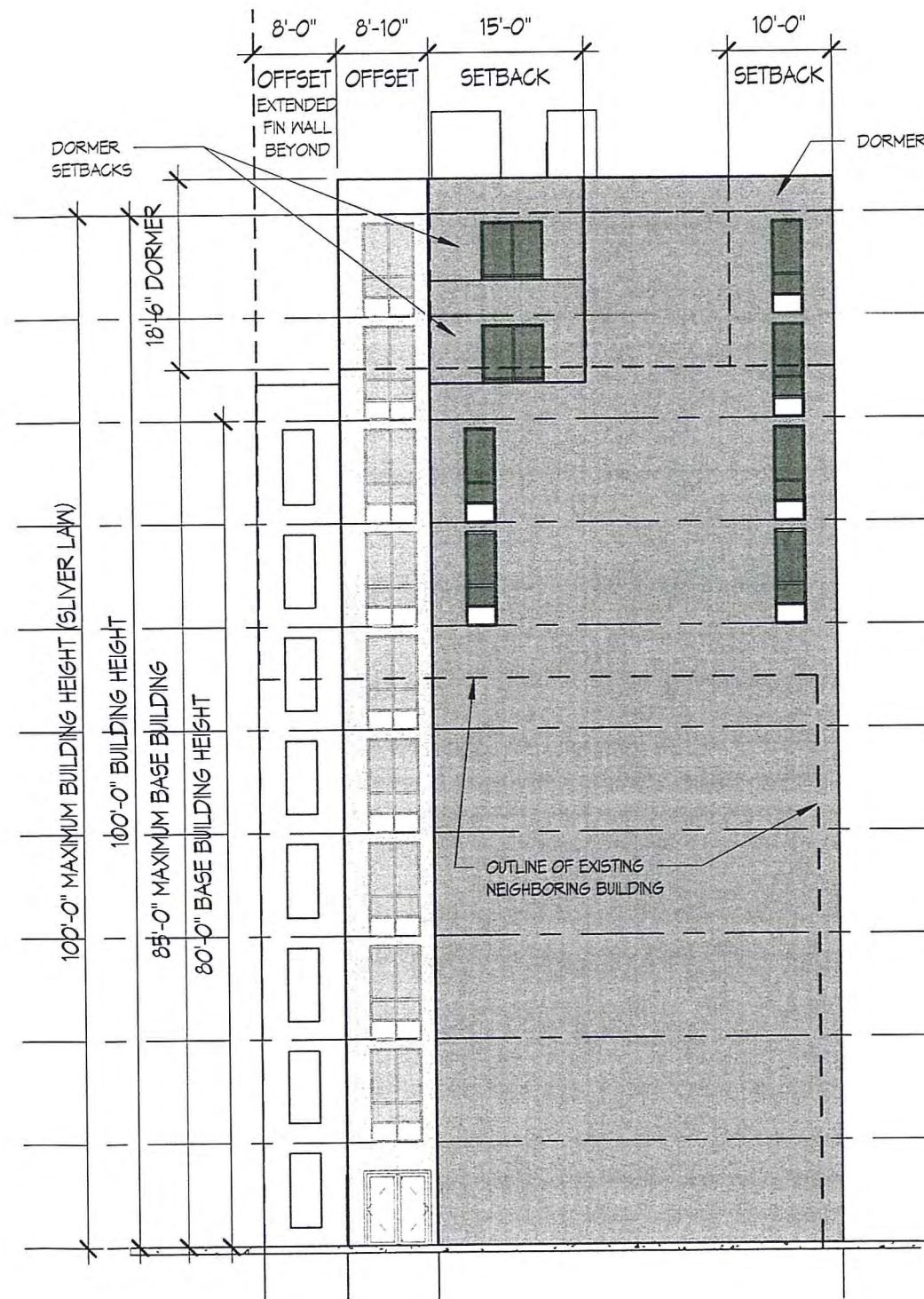
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EAST ELEVATION

SCALE: 1/16" = 1'-0"



WEST ELEVATION

SCALE: 1/16" = 1'-0"

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PROPOSED RESIDENTIAL DEVELOPMENT

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ELEVATIONS



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13 of 16

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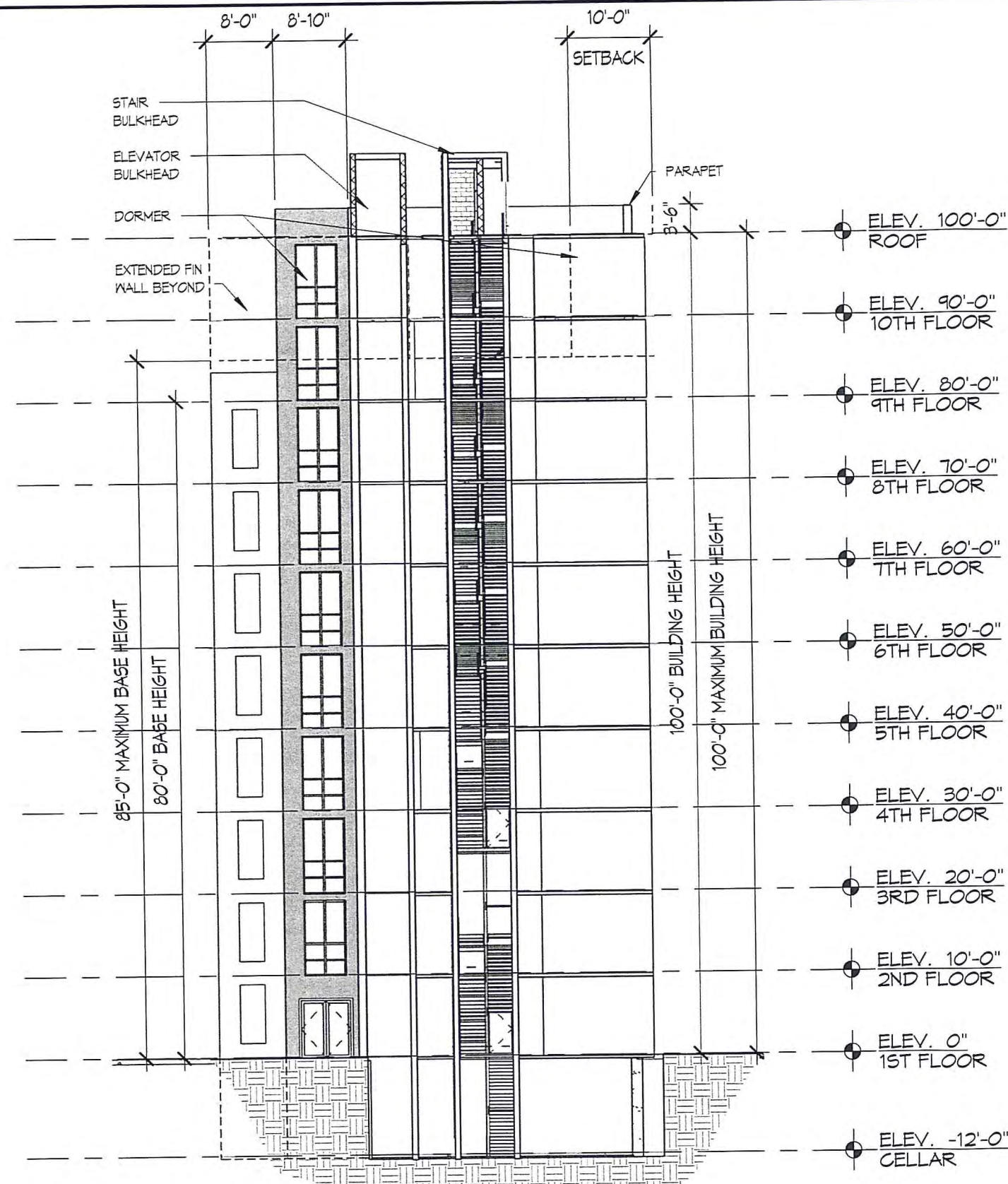
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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

BSA APPLICATION
**AS OF RIGHT
 SECTIONS**



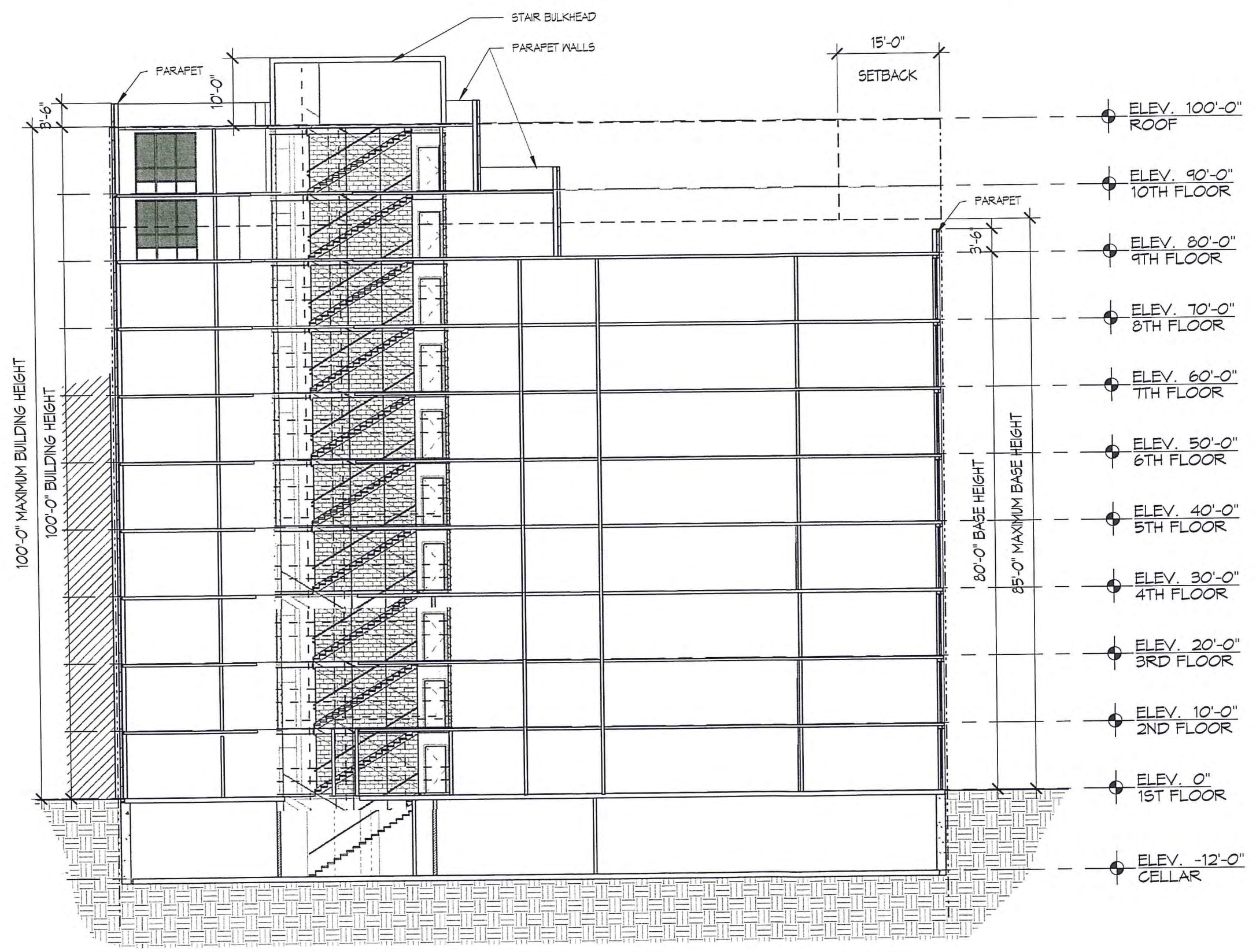
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 14 of 16





SECTION
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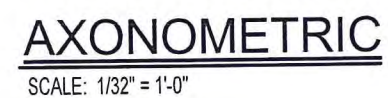
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350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION AS OF RIGHT SECTIONS		
		05-28-14 DATE: 201305 PROJECT NO. MGT DWN. BY: LMB CHECKED BY: AR-302 DRAWING NO. 15 of 16



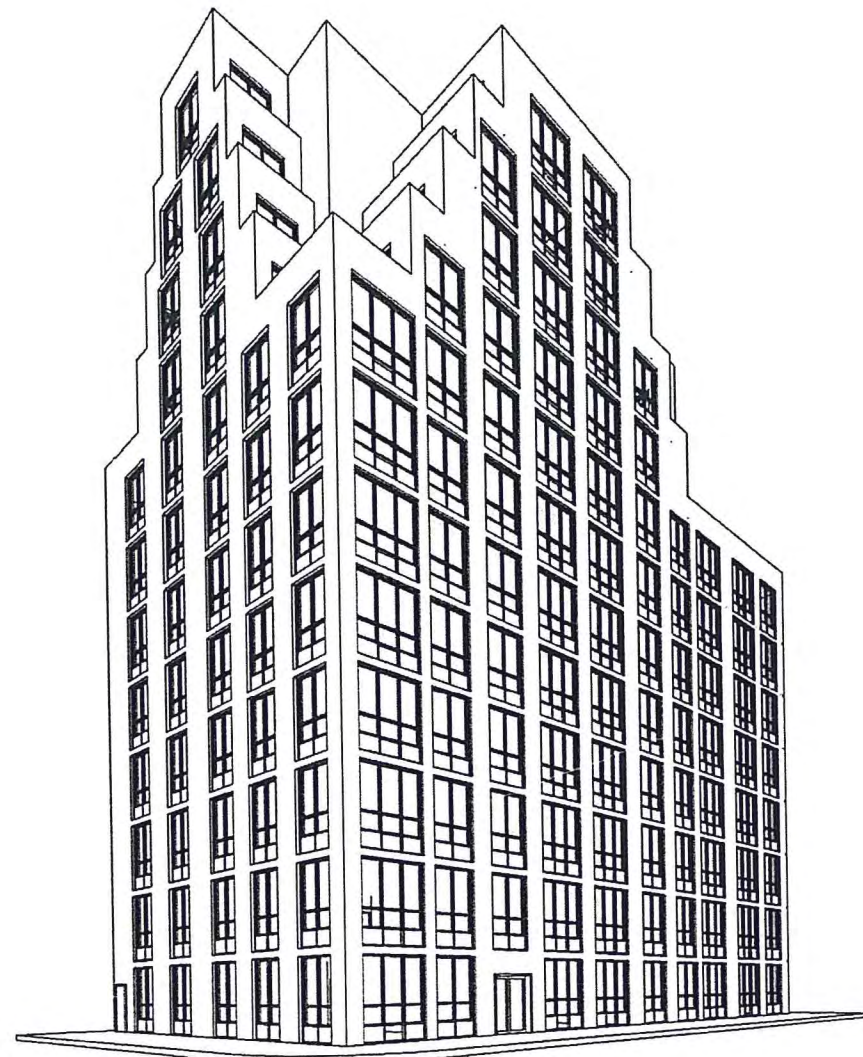
16 of 16

PROPOSED RESIDENTIAL DEVELOPMENT

11 AVENUE C NEW YORK, N.Y.

OWNER:
350 EAST HOUSTON, LLC

TYPICAL DESIGN SCHEME: 58'-0" X 100'-0" CORNER LOT (F.A.R. = 7.2)



DRAWING INDEX

- TYP-000 TITLE SHEET
- TYP-001 ZONING COMPARISON
- TYP-002 ZONING ANALYSIS
- TYP-003 FLOOR AREA & RESIDENTIAL UNIT SCHEDULES
- TYP-100 LOT COVERAGE & SETBACKS
- TYP-101 CELLAR & FIRST FLOOR PLANS
- TYP-102 SECOND THRU EIGHTH & NINTH FLOOR PLANS
- TYP-103 TENTH & ELEVENTH FLOOR PLANS
- TYP-104 TWELFTH FLOOR & ROOF PLANS
- TYP-201 ELEVATIONS
- TYP-202 ELEVATIONS
- TYP-203 ELEVATIONS
- TYP-301 SECTIONS
- TYP-302 SECTIONS
- TYP-303 AXON

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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**TYPICAL
TITLE SHEET**

REGISTERED ARCHITECT
LANCE M. BLAKE
STATE OF NEW YORK
022098

05-28-14
DATE:

201305
PROJECT NO.

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DRAWING NO.

1 of 15

ZONING COMPARISON

ZR REF	ZONING RESOLUTION HEADING	ZR ITEM	ZR DATA	AS-OF-RIGHT SCHEME	TYPICAL SCHEME	PROPOSED SCHEME
	ZONING MAP ZONING DISTRICT COMMUNITY DISTRICT INCLUSIONARY HOUSING		12C R8A 3 YES	12C R8A 3 YES	12C R8A 3 YES	12C R8A 3 YES
	SITE AREA IRREGULAR 40.3X1233X56X123 100' CORNER + 22' THROUGH LOT WIDTH		5874.3 SF	5874.3 SF	5800 SF	5874.3 SF
22-00	USES		USE GROUPS 1-4 PERMITTED AS-OF-RIGHT	USE GROUPS 2	USE GROUPS 2	USE GROUPS 2 & 6 (NONCOMPLIANT)
23-010	QUALITY HOUSING	CHAPTER 28	REQUIRED	PROVIDED	PROVIDED	PROVIDED
23-951	MAXIMUM FLOOR AREA RATIO	RESIDENTIAL BASE FAR (INCLUSIONARY HOUSING) MAX. FAR WITH BONUS (INCLUSIONARY HOUSING)	5.4 FAR 7.2 FAR	NA 6.3 FAR	NA 7.2 FAR	NA 7.2 FAR (MIXED USE - SEE BELOW)
		MAX. RESIDENTIAL ZONING FAR MAX. RESIDENTIAL ZONING FLOOR AREA	5,874.3 SF X 7.2 = 42,295 SF	37,296.5 SF	41,760 SF (41,760 SF PERMITTED)	6.43 FAR 37,743 SF
		MAX. COMMERCIAL ZONING FAR MAX. COMMERCIAL ZONING FLOOR AREA	NOT PERMITTED NOT PERMITTED	0 FAR 0 SF	0 FAR 0 SF	0.77 FAR (NONCOMPLIANT) 4,550 SF (NONCOMPLIANT) MIXED USE 7.2 FAR (42,293 SF) (NONCOMPLIANT)
28-31	QUALITY HOUSING: MINIMUM INTERIOR OR EXTERIOR RECREATION SPACE	2.8% OF TOTAL FLOOR AREA	42,295 SF X 2.8% = 1,184 SF MIN.	37,296 SF X 2.8% = 1,044 SF MIN. 1,722 SF ROOF DECK PROVIDED	41,760 SF X 2.8% = 1,169 SF MIN. 1200 SF GROUND FLOOR OPEN SPACE PROVIDED	42,293 SF X 2.8% = 1,184 SF MIN. 2,812 SF ROOF DECK PROVIDED
23-145	MAXIMUM LOT COVERAGE	CORNER LOT 80% THROUGH LOT 70% MAXIMUM TOTAL LOT COVERAGE	3,738.4 SF 840.0 SF 4,579 SF (78.0 %)	3,738.4 SF (80%) 830.7 SF (69.2%) 4,569.1 SF (78.0%)	4,640 SF NA 4,640 SF (80%) (CORNER LOT 80%)	4.673 SF (100%) (NONCOMPLIANT) 1,201 SF (100%) (NONCOMPLIANT) 5,874SF (100%) (NONCOMPLIANT)
23-22	DENSITY - MAX DWELLING UNITS	FLR AREA X 740 (FACTOR FROM CHART)	42,292 SF / 740 = 57 UNITS	53 UNITS	51 UNITS (56 PERMITTED)	46 UNITS
23-620 (23-633)	INITIAL SET BACKS: 23-633 PROVIDES ZERO SETBACK UP TO 85' MAX BASE HEIGHT					
	(HOUSTON @ 125' IS A "WIDE STREET") (AVE C & 2ND STREETS @ 60' ARE "NARROW STREETS")	WIDE STREET NARROW STREET	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK
23-621C	PERMITTED OBSTRUCTIONS	DORMERS 60% OF STREET WALL AT MAX BASE HEIGHT & REDUCES AT A RATE OF 1% OF STREET WALL	NONE	DORMERS	DORMERS	DORMERS
23-633 (a)(3) & CHART	MINIMUM BASE HEIGHT MAXIMUM BASE HEIGHT MAXIMUM BUILDING HEIGHT		60' 85' 120'	80' 80' 100'	80' 80' 120'	85' 85' 105'

45 1BEDROOM
8 2BEDROOM
53 TOTAL APARTMENTS

10 STORIES

37 1BEDROOM
16 2BEDROOM
51 TOTAL APARTMENTS

12 STORIES

30 1BEDROOM
16 2BEDROOM
46 TOTAL APARTMENTS

10 STORIES

4,547 SF COMMERCIAL =
POSSIBLE (6) 1BEDROOM APTS.

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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
TYPICAL
ZONING COMPARISON



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2 of 15

ZONING ANALYSIS

Map 12C	Zoning District R8A No Commercial Overlay Community District 3 Within Inclusionary Housing Area	23-542	Short Demension Block. R8: front lot line of a zoning lot coincides with all or part of a street line measuring less than 230 feet in length between two intersecting streets, no rear yard shall be required within 100 feet of such front lot line.	23-843	R8: In all districts, as indicated, the width of an outer court recess shall be at least twice the depth of the recess, except that such width need not exceed 60 feet
	Site Area =5800 sf 100'-0" X 58'-0" Corner Lot	23-62	Height & Setback Obstructions a) Awnings and sun control 2'-6" max projection above first story level..... When located on the first story above a setback, awnings and other sun control devices shall be limited to a projection of 50 percent of the depth of the required setback, and shall be limited, in total, to 50 percent of the width of the building wall from which they project g) Elevator or stair bulkheads (including shafts; and vestibules not larger than 60 square feet in area providing access to a roof.... 1) shall be located not less than 10 feet from the street wall ...except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair bulkheads (including shafts or vestibules), provided the aggregate width of street walls of such bulkheads within 10 feet of a street wall, facing each street frontage, times their average height, in feet, does not exceed an area equal to four times the width, in feet, of the street wall of the building facing such frontage Other obstructions: balconies, columns, chimnies, decks, Screened mechanical equip, flagpoles, parapets, roof thickness, skylights, solar energy sys,vegetsated roofs,	23-851	Inner Courts - minimal dimensions: R8: the area of an inner court shall not be less than 1,200 square feet, and the minimum dimension of such inner court shall not be less than 30 feet. 852: inner court recess similar to 843
22-9	Uses: Use Groups 1-4			23-861	Min distance between Legally required Windows, walls lot lines at an inner court R8: 30ft to any wall, rear lotline or side lot line or vercal projection thereof
22-321	Nameplates or Identification signs: b)multiple dwellings...Non-illuminated...one identification sign, with an area not exceeding 12 square feet and indicating only the name of the permitted use,the name or address of the building or name of management.....height of letters on any side of such awnings or canopies shall not exceed 12 inches			23-863	Min distance between legal req windows and walls on same lot (Inner Court). 30ft min or 1/2 the height above window sill to max of 60ft
23-10	Quality Housing required (See Chapter 28)			23-892	R8A and QH planting at ground or raised in raised planters open space between street line and streetwalls
23-144	Maximum Floor Area Ratio (Inclusionary Housing see 23-952)			28	Quality Housing The Quality Housing Program consists of four components: neighborhood impact, building interior, recreation space and planting, and safety and security
23-952	Maximum Floor Area Ratio (FAR) Maximum Floor Area Ratio (FAR) Lot Area = 5800sf Inclusionary Housing: 5.4 minimum to 7.2 maximum Zoning Area = 5800 sf x 5.4 = 31,320 sf Zoning Area = 5800 sf x 7.2 = 41,760 sf	*****	Projections over Streetline: Architectural details, Marquee, balconies, overhangs, awnings.... see Chapter 32 of Building Code: Encroachments into Right of Way 3202.2.1.2 Architectural Details ground to 10ft 4" projection....Above 10ft 10"...projections above 10ft may be allowed more subject to approval of Commissioner DOT 3202.2.1.4 Marquees: 10ft above...project no closer than 2ft from curb..3ft max thickness, supported from building...on Multiple dwellings 3202.2.1.3 Balconies: 10 ft above 22" projection beyond streetline 3202.2.3.1 Store awnings: 8ft above 8ft max projection above building elements to be removable, permission revocable.....all subject to applicable Iregulations including DOB & DOT	28-21	A dwelling unit shall have an area of at least 400 square feet of floor area
23-145	Maximum Lot Coverage Corner Lot: 80% 5800 sf x .8 = 4,640 sf	23-621	Permitted obstructions c) R8A & QH: Dormers 60% of street wall and reduces at a rate of 1% of street wall	28-23	A refuse disposal room of not less than twelve square feet with no dimension less than three feet shall be provided on each story that has entrances to dwelling units ... Twelve square feet of such refuse storage room shall beexcluded from the definition of floor area.
	Quality Housing: 6.02 FAR Zoning Area = 5800sf x 6.02 = 34,916 sf	23-633	a3) Along Wide street and within 50ft of wide street intersection a3i) the street wall shall extend along the entire street frontage of a zoning lot a3ii) at least 70 percent of the aggregate width of street walls shall be located within eight feet of the street line and extend to at least the minimum base height specified in the table in this Section or the height of the building, whichever is less. The remaining 30 percent of the aggregate width of street walls may be recessed beyond eight feet of the street line provided any such recesses deeper than 10 feet along a wide street or 15 feet along a narrow street are located within an outer court; and a3iii) No street wall location provisions shall apply along any narrow street beyond 50 feet of their intersection with a wide street b)Setbacks required above maximum base height Wide Street = 10ft Narrow Street= 15ft c) Maximum Building Height R8A 60ft Min Base Height 85ft Max Base Height 120 Max. Building Height	28-24	Laundry Facility: provide a laundry room with one washing machine per 20 units and 1 dryer per 40 units. (Provided: one washer and dryer in each unit)
23-22 & 23	Maximum number of Dwelling Units R8A: factor of 740 Max. Residential FAR / Factor 41,760 sf / 740 = 56.4			28-25	Daylight in Corridors: Fifty percent of the square footage of a corridor may be excluded from the definition of floor area if a window with a clear, non-tinted, glazed area of at least 20 square feet is provided in such corridor, provided that such window: (a) shall be directly visible from 50 percent of the corridor or from the#vertical circulation core. This standard shall be achieved when a visually unobstructed straight line can be drawn between such corridor, elevator or stairwell, and the window; and (b) is located at least 20 feet from a wall or a side or rear lot line measured in a horizontal plane and perpendicular to the rough window opening.
23-462c	Side Yards: None required in R8 zones. Any Open Area along a side yard shall be min. 8ft wide and extend lenglht of Side Lot Line			28-31	Recreation Space: Minimum Required Recreation Space as a percentage of the residential floor area R8: 2.8
23-47	Rear Yards: Minimum 30ft			28-32	a) All recreation space shall be accessible to the residents... b) The minimum dimension of any recreation space shall be 15 feet. The minimum size of any outdoor recreation space shall be 225 square feet, and the minimum size of any indoor recreation space shall be 300 square feet c) Outdoor open to the sky d) Indoor...at least one exterior wall with windows that measure not less than 9.5 percent of the total floor space of the room ...
23-471	R8: for #interior# or through lot portions of corner lots, and for zoning lots bounded by two or more streets that are neither corner lots nor through lots, the portion of a side lot line beyond 100 feet of the street line that it intersects shall be considered a rear lot line and the following rules shall apply along such rear lot line a) In all districts, a rear yard with a minimum depth of 30 feet shall be provided where such rear lot line coincides with a rear lot line of an adjoining zoning lot b) NA c) In R6 through R10 Districts, no rear yard shall be required where such rear lot line coincides with a side lot line of an adjoining zoning lot. lot line# beyond 100 feet of the #street line# that it intersects shall be considered a #rear lot line#	23-663b	no portion of building above maximum base shall be nearer than 10ft to Rear Yard Line.	28-33	Planting Area see 23-892
23-531	a) R8 zones: no rear yard regulations shall apply to any through lots that extend less than 110 feet in maximum depth from street to street. b) Quality Housing buildings, no rear yard regulations shall apply to any zoning lot that includes a through lot portion that is contiguous on one side to two corner lot portions and such zoning lot occupies the entire block frontage of a street	23-692	Height Limitation for narrow building R8: ..buildings with street walls less than 45 feet in width shall not be permitted above the following heights c) For corner lots bounded by at least one wide street, a height equal to the width of the widest street on which it fronts, or 100 feet, whichever is less 6) Quality Housing buildings shall be exempt from the provisions of this Section provided the width of the street wall at the maximum base height specified in the applicable table in Section 23-633 or 35-24 is at least 45 feet. For such buildings, a street wall that is less than 45 feet wide may be constructed above such base	28-41	Density per Corridor: If the number of dwelling units ... served by a vertical circulation core and corridor on each story does not exceed...(10)... 50 percent of the square feet of the corridor serving such dwelling units
23-532	Rear yard Equivilants: Do not apply to through lots less than 110 in depth	23-80	Court Regulations, Open area requirements	28-51	Off street Parking...required by QH but in 25-242 waived for R8 districts with zoning lot 10,00sf or less
		23-841	R8: In all districts indicated, if an outer court is less than 30 feet wide, the width of such outer court shall be at least one and one third the depth of such outer court		
		23-842	R8: In all districts, as indicated, if an outer court is 30 feet or more in width, the width of such outer court must be at least equal to the depth of such outer court, except that such width need not exceed 60 feet		

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION

TYPICAL

ZONING ANALYSIS



05-28-14
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201305
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3 of 15

FLOOR AREA SCHEDULE

FLOOR LEVEL	GROSS FLOOR AREA	DEDUCTIONS	ZONING FLOOR AREA	REMARKS
CELLAR	4,600 SF	- 4,600 SF	0 SF	NOT ZONING AREA
FIRST FLOOR	4,600 SF	- 1,062 SF	3,538 SF	
SECOND FLOOR	4,600 SF	- 768 SF	3,832 SF	
THIRD FLOOR	4,600 SF	- 768 SF	3,832 SF	
FOURTH FLOOR	4,600 SF	- 768 SF	3,832 SF	
FIFTH FLOOR	4,600 SF	- 768 SF	3,832 SF	
SIXTH FLOOR	4,600 SF	- 768 SF	3,832 SF	
SEVENTH FLOOR	4,600 SF	- 768 SF	3,832 SF	
EIGHT FLOOR	4,600 SF	- 768 SF	3,832 SF	
NINTH FLOOR	3,674 SF	- 530 SF	3,144 SF	
TENTH FLOOR	3,465 SF	- 520 SF	2,945 SF	
ELEVENTH FLOOR	3,260 SF	- 507 SF	2,753 SF	
TWELFTH FLOOR	3,056 SF	- 500 SF	2,556 SF	
TOTALS	54,855 SF	-13,095 SF	41,760 SF	

54,855 SF GROSS FLOOR AREA
13,095 SF DEDUCTIONS

41,760 SF TOTAL ZONING FLOOR AREA 41,760 SF / 5,800 SF = **7.2 FAR**

41,760 SF RESIDENTIAL ZONING FLOOR AREA
0 SF COMMERCIAL ZONING FLOOR AREA

QUALITY HOUSING DEDUCTIONS:
50% OF CORRIDOR - DENSITY PER CORRIDOR (FLOORS 1-12)
50% OF CORRIDOR - DAYLIGHT IN CORRIDORS (FLOORS 1-12)
12 SF REFUSE STORAGE & DISPOSAL ROOMS (FLOORS 1-12)

MECHANICAL DEDUCTIONS:
SHAFTS, PLUMBING CHASES & TRASH CHUTE 5.0% (2,742 SF)

RESIDENTIAL UNIT SCHEDULE

UNIT TYPE	AREA	UNIT TYPE	AREA	UNIT TYPE	AREA
1ST FLOOR		4TH FLOOR		8TH FLOOR	
1 BEDROOM	590 SF	1 BEDROOM	616 SF	1 BEDROOM	616 SF
1 BEDROOM	616 SF	1 BEDROOM	638 SF	1 BEDROOM	638 SF
1 BEDROOM	638 SF	1 BEDROOM	706 SF	1 BEDROOM	706 SF
1 BEDROOM	642 SF	1 BEDROOM	775 SF	1 BEDROOM	775 SF
1 BEDROOM	660 SF	2 BEDROOM	924 SF	2 BEDROOM	924 SF
	3146 SF		3659 SF		3659 SF
2ND FLOOR		5TH FLOOR		9TH FLOOR	
1 BEDROOM	616 SF	1 BEDROOM	616 SF	1 BEDROOM	638 SF
1 BEDROOM	638 SF	1 BEDROOM	638 SF	2 BEDROOM	1130 SF
1 BEDROOM	706 SF	1 BEDROOM	706 SF	2 BEDROOM	1144 SF
1 BEDROOM	775 SF	1 BEDROOM	775 SF		2912 SF
2 BEDROOM	924 SF	2 BEDROOM	924 SF	10TH FLOOR	
	3659 SF		3659 SF	1 BEDROOM	606 SF
3RD FLOOR		6TH FLOOR		2 BEDROOM	1038 SF
1 BEDROOM	616 SF	1 BEDROOM	616 SF	2 BEDROOM	1060 SF
1 BEDROOM	638 SF	1 BEDROOM	638 SF		2704 SF
1 BEDROOM	706 SF	1 BEDROOM	706 SF	11TH FLOOR	
1 BEDROOM	775 SF	1 BEDROOM	775 SF	1 BEDROOM	709 SF
2 BEDROOM	924 SF	2 BEDROOM	924 SF	1 BEDROOM	805 SF
	3659 SF		3659 SF	2 BEDROOM	985 SF
		7TH FLOOR			2499 SF
		1 BEDROOM	616 SF	12TH FLOOR	
		1 BEDROOM	638 SF	2 BEDROOM	1000 SF
		1 BEDROOM	706 SF	2 BEDROOM	1294 SF
		1 BEDROOM	775 SF		2293 SF
		2 BEDROOM	924 SF	Grand total	39168 SF
			3659 SF		

371 BEDROOM

142 BEDROOM

51TOTAL

103-1020

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E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
TYPICAL
FLOOR AREA & RESIDENTIAL
UNIT SCHEDULES



05-28-14
DATE:

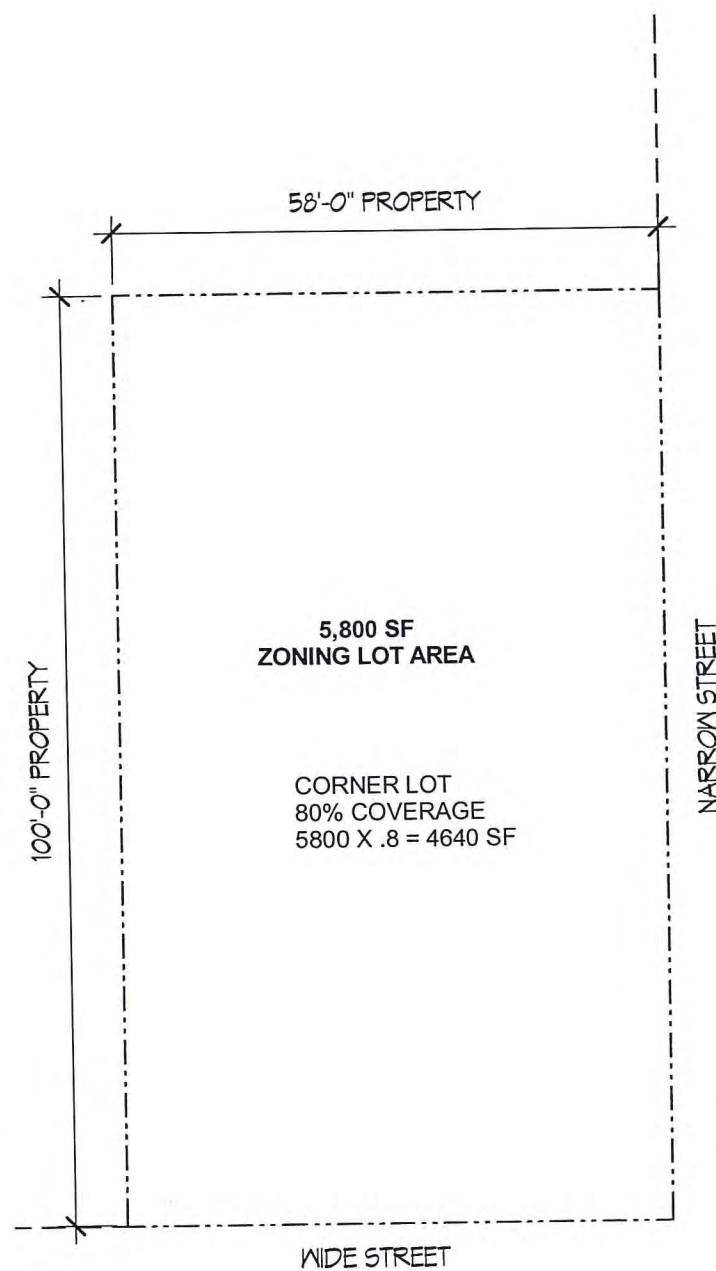
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PROJECT NO.

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LMB
CHECKED BY:

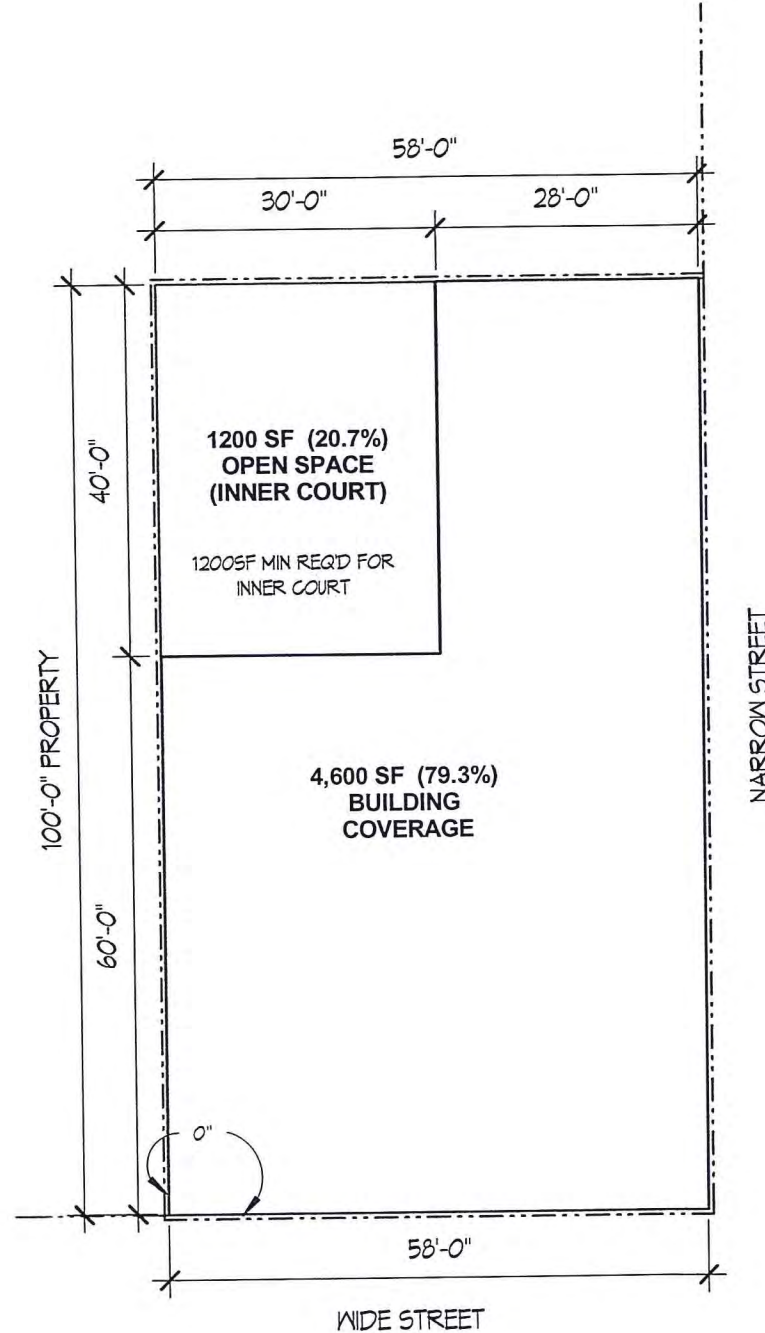
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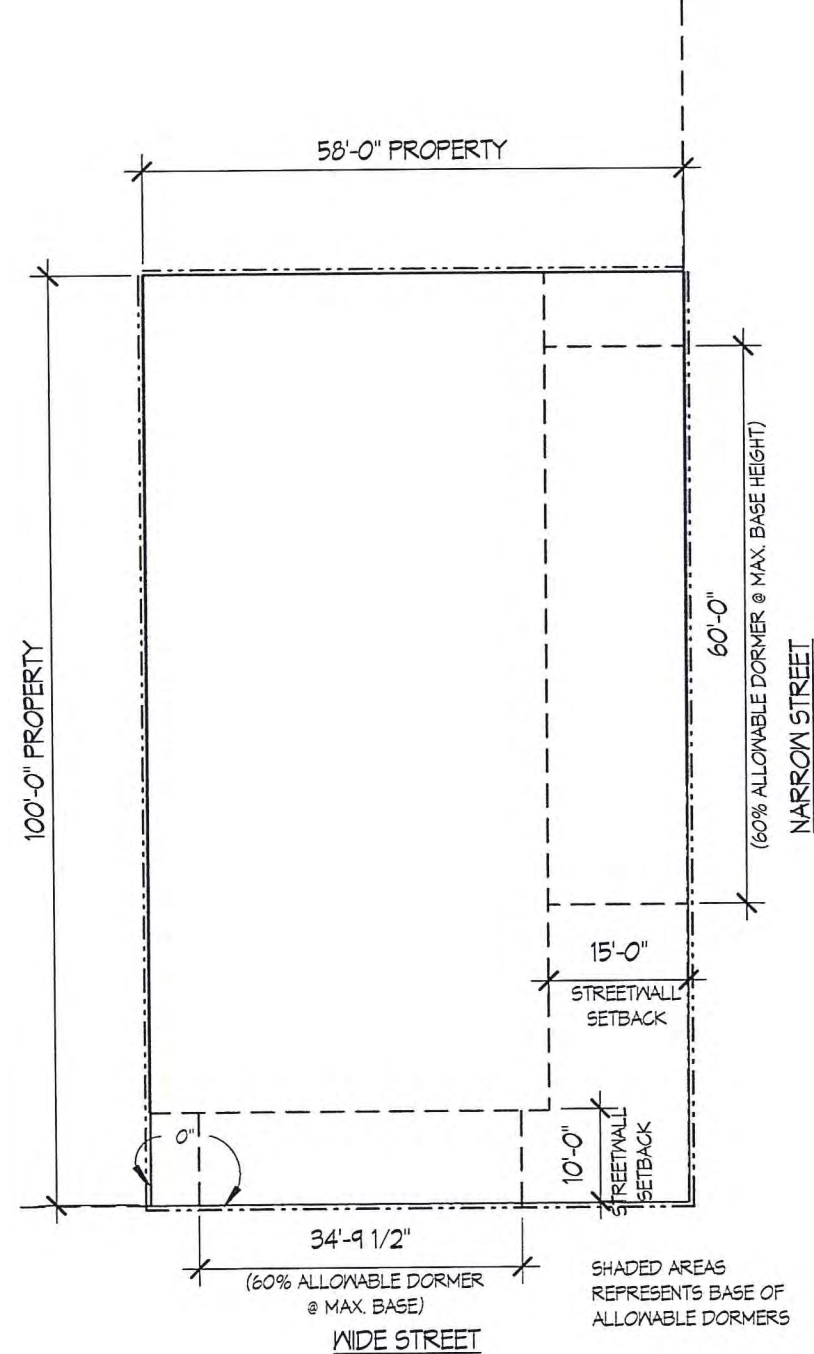
LOT COVERAGE

SCALE: 1" = 20'-0"



PROPOSED LOT COVERAGE

SCALE: 1" = 20'-0"



SETBACKS @ 85'

SCALE: 1" = 20'-0"



NO.	REVISION	DATE
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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
TYPICAL
LOT COVERAGE & SETBACKS

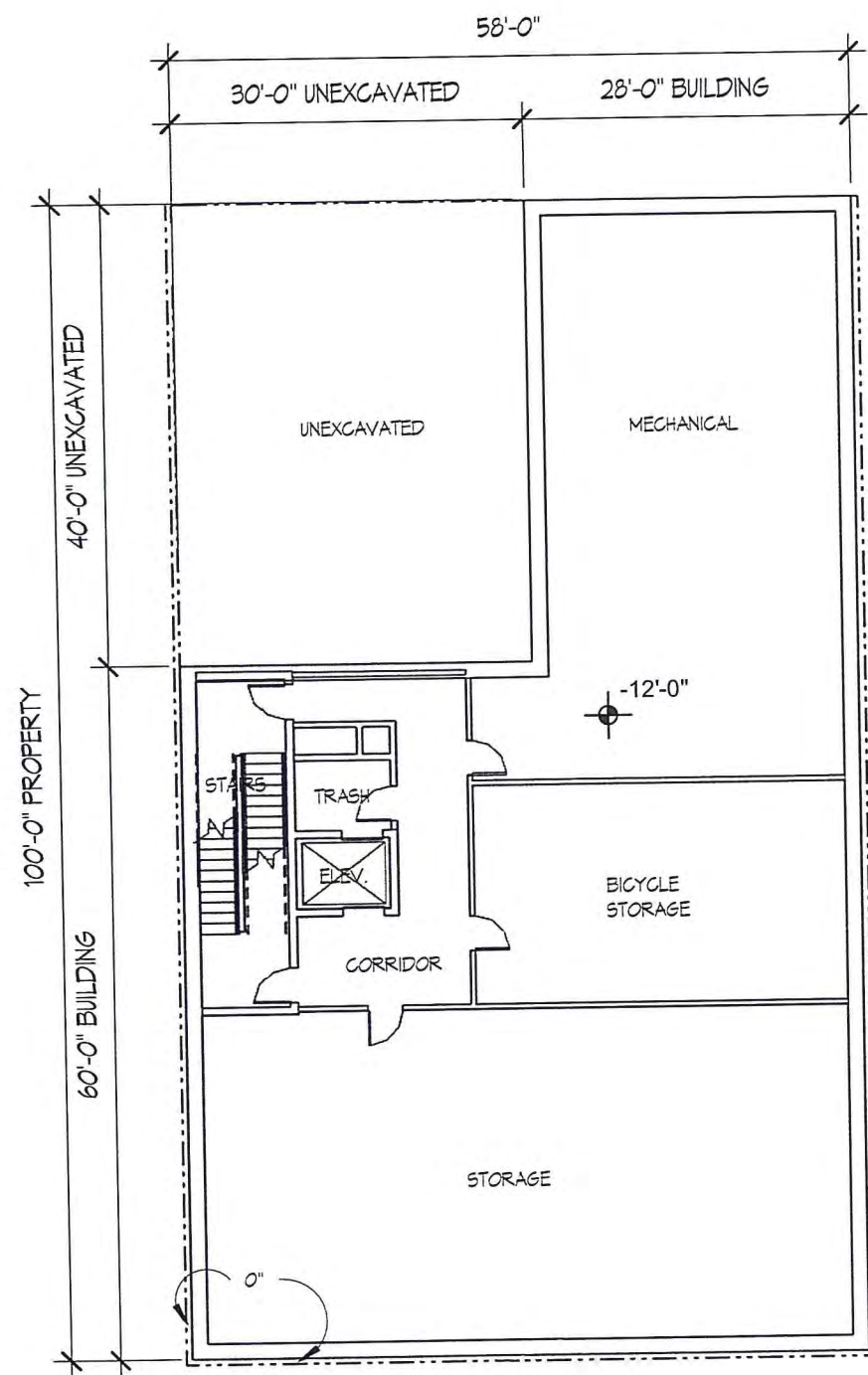


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MGT
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LMB
CHECKED BY:

TYP-100

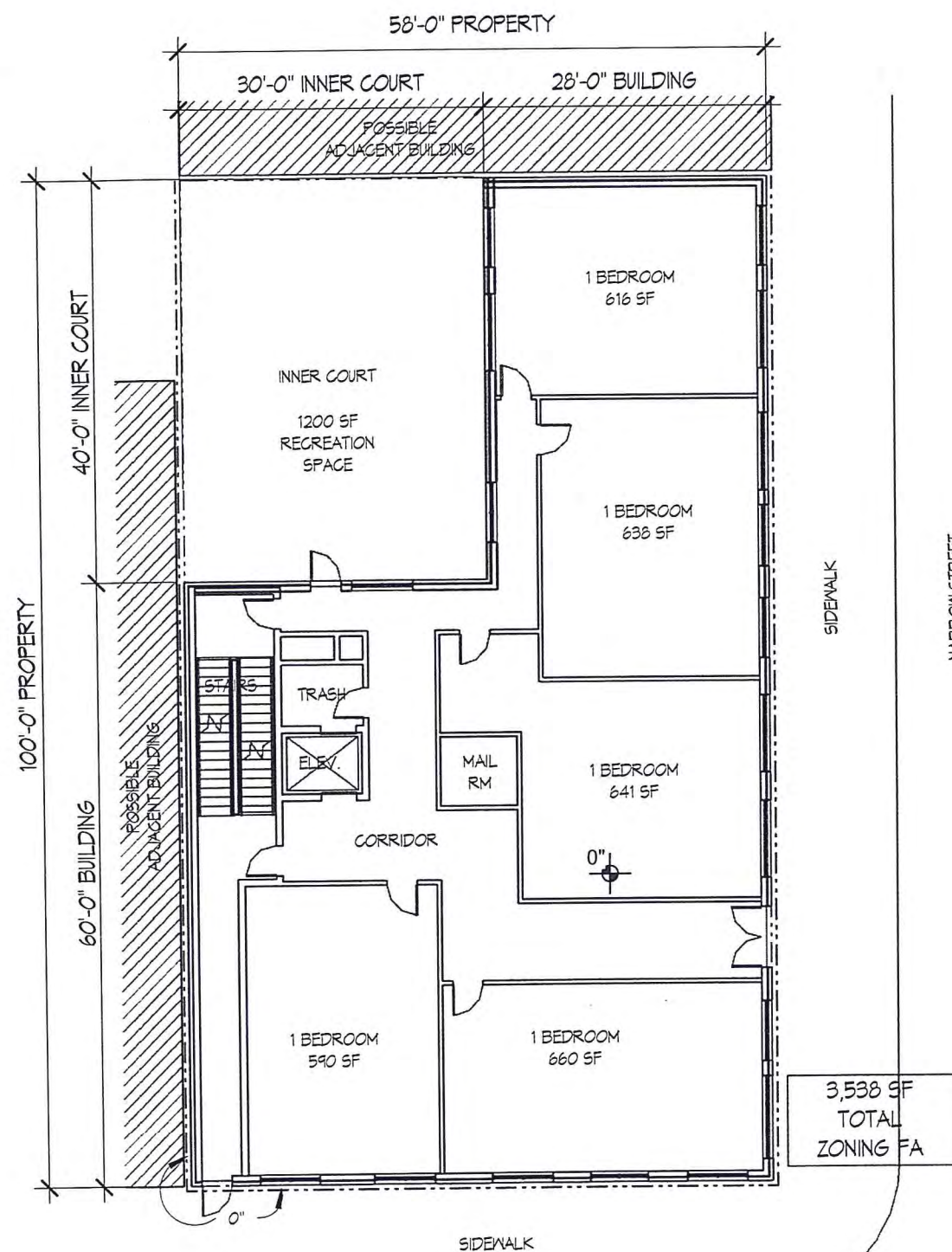
DRAWING NO.

5 of 15



TYPICAL CELLAR

SCALE: 1/16" = 1'-0"



TYPICAL 1ST FLOOR

SCALE: 1/16" = 1'-0"



NOTE: ALL PARTITIONS AND EXITS
SHALL BE AS APPROVED BY
DEPARTMENT OF BUILDINGS

2011 JUN -5 A 11:11

CAL. NO.

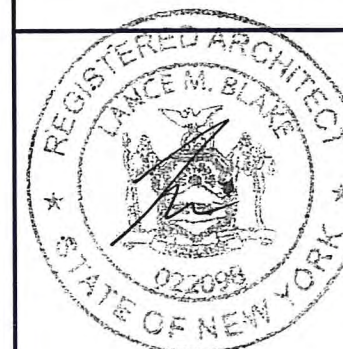
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ARCHITECT:		

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16 MicroLab Road Suite B Livingston, NJ 07039-1602
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E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
TYPICAL
CELLAR & FIRST FLOOR PLANS



05-28-14
DATE:

201305
PROJECT NO.

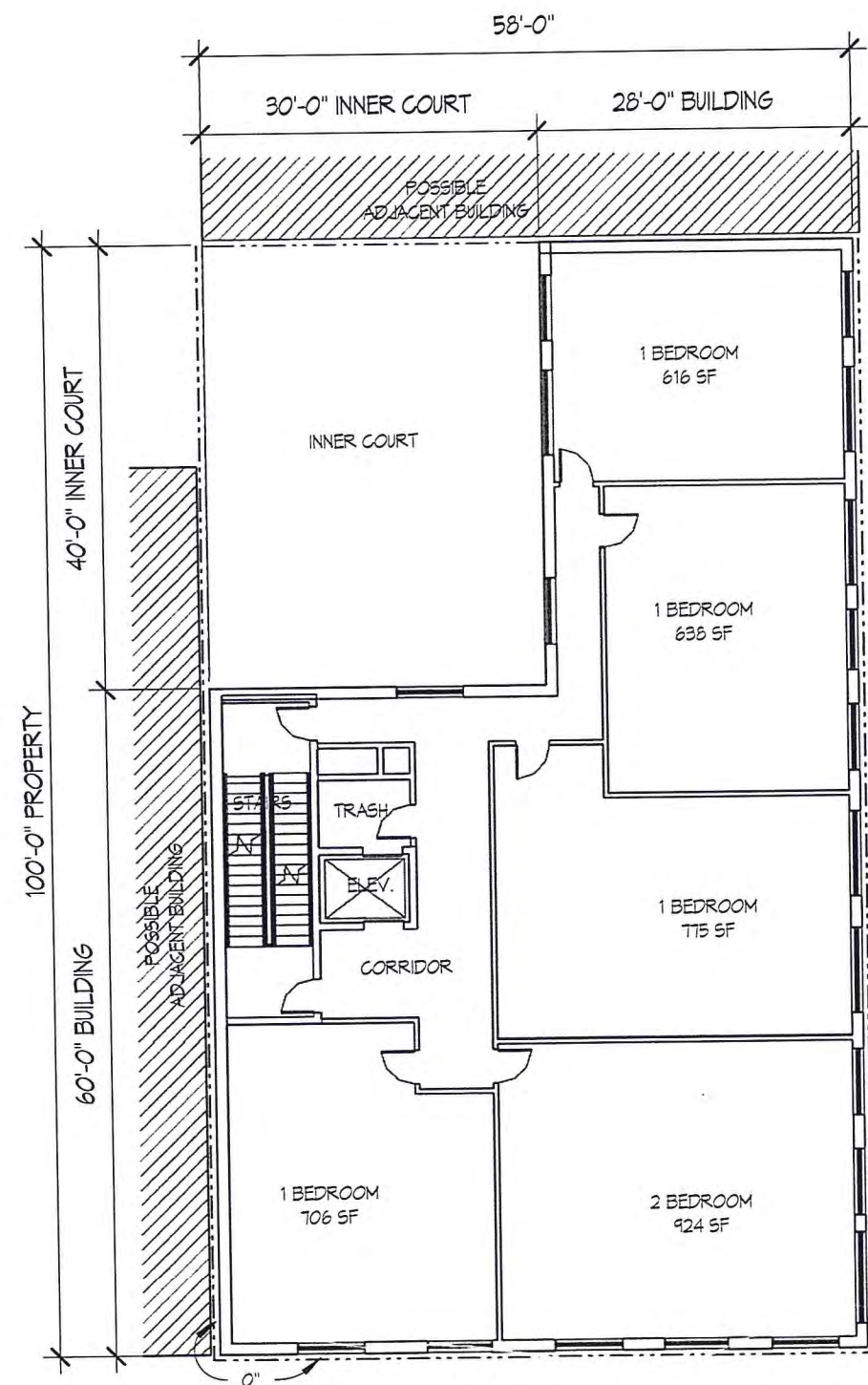
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LMB
CHECKED BY:

TYP-101

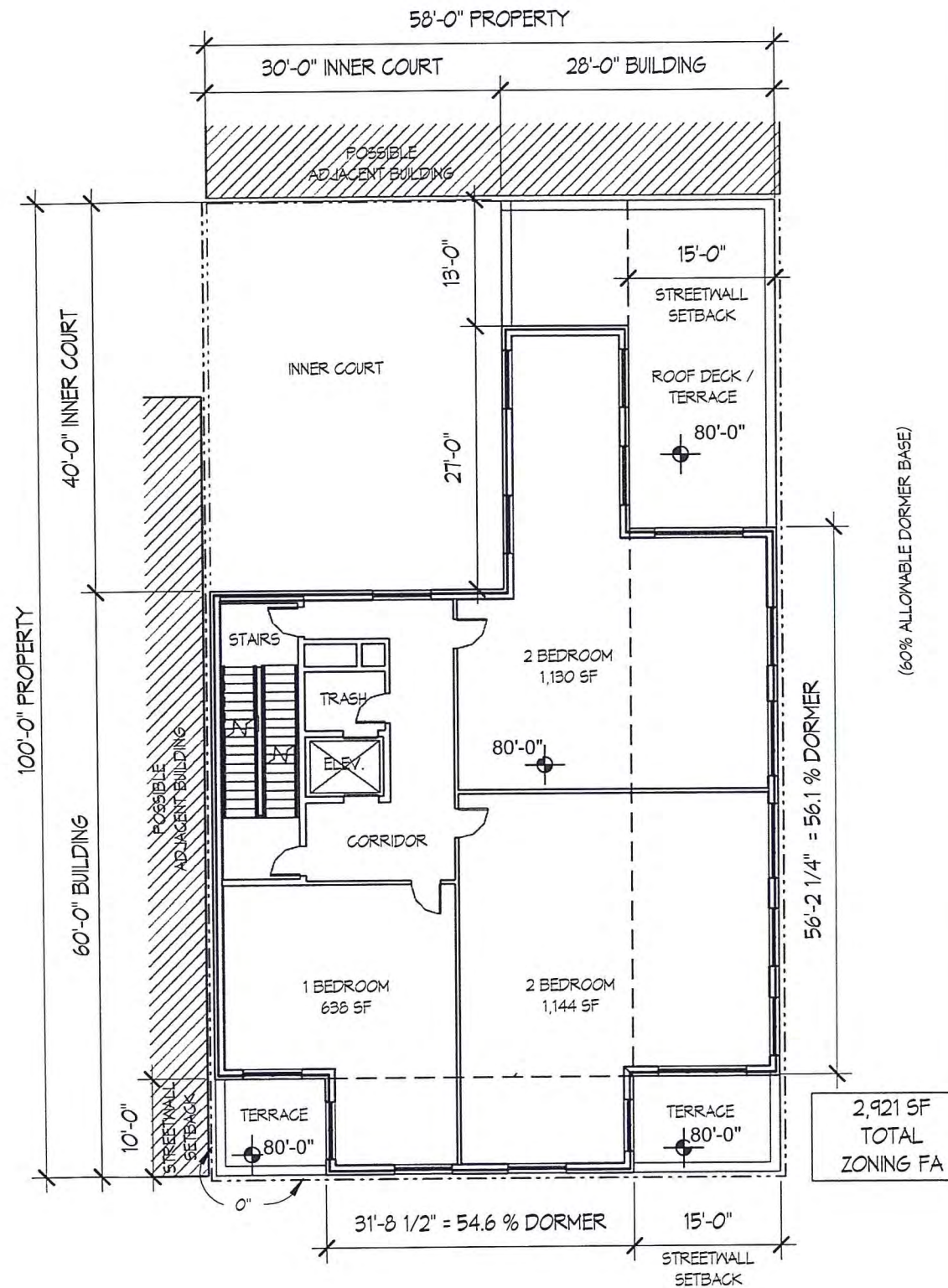
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6 of 15



TYPICAL 2ND THRU 8TH FLOORS

SCALE: 1/16" = 1'-0"



TYPICAL 9TH FLOOR

SCALE: 1/16" = 1'-0"



125-14-B7-

NOTE: ALL PARTITIONS AND EXITS
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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
TYPICAL
SECOND THRU EIGHTH & NINTH
FLOOR PLANS

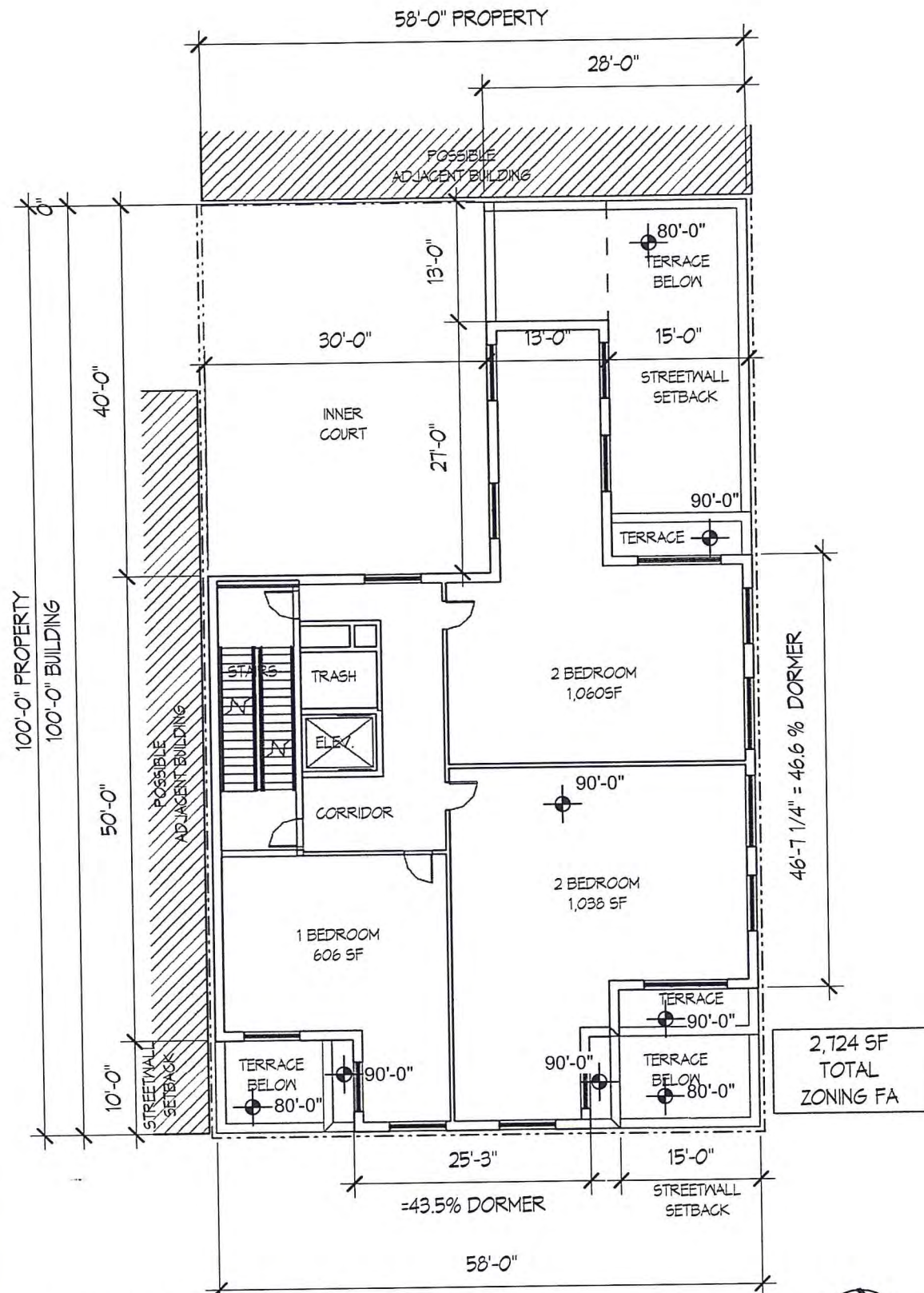


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DATE:
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TYP-102

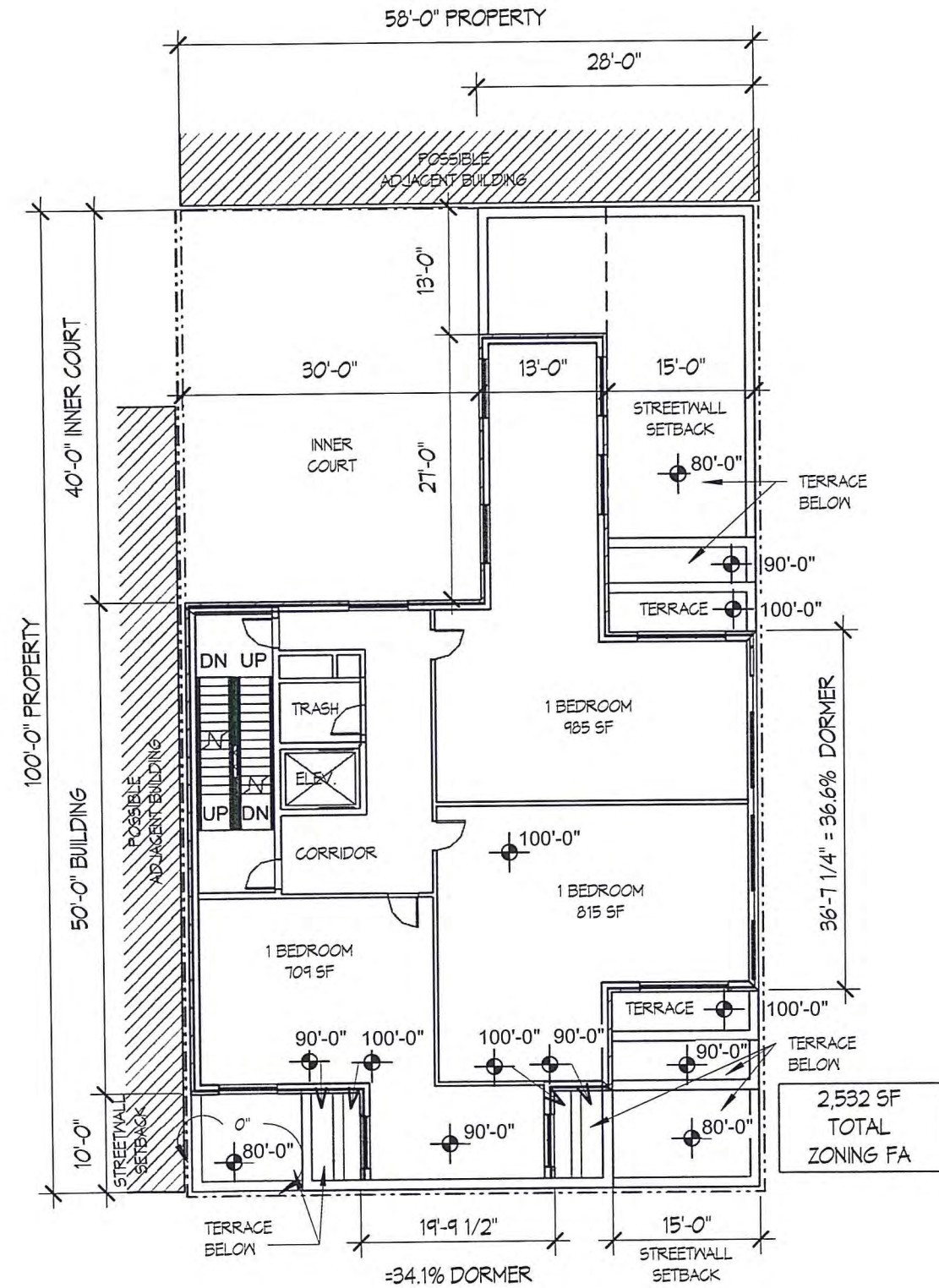
DRAWING NO.

7 of 15



TYPICAL 10TH FLOOR

SCALE: 1/16" = 1'-0"



TYPICAL 11TH FLOOR

SCALE: 1/16" = 1'-0"



125-14-B7-

NOTE: ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

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 E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

BSA APPLICATION
TYPICAL
TENTH & ELEVENTH FLOOR
PLANS



05-28-14
 DATE:

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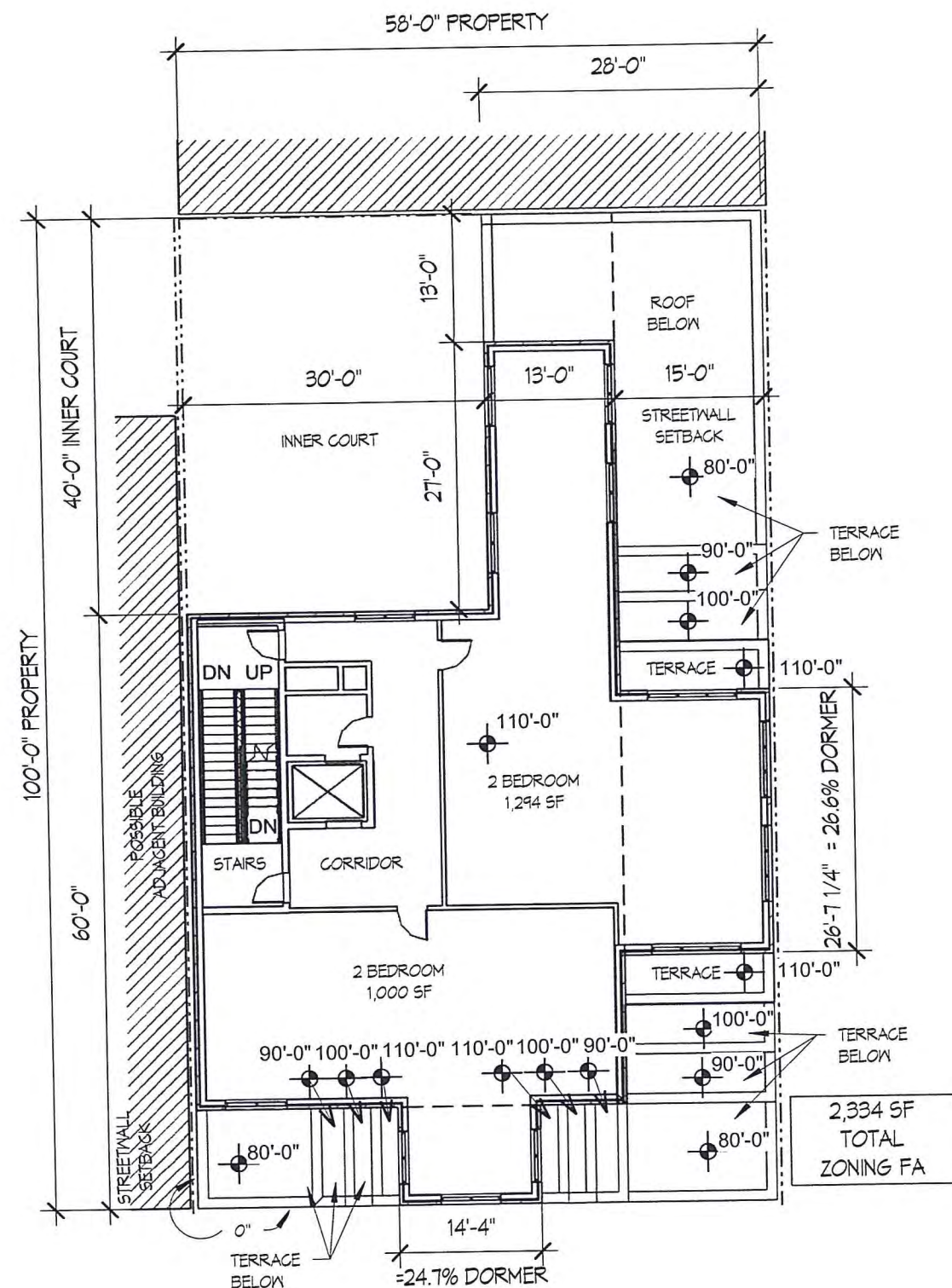
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LMB
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TYP-103

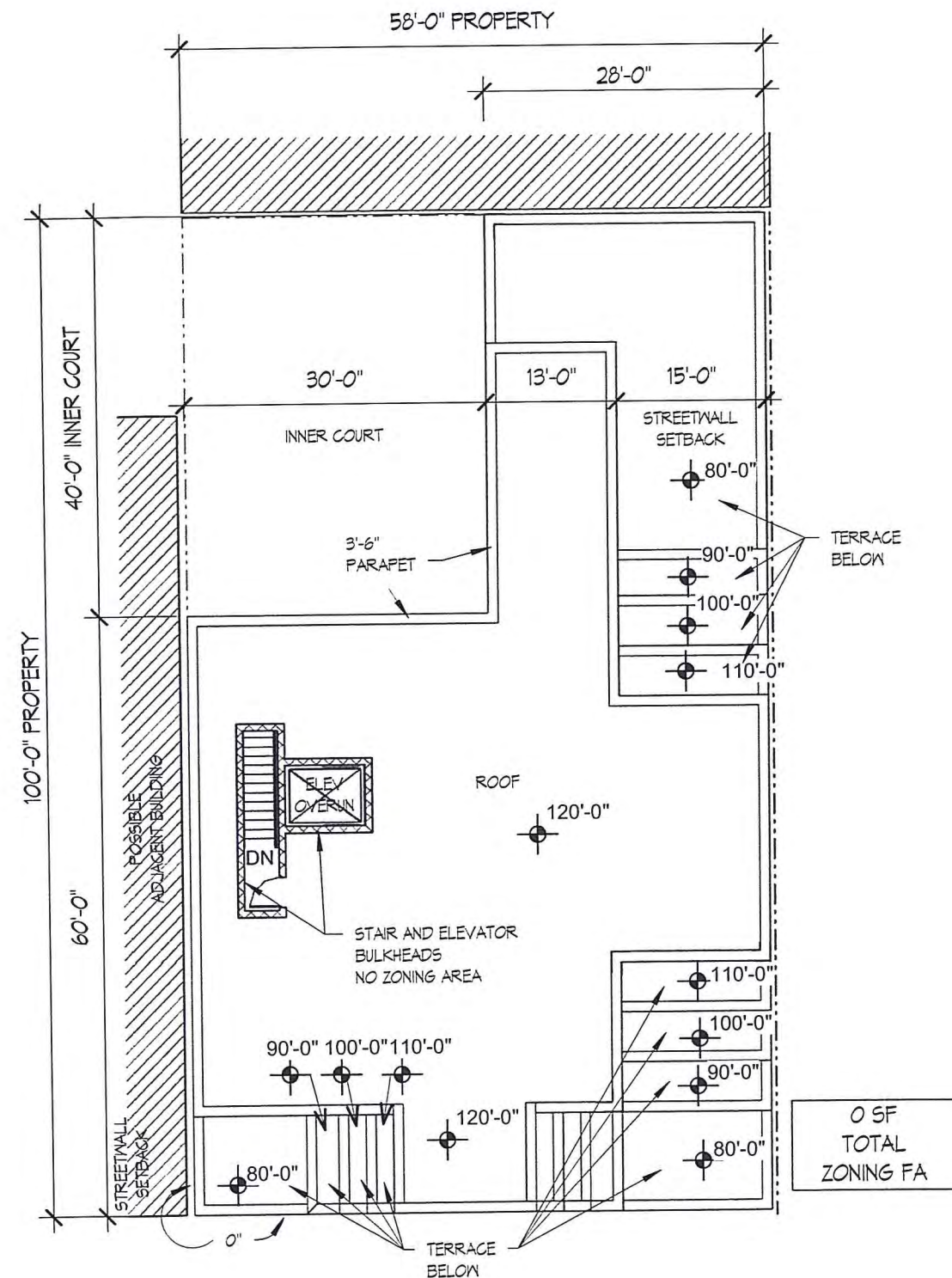
DRAWING NO.

8 of 15



TYPICAL 12TH FLOOR PLAN

SCALE: 1/16" = 1'-0"



TYPICAL ROOF PLAN

SCALE: 1/16" = 1'-0"



125-14-B7-

NOTE: ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

2019 JUN -5 A 11:11

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

BSA APPLICATION
TYPICAL
TWELFTH FLOOR & ROOF
PLANS



05-28-14
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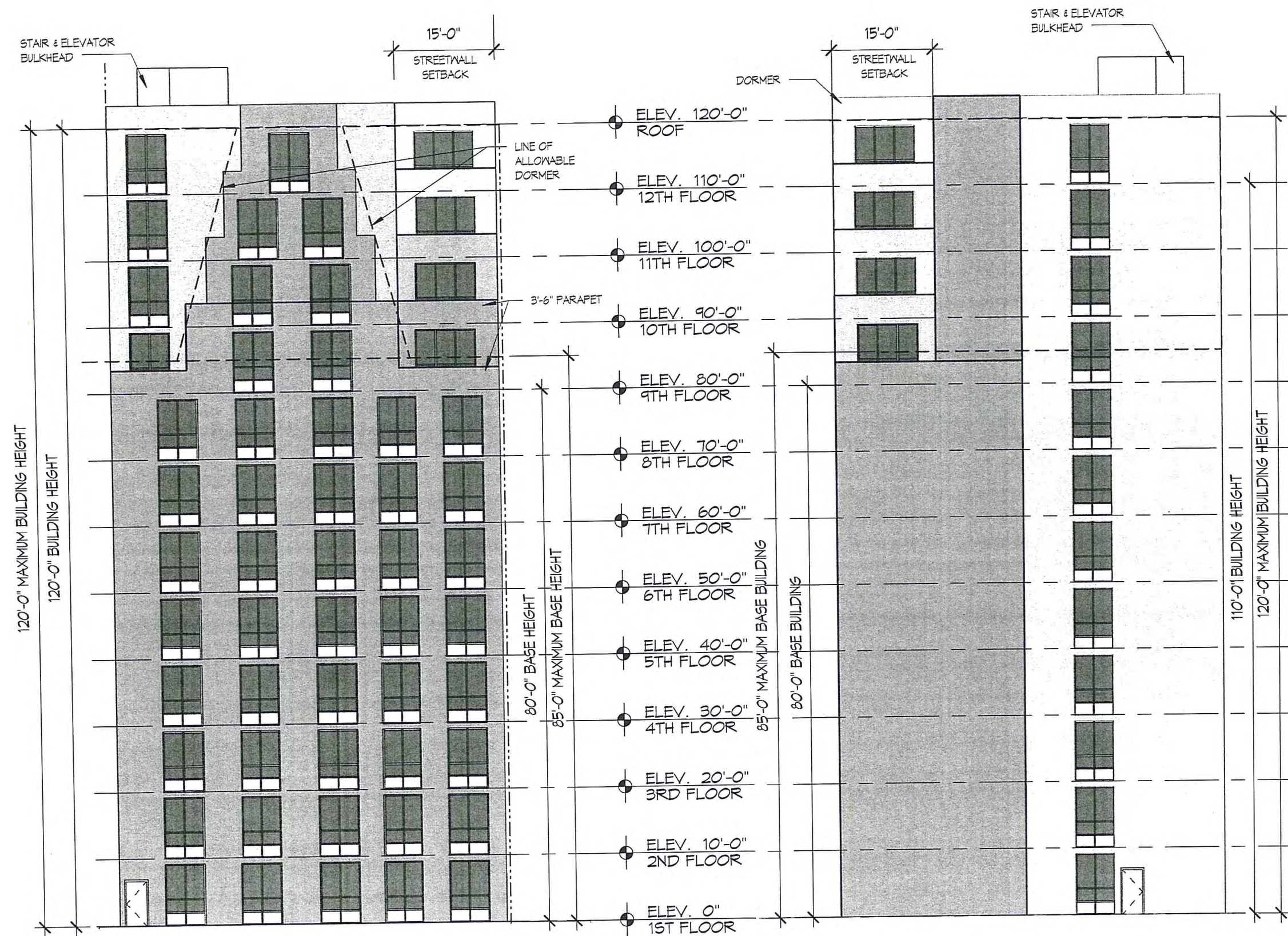
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9 of 15

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EAST ELEVATION
SCALE: 1/16" = 1'-0"

WEST ELEVATION
SCALE: 1/16" = 1'-0"

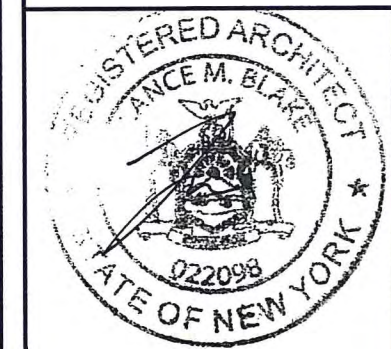
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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

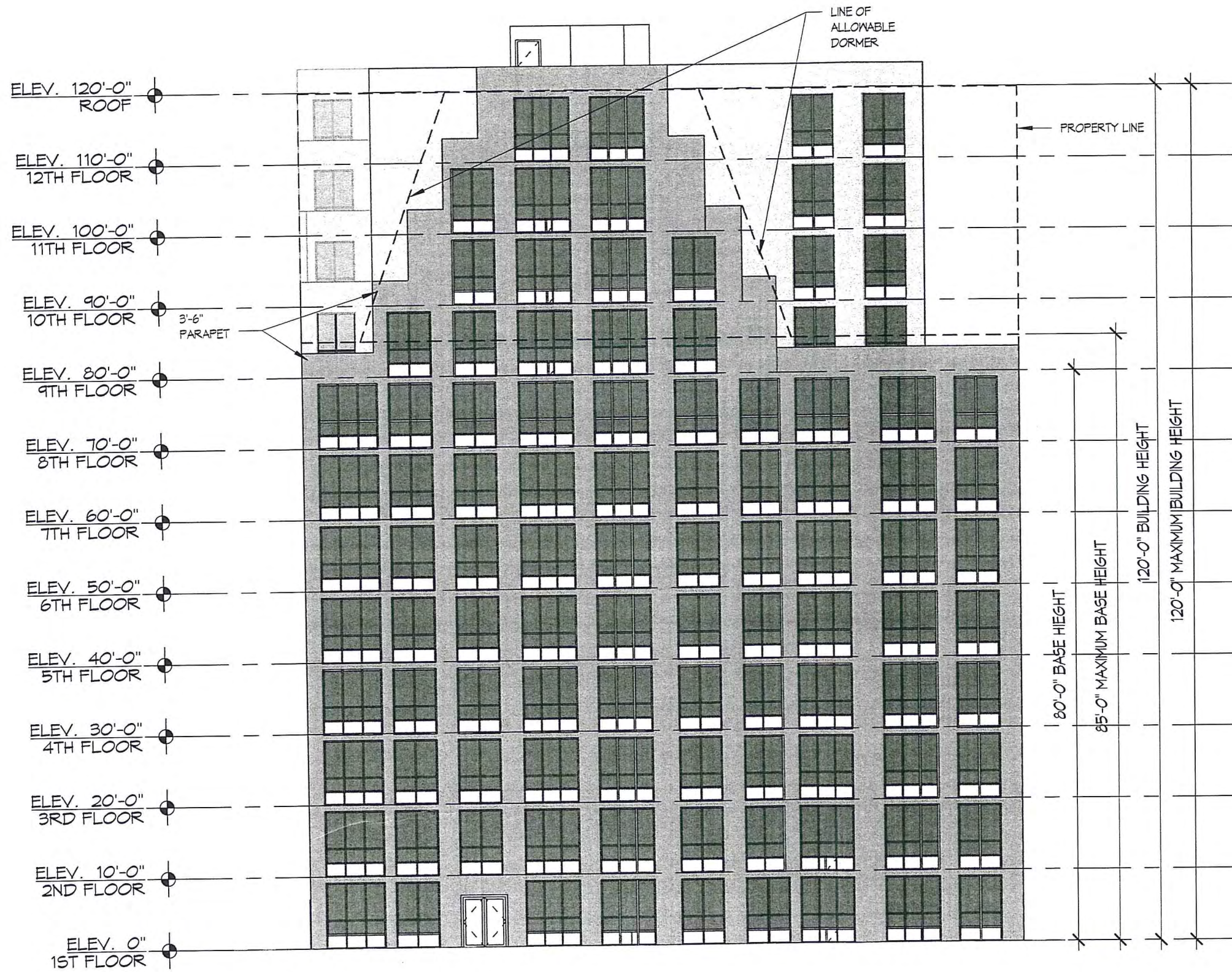
BSA APPLICATION
TYPICAL ELEVATIONS




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 10 of 15

125-14-R7-

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NORTH ELEVATION
SCALE: 1/16" = 1'-0"

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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

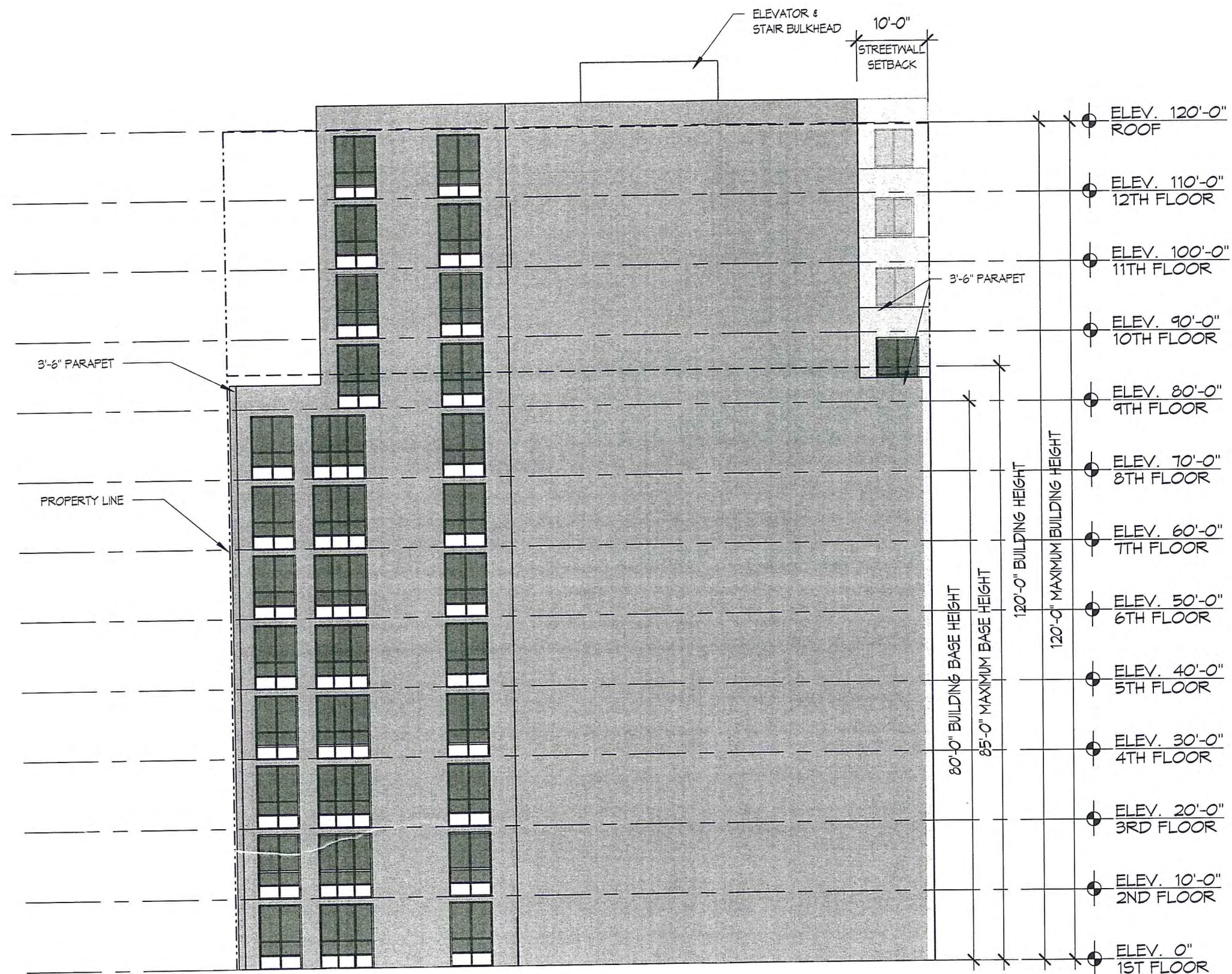
BSA APPLICATION
TYPICAL ELEVATIONS



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125-14-B 7-

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SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**TYPICAL
ELEVATIONS**

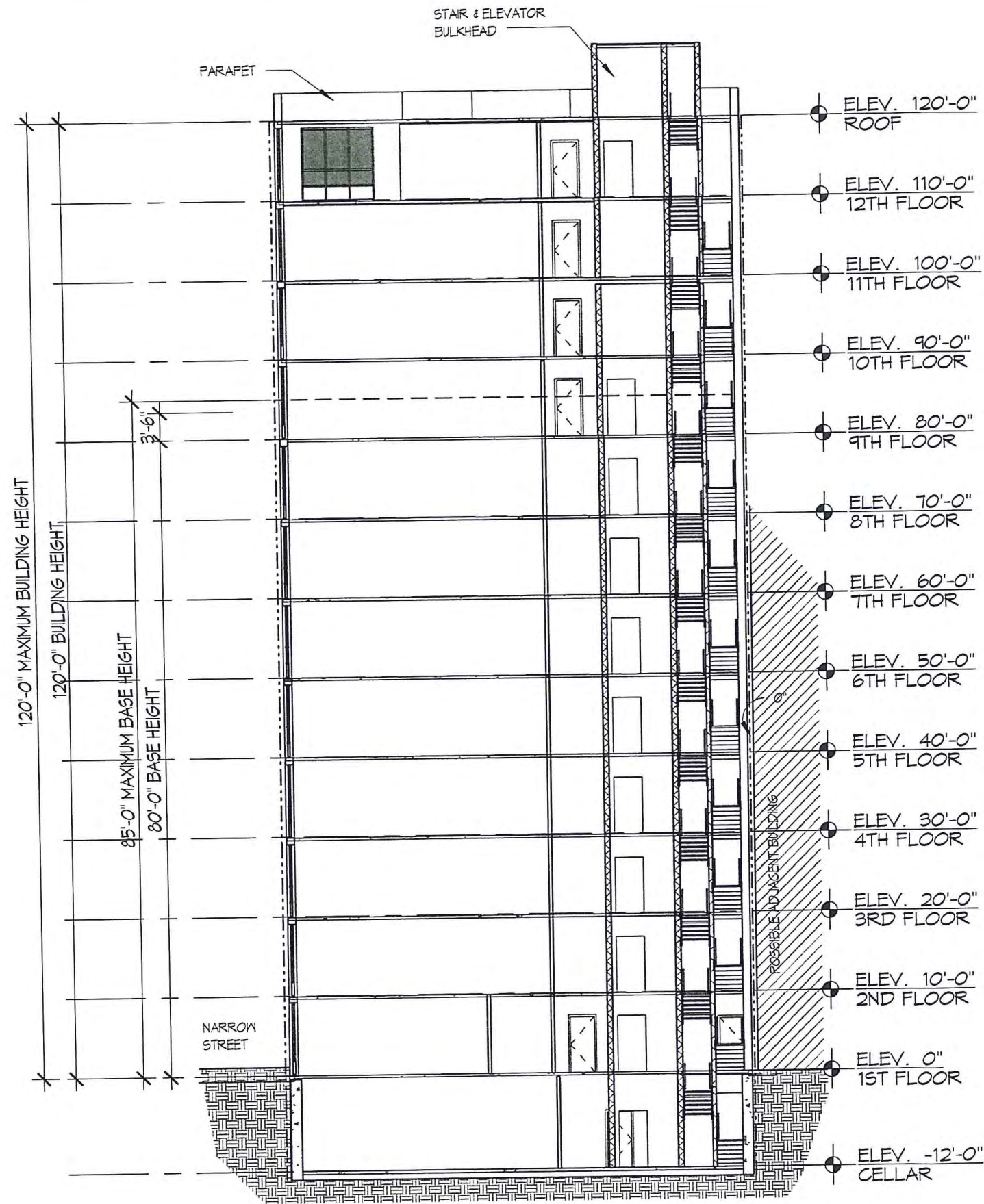


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TYP-203

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12 of 15



BUILDING SECTION

SCALE: 1/16" = 1'-0"

25-14-B7-

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E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**TYPICAL
SECTIONS**

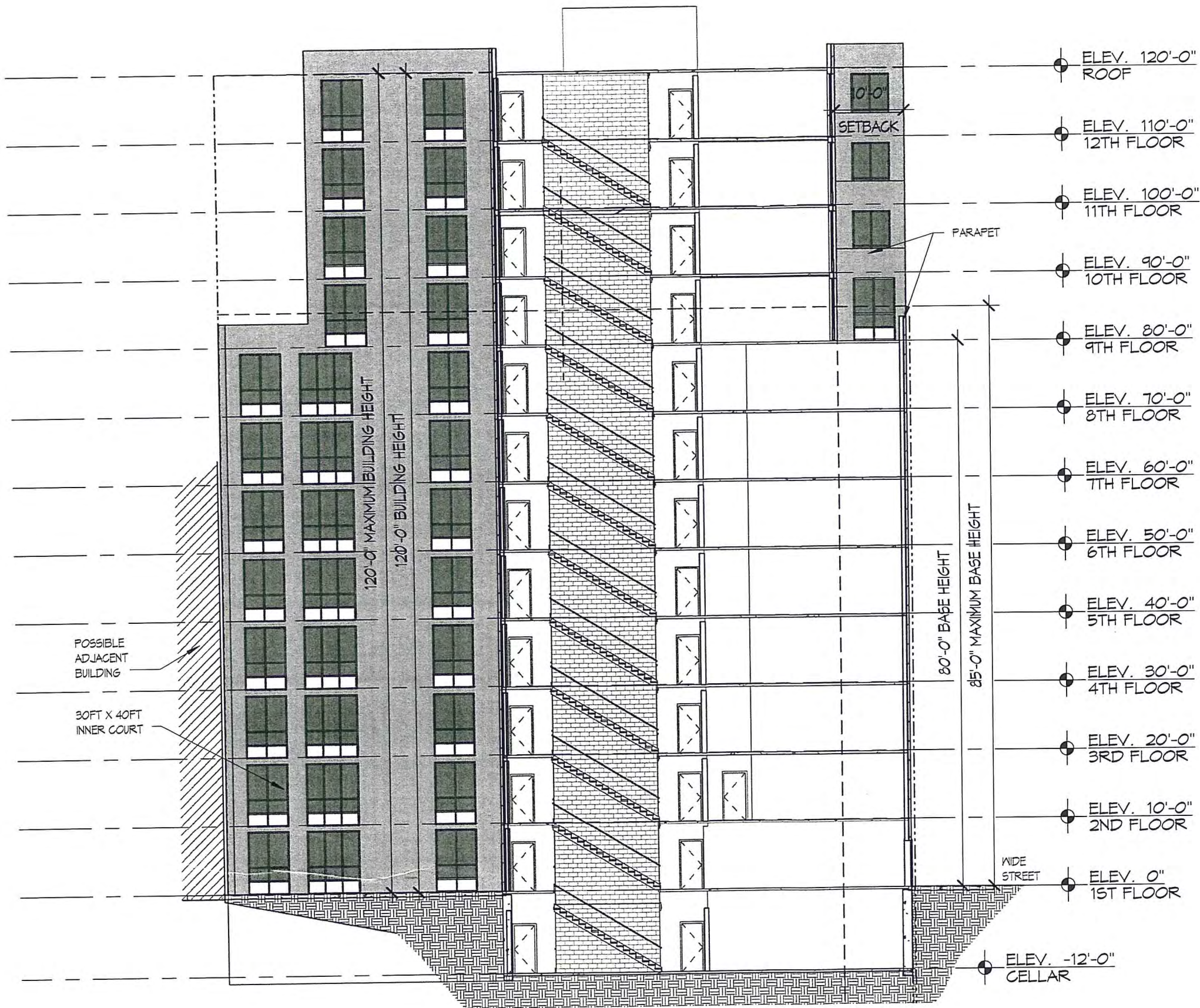


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201305
PROJECT NO.
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TYP-301

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13 of 15



BUILDING SECTION

SCALE: 1/16" = 1'-0"

100-14-D 7-1

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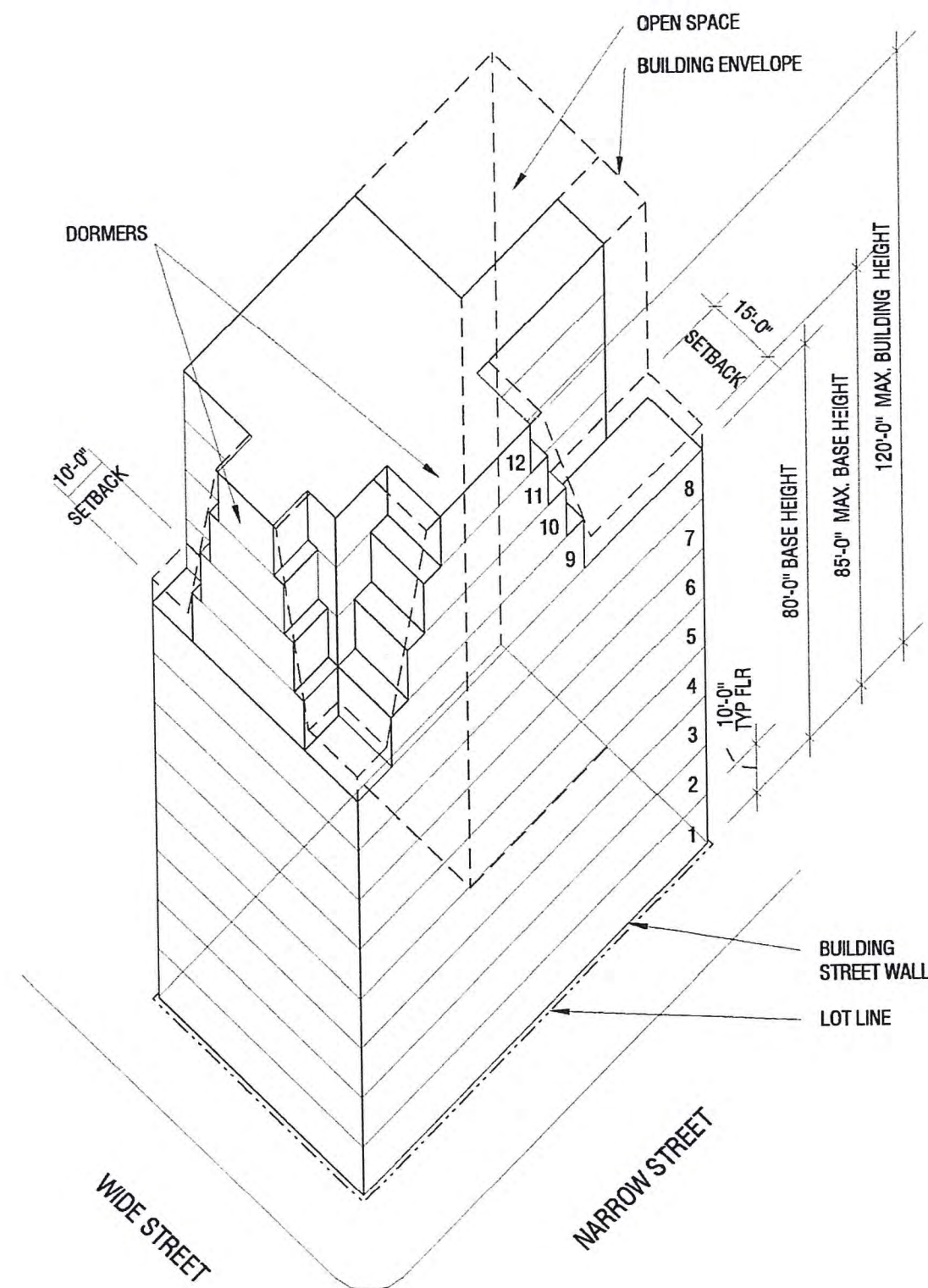
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PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
TYPICAL SECTIONS



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14 of 15



TYPICAL AXON

SCALE: 1/32" = 1'-0"

100-100

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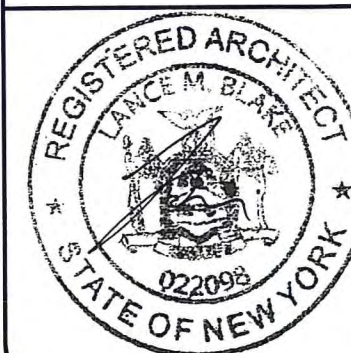
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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

BSA APPLICATION
**TYPICAL
 AXON**



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 DATE:
 201305
 PROJECT NO.
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TYP-303

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15 of 15

PROPOSED RESIDENTIAL DEVELOPMENT

11 AVENUE C NEW YORK, N.Y.

OWNER:
350 EAST HOUSTON, LLC

PROPOSED SCHEME: (F.A.R. 7.2)



DRAWING INDEX

SK-000	TITLE SHEET
SK-001	EXISTING SURVEY
SK-002	ZONING COMPARISON
SK-003	ZONING ANALYSIS
SK-004	FLOOR AREA & RES. UNIT SCHEDULES & REQUESTED WAIVERS
SK-005	LOT PLAN , ZONING SITE PLAN, ZONING MAP
SK-100	LOT COVERAGE PLANS PLANS
SK-101	CELLAR & FIRST FLOOR PLANS
SK-102	SECOND & THIRD THRU EIGHTH FLOOR PLANS
SK-103	NINTH & TENTH FLOOR PLANS
SK-104	ROOF PLAN
SK-105	BALCONY DETAILS
SK-201	ELEVATIONS
SK-202	ELEVATIONS
SK-203	ELEVATIONS
SK-301	SECTIONS
SK-302	SECTIONS
SK-303	AXON

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E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION

**PROPOSED
TITLE SHEET**



05-28-14

DATE:

201305

PROJECT NO.

MGT

DWN. BY:

LMB

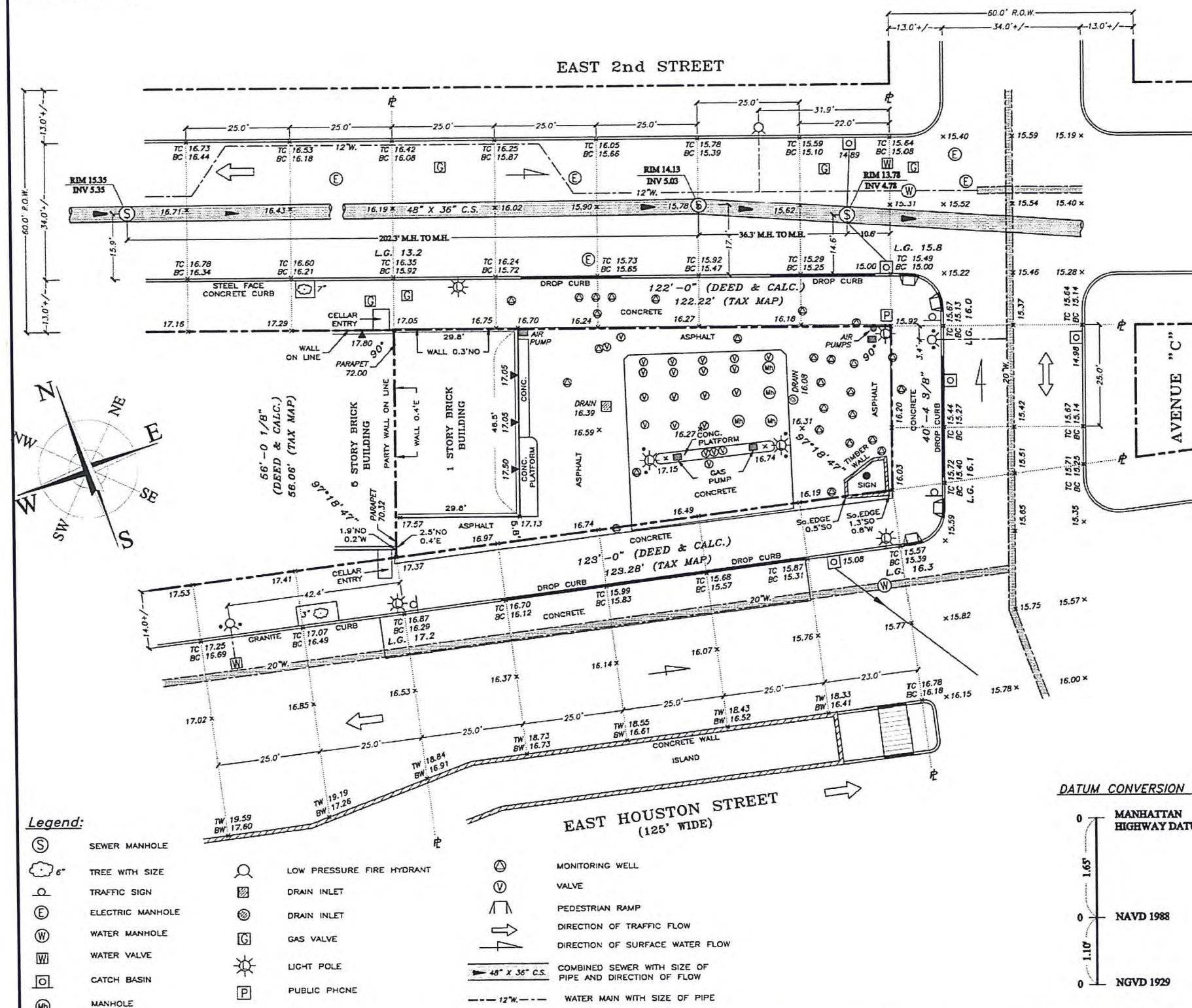
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SK-000

DRAWING NO.

1 of 18

JOB NO.: 13-36149E



SITE SURVEY

SCALE: 1" = 30'-0"

EXISTING STRUCTURE, UNDERGROUND TANKS AND ALL SITE ELEMENTS TO BE DEMOLISHED & REMOVED IN ACCORDANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS

AVERAGE BASE PLANE = 16.5 FT
BASED ON AVERAGE OF 14 REFERENCE POINTS ALONG PROPERTY LINE

ALEXANDER TSUKERMAN N.Y.S. L.S. N050189

ARCHITECTURAL SURVEY

LOCATED AT:
BOROUGH OF MANHATTAN, COUNTY,
CITY AND STATE OF NEW YORK

TAX DESIGNATION:
BLOCK: 384, LOT: 33

SURVEYED ON: JANUARY 08, 2014

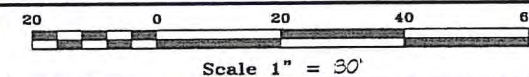
DRAWN BY: M.V.

CHECKED BY: A.T.

- NOTES: 1) ELEVATIONS AND ESTABLISHED GRADES SHOWN HEREON REFER TO THE NAVD 1988.
- 2) LEGAL GRADES SHOWN HEREON REFER TO THE TOP OF THE CURB TAKEN AT THE PROJECTION OF THE PROPERTY LINES.
- 3) THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND/OR SUBSTRUCTURES IS NOT CERTIFIED AS TO ACCURACY OR COMPLETENESS.
- 4) NO UTILITY AND/OR SUBGRADE INFORMATION OTHER THAN SEWER, WATER IS INDICATED ON THIS SURVEY. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.
- 5) SIZES AND TYPES OF SEWERS SHOWN HEREON AS OBTAINED FROM THE BOROUGH OF MANHATTAN SEWER DEPARTMENT RECORDS. SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON OBTAINED BY FIELD MEASUREMENTS.
- 6) SIZE OF WATER MAIN SHOWN HEREON AS OBTAINED FROM THE CITY OF NEW YORK DEPARTMENT OF ENVIRONMENTAL PROTECTION RECORDS, AS SHOWN ON MAP.
- 7) THE OWNER, CONTRACTOR AND/OR HIS AGENTS MUST NOTIFY THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION IN ACCORDANCE WITH INDUSTRIAL CODE RULE 53.
- 8) THIS IS TO CERTIFY THAT THERE ARE NO STREAMS NOR NATURAL WATERCOURSES IN THE PROPERTY AS SHOWN ON THIS SURVEY.
- 9) TOTAL AREA OF THE PARCEL = 5878.68 SQ.FT. = 0.135 ACRE.
- THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.
- UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
- CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.

DATUM CONVERSION TABLE

0	MANHATTAN HIGHWAY DATUM
1.65	
0	NAVD 1988
1.10	
0	NGVD 1929



LEONARD J. STRANDBERG AND ASSOCIATES
CONSULTING ENGINEERS AND LAND SURVEYORS, P.C.
32 SMITH STREET, FREEPORT, NY 11520
516-378-2064 • 212-218-4090 • FAX 516-378-6649

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E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**PROPOSED
EXISTING SURVEY**



05-28-14
DATE:
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ZONING COMPARISON

ZR REF	ZONING RESOLUTION HEADING	ZR ITEM	ZR DATA	AS-OF-RIGHT SCHEME	TYPICAL SCHEME	PROPOSED SCHEME
	ZONING MAP ZONING DISTRICT COMMUNITY DISTRICT INCLUSIONARY HOUSING		12C R8A 3 YES	12C R8A 3 YES	12C R8A 3 YES	12C R8A 3 YES
	SITE AREA IRREGULAR 40.3X1233X56X123 100' CORNER + 22' THROUGH LOT WIDTH		5874.3 SF	5874.3 SF	5800 SF	5874.3 SF
22-00	USES		USE GROUPS 1-4 PERMITTED AS-OF-RIGHT	USE GROUPS 2	USE GROUPS 2	USE GROUPS 2 & 6 (NONCOMPLIANT)
23-010	QUALITY HOUSING	CHAPTER 28	REQUIRED	PROVIDED	PROVIDED	PROVIDED
23-951	MAXIMUM FLOOR AREA RATIO	RESIDENTIAL BASE FAR (INCLUSIONARY HOUSING) MAX. FAR WITH BONUS (INCLUSIONARY HOUSING)	5.4 FAR 7.2 FAR	NA 6.3 FAR	NA 7.2 FAR	NA 7.2 FAR (MIXED USE - SEE BELOW)
		MAX. RESIDENTIAL ZONING FAR MAX. RESIDENTIAL ZONING FLOOR AREA	5,874.3 SF X 7.2 = 42,295 SF	37,296.5 SF	41,760 SF (41,760 SF PERMITTED)	6.43 FAR 37,743 SF
		MAX. COMMERCIAL ZONING FAR MAX. COMMERCIAL ZONING FLOOR AREA	NOT PERMITTED NOT PERMITTED	0 FAR 0 SF	0 FAR 0 SF	0.77 FAR (NONCOMPLIANT) 4,550 SF (NONCOMPLIANT) MIXED USE 7.2 FAR (42,293 SF) (NONCOMPLIANT)
28-31	QUALITY HOUSING: MINIMUM INTERIOR OR EXTERIOR RECREATION SPACE	2.8% OF TOTAL FLOOR AREA	42,295 SF X 2.8% = 1,184 SF MIN.	37,296 SF X 2.8% = 1,044 SF MIN. 1,722 SF ROOF DECK PROVIDED	41,760 SF X 2.8% = 1,169 SF MIN. 1200 SF GROUND FLOOR OPEN SPACE PROVIDED	42,293 SF X 2.8% = 1,184 SF MIN. 2,812 SF ROOF DECK PROVIDED
23-145	MAXIMUM LOT COVERAGE	CORNER LOT 80% THROUGH LOT 70% MAXIMUM TOTAL LOT COVERAGE	3,738.4 SF 840.0 SF 4,579 SF (78.0 %)	3,738.4 SF (80%) 830.7 SF (69.2%) 4,569.1 SF (78.0%)	4,640 SF NA 4,640 SF (80%) (CORNER LOT 80%)	4,673 SF (100%) (NONCOMPLIANT) 1,201 SF (100%) (NONCOMPLIANT) 5,874SF (100%) (NONCOMPLIANT)
23-22	DENSITY - MAX DWELLING UNITS	FLR AREA X 740 (FACTOR FROM CHART)	42,292 SF / 740 = 57 UNITS	53 UNITS	51 UNITS (56 PERMITTED)	46 UNITS
23-620 (23-633)	INITIAL SET BACKS: 23-633 PROVIDES ZERO SETBACK UP TO 85' MAX BASE HEIGHT					
	(HOUSTON @ 125' IS A "WIDE STREET") (AVE C & 2ND STREETS @ 60' ARE "NARROW STREETS")	WIDE STREET NARROW STREET	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK	10' SETBACK 15' SETBACK
23-621C	PERMITTED OBSTRUCTIONS	DORMERS 60% OF STREET WALL AT MAX BASE HEIGHT & REDUCES AT A RATE OF 1% OF STREET WALL	NONE	DORMERS	DORMERS	DORMERS
23-633 (a)(3) & CHART	MINIMUM BASE HEIGHT MAXIMUM BASE HEIGHT MAXIMUM BUILDING HEIGHT		60' 85' 120'	80' 80' 100'	80' 80' 120'	85' 85' 105'
				45 1BEDROOM 8 2BEDROOM 51 TOTAL APARTMENTS 10 STORIES	37 1BEDROOM 14 2BEDROOM 51 TOTAL APARTMENTS 12 STORIES	30 1BEDROOM 16 2BEDROOM 46 TOTAL APARTMENTS 10 STORIES 4,547 SF COMMERCIAL = POSSIBLE (6) 1BEDROOM APTS.

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PROPOSED RESIDENTIAL DEVELOPMENT		
350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION PROPOSED ZONING COMPARISON		
	05-28-14	DATE:
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3 of 18

ZONING ANALYSIS


Map 12C	Zoning District R8A No Commercial Overlay Community District 3 Within Inclusionary Housing Area				
	Site Area =5874.3 Irregular Site 40.3 x 123.3 x 56 x 123 100' Corner Lot + 22' Through Lot				
	Average Base Plane = 16.5ft (Average Base Plane = Project 0'-0")				
22-9	Uses: Use Groups 1-4				
22-321	Nameplates or Idendification signs: b)multiple dwellings...Non-illuminated...one identification sign, with an area not exceeding 12 square feet and indicating only the name of the permitted use,the name or address of the building or name of management....height of letters on any side of such awnings or canopies shall not exceed 12 inches				
23-10	Quality Housing required (See Chapter 28)				
23-144	Maximum Floor Area Ratio (Inclusionary Housing see 23-952)				
23-952	Maximum Floor Area Ratio (FAR) Lot Area = 5874.3sf Inclusionary Housing: 5.4 minimum to 7.2 maximum Zoning Area = 5874.3sf x 5.4 = 31,721 sf Zoning Area = 5874.3sf x 7.2 = 42,295 sf				
23-145	Maximum Lot Coverage Corner Lot: 80% 4,704sf x .8 = 3,763sf Through Lot: 70% 1170sf x .7 = 819sf Total = 4582sf Quality Housing: 6.02 FAR Zoning Area = 5874.3sf x 6.02 = 35,363.3 sf (not applicable)				
23-22 & 23	Maximum number of Dwelling Units R8A: factor of 740 Max. Residential FAR / Factor 42,295 sf / 740 = 57.2				
23-462c	Side Yards: None required in R8 zones. Any Open Area along a side yard shall be min. 8ft wide and extend lenght of Side Lot Line				
23-47	Rear Yards: Minimum 30ft				
23-471	R8: for interior or through lot portions of corner lots, and for zoning lots bounded by two or more streets that are neither corner lots nor through lots, the portion of a side lot line beyond 100 feet of the street line that it intersects shall be considered a rear lot line and the following rules shall apply along such rear lot line a) In all districts, a rear yard with a minimum depth of 30 feet shall be provided where such rear lot line coincides with a rear lot line of an adjoining zoning lot b) NA c) In R6 through R10 Districts, no rear yard shall be required where such rear lot line coincides with a side lot line of an adjoining zoning lot. lot line# beyond 100 feet of the #street line# that it intersects shall be considered a #rear lot line#				
23-531	a) R8 zones: no rear yard regulations shall apply to any through lots that extend less than 110 feet in maximum depth from street to street. b) Quality Housing buildings, no rear yard regulations shall apply to any zoning lot that includes a through lot portion that is contiguous on one side to two corner lot portions and such zoning lot occupies the entire block frontage of a street				
23-532	Rear yard Equivalants: Do not apply to through lots less than 110 in depth				
23-542	Short Demension Block, R8: front lot line of a zoning lot coincides with all or part of a street line measuring less than 230 feet in length between two intersecting streets, no rear yard shall be required within 100 feet of such front lot line.				
23-62	Height & Setback Obstructions a) Awnings and sun control 2'-6" max projection above first story level..... When located on the first story above a setback, awnings and other sun control devices shall be limited to a projection of 50 percent of the depth of the required setback, and shall be limited, in total, to 50 percent of the width of the building wall from which they project g) Elevator or stair bulkheads (including shafts; and vestibules not larger than 60 square feet in area providing access to a roof.... 1) shall be located not less than 10 feet from the street wall ...except that such obstructions need not be set back more than 25 feet from a narrow street line or more than 20 feet from a wide street line. However, such restrictions on location shall not apply to elevator or stair bulkheads (including shafts or vestibules), provided the aggregate width of street walls of such bulkheads within 10 feet of a street wall, facing each street frontage, times their average height, in feet, does not exceed an area equal to four times the width, in feet, of the street wall of the building facing such frontage Other obstructions: balconies, columns, chimnies, decks, Screened mechanical equip, flagpoles, parapets, roof thickness, skylights, solar energy sys.vegetsated roofs,				
	Projections over Streetline: Architectural details, Marquee, balconies, overhangs, awnings.... see Chapter 32 of Building Code: Encroachments into Right of Way 3202.2.1.2 Architectural Details ground to 10ft 4" projection....Above 10ft 10"....projections above 10ft may be allowed more subject to approval of Commissioner DOT 3202.2.1.4 Marquees: 10ft above...project no closer than 2ft from curb..3ft max thickness, supported from building...on Multiple dwellings 3202.2.1.3 Balconies: 10 ft above 22" projection beyond streetline 3202.2.3.1 Store awnings: 8ft above 8ft max projection above building elements to be removable, permission revocable.....all subject to applicable lregulations including DOB & DOT				
23-621	Permitted obstructions c) R8A & QH: Dormers 60% of street wall and reduces at a rate of 1% of street wall				
23-633	a3) Along Wide street and within 50ft of wide street intersection a3i) the street wall shall extend along the entire street frontage of a zoning lot a3ii) at least 70 percent of the aggregate width of street walls shall be located within eight feet of the street line and extend to at least the minimum base height specified in the table in this Section or the height of the building, whichever is less. The remaining 30 percent of the aggregate width of street walls may be recessed beyond eight feet of the street line provided any such recesses deeper than 10 feet along a wide street or 15 feet along a narrow street are located within an outer court; and				
	a3iii) No street wall location provisions shall apply along any narrow street beyond 50 feet of their intersection with a wide street				
	b)Setbacks required above maximum base height Wide Street = 10ft Narrow Street= 15ft				
	c) Maximum Building Height R8A 60ft Min Base Height 85ft Max Base Height 120 Max. Building Height				
23-663b	no portion of building above maximum base shall be nearer than 10ft to Rear Yard Line. (NA there are no Rear Yards)				
23-692	Height Limitation for narrow building R8: ..buildings with street walls less than 45 feet in width shall not be permitted above the following heights c) For corner lots bounded by at least one wide street, a height equal to the width of the widest street on which it fronts, or 100 feet, whichever is less 6) Quality Housing buildings shall be exempt from the provisions of this Section provided the width of the street wall at the maximum base height specified in the applicable table in Section 23-633 or 35-24 is at least 45 feet. For such buildings, a street wall that is less than 45 feet wide may be constructed above such base				
23-80	Court Regulations, Open area requirements				
23-841	R8: In all districts indicated, if an outer court is less than 30 feet wide, the width of such outer court shall be at least one and one thirld the depth of such outer court				
23-842	R8: In all districts, as indicated, if an outer court is 30 feet or more in width, the width of such outer court must be at least equal to the depth of such outer court, except that such width need not exceed 60 feet				
23-843	R8: In all districts, as indicated, the width of an outer court recess shall be at least twice the depth of the recess, except that such width need not exceed 60 feet				
23-851	Inner Courts - minimal dimensions: R8: the area of an inner court shall not be less than 1,200 square feet, and the minimum dimension of such inner court shall not be less than 30 feet. 852: inner court recess similar to 843				
23-861	Min distance between Legally required Windows, walls lot lines at an inner court R8: 30ft to any wall, rear lotline or side lot line or verical projection thereof				
23-863	Min distance between legal req windows and walls on same lot (Inner Court). 30ft min or 1/2 the height above window sill to max of 60ft				
23-892	R8A and QH planting at ground or raised in raised planters open space between street line and streetwalls				
28	Quality Housing The Quality Housing Program consists of four components: neighborhood impact, building interior, recreation space and planting, and safety and security				
28-21	A dwelling unit shall have an area of at least 400 square feet of floor area				
28-23	A refuse disposal room of not less than twelve square feet with no dimension less than three feet shall be provided on each story that has entrances to dwelling units ... Twelve square feet of such refuse storage room shall beexcluded from the definition of floor area.				
28-24	Laundry Facility: provide a laundry room with one washing machine per 20 units and 1 dryer per 40 units. (Provided: one washer and dryer in each unit)				
28-25	Daylight in Corridors: Fifty percent of the square footage of a corridor may be excluded from the definition of floor area if a window with a clear, non-tinted, glazed area of at least 20 square feet is provided in such corridor, provided that such window: (a) shall be directly visible from 50 percent of the corridor or from the#vertical circulation core. This standard shall be achieved when a visually unobstructed straight line can be drawn between such corridor, elevator or stairwell, and the window; and (b) is located at least 20 feet from a wall or a side or rear lot line measured in a horizontal plane and perpendicular to the rough window opening.				
28-31	Recreation Space: Minimum Required Recreation Space as a percentage of the residential floor area R8: 2.8				
28-32	a) All recreation space shall be accessible to the residents... b) The minimum dimension of any recreation space shall be 15 feet. The minimum size of any outdoor recreation space shall be 225 square feet, and the minimum size of any indoor recreation space shall be 300 square feet c) Outdoor open to the sky d) Indoor...at least one exterior wall with windows that measure not less than 9.5 percent of the total floor space of the room ...				
28-33	Planting Area see 23-892				
28-41	Density per Corridor: If the number of dwelling units ... served by a vertical circulation core and corridor on each story does not exceed...(10)... 50 percent of the square feet of the corridor serving such dwelling units				
28-51	Off street Parking...required by QH but in 25-242 waived for R8 districts with zoning lot 10,00sf or less				

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC


11 AVENUE C

NEW YORK, N.Y.

BSA APPLICATION

PROPOSED

ZONING ANALYSIS

	05-28-14
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FLOOR AREA SCHEDULE

FLOOR LEVEL	GROSS FLOOR AREA	DEDUCTIONS	ZONING FLOOR AREA	REMARKS
CELLAR	5,874 SF	- 5,874 SF	0 SF	NOT ZONING AREA
FIRST FLOOR	5,656 SF	- 282 SF	5,374 SF	
SECOND FLOOR	5,600 SF	- 576 SF	5,024 SF	
THIRD FLOOR	5,600 SF	- 907 SF	4,693 SF	
FOURTH FLOOR	5,600 SF	- 907 SF	4,693 SF	
FIFTH FLOOR	5,600 SF	- 907 SF	4,693 SF	
SIXTH FLOOR	5,600 SF	- 907 SF	4,693 SF	
SEVENTH FLOOR	5,600 SF	- 907 SF	4,693 SF	
EIGHT FLOOR	5,600 SF	- 907 SF	4,693 SF	
NINETH FLOOR	2,302 SF	- 425 SF	1,877 SF	
TENTH FLOOR	2,284 SF	- 424 SF	1,860 SF	
TOTAL	55,316 SF	-13,023 SF	42,293 SF	

55,316 SF	GROSS FLOOR AREA	
13,023 SF	DEDUCTIONS	
42,293 SF	TOTAL ZONING FLOOR AREA	42,293 SF / 5,874.3 SF = 7.2 FAR

37,743 SF	RESIDENTIAL ZONING FLOOR AREA
4,550 SF	COMMERCIAL ZONING FLOOR AREA

QUALITY HOUSING DEDUCTIONS:
50% OF CORRIDOR - DENSITY PER CORRIDOR (FLOORS 2-9)
50% OF CORRIDOR - DAYLIGHT IN CORRIDORS (FLOOR 3-9)
12 SF REFUSE STORAGE & DISPOSAL ROOMS (FLOORS 2-9)

MECHANICAL DEDUCTIONS:
SHAFTS, PLUMBING CHASES & TRASH CHUTE 5% (2,765 SF)

REQUESTED WAIVERS

Use: Commercial use is not permitted as-of right in R8A zoning districts pursuant to Zoning Resolution 22-10.
The proposed variance would allow Use Group 6 retail use at the ground floor and cellar.

Lot coverage: Zoning Resolution 23-145 permits a maximum lot coverage of 80 percent for corner lot portions of a zoning lot and 70 percent for through lot portions of a zoning lot. The proposed variance would allow full lot coverage on the Lot.

RESIDENTIAL UNIT SCHEDULE

UNIT TYPE	Area	UNIT TYPE	Area	UNIT TYPE	Area
2ND FLOOR		4TH FLOOR		7TH FLOOR	
2 BEDROOM	1001 SF	2 BEDROOM	1001 SF	2 BEDROOM	1006 SF
2 BEDROOM	1118 SF	2 BEDROOM	1118 SF	2 BEDROOM	1118 SF
1 BEDROOM	612 SF	1 BEDROOM	612 SF	1 BEDROOM	612 SF
1 BEDROOM	612 SF	1 BEDROOM	612 SF	1 BEDROOM	612 SF
1 BEDROOM	612 SF	1 BEDROOM	612 SF	1 BEDROOM	612 SF
1 BEDROOM	643 SF	1 BEDROOM	639 SF	1 BEDROOM	639 SF
	4599 SF		4595 SF		4599 SF
3RD FLOOR		5TH FLOOR		8TH FLOOR	
2 BEDROOM	1001 SF	2 BEDROOM	1006 SF	2 BEDROOM	1006 SF
2 BEDROOM	1118 SF	2 BEDROOM	1118 SF	2 BEDROOM	1118 SF
1 BEDROOM	612 SF	1 BEDROOM	612 SF	1 BEDROOM	612 SF
1 BEDROOM	612 SF	1 BEDROOM	612 SF	1 BEDROOM	612 SF
1 BEDROOM	612 SF	1 BEDROOM	612 SF	1 BEDROOM	612 SF
1 BEDROOM	643 SF	1 BEDROOM	643 SF	1 BEDROOM	643 SF
	4599 SF		4603 SF		4603 SF
		6TH FLOOR		9TH FLOOR	
		2 BEDROOM	1006 SF	2 BEDROOM	982 SF
		2 BEDROOM	1118 SF	1 BEDROOM	602 SF
		1 BEDROOM	612 SF		1583 SF
		1 BEDROOM	612 SF	10TH FLOOR	
		1 BEDROOM	612 SF	1 BEDROOM	601 SF
		1 BEDROOM	643 SF	2 BEDROOM	980 SF
			4603 SF		1582 SF
				Grand total	35366 SF

30	1 BEDROOM
16	2 BEDROOM
46	TOTAL

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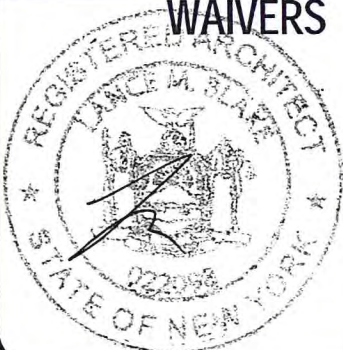
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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION

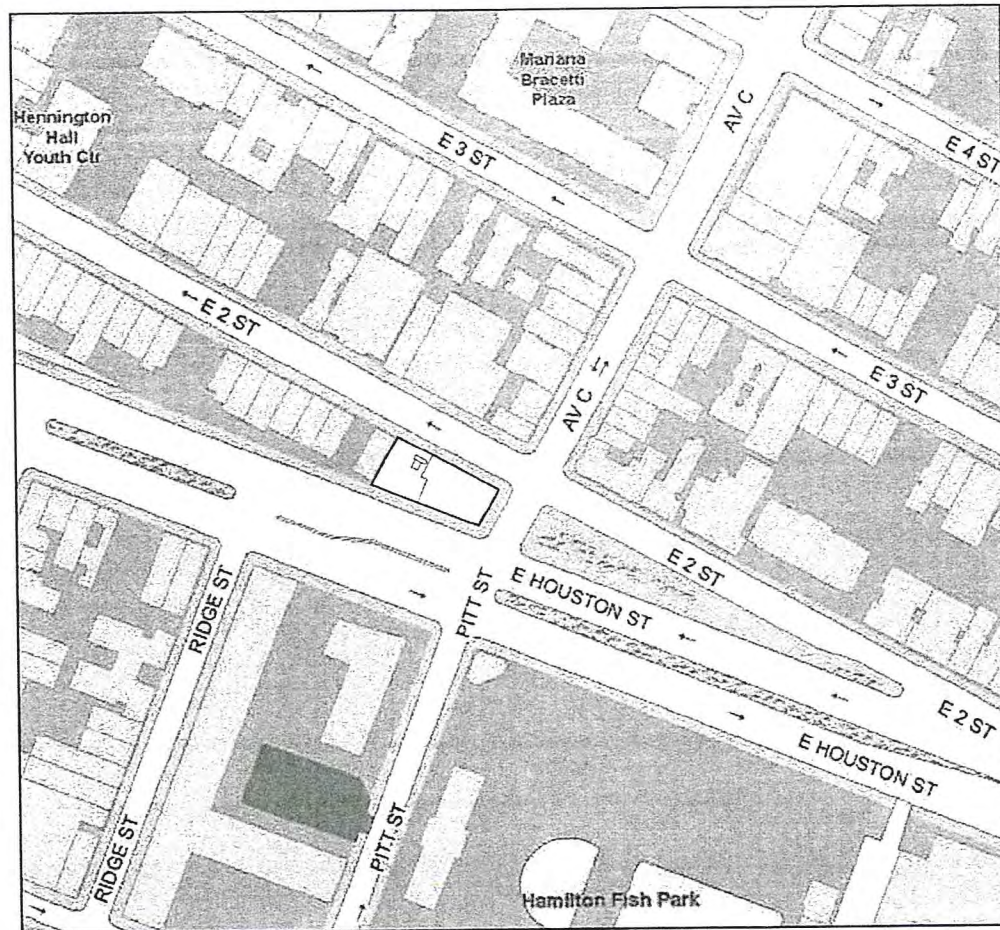
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FLOOR AREA & RES. UNIT
SCHEDULES & REQUESTED**



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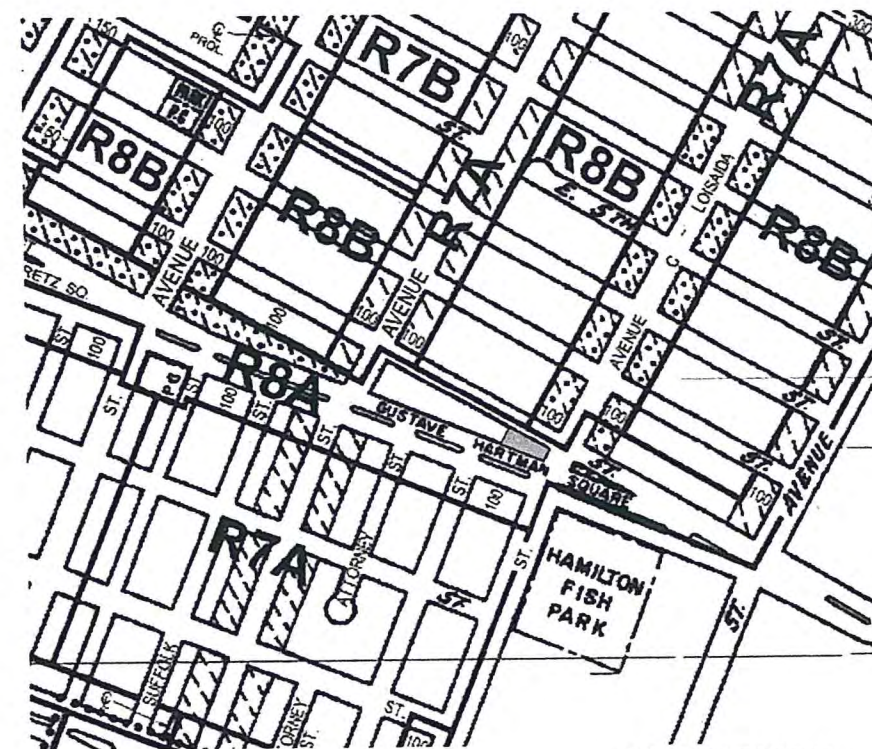
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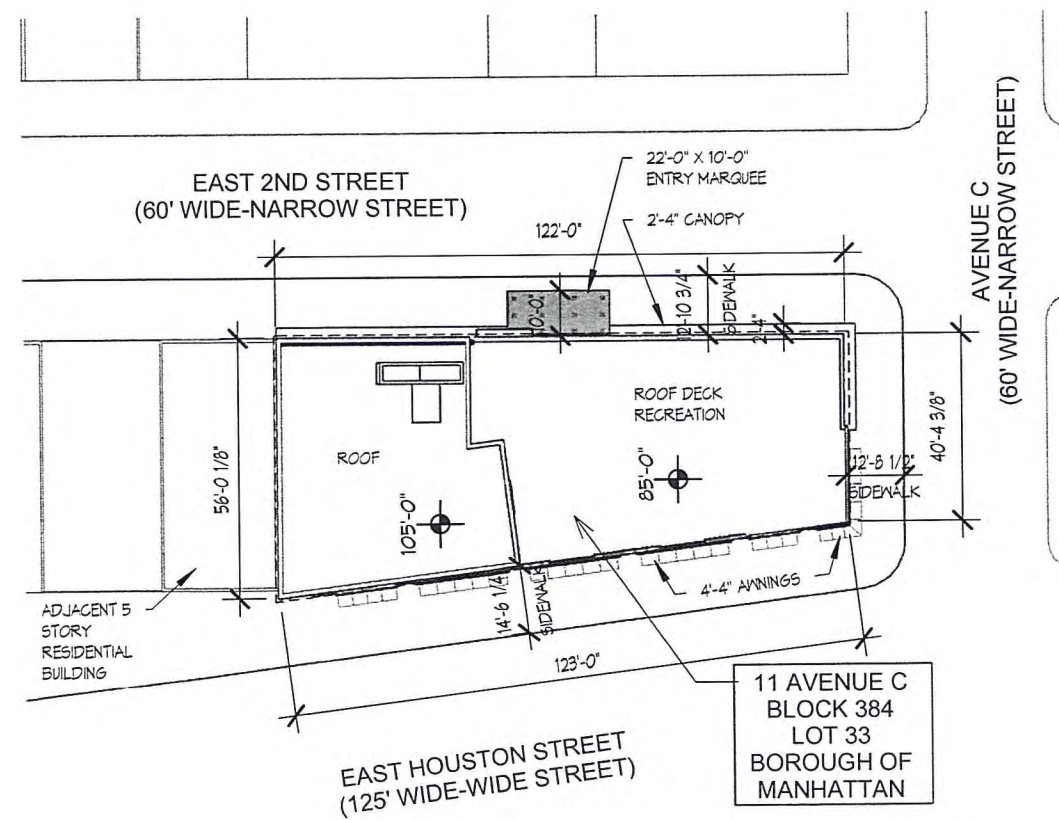
LOT PLAN

SCALE: 1" = 200'-0"



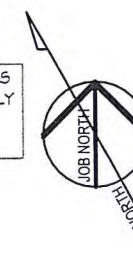
ZONING MAP

SCALE: 1" = 600'-0"



ZONING SITE PLAN

SCALE: 1" = 40'-0"



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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

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**PROPOSED
LOT PLAN, ZONING SITE
PLAN, ZONING MAP**

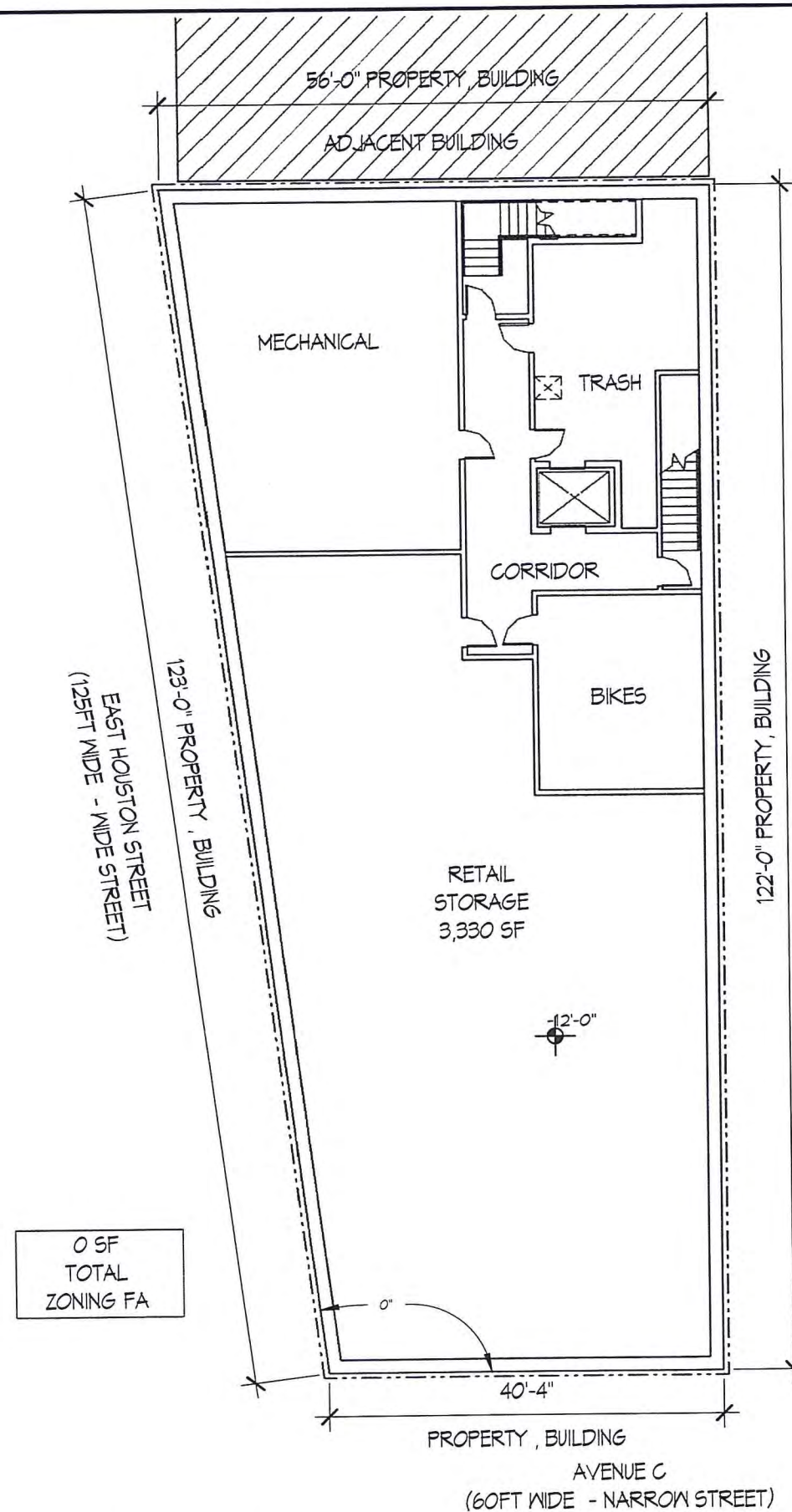


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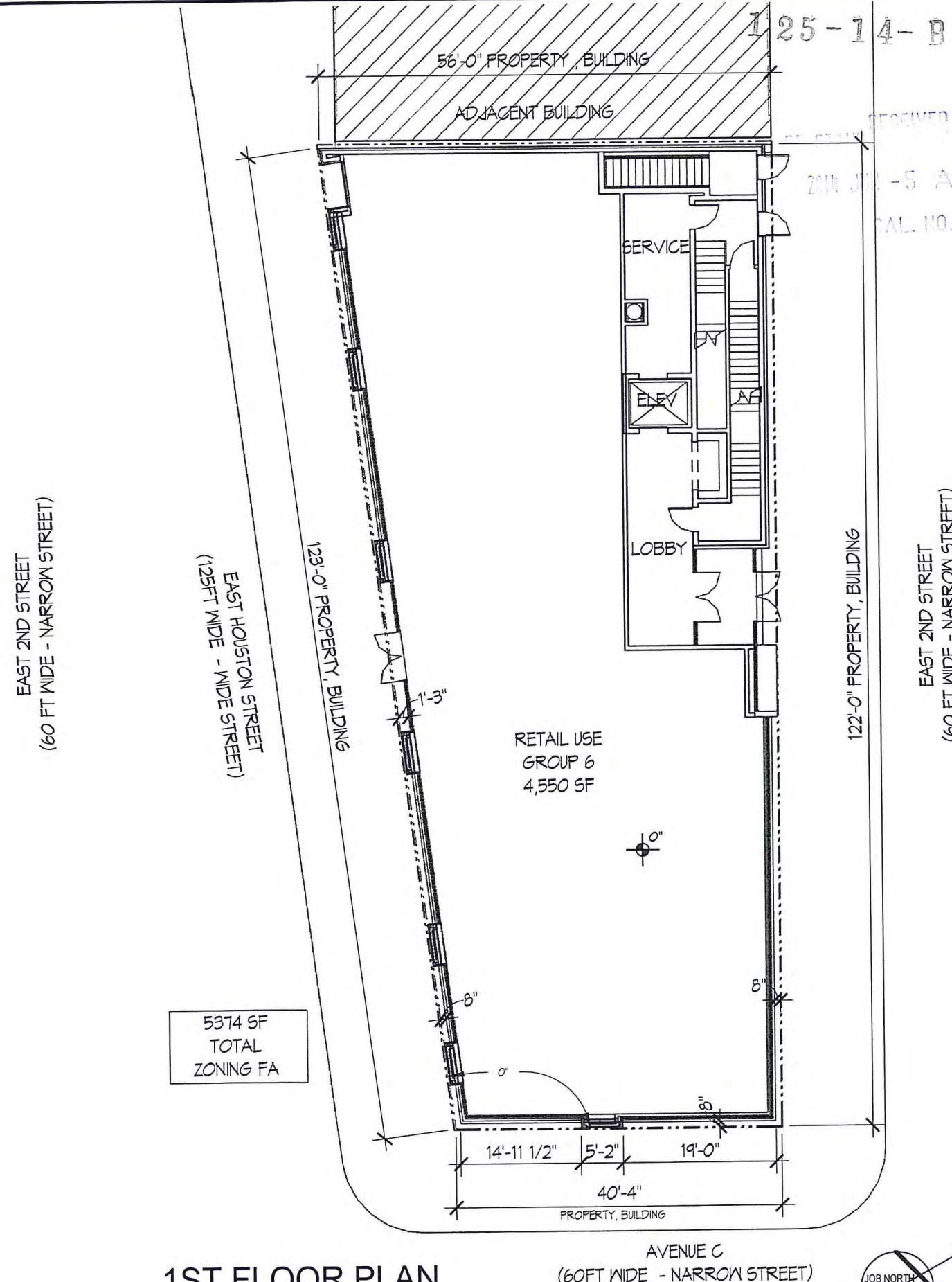
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CELLAR PLAN
SCALE: 1/16" = 1'-0"




1ST FLOOR PLAN
SCALE: 1/16" = 1'-0"

NOTE: ALL CELLAR LEVEL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

NOTE: INTERIOR LAYOUT OF APARTMENTS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

NOTE: ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

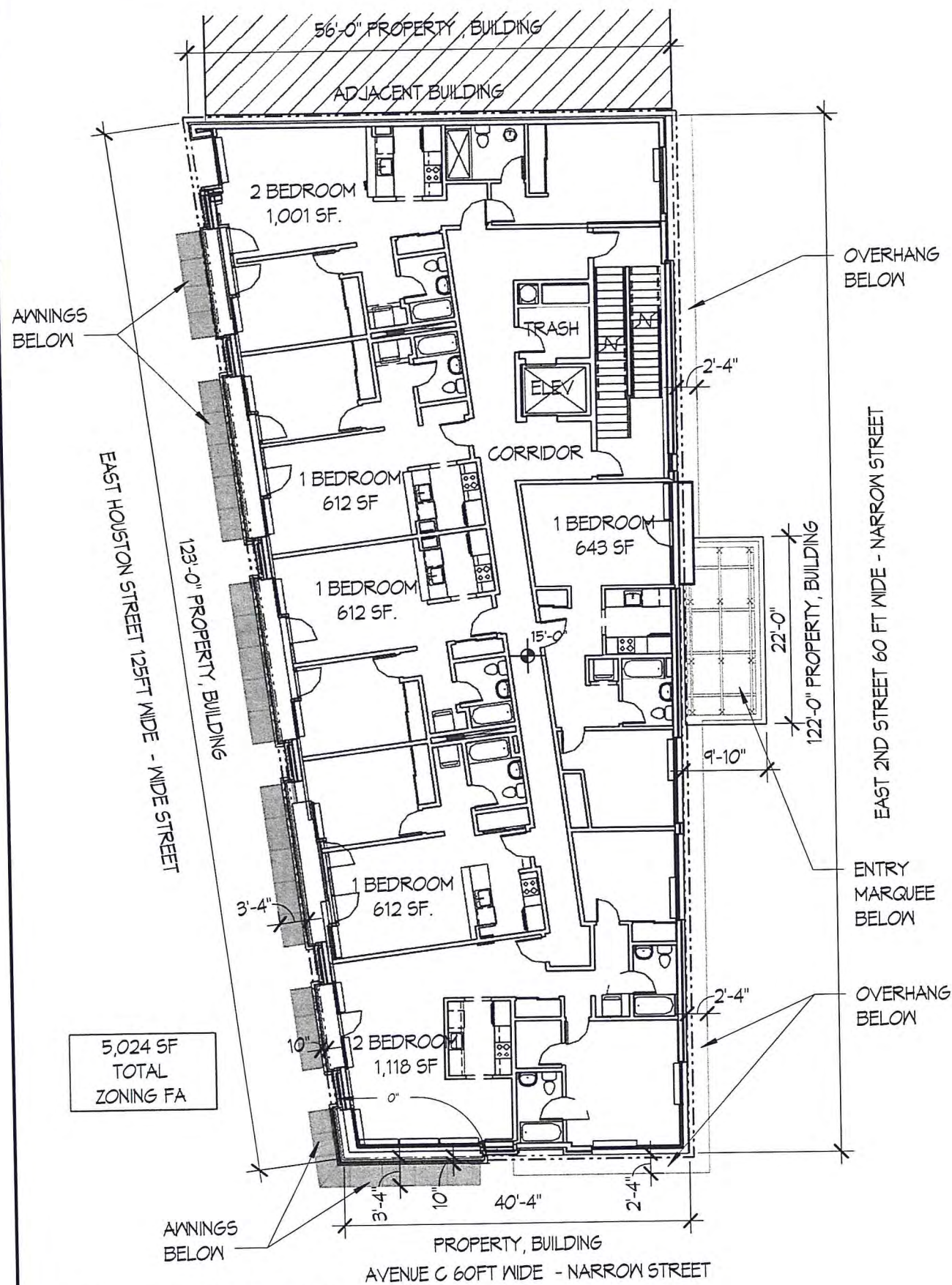
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PROPOSED RESIDENTIAL DEVELOPMENT
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BSA APPLICATION
**PROPOSED
 CELLAR & FIRST FLOOR
 PLANS**

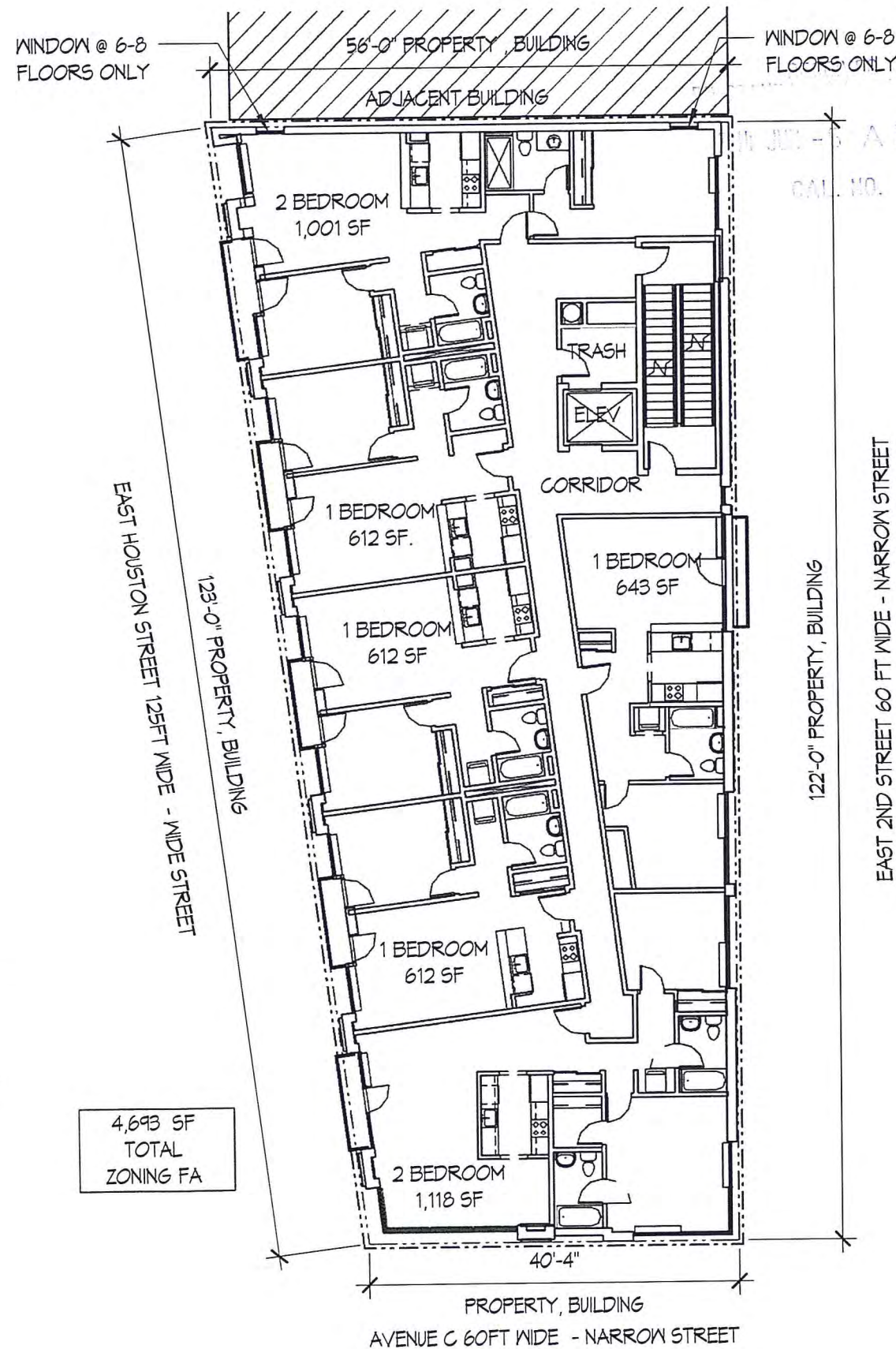


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2ND FLOOR PLAN

SCALE: 1/16" = 1'-0"



3RD THRU 8TH FLOOR PLANS

SCALE: 1/16" = 1'-0"

NOTE: INTERIOR LAYOUT OF APARTMENTS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

NOTE: ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

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PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC

11 AVENUE C

NEW YORK, N.Y.

BSA APPLICATION

PROPOSED

SECOND & THIRD THRU

EIGHTH FLOOR PLANS



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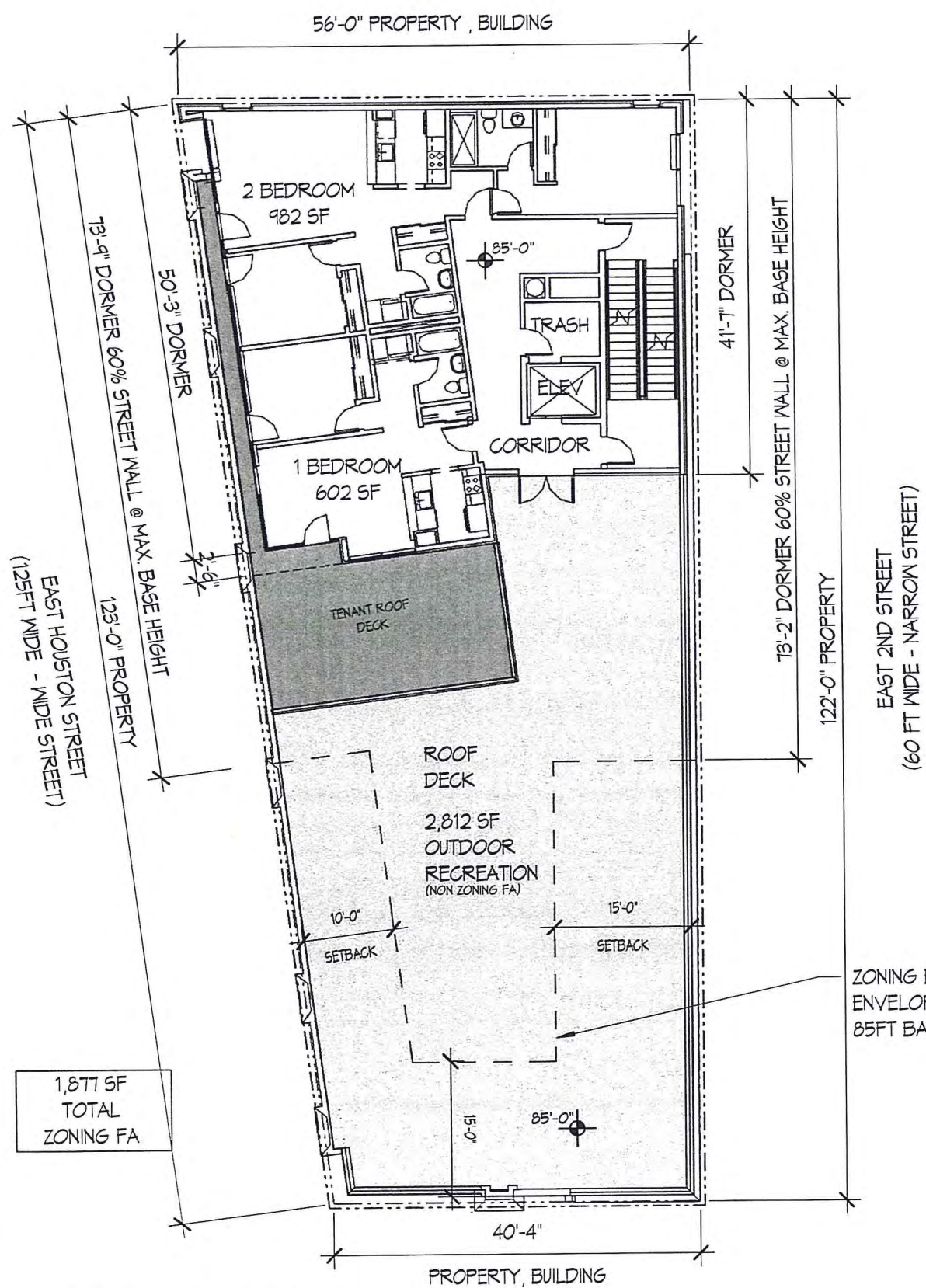
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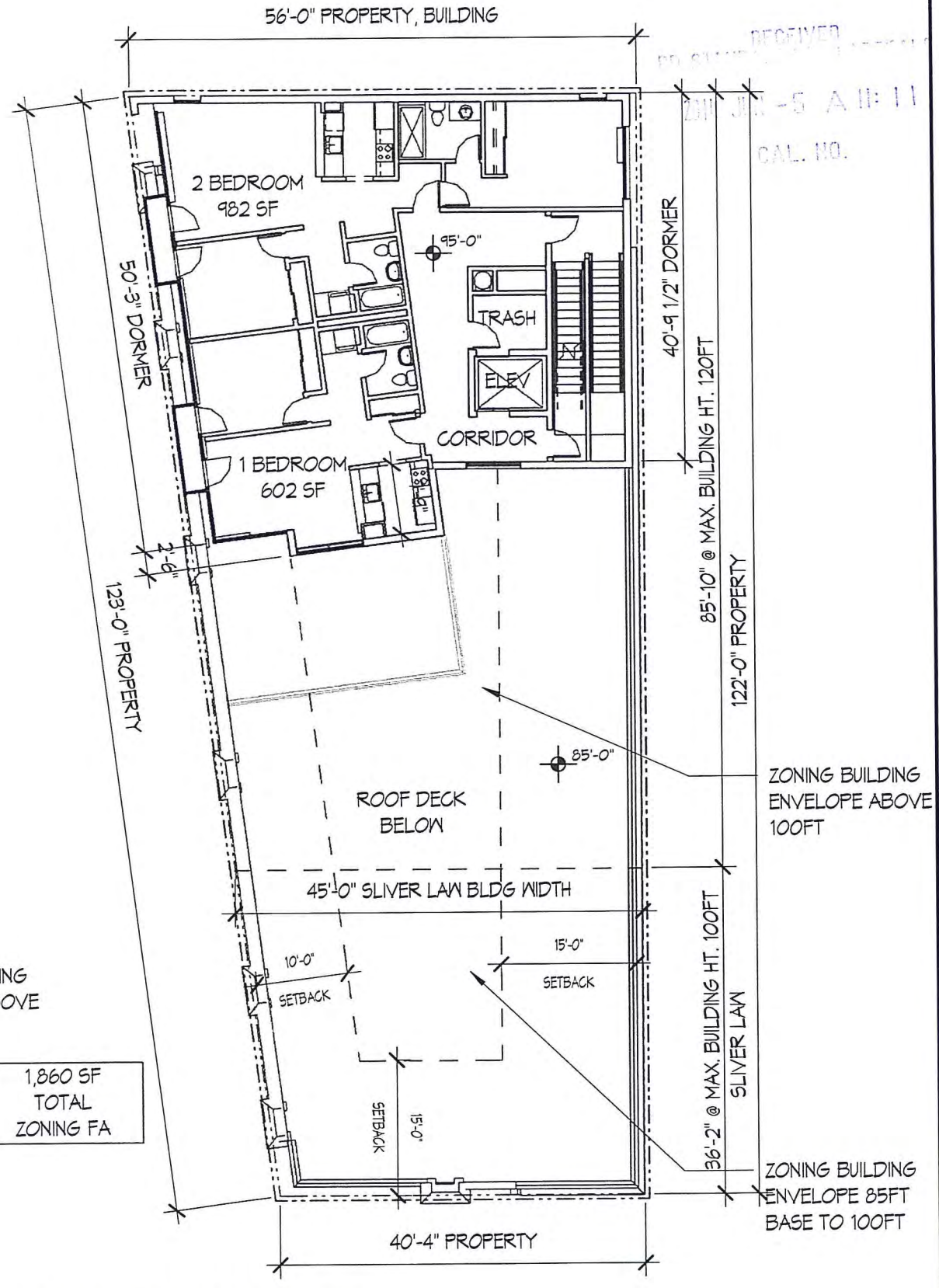
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9TH FLOOR PLAN
SCALE: 1/16" = 1'-0"

AVENUE C
(60FT WIDE - NARROW STREET)



10TH FLOOR PLAN
SCALE: 1/16" = 1'-0"

NOTE: INTERIOR LAYOUT OF APARTMENTS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

NOTE: ALL PARTITIONS AND EXITS SHALL BE AS APPROVED BY DEPARTMENT OF BUILDINGS

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PROPOSED RESIDENTIAL DEVELOPMENT

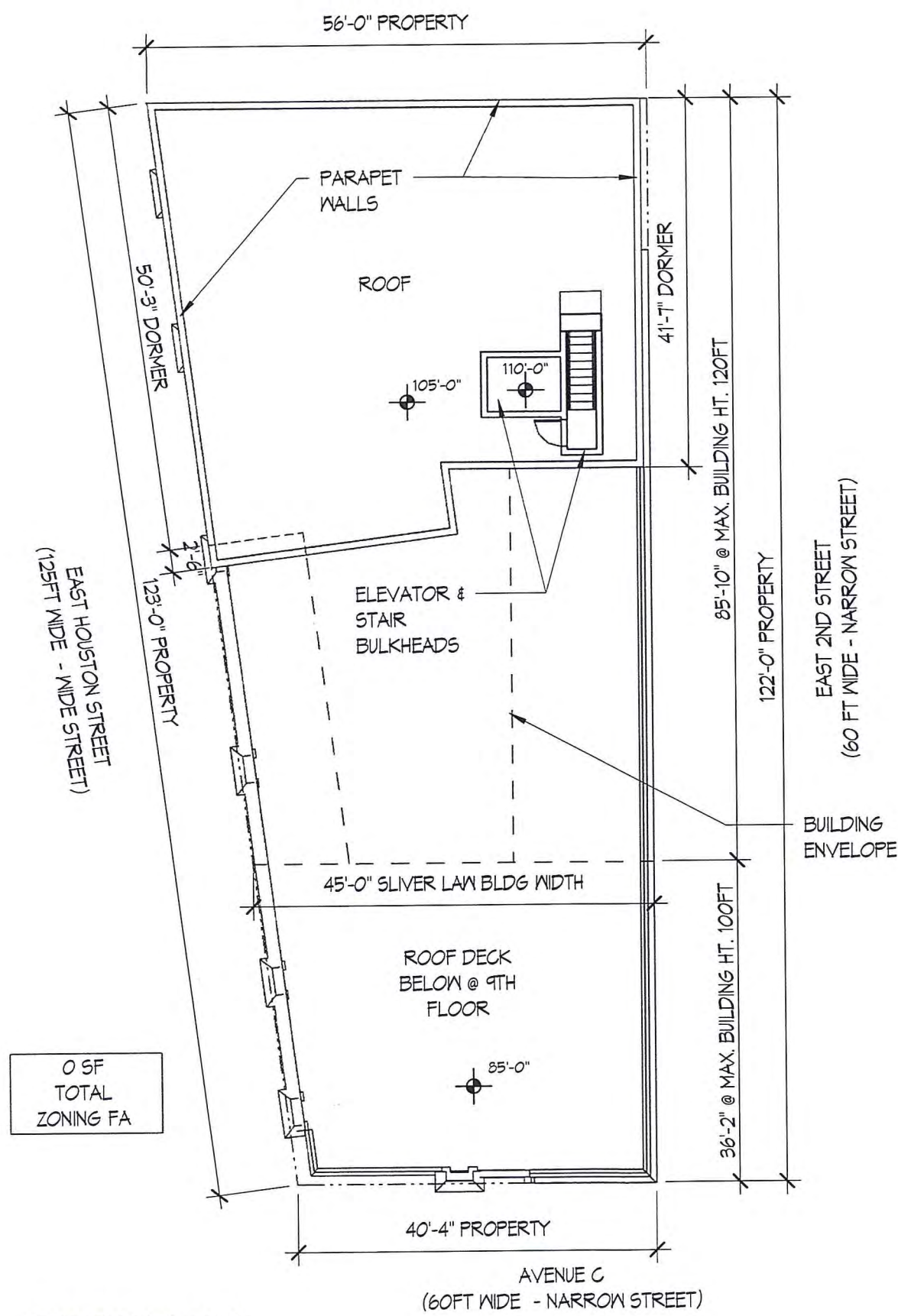
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BSA APPLICATION
**PROPOSED
NINTH & TENTH FLOOR
PLANS**



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ROOF PLAN
SCALE: 1/16" = 1'-0"

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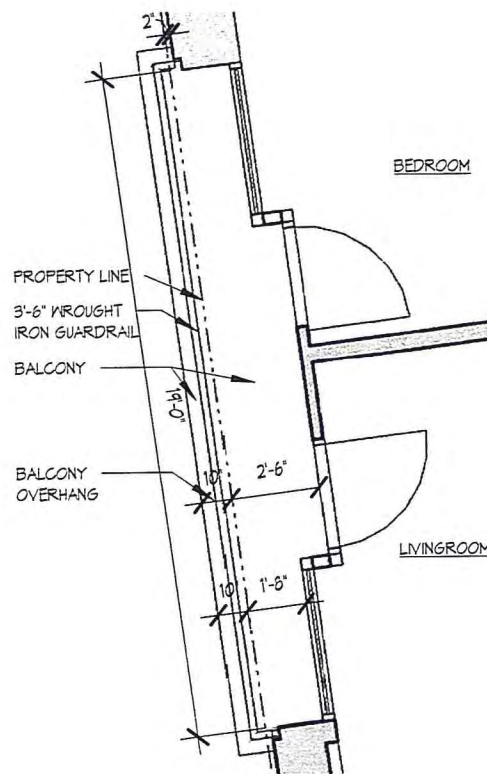
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11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**PROPOSED
ROOF PLAN**



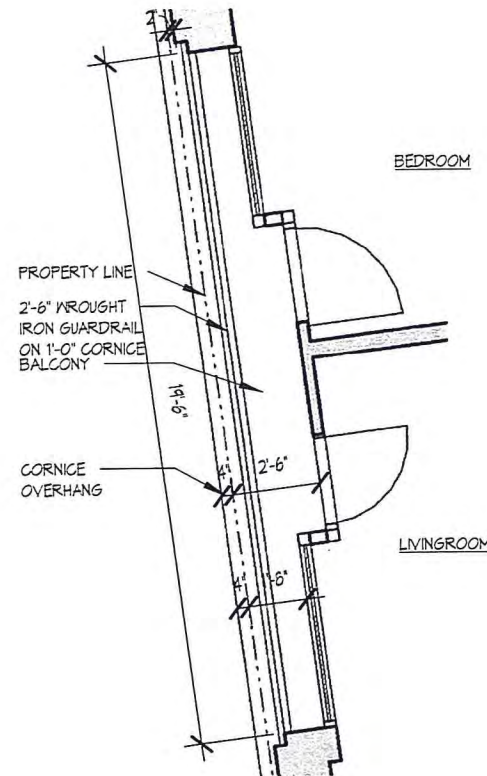
05-28-14
DATE:
201305
PROJECT NO.
MGT
DWN. BY:
LMB
CHECKED BY:

SK-104
DRAWING NO.



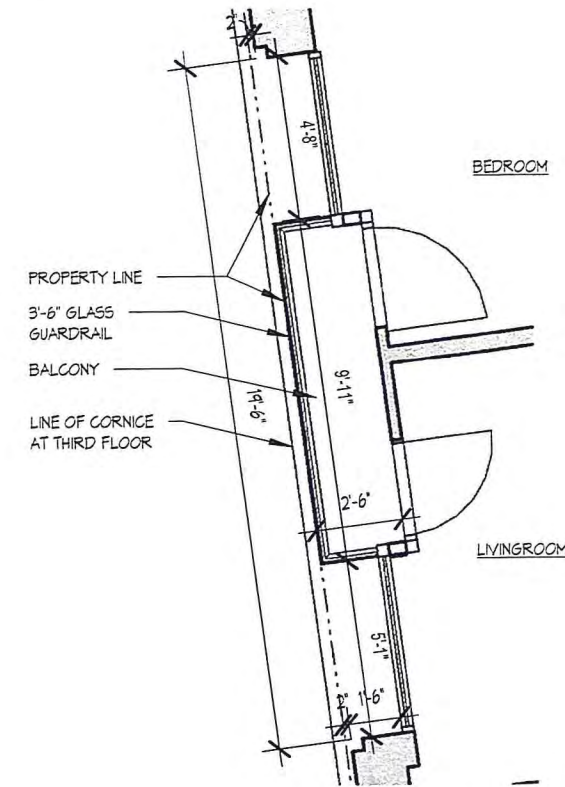
**TYPICAL
SECOND FLOOR SOUTH BALCONY**

SCALE: 3/16" = 1'-0"



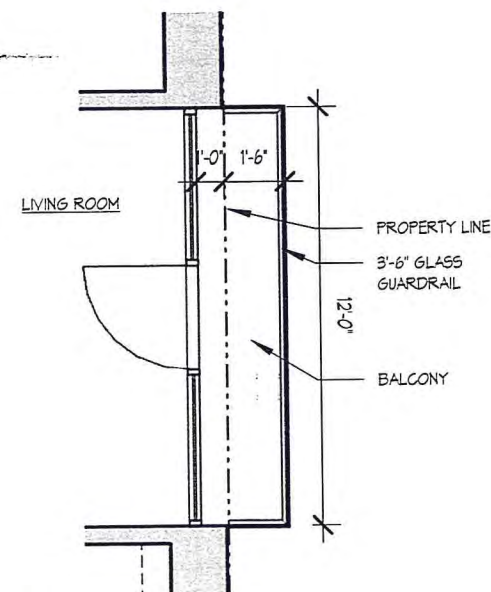
**TYPICAL
THIRD FLOOR SOUTH BALCONY**

SCALE: 3/16" = 1'-0"



**TYPICAL
4-8 FLOOR SOUTH BALCONY**

SCALE: 3/16" = 1'-0"



**TYPICAL
2-8 FLOOR NORTH BALCONY**

SCALE: 3/16" = 1'-0"

125-14-BZ-1

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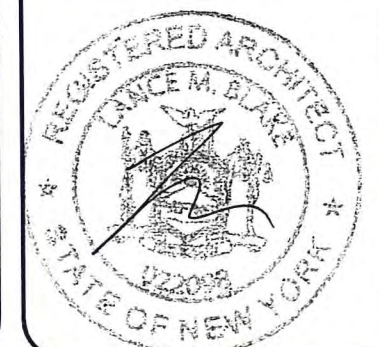
ARCHITECT:



PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**PROPOSED
BALCONY DETAILS**



05-28-14

DATE:

201305

PROJECT NO.

MGT

DWN. BY:

LMB

CHECKED BY:


SK-105

DRAWING NO.

12 of 18

125-14-B7-

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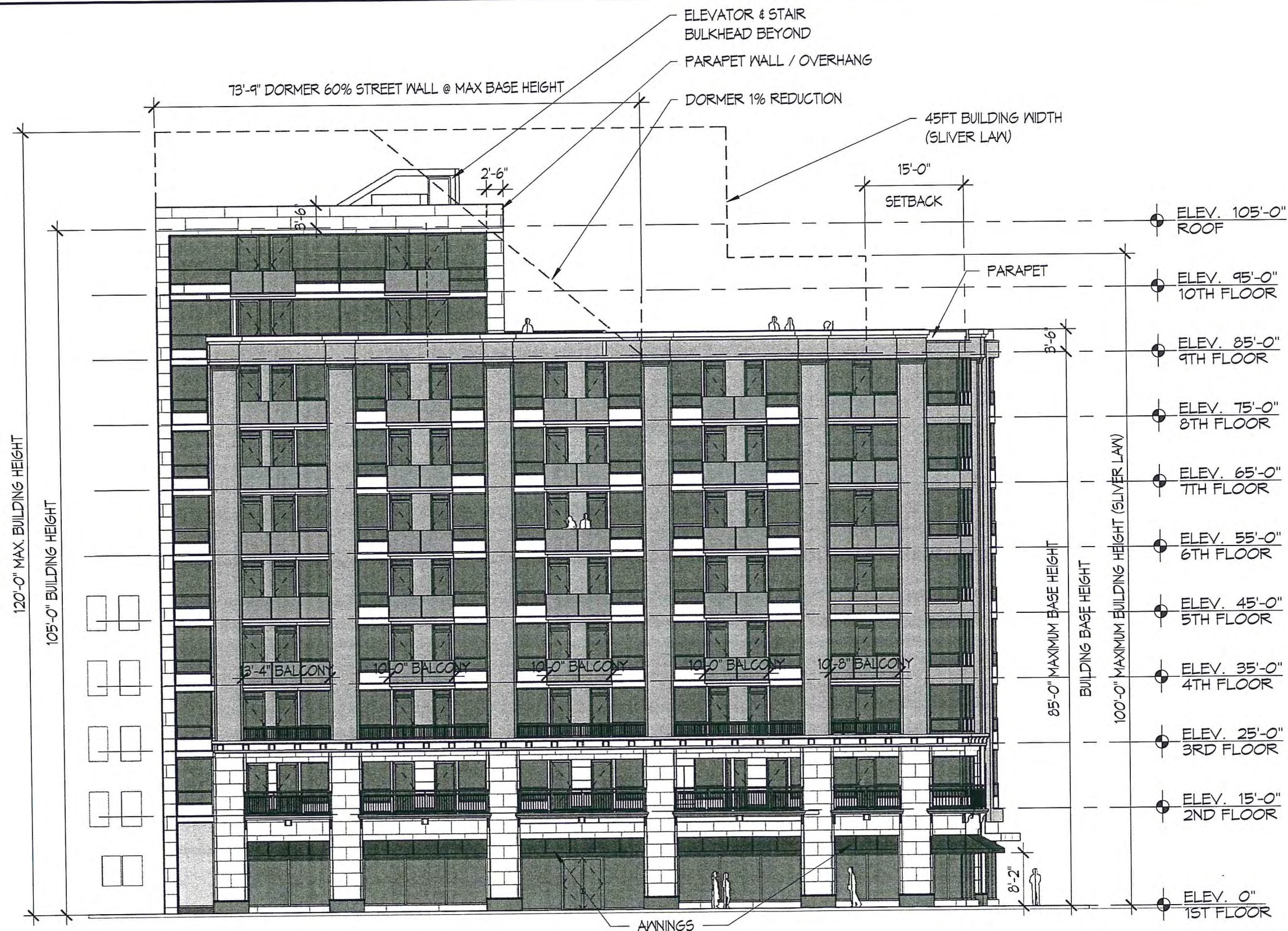
NO.	REVISION	DATE
ARCHITECT:		
 Rotwein+Blake <small>16 Microdot Road Suite B Livingston, NJ 07039-1602 973.740.9755 • Fax: 973.740.9766 E-mail: email@rb-arch.com</small>		

PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
 11 AVENUE C
 NEW YORK, N.Y.

BSA APPLICATION
PROPOSED ELEVATIONS



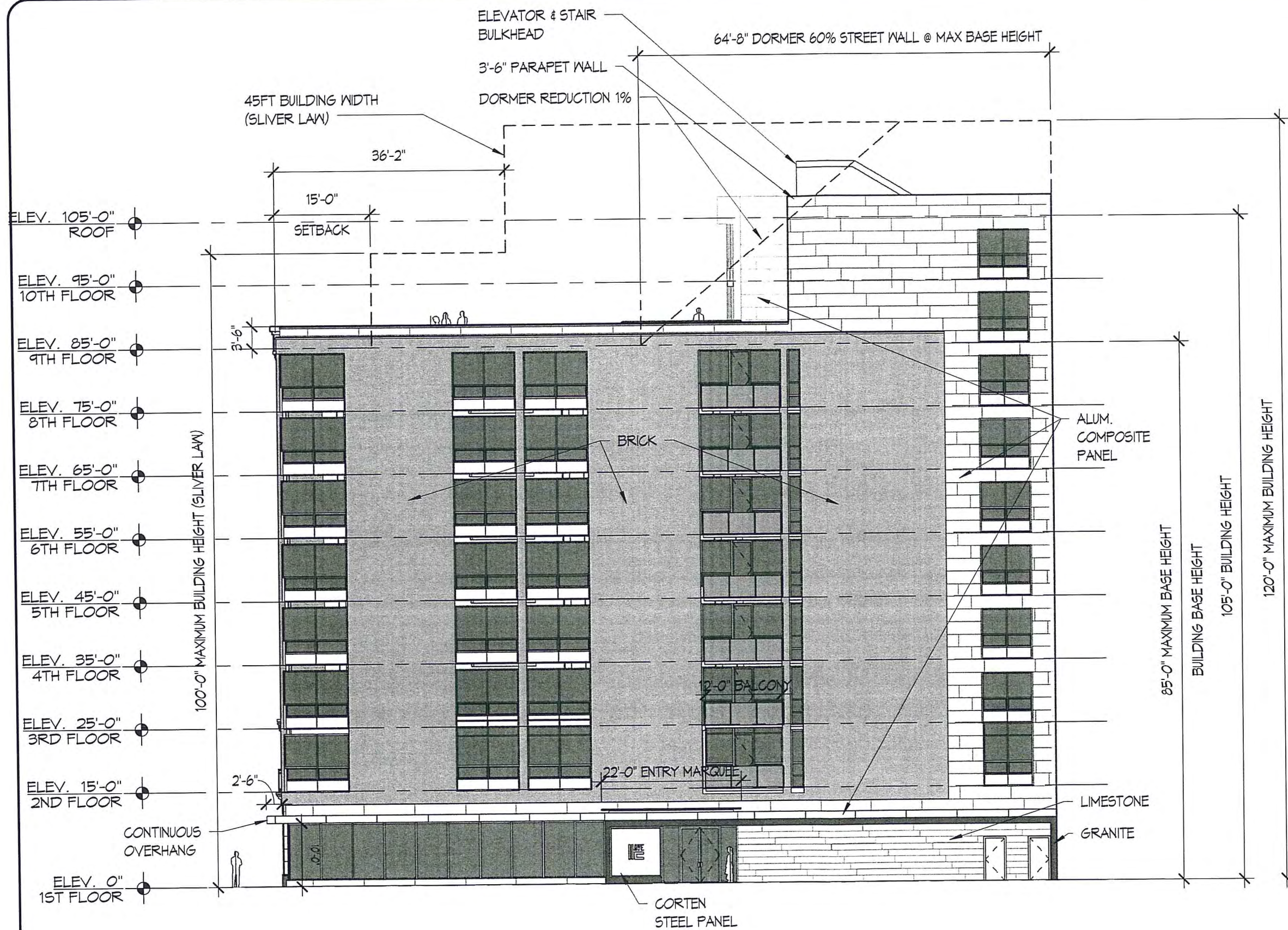
DATE:	05-28-14
PROJECT NO.	201305
MGT	
DWN. BY:	LMB
CHECKED BY:	
SK-201	
DRAWING NO.	
13 of 18	



AVERAGE BASE PLANE = 16.5 FT
 (AVERAGE BASE PLANE = PROJECT 0'-0")

SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



NORTH ELEVATION

SCALE: 1/16" = 1'-0"

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CAL. NO.

NO.	REVISION	DATE
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ARCHITECT:



Rotwein+Blake

16 MicroLab Road Suite B Livingston, NJ 07039-1602
973.740.9755 • Fax: 973.740.9766
E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC

11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION PROPOSED ELEVATIONS



05-28-14
DATE:

201305
PROJECT NO.

MGT
DOWN BY:

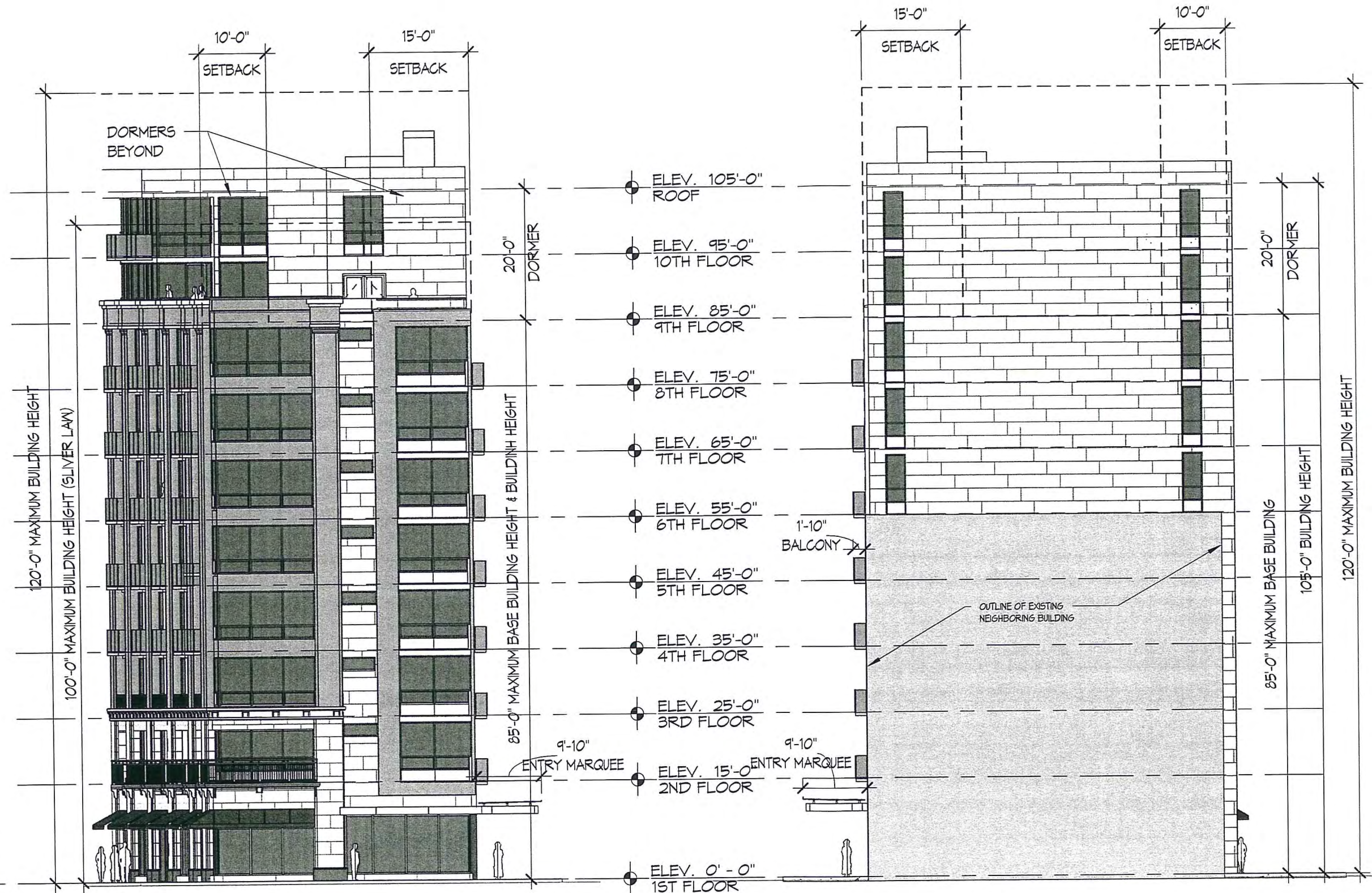
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CAL. NO.



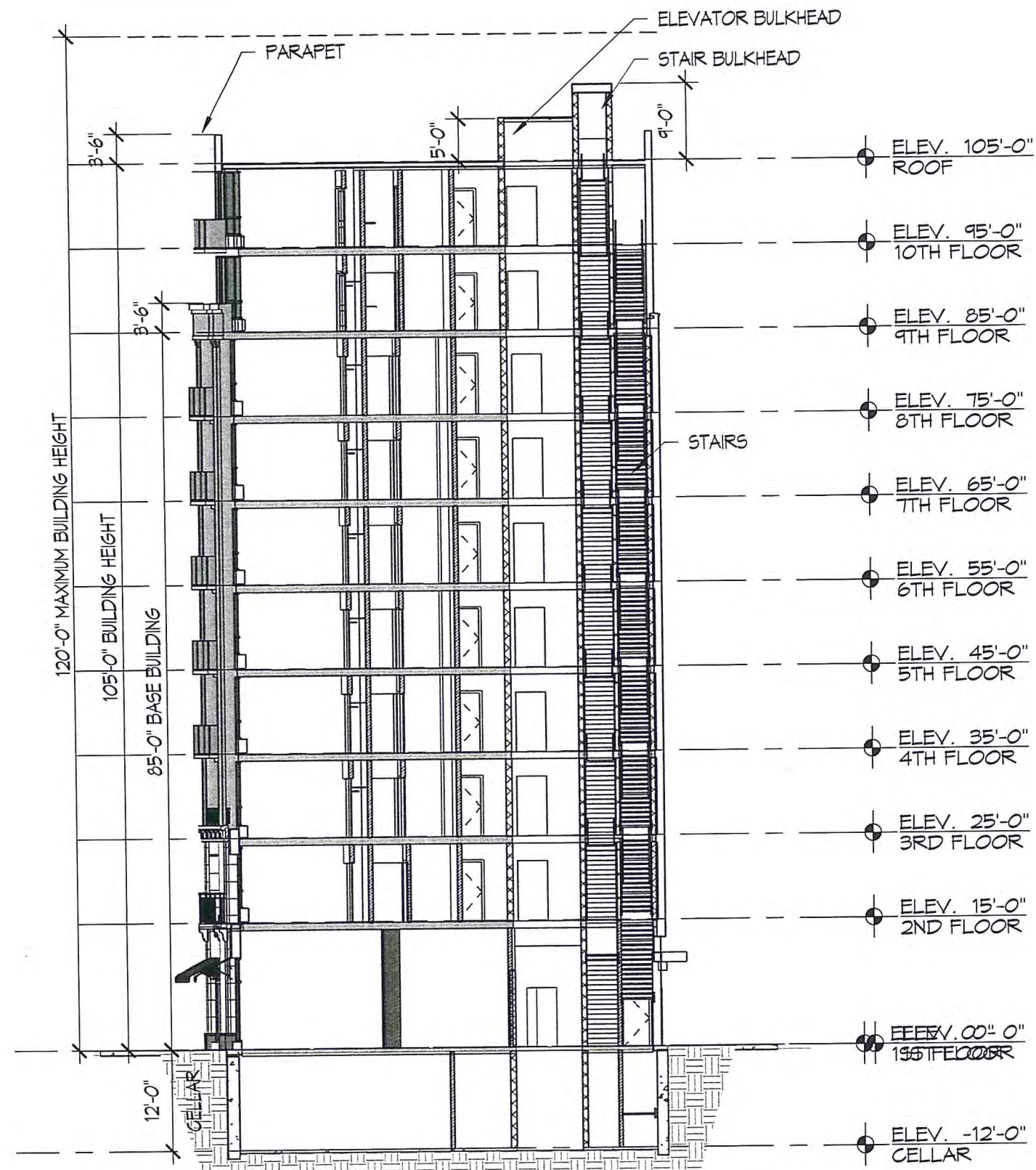
NO.	REVISION	DATE
ARCHITECT:		
 Rotwein+Blake 16 Microlab Road Suite B Livingston, NJ 07039-1602 973.740.9755 • Fax: 973.740.9766 E-mail: email@rb-arch.com		

PROPOSED RESIDENTIAL DEVELOPMENT
350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
PROPOSED ELEVATIONS



05-28-14
DATE:
201305
PROJECT NO.
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SK-203
DRAWING NO.
15 of 18





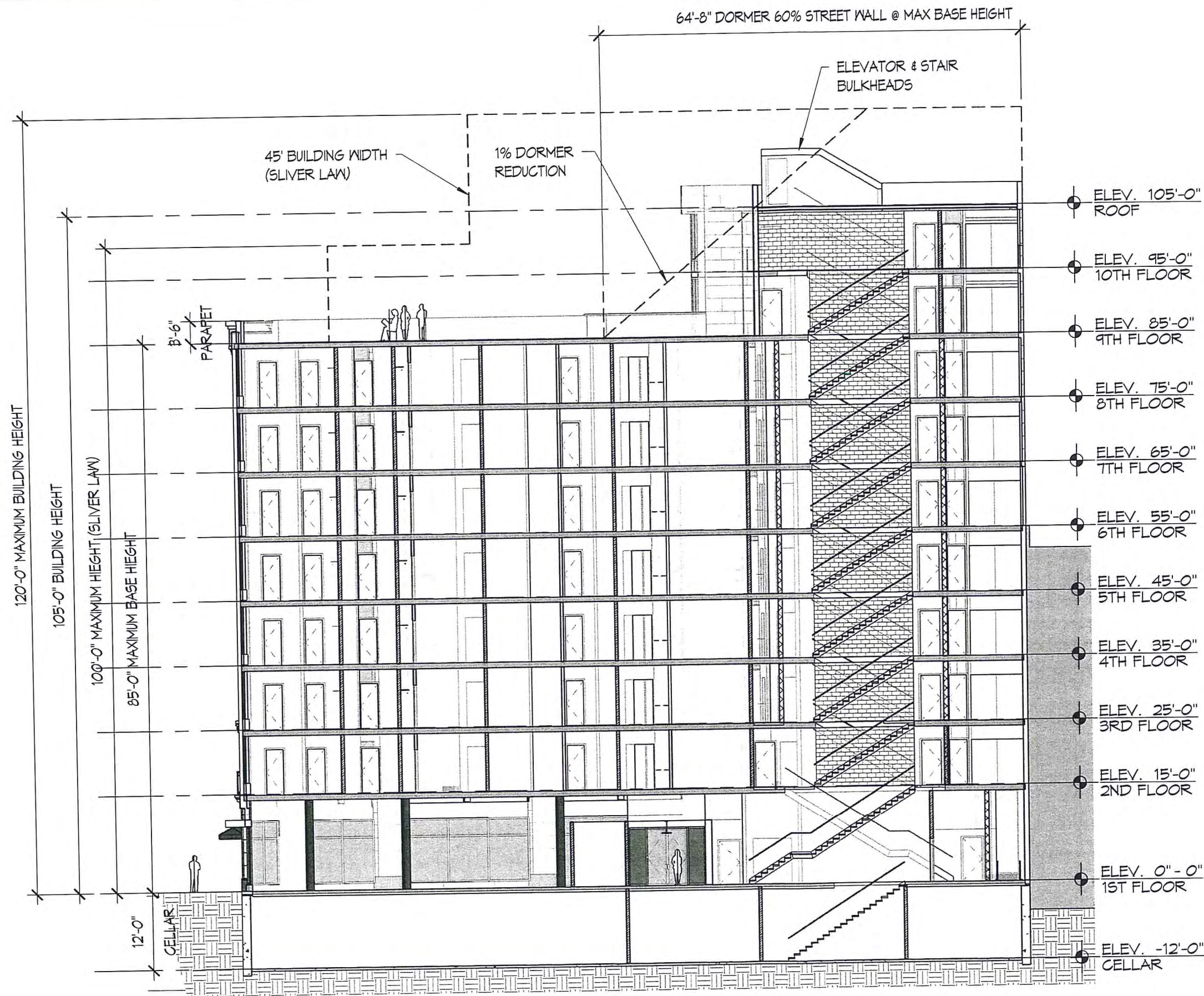
SECTION

SCALE: 1/16" = 1'-0"

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2014 JUL -5 AM 11
CAL. NO.

NO.	REVISION	DATE
ARCHITECT:		
 Rotwein+Blake <small>16 Microtab Road Suite B Livingston, NJ 07039-1602 973.740.9755 • Fax: 973.740.9766 E-mail: email@rb-arch.com</small>		
PROPOSED RESIDENTIAL DEVELOPMENT		
350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION		
PROPOSED SECTIONS		
	DATE:	05-28-14
	PROJECT NO.	201305
	OWN. BY:	MGT
	CHECKED BY:	LMB
DRAWING NO.		SK-301
		16 of 18



BUILDING SECTION

SCALE: 1/16" = 1'-0"

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CAL. NO.

NO.	REVISION	DATE
ARCHITECT:		

Rotwein+Blake
16 Microtab Road Suite B Livingston, NJ 07039-1602
973.740.9755 • Fax: 973.740.9766
E-mail: email@rb-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**PROPOSED
SECTIONS**

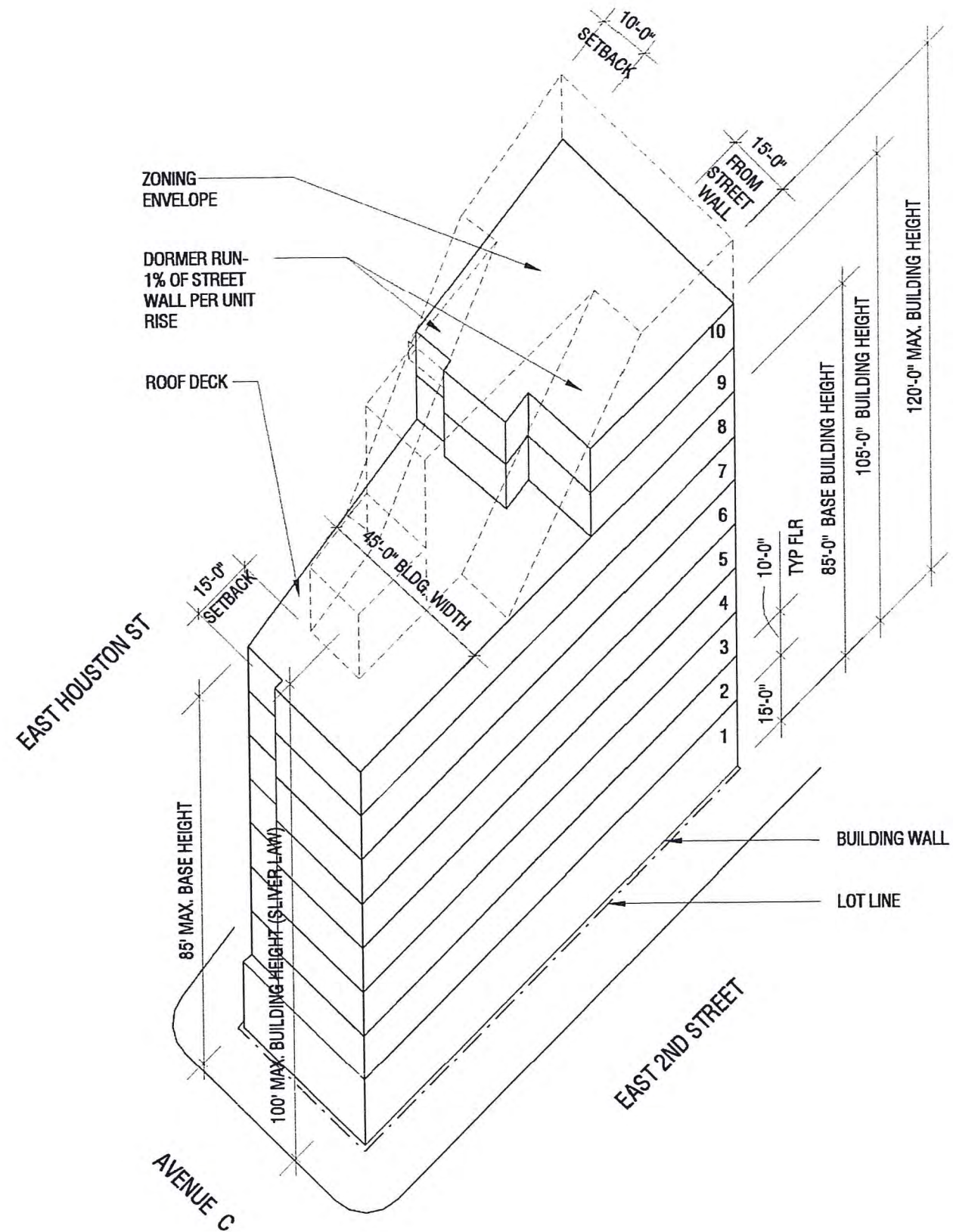


05-28-14
DATE:
201305
PROJECT NO.
MGT
DWN. BY:
LMB
CHECKED BY:

SK-302

DRAWING NO.

17 of 18



PROPOSED AXON

SCALE: 1/32" = 1'-0"

2014-05-14-10-11

RECEIVED

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CAL. NO.

NO.	REVISION	DATE
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ARCHITECT:



PROPOSED RESIDENTIAL DEVELOPMENT

350 EAST HOUSTON, LLC
11 AVENUE C
NEW YORK, N.Y.

BSA APPLICATION
**PROPOSED
AXON**



05-28-14
DATE:
201305
PROJECT NO.
MGT
DWN. BY:
LMB
CHECKED BY:

SK-303

DRAWING NO.

18 of 18

11 Avenue C, Manhattan**Block 340****Block 340, Lot 1**

PARKS AND RECREATION (GENERAL)
 ARSENAL WEST
 16 W. 61ST ST.
 NEW YORK, NY 10023-7604

Block 345**Block 345, Lot 9**

PEOPLE'S MUTUAL ETC
 LESPMHA, INC.
 228 E. 3RD ST.
 NEW YORK, NY 10009-7584

Block 345, Lot 11

MERLOT MANAGMENT
 201 W. 91ST ST. APT. 1D
 NEW YORK, NY 10024-1324

Block 345, Lot 12

GHATAN HABIBOLLAH
 41 TARA DR.
 ROSLYN, NY 11576-2611

Block 345, Lot 13

323 HOUSTON STREET CO.
 248 W. 108TH ST.
 NEW YORK, NY 10025-2956

Block 345, Lot 14

EL CARIBE LTD. PTNRSHIP
 141 NORFOLK ST. APT. G/F
 NEW YORK, NY 10002

Block 345, Lot 17

EAST HOUSTON DEVELOPMENT, LLC
 BRUCE BERG
 1120 AVENUE OF THE AMERIC SUITE 1513
 NEW YORK, NY 10036

Block 345, Lot 18

HAXHAJ, SHPEND
 333 EAST HOUSTON STREET
 NEW YORK, NY 10002

Block 345, Lot 20

SIDE KICKS RIDGE ASSOCIATES,
 155 RIDGE ST.
 NEW YORK, NY 10002-1855

Block 345, Lot 48

LP. SOLUTIONS LLC
 CCP MANAGEMENT
 754 EASTERN PKWY.
 BROOKLYN, NY 11213-3409

Block 345, Lot 58

PITT STREET L.P.
 133 PITT ST.
 NEW YORK, NY 10002-4332

Block 371**Block 371, Lot 3**

PARKS AND RECREATION (GENERAL)
 ARSENAL WEST
 16 W. 61ST ST.
 NEW YORK, NY 10023-7604

Block 372**Block 372, Lot 1**

262 EAST 2ND ST. LLC
 C/O NYRM
 335 E. 10TH ST.
 NEW YORK, NY 10009-5032

Block 372, Lot 3

18-22 AVENUE C. REALTY,
 18-22 AVENUE C. REALTY LLC
 151 E. 3RD ST. APT. 3E
 NEW YORK, NY 10009-7469

Block 372, Lot 4

18-22 AVENUE C. REALTY,
 20 AVENUE C.
 NEW YORK, NY 10009-7887

Block 372, Lot 5

18-22 AVENUE C. REALTY,
 22 AVENUE C.
 NEW YORK, NY 10009-7884

Block 372, Lot 6

LOIZA REALTY CORP.
24 AVENUE C.
NEW YORK, NY 10009-7826

Block 372, Lot 8

FAIRFAX MANAGEMENT CORP.
270 EAST 3 STREET
NEW YORK, NY 10009

Block 372, Lot 9

AVENUE C.
DAVID OGRIN
40 E. 23RD ST. FL. 5
NEW YORK, NY 10010-4400

Block 372, Lot 10

MOSHE SAMOVHA
P.O. BOX 2516
NEW YORK, NY 10185-2516

Block 372, Lot 11

HOUSING PRESERVATION & DEVELOPMENT
134 BROADWAY APT. #77
BROOKLYN, NY 11211-6031

Block 372, Lot 12

PEOPLE'S MUTUAL HSNGETC
LESPMHA, INC.
228 E. 3RD ST.
NEW YORK, NY 10009-7584

Block 372, Lot 14

CITY OF NEW YORK
282 E. 3RD ST.
NEW YORK, NY 10009-7839

Block 372, Lot 16

THE SECOND HENRY STR
265 HENRY ST.
NEW YORK, NY 10002-4808

Block 372, Lot 17

THE SECOND HENRY STR
265 HENRY ST.
NEW YORK, NY 10002-4808

Block 372, Lot 60

C.D.280 ASSOC.LLC.
101 W. 55TH ST.
NEW YORK, NY 10019-5343

Block 372, Lot 64

NEW YORK CENTER ETAL
270 E. 2ND ST.
NEW YORK, NY 10009-7815

Block 372, Lot 68

DANIELLE ASSETS, INC.
338 NORTHERN BLVD. STE 4
GREAT NECK, NY 11021-4808

Block 373

Block 373, Lot 69

273 EAST THIRD LLC
DSA MANAGEMENT CO. INC.
60 MADISON AVE. STE 1111
NEW YORK, NY 10010-1644

Block 384

Block 384, Lot 16

ARGENTO ANTHONY
3172 38TH ST.
LONG ISLAND CITY, NY 11103-3915

Block 384, Lot 17

ESPACEA, LLC
59 PILGRIM PATH
HUNTINGTON, NY 11743-3126

Block 384, Lot 18

ESPACEA LLC
59 PILGRIM PATH
HUNTINGTON, NY 11743-3126

Block 384, Lot 19

229 2ND STREET LLC
229 2ND STREET REALTY LLC
151 EAST 3RD STREET SUIT
NEW YORK, NY 10009

Block 384, Lot 21

TOLEDANO, DANIEL
25 RUE PIERRE DEMOUR
PARIS, 75017
FRANCE

Block 384, Lot 7501

NO INFORMATION AVAILABLE

Block 384, Lot 23

237 REALTY LLC
P.O. BOX 908
MONSEY, NY 10952-0908

Block 384, Lot 24

JOSEPH CARDONA MEMOETC
THERESA HAGAN
239 E. 2ND ST. APT. 2
NEW YORK, NY 10009-8072

Block 384, Lot 25

LES COALITION HOUSING DEVELOPMENT FUND
CORPORATION
308 E. 8TH ST.
NEW YORK, NY 10009-5902

Block 384, Lot 26

J.D. 243 LLC
319 LAFAYETTE ST. APT. BOX 140
NEW YORK, NY 10012-2711

Block 384, Lot 27

J.D. 245 LLC
ANDREWS BUILDING CORP.
666 BROADWAY FL. 12
NEW YORK, NY 10012-2317

Block 384, Lot 28

PARKS AND RECREATION (GENERAL)
ARSENAL WEST
16 W. 61ST ST.
NEW YORK, NY 10023-7604

Block 384, Lot 29

249 EAST SECOND STREET REALTY, LLC
249 E. 2ND ST.
NEW YORK, NY 10009-8027

Block 384, Lot 33

350 EAST HOUSTON LLC
BLDG. MANAGEMENT CO. INC.
417 5TH AVE. FL. 4
NEW YORK, NY 10016-2239

Block 384, Lot 40

NO INFORMATION AVAILABLE

Block 385

Block 385, Lot 19

EAST THIRD STREET HOUSING DEVELOPMENT
FUND CO. INC.
LESPMHA, INC.
228 E. 3RD ST.
NEW YORK, NY 10009-7584

Block 385, Lot 20

EAST THIRD STREET HOUSING DEVELOPMENT
FUND CO. INC.
228 E. 3RD ST.
NEW YORK, NY 10009-7584

Block 385, Lot 22

234 EAST 3RD STREET REALTY COMPANY,
P.O. BOX 301118
BROOKLYN, NY 11230-8118

Block 385, Lot 23

NUYORICAN POETS CAFE INC.
P.O. BOX 20794
NEW YORK, NY 10009-8967

Block 385, Lot 24

THIRD STREET THEATER,
599 BROADWAY FL. 6
NEW YORK, NY 10012-3371

Block 385, Lot 26

242 EAST 3RD ASSOCIATES,
242 E. 3RD ST.
NEW YORK, NY 10009-7429

Block 385, Lot 27

US POSTAL SERVICE
90 CHURCH ST.
REAL ESTATE
NEW YORK, NY 10007-1377

Block 385, Lot 29

248 EAST THIRD STREET HOUSING
DEVELOPMENT
248 E. 3RD ST.
NEW YORK, NY 10009-7431

Block 385, Lot 30

CITY OF NEW YORK
250 E. 3RD ST.
NEW YORK, NY 10009-7437

Block 385, Lot 34

254 EAST 3RD STREET
190 BROOKS BND.
PRINCETON, NJ 08540-7545

Block 385, Lot 35

29 AVENUE C. NEW REALTY LLC
565 PLANDOME RD. #166
MANHASSET, NY 11030-1945

Block 385, Lot 36

ANDREW CHANG
27 AVENUE C.
NEW YORK, NY 10009-7827

Block 385, Lot 37

25 AVENUE C. NEW REALTY LLC
25 AVENUE C.
NEW YORK, NY 10009-7897

Block 385, Lot 38

UMBRELLA HOUSE HDFC
21-23 AVENUE C. APT. 5D
NEW YORK, NY 10009

Block 385, Lot 40

17-19 AVE. C. LLC
17-19 AVENUE C. LLC
151 E. 3RD ST. APT. 3E
NEW YORK, NY 10009-7469

Block 385, Lot 42

15 AVENUE C. CORP.
15 AVENUE C.
NEW YORK, NY 10009-7824

Block 385, Lot 7501

254 EAST 2ND ST. CONDOMINIUM
C/O 254 DEVELOPMENT LLC
161 CHRYSTIE ST.
NEW YORK, NY 10002-2885

Block 385, Lot 46

JAMES ATAMANUK
155 E. 4TH ST. APT. 9B
NEW YORK, NY 10009-7352

Block 385, Lot 47

DIVERSITY HOUSES HSG DEVEL FDG CO.
LOWER EAST SIDE PEOPLES MUTUAL
209 E. 3RD ST.
NEW YORK, NY 10009-7524

Block 385, Lot 48

DIVERSITY HOUSES HOUSING DEVEL. FUNDING
CO., INC.
244 EAST 2 STREET
NEW YORK, NY 10009

Block 385, Lot 49

DIVERSITY HOUSES HSG DEVEL FDG CO.
LOWER EAST SIDE PEOPLES MUTUAL
209 E. 3RD ST.
NEW YORK, NY 10009-7524

Block 385, Lot 50

BRU-SAL REALTY INC.
78 BELFIELD AVE.
STATEN ISLAND, NY 10312-2926

Block 385, Lot 51

PARKS AND RECREATION (GENERAL)
ARSENAL WEST
16 W. 61ST ST.
NEW YORK, NY 10023-7604

Block 385, Lot 52

PARKS AND RECREATION (GENERAL)
ARSENAL WEST
16 W. 61ST ST.
NEW YORK, NY 10023-7604

Block 385, Lot 53

BRIDGE 202 APARTMENTS REVITALIZATION
HOUSING
248 W. 108TH ST.
NEW YORK, NY 10025-2956

Block 385, Lot 54

JULIUS COOPER
P.O. BOX 110525
BROOKLYN, NY 11211-0525

Block 385, Lot 55

LASKER ABRAHAM
P.O. BOX 110525
BROOKLYN, NY 11211-0525

Block 385, Lot 56

226-8 EAST 2 OWNERS C.
NEW BEDFORD MANAGEMENT
210 E. 23RD ST. STE 4
NEW YORK, NY 10010-4604

Block 385, Lot 58

FIRE DEPARTMENT 250
9 METROTECH CTR.
BROOKLYN, NY 11201-5431

Block 386

Block 386, Lot 33

NEW YORK CITY HOUSING AUTHORITY
274 E. 4TH ST.
NEW YORK, NY 10009

11 Avenue C, Manhattan

Community Board

Manhattan Community Board 3
59 East 4th Street
New York, NY 10003

City Councilperson

Rosie Mendez
237 First Ave, Suite 504
New York, NY 10003

Borough President

Office of Manhattan Borough President
Scott M. Stringer
1 Centre Street, 19th Floor
New York, NY 10007

Department of City Planning (Manhattan Office)

Ms. Edith Hsu-Chen
Director, Manhattan Office
Department of City Planning
22 Reade Street, 6W
New York, NY 10007-1216

Department of City Planning (Central Office)

Christopher Holme
22 Reade Street
New York, NY 10007-1216

State of New York)
County of Queens)

Miya Alcivar, being duly sworn, deposes and says: That the foregoing names and addresses were obtained from the City Collector's office on the 11th day of September, 2013.

Sworn before me on
this 18th day of September, 2013.

Miya Alcivar
Miya Alcivar
JHUMA ROY
Notary Public - State of New York
NO. 01R06154572
Qualified in Queens County
My Commission Expires 10/23/14

[Notary Public Stamp]



City Environmental Quality Review

ENVIRONMENTAL ASSESSMENT STATEMENT (EAS) SHORT FORM

FOR UNLISTED ACTIONS ONLY • Please fill out and submit to the appropriate agency (see instructions)

Part I: GENERAL INFORMATION

1. Does the Action Exceed Any Type I Threshold in 6 NYCRR Part 617.4 or 43 RCNY §6-15(A) (Executive Order 91 of 1977, as amended)? ☐ YES ☒ NO

If "yes," STOP and complete the FULL EAS FORM.

2. Project Name 11 Avenue C

3. Reference Numbers

CEQR REFERENCE NUMBER (to be assigned by lead agency)

14-BSA-169M

BSA REFERENCE NUMBER (if applicable)

125-14-BZ-

ULURP REFERENCE NUMBER (if applicable)

OTHER REFERENCE NUMBER(S) (if applicable)

(e.g., legislative intro, CAPA)

4a. Lead Agency Information

NAME OF LEAD AGENCY

Board of Standards & Appeals

NAME OF LEAD AGENCY CONTACT PERSON

Rory Levy, CEQR Examiner

ADDRESS 250 Broadway, 29th Floor

CITY New York

STATE NY

ZIP 10007

TELEPHONE

EMAIL

4b. Applicant Information

NAME OF APPLICANT

350 East Houston LLC

NAME OF APPLICANT'S REPRESENTATIVE OR CONTACT PERSON

Equity Environmental Engineering

ADDRESS 227 Route 206, Suite 6

CITY Flanders

STATE NJ

ZIP 07836

TELEPHONE

EMAIL

5. Project Description

The applicant proposes to develop a mixed residential and commercial building at a site located on the west side of Avenue C, between East Houston Street and East 2nd Street. The building would be ten stories in height, with 46 residential units, and 4,550 square feet of ground floor retail space. Relief is sought from the use and lot coverage requirements of the site's R8A zoning district.

Project Location

BOROUGH Manhattan

COMMUNITY DISTRICT(S) 3

STREET ADDRESS 11 Avenue C

TAX BLOCK(S) AND LOT(S) Block 384, Lot 33

ZIP CODE 10002

DESCRIPTION OF PROPERTY BY BOUNDING OR CROSS STREETS west side of Avenue C between East Houston and East 2nd streets

EXISTING ZONING DISTRICT, INCLUDING SPECIAL ZONING DISTRICT DESIGNATION, IF ANY R8A

ZONING SECTIONAL MAP NUMBER 12C

6. Required Actions or Approvals (check all that apply)

City Planning Commission:

☐ YES☒ NO☐ UNIFORM LAND USE REVIEW PROCEDURE (ULURP)☐ CITY MAP AMENDMENT☐ ZONING CERTIFICATION☐ CONCESSION☐ ZONING MAP AMENDMENT☐ ZONING AUTHORIZATION☐ UDAAP☐ ZONING TEXT AMENDMENT☐ ACQUISITION—REAL PROPERTY☐ REVOCABLE CONSENT☐ SITE SELECTION—PUBLIC FACILITY☐ DISPOSITION—REAL PROPERTY☐ FRANCHISE☐ HOUSING PLAN & PROJECT☐ OTHER, explain:☐ SPECIAL PERMIT (if appropriate, specify type: ☐ modification; ☐ renewal; ☐ other); EXPIRATION DATE:

SPECIFY AFFECTED SECTIONS OF THE ZONING RESOLUTION

Board of Standards and Appeals: ☒ YES ☐ NO☒ VARIANCE (use)☒ VARIANCE (bulk)☐ SPECIAL PERMIT (if appropriate, specify type: ☐ modification; ☐ renewal; ☐ other); EXPIRATION DATE:

SPECIFY AFFECTED SECTIONS OF THE ZONING RESOLUTION 22-00, 23-145, 23-951

Department of Environmental Protection: ☐ YES ☒ NO

If "yes," specify:

Other City Approvals Subject to CEQR (check all that apply)

☐ LEGISLATION☐ FUNDING OF CONSTRUCTION, specify:☐ RULEMAKING☐ POLICY OR PLAN, specify:

- ☐ CONSTRUCTION OF PUBLIC FACILITIES
☐ 384(b)(4) APPROVAL
☐ OTHER, explain:

- ☐ FUNDING OF PROGRAMS, specify:
☐ PERMITS, specify:

Other City Approvals Not Subject to CEQR (check all that apply)

- ☐ PERMITS FROM DOT'S OFFICE OF CONSTRUCTION MITIGATION AND COORDINATION (OCMC) ☐ LANDMARKS PRESERVATION COMMISSION APPROVAL
☐ OTHER, explain:

State or Federal Actions/Approvals/Funding: ☐ YES ☒ NO If "yes," specify:

7. Site Description: The directly affected area consists of the project site and the area subject to any change in regulatory controls. Except where otherwise indicated, provide the following information with regard to the directly affected area.

Graphics: The following graphics must be attached and each box must be checked off before the EAS is complete. Each map must clearly depict the boundaries of the directly affected area or areas and indicate a 400-foot radius drawn from the outer boundaries of the project site. Maps may not exceed 11 x 17 inches in size and, for paper filings, must be folded to 8.5 x 11 inches.

- ☒ SITE LOCATION MAP ☒ ZONING MAP ☐ SANBORN OR OTHER LAND USE MAP
☒ TAX MAP ☐ FOR LARGE AREAS OR MULTIPLE SITES, A GIS SHAPE FILE THAT DEFINES THE PROJECT SITE(S)
☒ PHOTOGRAPHS OF THE PROJECT SITE TAKEN WITHIN 6 MONTHS OF EAS SUBMISSION AND KEYED TO THE SITE LOCATION MAP

Physical Setting (both developed and undeveloped areas)

Total directly affected area (sq. ft.): 5,874

Waterbody area (sq. ft) and type:

Roads, buildings, and other paved surfaces (sq. ft.): 5,874

Other, describe (sq. ft.):

8. Physical Dimensions and Scale of Project (if the project affects multiple sites, provide the total development facilitated by the action)

SIZE OF PROJECT TO BE DEVELOPED (gross square feet): 5,874

NUMBER OF BUILDINGS: 1

GROSS FLOOR AREA OF EACH BUILDING (sq. ft.): 55,316

HEIGHT OF EACH BUILDING (ft.): 105 feet

NUMBER OF STORIES OF EACH BUILDING: 10

Does the proposed project involve changes in zoning on one or more sites? ☐ YES ☒ NO

If "yes," specify: The total square feet owned or controlled by the applicant:

The total square feet not owned or controlled by the applicant:

Does the proposed project involve in-ground excavation or subsurface disturbance, including, but not limited to foundation work, pilings, utility lines, or grading? ☒ YES ☐ NO

If "yes," indicate the estimated area and volume dimensions of subsurface permanent and temporary disturbance (if known):

AREA OF TEMPORARY DISTURBANCE: 5,874 sq. ft. (width x length)

VOLUME OF DISTURBANCE: 76,000 cubic ft. (width x length x depth)

AREA OF PERMANENT DISTURBANCE: 5,874 sq. ft. (width x length)

Description of Proposed Uses (please complete the following information as appropriate)

	Residential	Commercial	Community Facility	Industrial/Manufacturing
Size (in gross sq. ft.)	43,786	7,880		
Type (e.g., retail, office, school)	46 units	local retail and cellar storage		

Does the proposed project increase the population of residents and/or on-site workers? ☒ YES ☐ NO

If "yes," please specify:

NUMBER OF ADDITIONAL RESIDENTS: 92

NUMBER OF ADDITIONAL WORKERS: 9

Provide a brief explanation of how these numbers were determined: assume average 2 persons per household, two retail employees per thousand square feet of commercial space

Does the proposed project create new open space? ☐ YES ☒ NO If "yes," specify size of project-created open space: sq. ft.

Has a No-Action scenario been defined for this project that differs from the existing condition? ☐ YES ☒ NO

If "yes," see Chapter 2, "Establishing the Analysis Framework" and describe briefly:

9. Analysis Year CEQR Technical Manual Chapter 2

ANTICIPATED BUILD YEAR (date the project would be completed and operational): 2016

ANTICIPATED PERIOD OF CONSTRUCTION IN MONTHS: 18-24

WOULD THE PROJECT BE IMPLEMENTED IN A SINGLE PHASE? ☒ YES ☐ NO IF MULTIPLE PHASES, HOW MANY?

BRIEFLY DESCRIBE PHASES AND CONSTRUCTION SCHEDULE:

10. Predominant Land Use in the Vicinity of the Project (check all that apply)

- ☒ RESIDENTIAL ☐ MANUFACTURING ☒ COMMERCIAL ☐ PARK/FOREST/OPEN SPACE ☒ OTHER, specify: community facility

Part II: TECHNICAL ANALYSIS

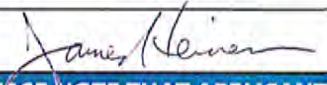
INSTRUCTIONS: For each of the analysis categories listed in this section, assess the proposed project's impacts based on the thresholds and criteria presented in the CEQR Technical Manual. Check each box that applies.

- If the proposed project can be demonstrated not to meet or exceed the threshold, check the "no" box.
- If the proposed project will meet or exceed the threshold, or if this cannot be determined, check the "yes" box.
- For each "yes" response, provide additional analyses (and, if needed, attach supporting information) based on guidance in the CEQR Technical Manual to determine whether the potential for significant impacts exists. Please note that a "yes" answer does not mean that an EIS must be prepared—it means that more information may be required for the lead agency to make a determination of significance.
- The lead agency, upon reviewing Part II, may require an applicant to provide additional information to support the Short EAS Form. For example, if a question is answered "no," an agency may request a short explanation for this response.

	YES	NO
1. LAND USE, ZONING, AND PUBLIC POLICY: CEQR Technical Manual Chapter 4		
(a) Would the proposed project result in a change in land use different from surrounding land uses?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) Would the proposed project result in a change in zoning different from surrounding zoning?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Is there the potential to affect an applicable public policy?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) If "yes," to (a), (b), and/or (c), complete a preliminary assessment and attach.		
(e) Is the project a large, publicly sponsored project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," complete a PlaNYC assessment and attach.		
(f) Is any part of the directly affected area within the City's Waterfront Revitalization Program boundaries ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," complete the Consistency Assessment Form .		
2. SOCIOECONOMIC CONDITIONS: CEQR Technical Manual Chapter 5		
(a) Would the proposed project:		
o Generate a net increase of 200 or more residential units?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Generate a net increase of 200,000 or more square feet of commercial space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Directly displace more than 500 residents?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Directly displace more than 100 employees?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Affect conditions in a specific industry?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. COMMUNITY FACILITIES: CEQR Technical Manual Chapter 6		
(a) Direct Effects		
o Would the project directly eliminate, displace, or alter public or publicly funded community facilities such as educational facilities, libraries, hospitals and other health care facilities, day care centers, police stations, or fire stations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Indirect Effects		
o Child Care Centers: Would the project result in 20 or more eligible children under age 6, based on the number of low or low/moderate income residential units? (See Table 6-1 in Chapter 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Libraries: Would the project result in a 5 percent or more increase in the ratio of residential units to library branches? (See Table 6-1 in Chapter 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Public Schools: Would the project result in 50 or more elementary or middle school students, or 150 or more high school students based on number of residential units? (See Table 6-1 in Chapter 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Health Care Facilities and Fire/Police Protection: Would the project result in the introduction of a sizeable new neighborhood?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. OPEN SPACE: CEQR Technical Manual Chapter 7		
(a) Would the proposed project change or eliminate existing open space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Is the project located within an under-served area in the Bronx , Brooklyn , Manhattan , Queens , or Staten Island ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the proposed project generate more than 50 additional residents or 125 additional employees?	<input type="checkbox"/>	<input type="checkbox"/>
(c) Is the project located within a well-served area in the Bronx , Brooklyn , Manhattan , Queens , or Staten Island ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," would the proposed project generate more than 350 additional residents or 750 additional employees?	<input type="checkbox"/>	<input type="checkbox"/>
(d) If the project is located in an area that is neither under-served nor well-served, would it generate more than 200 additional residents or 500 additional employees?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	YES	NO
5. SHADOWS: CEQR Technical Manual Chapter 8		
(a) Would the proposed project result in a net height increase of any structure of 50 feet or more?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) Would the proposed project result in any increase in structure height and be located adjacent to or across the street from a sunlight-sensitive resource?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. HISTORIC AND CULTURAL RESOURCES: CEQR Technical Manual Chapter 9		
(a) Does the proposed project site or an adjacent site contain any architectural and/or archaeological resource that is eligible for or has been designated (or is calendared for consideration) as a New York City Landmark, Interior Landmark or Scenic Landmark; that is listed or eligible for listing on the New York State or National Register of Historic Places; or that is within a designated or eligible New York City, New York State or National Register Historic District? (See the GIS System for Archaeology and National Register to confirm)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project involve construction resulting in in-ground disturbance to an area not previously excavated?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) If "yes" to either of the above, list any identified architectural and/or archaeological resources and attach supporting information on whether the proposed project would potentially affect any architectural or archeological resources.		
7. URBAN DESIGN AND VISUAL RESOURCES: CEQR Technical Manual Chapter 10		
(a) Would the proposed project introduce a new building, a new building height, or result in any substantial physical alteration to the streetscape or public space in the vicinity of the proposed project that is not currently allowed by existing zoning?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) Would the proposed project result in obstruction of publicly accessible views to visual resources not currently allowed by existing zoning?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. NATURAL RESOURCES: CEQR Technical Manual Chapter 11		
(a) Does the proposed project site or a site adjacent to the project contain natural resources as defined in Section 100 of Chapter 11?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," list the resources and attach supporting information on whether the proposed project would affect any of these resources.		
(b) Is any part of the directly affected area within the Jamaica Bay Watershed ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o If "yes," complete the Jamaica Bay Watershed Form , and submit according to its instructions .		
9. HAZARDOUS MATERIALS: CEQR Technical Manual Chapter 12		
(a) Would the proposed project allow commercial or residential uses in an area that is currently, or was historically, a manufacturing area that involved hazardous materials?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Does the proposed project site have existing institutional controls (e.g., (E) designation or Restrictive Declaration) relating to hazardous materials that preclude the potential for significant adverse impacts?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Would the project require soil disturbance in a manufacturing area or any development on or near a manufacturing area or existing/historic facilities listed in Appendix 1 (including nonconforming uses)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(d) Would the project result in the development of a site where there is reason to suspect the presence of hazardous materials, contamination, illegal dumping or fill, or fill material of unknown origin?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) Would the project result in development on or near a site that has or had underground and/or aboveground storage tanks (e.g., gas stations, oil storage facilities, heating oil storage)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(f) Would the project result in renovation of interior existing space on a site with the potential for compromised air quality; vapor intrusion from either on-site or off-site sources; or the presence of asbestos, PCBs, mercury or lead-based paint?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(g) Would the project result in development on or near a site with potential hazardous materials issues such as government-listed voluntary cleanup/brownfield site, current or former power generation/transmission facilities, coal gasification or gas storage sites, railroad tracks or rights-of-way, or municipal incinerators?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(h) Has a Phase I Environmental Site Assessment been performed for the site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
o If "yes," were Recognized Environmental Conditions (RECs) identified? Briefly identify: petroleum contamination, VOCs, SVOCs, metals, pesticides		
10. WATER AND SEWER INFRASTRUCTURE: CEQR Technical Manual Chapter 13		
(a) Would the project result in water demand of more than one million gallons per day?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If the proposed project located in a combined sewer area, would it result in at least 1,000 residential units or 250,000 square feet or more of commercial space in Manhattan, or at least 400 residential units or 150,000 square feet or more of commercial space in the Bronx, Brooklyn, Staten Island, or Queens?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) If the proposed project located in a separately sewered area , would it result in the same or greater development than the amounts listed in Table 13-1 in Chapter 13 ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Would the proposed project involve development on a site that is 5 acres or larger where the amount of impervious surface would increase?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) If the project is located within the Jamaica Bay Watershed or in certain specific drainage areas , including Bronx River, Coney Island Creek, Flushing Bay and Creek, Gowanus Canal, Hutchinson River, Newtown Creek, or Westchester Creek, would it	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	YES	NO
involve development on a site that is 1 acre or larger where the amount of impervious surface would increase?	<input type="checkbox"/>	<input type="checkbox"/>
(f) Would the proposed project be located in an area that is partially sewer or currently unsewered?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(g) Is the project proposing an industrial facility or activity that would contribute industrial discharges to a Wastewater Treatment Plant and/or generate contaminated stormwater in a separate storm sewer system?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(h) Would the project involve construction of a new stormwater outfall that requires federal and/or state permits?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. SOLID WASTE AND SANITATION SERVICES: CEQR Technical Manual Chapter 14		
(a) Using Table 14-1 in Chapter 14 , the project's projected operational solid waste generation is estimated to be (pounds per week): 2,837		
o Would the proposed project have the potential to generate 100,000 pounds (50 tons) or more of solid waste per week?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project involve a reduction in capacity at a solid waste management facility used for refuse or recyclables generated within the City?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. ENERGY: CEQR Technical Manual Chapter 15		
(a) Using energy modeling or Table 15-1 in Chapter 15 , the project's projected energy use is estimated to be (annual BTUs): 5,358,143		
(b) Would the proposed project affect the transmission or generation of energy?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. TRANSPORTATION: CEQR Technical Manual Chapter 16		
(a) Would the proposed project exceed any threshold identified in Table 16-1 in Chapter 16 ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If "yes," conduct the screening analyses, attach appropriate back up data as needed for each stage and answer the following questions:		
o Would the proposed project result in 50 or more Passenger Car Equivalents (PCEs) per project peak hour?	<input type="checkbox"/>	<input type="checkbox"/>
If "yes," would the proposed project result in 50 or more vehicle trips per project peak hour at any given intersection? <i>**It should be noted that the lead agency may require further analysis of intersections of concern even when a project generates fewer than 50 vehicles in the peak hour. See Subsection 313 of Chapter 16 for more information.</i>	<input type="checkbox"/>	<input type="checkbox"/>
o Would the proposed project result in more than 200 subway/rail or bus trips per project peak hour?	<input type="checkbox"/>	<input type="checkbox"/>
If "yes," would the proposed project result, per project peak hour, in 50 or more bus trips on a single line (in one direction) or 200 subway trips per station or line?	<input type="checkbox"/>	<input type="checkbox"/>
o Would the proposed project result in more than 200 pedestrian trips per project peak hour?	<input type="checkbox"/>	<input type="checkbox"/>
If "yes," would the proposed project result in more than 200 pedestrian trips per project peak hour to any given pedestrian or transit element, crosswalk, subway stair, or bus stop?	<input type="checkbox"/>	<input type="checkbox"/>
14. AIR QUALITY: CEQR Technical Manual Chapter 17		
(a) <i>Mobile Sources:</i> Would the proposed project result in the conditions outlined in Section 210 in Chapter 17 ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) <i>Stationary Sources:</i> Would the proposed project result in the conditions outlined in Section 220 in Chapter 17 ?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
o If "yes," would the proposed project exceed the thresholds in Figure 17-3, Stationary Source Screen Graph in Chapter 17 ? (Attach graph as needed)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Does the proposed project involve multiple buildings on the project site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Does the proposed project require federal approvals, support, licensing, or permits subject to conformity requirements?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) Does the proposed project site have existing institutional controls (e.g., (E) designation or Restrictive Declaration) relating to air quality that preclude the potential for significant adverse impacts?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. GREENHOUSE GAS EMISSIONS: CEQR Technical Manual Chapter 18		
(a) Is the proposed project a city capital project or a power generation plant?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project fundamentally change the City's solid waste management system?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) If "yes" to any of the above, would the project require a GHG emissions assessment based on the guidance in Chapter 18 ?	<input type="checkbox"/>	<input type="checkbox"/>
16. NOISE: CEQR Technical Manual Chapter 19		
(a) Would the proposed project generate or reroute vehicular traffic?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Would the proposed project introduce new or additional receptors (see Section 124 in Chapter 19) near heavily trafficked roadways, within one horizontal mile of an existing or proposed flight path, or within 1,500 feet of an existing or proposed rail line with a direct line of site to that rail line?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(c) Would the proposed project cause a stationary noise source to operate within 1,500 feet of a receptor with a direct line of sight to that receptor or introduce receptors into an area with high ambient stationary noise?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Does the proposed project site have existing institutional controls (e.g., (E) designation or Restrictive Declaration) relating to noise that preclude the potential for significant adverse impacts?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. PUBLIC HEALTH: CEQR Technical Manual Chapter 20		

		YES	NO
(a) Based upon the analyses conducted, do any of the following technical areas require a detailed analysis: Air Quality; Hazardous Materials; Noise?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If "yes," explain why an assessment of public health is or is not warranted based on the guidance in <u>Chapter 20</u> , "Public Health." Attach a preliminary analysis, if necessary.			
18. NEIGHBORHOOD CHARACTER: <u>CEQR Technical Manual Chapter 21</u>			
(a) Based upon the analyses conducted, do any of the following technical areas require a detailed analysis: Land Use, Zoning, and Public Policy; Socioeconomic Conditions; Open Space; Historic and Cultural Resources; Urban Design and Visual Resources; Shadows; Transportation; Noise?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
(b) If "yes," explain why an assessment of neighborhood character is or is not warranted based on the guidance in <u>Chapter 21</u> , "Neighborhood Character." Attach a preliminary analysis, if necessary. The analyses of urban design, shadows, and noise did not indicate the potential for adverse impacts to these constituent elements of Neighborhood Character.			
19. CONSTRUCTION: <u>CEQR Technical Manual Chapter 22</u>			
(a) Would the project's construction activities involve:			
o Construction activities lasting longer than two years?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Construction activities within a Central Business District or along an arterial highway or major thoroughfare?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
o Closing, narrowing, or otherwise impeding traffic, transit, or pedestrian elements (roadways, parking spaces, bicycle routes, sidewalks, crosswalks, corners, etc.)?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
o Construction of multiple buildings where there is a potential for on-site receptors on buildings completed before the final build-out?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o The operation of several pieces of diesel equipment in a single location at peak construction?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Closure of a community facility or disruption in its services?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Activities within 400 feet of a historic or cultural resource?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Disturbance of a site containing or adjacent to a site containing natural resources?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
o Construction on multiple development sites in the same geographic area, such that there is the potential for several construction timelines to overlap or last for more than two years overall?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) If any boxes are checked "yes," explain why a preliminary construction assessment is or is not warranted based on the guidance in <u>Chapter 22</u> , "Construction." It should be noted that the nature and extent of any commitment to use the Best Available Technology for construction equipment or Best Management Practices for construction activities should be considered when making this determination.			
All construction activities would be performed in accordance with applicable DOB and DOT regulations.			
20. APPLICANT'S CERTIFICATION			
I swear or affirm under oath and subject to the penalties for perjury that the information provided in this Environmental Assessment Statement (EAS) is true and accurate to the best of my knowledge and belief, based upon my personal knowledge and familiarity with the information described herein and after examination of the pertinent books and records and/or after inquiry of persons who have personal knowledge of such information or who have examined pertinent books and records.			
Still under oath, I further swear or affirm that I make this statement in my capacity as the applicant or representative of the entity that seeks the permits, approvals, funding, or other governmental action(s) described in this EAS.			
APPLICANT/REPRESENTATIVE NAME James Heineman		DATE May 25, 2014	
SIGNATURE 			
PLEASE NOTE THAT APPLICANTS MAY BE REQUIRED TO SUBSTANTIATE RESPONSES IN THIS FORM AT THE DISCRETION OF THE LEAD AGENCY SO THAT IT MAY SUPPORT ITS DETERMINATION OF SIGNIFICANCE.			

Part III: DETERMINATION OF SIGNIFICANCE (To Be Completed by Lead Agency)

INSTRUCTIONS: In completing Part III, the lead agency should consult 6 NYCRR 617.7 and 43 RCNY § 6-06 (Executive Order 91 or 1977, as amended), which contain the State and City criteria for determining significance.

1. For each of the impact categories listed below, consider whether the project may have a significant adverse effect on the environment, taking into account its (a) location; (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude.		Potentially Significant Adverse Impact	
		YES	NO
IMPACT CATEGORY			
Land Use, Zoning, and Public Policy		<input type="checkbox"/>	<input type="checkbox"/>
Socioeconomic Conditions		<input type="checkbox"/>	<input type="checkbox"/>
Community Facilities and Services		<input type="checkbox"/>	<input type="checkbox"/>
Open Space		<input type="checkbox"/>	<input type="checkbox"/>
Shadows		<input type="checkbox"/>	<input type="checkbox"/>
Historic and Cultural Resources		<input type="checkbox"/>	<input type="checkbox"/>
Urban Design/Visual Resources		<input type="checkbox"/>	<input type="checkbox"/>
Natural Resources		<input type="checkbox"/>	<input type="checkbox"/>
Hazardous Materials		<input type="checkbox"/>	<input type="checkbox"/>
Water and Sewer Infrastructure		<input type="checkbox"/>	<input type="checkbox"/>
Solid Waste and Sanitation Services		<input type="checkbox"/>	<input type="checkbox"/>
Energy		<input type="checkbox"/>	<input type="checkbox"/>
Transportation		<input type="checkbox"/>	<input type="checkbox"/>
Air Quality		<input type="checkbox"/>	<input type="checkbox"/>
Greenhouse Gas Emissions		<input type="checkbox"/>	<input type="checkbox"/>
Noise		<input type="checkbox"/>	<input type="checkbox"/>
Public Health		<input type="checkbox"/>	<input type="checkbox"/>
Neighborhood Character		<input type="checkbox"/>	<input type="checkbox"/>
Construction		<input type="checkbox"/>	<input type="checkbox"/>
2. Are there any aspects of the project relevant to the determination of whether the project may have a significant impact on the environment, such as combined or cumulative impacts, that were not fully covered by other responses and supporting materials?		<input type="checkbox"/>	<input type="checkbox"/>
If there are such impacts, attach an explanation stating whether, as a result of them, the project may have a significant impact on the environment.			
3. Check determination to be issued by the lead agency:			
<input type="checkbox"/> Positive Declaration: If the lead agency has determined that the project may have a significant impact on the environment, and if a Conditional Negative Declaration is not appropriate, then the lead agency issues a <i>Positive Declaration</i> and prepares a draft Scope of Work for the Environmental Impact Statement (EIS).			
<input type="checkbox"/> Conditional Negative Declaration: A <i>Conditional Negative Declaration</i> (CND) may be appropriate if there is a private applicant for an Unlisted action AND when conditions imposed by the lead agency will modify the proposed project so that no significant adverse environmental impacts would result. The CND is prepared as a separate document and is subject to the requirements of 6 NYCRR Part 617.			
<input type="checkbox"/> Negative Declaration: If the lead agency has determined that the project would not result in potentially significant adverse environmental impacts, then the lead agency issues a <i>Negative Declaration</i> . The <i>Negative Declaration</i> may be prepared as a separate document (see template) or using the embedded Negative Declaration on the next page.			
4. LEAD AGENCY'S CERTIFICATION			
TITLE		LEAD AGENCY	
NAME		DATE	
SIGNATURE			

NEGATIVE DECLARATION (Use of this form is optional)**Statement of No Significant Effect**

Pursuant to Executive Order 91 of 1977, as amended, and the Rules of Procedure for City Environmental Quality Review, found at Title 62, Chapter 5 of the Rules of the City of New York and 6 NYCRR, Part 617, State Environmental Quality Review, _____ assumed the role of lead agency for the environmental review of the proposed project. Based on a review of information about the project contained in this environmental assessment statement and any attachments hereto, which are incorporated by reference herein, the lead agency has determined that the proposed project would not have a significant adverse impact on the environment.

Reasons Supporting this Determination

The above determination is based on information contained in this EAS, which finds that the proposed project:

No other significant effects upon the environment that would require the preparation of a Draft Environmental Impact Statement are foreseeable. This Negative Declaration has been prepared in accordance with Article 8 of the New York State Environmental Conservation Law (SEQRA).

TITLE	LEAD AGENCY
NAME	DATE
SIGNATURE	



NYC Digital Tax Map

Effective Date : 07-07-2010 10:42:27
End Date : Current
Manhattan Block: 384



- Legend
- Streets
 - Miscellaneous Tax
 - Possession Hooks
 - Boundary Lines
 - Lot Face Possession Hooks
 - Regular
 - Underwater
 - Tax Lot Polygon
 - Condo Number
 - Tax Block Polygon

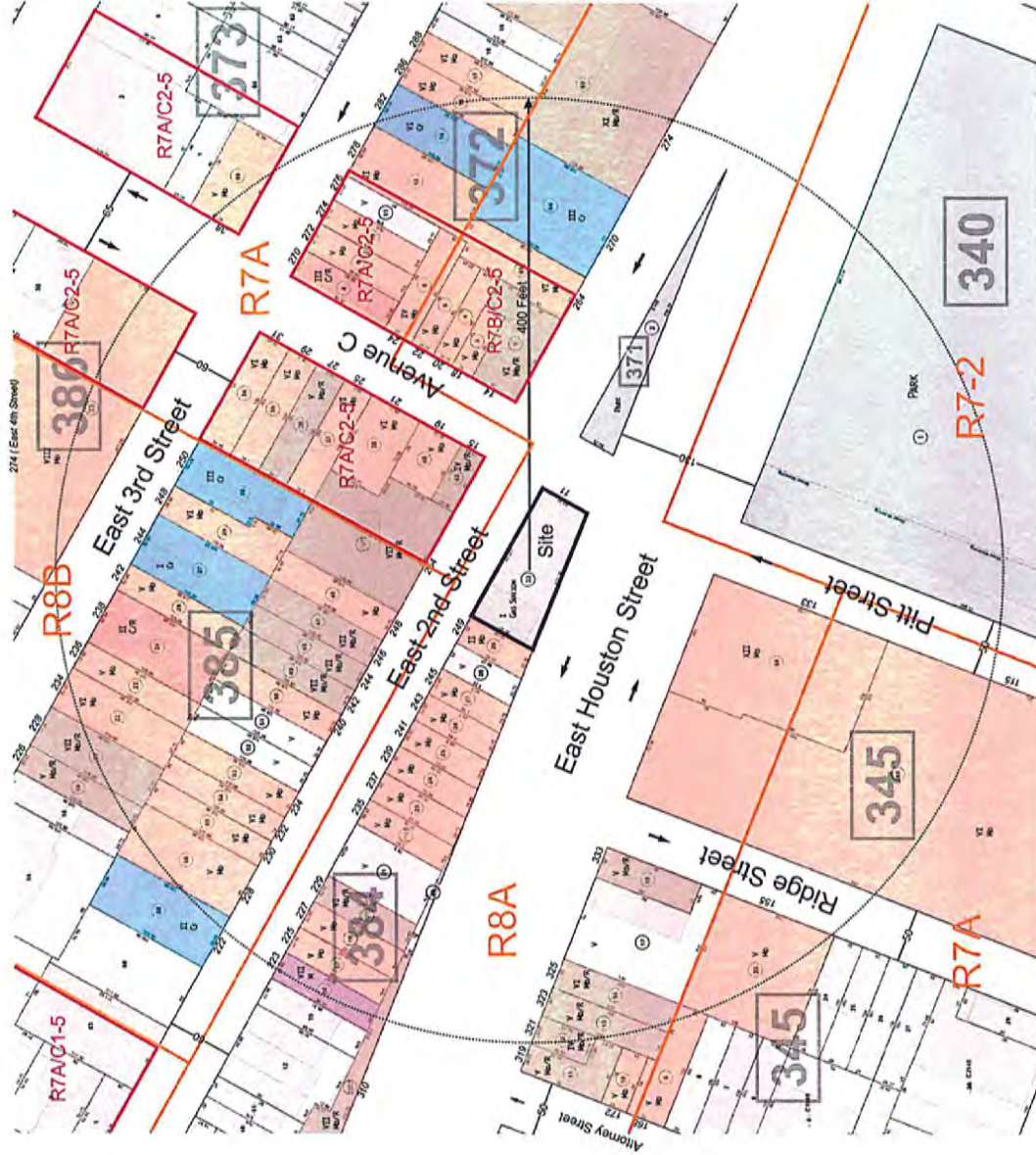


Scale: 0 15 30 Feet

Premises

11 Avenue C, Manhattan

Block 384, Lot 33
Zoning Map: 12c
Site - R8A



Land Uses

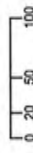
- One and Two-Family Homes
- Multiple Dwelling
- Commercial
- Mixed Use (Residential-Commercial)
- Manufacturing
- Open Space / Park Land
- Institutional / Community Facility
- Parking / Automotive

Legend

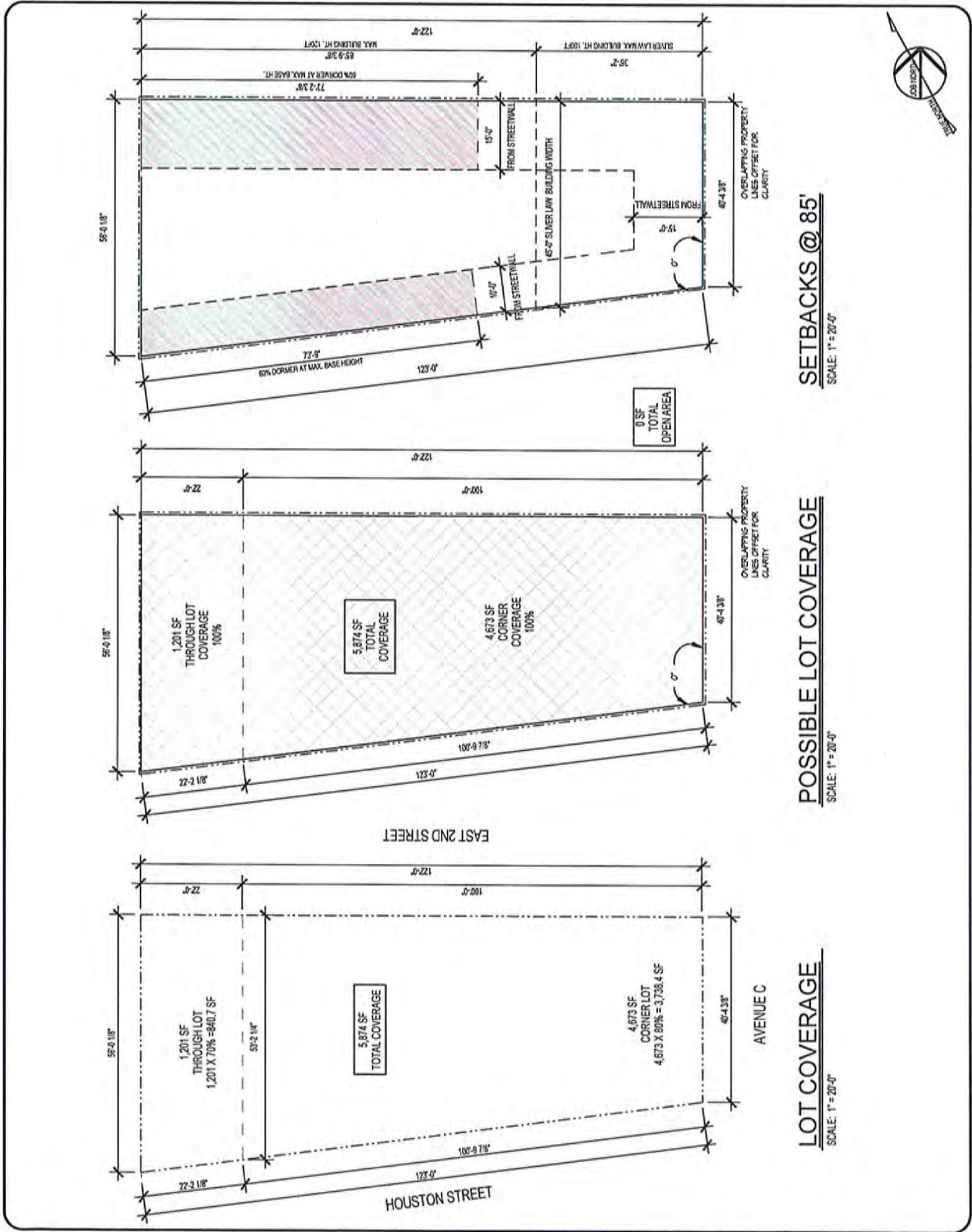
- # - Lot Numbers (within radius)
- ### - Block Numbers
- L, II, III - Story Height
- MD - Multiple Dwelling
- D - Dwelling
- R - Retail
- G - Garage
- C - Commercial
- I - Industrial
- M - Manufacturing
- W - Warehouse
- V - Vacant
- Gr - Community Facility

North

Scale: 1" = 100'




NO.		REVISION		DATE	
ARCHITECT: Rotwein+Blake 14000 West Loop South, Suite 100, Houston, TX 77025 P: 713.740.3755 • F: 713.740.3756 E: rblake@rotweinblake.com					
PROPOSED RESIDENTIAL DEVELOPMENT 350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.					
BSA APPLICATION PROPOSED LOT COVERAGE PLANS					
05-05-14 DATE 201305 PROJECT NO. MGT DWG SET LMB CHECKED BY SK-100 DRAWING NO.				7 of 16	



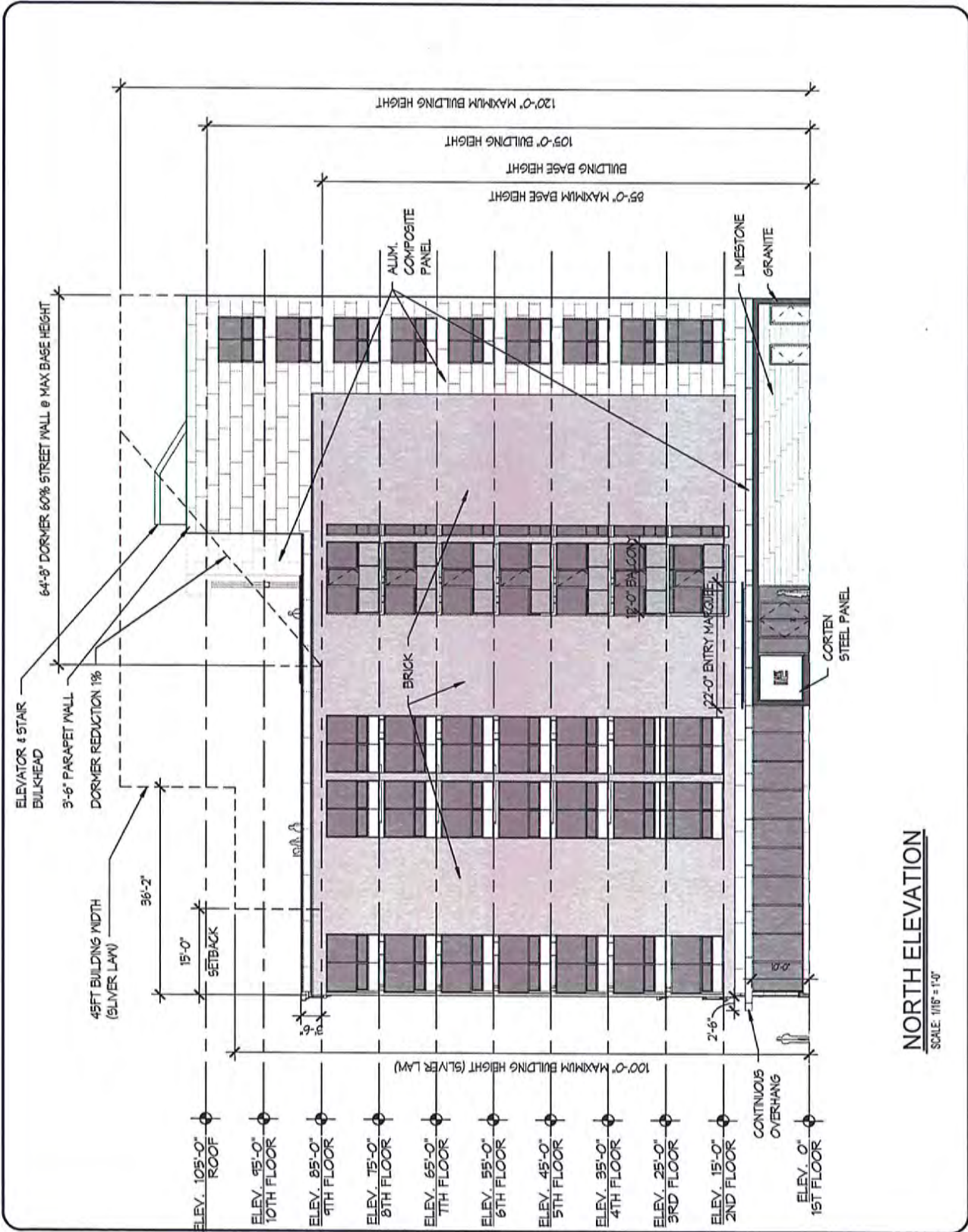
AVERAGE BASE PLANE = 16.5 FT
(AVERAGE BASE PLANE = PROJECT 0'-0")

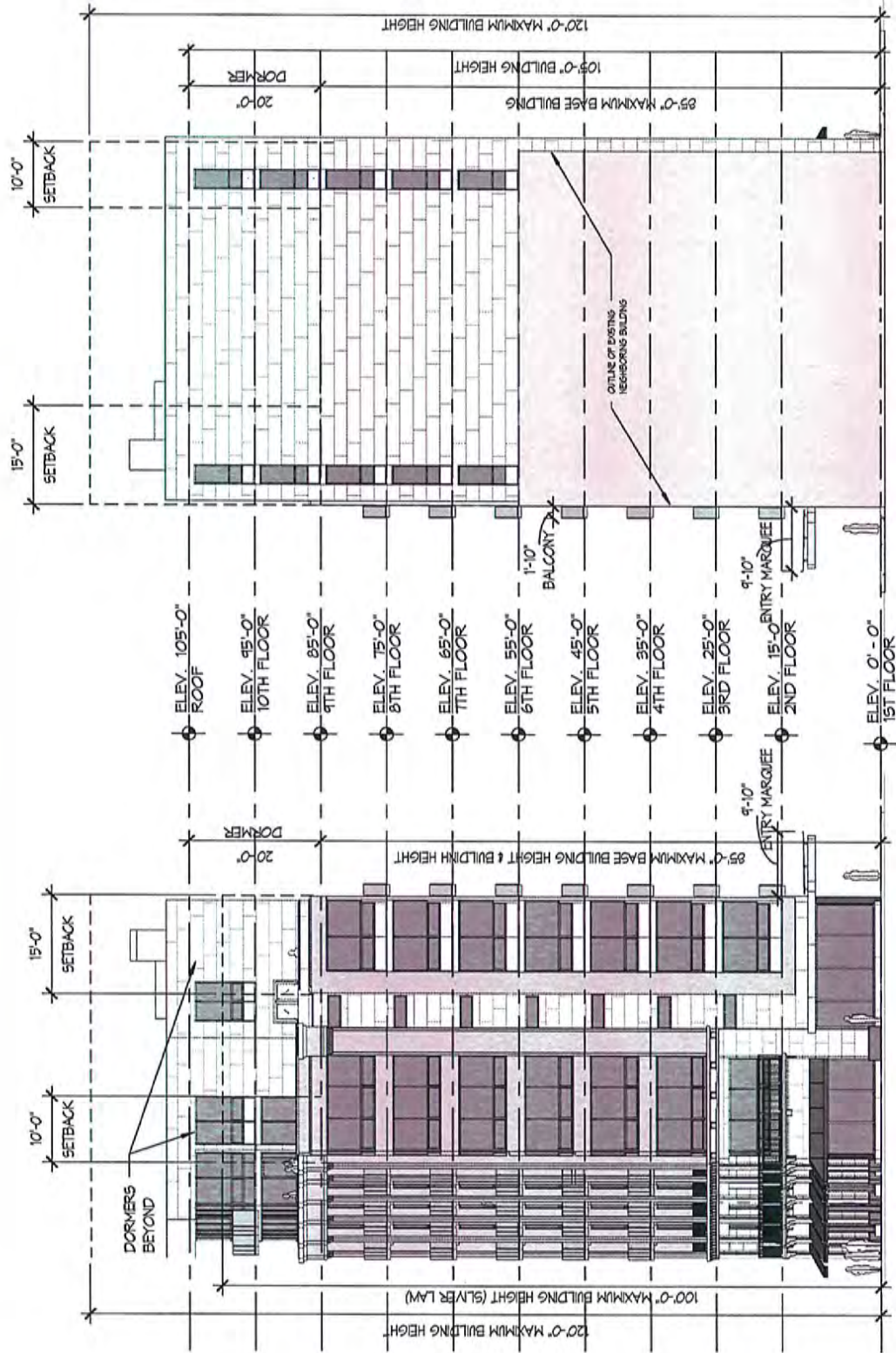
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"


NO.	REVISION	DATE
ARCHITECT:  Rotwein+Blake 18 Westwood Boulevard • Livingston, NJ 07033 Tel: 973.941.4500 • Fax: 973.941.4501 E-mail: info@rotwein.com		
PROPOSED RESIDENTIAL DEVELOPMENT 350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION PROPOSED ELEVATIONS		
05-09-14 DATE 201305 PROJECT NO. MGT DWG BY LMB CHECKED BY SK-201 DRAWING NO.		
13 of 18		

NO.		REVISION		DATE	
ARCHITECT: Rotwein+Blake 1400 West End Avenue, Suite 200, New York, NY 10023-4402 212.740.3755 • Fax: 212.740.3758 E-mail: email@r+b-arch.com					
PROPOSED RESIDENTIAL DEVELOPMENT 350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.					
BSA APPLICATION PROPOSED ELEVATIONS					
DATE		PROJECT NO.		MGT	
05-08-14		201305		DWN BY	
				LMB	
				CHECKED BY	
				SK-202	
				DRAWING NO.	
				14 of 18	





NO.	REVISION	DATE

ARCHITECT:  Rotwein+Blake 14000 Wood Lake Blvd., Longwood, NJ 07040 973.740.3155 • Fax: 973.740.3168 E-mail: email@rb-arch.com	PROPOSED RESIDENTIAL DEVELOPMENT 350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.	BSA APPLICATION PROPOSED ELEVATIONS
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05-05-14	DATE
201305	PROJECT NO.
MGT	DRAWN BY:
LWB	CHECKED BY:

SK-203
DRAWING NO.

15 of 18

Project Description

Proposed Development

The project sponsor proposes to develop a new ten-story mixed commercial and residential building containing forty-six residential units and 4,550 square feet of ground floor retail space at 11 Avenue C, located on the west side of Avenue C between East Houston Street and East 2nd Street in the Lower East Side section of Manhattan Community District 3. The site is currently occupied by a gasoline service station. The proposed development requires a use variance to permit the commercial component of the project within an R8A zoning district, and a bulk variance to waive lot coverage of the zoning district. The site's R8A zoning does not permit the proposed Use Group 6 local retail component proposed for the ground floor of the development. R8A has maximum lot coverage regulations of 80% of the lot area for the corner lot portion of the site, and 70% for the through lot portion of the site. The proposal would result in 100% coverage of the site. The overall floor area is within the limit established within the R8A district for an inclusionary housing building, and the overall building height and setbacks comply with the district's bulk regulations.

Existing Site Conditions

The subject property is an irregularly shaped, narrow trapezoidal parcel with 40.36 feet of frontage on Avenue C to the east, 56 feet abutting an adjacent lot to the west, and over 122 feet of frontage on East Houston Street and East 2nd Street. The site is developed with a gasoline service station containing a one-story office and repair building with two bays, and a fueling island.

Surrounding Area

The surrounding area is composed of a mix of residential, commercial, and community facility uses. A new eleven story affordable housing development is located directly across Houston Street to the south and a new eight-story residence is located to the north, across East 2nd Street. Older residential structures in the area are predominantly four to six stories in height. Hamilton Fish Park is located cater corner to the site, at the southeast corner of Houston Street and Pitt Street (southern continuation of Avenue C). East Houston Street contains a mix of auto related and local retail uses in ground floor space, while Avenue C contains local retail uses.

Impact Analysis

Based on the information provided in the EAS Form, the project does not have the potential for adverse impacts related to Socioeconomic Conditions, Community Facilities, Open Space, Historic and Cultural Resources, Natural Resources, Water and Sewer Infrastructure, Solid Waste and Sanitation Services, Energy, Transportation, Greenhouse Gas Emissions, or Public Health. Additional discussion of those aspects of the environment which may be affected by the project is provided below.

Land Use, Zoning, and Public Policy

The proposed project would include the construction of a mixed residential and commercial building within an R8A zoning district. Although the proposed project's commercial component would not conform to established zoning regulations for the site, the property is currently in commercial use as a gas station, and ground floor commercial uses are common on surrounding streets including Houston Street west of Ridge Street, and Avenue C north of the subject site. Allowing a commercial component of new development of the site would maintain a commercial presence at the site and would be consistent with the land use pattern on Avenue C north of the subject site, where residential structures typically have ground floor retail.

The building would not comply with the lot coverage regulations of the R8A district. With 100% lot coverage it would resemble nearby development containing buildings built to the street line. The project site is triangular in site, with a single, short 56' lot line shared with the building to the west. Most of the site's perimeter adjoins public streets – Avenue C, East Houston Street, and East 2nd Street – and there would be minimal encroachment on neighboring properties' light and air.

A variance affecting a single lot, permitting the same type of retail use permitted by the adjoining C2-2 overlay district, would not conflict with zoning patterns. Modifying the lot coverage requirements on a narrow triangular site surrounded on its long sides by streets would have a minimal effect on development bulk in the area. The city's land use policy includes the availability of a zoning variance when certain findings are made relating to the site and the proposed development. By meeting the variance findings, the proposed development would demonstrate its compatibility with zoning and public policy.

Shadows

The proposed action would result in a building with a total height of 105 feet. This building height is permitted by the area's R8A zoning district, which allows a maximum building height of 120 feet. The only publicly accessible open spaces in the area, Le Petit Versailles community

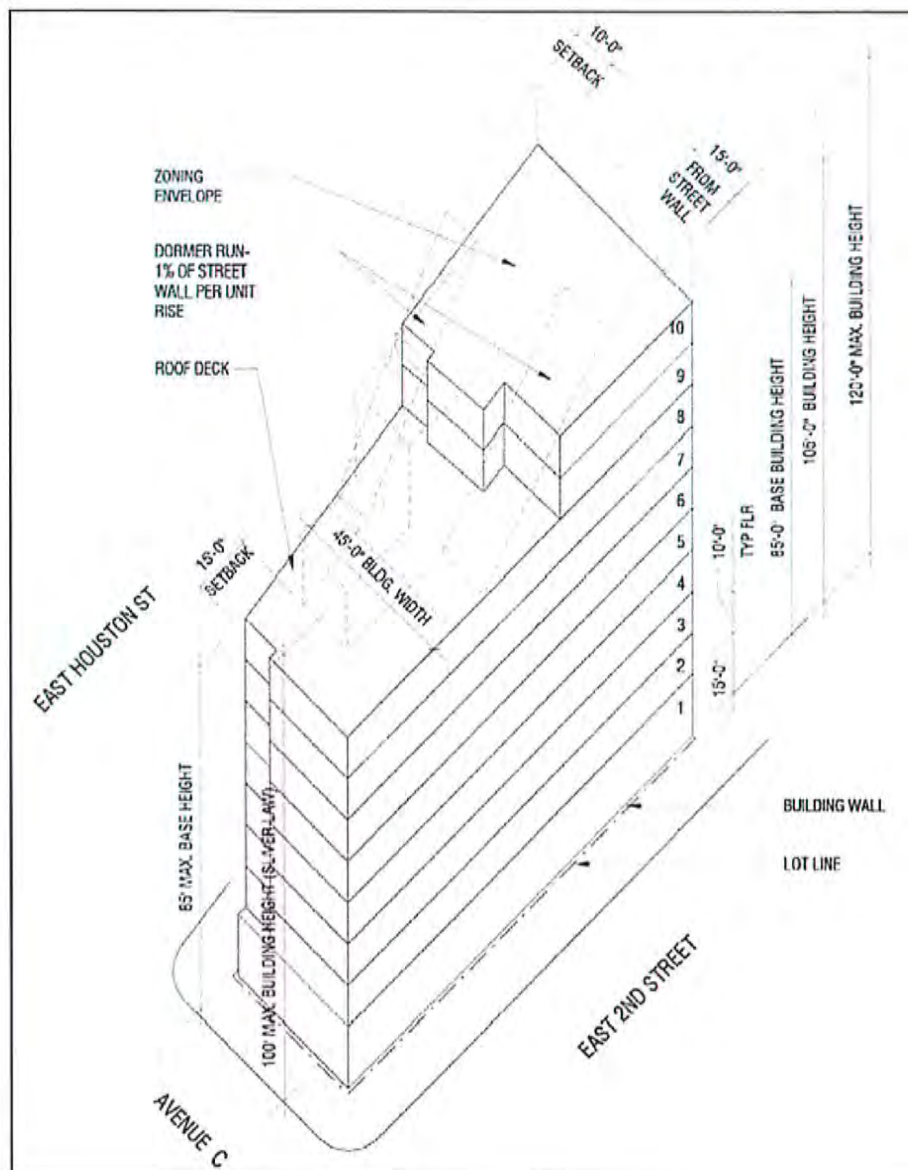
garden and Peach Tree Garden, are separated from the subject site by intervening buildings, whose existing shadows would encompass any new shadows generated by project development.

Urban Design and Visual Resources

The proposed action would permit development of a new ten-story commercial and residential building. Although the building's height and setbacks comply with the bulk regulations of the R8A district, its lot coverage would exceed the district's limits. As shown in the following renderings, the proposed building's bulk would be consistent with the recent buildings immediately to the south, across Houston Street, and to the north, across East 2nd Street. The proposed building's bulk is appropriate for its location on a very wide street, and on a narrow triangular site where only a short (56') lot line abuts another lot, with the overwhelming majority of the site perimeter facing public streets. Because the site shares only a short lot line with an adjoining property, the proposed bulk would have minimal effect on neighboring properties' light and air.

The following rendering and axonometric figure show the bulk of the proposed building:





The new building would be similar in height and bulk to existing residences in the area. Proposed development would not alter the area's street pattern. The proposed development would not affect publicly accessible views of significant visual resources.

Hazardous Materials

The proposed development would result in construction of a residential building on a site that is currently used as a gas station. The Site is actively being remediated under oversight of NYSDEC and assigned Spill Program Case No. 90-01894 and Consent Order No. 2-157872. The Site is an active Mobil gasoline service station defined as a petroleum bulk storage facility by the NYS Petroleum Bulk Storage (PBS) Program and has been assigned PBS Site No. 2-157872. The party responsible for conducting the remediation is Liberty Petroleum Realty, LLC, Springfield, Virginia.

A Limited Soil Investigation Report was conducted in July, 2013 by Emteque to evaluate the environmental condition of subsurface soils during installation of four (4) geotechnical borings at the Site. The purpose of the investigation was to determine the nature and extent of petroleum-related and/or historic fill impacts to soil on the property that require special considerations during redevelopment. The analytical data collected during this study will also assist in preliminarily characterizing the soil anticipated to be excavated for construction of the new building. To accomplish these objectives, four (4) soil borings were advanced on the Site, and eight (8) soil samples were collected and submitted for laboratory analysis.

This analysis identified certain Volatile Organic Compounds (VOCs), Semi-volatile Organic Compounds (SVOCs), pesticides, and metals in excess of Unrestricted Use Soil Cleanup Objectives (SCOs) and/or Soil Cleanup Levels (SCLs) as promulgated by the Department of Environmental Protection in 6 NYCRR 375-6, Remedial Program Soil Cleanup Objectives.

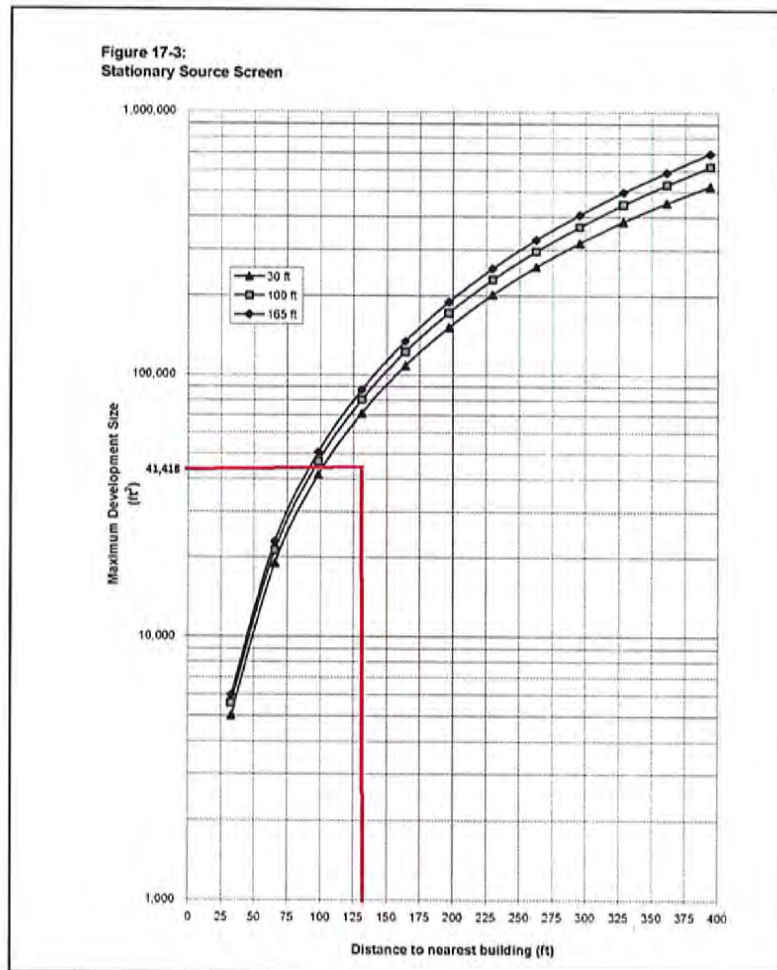
Remediation activities completed to date at the Site include underground storage tank (UST) closures; soil excavation and disposal; vacuum enhanced fluid recovery; air sparging and soil vapor extraction; and in-situ treatment of petroleum-based compounds using injections of oxygen release compounds to the subsurface. The current remedial program at the Site is a six-month trial period (expired in March 2014) of Monitored Natural Attenuation (MNA).

Groundwater at the Site is impacted by the petroleum-related VOCs. The source of groundwater contamination is attributed to historic releases at the Site. The concentration of BTEX and MTBE detected in on-site and off-site monitoring wells has decreased significantly since the groundwater monitoring program was implemented in 1995. However, concentrations of BTEX and/or MTBE are present in on-site at concentrations one to two orders of magnitude greater than the NYSDEC Class GA Groundwater Standards and Guidance Values. In addition, it appears the groundwater plume is not fully delineated to the north and south.

Site development should involve coordination with the NYSDEC. A Remedial Action Work Plan (RAWP) will likely be required by the NYSDEC prior to redevelopment of the Site. Remediation and environmental control measures are recommended during site redevelopment to ensure no adverse impacts on construction workers, building occupants, or neighbors as a result of site development. With these measures in place, no adverse impacts would occur.

Air Quality

A screening assessment of the proposed development's potential to create adverse impacts related to HVAC emissions was conducted using Figure 17-3 of the CEQR Technical Manual. The proposed building would have a roof height of 105 feet. Therefore the closest building of equal or greater height would be the twelve-story residential building located across Houston Street from the project site, at a distance of approximately 130 feet. As indicated on the attached figure, the proposed project would not have the potential for adverse impacts related to HVAC emissions.



Noise

Because the proposed action would permit residential use in an area where vehicular traffic is a concern, noise monitoring was conducted in accordance with CEQR Technical Manual methodology. Noise monitoring was conducted during typical weekday conditions during the a.m., midday, and p.m. peak travel periods.

Measurement Location and Equipment

Because the predominant noise source in the area of the proposed project is vehicular and subway traffic, noise monitoring was conducted during peak vehicular travel periods, 8:00-9:00 a.m., 12 p.m.-1 p.m., and 5-6 p.m. Pursuant to CEQR Technical Manual methodology, readings were conducted for 20-minute periods during each peak hour.

Noise monitoring was conducted using a Type 2 Larson-Davis LxT2 sound meter, with wind screen. The monitor was placed on a tripod at a height of approximately three feet above the ground, away from any other surfaces. The monitor was calibrated prior to and following each monitoring session. Two monitoring locations were used during the noise assessment. The first was at the center of the site's property line along East Houston Street, and the second was at the center of the property line along East 2nd Street.

Measurement Conditions

Monitoring was conducted on a typical weekday, 04/02/2014, with dry weather and moderate wind speeds. Traffic volumes and vehicle classification were documented during the noise monitoring. The sound meter was calibrated before and after each monitoring session.

Existing Conditions

Based on the noise measurements taken at the project site, the predominant source of noise at the site is vehicular traffic. Table Noise-1 contains the results for the measurements taken at the subject site.

Table Noise-1: Noise Levels along Houston Street

	AM	MD	PM
Lmax	88.7	88.6	86.6
L5	77.2	77.0	75.7
L10	74.8	75.6	74.2
Leq	72.2	71.8	70.5
L50	67.9	68.0	67.1
L90	62.0	60.5	58.8
Lmin	56.6	56.0	55.0

Table Noise-2: Noise Levels along East 2nd Street

	AM	MD	PM
L _{max}	90.2	83.5	89.9
L ₅	72.3	69.9	70.6
L₁₀	69.9	67.5	68.1
L _{eq}	69.7	65.9	67.1
L ₅₀	64.4	62.5	62.9
L ₉₀	61.0	59.2	59.9
L _{min}	57.9	54.0	56.3

Traffic volumes and vehicle classifications during the noise monitoring sessions are presented in Table Noise-3.

Table Noise-3: Traffic Volumes and Vehicle Classifications (20-minute counts)

	AM		Midday		PM	
	Houston St Location	East 2 nd Location	Houston St Location	East 2 nd Location	Houston St Location	East 2 nd Location
Car/taxi	235	48	203	24	216	41
Light truck/van	47	10	41	8	30	6
Heavy truck	8	3	11	3	0	2
Bus	14	0	5	0	5	0
Mini Bus	0	0	3	0	2	2

The CEQR Technical Manual Table 19-2 contains noise exposure guidelines. For a residential use such as would occur under the proposed action, an L₁₀ between 70 and 80 dB(A) is identified as marginally unacceptable. The highest recorded L₁₀ at the project was 75.6 during the midday period along Houston Street. Therefore, window-wall noise attenuation of 31 dB(A) would be required according to the CEQR Technical Manual Table 19-3. Inclusion of this level of noise attenuation would ensure that there are no significant adverse impacts related to noise.

Neighborhood Character

The proposed mixed residential and commercial development at 11 Avenue C would be consistent with the height and bulk of recently-built residences immediately to the north, across East 2nd Street, and to the south across East Houston Street. The proposed ground floor retail element would be consistent with the land use pattern north of the site on Avenue C, and west of the site on East Houston Street and would serve local residents. The site is triangular in shape, with only a short lot line shared with an adjacent property. The site's location on a wide street is suitable for a building of this height and bulk.

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**REPORT OF GEOTECHNICAL
INVESTIGATION**

**PROPOSED MIXED-USE BUILDING
11 AVENUE C
BOROUGH OF MANHATTAN
CITY AND STATE OF NEW YORK**



BY

**JZN ENGINEERING, PC.
SPRINGFIELD, NEW JERSEY**

PREPARED FOR

**350 EAST HOUSTON, LLC
NEW YORK, NEW YORK**



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99 Morris Avenue
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Revised May 19, 2014

July 1, 2013

File No. 20414-000

350 EAST HOUSTON STREET, LLC

417 Fifth Avenue

4th Floor

New York, New York 10016

Attention: Mr. Kevin Tartaglione
Senior VP of Development

REGARDING: REPORT OF GEOTECHNICAL INVESTIGATION

Proposed Mixed-Use Building

11 Avenue C at the Intersection with East Houston Street

Borough of Manhattan, City & State of New York

Dear Mr. Tartaglione:

The enclosed report summarizes the results of our geotechnical investigation and recommendations conducted on behalf of 350 East Houston Street, LLC. in support of the proposed Mixed-Use Building development. This work was undertaken in accordance with our proposal dated March 21, 2013 and your subsequent authorization on June 13, 2013.

We appreciate the opportunity to work with you on this project. Please contact us if you wish to discuss this report or any aspect of the project.

Sincerely,

JZN ENGINEERING, PC.

A handwritten signature in black ink, appearing to read 'Nejm E. Jundi', is written over the printed name.

Nejm E. Jundi, P.E.

President

Enclosures

EXECUTIVE SUMMARY

This report summarizes our geotechnical study and provides our geotechnical engineering recommendations for the proposed Mixed-Use Building to be located at 11 Avenue C, Borough of Manhattan, City & State of New York.

The study included the performance of a total of four (4) exploration borings. The exploration boring was drilled on the site to refusal on apparent bedrock. Engineering analyses were performed to evaluate foundation system for the structure and to develop recommendations for foundation design and construction, utility support and earthwork. Inferred subsurface sections based on the borings are presented in Section 2. A description of site conditions and our evaluation is presented in the following report. The principal conclusions are described below:

- The field exploration revealed a subsurface profile consisting of asphaltic pavement cover materials followed by existing fill materials. The fill materials extended to depths that ranged between approximately 11 and 12.5 feet below the existing ground surface. Generally the existing fill materials consisted of a mixture of medium to fine sand with varying amounts of gravel, silt, and debris (brick and wood). Glacial deposits below the existing fill materials were encountered to depths that ranged between approximately 89.9 to 100.5 feet below existing ground surface. The glacial deposits consisted of medium dense to dense medium to fine sand and silt with varying amounts of clay. Refusal on apparent bedrock was encountered below the glacial deposits at depths ranging between 89.9 and 100.5 feet. Groundwater conditions were encountered at depths between nine (9) and 12.5 feet below the existing ground surface at the time of the investigation.
- Reuse of onsite soil materials is subject to the specifications presented in Section 6.3 of this report and the environmental conditions of the soil. If the soil is environmentally impacted, then the contractor should seek approval of the project Environmental Engineer prior to reuse of the soil.
- The subsurface soils conditions at the site generally consist of thick loose sand deposits followed by bedrock. The presence of these loose sand deposits under the groundwater table presents a case of liquefaction of the subsurface soils under seismic loads as such the use of conventional shallow foundation system and/or a reinforced mat foundation system typically used within the vicinity of the subject site will not be feasible due to the magnitude of building settlement due to soil liquefaction under seismic load event. As such, deep foundation system consisting of driven piles will be required for the support of the proposed building.

- Due to the potential for lateral spreading of the subsurface loose soils under seismic event, increased number of piles would be required to account for the loss of lateral support beyond typical needed for the support of a similar structure regardless of the width of the building on this site, and lateral foundation bracing will also be required and considered during the design of the building foundations.
- Use of shoring system will be required to allow for site remediation and/or the construction of below grade space if considered. The shoring system should be design both to retain the soil behind it, support the loads imposed by neighboring structures, protect adjacent structures, and control groundwater seepage; and
- Due to the proximity of existing structures, including residential buildings and public roadways, etc. every effort to protect these structures during and after construction should be taken. A geotechnical instrumentation and monitoring program should be implemented prior to and during construction due to the excavation proximity to surrounding properties. The program should include: vibration monitoring, monitoring settlement of adjacent structures; and monitoring the performance of the shoring system if one used.

Detailed recommendations are presented in the following report.

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STRUCTURAL REPORT

FOR

**350 HOUSTON, LLC.
11 AVENUE C, MANHATTAN**

BUILDING COMPARISON STUDY AS-OF-RIGHT CONSTRUCTION PREMIUM

May 27, 2014

Prepared for:

BLDG Management Co., Inc.
417 Fifth Avenue, 4th Floor
New York, NY 10016



Executive Summary

This report summarizes the results of our structural design study for a new 10 story building proposed for the property located at 11 Avenue C in the borough of Manhattan.

The property is a narrow, irregular shaped end lot, influenced by multiple site specific zoning restrictions. We were provided with an architectural building design based on these as-of-right zoning restrictions for the site. To maximize the potential floor area, the architectural design dictates that the building shape takes on a tall, narrow profile. This tall, narrow profile restricts the building's natural ability to resist lateral forces, including wind and seismic forces.

We were also provided with a geotechnical investigation report for the building site. Bedrock was found approximately 100 feet under the existing sidewalk grade and the investigation determined that a weak soil layer, described as a "liquefaction probable" layer, exists between the sidewalk grade and the bedrock. The geotechnical report concluded that this weak layer has a potential to shift during a seismic event and driven piles will be required, extending to bedrock, to support the proposed building.

Through our study, we found that the tall, narrow as-of-right building profile, coupled with these unfavorable soil conditions has greatly increased the magnitude of the seismic design forces in the building's structural system and the requirements of the deep foundation system to resist the magnified overturning forces created by the narrow profile. This ultimately results in an increase in construction materials and costs. To quantify the magnitude of this construction premium, we also investigated two additional building schemes. One scheme considers a typical end lot condition and the second scheme is based on the actual irregular end lot property profile, while considering zoning allowances to maximize the property profile.

We found the construction premium to build the as-or-right building scheme to be on the magnitude 14% greater than a building on a typical end lot. With the considerations of potential zoning allowances on the property, we found that the total construction costs, per square foot, could be reduced by 17%. Detailed findings from our study can be found on the following pages.

introduction:

BLDG Management Co. is planning on building a new 10 story building at the irregular shaped end lot property site located at 11 Avenue C, in the borough of Manhattan. The property lot is bordered by East 2nd Street to the north, Avenue C to the east, and East Houston Street to the south. Currently, a five story brick building is located on the adjacent lot along the west property line. The narrow lot spans longitudinally in the east-west direction for 122.20 feet along East 2nd Street and East Houston Street, where the skewed longitudinal plot length is 123.35 feet. The property has a lot frontage of 40.45 feet along Avenue C and a through lot dimension of 56.10 feet at the adjacent building along the west property border. The site is subject to multiple zoning regulations, including the following items:

- Use Group 2 Construction (Residential Use / Non-Commercial)
- A maximum base building height of 80 feet (with an additional 20 feet allowable height through dormer setbacks)
- A 20% corner lot reduction in coverage
- Additional 30% through lot reduction in coverage.

A Geotechnical Report was prepared for BLDG Management by JZN Engineering. The report, dated May 19, 2014, found that the soil layer at the proposed foundation bearing level below the basement is approximately 12 feet of loose fill material. Below this layer of fill there exists a layer of glacial deposits, consisting of medium to medium dense sand. These glacial deposits extend to bedrock, found at approximately 100 feet below street level. Groundwater levels were observed at approximately 9 feet below street level. The density of the glacial deposit soil layer was found to be inconsistent, where weak soil layers were encountered at a depth of approximately 20 feet to 50 feet below the street level. These weak soil layers are classified as "Liquefaction Probable" for seismic design requirements. As noted later in this report, this "Liquefaction Probable" classification requires the design assumption that the soil directly below the building will not be adequate for supporting the building in the occurrence of a seismic event. Deep pile foundations will be required, extending through the poor upper soil layer to the bedrock below.

Building Design Schemes:

Three sets of architectural drawings have been prepared for BLDG Management by Rotwein and Blake Architects for a comparison to determine if the as-of-right zoning regulations and in situ geotechnical conditions are creating an economic hardship in their attempt to develop the site. The three design schemes are as follows.

As-of-Right Design (AOR) – The AOR building design, as shown on the attached SK-AOR is a 10 story, 100 foot high residential building consisting of a full basement, 8 floors and 2 partial penthouse levels. Due to zoning requirements, the building footprint has a setback along the north property line and an additional notch in the northeast corner of the footprint, creating a reentrant corner. The building footprint is 4561 square feet and has a height to width ratio of 1.7. The total floor area of the AOR design is 45,831 square feet. This design scheme is based on Rotwein and Blake architectural drawings AR-001 through AR-303, dated May 9, 2014. The AOR design scheme meets all current requirements of the New York City Department of Buildings (NYC DoB), including all site specific zoning requirements of the Department of City Planning (NYC DCP).

Proposed Building Design (PROP) – The PROP design is a 10 story residential / retail mixed use building, with a building footprint of 5600 square feet. The PROP design is a site specific design scheme that slightly deviates from the as-of-right requirements of the 1961 NYC DCP Zoning Resolution but is a much more efficient design scheme. The building footprint matches the property layout, without any reentrant corners or zoning setbacks. The PROP building design includes the entire building footprint for 8 stories and the basement. There are two partial penthouses. The building is 100 feet high, and has a height to width ratio of 2.5. The total floor area of the C.E.D. design is 55,316 square feet. The PROP scheme is shown on the attached SK-PROP, based on Rotwein and Blake drawings SK-001 through SK-303, dated May 9, 2014.

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Typical Building Design (TYP) – The TYP design scheme drawings, Rotwein and Blake drawings TYP-001 through TYP-303 dated May 9, 2014, were also provided as a comparison tool. The TYP design, shown on the attached SK-TYP, considers a typical NYC end lot building construction scheme based on a rectangular lot of similar plot dimensions and assumes expected local soil conditions, where liquefaction of the soil is not a consideration thus allowing the use of conventional spread footing in lieu of deep foundations. The TYP design scheme is a 12 story, 120 foot high residential building consisting of a full basement, 8 floors and 4 partial penthouse floors. The building footprint includes a 1200 square foot inner courtyard which requires a reentrant corner. The building has a height to width ratio of 2.1. The total floor area of the TYP design is 54,855 square feet.

For purposes of this analysis, and for our initial determination of the most efficient structural system for this building, we are considering a cast in place flat plate structural system for all three building schemes. The flat plate construction is a 12" concrete slab. Columns are located along both longitudinal perimeters and an additional column line is located in the approximate center of the floor plan, spanning longitudinally. The lateral load resisting system for wind and seismic loading for all three building designs is a concrete shear wall / moment frame dual system.

Since the three building designs have different square feet of total floor area, our comparisons of the three building designs is based on a per square foot cost, versus a total cost, for a more accurate comparison. Refer to the attached Structural Design Comparison Study for details of our comparative cost analysis.

Gravity Design:

The vertical loading of the three building designs are based on the total floor area and total building perimeter. For the floor area loading considerations, with the upper floors of the three building schemes intended for residential use, the live load and dead load comparisons are a function of the floor area. For the building perimeter, the AOR design scheme requires the use of a reentrant corner and has a greater building height than the PROP design scheme. The TYP building design also required the use of a reentrant corner and has a larger total building height than both site specific designs. We found that the gravity load imposed from each of the three building schemes to be relative to the total floor area of each of the building schemes.

Lateral Design:

The lateral design for both the AOR and the PROP design schemes are much more complicated than the TYP design scheme. There are two primary reasons for this. The TYP design scheme allows for the lateral resisting system of the building to utilize all perimeter walls and thus distribute the lateral forces throughout the building. For the AOR and PROP building schemes, 70% of the lateral resisting system in the transverse direction is limited to the shear wall along the west property line.

The second complication with both the AOR and PROP design scheme is the existing soil conditions found during the geotechnical investigation. Based on the data from the Geotechnical Report, the building is classified as Seismic Design Category 'C' per NYC Building Code. This design category creates additional design considerations, including additional steel reinforcement for concrete at the reentrant corner found in the AOR design.

Both the AOR and PROP buildings utilize the west façade as a shear wall for lateral forces imposed in the north-south direction. The AOR building does have a requirement for 30% open space at the through lot. This reduces the length of the shear wall, creating a height to width ratio of 2.5. The PROP design, utilizing the entire property footprint, lessens the severity of the height to width ratio, providing a 2.5 ratio. This height to width ratio becomes apparent when resolving the lateral forces. For the site specific Seismic Category 'C', the stresses in the AOR west shear wall require extensive steel reinforcing and detailing, including a 25% increase in connection strength at shear wall / diaphragm (concrete slab) interface.

Foundation Design:

As previously noted, the soil has been classified as "Liquefaction Probable" due to weak soil found in the glacial till soil layer between the sidewalk elevation and bedrock, which was found to exist approximately 100 feet below the sidewalk. According to the NYC Building Code, Liquefiable soils shall be considered to have no passive (lateral) resistance or bearing capacity value during an earthquake. (NYCBC Section BC1813.4.1). For the building design, this liquefaction design condition introduces the requirement of supporting the building on a deep foundation system, where steel H-Piles are set directly on bedrock. The steel piles that are required for gravity loading cannot be assumed to resist forces from seismic loading.

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As discussed in the lateral design section above, the seismic design requirements combined with the shape ratio and concentrated shear loading along the west shear wall of both the AOR and PROP design increase the forces transferred to the foundation. The restrictions imposed by designing for liquefaction, increase the number of building piles required for support of the superstructure. Additional building piles are required specifically for lateral resistance at the foundation. The shape ratio of the west shear wall for both the AOR and PROP designs create an uplift phenomenon of the building during a seismic event. Based on the steel H-Pile capacity values provided in the Geotechnical Report, our analysis found that the approximate total piles for the two site specific building designs to be as follows:

AOR Building Design Steel H-Piles:

Gravity Piles: 5200 linear feet
Lateral Piles: 3100 linear feet

PROP Building Design Steel H-Piles:

Gravity Piles: 5700 linear feet
Lateral Piles: 1200 linear feet

The PROP building design has a greater total dead load weight and a more favorable shape ratio than the AOR design. This additional weight allows for natural resistance to uplift forces and the higher shape ratio, based on utilizing the entire building footprint, decreases the total uplift values by allowing for a wider base for the shear resistance.

Both the AOR and PROP building schemes will require extensive support of excavation (SOE) work. The construction of a full basement will require braced sheeting along the perimeter along the three (3) streets bordering the site. The existing five (5) story building to the west of the property will require underpinning.

Building Envelope / Façade:

The construction of the exterior wall and façade system of both site specific buildings will be relatively the same due to the additional perimeter wall area of the AOR. scheme for the reentrant corner. The total exterior wall area of the PROP scheme is 5% greater than the AOR design. This 5% additional material cost will be offset by the additional work required for the scaffolding and access due to the reentrant corner and additional building height. The two stories of penthouse will

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also increase the costs as this will require additional worker access at the penthouse levels, including additional scaffolding on the roof. The typical building design does find an increase in total exterior wall by 11%. This increase is offset by a total floor area increase of 14% for the typical building design.

Comparative Cost Analysis:

For our quantitative cost analysis, we provided design requirements for the three building schemes to McQuilkin Associates, LLC and used the figures presented on their cost estimates for the three building schemes. The cost per square foot comparisons are presented below.

TYP Building Design Scheme \$344 / square foot

AOR Building Design Scheme \$394 / square foot

PROP Building Design Scheme \$349 / square foot

The cost of the AOR scheme is \$394 per square foot, while the cost per square foot of the PROP building design is \$340. The site specific requirements for this building lot increase the construction costs by 15% from a typical design. When considering both the effects of seismic load and the total perimeter area, the reduced costs/square foot for the Cost Effective Design Building is \$48. This is a very significant amount, resulting in a 17% savings on the construction cost. There are additional, non-structural costs that should be considered that would add to this percent differential in cost increase as well, including construction time and unforeseen conditions at the building site.

Structural Design Comparison

Typical End Lot Building (TYP) layout and preliminary design based on Rotwein & Blake drawings TYP-000 thru TYP-303 dated May 9, 2014.

As-of Right Building (AoR) layout and preliminary design based on Rotwein & Blake drawings AR-000 thru AR-303 dated May 9, 2014.

Cost Eective Proposed Design Building (PROP) layout and preliminary design based on Rotwein & Blake drawings SK-000 thru SK-303 dated May 9, 2014

Building Comparison

	Typical (TYP)	As-of-Right (AOR)	Proposed (PROP)	
Floor Area/Story	4600	4561	5600	(sq.ft.)
No. Story	8	8	8	
No. Penthouse	4	2	2	(sq.ft.)
Pent. Area/Story	2826	2391	2293	
Story Height	10	10	10	(ft.)
Building Perimeter	316	332	340	(ft.)
Pent. Perimeter	256	272	242	(ft.)
Total Building Height	120	100	105	(ft.)
Total Floor Area	54855	45831	55316	(sq.ft.)

Structural System

Substructure:	Deep Foundation System
	80 Ton Driven H-Piles (Length approx. 100 ft./pile)
	Grade Beam / Pile Cap System
Superstructure:	Concrete Flat Plate Floor System
	12" Concrete Slab
	Lateral Resisting System - Duel System with RC Shear Wall & IMF
	Cocnrete Columns / Shear Walls

ANASTOS ENGINEERING ASSOICATES

Structural Engineers

11 Avenue C, Manhattan
End Lot Building Comparison Study

Loading Criteria

Dead Load:	Framed Concrete Slab	150 psf
	MEP & Misc	15 psf
	Exterior Structural Walls	145 psf
	Exterior Windows	25 psf
	Foundation Walls	200 psf
	Cellar Slab	75 psf
	Grade Beams / Pile Caps	1050 plf

Live Load:	First Floor / Basement	100 psf
	Residential Upper Floors	40 psf
	Roof	25 psf
	Balcony / Roof Deck	60 psf

Wind Load:	Design Pressure	30 psf
	Components & Cladding	20 psf

Seismic:	Occupancy Category II	
	Site Class 'D'	
	Spectral Response at 0.2 Sec. Period	
	Ss =	0.36 g
	Fa =	1.51
	Sds=	0.362 g

	Spectral Response at 1 Sec. Period	
	S1 =	0.07 g
	F1 =	2.39
	Sd1 =	0.112 g

Seismic Design Category 'C'		
Response Modification System Factor		5.5
Overstrength Factor		2.5
Deflection Amplification Factor		4.5

Seismic Notes:

- 1) Liquefaction Probable per Geotechnical Investigation - Deep Foundation System Required)
- 2) AoR building has a Type 2 Horizontal Plan Irregularity - 25% increase in connections of diaphragm & collectors

Design Forces: Proposed (PROP) Building Design

	DL floor (k)	DL wall (k)	LL (k)	hx (ft)	wx (k)	hx wx (k- ft)	hx wx / Σhx wx	Vx (k)	Fx (k)	Mot (k-ft)
Pent Roof	378.3	102.9	57.3	105	481.2	50525	0.082	952.565	62.765	6590
Pent.	378.3	102.9	57.3	95	481.2	45714	0.075	861.844	56.788	5395
Roof/Pent	924.0	288.2	174.4	85	1212.2	103033	0.168	1942.49	127.99	10879
8	924.0	370.6	224	75	1294.6	97095	0.158	1830.55	120.62	9046
7	924.0	370.6	224	65	1294.6	84149	0.137	1586.47	104.53	6795
6	924.0	370.6	224	55	1294.6	71203	0.116	1342.4	88.452	4865
5	924.0	370.6	224	45	1294.6	58257	0.095	1098.33	72.37	3257
4	924.0	370.6	224	35	1294.6	45311	0.074	854.255	56.288	1970
3	924.0	463.3	224	25	1387.3	34681	0.057	653.851	43.083	1077
2	924.0	593.0	224	15	1517.0	22754	0.037	428.992	28.267	424
1	924.0	655.0	560	0	1579.0	0	0	0	0	0
C	420.0	340.0	560	0	760.0	0	0	0	0	0

Total Seismic Weight 11551.8 kips (sum of wx 2-R)
Base Shear Coefficient 0.066

Total Overturning Moment 50298 kip-ft
Total Dead Load 13891 kip
Total Live Load 2977 kip

Total Load per Square Foot at Foundation 3012.1 psf

Maximum Foundation Uplift: 607.05 kips

Note: uplift value based on shape ratio of west shear wall considering 70% seismic shear resistance.

Design Forces: As-of-Right (AOR) Building

	DL floor (k)	DL wall (k)	LL (k)	hx (ft)	wx (k)	hx wx (k- ft)	hx wx / Σhx wx	Vx (k)	Fx (k)	Mot (k-ft)
Pent Roof	394.5	115.6	59.775	100	510.1	51012	0.101	1012.13	66.69	6669
Pent2	394.5	231.2	95.64	90	625.7	56314	0.112	1117.34	73.623	6626
Roof/Pent1	752.6	296.5	149.89	80	1049.1	83928	0.167	1665.24	109.72	8778
8	752.6	361.9	182.44	70	1114.4	78011	0.155	1547.83	101.99	7139
7	752.6	361.9	182.44	60	1114.4	66867	0.133	1326.72	87.418	5245
6	752.6	361.9	182.44	50	1114.4	55722	0.111	1105.6	72.849	3642
5	752.6	361.9	182.44	40	1114.4	44578	0.089	884.477	58.279	2331
4	752.6	361.9	182.44	30	1114.4	33433	0.066	663.358	43.709	1311
3	752.6	361.9	182.44	20	1114.4	22289	0.044	442.238	29.139	582.8
2	752.6	361.9	182.44	10	1114.4	11144	0.022	221.119	14.57	145.7
1	752.6	512.9	456.1	0	1265.5	0	0.000	0	0	0
C	342.1	332.0	456.1	0	674.1	0	0.000	0	0	0

Total Seismic Weight 9986.1 kips (sum of wx 2-R)
Base Shear Coefficient 0.066

Total Overturning Moment 42471 kip-ft
Total Dead Load 11926 kip
Total Live Load 2494.6 kip

Total Load per Square Foot at Foundation 3161.6 psf

Maximum Foundation Uplift: 762.29 kips

Note: uplift value based on shape ratio of west shear wall considering 70% seismic shear resistance.

ANASTOS ENGINEERING ASSOICATES

Structural Engineers

11 Avenue C, Manhattan
End Lot Building Comparison Study**Design Forces: Typical Design Building (TYP)**

	DL floor (k)	DL wall (k)	LL (k)	hx (ft)	wx (k)	hx wx (k- ft)	hx wx / Σhx wx	Vx (k)	Fx (k)	Mot (k-ft)
Pent Roof	466	78	71	120	544	65324	0	1156	76	9141
Pent	466	156	71	110	622	68470	0	1212	80	8783
Pent	466	156	71	100	622	62245	0	1102	73	7259
Pent	466	156	71	90	622	56021	0	991	65	5880
Roof/Pent	759	281	157	80	1040	83202	0	1473	97	7762
8	759	344	184	70	1103	77241	0	1367	90	6305
7	759	344	184	60	1103	66206	0	1172	77	4632
6	759	344	184	50	1103	55172	0	976	64	3217
5	759	344	184	40	1103	44138	0	781	51	2059
4	759	344	184	30	1103	33103	0	586	39	1158
3	759	431	184	20	1190	23791	0	421	28	555
2	759	551	184	10	1310	13101	0	232	15	153
1	759	609	460	0	1368	0	0	0	0	0
C	345	316	460	0	661	0	0	0	0	0

Total Seismic Weight 11468.6 kips (sum of wx 2-R)

Base Shear Coefficient 0.066

Total Overturning Moment 31721 kip-ft

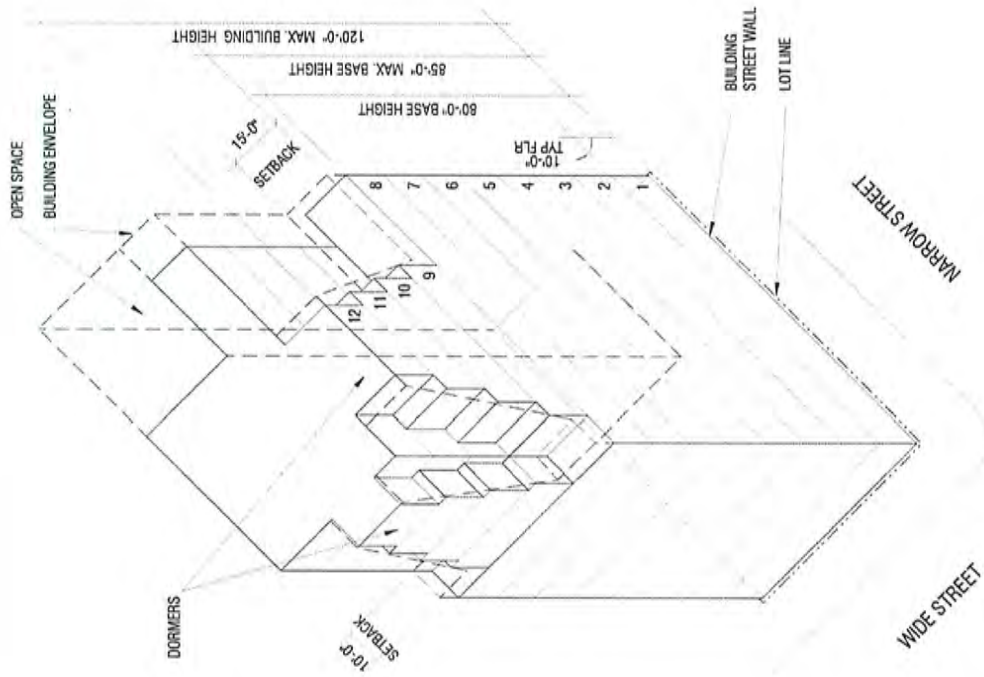
Total Dead Load 13497 kip

Total Live Load 2648 kip

Total Load per Square Foot at Foundation 3509.9 psf

Maximum Foundation Uplift: 283.2 kips

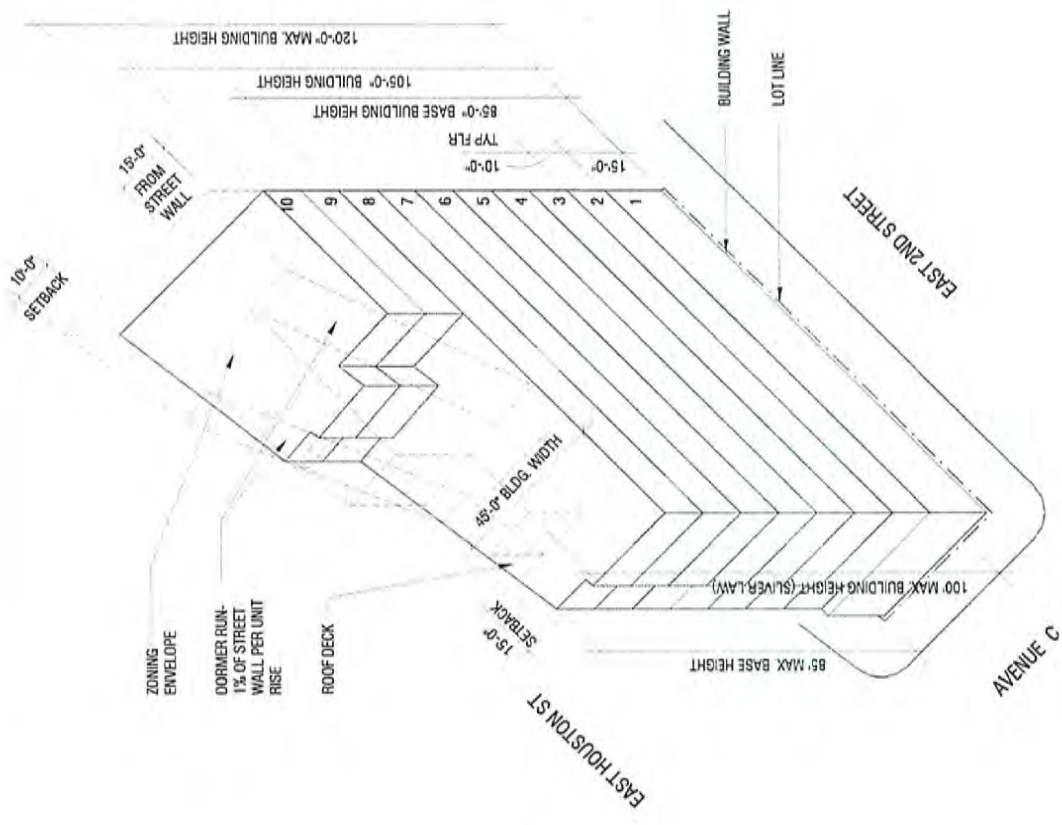
Note: uplift value based on all exterior wall contributing to shear resistance



TYPICAL AXON
SCALE: 1/32" = 1'-0"


SK-TYP

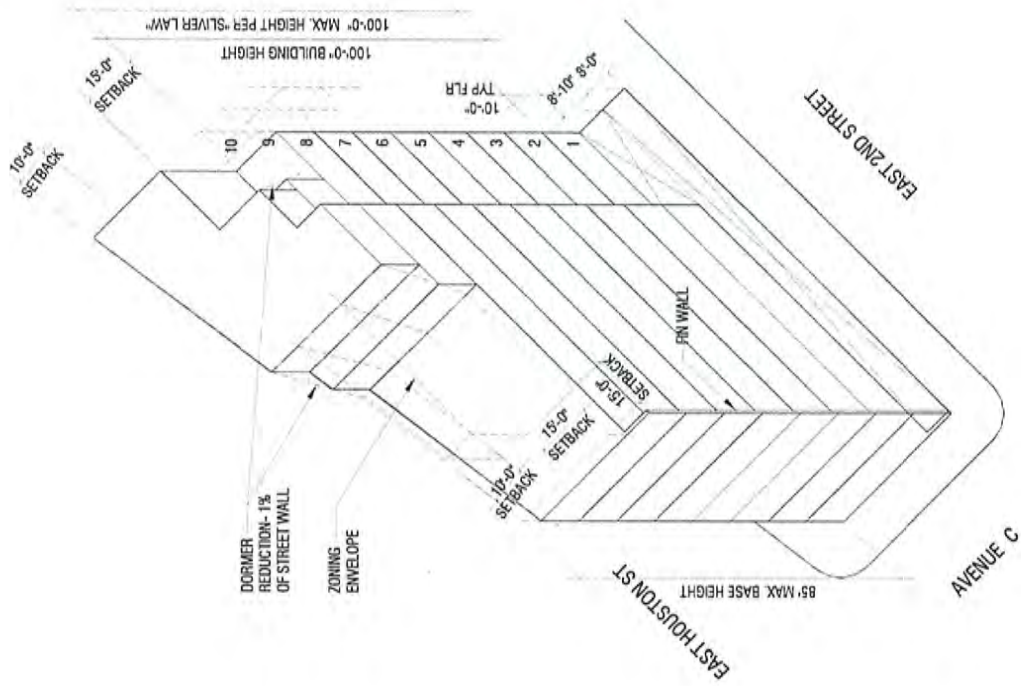
NO.	REVISION	DATE										
ARCHITECT:												
 Rotwein+Blake 18000 Rotwein Blvd. Longwood, NJ 07732-1022 973-740-3755 • Fax: 973-740-3766 E-mail: enr@rotwein.com												
PROPOSED RESIDENTIAL DEVELOPMENT												
350 EAST HOUSTON, LLC												
11 AVENUE C												
NEW YORK, N.Y.												
BSA APPLICATION												
TYPICAL												
AXON												
<table><tr><td>DATE</td><td>05-08-14</td></tr><tr><td>PROJECT NO.</td><td>2013005</td></tr><tr><td>MG</td><td></td></tr><tr><td>DRAWN BY</td><td>LMB</td></tr><tr><td>CHECKED BY</td><td></td></tr></table>			DATE	05-08-14	PROJECT NO.	2013005	MG		DRAWN BY	LMB	CHECKED BY	
DATE	05-08-14											
PROJECT NO.	2013005											
MG												
DRAWN BY	LMB											
CHECKED BY												
TYP-303												
DRAWING NO.												
15 of 15												



PROPOSED AXON
SCALE: 1/32" = 1'-0"

SK-CED

NO.	REVISION	DATE
ARCHITECT:  Rotwein+Blake 18000 Rotwein+Blake Loopway, Suite 100 2912 7th St. S.W. • Fax: 972.740.9762 E-mail: info@rotwein-blake.com		
PROPOSED RESIDENTIAL DEVELOPMENT 350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION PROPOSED AXON		
05-09-14 DATE: 201305 PROJECT NO.: MGT DRAWN BY: LMB CHECKED BY:		
SK-303 DRAWING NO. 18 of 18		



AXONOMETRIC
SCALE: 1/32" = 1'-0"

SK-AOR

NO.	REVISION	DATE
ARCHITECT: Rotwein+Blake 16000 Rotwein+Blake, Longwood, MA 01904 978.742.9755 • Fax: 978.742.9746 E-mail: email@rotwein-blake.com		
PROPOSED RESIDENTIAL DEVELOPMENT 350 EAST HOUSTON, LLC 11 AVENUE C NEW YORK, N.Y.		
BSA APPLICATION AS OF RIGHT AXON		
DATE: 05-09-14 PROJECT NO: 201305 MGT: LMB CHECKED BY: LMB ORDERING NO: AR-303 16 of 16		

RECEIVED
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125-14-B7.7

11 AVENUE C

As of Right Residential

Preliminary Construction Cost Estimate

New York, New York

May 23, 2014

McQUILKIN ASSOCIATES, LLC

Construction Consultants

500 Morris Avenue
Springfield, NJ 07081
Tel: 973-218-1600
Fax: 973-218-1700

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/23/14
REV.:

AS OF RIGHT RESIDENTIAL

QUALIFICATIONS

- 1 Estimate is based on drawings AR-000 through AR-303 as prepared by Rotwein+Blake dated 5/9/14 labeled As of Right Scheme (FAR 6.3)
- 2 Escalation - Estimate Based on Construction Start 2ND Qtr 2014

EXCLUSIONS

- 1 Design/Professional fees.
- 2 Surveys & Reports
- 3 Treatment/Removal of Contaminated Materials
- 4 Controlled Testing and Inspection
- 5 Public Agency Approvals/Inspection Fees
- 6 Building permit/filing fees.
- 7 Builder's risk insurance.
- 8 Utility Company Charges (other than Temporary for Contractor)
- 9 Overtime
- 10 Performance Bond
- 11 Tenant Fit Out- Retail
- 12 Mock-Ups
- 13 Contractors Profit or Construction Manager's Fee

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CSI CODE	DESCRIPTION	TOTAL
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AS OF RIGHT RESIDENTIAL

01500	TEMPORARY CONSTRUCTION	469,125
02500	PAVING & SURFACING	139,854
02600	SITE UTILITIES	88,500
02800	PILING	589,500
02950	EXCAVATION/FOUNDATION	931,598
3300	SUPERSTRUCTURE CONCRETE	2,979,632
04100	MASONRY	77,418
05500	MISCELLANEOUS IRON	55,690
06100	ROUGH CARPENTRY	148,739
06200	FINISH CARPENTRY	317,807
07100	WATERPROOFING	63,662
07510	ROOFING/INSULATION/FIRESTOPPING	149,395
07900	CAULKING & SEALANTS	72,295
08100	HOLLOW METAL	36,575
08200	WOOD DOORS	62,600
08400	ENTRANCES AND STOREFRONT	34,000
08700	HARDWARE	62,800
08950	EXTERIOR FAÇADE	2,462,245
09000	INTERIOR FIT OUT	88,200
09250	DRYWALL	911,417
09300	TILE	965,000
09550	WOOD FLOORING	335,290
09650	RESILIENT FLOORING	13,513
09900	PAINTING	246,752
10400	IDENTIFYING DEVICES	10,600
10550	POSTAL SPECIALTIES	7,950
10800	TOILET ACCESSORIES	12,200
11175	TRASH CHUTE & COMPACTOR	33,750
11450	RESIDENTIAL EQUIPMENT	238,500
14200	ELEVATORS	275,000
15300	FIRE PROTECTION	298,909
15400	PLUMBING	811,800
15500	HEATING, VENTILATING AND AIR CONDITIONING	1,689,288
16,000	ELECTRICAL WORK	1,016,183
		<hr/>
		SUBTOTAL 15,695,787
GENERAL CONDITIONS 12%		1,883,494
		<hr/>
		SUBTOTAL 17,579,281
INSURANCE 3%		527,378
		<hr/>
		TOTAL 18,106,660

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/23/14
REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

01500 TEMPORARY CONSTRUCTION

Sidewalk Bridge	325	LF	175.00	56,875
Construction Fence	350	LF	35.00	12,250
Hoist	1	LS	400,000.00	400,000
				<u>469,125</u>

02500 PAVING & SURFACING

Sidewalks	3,762	SF	12.00	45,144
Plaza Paving	1,298	SF	45.00	58,410
Concrete Curbs	330	LF	60.00	19,800
Repair Street	330	LF	50.00	16,500
				<u>139,854</u>

02600 SITE UTILITIES

Water Service	1	EA	18,000.00	18,000
Sewer Service	1	EA	22,000.00	22,000
Gas Service	1	EA	18,000.00	18,000
Telephone Service	1	EA	5,000.00	5,000
Fire Service	1	EA	18,000.00	18,000
Electrical Service	1	EA	7,500.00	7,500
				<u>88,500</u>

02800 PILING

Steel H Piles	8,300	LF	65.00	539,500
Load Testing	2	EA	25,000.00	50,000
				<u>589,500</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

02950 EXCAVATION/FOUNDATION

Sheeting & Shoring	5,216	SF	60.00	312,960
General Excavation	2,667	CY	50.00	133,350
Backfill Foundation Walls	470	CY	45.00	21,150
Underpinning	40	LF	2,500.00	100,000
Pumping	1	LS	75,000.00	75,000
Footing Excavation	200	CY	60.00	12,000
Pile Caps	86	CY	750.00	64,500
Wall Footings	36	CY	650.00	23,400
Foundation Walls	145	CY	950.00	137,750
Slab on Grade	4,561	SF	8.00	36,488
Elevator Pits	1	EA	15,000.00	15,000
				<u>931,598</u>

03300 SUPERSTRUCTURE CONCRETE

8" Flat Plate Incl Cols & Beams	45,986	SF	62.00	2,851,132
Concrete Stairs	19	FLT	6,500.00	123,500
Misc. Concrete	1	LS	5,000.00	5,000
				<u>2,979,632</u>

04100 MASONRY

8" CMU	3,519	SF	22.00	77,418
				<u>77,418</u>

05500 MISCELLANEOUS IRON

Stair Railings Wall Mtd	608	LF	55.00	33,440
Miscellaneous Iron	1	LS	20,000.00	20,000
Elevator Pit Ladder	1	EA	750.00	750
Hoist Beams	1	EA	1,500.00	1,500
				<u>55,690</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

06100 ROUGH CARPENTRY

Protection (Allow) incl Roof	10	FL	2,000.00	20,000
Perimeter Netting Incl Roof	2,781	LF	8.50	23,639
Roof Blocking	1	LS	5,000.00	5,000
Install Wood Doors & Frames - Single	114	EA	200.00	22,800
Install Wood Pocket Doors - Single	8	EA	200.00	1,600
Install Wood Doors Double - Slider	130	PR	100.00	13,000
Install Kitchen Cabinets	53	Set	450.00	22,800
Bathroom Vanity	61	EA	100.00	6,100
Install H.M. Doors & Frames - Single	94	EA	200.00	18,800
Roof Terrace Dividers	-	LF	250.00	0
Misc blocking	1	LS	15,000.00	15,000
				<u>148,739</u>

06200 FINISH CARPENTRY

Wood Base	11,159	LF	3.00	33,477
Closet Shelf & Pole	724	LF	20.00	14,480
Kitchen cabinets & Countertops	53	SET	4,500.00	238,500
Medicine cabinets	61	EA	350.00	21,350
Mailroom Millwork	1	LS	10,000.00	10,000
				<u>317,807</u>

07100 WATERPROOFING

Elevator Pit	1	EA	5,000.00	5,000
Slab on Grade	4,561	SF	6.00	27,366
Foundation Walls	3,912	SF	8.00	31,296
				<u>63,662</u>

07510 ROOFING/INSULATION/FIRESTOPPING

Membrane Roofing	4,561	SF	25.00	114,025
Terrace/Balcony Pavers	2,358	SF	15.00	35,370
				<u>149,395</u>

07900 CAULKING & SEALANTS

Caulking - Interior	45,986	SF	0.50	22,993
Caulking - Exterior	32,868	SF	1.50	49,302
				<u>72,295</u>

McQUILKIN ASSOCIATES, LLC
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 LOCATION: NEW YORK, NY

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 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

08100 HOLLOW METAL

H.M. Doors & Frames Apartment Entry - Single	53	EA	400.00	21,200
H.M. Doors & Frames Stair - Single	25	EA	375.00	9,375
H.M. Doors & Frames Service - Single	16	EA	375.00	6,000
				<u>36,575</u>

08210 WOOD DOORS

Apartment Interior Doors & Frames	122	EA	300.00	36,600
Closet Double Sliders	130	PR	200.00	26,000
				<u>62,600</u>

08400 ENTRANCES & STOREFRONT

Terrace Glass Doors - Single Swing	-	EA	2,500.00	0
Terrace Glass Doors - Double Sliding	4	PR	3,500.00	14,000
Entry Doors - Double	2	PR	10,000.00	20,000
Storefront	-	SF	100.00	0
				<u>34,000</u>

08700 HARDWARE

Apartment Entry Doors	53	SETS	400.00	21,200
Apartment Interior Doors	252	SETS	100.00	25,200
Stair/Service Doors	41	SETS	400.00	16,400
				<u>62,800</u>

08950 EXTERIOR FAÇADE

Lot Line Block wall	2,155	SF	22.00	47,410
Brick Cavity Walls	20,483	SF	65.00	1,331,395
Brick Fin Wall	1,414	SF	85.00	120,190
Brick parapets	1,568	SF	125.00	196,000
Windows	10,230	SF	75.00	767,250
				<u>2,462,245</u>

09000 INTERIOR FIT-OUT

Entrance Lobby Area	252	SF	350.00	88,200
				<u>88,200</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

09250 DRYWALL

Partitions:

Corridor	13,475	SF	9.00	121,275
Stair Walls	8,145	SF	12.00	97,740
Demising	7,530	SF	9.00	67,770
Interior 1M1	33,340	SF	6.00	200,040
Demising Chase	-	SF	9.00	0
Chase	4,880	SF	5.50	26,840
Furring	6,240	SF	6.00	37,440
Exhaust Shaft	8,240	SF	12.00	98,880
Suspended Drywall Ceilings	16,245	SF	8.00	129,960
GWB + Vapor Barrier+ Batt @ Exterior Wall	32,868	SF	4.00	131,472
				<u>911,417</u>

09300 TILEWORK

Marble Tile Floor	5,537	SF	30.00	166,110
Marble Tile Base	2,892	SF	30.00	86,760
Marble Tile Wall	23,636	SF	30.00	709,080
Marble Saddles	61	EA	50.00	3,050
				<u>965,000</u>

09550 WOOD FLOORING

Strip Oak Flooring	33,529	SF	10.00	335,290
				<u>335,290</u>

09650 RESILIENT FLOORING

Carpet at Corridors	326	SY	35.00	11,410
VCT	412	SF	3.00	1,236
Vinyl Base	289	LF	3.00	867
				<u>13,513</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

09900 PAINTING/WALLCOVERING

Sealed Concrete	5,254	SF	0.60	3,152
Partitions - Paint	111,044	SF	0.65	72,179
Gyp Ceiling - Paint	16,245	SF	1.00	16,245
Kadex On Concrete Slab	22,292	SF	2.00	44,584
Paint Mas/Conc Walls	7,944	SF	0.85	6,752
Paint WD Base	11,159	LF	2.00	22,318
Paint Stairs	19	FLT	750.00	14,250
Paint Stair Railing	608	LF	5.00	3,040
Doors and Frames	460	LVS	60.00	27,600
Vinyl Wallcovering @ Corridors	10,544	SF	3.00	31,632
Miscellaneous Painting	1	LS	5,000.00	5,000
				<u>246,752</u>

10400 IDENTIFYING DEVICES

# of Apartments	53	EA	200.00	10,600
				<u>10,600</u>

10550 POSTAL SPECIALTIES

Mailboxes	53	EA	150.00	7,950
				<u>7,950</u>

10800 TOILET PARTITIONS/ACCESSORIES

Powder rooms	-	EA	100.00	0
Baths	61	EA	200.00	12,200
				<u>12,200</u>

11175 TRASH CHUTE & COMPACTOR

Trash Chute	110	LF	125.00	13,750
Compactor	1	EA	20,000.00	20,000
				<u>33,750</u>

11450 RESIDENTIAL EQUIPMENT

Allow for Appliances	53	SET	4,500.00	238,500
				<u>238,500</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

14200 ELEVATOR

Passenger 11 Stop	1	EA	275,000.00	275,000
				<u>275,000</u>

15300 FIRE PROTECTION

Sprinkler System Incl Standpipes	45,986	SF	6.50	298,909
				<u>298,909</u>

15400 PLUMBING

Equipment				
Water Heaters,Tanks, Pumps,etc	1	LS	150,000.00	150,000
Gas Piping & Meters	1	LS	90,000.00	90,000
Water Closets	61	EA	2,500.00	152,500
Bathtubs	61	EA	2,500.00	152,500
Lavatories	61	EA	2,200.00	134,200
Kitchen Sinks	53	EA	2,200.00	116,600
Terrace Drains	4	EA	2,000.00	8,000
Roof Drains	4	EA	2,000.00	8,000
				<u>811,800</u>

15500 HEATING, VENTILLATING AND AIR CONDITIONING

Boilers. Pumps, ETC	1	LS	150,000.00	150,000
Ventilation for Basement	4,561	SF	8.00	36,488
HVAC for Lobby	252	SF	25.00	6,300
HVAC per Unit	53	EA	25,000.00	1,325,000
Corridor Supply Air Handler	1	EA	35,000.00	35,000
Kitchen Exhaust	5	EA	5,000.00	25,000
Toilet Exhaust	6	EA	5,000.00	30,000
Elevator machine Room Unit	1	EA	5,000.00	5,000
Trash Room Unit	1	EA	5,000.00	5,000
Meter Room Exhaust fans	2	EA	2,500.00	5,000
DDC Controls	1	LS	30,000.00	30,000
Tempetature Control	53	APT	500.00	26,500
Testing & Balancing	1	LS	10,000.00	10,000
				<u>1,689,288</u>

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/23/14
REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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AS OF RIGHT RESIDENTIAL

16000 ELECTRIC

Equipment	1	LS	100,000.00	100,000
Meters	54	SET	750.00	40,500
Panelboards & Risers	55	EA	3,200.00	176,000
Power & Lighting for Basement	4,561	SF	8.00	36,488
Power & Lighting for Lobby	252	SF	20.00	5,040
Lighting & Power at Units	41,173	SF	12.00	494,076
Fire Alarm System Class"C"	45,986	SF	1.50	68,979
House Intercom/Video System	54	EA	650.00	35,100
Cable TV Raceways	10	RIS	3,000.00	30,000
Telephone Raceway System	10	RIS	3,000.00	30,000
				<hr/>
				1,016,183

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

UNIT MATRIX

AS OF RIGHT RESIDENTIAL

Type/Floor	1	2	3	4	5	6	7	8	9	10	TOTALS
1BR 1BTH	5	5	5	5	5	5	5	5	3	2	45
2BR 2BTH	1	1	1	1	1	1	1	1	-	-	8
											-
											-
											-
TOTALS	6	6	6	6	6	6	6	6	3	2	53
Kitchens	6	6	6	6	6	6	6	6	3	2	53
Beds	7	7	7	7	7	7	7	7	3	2	61
Baths	7	7	7	7	7	7	7	7	3	2	61
Plumbing Fixture	27	27	27	27	27	27	27	27	12	8	236

125-14-R7-

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7011 2nd Ave. N. #11
TALL, AL.

11 AVENUE C

Typical Residential

Preliminary Construction Cost Estimate

New York, New York

May 21, 2014

McQUILKIN ASSOCIATES, LLC

Construction Consultants

500 Morris Avenue
Springfield, NJ 07081
Tel: 973-218-1600
Fax: 973-218-1700

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/21/14
REV.:

TYPICAL RESIDENTIAL

QUALIFICATIONS

- 1 Estimate is based on drawings TYP-000 through TYP-303 as prepared by Rotwein+Blake dated 5/9/14 labeled Typical Design Scheme (FAR 7.2)
- 2 Escalation - Estimate Based on Construction Start 2ND Qtr 2014

EXCLUSIONS

- 1 Design/Professional fees.
- 2 Surveys & Reports
- 3 Treatment/Removal of Contaminated Materials
- 4 Controlled Testing and Inspection
- 5 Public Agency Approvals/Inspection Fees
- 6 Building permit/filing fees.
- 7 Builder's risk insurance.
- 8 Utility Company Charges (other than Temporary for Contractor)
- 9 Overtime
- 10 Performance Bond
- 11 Tenant Fit Out- Retail
- 12 Mock-Ups
- 13 Contractors Profit or Construction Manager's Fee

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

CSI CODE	DESCRIPTION	TOTAL
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TYPICAL RESIDENTIAL

01500	TEMPORARY CONSTRUCTION	468,820
02500	PAVING & SURFACING	97,964
02600	SITE UTILITIES	88,500
02950	EXCAVATION/FOUNDATION	1,123,900
3300	SUPERSTRUCTURE CONCRETE	3,578,678
04100	MASONRY	90,222
05500	MISCELLANEOUS IRON	66,250
06100	ROUGH CARPENTRY	165,696
06200	FINISH CARPENTRY	316,714
07100	WATERPROOFING	35,336
07510	ROOFING/INSULATION/FIRESTOPPING	143,815
07900	CAULKING & SEALANTS	80,017
08100	HOLLOW METAL	37,275
08200	WOOD DOORS	74,200
08400	ENTRANCES AND STOREFRONT	55,500
08700	HARDWARE	69,100
08950	EXTERIOR FAÇADE	2,498,610
09000	INTERIOR FIT OUT	195,300
09250	DRYWALL	1,014,888
09300	TILE	941,660
09550	WOOD FLOORING	363,230
09650	RESILIENT FLOORING	22,334
09900	PAINTING	279,124
10400	IDENTIFYING DEVICES	10,200
10550	POSTAL SPECIALTIES	7,650
10800	TOILET ACCESSORIES	12,800
11175	TRASH CHUTE & COMPACTOR	36,250
11450	RESIDENTIAL EQUIPMENT	229,500
14200	ELEVATORS	325,000
15300	FIRE PROTECTION	357,624
15400	PLUMBING	843,000
15500	HEATING, VENTILATING AND AIR CONDITIONING	1,641,250
16,000	ELECTRICAL WORK	1,137,221
		<hr/>
		SUBTOTAL 16,407,627
GENERAL CONDITIONS 12%		1,968,915
		<hr/>
		SUBTOTAL 18,376,542
INSURANCE 3%		551,296
		<hr/>
		TOTAL 18,927,838

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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TYPICAL RESIDENTIAL

01500 TEMPORARY CONSTRUCTION

Sidewalk Bridge	188	LF	175.00	32,900
Construction Fence	312	LF	35.00	10,920
Hoist	1	LS	425,000.00	425,000
				<u>468,820</u>

02500 PAVING & SURFACING

Sidewalks	2,032	SF	12.00	24,384
Plaza Paving	1,200	SF	45.00	54,000
Concrete Curbs	178	LF	60.00	10,680
Repair Street	178	LF	50.00	8,900
				<u>97,964</u>

02600 SITE UTILITIES

Water Service	1	EA	18,000.00	18,000
Sewer Service	1	EA	22,000.00	22,000
Gas Service	1	EA	18,000.00	18,000
Telephone Service	1	EA	5,000.00	5,000
Fire Service	1	EA	18,000.00	18,000
Electrical Service	1	EA	7,500.00	7,500
				<u>88,500</u>

02950 EXCAVATION/FOUNDATION

Sheeting & Shoring	5,056	SF	60.00	303,360
General Excavation	2,671	CY	50.00	133,550
Backfill Foundation Walls	456	CY	45.00	20,520
Underpinning	138	LF	2,500.00	345,000
Pumping	1	LS	25,000.00	25,000
Footing Excavation	207	CY	60.00	12,420
Spread Footings	102	CY	750.00	76,500
Wall Footings	35	CY	650.00	22,750
Foundation Walls	140	CY	950.00	133,000
Slab on Grade	4,600	SF	8.00	36,800
Elevator Pits	1	EA	15,000.00	15,000
				<u>1,123,900</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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TYPICAL RESIDENTIAL

03300 SUPERSTRUCTURE CONCRETE

8" Flat Plate Incl Cols & Beams	55,019	SF	62.00	3,411,178
Concrete Stairs	25	FLT	6,500.00	162,500
Misc. Concrete	1	LS	5,000.00	5,000
				<u>3,578,678</u>

04100 MASONRY

8" CMU	4,101	SF	22.00	90,222
				<u>90,222</u>

05500 MISCELLANEOUS IRON

Stair Railings Wall Mtd	800	LF	55.00	44,000
Miscellaneous Iron	1	LS	20,000.00	20,000
Elevator Pit Ladder	1	EA	750.00	750
Hoist Beams	1	EA	1,500.00	1,500
				<u>66,250</u>

06100 ROUGH CARPENTRY

Protection (Allow) incl Roof	12	FL	2,000.00	24,000
Perimeter Netting Incl Roof	3,176	LF	8.50	26,996
Roof Blocking	1	LS	5,000.00	5,000
Install Wood Doors & Frames - Single	128	EA	200.00	25,600
Install Wood Pocket Doors - Single	-	EA	200.00	0
Install Wood Doors Double - Slider	179	PR	100.00	17,900
Install Kitchen Cabinets	51	Set	450.00	25,600
Bathroom Vanity	64	EA	100.00	6,400
Install H.M. Doors & Frames - Single	96	EA	200.00	19,200
Roof Terrace Dividers	-	LF	250.00	0
Misc blocking	1	LS	15,000.00	15,000
				<u>165,696</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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TYPICAL RESIDENTIAL

06200 FINISH CARPENTRY

Wood Base	11,718	LF	3.00	35,154
Closet Shelf & Pole	983	LF	20.00	19,660
Kitchen cabinets & Countertops	51	SET	4,500.00	229,500
Medicine cabinets	64	EA	350.00	22,400
Mailroom Millwork	1	LS	10,000.00	10,000
				<u>316,714</u>

07100 WATERPROOFING

Elevator Pit	1	EA	5,000.00	5,000
Foundation Walls	3,792	SF	8.00	30,336
				<u>35,336</u>

07510 ROOFING/INSULATION/FIRESTOPPING

Membrane Roofing	4,600	SF	25.00	115,000
Terrace/Balcony Pavers	1,921	SF	15.00	28,815
				<u>143,815</u>

07900 CAULKING & SEALANTS

Caulking - Interior	53,491	SF	0.50	26,746
Caulking - Exterior	35,514	SF	1.50	53,271
				<u>80,017</u>

08100 HOLLOW METAL

H.M. Doors & Frames Apartment Entry - Single	51	EA	400.00	20,400
H.M. Doors & Frames Stair - Single	28	EA	375.00	10,500
H.M. Doors & Frames Service - Single	17	EA	375.00	6,375
				<u>37,275</u>

08210 WOOD DOORS

Apartment Interior Doors & Frames	128	EA	300.00	38,400
Closet Double Sliders	179	PR	200.00	35,800
				<u>74,200</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
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DATE: 5/21/14
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CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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TYPICAL RESIDENTIAL

08400 ENTRANCES & STOREFRONT

Terrace Glass Doors - Single Swing	1	EA	3,500.00	3,500
Terrace Glass Doors - Double Sliding	12	PR	3,500.00	42,000
Entry Doors - Double	1	PR	10,000.00	10,000
Storefront	-	SF	100.00	0
				<u>55,500</u>

08700 HARDWARE

Apartment Entry Doors	51	SETS	400.00	20,400
Apartment Interior Doors	307	SETS	100.00	30,700
Stair/Service Doors	45	SETS	400.00	18,000
				<u>69,100</u>

08950 EXTERIOR FAÇADE

Lot Line Block wall	6,400	SF	22.00	140,800
Brick Cavity Walls	17,824	SF	65.00	1,158,560
Brick parapets	1,740	SF	125.00	217,500
Windows	13,090	SF	75.00	981,750
				<u>2,498,610</u>

09000 INTERIOR FIT-OUT

Entrance Lobby Area	558	SF	350.00	195,300
				<u>195,300</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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TYPICAL RESIDENTIAL

09250 DRYWALL

Partitions:

Corridor	12,280	SF	9.00	110,520
Elevator/Stair Walls	11,480	SF	12.00	137,760
Demising	9,800	SF	9.00	88,200
Interior 1M1	42,480	SF	6.00	254,880
Demising Chase	-	SF	9.00	0
Chase	5,120	SF	5.50	28,160
Furring	6,720	SF	6.00	40,320
Exhaust Shaft	5,120	SF	12.00	61,440
Suspended Drywall Ceilings	18,044	SF	8.00	144,352
GWB + Vapor Barrier+ Batt @ Exterior Wall	37,314	SF	4.00	149,256
				<u>1,014,888</u>

09300 TILEWORK

Marble Tile Floor	5,125	SF	30.00	153,750
Marble Tile Base	2,873	SF	30.00	86,190
Marble Tile Wall	23,284	SF	30.00	698,520
Marble Saddles	64	EA	50.00	3,200
				<u>941,660</u>

09550 WOOD FLOORING

Strip Oak Flooring	36,323	SF	10.00	363,230
				<u>363,230</u>

09650 RESILIENT FLOORING

Carpet at Corridors	535	SY	35.00	18,725
VCT	788	SF	3.00	2,364
Vinyl Base	415	LF	3.00	1,245
				<u>22,334</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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TYPICAL RESIDENTIAL

09900 PAINTING/WALLCOVERING

Sealed Concrete	6,489	SF	0.60	3,893
Partitions - Paint	118,952	SF	0.65	77,319
Gyp Ceiling - Paint	18,044	SF	1.00	18,044
Kadex On Concrete Slab	24,520	SF	2.00	49,040
Paint Mas/Conc Walls	8,052	SF	0.85	6,844
Paint WD Base	11,289	LF	2.00	22,578
Paint Stairs	25	FLT	750.00	18,750
Paint Stair Railing	800	LF	5.00	4,000
Doors and Frames	582	LVS	60.00	34,920
Vinyl Wallcovering @ Corridors	12,912	SF	3.00	38,736
Miscellaneous Painting	1	LS	5,000.00	5,000
				<u>279,124</u>

10400 IDENTIFYING DEVICES

# of Apartments	51	EA	200.00	10,200
				<u>10,200</u>

10550 POSTAL SPECIALTIES

Mailboxes	51	EA	150.00	7,650
				<u>7,650</u>

10800 TOILET PARTITIONS/ACCESSORIES

Powder rooms	-	EA	100.00	0
Baths	64	EA	200.00	12,800
				<u>12,800</u>

11175 TRASH CHUTE & COMPACTOR

Trash Chute	130	LF	125.00	16,250
Compactor	1	EA	20,000.00	20,000
				<u>36,250</u>

11450 RESIDENTIAL EQUIPMENT

Allow for Appliances	51	SET	4,500.00	229,500
				<u>229,500</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
------	-------------	----------	------	---------	--------

TYPICAL RESIDENTIAL

14200 ELEVATOR

Passenger 13 Stop	1	EA	325,000.00	325,000
				<u>325,000</u>

15300 FIRE PROTECTION

Sprinkler System Incl Standpipes	55,019	SF	6.50	357,624
				<u>357,624</u>

15400 PLUMBING

Equipment				
Water Heaters,Tanks, Pumps,etc	1	LS	150,000.00	150,000
Gas Piping & Meters	1	LS	90,000.00	90,000
Water Closets	64	EA	2,500.00	160,000
Bathtubs	64	EA	2,500.00	160,000
Lavatories	64	EA	2,200.00	140,800
Kitchen Sinks	51	EA	2,200.00	112,200
Terrace Drains	11	EA	2,000.00	22,000
Roof Drains	4	EA	2,000.00	8,000
				<u>843,000</u>

15500 HEATING, VENTILLATING AND AIR CONDITIONING

Boilers. Pumps, ETC	1	LS	150,000.00	150,000
Ventilation for Basement	4,600	SF	8.00	36,800
HVAC for Lobby	558	SF	25.00	13,950
HVAC per Unit	51	EA	25,000.00	1,275,000
Corridor Supply Air Handler	1	EA	35,000.00	35,000
Kitchen Exhaust	5	EA	5,000.00	25,000
Toilet Exhaust	5	EA	5,000.00	25,000
Elevator machine Room Unit	1	EA	5,000.00	5,000
Trash Room Unit	1	EA	5,000.00	5,000
Meter Room Exhaust fans	2	EA	2,500.00	5,000
DDC Controls	1	LS	30,000.00	30,000
Tempetature Control	51	APT	500.00	25,500
Testing & Balancing	1	LS	10,000.00	10,000
				<u>1,641,250</u>

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/21/14
REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
------	-------------	----------	------	---------	--------

TYPICAL RESIDENTIAL

16000 ELECTRIC

Equipment	1	LS	100,000.00	100,000
Meters	52	SET	750.00	39,000
Panelboards & Risers	53	EA	3,200.00	169,600
Power & Lighting for Basement	4,600	SF	8.00	36,800
Power & Lighting for Lobby	558	SF	20.00	11,160
Lighting & Power at Units	49,861	SF	12.00	598,332
Fire Alarm System Class"C"	55,019	SF	1.50	82,529
House Intercom/Video System	52	EA	650.00	33,800
Cable TV Raceways	11	RIS	3,000.00	33,000
Telephone Raceway System	11	RIS	3,000.00	33,000
				<u>1,137,221</u>

McQUILKIN ASSOCIATES, LLC							DATE:	5/21/14
PROJECT: 11 AVENUE C							REV.:	
LOCATION: NEW YORK, NY			TYPICAL RESIDENTIAL					
			BASIC AREA SHEET					
	SOG	STRUCT	GROSS	ROOF	TERRACE	LINEAR	FL to FL	GROSS
FLOOR	AREA	AREA	ENCLOS'D	AREA		FOOT	HEIGHT	EXTERIOR
			AREA			PERIM		
Cellar	4,600		4,600			316	12.00	Found
1st		4,600	4,600		-	316	10.00	3,160
2nd		4,600	4,600		-	316	10.00	3,160
3rd		4,600	4,600		-	316	10.00	3,160
4th		4,600	4,600		-	316	10.00	3,160
5th		4,600	4,600		-	316	10.00	3,160
6th		4,600	4,600		-	316	10.00	3,160
7th		4,600	4,600		-	316	10.00	3,160
8th		4,600	4,600		-	316	10.00	3,160
9th		4,600	3,674		926	286	10.00	2,860
10th		3,674	3,465		209	286	10.00	2,860
11th		3,465	3,260		205	286	10.00	2,860
12th		3,260	3,056		204	286	10.00	2,860
Roof		3,056	164	2,892		66	9.00	594
		164		164				-
	4,600	55,019	55,019	3,056	1,544	4,054	141	37,314

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/21/14
 REV.:

UNIT MATRIX

TYPICAL RESIDENTIAL

Type/Floor	1	2	3	4	5	6	7	8	9	10	11	12	TOTALS
1BR 1BTH	5	4	4	4	4	4	4	4	1	1	3		-
2BR 2BTH		1	1	1	1	1	1	1	2	2		2	38
													13
													-
													-
TOTALS	5	5	5	5	5	5	5	5	3	3	3	2	51
Kitchens	5	5	5	5	5	5	5	5	3	3	3	2	51
Beds	5	6	6	6	6	6	6	6	5	5	3	4	64
Baths	5	6	6	6	6	6	6	6	5	5	3	4	64
Plumbing Fixture	20	23	23	23	23	23	23	23	18	18	12	14	243

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CAL, 119

11 AVENUE C

Proposed Residential

Preliminary Construction Cost Estimate

New York, New York

May 23, 2014

McQUILKIN ASSOCIATES, LLC

Construction Consultants

500 Morris Avenue
Springfield, NJ 07081
Tel: 973-218-1600
Fax: 973-218-1700

McQUILKIN ASSOCIATES, LLC
PROJECT: 11 AVENUE C
LOCATION: NEW YORK, NY

DATE: 5/23/14
REV.:

PROPOSED RESIDENTIAL

QUALIFICATIONS

- 1 Estimate is based on drawings SK-000 through SK-303 as prepared by Rotwein+Blake dated 5/9/14 labeled Proposed Scheme (FAR 7.2)
- 2 Escalation - Estimate Based on Construction Start 2ND Qtr 2014

EXCLUSIONS

- 1 Design/Professional fees.
- 2 Surveys & Reports
- 3 Treatment/Removal of Contaminated Materials
- 4 Controlled Testing and Inspection
- 5 Public Agency Approvals/Inspection Fees
- 6 Building permit/filing fees.
- 7 Builder's risk insurance.
- 8 Utility Company Charges (other than Temporary for Contractor)
- 9 Overtime
- 10 Performance Bond
- 11 Tenant Fit Out- Retail
- 12 Mock-Ups
- 13 Contractors Profit or Construction Manager's Fee

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CSI CODE	DESCRIPTION	TOTAL
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PROPOSED RESIDENTIAL

01500	TEMPORARY CONSTRUCTION	419,125
02500	PAVING & SURFACING	81,444
02600	SITE UTILITIES	88,500
02800	PILING	492,000
02950	EXCAVATION/FOUNDATION	1,045,362
3300	SUPERSTRUCTURE CONCRETE	3,648,550
04100	MASONRY	179,586
05500	MISCELLANEOUS IRON	55,690
06100	ROUGH CARPENTRY	165,931
06200	FINISH CARPENTRY	295,712
07100	WATERPROOFING	48,428
07510	ROOFING/INSULATION/FIRESTOPPING	253,060
07900	CAULKING & SEALANTS	83,397
08100	HOLLOW METAL	17,400
08200	WOOD DOORS	24,200
08400	ENTRANCES AND STOREFRONT	411,500
08700	HARDWARE	58,000
08950	EXTERIOR FAÇADE	2,421,630
09000	INTERIOR FIT OUT	94,500
09250	DRYWALL	981,776
09300	TILE	887,800
09550	WOOD FLOORING	330,500
09650	RESILIENT FLOORING	24,014
09900	PAINTING	268,088
10400	IDENTIFYING DEVICES	9,200
10550	POSTAL SPECIALTIES	6,900
10800	TOILET ACCESSORIES	12,400
11175	TRASH CHUTE & COMPACTOR	35,000
11450	RESIDENTIAL EQUIPMENT	207,000
14200	ELEVATORS	275,000
15300	FIRE PROTECTION	360,412
15400	PLUMBING	803,600
15500	HEATING, VENTILATING AND AIR CONDITIONING	1,521,742
16,000	ELECTRICAL WORK	1,134,562
		<hr/>
		SUBTOTAL 16,742,009
GENERAL CONDITIONS 12%		2,009,041
		<hr/>
		SUBTOTAL 18,751,050
INSURANCE 3%		562,531
		<hr/>
		TOTAL 19,313,581

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

01500 TEMPORARY CONSTRUCTION

Sidewalk Bridge	325	LF	175.00	56,875
Construction Fence	350	LF	35.00	12,250
Hoist	1	LS	350,000.00	350,000
				<u>419,125</u>

02500 PAVING & SURFACING

Sidewalks	3,762	SF	12.00	45,144
Concrete Curbs	330	LF	60.00	19,800
Repair Street	330	LF	50.00	16,500
				<u>81,444</u>

02600 SITE UTILITIES

Water Service	1	EA	18,000.00	18,000
Sewer Service	1	EA	22,000.00	22,000
Gas Service	1	EA	18,000.00	18,000
Telephone Service	1	EA	5,000.00	5,000
Fire Service	1	EA	18,000.00	18,000
Electrical Service	1	EA	7,500.00	7,500
				<u>88,500</u>

02800 PILING

Steel H Piles	6,800	LF	65.00	442,000
Load Testing	2	EA	25,000.00	50,000
				<u>492,000</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

02950 EXCAVATION/FOUNDATION

Sheeting & Shoring	5,456	SF	60.00	327,360
General Excavation	3,320	CY	50.00	166,000
Backfill Foundation Walls	498	CY	45.00	22,410
Underpinning	54	LF	2,500.00	135,000
Pumping	1	LS	75,000.00	75,000
Footing Excavation	225	CY	60.00	13,500
Pile Caps	100	CY	750.00	75,000
Wall Footings	38	CY	650.00	24,700
Foundation Walls	152	CY	950.00	144,400
Slab on Grade	5,874	SF	8.00	46,992
Elevator Pits	1	EA	15,000.00	15,000
				<u>1,045,362</u>

03300 SUPERSTRUCTURE CONCRETE

8" Flat Plate Incl Cols & Beams	56,775	SF	62.00	3,520,050
Concrete Stairs	19	FLT	6,500.00	123,500
Misc. Concrete	1	LS	5,000.00	5,000
				<u>3,648,550</u>

04100 MASONRY

8" CMU	8,163	SF	22.00	179,586
				<u>179,586</u>

05500 MISCELLANEOUS IRON

Stair Railings Wall Mtd	608	LF	55.00	33,440
Miscellaneous Iron	1	LS	20,000.00	20,000
Elevator Pit Ladder	1	EA	750.00	750
Hoist Beams	1	EA	1,500.00	1,500
				<u>55,690</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

06100 ROUGH CARPENTRY

Protection (Allow) incl Roof	10	FL	2,000.00	20,000
Perimeter Netting Incl Roof	3,086	LF	8.50	26,231
Roof Blocking	1	LS	5,000.00	5,000
Install Wood Doors & Frames - Single	140	EA	200.00	28,000
Install Wood Doors Double - Slider	100	PR	100.00	10,000
Install Kitchen Cabinets	46	Set	450.00	28,000
Bathroom Vanity	62	EA	100.00	6,200
Install H.M. Doors & Frames - Single	85	EA	200.00	17,000
Roof Terrace Dividers	42	LF	250.00	10,500
Misc blocking	1	LS	15,000.00	15,000
				<u>165,931</u>

06200 FINISH CARPENTRY

Wood Base	11,304	LF	3.00	33,912
Closet Shelf & Pole	1,130	LF	20.00	22,600
Kitchen cabinets & Countertops	45	SET	4,500.00	202,500
Medicine cabinets	62	EA	350.00	21,700
Concierge/Mailroom Millwork	1	LS	15,000.00	15,000
				<u>295,712</u>

07100 WATERPROOFING

Elevator Pit	1	EA	5,000.00	5,000
Slab on Grade	5,874	SF	6.00	35,244
Foundation Walls	1,023	SF	8.00	8,184
				<u>48,428</u>

07510 ROOFING/INSULATION/FIRESTOPPING

Membrane Roofing	7,183	SF	25.00	179,575
Terrace/Balcony Pavers	4,899	SF	15.00	73,485
				<u>253,060</u>

07900 CAULKING & SEALANTS

Caulking - Interior	55,448	SF	0.50	27,724
Caulking - Exterior	37,115	SF	1.50	55,673
				<u>83,397</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

08100 HOLLOW METAL

H.M. Doors & Frames Apartment Entry - Single	6	EA	400.00	2,400
H.M. Doors & Frames Stair - Single	25	EA	375.00	9,375
H.M. Doors & Frames Service - Single	15	EA	375.00	5,625
				<u>17,400</u>

08210 WOOD DOORS

Apartment Interior Doors & Frames	14	EA	300.00	4,200
Closet Double Sliders	100	PR	200.00	20,000
				<u>24,200</u>

08400 ENTRANCES & STOREFRONT

Terrace Glass Doors - Single Swing	78	EA	2,500.00	195,000
Terrace Glass Doors - Double Swing	1	PR	8,000.00	8,000
Entry Doors - Double	3	PR	10,000.00	30,000
Storefront	1,785	SF	100.00	178,500
				<u>411,500</u>

08700 HARDWARE

Apartment Entry Doors	45	SETS	400.00	18,000
Apartment Interior Doors	240	SETS	100.00	24,000
Stair/Service Doors	40	SETS	400.00	16,000
				<u>58,000</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

08950 EXTERIOR FAÇADE

Lot Line Block wall	2,970	SF	22.00	65,340
Granite Water Table	234	SF	150.00	35,100
Cast Stone Panels	2,449	SF	85.00	208,165
Cast Stone Cornice	136	LF	500.00	68,000
Cast Stone Balcony Edge @ 2nd Floor	96	LF	250.00	24,000
Limestone Panels	408	SF	150.00	61,200
Corten Steel Panel	56	SF	250.00	14,000
Brick Cavity Walls	5,355	SF	65.00	348,075
Brick Piers	3,120	SF	85.00	265,200
Brick parapets	585	SF	125.00	73,125
Aluminum Composite Panels	7,769	SF	65.00	504,985
Aluminum Composite Panel Parapets	1,149	SF	85.00	97,665
Aluminum Composite Panel - Overhang	715	SF	75.00	53,625
Windows	6,762	SF	75.00	507,150
Awnings	96	LF	1,000.00	96,000
				<u>2,421,630</u>

09000 INTERIOR FIT-OUT

Entrance Lobby Area	270	SF	350.00	94,500
				<u>94,500</u>

09250 DRYWALL

Partitions:				
Corridor	14,660	SF	9.00	131,940
Stair Walls	7,490	SF	12.00	89,880
Demising	7,200	SF	9.00	64,800
Interior 1M1	42,380	SF	6.00	254,280
Demising Chase	1,760	SF	9.00	15,840
Chase	4,880	SF	5.50	26,840
Furring	1,080	SF	6.00	6,480
Exhaust Shaft	8,668	SF	12.00	104,016
Suspended Drywall Ceilings	17,405	SF	8.00	139,240
GWB + Vapor Barrier+ Batt @ Exterior Wall	37,115	SF	4.00	148,460
				<u>981,776</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

09300 TILEWORK

Marble Tile Floor	5,014	SF	30.00	150,420
Marble Tile Base	2,664	SF	30.00	79,920
Marble Tile Wall	21,812	SF	30.00	654,360
Marble Saddles	62	EA	50.00	3,100
				<u>887,800</u>

09550 WOOD FLOORING

Strip Oak Flooring	33,050	SF	10.00	330,500
				<u>330,500</u>

09650 RESILIENT FLOORING

Carpet at Corridors	589	SY	35.00	20,615
VCT	979	SF	3.00	2,937
Vinyl Base	154	LF	3.00	462
				<u>24,014</u>

09900 PAINTING/WALLCOVERING

Sealed Concrete	7,588	SF	0.60	4,553
Partitions - Paint	107,905	SF	0.65	70,138
Gyp Ceiling - Paint	17,405	SF	1.00	17,405
Kadex On Concrete Slab	23,116	SF	2.00	46,232
Paint Mas/Conc Walls	13,339	SF	0.85	11,338
Paint WD Base	11,304	LF	2.00	22,608
Paint Stairs	19	FLT	750.00	14,250
Paint Stair Railing	608	LF	5.00	3,040
Doors and Frames	423	LVS	60.00	25,380
Vinyl Wallcovering @ Corridors	16,048	SF	3.00	48,144
Miscellaneous Painting	1	LS	5,000.00	5,000
				<u>268,088</u>

10400 IDENTIFYING DEVICES

# of Apartments	46	EA	200.00	9,200
				<u>9,200</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

10550 POSTAL SPECIALTIES

Mailboxes	46	EA	150.00	6,900
				<u>6,900</u>

10800 TOILET PATITIIONS/ACCESSORIES

Powder rooms	-	EA	100.00	0
Baths	62	EA	200.00	12,400
				<u>12,400</u>

11175 TRASH CHUTE & COMPACTOR

Trash Chute	120	LF	125.00	15,000
Compactor	1	EA	20,000.00	20,000
				<u>35,000</u>

11450 RESIDENTIAL EQUIPMENT

Allow for Appliances	46	SET	4,500.00	207,000
				<u>207,000</u>

14200 ELEVATOR

Passenger 11 Stop	1	EA	275,000.00	275,000
				<u>275,000</u>

15300 FIRE PROTECTION

Sprinkler System Incl Standpipes	55,448	SF	6.50	360,412
				<u>360,412</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

15400 PLUMBING

Equipment					
Water Heaters,Tanks, Pumps,etc	1	LS	150,000.00		150,000
Gas Piping & Meters	1	LS	90,000.00		90,000
Water Closets	62	EA	2,500.00		155,000
Bathtubs	62	EA	2,500.00		155,000
Lavatories	62	EA	2,200.00		136,400
Kitchen Sinks	46	EA	2,200.00		101,200
Terrace Drains	4	EA	2,000.00		8,000
Roof Drains	4	EA	2,000.00		8,000
					<u>803,600</u>

15500 HEATING, VENTILLATING AND AIR CONDITIONING

Boilers. Pumps, ETC	1	LS	150,000.00		150,000
Ventilation for Basement	5,874	SF	8.00		46,992
HVAC for Lobby	270	SF	25.00		6,750
HVAC per Unit	46	EA	25,000.00		1,150,000
Corridor Supply Air Handler	1	EA	35,000.00		35,000
Kitchen Exhaust	5	EA	5,000.00		25,000
Toilet Exhaust	6	EA	5,000.00		30,000
Elevator machine Room Unit	1	EA	5,000.00		5,000
Trash Room Unit	1	EA	5,000.00		5,000
Meter Room Exhaust fans	2	EA	2,500.00		5,000
DDC Controls	1	LS	30,000.00		30,000
Tempetature Control	46	APT	500.00		23,000
Testing & Balancing	1	LS	10,000.00		10,000
					<u>1,521,742</u>

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

CODE	DESCRIPTION	QUANTITY	UNIT	UNIT PR	AMOUNT
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PROPOSED RESIDENTIAL

16000 ELECTRIC

Equipment	1	LS	100,000.00	100,000
Meters	48	SET	750.00	36,000
Panelboards & Risers	49	EA	3,200.00	156,800
Power & Lighting for Basement	5,874	SF	8.00	46,992
Power & Lighting for Lobby	270	SF	20.00	5,400
Lighting & Power at Units	49,304	SF	12.00	591,648
Fire Alarm System Class"C"	55,448	SF	1.50	83,172
House Intercom/Video System	47	EA	650.00	30,550
Cable TV Raceways	14	RIS	3,000.00	42,000
Telephone Raceway System	14	RIS	3,000.00	42,000
				<u>1,134,562</u>

McQUILKIN ASSOCIATES, LLC								DATE:	5/23/14
PROJECT: 11 AVENUE C								REV.:	
LOCATION: NEW YORK, NY			PROPOSED RESIDENTIAL						
			BASIC AREA SHEET						
FLOOR	SOG AREA	STRUCT AREA	GROSS ENCLOS'D AREA	ROOF AREA	TERRACE	BALC AREA	LINEAR FOOT PERIM	FL to FL HEIGHT	GROSS EXTERIOR
Cellar	5,874		5,874				341	12.00	1,023
1st		5,874	5,656		218		360	15.00	5,400
2nd		5,887	5,600			287	364	10.00	3,640
3rd		5,831	5,600			231	376	10.00	3,760
4th		5,765	5,600			165	376	10.00	3,760
5th		5,765	5,600			165	376	10.00	3,760
6th		5,765	5,600			165	376	10.00	3,760
7th		5,765	5,600			165	376	10.00	3,760
8th		5,765	5,600			165	376	10.00	3,760
9th		5,600	2,302		3,298		205	10.00	2,050
10th		2,342	2,284			40	205	10.00	2,050
Roof		2,284	132	2,152			56	7.00	392
		132		132					-
	5,874	56,775	55,448	2,284	3,516	1,383	3,787	124	37,115

McQUILKIN ASSOCIATES, LLC
 PROJECT: 11 AVENUE C
 LOCATION: NEW YORK, NY

DATE: 5/23/14
 REV.:

UNIT MATRIX

PROPOSED RESIDENTIAL

Type/Floor	2	3	4	5	6	7	8	9	10	TOTALS
1BR 1BTH	4	4	4	4	4	4	4	1	1	30
2BR 2BTH	2	2	2	2	2	2	2	1	1	16
										-
										-
TOTALS	6	6	6	6	6	6	6	2	2	46
Kitchens	6	6	6	6	6	6	6	2	2	46
Beds	8	8	8	8	8	8	8	3	3	62
Baths	8	8	8	8	8	8	8	3	3	62
Plumbing Fixture	30	30	30	30	30	30	30	11	11	232



May 23, 2014

2014 JUN -5 A 11:11

CAL. 110.

11 AVENUE C – AS OF RIGHT RESIDENTIAL

This document explains the cost premiums associated with constructing our As of Right residential building at the 11 Avenue C site with a Typical As of Right residential building site unencumbered by the construction cost hardships associated with the 11 Avenue C site. These construction cost premiums are caused by two factors.

1. Soil Conditions

Due to the poor soil conditions, we are required to construct a driven steel H pile foundation system to refusal onto bedrock to support our structure. As opposed to a more conventional spread footing foundation system.

2. Site Configuration

Because of the long, narrow, and tapered shape of the site, including street frontages on both sides of the site, the comparative costs of several items are adversely affected. The first being the exterior façade. Due to the site shape and the dual frontages, we have a considerably larger area of exterior façade than would be encountered in a typical residential scenario. The second affected area is the efficiency of the residential layouts. .

In order to calculate the construction cost premium, we offer the following:

Actual AOR Residential Building Cost	\$	18,106,660
Actual AOR Residential Building Area		45,986 SF
Actual AOR Residential Building Cost/SF		\$394/SF
Typical AOR Residential Building Cost	\$	18,927,838
Typical AOR Residential Building Area		55,019 SF
Typical AOR Residential Building Cost/SF		\$344/SF

By multiplying the Actual AOR area (45,986 SF) by the Cost/SF of the Typical AOR (\$344/SF), we ascertain the non-premium construction cost of our Actual AOR building to be (\$15,819,184).

To calculate the construction cost premium associated with our Actual AOR building. We deduct the non-premium construction cost (\$15,819,184) from the Actual AOR construction cost (\$18,106,660) resulting in a construction cost premium of \$2,287,476.



125-14-B7-

RECEIVED
2013 JUL -5 AM 11:11
CAL. NO.

July 15, 2013

Mr. Kevin Tartaglione
BLDG Management Co., Inc.
417 Fifth Avenue, 4th Floor
New York, New York 10016

**Re: Limited Soil Investigation Report
11 Avenue C
New York, NY 10009
Block 384, Lot 33
Emteque Project No. 13-6299**

Dear Mr. Tartaglione:

At the request of BLDG Management Co., Inc. (BLDG), Emteque LLC conducted a Limited Soil Investigation of the property located at 11 Avenue C (Block 384, Lot 33) in Manhattan, New York 10009 (hereafter referred to as the "Site"). *Figure 1* presents a Site Location Map.

The Site encompasses an area of approximately 5,246 square feet improved with a one-story slab on grade service garage encompassing an approximate 1,500-square foot footprint. The Site operates as an active gasoline filling station and automobile repair facility.

Emteque understands that a BLDG entity purchased the property and the planned development includes the construction of a nine-story mixed use building, with basement, encompassing the entire property.

This Limited Soil Investigation was performed to evaluate the environmental condition of subsurface soils during installation of four (4) geotechnical borings at the Site. The purpose of the investigation was to determine the nature and extent of petroleum-related and/or historic fill impacts to soil on the property that require special considerations during redevelopment. The analytical data collected during this study will also assist in preliminarily characterizing the soil anticipated to be excavated for construction of the new building. To accomplish these objectives, four (4) soil borings were advanced on the Site, and eight (8) soil samples were collected and submitted for laboratory analysis.

BACKGROUND

The New York State Department of Environmental Conservation (NYSDEC) was notified of a release on May 17, 1990 as a result of an underground storage tank (UST) tank test failure and Spill Case Number 9-001894 was assigned to the Site. The NYSDEC Spill Case No. 9-001894 is currently listed as open. The NYSDEC has assigned Petroleum Bulk Storage No. 2-157872 to the Site for the registration of twenty-one (21) active USTs. In addition, the Site was assigned E-designation (E-216) for noise attenuation. During the Limited Soil Investigation Emteque observed a large number of groundwater monitoring wells on the Site.

1350 Broadway, Suite 1901
New York, NY 10018-0891
P: 212 631 9000
F: 212 631 8066

23 Route 31 North, Suite B26
Pennington, NJ 08534-1600
P: 609 730 0007
F: 609 730 0011

DESCRIPTION OF SITE INVESTIGATION ACTIVITIES

The Limited Soil Investigation field activities were performed from June 17 to 20, 2013 and consisted of the following:

- Advancement of four (4) geotechnical soil borings; continuous soil sampling to 15 feet bgs, collection of a soil sample every five feet from 15 to 50 feet bgs, collection of a soil sample every ten feet from 50 to a maximum depth of 100.5 bgs, and selection for laboratory analysis of an aggregate total of eight (8) discrete soil samples from the borings.

A Site Plan showing all the sampling locations, Site features, tax block and lot number, and anticipated groundwater flow direction is provided as *Figure 2*. Representative photographs of the field investigation activities are included in *Attachment B*.

The scope of the field activities and methods are described below.

Subsurface Soil Investigation

A soil sampling program was conducted as part of the Limited Soil Investigation. Soil samples were collected to assess the current environmental conditions and to preliminarily characterize subsurface soil at the Site. *Figure 2* shows the locations of the geotechnical soil borings advanced at the Site. Four (4) soil borings were completed and eight (8) soil samples were selected and submitted for laboratory analysis. Soil sampling was conducted in accordance with the procedures set forth in the NYSDEC DER-10 Technical Guidance for Site Investigation and Remediation, dated May 2010 (DER-10).

The subsurface soil sampling was completed from July 17 to 20, 2013. Allied Drilling of Orangeburg, NY was retained as a subcontractor by JZN Engineering, PC for drilling services. Direct push and mud-rotary drilling methods, utilizing a truck-mounted drill rig, were used to retrieve soil samples from the four (4) boring locations. Soil samples were collected continuously from the ground surface to 15 feet bgs, every five feet from 15 to 50 feet bgs, and every ten feet from 50 to a maximum depth of 100.5 bgs in 2-foot long, 2-inch diameter split spoon samplers. A description of the soils retained in each sample core was logged by Emteque's on-site environmental scientist and the soils were screened in the field for the presence of VOCs with a PID. The soil boring logs are presented in *Attachment C*. Upon completion of each boring, each borehole was backfilled with drill cuttings, well sand and hydrated bentonite and then the ground surface was restored to its original condition (i.e., concrete or asphalt).

Indications of petroleum contaminated material including elevated PID readings (max reading of 1,289 ppm) and petroleum-like odor was observed in soil collected from the interval immediately above the groundwater or in saturated soil from soil boring locations B-2 from 9 to 14 feet bgs, B-3 from 11 to 13 feet bgs and B-4 from 9 to 15 feet bgs. In general, fill material consisting of red/brown sand, silts with fine gravel, red brick, asphalt, concrete, wood fragments and ash was encountered from ground surface to a depth of approximately 11 feet bgs at the borings advanced on-site. Below 11 feet bgs, native material consisting of sand, silts and clay was encountered to the bedrock surface encountered from 90 to 100.5 feet bgs. Groundwater was encountered at approximately 11 feet bgs at each soil boring location.

The procedure Emteque followed for the selection of discrete soil samples for analysis was as follows:

- At each boring location installed on-site two (2) discrete grab samples were selected for laboratory analysis as follows.
 - If no impacted soils were identified a discrete soil sample representing the depth interval most likely to be affected by historic fill and surface spills and a second sample from the interval directly below the UST invert was selected.

- If impacted soils were identified, a discrete soil sample representing the depth interval exhibiting the highest potential for contamination (based on field observations and PID readings) was submitted for laboratory analysis. A second discrete sample was collected from the first underlying apparent clean interval.

Discrete grab samples selected at borings installed on-site were analyzed for NYSDEC CP-51 Table 3 and Target Compound List (CP-51/TCL) listed VOCs, CP-51/TCL listed semi-volatile organic compounds (SVOCs), Target Analyte List (TAL) metals (cyanide and hexavalent chromium), TCL Pesticides, TCL polychlorinated biphenyls (PCBs).

The samples were collected and containerized in accordance with NYSDEC/USEPA protocols. Each container was properly labeled, preserved, and placed in a cooler for transport via courier to York Laboratories of Stratford, CT. York is a NYSDOH ELAP-certified analytical laboratory. Standard chain-of-custody procedures were followed. Summaries of the analytical results are included in Table 1 through Table 5, and copy of the analytical report is attached in *Attachment D*.

SITE DESCRIPTION AND PHYSICAL CHARACTERISTICS

The Site encompasses an area of approximately 5,246 square feet and is improved with a one-story slab on grade service garage encompassing an approximate 1,500-square foot footprint. According to available records the Site has operated as a gasoline filling station and automobile repair facility since at least 1961.

The Site is located in an area primarily characterized by residential, commercial, and institutional buildings. The Site is bordered by East Second Street and mid-rise residential buildings to the north, East Houston Street followed by low- and mid-rise residential and commercial buildings to the south, Avenue C followed by Gustave Hartman Square to the east, and low-rise commercial and residential buildings to the west. A site location map is shown on *Figure 1* and a sampling location plan is shown on *Figure 2*.

Topography

Based on field observations, the topography of the immediate Site area is relatively flat. The topography of the surrounding area generally slopes downward to the east. According to the United States Geological Survey (USGS) 7.5-Minute Quadrangle Map (Brooklyn, NY 1995), the elevation of the Site property ranges from approximately 17 to 20 feet above mean sea level (amsl). A copy of the topographic map is presented in *Figure 1*.

Geology

According to the "Bedrock and Engineering Geologic Maps of New York County and Parts of Kings and Queens Counties, New York, and Parts of Bergen and Hudson Counties, New Jersey", by Charles A. Baskerville, 1994, the Site is underlain by glacial till that consists of a mixture of clay, silt, sand, gravel, and boulders followed by bedrock consisting of white calcite-dolomite marble (Inwood Marble) and lenses in the Heartland Formation, and coarse-grained siliceous dolomite. It is likely that the soil underlying the Site consists of urban fill due to New York City's long history of urban development. Urban fill typically consists of brick, loose granular soils, construction and demolition debris, wood, and cinders often containing detectable levels of metals and poly-cyclic aromatic hydrocarbons (PAHs). Based on a review of the 1994 Charles A. Baskerville map, "Bedrock and Engineering Geologic Maps of Bronx County and Parts of New York and Queens Counties, New York", the depth to bedrock on the Site ranges from approximately 78 to 98 feet bgs. Bedrock was encountered during installation of soil borings at the Site at depths ranging from 90 to 100.5 feet bgs. Fill material consisting of red/brown sand, silts with fine gravel, brick, asphalt, concrete, wood fragments and ash was encountered at the Site to a depth of approximately 11 feet bgs. Below 11 feet bgs, native material consisting of sand, silts and clay was

encountered to bedrock.

Hydrology

The Site is located approximately 0.45 miles west of the East River. Based on a review of the United States Geological Survey (USGS) 7.5-Minute Topographic Quadrangle Map (Brooklyn, New York, 1995), the assumed hydraulic gradient direction is east (towards the East River). Estimated groundwater levels and/or flow directions may vary due to seasonal fluctuations in precipitation, local usage demands, geology, underground structures, and dewatering operations. During the Limited Soil Investigation, groundwater was encountered from approximately 9 to 11 feet bgs at the Site.

DISCUSSION OF FINDINGS

This section presents a discussion of the findings of the Limited Soil Investigation. Tabulated results of laboratory analyses are presented in the Tables section of this report. Laboratory quality control (QC) issues for specific media, if present, are discussed in the appropriate sections below. The complete laboratory analytical data packages are included in *Attachment D*.

Applicable Regulatory Standards

This subsection identifies the NYSDEC regulatory standards and guidelines used to evaluate the soil sample analytical results.

Soil Cleanup Objectives (SCOs)

The Unrestricted Use SCOs found in 6 NYCRR 375-6, Remedial Program Soil Cleanup Objectives are the appropriate standards for use in evaluating the results of the analyses of the soil samples. Soil which is free of contaminants above these standards is suitable for "unrestricted use" which is the land use category without imposed restrictions, such as environmental easements or other land use controls.

In addition, the Soil Cleanup Levels (SCLs) for Fuel Oil Contaminated Soil found in Table 3 of Commissioner Policy 51 (CP-51), "Soil Cleanup Guidance", dated October 21, 2010 were used to evaluate the VOC and SVOC soils data. CP-51 replaces the Technical and Administrative Guidance Memorandum (TAGM) 4046: Determination of Soil Cleanup Objectives and Cleanup Levels (January 24, 1994); the Petroleum Site Inactivation and Closure Memorandum (February 23, 1998); and Sections III and IV of Spill Technology and Remediation Series (STARS) Memo #1 (August 1992).

Subsurface Soil Sampling Findings

The laboratory reported that the laboratory blank recoveries were outside of the control limits for certain analytes for soil samples analyzed via USEPA Method 8260. Based on a review of these qualifications, the usability of the data for its intended use is not affected.

Volatile Organic Compounds (VOCs) in Soil

The results of the analysis of the soil samples indicate that two (2) VOCs analyzed for were detected in one or more samples above the Unrestricted Use SCOs and/or SCLs. A summary of the compounds and concentrations which exceed Unrestricted Use SCOs and/or SCLs is provided below:

VOCs Detected in Soil at Concentrations Greater than Unrestricted Use SCO and/or SCLs

Sample ID Date Sampled Collected Sample Depth	B-3 6/19/13 11 – 13' bgs	B-4 6/20/13 11 – 13' bgs	Unrestricted Use SCO	SCL
Units	mg/kg	mg/kg	mg/kg	mg/kg
Acetone	1.3 U	0.32 J,B, D	0.5	NC
n-Butylbenzene	17 D	1.0 D	12	12

Notes:

- Bold** = Result exceeds Unrestricted Use SCO and/or SCL
 mg/kg = milligrams per kilogram
 bgs = below ground surface
 D = Result is from an analysis that required a dilution.
 J = Estimated Value
 B = Analyte detected in the method blank
 NC = No criterion

As the table indicates acetone and n-butylbenzene were detected in one or more soil samples above their respective Unrestricted Use SCOs and/or SCLs. Emteque attributes the detected concentration of n-butylbenzene exceeding the regulatory criteria to the characteristics of petroleum impacted materials since elevated PID readings and petroleum-like odor were observed in sample B-3 from 11 to 13 feet bgs. The concentration of acetone detected in sample B-4 (11 – 13) is attributed to laboratory contamination since acetone was detected in the method blank. The analytical data is summarized in Table 1. The analytical data package is presented as *Attachment D*.

Semi-Volatile Organic Compounds (SVOCs) in Soil

The results of the analysis of the soil samples indicate that one (1) SVOC analyzed for was detected in one or more samples above the Unrestricted Use SCOs and/or SCLs. A summary of the compounds and concentrations which exceed Unrestricted Use SCOs and/or SCLs is provided below:

SVOCs Detected in Soil at Concentrations Greater than Unrestricted Use SCO and/or SCLs

Sample ID Date Sampled Collected Sample Depth	B-2 6/18/13 11 – 13' bgs	Unrestricted Use SCO	SCL
Units	mg/kg	mg/kg	mg/kg
Naphthalene	28.9 D	12	12

Notes:

- Bold** = Result exceeds Unrestricted Use SCO and/or SCL
 mg/kg = milligrams per kilogram
 bgs = below ground surface
 D = Result is from an analysis that required a dilution.
 J = Estimated Value

As the table indicates, naphthalene was detected in one soil sample above the respective Unrestricted

Use SCOs and/or SCLs. Emteque attributes the detected SVOC concentration exceeding the regulatory criteria to characteristics of petroleum impacted materials since elevated PID readings and petroleum-like odor were detected observed in sample B-2 from 11 to 13 feet bgs. The analytical data is summarized in Table 2. The analytical data package is presented as *Attachment D*.

Metals, including Cyanide and Hexavalent Chromium in Soil

The results of the analysis of the subsurface soil sampling indicate that three (3) metals analyzed for were detected at concentrations above corresponding Unrestricted Use SCOs. A summary of the compounds and concentrations which exceed Unrestricted Use SCOs is provided below:

Metals Detected in Soil at Concentrations Greater than Unrestricted Use SCOs

Sample ID Date Sampled Collected Sample Depth	B-1 6/17/13 1 – 4' bgs	B-1 6/17/13 11 – 13' bgs	Unrestricted Use SCO
Units	mg/kg	mg/kg	mg/kg
Copper	155	13.8	50
Lead	104	85.9	63
Zinc	319	42.0	109

Notes:

Bold = Result exceeds Unrestricted Use SCO

mg/kg = milligrams per kilogram

bgs = below ground surface

As the table indicates, copper, lead and zinc were detected in one or more soil samples above their respective Unrestricted Use SCOs. Emteque attributes the detected metals concentrations exceeding the regulatory criteria to the characteristics of fill material and naturally occurring concentrations at the Site. The analytical data is summarized in Table 3 and the analytical data package is presented in *Attachment D*.

Polychlorinated biphenyls (PCBs) in Soil

The results of the analysis of the soil samples indicate that PCBs were not detected in any of the soil samples analyzed. The analytical data is summarized in Table 4. The analytical data package is presented in *Attachment D*.

Pesticides in Soil

The results of the analysis of the subsurface soil sampling indicate that three (3) pesticides analyzed for were detected at concentrations above corresponding Unrestricted Use SCOs. A summary of the compounds and concentrations which exceed Unrestricted Use SCOs is provided below:

Pesticides Detected in Soil at Concentrations Greater than Unrestricted Use SCOs

Sample ID Date Sampled Collected Sample Depth	B-1 6/17/13 1 – 4' bgs	Unrestricted Use SCO
Units	mg/kg	mg/kg
Chlordane	0.108 D	0.094
4,4'-DDE	0.0276 D	0.0033
4,4'-DDT	0.0847 D	0.0033

Notes:

- Bold** = Result exceeds Unrestricted Use SCO and/or SCL
mg/kg = milligrams per kilogram
bgs = below ground surface
D = Result is from an analysis that required a dilution.

As the table indicates, chlordane, 4,4'-DDE and 4,4'-DDT were detected in one soil sample above their respective Unrestricted Use SCOs. Emteque attributes the detected pesticide concentrations exceeding the regulatory criteria to the characteristics of fill material at the Site. The analytical data is summarized in Table 5 and the analytical data package is presented in *Attachment D*.

SUMMARY OF FINDINGS

Emteque LLC performed a Limited Soil Investigation consisting of the advancement of soil borings and collection and laboratory analysis soil samples. The results of the Limited Soil Investigation indicate the following:

- Indications of petroleum contaminated material including elevated PID readings (max reading of 1,289 ppm) and petroleum-like odor was observed in soil samples collected from the interval immediately above groundwater or in saturated soil from soil boring locations B-2 from 9 to 14 feet bgs, B-3 from 11 to 13 feet bgs and B-4 from 9 to 15 feet bgs.
- In general, fill material consisting of red/brown sand, silts with fine gravel, red brick, asphalt, concrete, wood fragments and ash was encountered from ground surface to a depth of approximately 11 feet bgs at the borings advanced on-site. Below 11 feet bgs, native material consisting of sand, silts and clay was encountered to the bedrock surface encountered from 90 to 100.5 feet bgs.
- The results of the analyses of soil samples revealed that the VOCs acetone and n-butylbenzene and SVOC naphthalene were detected in one or more soil samples above Unrestricted Use SCOs and/or CP-51 SCLs. In addition, the metals copper, lead and zinc and Pesticides chlordane, 4,4'-DDD and 4,4'-DDT were detected in one or more soil samples above their respective Unrestricted Use SCOs. Emteque attributes the detected VOCs and SVOCs (with the exception of acetone which is attributed to laboratory contamination) to the petroleum impacted material identified at three of the four soil borings advanced on the Site. Emteque attributes the metals and pesticides concentrations exceeding the regulatory criteria to the characteristics of fill material and/or naturally occurring concentrations at the Site. No PCBs were detected in the soil samples at concentrations above Unrestricted Use SCOs.
- Groundwater was encountered at approximately 11 feet bgs at each soil boring location.

CONCLUSIONS AND RECOMMENDATIONS

Based on the results of Emteque's Limited Soil Investigation, Emteque concludes the following:

- Indications of contamination including elevated PID readings (max reading of 1,289 ppm) and petroleum-like odor observed in soil samples collected from the interval immediately above groundwater or in saturated soil from soil borings location B-2 from 9 to 14 feet bgs, B-3 from 11 to 13 feet bgs and B-4 from 9 to 15 feet bgs.
- In general, fill material consisting of red/brown sand, silts with fine gravel, red brick, asphalt, concrete, wood fragments and ash was encountered from ground surface to a depth of approximately 11 feet bgs at the boring advanced on-site. Below 11 feet bgs, native material consisting of sand, silts and clay was encountered to the bedrock surface encountered from 90 to 100.5 feet bgs.
- The results of the analyses of soil samples revealed that select VOCs, SVOCs, pesticides and metals were detected in soil samples above Unrestricted Use SCOs and/or CP-51 SCLs. Emteque attributes the detected VOCs (with the exception of acetone which is attributed to laboratory contamination) and SVOCs to the petroleum impacted material identified at three of the four soil borings advanced on the Site. Emteque attributes the detected metals and pesticides concentrations exceeding the regulatory criteria to the characteristics of fill material and/or naturally occurring concentrations at the Site. No PCBs were detected in the soil samples at concentrations above Unrestricted Use SCOs.

Based on the results of the Limited Soil Investigation, Emteque recommends implementing the following remediation and environmental control measures during Site redevelopment.

- A records request should be filed with the NYSDEC to obtain files regarding the current status of the NYSDEC Spill Case No. 9-001894 assigned to the Site.
- Site development should involve coordination with the NYSDEC to ensure closure of spill case following completion of development.
- To prevent volatile organic compounds in soil vapor from entering the new building, a soil vapor barrier and active sub-slab depressurization system should be integrated into the building design.
- If soil at the Site is to be excavated during redevelopment, Emteque recommends properly characterizing the soil to identify appropriate material handling, reuse, and/or disposal requirements. Excavated material should be managed in accordance with applicable federal, state, and local laws and regulations and in consideration of the results of the characterization sampling and analysis. Based on the results of the analyses of soil samples collected during the Limited Soil Investigation, a portion of the material excavated from the Site is expected to be non-hazardous petroleum-contaminated and/or regulated material, and should be identified as non-hazardous excavated material for bidding purposes. Additionally, the project construction specifications should require completion of waste characterization sampling (including total petroleum hydrocarbons gasoline range organics) by the contractor.
- USTs, hydraulic lifts, and all associated on-site petroleum impacted soil (to approximately 15 feet below grade or four feet into the water table) should be excavated, decommissioned, and/or disposed of in accordance with all federal, state, and local regulations.


- Dewatering may be necessary during remedial excavation and treatment of dewatering effluent will likely be required prior to discharge to the municipal sewer. Dewatering, groundwater treatment, and disposal should be performed in accordance with applicable local, state and federal regulations. Dewatering required during construction should be minimized to mitigate potential influx of contaminated water from off-site sources toward the Site.
- The potential for buried structures, and debris from former onsite structures, could include asbestos-containing materials (ACM), lead-based paint (LPB) and/or and PCB-containing materials.
- If landscaped areas are incorporated into the development of the Site, a minimum 2-foot thick layer of environmentally clean fill should be placed over existing soil in those areas. Building foundations, pavements and other impervious surface materials would be considered engineering controls for purposes of providing a physical barrier between known contaminated media and building occupants and/or the general public.
- Suspect ACM, LBP, and/or PCB-containing materials should be properly managed during construction or demolition activities.
- Construction of the building will require Site excavation of petroleum-impacted odiferous soils. A community air monitoring plan should be implemented during excavation activities. Additionally, post-excavation samples should be collected in accordance with DER-10 to confirm the absence of petroleum-related VOCs and SVOCs at concentrations above regulatory criteria in unsaturated soil samples.

Based on the Limited Soil Investigation results, additional investigation is not recommended for the Site. A detailed description of the recommended engineering controls including a remediation cost estimate is included in *Attachment A*.

Please do not hesitate to contact me at (212) 631-9000 if you have any questions.

Sincerely,
WCD CONSULTANTS

Prepared by: 
Wes D. Lindemuth, CHMM, ASP
Project Manager

Reviewed by: 
Jim Capritti, CHMM
Principal

cc: File

Enclosures:

Figure 1 – Site Location Map
Figure 2 – Site Plan

Table 1 – Summary of Soil Sampling Results for Volatile Organic Compounds
Table 2 – Summary of Soil Sampling Results for Semi-Volatile Organic Compounds
Table 3 – Summary of Soil Sampling Results for Metals Including Hexavalent Chromium and Cyanide
Table 4 – Summary of Soil Sampling Results for Polychlorinated Biphenyls
Table 5 – Summary of Soil Sampling Results for Pesticides

Attachment A – Recommended Remediation and Cost Estimates
Attachment B – Photograph Log
Attachment C – Soil Boring Log
Attachment D – Laboratory Analytical Data Reports



125-14-R-7

March 24, 2014

Based on the results of the Limited Soil Investigation performed by WCD in June 2013 and a document review performed by WCD in October 2013, implementing the remediation and environmental control measures listed below is recommended for the property located at 11 Avenue C, New York, New York 10009 (Block 384, Lot 33):

- Site development should involve coordination with the NYSDEC to ensure closure of the spill case following completion of development.
- To prevent volatile organic compounds in soil vapor from entering the building, a soil vapor barrier and active sub-slab depressurization system should be integrated into the building design.
- Emteque recommends properly characterizing the soil to identify appropriate material handling, reuse, and/or disposal requirements. Excavated material should be managed in accordance with applicable federal, state, and local laws and regulations and in consideration of the results of the characterization sampling and analysis. Based on the results of the analyses of soil samples collected during the Limited Soil Investigation, material excavated from the Site is expected to be non-hazardous industrial waste, and should be identified as such for bidding purposes. Additionally, the project construction specifications should require completion of waste characterization sampling.
- A minimum of 2 feet of environmentally clean fill should be placed over remaining existing soils in all landscaped or exposed areas.
- USTs, hydraulic lifts, and all associated on-site petroleum impacted soil (to approximately 9 to 15 feet below grade or four feet into the water table) should be excavated, decommissioned, and/or disposed of in accordance with all federal, state, and local regulations.
- Dewatering may be necessary during remedial excavation and treatment of dewatering effluent will be required prior to discharge to the municipal sewer. Dewatering, groundwater treatment, and disposal should be performed in accordance with applicable local, state and federal regulations. Dewatering required during construction should be minimized to mitigate potential influx of contaminated water from off-site sources toward the Site.
- Any asbestos containing materials (ACM), lead-based paint (LBP), or polychlorinated biphenyl (PCB) containing materials (from the on-site structures and/or buried debris) affected by future redevelopment of the Site should be identified and properly managed during such activities.
- Construction of the building will require Site excavation of petroleum-impacted odiferous soils. A community air monitoring plan should be implemented during excavation activities. Additionally, post-excavation samples should be collected in accordance with DER-10 to confirm the absence of petroleum-related VOCs and SVOCs at concentrations above regulatory criteria in unsaturated soil samples.

Site Remediation – UST, Hydraulic Lift System and Associated Contaminated Soil Removal, Dewatering and Environmental Oversight

The cost estimate for the first remediation measure uses the following assumptions:

- Five (5) gasoline USTs and one (1) waste oil UST are present on Site;
- Two (2) hydraulic lift systems are present on Site;
- The five (5) gasoline USTs are 4,000-gallons in capacity and the waste oil UST is 550-gallons in capacity;
- The USTs and hydraulic lift systems contain a combined total of 10,000 gallons of fuel oil/waste oil/hydraulic oil;
- Approximately 1,450 tons of petroleum-contaminated material (PCM) will be removed from the Site (assumes Site is approximately 5,250 square feet, petroleum contaminated soil will be removed from 5 to 15 feet bgs and one cubic yard weighs 1.5 tons);
- Approximately 2,623 tons of non-hazardous regulated material will be removed from the Site (assumes Site is approximately 5,250 square feet, non-hazardous regulated materials will be removed from grade surface to 9 feet bgs and one cubic yard weighs 1.5 tons);
- Dewatering will be required for excavation into the water table. Dewatering will be performed using sump or "trash" pumps and dewatering fluids will be conveyed to an on-site treatment system consisting of a settling tank (i.e., oil-water separator), bag filters, and activated carbon. Dewatering will be required for a period of 4 weeks; and
- Soil characterization sampling is required by soil disposal facilities prior to acceptance of the material. The Site is approximately 5,250 square feet, the depth of excavation is estimated to extend to 15 feet bgs generating approximately 2,900 cubic yards of material.
- On-site environmental oversight is recommended during the Site remediation activities.

Activity	Units	Rate	Total
Removal and disposal of oil for recycling	10,000 gallons	\$1.00/gallon	\$10,000
Excavation, UST removal, hydraulic lift and tank decommissioning	Lump Sum	\$75,000	\$75,000
Soil Characterization Sampling	Lump Sum	\$17,000	\$17,000
CAMP Air Monitoring During Excavation	4 Weeks	\$5,300/week	\$21,000
Owner Environmental Inspector	4 Weeks	\$4,600/week	\$18,400
Transportation and disposal of 5 feet of overburden Historic Fill material within the building footprint. From 0 to 5 feet bgs.	1,460 tons	\$50/ton	\$73,000
Transportation and disposal of petroleum contaminated soil at a permitted landfill. From 5 to 15 feet bgs.	2,900 tons	\$90/ton	\$261,000
Transportation and disposal of soil generated during foundation installation.	150 tons	\$90/ton	\$13,500
Laboratory analysis of endpoint samples for CP-51 list VOCs/SVOCs	20 samples	\$200/sample	\$4,000
Closure Reporting and Agency Liaison	\$12,500	LS	\$12,500

Activity	Units	Rate	Total
Dewatering	\$100,000	LS	\$100,000
Activity Total Cost (rounded)			\$605,400
Engineering Design, Specifications, Drawings, Data Evaluation, and Labor Expenses (10%)			\$60,540
Subtotal Project Costs (rounded)			\$666,000
15% Contingency on all Costs (rounded)			\$99,900
Total System Cost (rounded):			\$765,900

First Engineering Control – Soil Vapor Barrier

The cost estimate for the vapor barrier is based on the following:

1. The proposed 9-story building includes a full basement.
2. The area of the vapor barrier includes an assumed building footprint of approximately 5,246 square feet with a 14 foot deep basement. Therefore, for cost estimating purposes, Emteque has assumed that the total area to be covered by the vapor barrier is approximately 10,020 square feet to cover any vertical sub-grade foundation elements (including an assumed 14 foot sub-grade wall and 341 foot building perimeter).

Vapor Barrier Cost Estimate

Activity	Units	Rate	Total
Install Vapor Barrier (Building footprint and sub-grade walls)	10,020 sf	\$5.50/sf	\$55,110
Activity Total Estimated Cost			\$55,110
Engineering Design, Specifications, Drawings, Data Evaluation, and Reporting Labor Expenses (20%)			\$11,022
Subtotal Estimated Project Costs			\$66,132
15% Contingency on all Costs (rounded)			\$9,919
Total System Cost (rounded):			\$76,051

Second Engineering Control – Sub-Slab Depressurization System (SSDS)

The cost estimate for the installation of an active SSDS is based on the following:

1. The building will be a nine-story building with full basement.
2. The SSDS would underlie the entire 5,246-square foot footprint of the proposed building.
3. The major components of the system will consist of sub-slab pits embedded in a 12-inch thick layer of permeable aggregate, roof-mounted suction fan, and steel pipe risers.
4. One (1) sub-slab pit will be required for every 6,000-square feet of building footprint. Therefore, one (1) sub-slab pit will be required. The sub-slab pit will be constructed of masonry block covered with 2-inch thick reinforced concrete planks.
5. Operations and maintenance (O&M) costs are not included.

Sub-Slab Depressurization System Cost Estimate

Activity	Units	Rate	Total Cost
Non-Woven Drainage Geotextile	600 sy	\$3/sy	\$1,800
12 Inches of Gas Permeable Aggregate Backfill and Compaction	200 cy	\$45/cy	\$9,000
Suction Pits and Associated Sub-Slab Piping	1 each	\$3,000/ea	\$3,000
Cast Iron Pipe Risers (four)	120 lf	\$95/lf	\$11,400
Roof-Mounted Suction Fans and Accessories	1 ea	\$4,000/ea	\$4,000
Monitoring Points	2 ea	\$800/ea	\$1,600
Testing	1 ea	\$5,000/ea	\$5,000
Activity Total Estimated Cost			\$35,800
Engineering Design, Specifications, Drawings, Data Evaluation, and Reporting Labor Expenses (Lump Sum)			\$15,000
Subtotal Project Costs			\$50,800
15% Contingency on all Costs			\$7,620
Total System Cost (rounded):			\$58,420

Total Engineering and Remediation Cost Estimate (Rounded)

Line Item Description	Cost
First Remediation Measure (UST, Hydraulic Lift System and Associated Contaminated Soil Removal and Groundwater Monitoring)	\$765,900
First Engineering Control (Soil Vapor Barrier)	\$76,051
Second Engineering Control (Active Sub-Slab Depressurization System)	\$58,420
Total (rounded)	\$900,371

Note: The total engineering and remedial cost estimate may change based on remedial measures required by the NYSDEC. In addition, the installation cost of the SSDS may change based on the design need to install an active SSDS below the water table.