438 East 12th Street, New York, NY 10009 Executive Summary

Project Overview

438 East 12th Street will be a newly constructed 158 unit building in Manhattan's East Village (the "Project"). The parcels are currently designated as Block 439, Lots 26, 27, 31, 33 and 34 on the Tax Map of the City of New York. All buildings previously on the site have been demolished and the site is currently vacant. The site of the Project is located at 438 East 12th Street, extending through to East 11th Street and with frontage along Avenue A (the "Site"), and is located in Community District 3. The Site area is approximately 27,000 square feet, and is split over between zoning districts, R8B and R7A/C2-5. It is well served by public transportation, including the L train at 14th Street and 1st Avenue, and the M14A and M14D buses at East 11th Street and Avenue A.



181 Avenue A, LLC, a New York limited liability company, is the owner of the Site as well as the applicant ("Applicant") under the Inclusionary Housing application to be submitted to New York City's Department of Housing Preservation and Development ("HPD"). The Project will contain 22 affordable units that will be designated as Inclusionary Housing units under HPD's Inclusionary Housing Program. These 22 Inclusionary Housing units will consist of 4 studios, 14 one-bedroom units, and 4 two-bedroom units. Applicant intends to enter into a regulatory agreement with HPD (the "Regulatory Agreement") that will provide that the 22 Inclusionary Housing units (the "IH Units") be set aside for households earning no more than 60% AMI for the duration of 421-a real estate tax benefits, and for as long as such 421-a affordability requirement exists, and thereafter at 80% of AMI, as more fully described below.

Prior to execution of the Regulatory Agreement, Applicant intends to convert the Project into a three-unit condominium by recording a declaration of condominium against the property. The condominium will consist of one (1) unit containing all of the residential apartments, except the Sponsor Unit (as

defined herein), one (1) unit containing the four (4) bedroom apartment on the seventh floor (the "Sponsor Unit"), and one (1) unit containing the retail space. Except for the Sponsor Unit, all of the residential apartments will be rentals.

The building will contain a total of approximately 157,864 gross square feet of floor area. Construction of the Project is expected to take approximately twenty (20) months with a full lease-up of the Project anticipated within such twenty (20) month period.

Project Design

The seven (7) story building will be "U" shaped, with interior units facing onto a landscaped courtyard. The building's façade will be primarily comprised of brick, with metal panel at the penthouse setback level and storefront at the ground floor retail. The building will have residential apartments on all floors, including garden apartments on the cellar level. The first floor apartments will be elevated approximately 3' above grade, and will be accessible not only by stairs but also by a rear-opening elevator. Approximately 10,000 square feet at the first floor and 8,000 square feet in the cellar are reserved for retail use. To enliven the courtyard façade and offer outdoor space, twenty-five (25) of the courtyard units will have balconies, five (5) of which will be IH Units.

The entrance to the building will be on East 12th Street, and the building will be staffed 24 hours a day by a concierge. Loading and move-ins will take place through a service corridor and entrance on Avenue A. Resident amenities will be housed in the cellar, opening to a landscaped courtyard, and on the top roof of the building. The amenities program is currently contemplated to include a fitness center and lounge in the cellar, as well as a swimming pool and landscaped deck on the roof. Access to these amenities will be fee-based. The fee will be reduced for the residents of the IH Units.

One two-bedroom unit will be set aside for the resident manager. All units will have individually controlled heating and cooling systems, ENERGY STAR ® appliances, and laundry closets with washers and dryers. The project will be constructed using a mat slab foundation and poured-in-place concrete structural system.

Financing

The Project will be privately financed by a permanent mortgage and equity after completion of construction. No HPD subsidy or any other form of government subsidy or financing will be required for the Project.

Applicant intends to obtain a private construction loan in the amount of \$82,000,000 to \$92,000,000. Additionally, developer equity will be used as part of the construction financing. The construction loan will be paid off entirely upon completion of construction by the proceeds of a permanent mortgage.

Tax Exemption

The Project is expected to receive a 421-a tax exemption, and all twenty-two (22) IH Units will be subject to 421-a program restrictions. In addition to the IH Units, there will be ten (10) apartments that will not be subject to the Regulatory Agreement, and will designated as 421-a affordable units only. Pursuant to the 421-a program, all the affordable units at the Project will be set aside for households earning no more than 60% of the area median income for the duration of the 421-a benefits, and for so long as the 421-a affordability requirements exist. Upon termination of 421-a affordability requirements the IH

Units will be set aside for households earning no more than 80% of AMI, and the ten (10) additional 421-a affordable units will cease to be encumbered by affordable restrictions.

Development Team

The Project will be developed by the father and son team of David S. Steiner and Douglas C. Steiner. The Applicant is a wholly owned subsidiary of 200 Laurel Associates, LLC. David and Douglas Steiner are the managing members of 200 Laurel Associates, LLC.

The Steiners own and operate a family business that has acted as builders, developers and owners for over 100 years. Current and recent residential projects include 58 and 80 Metropolitan, two market-rate condominium projects totaling 50 and 123 units respectively, and comprising a full city block in Williamsburg, Brooklyn; and the Hub, a 758,000 square foot, 52-story tower in Downtown Brooklyn that is being developed as an HFA 80/20 project with an Inclusionary component. The Steiners also own a 60 unit residential rental building at 204 Huntington Street as well as a mixed use residential and retail rental building at 142 N. 6th Street, both in Brooklyn.

S9, a division of Perkins Eastman, is the Project Architect. The design team, headed by Navid Maqami, has extensive experience designing residential projects in New York City. This is the third collaboration between the Steiner Family and the design team.

PROJECT NAME: 438 E. 12th Street

ADDRESS: 438 E. 12 th Street, New York, NY 10009

DATE: 9/12/13

Unit Size Chart

		To be compl	eted by developer's	s team			
		Construction					
Unit Su	mmary	Floor #	Marketing Floor #	Apt #	# Bdrms	Net Sq. Ft.	
# Bdrms	<u>Units</u>	7	7	701	1	588	
0 Bdrm	30			702	1	585	
1 Bdrm	98			703	2	1011	
2 Bdrm	29			704	1	700	
4 Bdrm	1			705	1	640	
Total	158			706	2	1116	
<u> </u>				707	2	961	
				708	4	3364	
				709	1	789	
				722	2	1016	
				723	2	977	
				724	1	613	
				727	1	557	
		6	6	601	1	588	
		- O	0	602	1	585	
				603	2	1011	
				604	2	1009	
				608	1	559	
				609	1	531	
				610	1	554	
				611	1	598	
				612	1	460	
				613	0	380	
				614	1	603	
				615	1	604	
				616	1	577	
				617	1	545	
				618	2	714	
				619	1	553	
				620	1	562	
				621	0	521	
				622	2	1016	
				623	2	977	
				624	1	613	
				627	1	557	
		5	5	501	1	588	
				502	1	585	
				503	1	579	
				504	0	369	
				505	0	435	
				506	0	423	
				507	1	564	
				508	1	561	
				509	1	531	

		306 307 308 309 310 311	0 1 1 1 1 1 1	423 564 561 531 554 598
		306 307 308 309	0 1 1	564 561 531
		306 307 308	0 1 1	564 561
		306 307	0	564
		306	0	
		305	0	435
		304	0	369
		303	1	579
		302	1	585
3	3	301	1	588
		427	1	541
		426	2	778
		425	0	401
		424	0	414
		423	2	750
		422	1	576
		421	1	580
		420	1	562
		419	1	553
		418	2	714
		417	1	545
		416	1	577
		415	1	604
		414	1	603
		413	0	380
		412	1	460
		411	1	598
 		410	1	554
 		409	1	531
		408	1	561
		407	1	564
		406	0	423
		405	0	435
+		404	0	369
+		403	1	579
4	4	402	1	585
4	4	401	1	588
+		527	1	541
		526	2	778
		525	0	401
+		523	0	414
+		523	2	750
		522	1	576
		520	1	580
+		520	1	562
		519	1	553
		518	2	714
		517	1	545
		516	1	577
		515	1	604
+		514	1	603
+		513	0	380
		512	1	460
+		510	1	598
Г	I	510	1	554

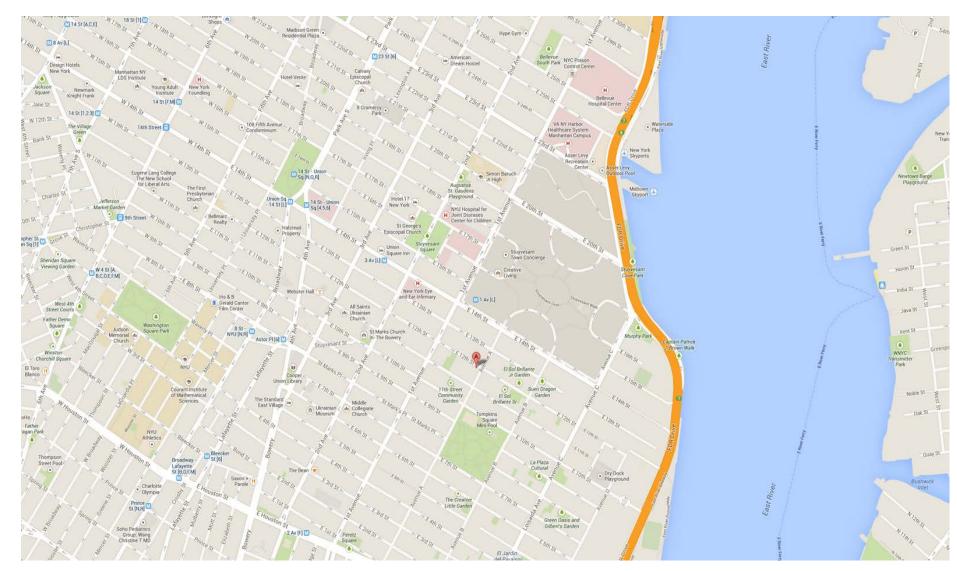
	312	1	460
	313	0	380
	314	1	603
	314	1	604
		1	
	316		577 545
	317	1	545
	318	2	714
	319	1	553
	320	1	562
	321	1	580
	322	1	576
	324	0	414
	325	0	401
	326	2	778
	327	1	541
2 2	201	1	588
	202	1	585
	203	1	579
	204	0	369
	205	0	435
	206	0	423
	207	1	564
	208	1	561
	209	1	531
	210	1	554
	211	1	598
	212	1	460
	213	0	380
	214	1	603
	215	1	604
	216	1	577
	217	1	545
	218	2	714
	219	1	553
	220	1	562
	221	1	580
	222	1	576
<u> </u>	223	2	750
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	225	0	401
	226	2	778
	227	1	541
1 1	101	2	843
	102	2	827
	104	0	369
	105	0	435
	106	1	600
	122	0	512
	123	2	747
	124	0	419
	125	1	559
	126	1	565
	127	1	530
CELLAR/ G	001	2	930
GARDEN	002	2	1140
LEVEL	003	2	915
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		_	
	004	2	1096

Super / Resident Manager Unit(s)

Construction Floor #	Marketing Floor #	Apt #	# Bdrms	Net Sq. Ft.
3	3	323	2	750

Form 07-16-2012



Neighborhood Plan



Site Overhead View



Keyed Neighborhood Plan



Image # 1 405 East 12th St



Image # 2 407 East 12th St



Image # 3 411 East 12th St



Image # 4 413 East 12th St



Image # 5 415 East 12th St



Image # 6 417 East 12th St



Image # 7 421 East 12th St



Image # 8 423 & 425 East 12th St



Image # 9 429 & 431 East 12th St







Image # 11 437 East 12th St



Image # 12 465 East 12th St



Image # 13 194 Avenue A



Image # 14 189 & 191 Avenue A



Image # 15 185 & 187 Avenue A



Image # 16 174 Avenue A



Image # 17 173 Avenue A



Image # 18 436 East 11th Street



Image # 19 438 East 11th Street



Image # 20 432 East 11th Street



Image # 21 430 East 11th Street



Image # 22 428 East 11th Street



Image # 23 424 East 11th Street



Image # 24 189 & 191-193 Avenue A



Image # 25 Public School 60 420 East 12th Street

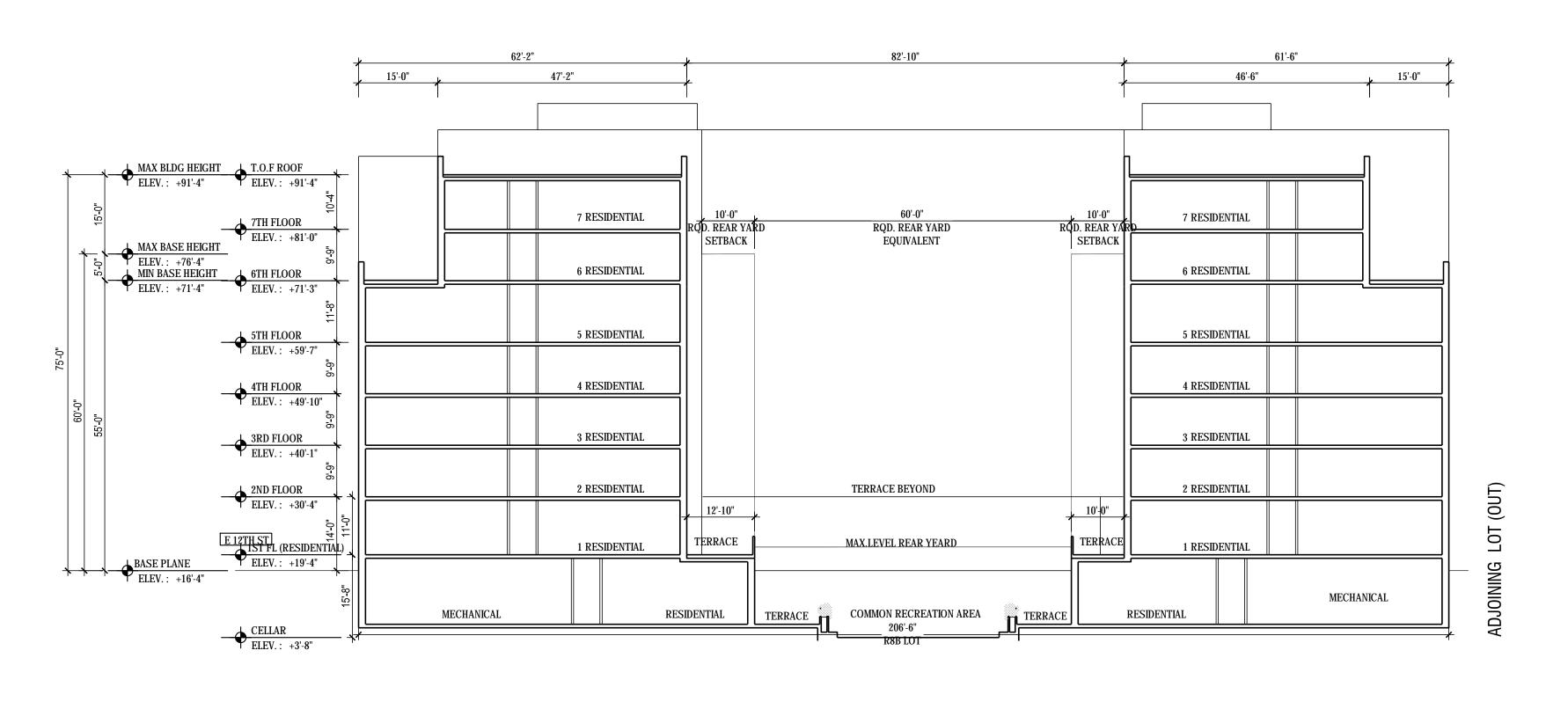


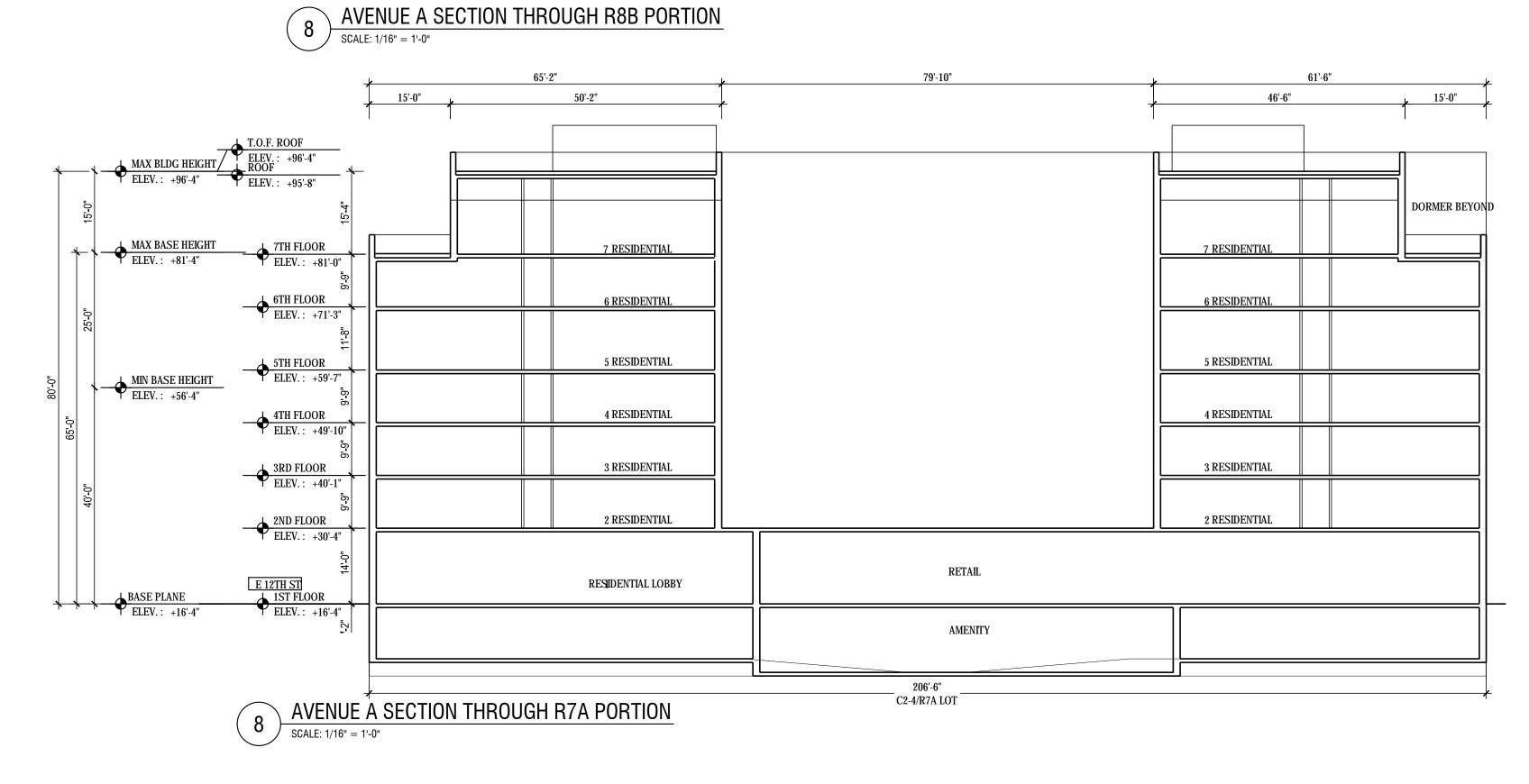
Public School 60 East 11th Street entrance

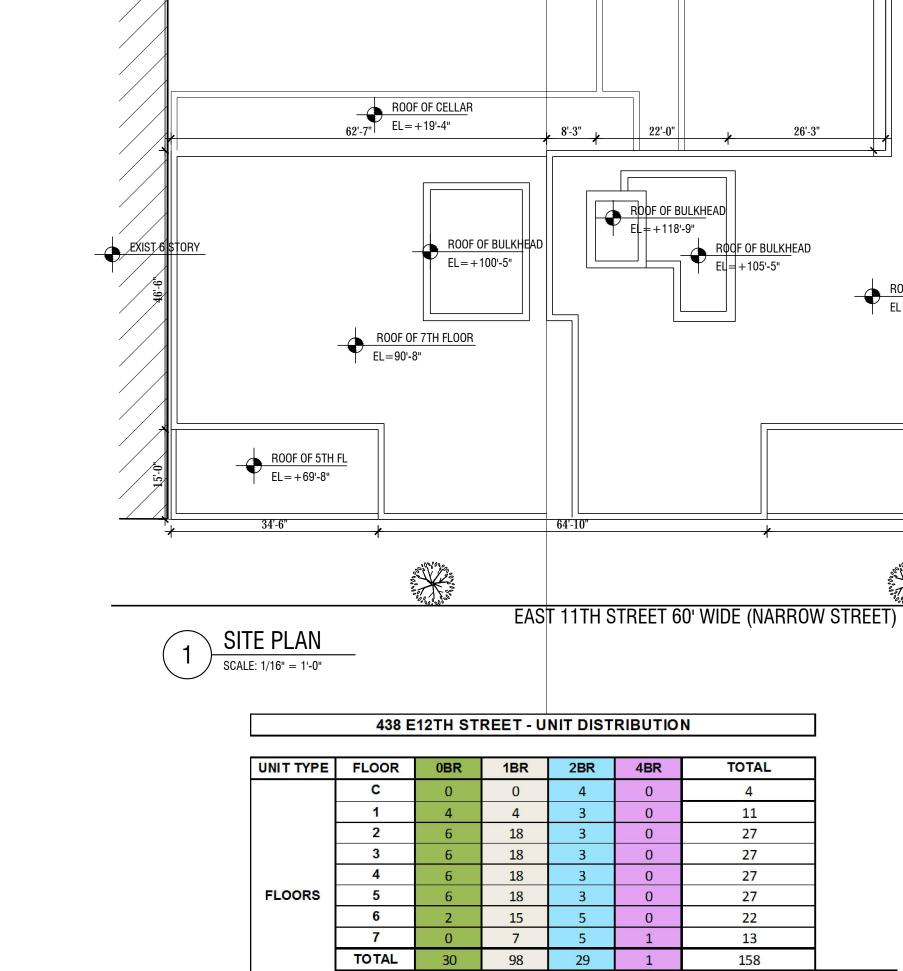


	GENERAL PURSUANT TO A RESIDENTIAL AND GENERAL F	PETAIL DEVELOPMENT		
	HOUSE NUMBER	181 AVENUE A, NEW YOR	K NV 10009	
	BLOCK	439	.K, N1 10009	
	TAX LOT	BASE LOTS 26,27,31,33 &		
	COMMUNITY DISTRICT	MANHATTAN 3 COMMUN	ITY DISTRICT	
	LANDMARKS ZONING DISTRICTS	NA R8B & R7A/C2-5 [MAP 120	21	
	REQ'D E DESIGNATION	NOISE	<u>-1</u>	
	ZONING LOT AREA	LOT 26 - (63'x 206.50') = 13	3,009 SF	
	11 11 11 11 11 11 11 11 11 11 11 11 11	LOT 27 - (30'x 56.50') = 1,6	95 SF	
		LOT 31 - (50'x 100') = 5,000		
		LOT 33 - (25'x 100') = 2,500		
		LOT 34 - (75'x 100') = 7,500		
	EXISTING FLOOR AREAS	TOTAL ZONING LOT ARE.	A = 29,704 SF	
	EXICITY OF ECON VINCENCE	į ir		
		BEYOND 100 FT OF AVENUE A	WITHIN 100 FT OF AVENUE A	ALL PORTION
Map 12c	USE REGULATIONS ZONING DISTRICT	R8B	R7A/C2-5	N
map 120	LOT AREA	13,009 SF	16,695 SF	29,704 8
22-10/32-10	PERMITTED USE GROUPS	14	1-6, 8-10 & 12-16	\$
	PROPOSED USE GROUPS	GROUP 2 (MULTIPLE DWELLING)	GROUP 6 (RETAIL) GROUP 2	GROUP 6 GROUP 2
	MAXIMUM PERMITTED FAR			
23-952/23-145	RESIDENTIAL (MAX INCLUSIONARY HOUSING)	4.00	4.60	<u> </u>
24-11/33-121	COMMUNITY FACILITY	4.00	4.00	\$
33-121 24-16135-31	TOTAL FOR ALL USES	N/A 4.00	2.00 4.60	ş
	MAXIMUM PERMITTED FLOOR AREA			
	RESIDENTIAL (MAX INCLUSIONARY HOUSING)	52,036 SF	76,797 SF	§
	COMMUNITY FACILITY	52,036 SF	66,780 SF	118, 816 8
	COMMERCIAL TOTAL FOR ALL USES	13,009 SF 52,036 SE	33,390 SF 76 707 SE	46,399 5
	TOTAL FOR ALL USES PROPOSED FLOOR AREA	52,036 SF	76,797 SF	128, 833 8
	RESIDENTIAL	51,966 SF	66,355 SF	118, 321 5
	COMMERCIAL	N/A	10,439 SF	10, 439 8
	MAXIMUM PERMITTED LOT COVERAGE			
23-145	CORNER LOT PORTIONS	N/A	80%	·}
23-145	INTERIOR AND THROUGH LOT PORTIONS	70%	65%	N
	PROPOSED LOT COVERAGE CORNER LOT PORTIONS	N/A	78.25% (COMPLIES)	N.
	INTERIOR AND THROUGH LOT PORTIONS	60% (COMPLIES)	65% (COMPLIES)	N
	DENSITY REGULATIONS			
23-22	MAXIMUM PERMITTED DWELLING UNITS	77	113	11
	PROPOSED DWELLING UNITS			158 (COMPLIE
	REQUIRED YARDS			
23-45/24-34	FRONT YARD	NONE	NONE	NON
23-462/24-35	SIDE YARDS	NONE - 8 FT MIN IF	NONE - 8 FT MIN IF	NONE - 8 FT MIN
23-47/23-532/24-	REAR YARDS / REAR YARD EQUIVALENTS	PROVIDED 30 FT / 60 FT	PROVIDED NONE	PROVIDE N
20-11/20-002/21-	PROPOSED SIDE YARDS	NOT PROVIDED	NOT PROVIDED	<u> </u>
	PROPOSED REAR YARDS	60 FT	NONE	N
	HEIGHT & SETBACK REGULATIONS	9		
23-633/35-24	STREET WALL LOCATION	NO CLOSER TO STREET	70% WITHIN 8 FT OF	
	***************************************	LINE THAN ADJOINING BUILDINGS	STREET LINE	***************************************
23-633/35-24	PERMITTED MINIMUM BASE HEIGHT	55 FT	40 FT	N
23-633/35-24	PERMITTED MAXIMUM BASE HEIGHT	60 FT	65 FT	N
	PROPOSED BASE HEIGHT	55 FT	64 FT 3 INCH	<u> </u>
23-633/35-24	PERMITTED MAXIMUM BUILDING HEIGHT	75 FT	80 FT	N
23-633/35-24	PROPOSED MAXIMUM BUILDING HEIGHT MINIMUM REQUIRED SETBACK	75 FT 10 FT WIDE ST/ 15 FT	80 FT 10 FT WIDE ST/ 15 FT	10 FT WIDE ST/ 15 F
23-033/33-24	WINNING REQUIRED SET BACK	NARROW ST	NARROW ST	Maria Cara Cara Cara Cara Cara Cara Cara
	PROPOSED REQUIRED SETBACK	15 FT (11TH &12TH ST)	10 FT (AVE A)	3
23-663	MINIMUM REQUIRED REAR YARD SETBACK	10 FT	N/A	N
	PROPOSED REQUIRED REAR YARD SETBACK	10 FT	N/A	N
28-21	QUALITY HOUSING REGULATIONS SIZE OF DWELLING UNITS	NOTE	SS THAN 400SFOF FLOOR	ADEA
20-21	SIZE OF DWELLING UNITS		SMALLEST UNIT= 439 SF (
28-22	WINDOWS	DOUBLE GL	A ZED WINDOWS SHALL BE	E PROVIDED
28-23	REQUIRED REFUGE STORAGE AND DISPOSAL	2.9 CUBIC FT/DW	/ELLING UNIT 2.9X71=	206 2.9x 87=253
	PROPOSED REFUGE STORAGE AND DISPOSAL	COMPACTOR RM IN C	ELLAR NORTH BLDG 2.9X	71=206 SOUTH BLDG
			12 SF DEDUCTED FROM F	
28-24	REQUIRED LAUNDRY FACILITIES	1 WASHING	MACHINE/20 D.U 1 DRYE	ER/40 D.U
	PROPOSED LAUNDRY FACILITIES		INDIVIDUAL W/D +LAUNDR	*
20 24	REQUIRED RECREATION SPACE	2.8% OF RESIDENTIAL FLOOR AREA	3.3% OF RESIDENTIAL	
20-31	TEGORES REGRESTION OF NOE	,u /\UL/\	FLOOR AREA	·}
20-31	REGULES RESIDENTIAL OF AGE	1455	2190	8
20-31	PROPOSED RECREATION SPACE	§	2190 INDOOR (CELLAR)	29
28-31		§		<u> </u>
20-31		§	INDOOR (CELLAR)	23
		§	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES)	23 52
	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION	1455 50% IF10 UNITS OR LESS	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES)	23 ³ 52 ⁵
28-41	PROPOSED RECREATION SPACE	1455 50% IF10 UNITS OR LESS	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES)	23 52: N
28-41	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS	23 52 N
28-41	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF	23 52 N
28-41	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR	23 52 N
28-41 13-12 13-13	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED ACCESSORY PARKING S	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A PACES	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR AREA	23 52 N
28-41	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR	23 52 N
28-41 13-12 13-13	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED ACCESSORY PARKING S RESIDENTIAL USES COMMERCIAL USES	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A PACES NONE	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR AREA	23 52: N
28-41 13-12 13-13 13-41 13-41	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED ACCESSORY PARKING S RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED LOADING BERTHS	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A PACES NONE	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR AREA NONE	NON
28-41 13-12 13-13	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED ACCESSORY PARKING S RESIDENTIAL USES COMMERCIAL USES	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A PACES NONE	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR AREA NONE	NON NON
28-41 13-12 13-13 13-41 13-41	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED ACCESSORY PARKING S RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED LOADING BERTHS	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A PACES NONE N/A	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR AREA NONE NONE	23 52 N N N N N N N N N N N N N N N N N N
28-41 13-12 13-13 13-41 13-41	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED ACCESSORY PARKING S RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED LOADING BERTHS COMMERCIAL USES	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A PACES NONE N/A	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR AREA NONE NONE FIRST 8,000 SF: NONE NEXT 17,000 SF: ONE	NON
28-41 13-12 13-13 13-41 13-41 36-62	PROPOSED RECREATION SPACE CORRIDOR DENSITY DEDUCTION MAXIMUM PERMITTED ACCESSORY PARKING RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED ACCESSORY PARKING S RESIDENTIAL USES COMMERCIAL USES MINIMUM REQUIRED LOADING BERTHS COMMERCIAL USES MINIMUM REQUIRED BICYCLE PARKING SPACE MINIMUM REQUIRED BICYCLE PARKING SPACE	50% IF10 UNITS OR LESS SPACES 20% NUMBER OF DWELLING UNITS N/A PACES NONE N/A	INDOOR (CELLAR) INDOOR (ROOF) TOTAL (COMPLIES) 50% IF11 UNITS OR LESS 20% NUMBER OF DWELLING UNITS 1 PER 4,000 SF FLOOR AREA NONE NONE FIRST 8,000 SF: NONE NEXT 17,000 SF: ONE	23 529 N N N N N N N N N 1 PER 2 DWELLIN 158 D. U/2=









1BR's 2BR's

4BR's
Total Units

DWELLING UNIT SCHEDULE

R00F 0F 5TH FL EL=+69'-8"

> R00F 0F 7TH FL00R EL=90'-8"

ROOF OF CELLAR
EL=+19'-4"

EAST 12TH STREET 60' WIDE (NARROW STREET)

ROOF OF 6TH FL EL=+79'-11"

ROOF OF CELLAR EL=+16'-4"

R00F OF 1ST FL $\frac{10}{6}$ EL=+30'-4"

30 19% 25% to 30% 98 62% 55% to 60% 29 18% 10% to 15% 1 1% 10% to 15%

ROOF OF 7TH FL EL=+95'-8"

> R00F 0F 6TH FL EL=+79'-11"

ADJOINING LOT (OUT)

R00F QF 6TH FL EL=+79'-11"

R00F 0F 7TH FL EL=+95'-8"

																				3
38 E12TH STREET FLOOR A	REA TABULATIONS																			
ONING	R8B	R7A/C2-5							R8B	R7A/C2-5	R7A/C2-5	R8B	R7A/C2-5	R7A/C2-5	R7A/C2-5	R8B	R7A/C2-5	R8B	R7A/C2-5	
FLOOR	GROSS RESIDENTIAL FLOOR AREA	GROSS RESIDENTIAL FLOOR AREA	TOTAL GROSS RESIDENTIAL FLOOR AREA	GROSS COMMERCIAL FLOOR AREA	TOTAL GROSS FLOOR AREA	NON-SALEABLE RESIDENTIAL FLOOR AREA (CORE & CORRIDORS)	RESIDENTIAL	FLOOR PLATE EFFICIENCY	MECHANICAL ZONING FLOOR AREA DEDUCTIONS (1.5%)	MECHANICAL ZONING FLOOR AREA DEDUCTIONS (1.5%)	ELECTRICAL ROOM FLOOR AREA	Q.H. ZONING FLOOR AREA DEDUCTIONS (CORRIDORS)	Q.H. ZONING FLOOR AREA DEDUCTIONS (CORRIDORS)	Q.H. AMENITIES DEDUCTIONS (POOL)	Q.H. REFUSE CHUTE	EXTERIOR WALL DEDUCTIONS	EXTERIOR WALL DEDUCTIONS	ZONING FLOOR AREA R8B	ZONING FLOOR AREA R7A/C2-5	NAME OF COMPANY ASSOCIATION ASSOCIATION OF THE PARTY OF T
Б						,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,														
7	6.704 SF	2,430 SF 10.202 SF	2,430 SF 16,906 SF		2,430 SF 16,906 SF	2,428 SF	14,454 SF	85%	101 SF	153 SF		0 SF 348 SF	0 SF 934 SF	2,310 SF 0 SF	24 SF	0 SF 190 SF	0 SF 378 SF	0 SF 6.065 SF	·ş	
6	6,704 SF	12,121 SF	18,825 SF		18,825 SF	2,840 SF	15,908 SF	85%	101 SF	182 SF	· •	174 SF	674 SF	0 SF	24 SF	190 SF	379 SF	6,239 SF	·\$	
5	7,739 SF	12,121 SF	19,860 SF		19,860 SF	2,991 SF	16,747 SF	84%	116 SF	182 SF		265 SF	674 SF	0 SF	24 SF	177 SF	379 SF	7,181 SF	·	·
4	7,739 SF	12,121 SF	19,860 SF		19,860 SF	2,991 SF	16,747 SF	84%	116 SF	182 SF	·· . ··································	265 SF	674 SF	0 SF	24 SF	177 SF	379 SF	7,181 SF	· §	·
3	7,739 SF	12,121 SF	19,860 SF		19,860 SF	2,991 SF	16,747 SF	84%	116 SF	182 SF		265 SF	674 SF	0 SF	24 SF	177 SF	379 SF	7,181 SF	10,863 SF	18,044 SF
2	7,739 SF	12,121 SF	19,860 SF		19,860 SF	2,991 SF	16,747 SF	84%	116 SF	182 SF		265 SF	674 SF	0 SF	24 SF	177 SF	379 SF	7,181 SF	10,863 SF	18,044 SF
1	7,739 SF	4,435 SF	12,174 SF	10,439 SF	22,613 SF	4,873 SF	7,240 SF	32%	116 SF	67 SF	430 SF	529 SF	1,091 SF	0 SF	24 SF	177 SF	117 SF	6,917 SF	13,145 SF	20,062 SF
C (RESIDENTIAL)	4,080 SF	510 SF	4,590 SF		4,590 SF		4,517 SF		61 SF	8 SF		0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	4,019 SF	502 SF	4,521 SF
C (AMEN/ MECH/RET)					20,078 SF															
LL	56,183 SF	78,182 SF	134,365 SF	10,439 SF	164,882 SF	22,105 SF	109,107 SF		843 SF	1,136 SF		2,109 SF	5,393 SF	2,310 SF	168 SF	1,265 SF	2,390 SF	51,966 SF	76,794 SF	128,760 SF
									\$ management of the state of th	MAXIMUM PERMITTE	ED ZONING FLOOR AR	EA						52,040 SF	76,797 SF	128,837 SF
										SURPLUSZONINGF	LOOR AREA							74 SF	3 SF	77 SF
										REQUIRED RECREA	ATION SPACE							1,455 SF	2,190 SF	3,645 SF
									1-		USING CALCS FOR R7A	/C2-5 PORTION							www.	
										BASE FAR							3.45			
									3.	FAR WINCL BONUS							1.6			
									§.	LOT AREA MAX PERMISSIBLE E	DAOE 75 A						16,695 SF 57,598 SF			
										MAX PERMISSIBLE E							76,797 SF		- de la company	
										PROPOSED ZFA	ICL BONUS						76,794 SF			
										REQUIRED BONUS Z	ZFA						19,196 SF			
										Q.H. REC SPACE CA	N CS						3.645 SF		200000	
										Q NEO OF NOE OF							(1× 1× ×1		.il	

7 FLOOR AREA CALCULATIONS
SCALE: N.T.S

NO. DATE REVISION

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T: (888) 994-9220

Civil Engineer:

RA CONSULTANTS, LLC

47 WILKENS DRIVE

DUMONT, NJ 07628

T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS

NEW YORK, NY

PROJECT No: 53190.00

DOB No: XXX

DRAWING TITLE:

ZONING SITE PLAN

SECTION

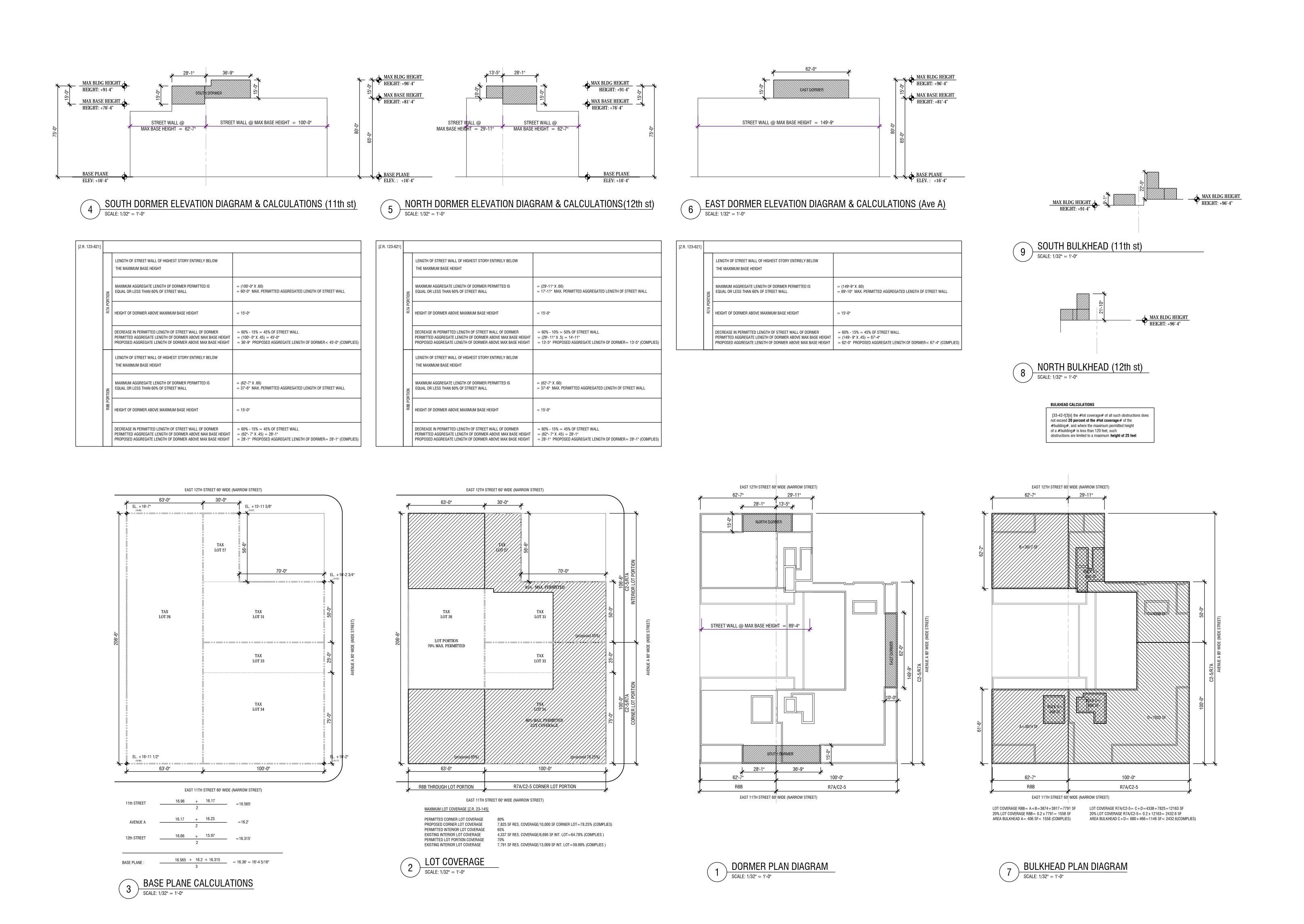
& CALCULATIONS

SCALE: AS NOTED

Z-100.00

DOB BSCAN STICKER

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Civil Engineer:
RA CONSULTANTS, LLC 47 WILKENS DRIVE

DUMONT, NJ 07628 T: 201-374-1794

PROJECT TITLE: 438 EAST 12TH STREET

PROJECT ADDRESS NEW YORK, NY

PROJECT No: 53190.00

DOB No: XXX DRAWING TITLE: YARDS DORMERS & BULKHEAD CALCULATIONS
SCALE: AS NOTED

Z-101.00

	<u> </u>	4 38 E	E12TH STREET	- INLCUSIONA	ARY UNIT TAB	ULATION					TOTAL AREA RQD FOR FAR BONUS	
UNIT	ТҮРЕ	С	1	2	3	FLOOR 4	5	6	7	TOTAL		
001 002 003	2BR/2BATH 2BR/2BATH 2BR/2BATH	930 SF 1, 140 SF 915 SF									UNIT AREA PROVIDED TOTAL # OF UNITS	
004 101	2BR/2BATH 2BR/2BATH	1,096 SF	843 SF									FIRS
102 104	2BR/2BATH 0BR/1BATH		827 SF 369 SF								# OF UNITS	1,035 S
105 106 122	OBR/1BATH 1BR/1BATH OBR/1BATH		435 SF 600 SF 512 SF									
123 124 125	2BR/1BATH 0BR/1BATH 1BR/1BATH		747 SF 419 SF 559 SF									
126 127	1BR/1BATH 1BR/1BATH		565 SF 530 SF									
201 202	1BR/1BATH 1BR/1BATH			588 SF 585 SF								SECOND 2,924 SF
203 204 205	1BR/1BATH 0BR/1BATH 0BR/1BATH			579 SF 369 SF 435 SF							# OF UNITS	5
206 207 208	OBR/1BATH 1BR/1BATH 1BR/1BATH			423 SF 564 SF 561 SF								
209 210	1BR/1BATH 1BR/1BATH			531 SF 554 SF								
211 212 213	1BR/1BATH 1BR/1BATH 0BR/1BATH			598 SF 460 SF 380 SF								
214 215 216	1BR/1BATH 1BR/1BATH 1BR/1BATH			603 SF 604 SF 577 SF								
217 218	1BR/1BATH 2BR/1BATH			545 SF 714 SF								
219 220 221	1BR/1BATH 1BR/1BATH 1BR/1BATH			553 SF 562 SF 580 SF								
222 223 224	1BR/1BATH 2BR/1BATH 0BR/1BATH			576 SF 750 SF 414 SF								
225 226	OBR/1BATH 2BR/1BATH			401 SF 778 SF								
227 301	1BR/1BATH 1BR/1BATH			541 SF	588 SF							THIRD
302 303	1BR/1BATH 1BR/1BATH				585 SF 579 SF						# OF UNITS	3,527 SF 6
304 305 306	OBR/1BATH OBR/1BATH OBR/1BATH				369 SF 435 SF 423 SF							
307 308 309	1BR/1BATH 1BR/1BATH 1BR/1BATH		_		564 SF 561 SF 531 SF	_						
310 311	1BR/1BATH 1BR/1BATH				554 SF 598 SF							
312 313 314	1BR/1BATH 0BR/1BATH 1BR/1BATH				460 SF 380 SF 603 SF							
315 316 317	1BR/1BATH 1BR/1BATH 1BR/1BATH				604 SF 577 SF 545 SF							
318 319	2BR/1BATH 1BR/1BATH				714 SF 553 SF							
320 321 322	1BR/1BATH 1BR/1BATH 1BR/1BATH				562 SF 580 SF 576 SF							
323 (SUPER) 324 325	2BR/1BATH 0BR/1BATH 0BR/1BATH				750 SF 414 SF 401 SF							
325 326 327	2BR/1BATH 1BR/1BATH				778 SF 541 SF							
401 402	1BR/1BATH 1BR/1BATH					588 SF 585 SF						FOURTH 3,527 SF
403 404 405	1BR/1BATH 0BR/1BATH 0BR/1BATH					579 SF 369 SF 435 SF					# OF UNITS	6
406 407	OBR/1BATH 1BR/1BATH					423 SF 564 SF						
408 409 410	1BR/1BATH 1BR/1BATH 1BR/1BATH					561 SF 531 SF 554 SF						
411 412	1BR/1BATH 1BR/1BATH					598 SF 460 SF						
413 414 415	OBR/1BATH 1BR/1BATH 1BR/1BATH					380 SF 603 SF 604 SF						
416 417 418	1BR/1BATH 1BR/1BATH 2BR/1BATH					577 SF 545 SF 714 SF						
419 420	1BR/1BATH 1BR/1BATH					553 SF 562 SF						
421 422 423	1BR/1BATH 1BR/1BATH 2BR/1BATH					580 SF 576 SF 750 SF						
424 425 426	OBR/1BATH OBR/1BATH 2BR/1BATH					414 SF 401 SF 778 SF						
427	1BR/1BATH					541 SF						
501 502 503	1BR/1BATH 1BR/1BATH 1BR/1BATH						588 SF 585 SF 579 SF				# OF UNITS	1,381 SF 2
504 505 506	OBR/1BATH OBR/1BATH OBR/1BATH						369 SF 435 SF 423 SF					
507 508	1BR/1BATH 1BR/1BATH						564 SF 561 SF					
509 510 511	1BR/1BATH 1BR/1BATH 1BR/1BATH						531 SF 554 SF 598 SF					
512 513	1BR/1BATH 0BR/1BATH						460 SF 380 SF					
514 515 516	1BR/1BATH 1BR/1BATH 1BR/1BATH						603 SF 604 SF 577 SF					
517 518 519	1BR/1BATH 2BR/1BATH 1BR/1BATH						545 SF 714 SF 553 SF					
520 521	1BR/1BATH 1BR/1BATH						562 SF 580 SF					
522 523 524	1BR/1BATH 2BR/1BATH 0BR/1BATH						576 SF 750 SF 414 SF					
525 526 527	0BR/1BATH 2BR/1BATH 1BR/1BATH						401 SF 778 SF 541 SF					
601	1BR/1BATH							588 SF				SIXTH
602 603 604	1BR/1BATH 2BR/2BATH 2BR/2BATH							585 SF 1,011 SF 1,009 SF			#OF UNITS	603 SF 1
608 609 610	1BR/1BATH 1BR/1BATH 1BR/1BATH							559 SF 531 SF 554 SF				
611 612	1BR/1BATH 1BR/1BATH							598 SF 460 SF				
613 614 615	OBR/1BATH 1BR/1BATH 1BR/1BATH							380 SF 603 SF 604 SF				
616 617 618	1BR/1BATH 1BR/1BATH 2BR/1BATH				_			577 SF 545 SF 714 SF				
619 620	1BR/1BATH 1BR/1BATH							553 SF 562 SF				
621 622 623	0BR/1BATH 2BR/2BATH 2BR/2BATH							521 SF 1,016 SF 977 SF				
624 627	1BR/1BATH 1BR/1BATH							613 SF 557 SF				
701 702	1BR/1BATH 1BR/1BATH								588 SF 585 SF			
703 704 705	2BR/2BATH 1BR/1BATH 1BR/1BATH								1,011 SF 700 SF 640 SF			
706 707	2BR/2BATH 2BR/2BATH								1,116 SF 961 SF			
708 (Sponsor) 709 722	4BR/4.5BATH 1BR/1BATH 2BR/2BATH								3,364 SF 789 SF 1,016 SF			
723 724	2BR/2BATH 1BR/1BATH								977 SF 613 SF			
727	1BR/1BATH			L	<u> </u>	<u> </u>	L	1	557 SF	L		

	AFFORDABLE FLOOR AREA ROD FOR INCLUSIONARY BONUS (ROD. BONUS
15,357 SF	ZFA/1.25)
117,571 SF	RESIDENTIAL ZFA (EXCLUDES SUPER APT & RET SPACE)
23,514 SF	INCL AREA CAPPED AT 20% OF RESIZFA

ARCHITECT'S CERTIFICATE FORMULA

LI 12,997 SF

MR 83,074 SF

CA 0 SF

RFA 118,321 SF

ARCHITECT'S CERTIFICATE FORMULA

LI + [LI/LI+MR X (RFA - VIR} - CA)] = AHFA

12997.00 + [12997.07 12997.0 + 83074.0 x (118321.0 - {12997.0 + 83074.0} - 0)] = 16,007.1

Total Inclusionary = 16,007

1 INCLUSIONARY UNIT TABULATION
SCALE: NTS

UNIT TYPE	FLOOR	0BR	1BR	2BR	4BR	то	TAL	1	
	С	0	0	4	0	,	4	1	
	1	2	3	2	0		7		
	2	4	12	1	0	1	.7	1	
	3	5	13	2	0	2	20		
	4	5	13	2	0	2	20		
FLOORS	5	6	16	2	0	2	24		
	6	2	14	5	0	2	<u>1</u>		
	7	0	7	5	1	1	.3		
	TOTAL	24	78	23	1	1.	26		1
ODDI-						24	100/	TARGET	UFAS
0BR's 1BR's						24	19%	25% to 30%	
2BR's						78 24	62% 19%	55% to 60% 10% to 15%	
Total Units						126	100%	10% to 15%	
Total Cinto						120	10070	100/0	
								_	
	438 E12T	H STREE	T - UNIT	DISTRIB	UTION -	421-A			
UNIT TYPE	FLOOR	0BR	1BR	2BR	4BR	то	TAL		
	С	0	0	0	0)	0		
	1	2	1	1	0		4		
	2	2	6	2	0		.0	-	
	3	1	5	1	0		7		
EL CODO	4	1	5	1	0		7	-	
FLOORS	5 6	0	2	1	0	3		-	
	7	0	0	0	0		1	-	
	TOTAL	6	20	6	0	0 32		-	
	TOTAL	O	20	Ö	U		02	TARGET*	1
0BR's						6	19%	19%	
1BR's						20	63%	62%	
2BR's						6	19%	19%	
Total Units						32	100%	100%	1
438 E'	I2TH STRE	ET - UNI	T DISTRI	BUTION -	- HPD INC		ARY TAL]	
ONIT TIFE	C	0	0	0	0		0		
	1	1	1	0	0		2	1	
	2	1	3	1	0		5	1	
	3	1	4	1	0		6	1	
	4	1	4	1	0		6]	
	5	0	1	1	0)	2		
FLOORS	6	0	1	0	0	1 0			
FLOORS	7	0	0	0	0				
FLOORS	,	4	14	4	0	2	.2		
FLOORS	TOTAL	4						TARGET*	UFAS
		4					100/		Ī
0BR's		4				4	18%	19%	
0BR's 1BR's		4				14	64%	62%	
0BR's		4							

2 UNIT DISTRIBUTIONS
SCALE: NTS

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Civil Engineer: **RA CONSULTANTS, LLC** 47 WILKENS DRIVE DUMONT, NJ 07628 T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS
NEW YORK, NY
PROJECT No: 53190.00

DOB No: XXX

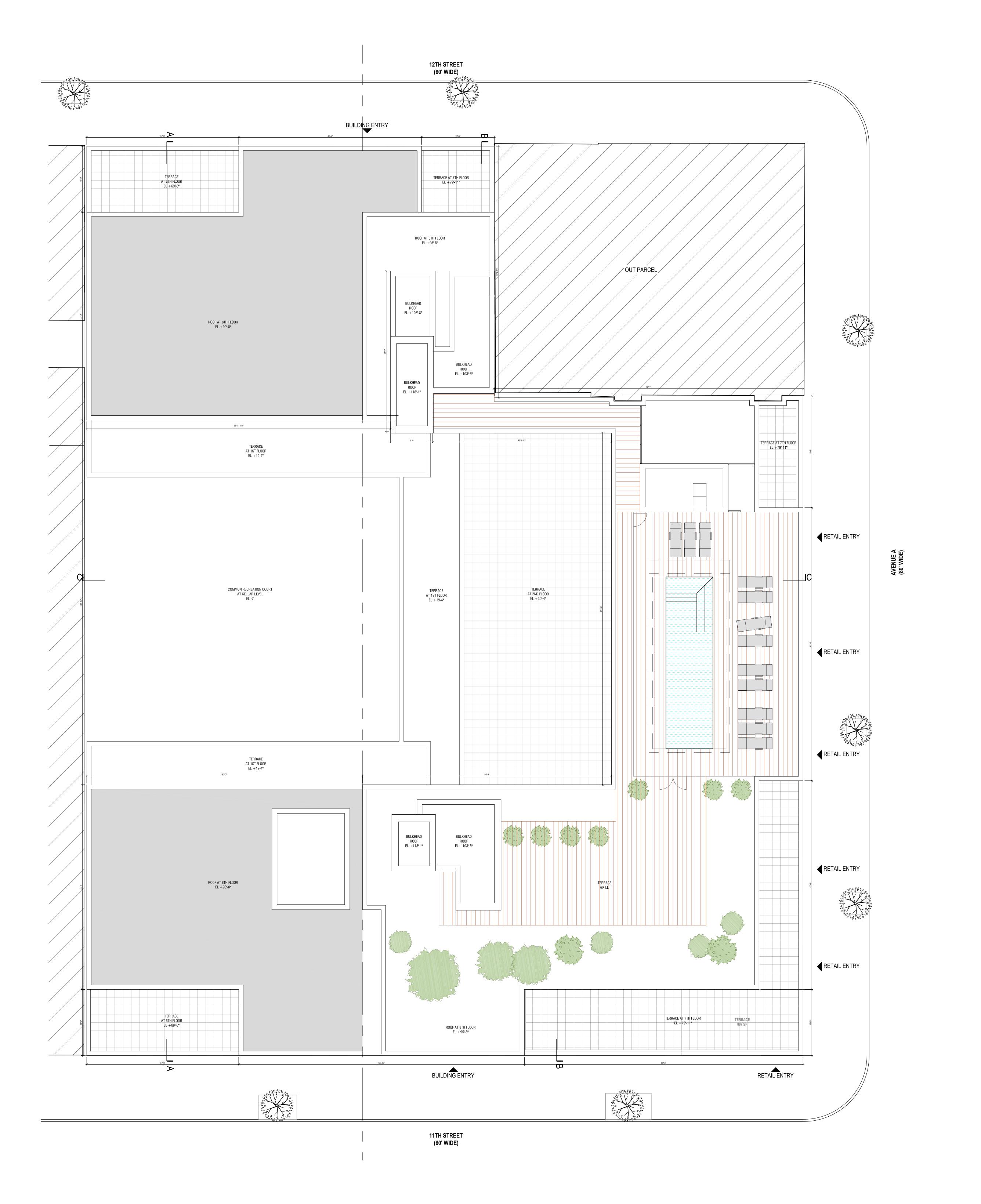
DRAWING TITLE:

UNIT
INCLUSIONARY
CALCULATIONS
SCALE: AS NOTED

Z-102.00

DOB BSCAN STICKER

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Civil Engineer: **RA CONSULTANTS, LLC** 47 WILKENS DRIVE DUMONT, NJ 07628 T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS

NEW YORK, NY
PROJECT No: 53190.00
DOB No: XXX

DRAWING TITLE:

SITE PLAN

SCALE: 1/8" = 1'-0"

A-002.00

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PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

PROJECT No: 53190.00 DOB No: XXX

DRAWING TITLE:

CONTEXTUAL SITE PLAN

SCALE: 1/32" = 1'-0"

A-003.00



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T: (888) 994-9220

Civil Engineer: **RA CONSULTANTS, LLC** 47 WILKENS DRIVE DUMONT, NJ 07628 T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

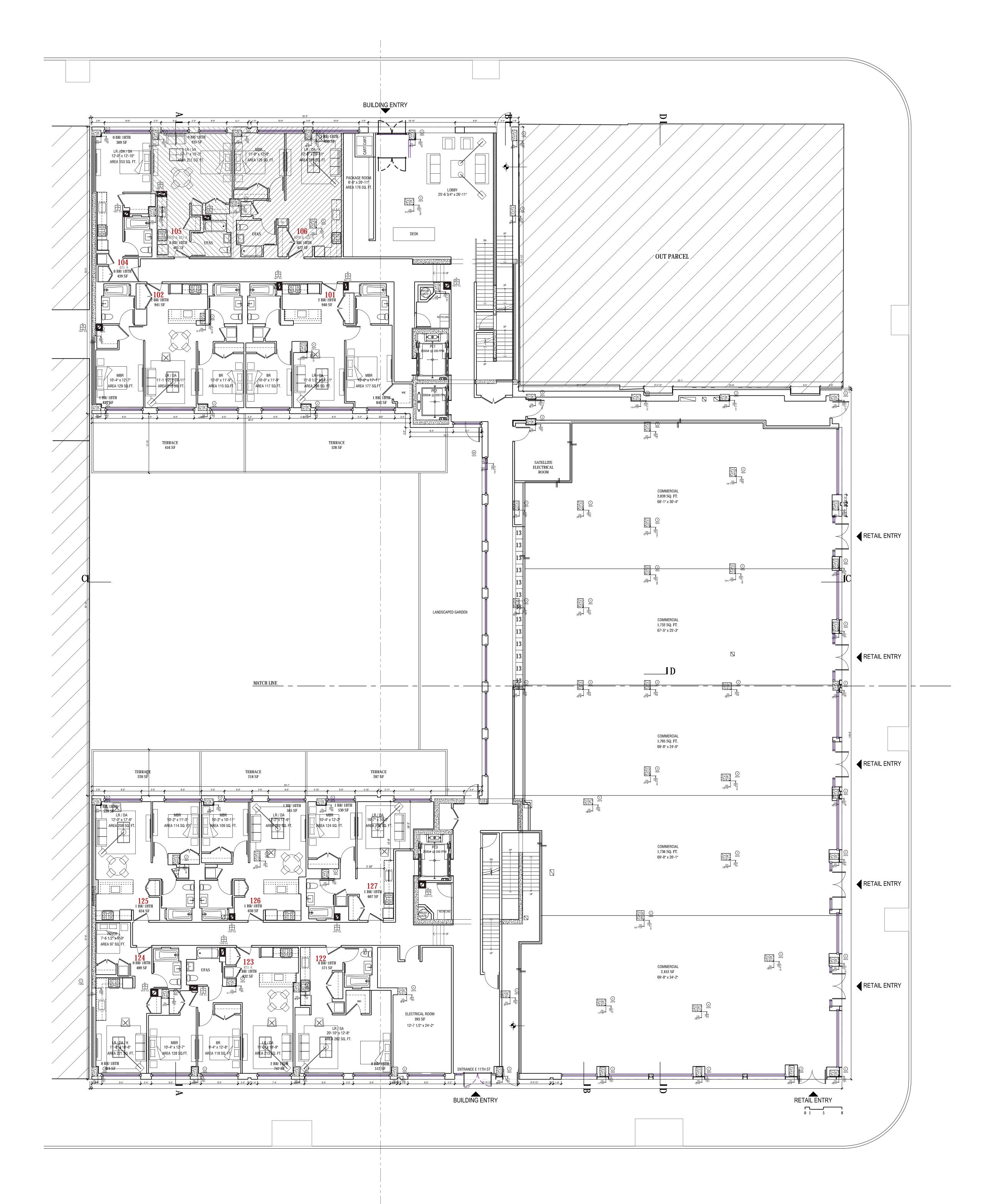
PROJECT No: 53190.00 DOB No: XXX

DRAWING TITLE:

CELLAR FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-100.00



NO. DATE REVISION

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MEP:
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NEW YORK, NY 10001
T: 212-239-1892

Vertical Transportation Consultants:

Vertical Transportation Consultants:
VAN DEUSEN & ASSOCIATES
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T: (888) 994-9220

Civil Engineer: **RA CONSULTANTS, LLC** 47 WILKENS DRIVE DUMONT, NJ 07628 T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

PROJECT No: 53190.00 DOB No: XXX

DRAWING TITLE:

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-101.00



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Structural: **DESIMONE CONSULTING ENGINEERS**18 WEST 18TH STREET, 10TH FLOOR

NEW YORK, NY 10011

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MEP: **RODKIN CARDINALE, P.C.** 224 WEST 29TH STREET, 4TH FLOOR NEW YORK, NY 10001 T: 212-239-1892

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T: (888) 994-9220

Civil Engineer:

RA CONSULTANTS, LLC

47 WILKENS DRIVE

DUMONT, NJ 07628

T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

PROJECT No: 53190.00 DOB No: XXX

DRAWING TITLE:

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-102.00



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T. 212.353.7200
F. 212.353.7476

Owner: 181 AVENUE A, LLC 15 WASHINGTON AVENUE BROOKLYN, NY 11205 T: (718) 858-1600

Structural: **DESIMONE CONSULTING ENGINEERS**18 WEST 18TH STREET, 10TH FLOOR
NEW YORK, NY 10011
T: (212) 532-2211

MEP: **RODKIN CARDINALE, P.C.** 224 WEST 29TH STREET, 4TH FLOOR NEW YORK, NY 10001 T: 212-239-1892

Vertical Transportation Consultants:
VAN DEUSEN & ASSOCIATES
5 REGENT STREET, SUITE 524
LIVINGSTON, NJ
T: (888) 994-9220

Civil Engineer:

RA CONSULTANTS, LLC

47 WILKENS DRIVE

DUMONT, NJ 07628

T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

PROJECT No: 53190.00

DOB No: XXX

DRAWING TITLE:

THIRD-FIFTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-103.00



NO. DATE REVISION

1 07/12/13 SCHEMATIC DESIGN SET

2 09/18/13 HPD SUBMISSION

an affiliate of Perkins Eastman Architects, PC
115 FIFTH AVENUE
NEW YORK, NY 10003
T. 212.353.7200
F. 212.353.7676

Owner: 181 AVENUE A, LLC 15 WASHINGTON AVENUE BROOKLYN, NY 11205 T: (718) 858-1600

Structural: **DESIMONE CONSULTING ENGINEERS**18 WEST 18TH STREET, 10TH FLOOR
NEW YORK, NY 10011
T: (212) 532-2211

MEP: **RODKIN CARDINALE, P.C.** 224 WEST 29TH STREET, 4TH FLOOR NEW YORK, NY 10001 T: 212-239-1892

Vertical Transportation Consultants:

VAN DEUSEN & ASSOCIATES

5 REGENT STREET, SUITE 524
LIVINGSTON, NJ
T: (888) 994-9220

Civil Engineer:

RA CONSULTANTS, LLC

47 WILKENS DRIVE

DUMONT, NJ 07628

T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

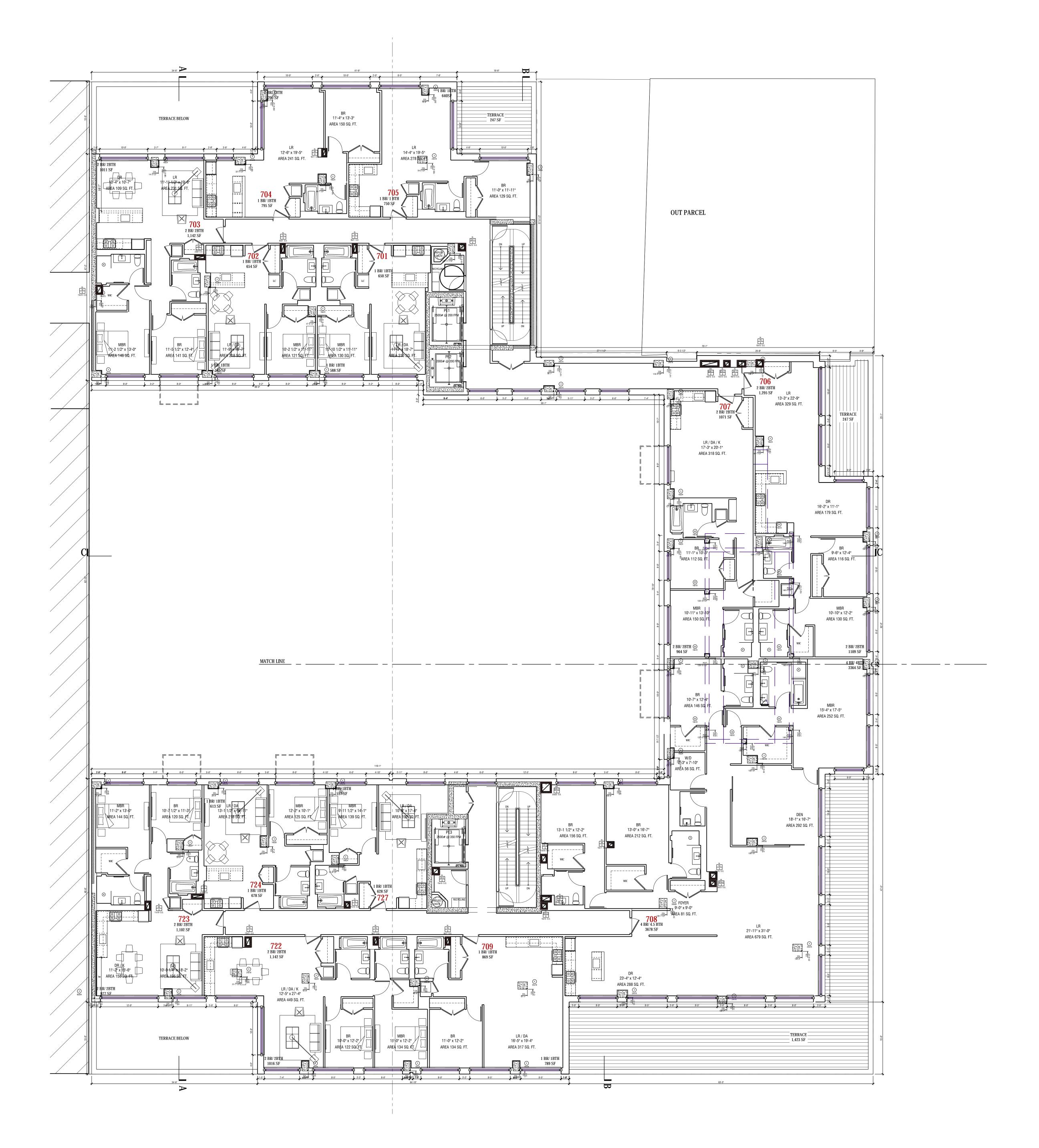
PROJECT No: 53190.00 DOB No: XXX

DRAWING TITLE:

SIXTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-104.00



NO. DATE REVISION

an affiliate of Perkins Eastman Architects, PC
115 FIFTH AVENUE
NEW YORK, NY 10003
T. 212.353.7200
F. 212.353.7676

Owner: 181 AVENUE A, LLC 15 WASHINGTON AVENUE BROOKLYN, NY 11205 T: (718) 858-1600

Structural: **DESIMONE CONSULTING ENGINEERS**18 WEST 18TH STREET, 10TH FLOOR

NEW YORK, NY 10011

T: (212) 532-2211

MEP: **RODKIN CARDINALE, P.C.** 224 WEST 29TH STREET, 4TH FLOOR NEW YORK, NY 10001 T: 212-239-1892

Vertical Transportation Consultants:

VAN DEUSEN & ASSOCIATES

5 REGENT STREET, SUITE 524
LIVINGSTON, NJ
T: (888) 994-9220

Civil Engineer: **RA CONSULTANTS, LLC**47 WILKENS DRIVE

DUMONT, NJ 07628

T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

PROJECT No: 53190.00

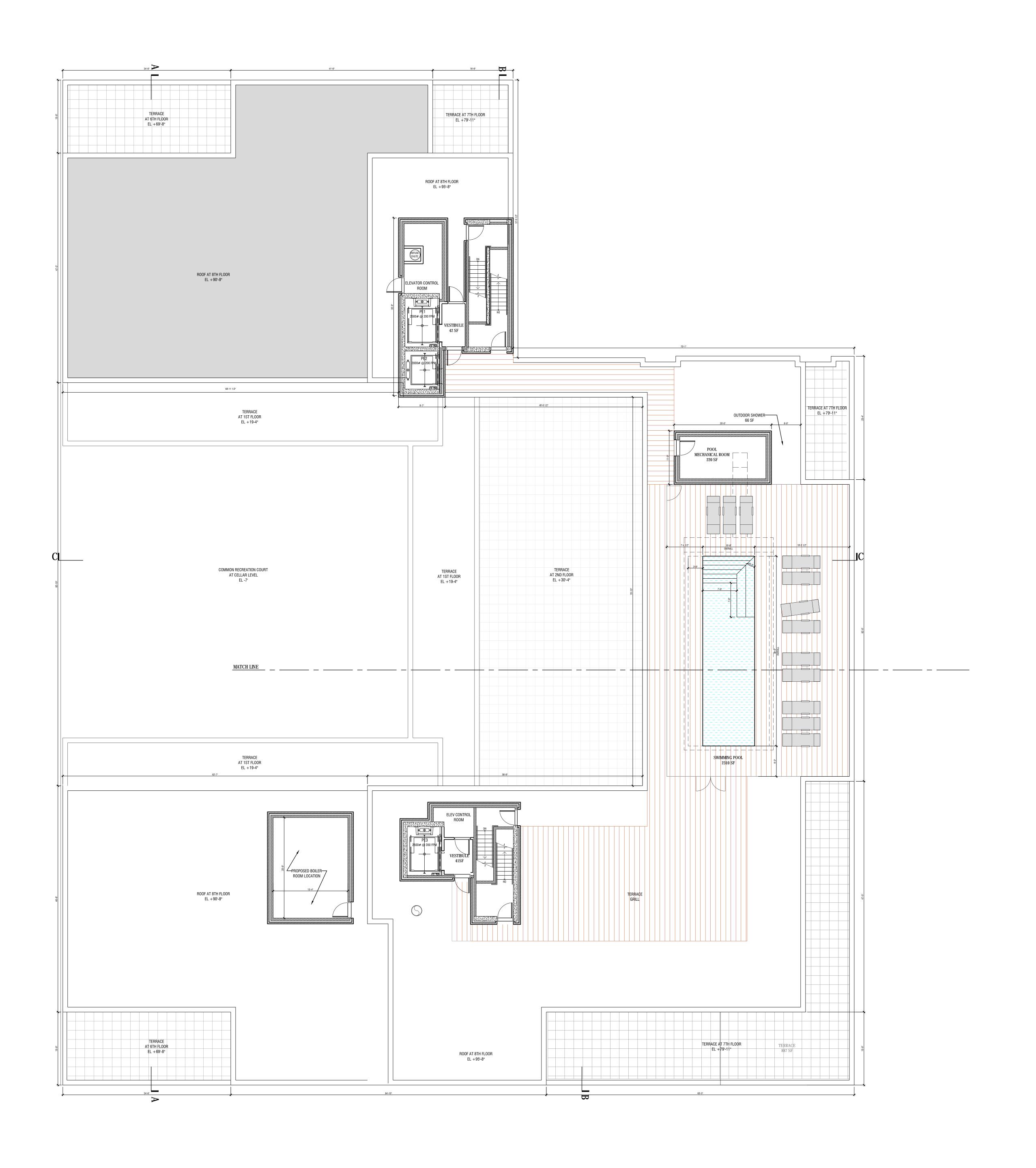
DOB No: XXX

DRAWING TITLE:

SEVENTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-105.00



NO. DATE REVISION

an affiliate of Perkins Eastman Architects, PC

115 FIFTH AVENUE
NEW YORK, NY 10003
1. 212.353,7200
F. 212.353,7676

Owner: **181 AVENUE A, LLC** 15 WASHINGTON AVENUE BROOKLYN, NY 11205 T: (718) 858-1600

Structural: **DESIMONE CONSULTING ENGINEERS**18 WEST 18TH STREET, 10TH FLOOR

NEW YORK, NY 10011

T: (212) 532-2211

MEP:
RODKIN CARDINALE, P.C.
224 WEST 29TH STREET, 4TH FLOOR
NEW YORK, NY 10001
T: 212-239-1892

T: 212-239-1892

Vertical Transportation Consultants:

VAN DEUSEN & ASSOCIATES

5 REGENT STREET, SUITE 524

LIVINGSTON, NJ

T: (888) 994-9220

Civil Engineer: **RA CONSULTANTS, LLC** 47 WILKENS DRIVE DUMONT, NJ 07628 T: 201-374-1794

PROJECT TITLE:
438 EAST 12TH
STREET

PROJECT ADDRESS NEW YORK, NY

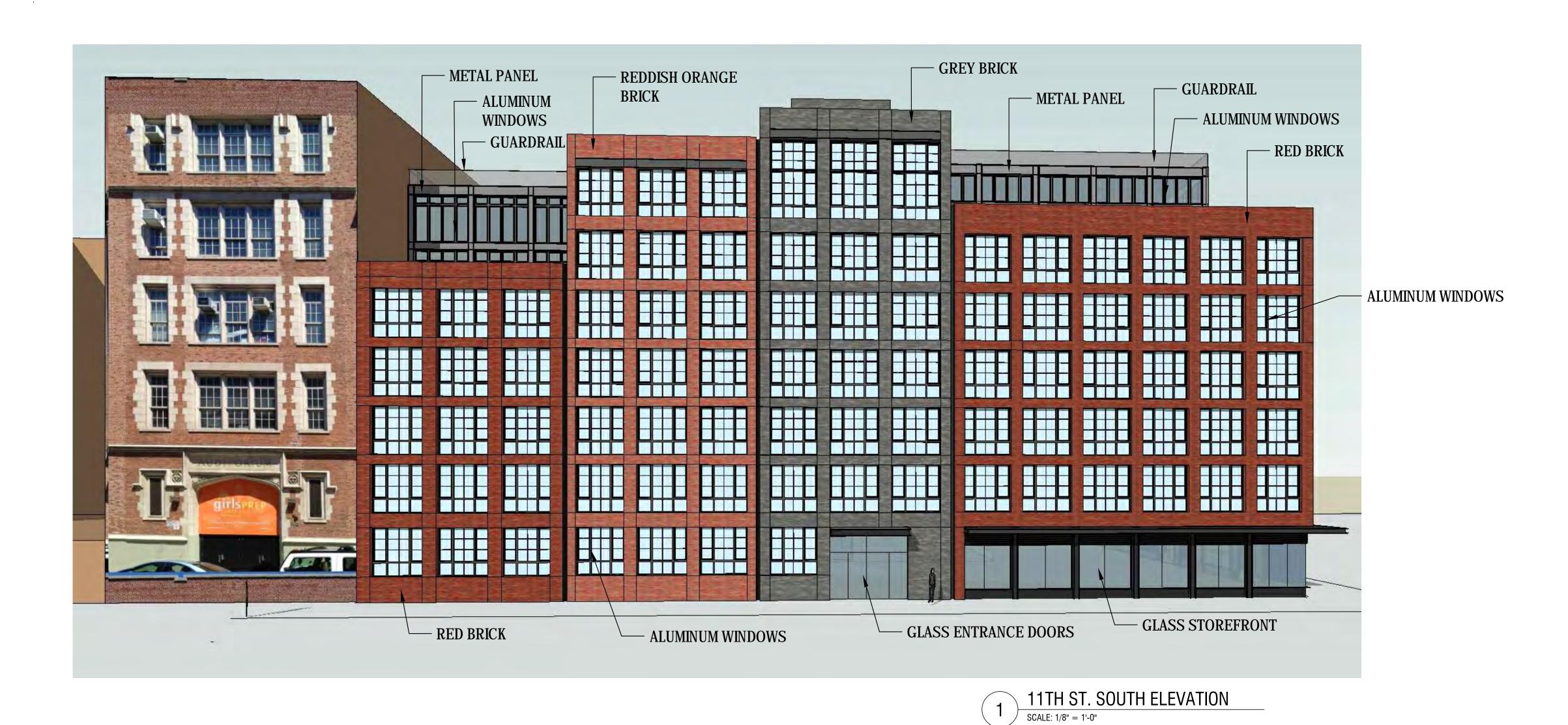
PROJECT No: 53190.00 DOB No: XXX

ROOF PLAN

DRAWING TITLE:

SCALE: 1/8" = 1'-0"

A-106.00





2 11TH STREET. COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



METAL PANEL —

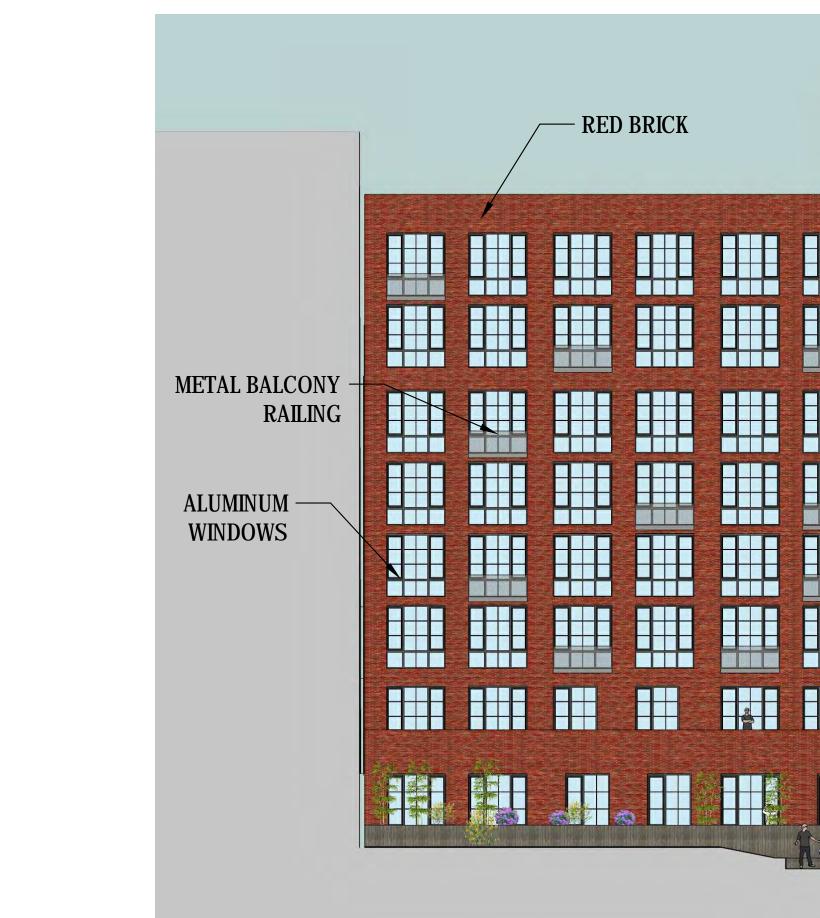
METAL PANEL —

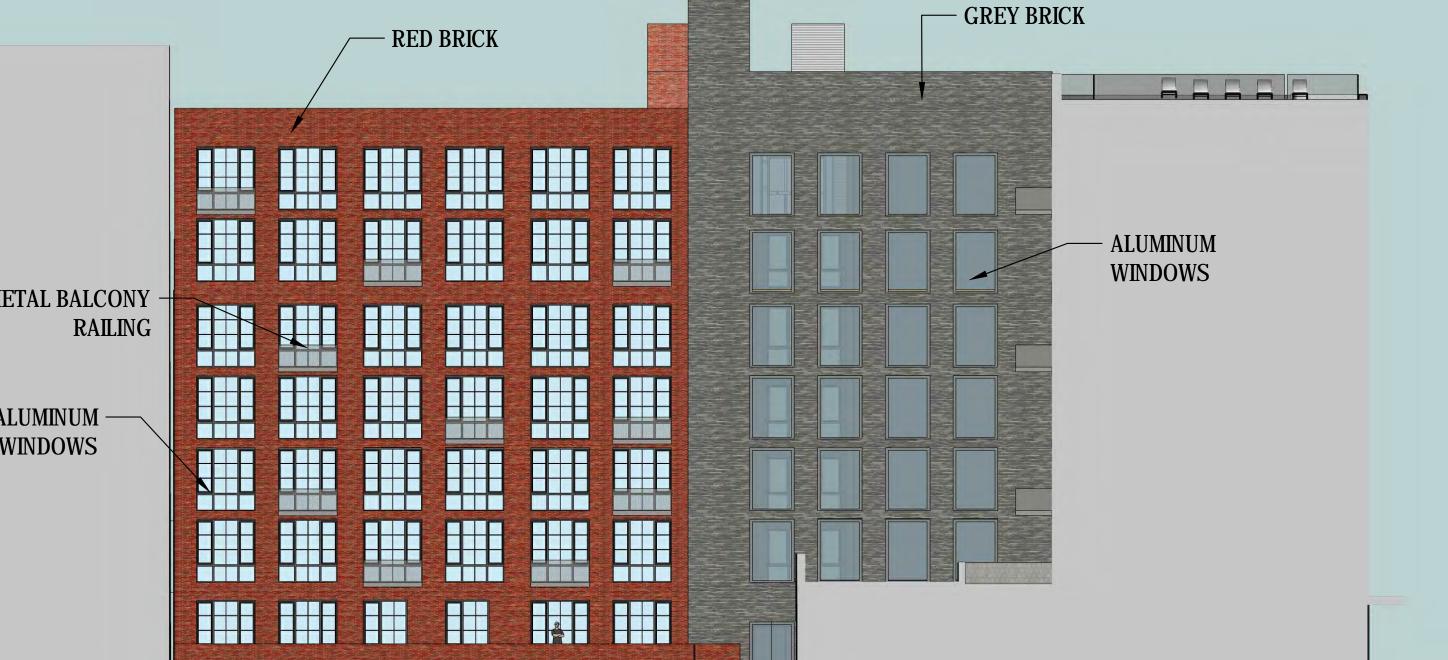
- GREY BRICK



AVENUE A. EAST ELEVATION

SCALE: 1/8" = 1'-0"





– WOOD PLANTER

PROJECT TITLE: 438 EAST 12TH STREET

07/12/13 SCHEMATIC DESIGN SET

an affiliate of Perkins Eastman Architects, PC

115 FIFTH AVENUE
NEW YORK, NY 10003
T. 212.353.7606
F. 212.353.7676

181 AVENUE A, LLC 15 WASHINGTON AVENUE BROOKLYN, NY 11205 T: (718) 858-1600

NEW YORK, NY 10011

NEW YORK, NY 10001 T: 212-239-1892

LIVINGSTON, NJ

T: (888) 994-9220

Civil Engineer:
RA CONSULTANTS, LLC

47 WILKENS DRIVE DUMONT, NJ 07628 T: 201-374-1794

DESIMONE CONSULTING ENGINEERS

18 WEST 18TH STREET, 10TH FLOOR

RODKIN CARDINALE, P.C. 224 WEST 29TH STREET, 4TH FLOOR

Vertical Transportation Consultants VAN DEUSEN & ASSOCIATES 5 REGENT STREET, SUITE 524

09/18/13 HPD SUBMISSION

PROJECT ADDRESS NEW YORK, NY PROJECT No: 53190.00

> DRAWING TITLE: BUILDING **ELEVATIONS -**

SCALE: 1/8" = 1'-0"

A-203.00

DOB BSCAN STICKER

5 12TH STREET. NORTH ELEVATION
SCALE: 1/8" = 1'-0"

BRICK

— GLASS ENTRANCE DOORS

6 12TH STREET. COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

TITLE REPORT DESCRIPTION PARCEL 1 (LOT NO. 34): ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, COUNTY, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF 11TH STREET WITH THE WESTERLY SIDE OF AVENUE A; RUNNING THENCE WESTERLY, ALONG THE NORTHERLY SIDE OF 11TH STREET, 100 FEET; THENCE NORTHERLY AND PARALLEL WITH AVENUE A. 75 FEET: THENCE EASTERLY AND PARALLEL WITH 11TH STREET, 100 FEET TO THE WESTERLY SIDE OF AVENUE THENCE SOUTHERLY ALONG THE SAID WESTERLY SIDE OF AVENUE A, 75 FEET TO THE POINT OR PLACE OF BEGINNING. PARCEL 2 (LOT NO. 33): MANHATTAN, COUNTY, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLO $ar{N}$

ALL THAT CERTAIN PLOT. PIECE OR PARCEL OF LAND SITUATE. LYING AND BEING IN THE BOROUGH OF BEGINNING AT A POINT ON THE WESTERLY SIDE OF AVENUE A, DISTANT 75 FEET NORTHERLY FROM THE NORTHWESTERLY CORNER OF 11TH STREET AND A VENUE A;

THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 25 FEET; THENCE WESTERLY PARALLEL WITH 11TH STREET, 100 FEET;

THENCE SOUTHERLY PARALLEL WITH AVENUE A, 25 FEET;

THENCE SOUTHERLY AND PARALLEL WITH AVENUE A, 25 FEET;

THENCE SOUTHERLY AND PARALLEL WITH AVENUE A, 25 FEET;

THENCE EASTERLY PARALLEL WITH 11TH STREET, 100 FEET TO THE POINT OR PLACE OF BEGINNING.

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, COUNTY, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY SIDE OF AVENUE A, DISTANT 125 FEET NORTHERLY FROM HE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF 11TH STREET AND THE WESTERLY SIDE OF AVENUE A, 25 FEET;

THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 25 FEET; THENCE WESTERLY AND PARALLEL WITH 11TH STREET AND PART OF THE DISTANCE THROUGH A PARTY WALL, 100 FEET;

THENCE FASTERLY AND PARALLEL WITH 11TH STREET AND PART OF THE DISTANCE THROUGH A PARTY WALL, 100 FEET TO THE WESTERLY SIDE OF AVENUE A TO THE POINT OR PLACE OF BEGINNING.

BEGINNING AT A POINT ON THE WESTERLY SIDE OF A VENUE A, DISTANT 100 FEET NORTHERLY FROM THE NORTHWEST CORNER OF AVENUE A AND 11TH STREET; RUNNING THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 25 FEET;

THENCE WESTERLY AND PARALLEL WITH 11TH STREET, 100 FEET;

THENCE EASTERLY AND PARALLEL WITH 11TH STREET, 100 FEET TO THE WESTERLY SIDE OF AVENUE A, THE POINT OR PLACE OF BEGINNING.

PERIMETER DESCRIPTION OF LOTS NO. 31 AND NO. 33 ALL THAT CERTAIN PLOT. PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF

MANHATTAN, COUNTY, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: INNING AT A POINT ON THE WESTERLY SIDE OF AVENUE A, DISTANT 75 FEET NORTHERLY FROM THE NORTHWESTERLY CORNER OF 11TH STREET AND AVENUE A,

THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 75 FEET;

THENCE WESTERLY PARALLEL WITH 11TH STREET, 100 FEET; THENCE SOUTHERLY PARALLEL WITH AVENUE A, 75 FEET;

PLACE OF BEGINNING

THENCE EASTERLY PARALLEL WITH 11TH STREET, 100 FEET TO THE POINT OR PLACE OF BEGINNING.

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, OF THE CITY OF NEW YORK, COUNTY OF NEW YORK AND STATE OF NEW YORK, ON THE SOUTHERLY SIDE OF 12TH STREET, BOUNDED AND CONTAINING AS FOLLOWS, VIZ:

COMMENCING AT A POINT ON SAID SOUTHERLY SIDE OF 12TH STREET DISTANT 70 FEET OR THEREABOUTS WESTERLY FROM THE SOUTHWESTERLY COMER OF AVENUE A AND 12TH STREET; AND RUNNING THENCE SOUTHERLY AND PARALLEL WITH AVENUE A, 56 FEET 6 INCHES;

THENCE WESTERLY AND PARALLEL WITH 12TH STREET, 30 FEET; THENCE NORTHERLY AND PARALLEL WITH AVENUE A, 56 FEET 6 INCHES TO THE SOUTHERLY SIDE OF

THENCE EASTERLY ALONG SAID SOUTHERLY SIDE OF 12TH STREET, 30 FEET TO THE POINT OR PLACE OF BEGINNING, BE THE SAID SEVERAL DIMENSIONS AND DISTANCES MORE OR LESS. PARCEL 5 (LOT NO. 26):

ALL THOSE CERTAIN LOTS, PIECES OR PARCELS OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, CITY, COUNTY AND STATE OF NEW YORK, MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OR SIDE OF 12TH STREET DISTANT 100 FEET WESTERLY FROM THE COMER FORMED BY THE INTERSECTION OF THE SOUTHERLY LINE OR SIDE OF 12TH STREET WITH THE WESTERLY LINE OR SIDE OF AVENUE A;

RUNNING THENCE SOUTHERLY, PARALLEL WITH AVENUE A, 206 FEET 6 INCHES, TO THE NORTHERLY LINE OR SIDE OF 11TH STREET

THENCE WESTERLY, ALONG THE SAID NORTHERLY LINE OR SIDE OF 11 TH STREET, 63 FEET;

THENCE NORTHERLY AGAIN PARALLEL WITH AVENUE A, 206 FEET 6 INCHES TO THE SOUTHERLY LINE OR SIDE OF 12TH STREET;

THENCE EASTERLY ALONG THE SOUTHERLY LINE OR SIDE OF 12TH STREET, 63 FEET TO THE POINT OR

PROPERTY KNOWN AND DESIGNATED AS LOTS 26, 27, 31, 33 & 34, IN BLOCK 439 ON THE OFFICIAL TAX

PARCEL 2 (LOT 33) AREA 2,500 S.F. OR 0.0574 AC. 2,500 S.F OR 0.0574 AC 2,500 S.F OR 0.0574 AC. 1,695 S.F. OR 0.0389 AC PARCEL 5 (LOT 26) AREA = 13,009 S.F. OR 0.2987 AC TOTAL AREA = 29,704 S.F. OR 0.6820 AC

LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE, LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN. ALL RGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE COMMITMENT REPORT PREPARED BY OCTOBER 1, 2012, WHERE THE FOLLOWING EXCEPTIONS APPEAR IN SCHEDULE B THEREIN.

5. COVENANTS, CONDITIONS, EASEMENTS, AGREEMENTS OF RECORDS, ETC., AS FOLLOWS: A. SEWER AGREEMENTS SET FORTH IN LIBER 974 CP 90 (DOCUMENT ILLEGIBLE), LIBER 996 CP 585 - DOCUMENT PARTIALLY ILLEGIBLE, AND IN LIBER 173 CP 178, SECTION 2 - BLANKET, NOT

B. REVERTER SET FORTH IN REEL 538 PAGE 632 AFFECTING LOT NO. 26 - BLANKET, SEE NOTE 10. ELEVATIONS ARE BASED UPON BOROUGH OF MANHATTAN DATUM, BENCHMARK 434, HAVING AN ELEVATION OF 12.43', REPUTED TO BE 2.75' ABOVE MEAN SEA LEVEL AT SANDY HOOK (NGVD 29) BY GRAPHIC PLOTTING. PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP (FIRM) NO. 3604970201F, EFFECTIVE DATE SEPTEMBER 5,

THERE ARE NO VISIBLE STREAMS OR NATURAL WATERCOURSES IN THE PROPERTY AT THE TIME OF THE FIELD SURVEY.

THE LOCATION AND EXTENTS OF UNDERGROUND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE

DEED FOR LOT 26 CONTAINS A REVERSIONARY CLAUSE TO THE SELLER (THE TRUSTEES OF ST PATRICK'S CATHEDRAL IN THE CITY OF NEW YORK) THAT IN THE EVENT THE PROPERTY AT SOME POINT IN TIME CAN NO LONGER BE USED FOR A CHURCH OR CHURCH RELATED ACTIVITIES, OR IN THE EVENT AT ANY TIME SHALL BE UNABLE TO CARRY ON AS A CHURCH FACILITY OR SHALL FAIL TO PERFORM ORDINARY CHURCH FUNCTIONS AS MAYBE DETERMINED BY THE ARCHBISHOP OF NEW YORK.

THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT TIME OF FIELD SURVEY.

THERE WAS NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS AT TIME OF FIELD

3. THERE WAS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR

14. BUILDING FOOTPRINTS ON THE OPPOSITE SIDE OF EAST 11TH STREET, EAST 12TH STREET AND AVENUE A ARE APPROXIMATE AND FOR ILLUSTRATION PURPOSES ONLY.

REFERENCES:

DATED JUNE 30, 1916.

BOROUGH OF MANHATTAN, BOROUGH PRESIDENTS OFFICE, TOPOGRAPHICAL BUREAU, SECTIONAL MAP #33.

BOROUGH OF MANHATTAN, BOROUGH SURVEY MAP #23.

CITY OF NEW YORK FIRE DEPARTMENT BUREAU OF FIRE ALARM TELEGRAPH, MAP #22,

WATER MAPPING PROVIDED BY NYC DEPARTMENT OF ENVIRONMENTAL PROTECTION,

BUREAU OF WATER & SEWER OPERATIONS, MAP PRINTED 8/21/2012.

SEWER MAPPING PROVIDED BY THE NEW YORK CITY DEPARTMENT OF ENVIROMENTAL PROTECTION, BUREAU OF WATER AND SEWER OPERATIONS.

TELEPHONE MAPPING RECEIVED FROM EMPIRE CITY SUBWAY, RECEIVED 8/23/2012.

LOW TENSION MAINS AND SERVICE PLATE PROVIDED BY CONSOLIDATED EDISON CO. OF N.Y. INC. - MANHATTAN, PLATE NO. 17-K, LAST MODIFIED 10/22/2012 AND PLATE NO. 17-L, LAST MODIFIED 4/10/2012.

CONDUIT PLATE PROVIDED BY CONSOLIDATED EDISON CO. OF N.Y. INC - MANHATTAN, PLATE NO. 17-K-3 LAST GEN. ISSUE 10/25/2012 AND PLATE NO. 17-L-1, LAST GEN. ISSUE

GAS MAINS AND SERVICE PLATE PROVIDED BY CONSOLIDATED EDISON CO. OF N.Y. INC -MANHATTAN, PLATE NO. 17-K-3 LAST MODIFIED 9/11/2012 AND PLATE NO. 17-L, LAST

UTILITIES:

<u>UTILITY COMPANY</u>

CONSOLIDATED EDISON CO. OF N.Y

EMPIRE CITY SUBWAY MANHATTAN

TIME WARNER CABLE - MANHATTAN

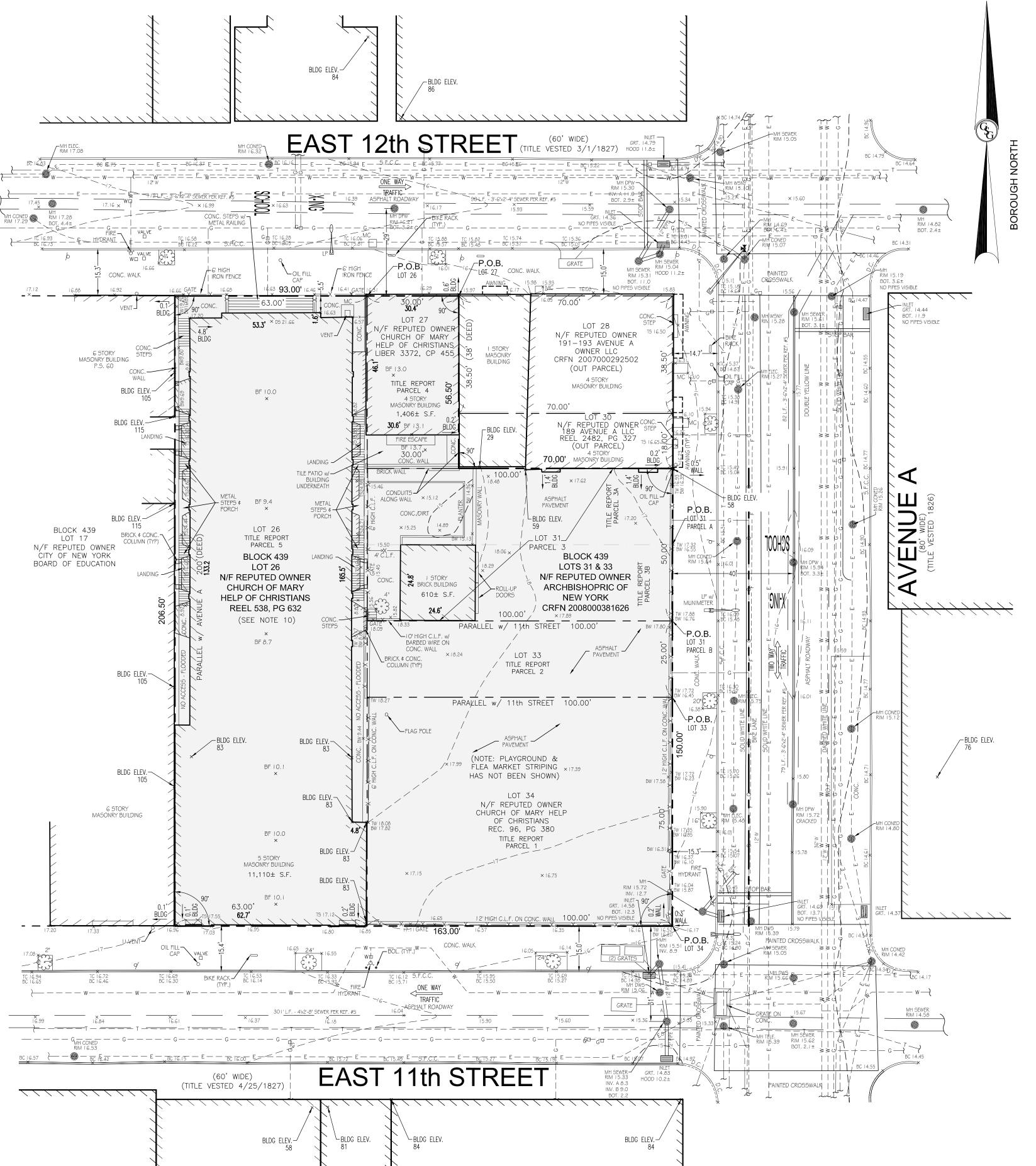
PHONE NUMBER

(718) 416-2832

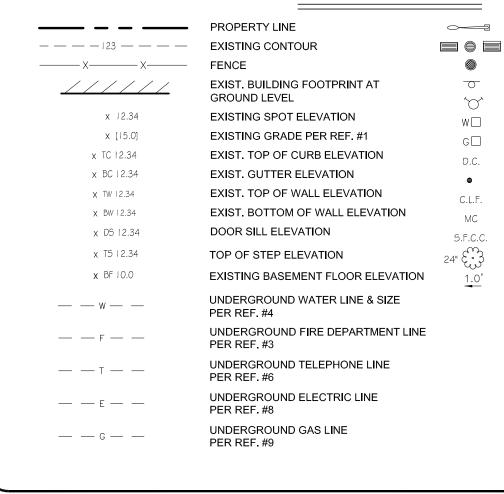
(212) 240-4653

718) 472-2304

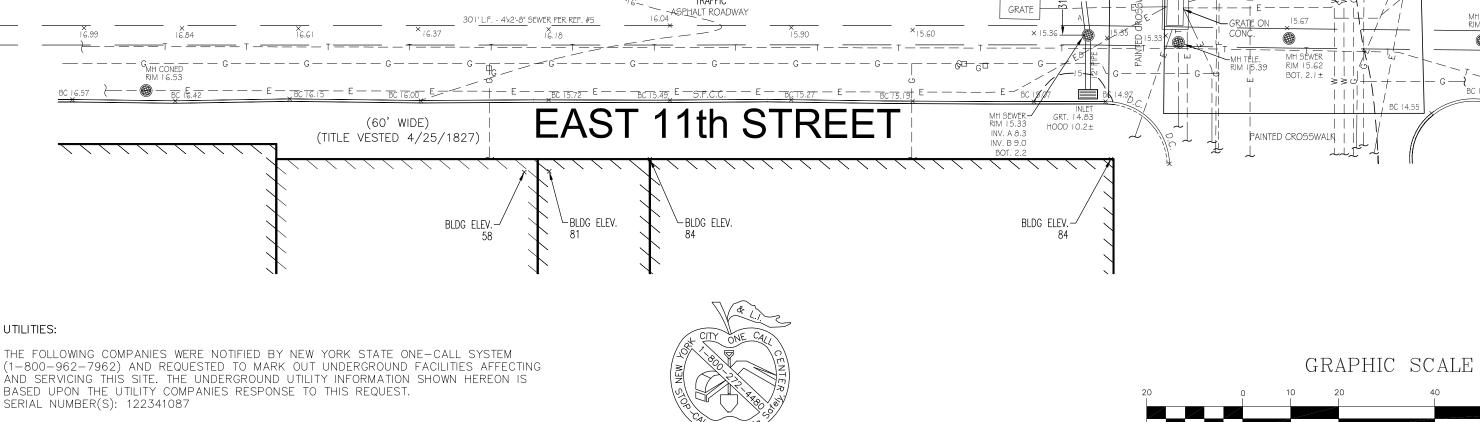
(212) 379-4191



MAP LEGEND



UTILITY POLE/LIGHT POLE MANHOLE SIGN HYDRANT WATER VALVE GAS VALVE DEPRESSED CURB BOLLARD CHAIN LINK FENCE METAL COVER STEEL FACED CONC. CURB DENOTES TREE & TRUNK DIAMETER DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE



NEW YORK STATE REQUIRES NOTIFICATION BY EXCAVATORS,

DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S

SURFACE ANYWHERE IN THE STATE.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE

VICINITY MAP

7	REVISE PER ENGINEER COMMENTS	06/28/2013
6	REVISE PER ENGINEER COMMENTS	06/27/2013
5	REVISE TO SHOW BASEMENT FLOOR AND ROOF ELEVATIONS	05/24/2013
4	REVISE PER RECEIPT OF GAS & ELECTRIC MAPPING	01/08/2013
3	REVISE TO EDIT NOTE 5	12/20/2012
2	REVISE PER UPDATED TITLE REPORT & CHANGE IN CERTIFIED PARTIES	10/12/2012
1	REVISE PER ADDITIONAL SITE ACCESS & RECEIPT OF TITLE REPORT	9/25/2012
No.	DESCRIPTION OF REVISION	DATE

LOTS 26, 27, 31, 33 & 34, BLOCK 439 AVENUE A BETWEEN EAST 11TH & EAST 12TH STREETS BOROUGH OF MANHATTAN CITY, COUNTY & STATE OF NEW YORK

ALTA/ACSM LAND TITLE SURVEY

ROUP

171 CHURCH LANE NORTH BRUNSWICK, NJ 08902 TELE: 732-422-6700 FAX: 732-940-8786 www.gallassurvey.com

DATE	SCALE	DRAWN:	CHECKED:			
8-31-2012	1"=20'	R.S.E.	D.A.H.			
FIELD DATE 8/17, 8/21/2012 9/17/2012	FIELD BOOK 15 16	PAGE 109 & 115 126	FIELD CREW P.P./M.C./K.C. D.A./P.P.			
FILE NO.:		DRAWING NAME/SHEET NO.				
G12121		G12121.DWG	1 of 1			

181 AVENUE A ASSOCIATES, LLC; CAPITAL ONE, NATIONAL ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS, COMMONWEALTH LAND TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 3, 4, 7(a), 8, 9, 11(a), 13, 16, 17, 18, 19 & 21 (\$1,000,000 MINIMUM THRESHOLD) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 08/21/2012.

NOT VALID UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL

GREGORY S. GALLAS

NEW YORK PROFESSIONAL LAND SURVEYOR #50124

(IN FEET)

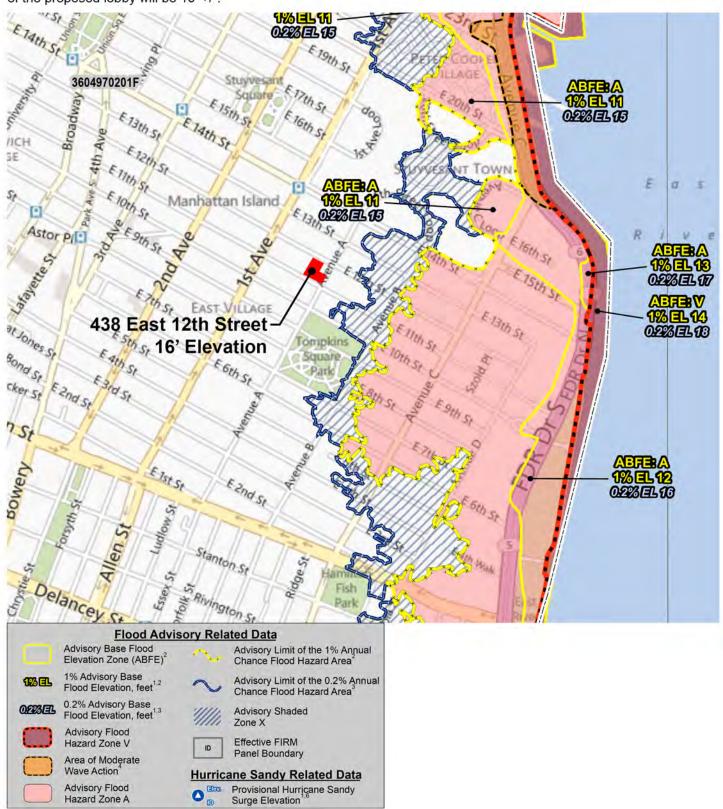
1 inch = 20 ft.

DATE

438 East 12th Street

FEMA Flood Maps Issued February 22, 2013

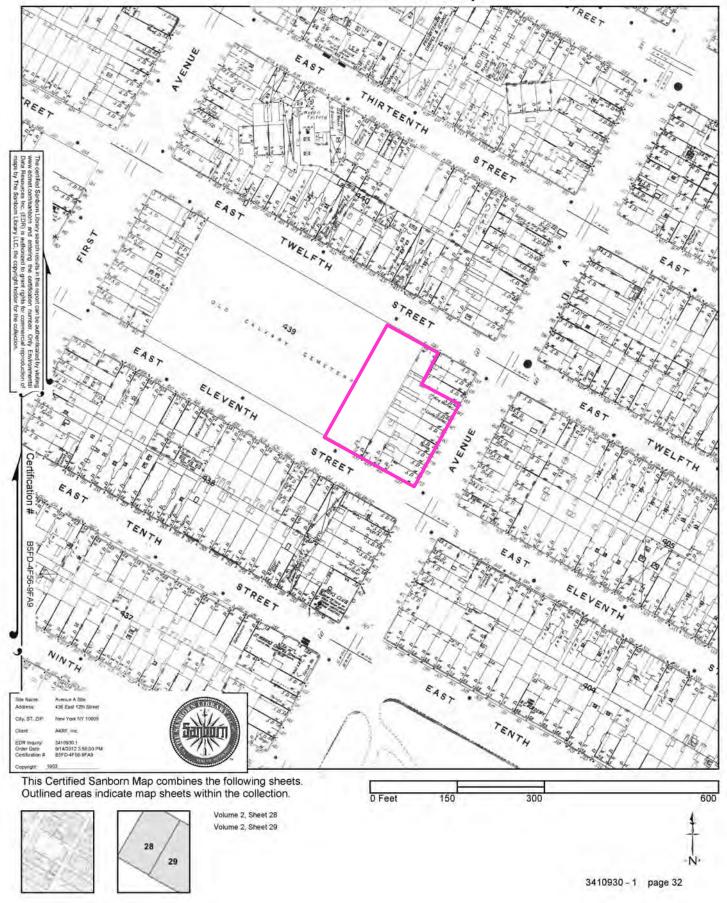
Superstorm Sandy was considered a 500-year storm and the extent of the flooding could be found between Avenue A and Avenue B near our development site. FEMA determined that Sandy's flooding reached 15' above sea level near 438 East 12th Street, which is delineated by the blue hatched area. For the design, the street elevation in the area of the proposed lobby will be 16' +/-.

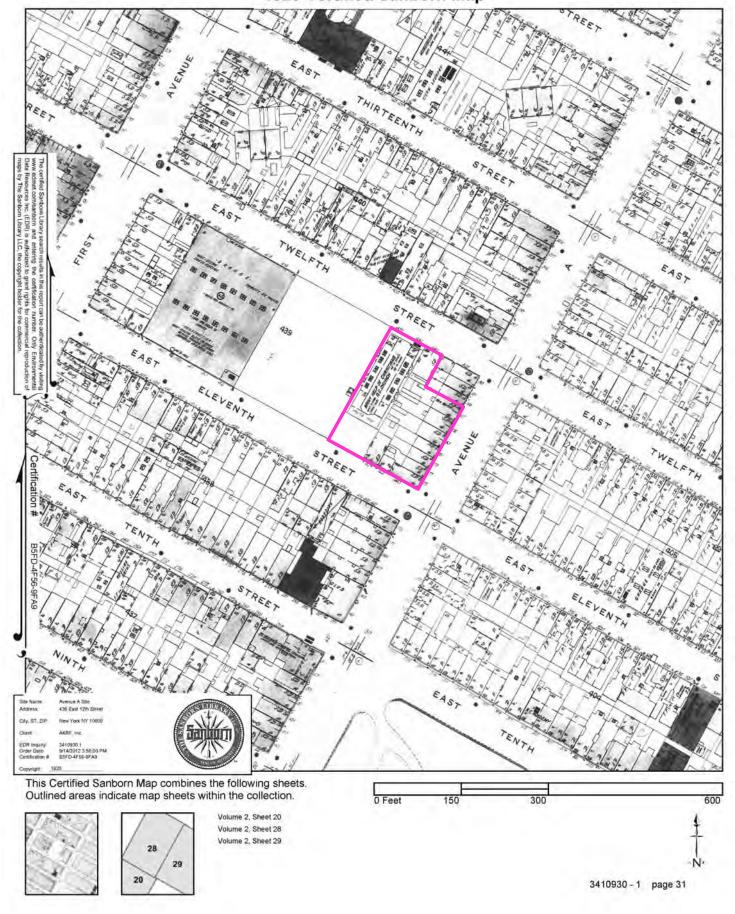


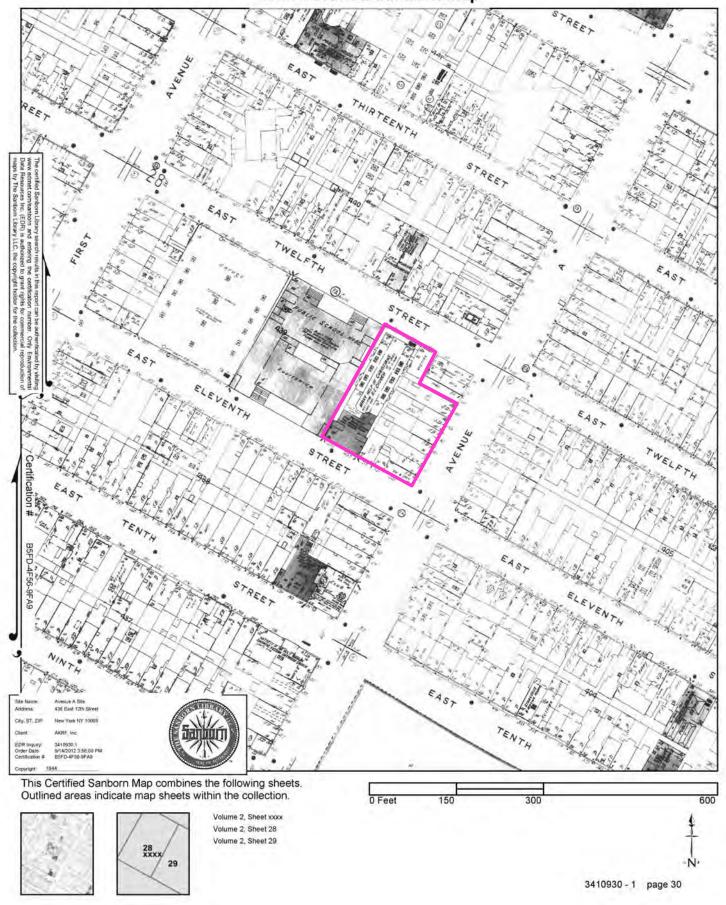
ABFE: Advisory Base Flood Elevation for the 100-year (1%) and 500-year (.2%) storms.

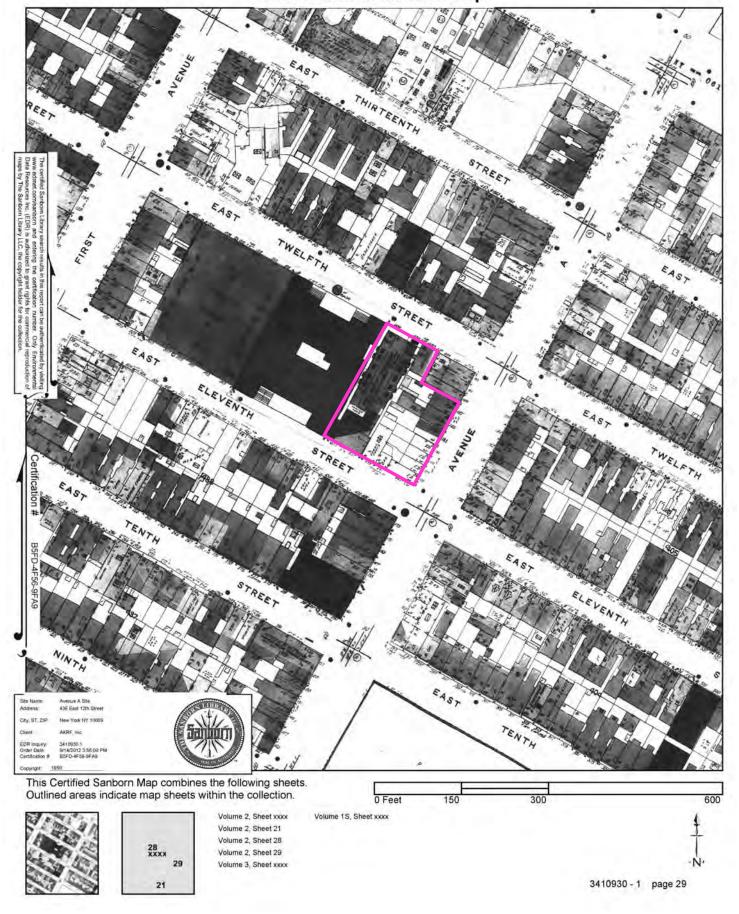
APPENDIX B HISTORICAL SANBORN MAPS

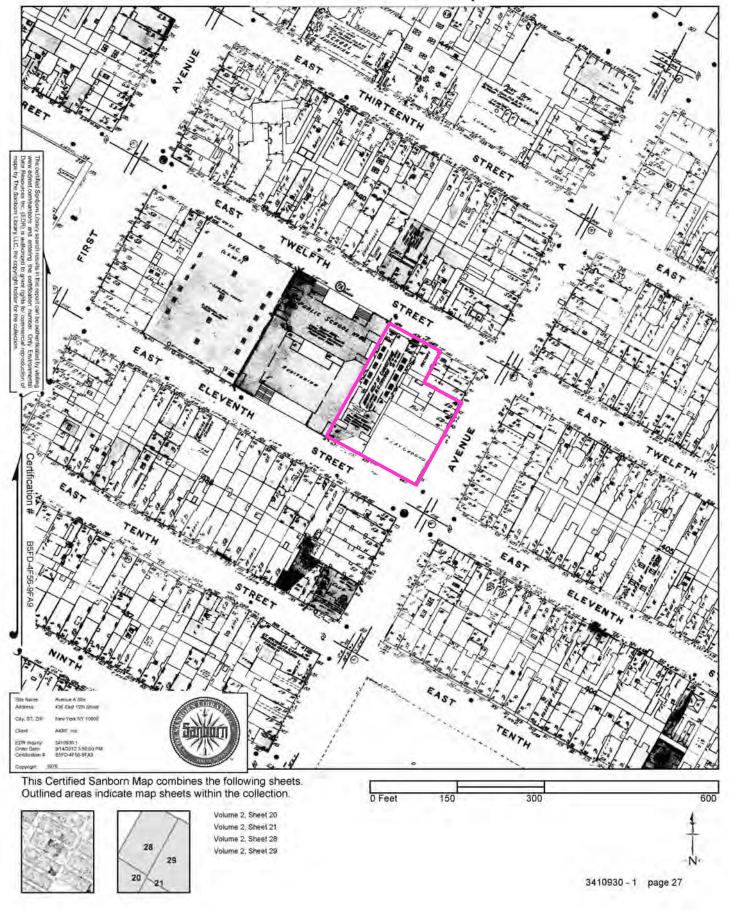
438 East 12th Street New York, NY

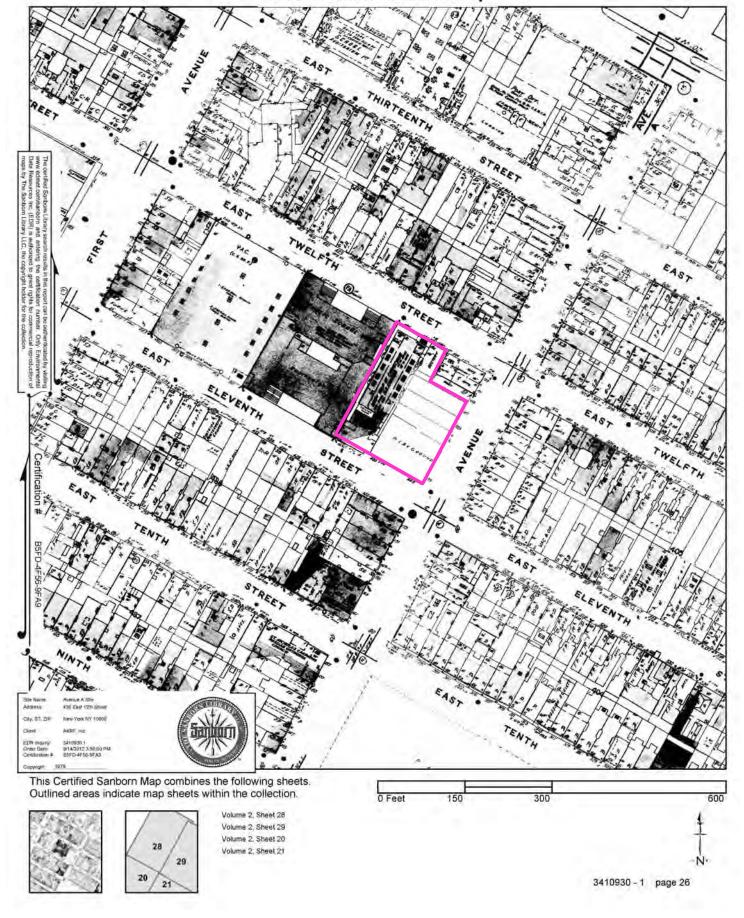


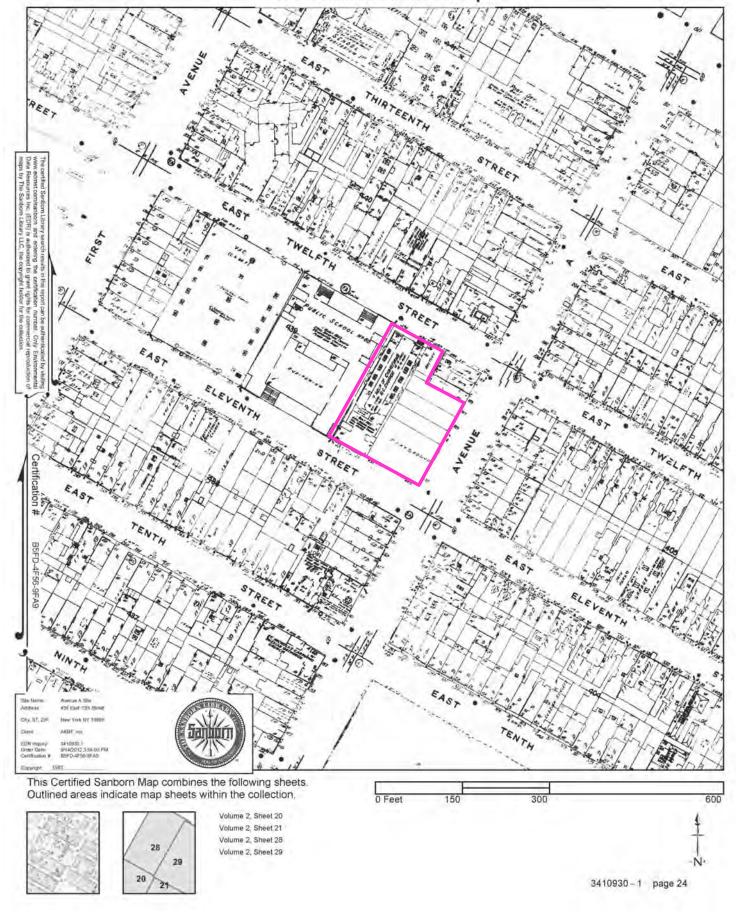


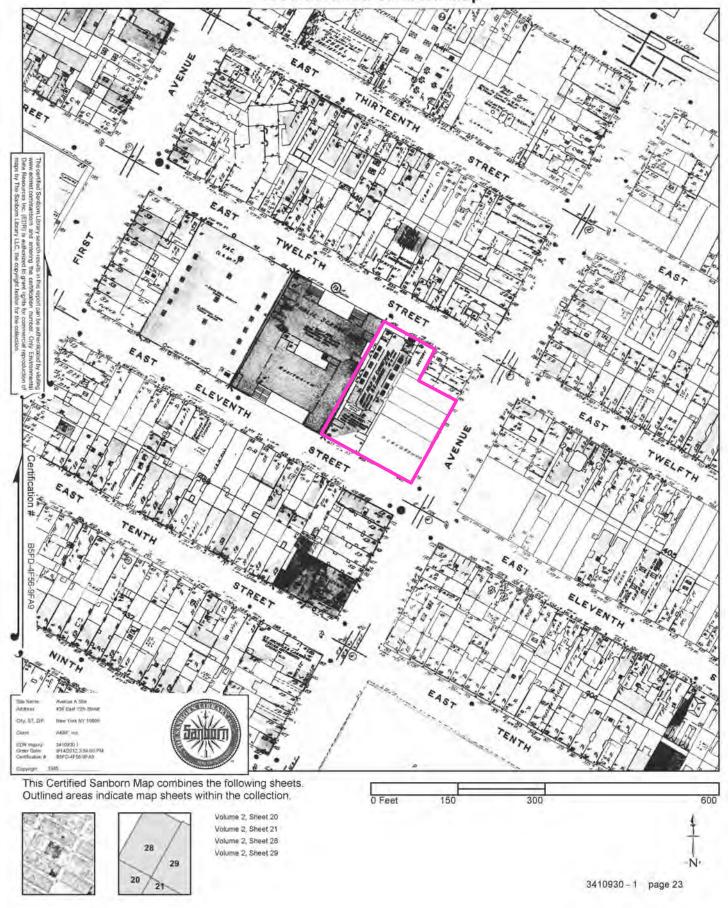


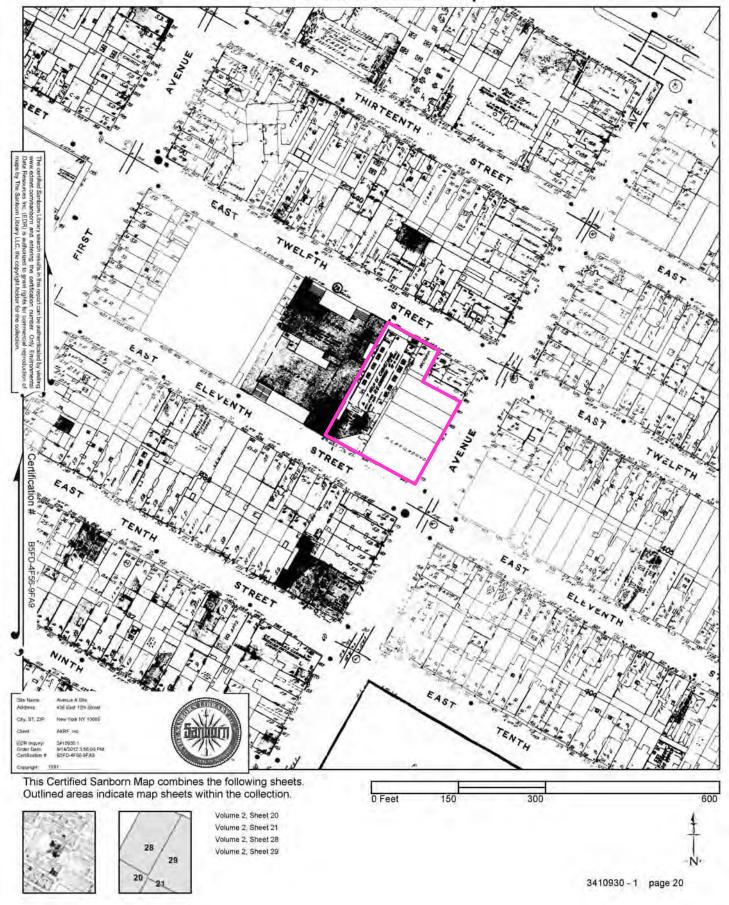


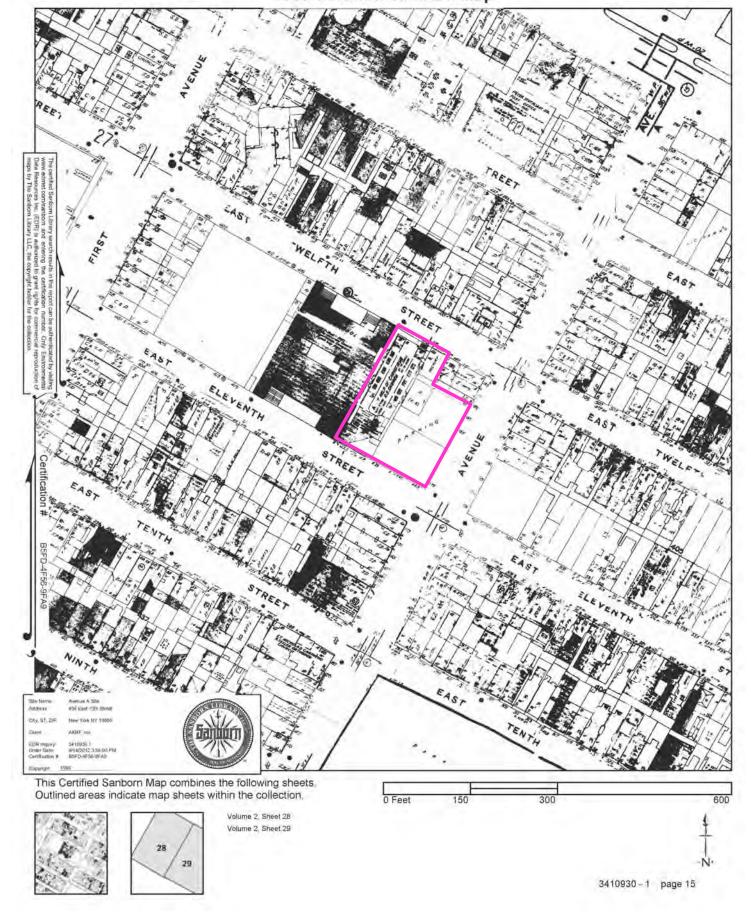


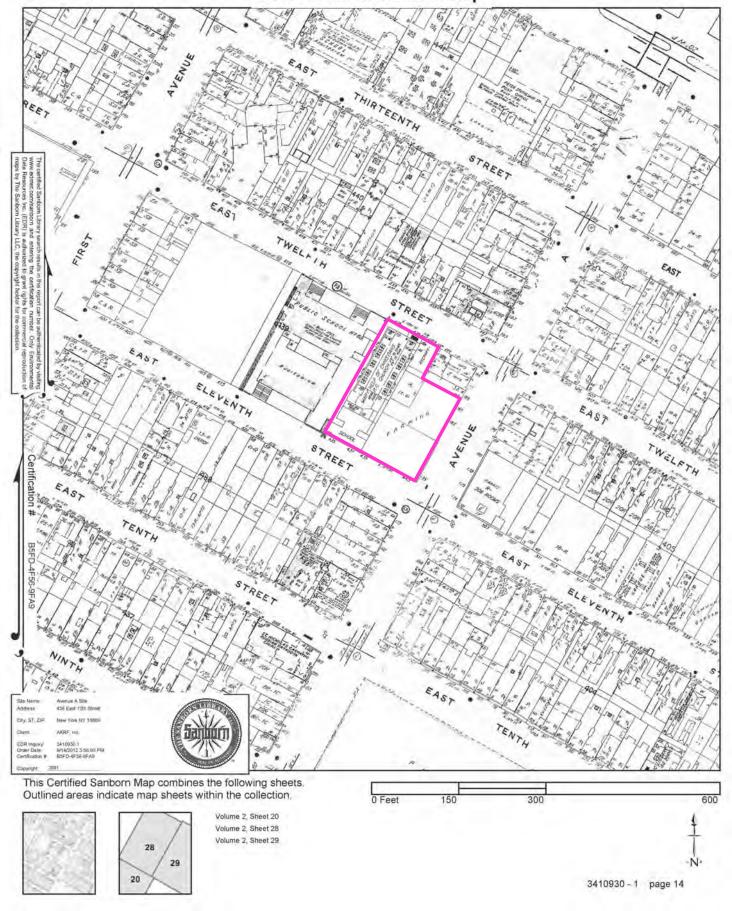


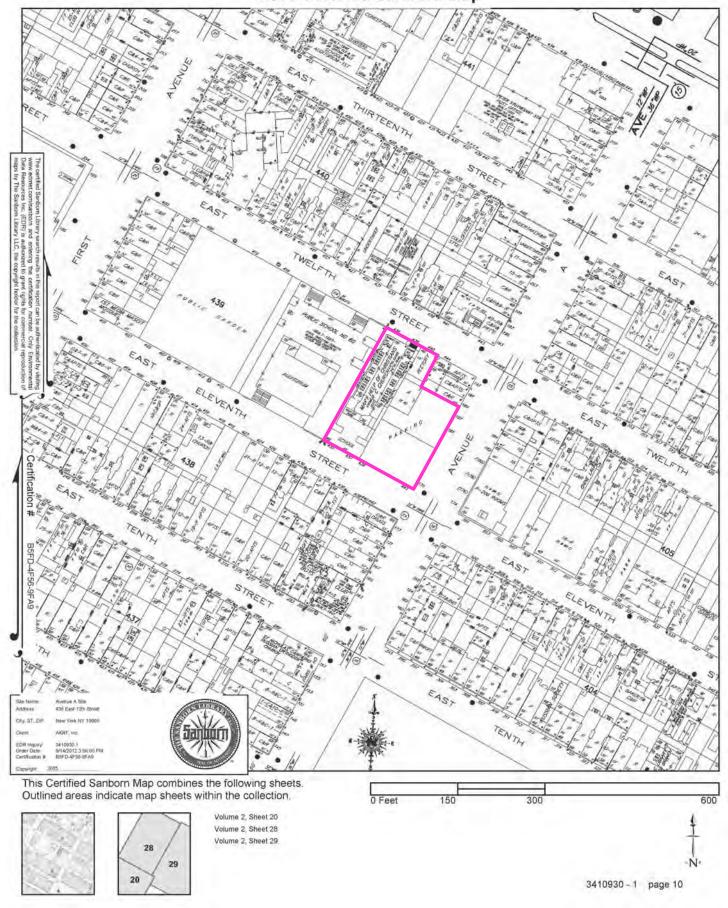


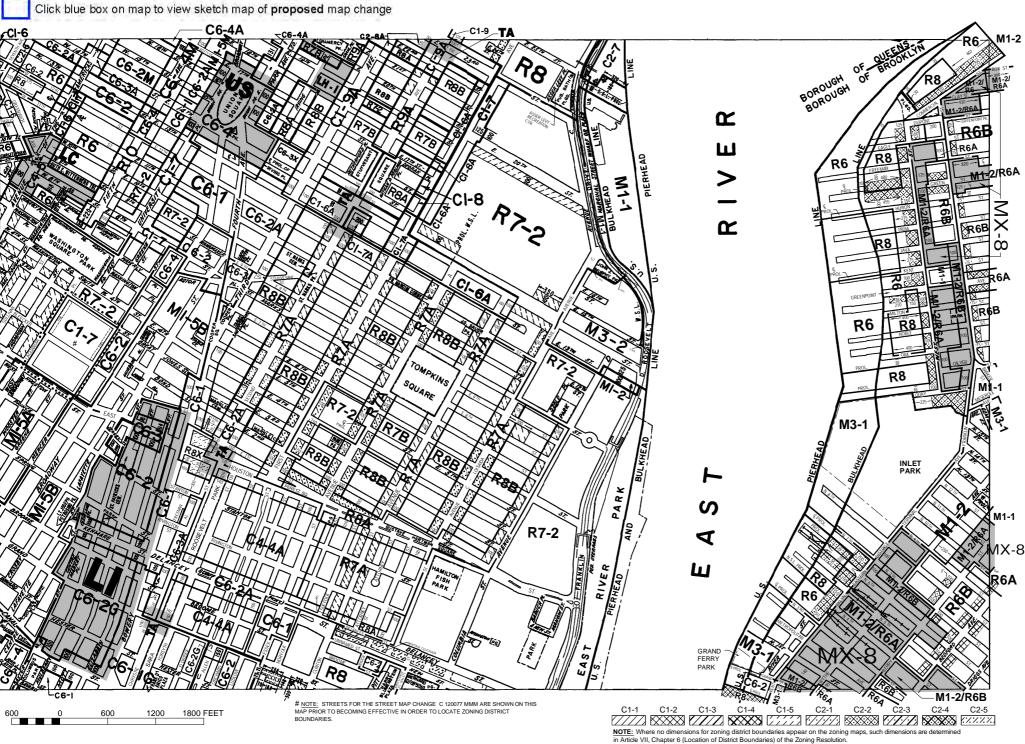












ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

Major Zoning Classifications:

The number(s) and/or letter(s) that follows an R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

R - RESIDENTIAL DISTRICT

C - COMMERCIAL DISTRICT

M - MANUFACTURING DISTRICT

SPECIAL PURPOSE DISTRICT The letter(s) within the shoded oreo designates the special purpose district os described in the text of the Zoning Resolution.

AREA(S) REZONED

Effective Date(s) of Rezoning:

07-25-2012 C 120122 ZMM

Special Requirements:

For a list of lots subject to CEQR environmental requirements, see APPENDIX C.

For a list of lots subject to "D" restrictive declarations, see APPENDIX D.

For Inclusionary Housing designated areas on this map, see APPENDIX F.

MAP KEY		Õ
8b	8d	9b
12a	12c	13a
12b	12d	13b
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NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: www.nyc.gov/planning or contact the Zoning Information Desk at

(212) 720-3291.