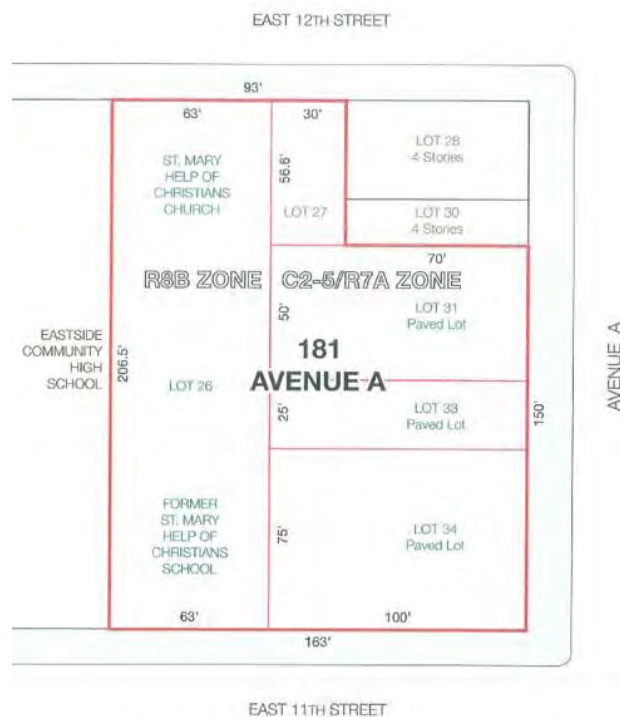


438 East 12th Street, New York, NY 10009
Executive Summary

Project Overview

438 East 12th Street will be a newly constructed 158 unit building in Manhattan's East Village (the "Project"). The parcels are currently designated as Block 439, Lots 26, 27, 31, 33 and 34 on the Tax Map of the City of New York. All buildings previously on the site have been demolished and the site is currently vacant. The site of the Project is located at 438 East 12th Street, extending through to East 11th Street and with frontage along Avenue A (the "Site"), and is located in Community District 3. The Site area is approximately 27,000 square feet, and is split over between zoning districts, R8B and R7A/C2-5. It is well served by public transportation, including the L train at 14th Street and 1st Avenue, and the M14A and M14D buses at East 11th Street and Avenue A.



181 Avenue A, LLC, a New York limited liability company, is the owner of the Site as well as the applicant ("Applicant") under the Inclusionary Housing application to be submitted to New York City's Department of Housing Preservation and Development ("HPD"). The Project will contain 22 affordable units that will be designated as Inclusionary Housing units under HPD's Inclusionary Housing Program. These 22 Inclusionary Housing units will consist of 4 studios, 14 one-bedroom units, and 4 two-bedroom units. Applicant intends to enter into a regulatory agreement with HPD (the "Regulatory Agreement") that will provide that the 22 Inclusionary Housing units (the "IH Units") be set aside for households earning no more than 60% AMI for the duration of 421-a real estate tax benefits, and for as long as such 421-a affordability requirement exists, and thereafter at 80% of AMI, as more fully described below.

Prior to execution of the Regulatory Agreement, Applicant intends to convert the Project into a three-unit condominium by recording a declaration of condominium against the property. The condominium will consist of one (1) unit containing all of the residential apartments, except the Sponsor Unit (as

defined herein), one (1) unit containing the four (4) bedroom apartment on the seventh floor (the "Sponsor Unit"), and one (1) unit containing the retail space. Except for the Sponsor Unit, all of the residential apartments will be rentals.

The building will contain a total of approximately 157,864 gross square feet of floor area. Construction of the Project is expected to take approximately twenty (20) months with a full lease-up of the Project anticipated within such twenty (20) month period.

Project Design

The seven (7) story building will be "U" shaped, with interior units facing onto a landscaped courtyard. The building's façade will be primarily comprised of brick, with metal panel at the penthouse setback level and storefront at the ground floor retail. The building will have residential apartments on all floors, including garden apartments on the cellar level. The first floor apartments will be elevated approximately 3' above grade, and will be accessible not only by stairs but also by a rear-opening elevator. Approximately 10,000 square feet at the first floor and 8,000 square feet in the cellar are reserved for retail use. To enliven the courtyard façade and offer outdoor space, twenty-five (25) of the courtyard units will have balconies, five (5) of which will be IH Units.

The entrance to the building will be on East 12th Street, and the building will be staffed 24 hours a day by a concierge. Loading and move-ins will take place through a service corridor and entrance on Avenue A. Resident amenities will be housed in the cellar, opening to a landscaped courtyard, and on the top roof of the building. The amenities program is currently contemplated to include a fitness center and lounge in the cellar, as well as a swimming pool and landscaped deck on the roof. Access to these amenities will be fee-based. The fee will be reduced for the residents of the IH Units.

One two-bedroom unit will be set aside for the resident manager. All units will have individually controlled heating and cooling systems, ENERGY STAR[®] appliances, and laundry closets with washers and dryers. The project will be constructed using a mat slab foundation and poured-in-place concrete structural system.

Financing

The Project will be privately financed by a permanent mortgage and equity after completion of construction. No HPD subsidy or any other form of government subsidy or financing will be required for the Project.

Applicant intends to obtain a private construction loan in the amount of \$82,000,000 to \$92,000,000. Additionally, developer equity will be used as part of the construction financing. The construction loan will be paid off entirely upon completion of construction by the proceeds of a permanent mortgage.

Tax Exemption

The Project is expected to receive a 421-a tax exemption, and all twenty-two (22) IH Units will be subject to 421-a program restrictions. In addition to the IH Units, there will be ten (10) apartments that will not be subject to the Regulatory Agreement, and will designated as 421-a affordable units only. Pursuant to the 421-a program, all the affordable units at the Project will be set aside for households earning no more than 60% of the area median income for the duration of the 421-a benefits, and for so long as the 421-a affordability requirements exist. Upon termination of 421-a affordability requirements the IH

Units will be set aside for households earning no more than 80% of AMI, and the ten (10) additional 421-a affordable units will cease to be encumbered by affordable restrictions.

Development Team

The Project will be developed by the father and son team of David S. Steiner and Douglas C. Steiner. The Applicant is a wholly owned subsidiary of 200 Laurel Associates, LLC. David and Douglas Steiner are the managing members of 200 Laurel Associates, LLC.

The Steiners own and operate a family business that has acted as builders, developers and owners for over 100 years. Current and recent residential projects include 58 and 80 Metropolitan, two market-rate condominium projects totaling 50 and 123 units respectively, and comprising a full city block in Williamsburg, Brooklyn; and the Hub, a 758,000 square foot, 52-story tower in Downtown Brooklyn that is being developed as an HFA 80/20 project with an Inclusionary component. The Steiners also own a 60 unit residential rental building at 204 Huntington Street as well as a mixed use residential and retail rental building at 142 N. 6th Street, both in Brooklyn.

S9, a division of Perkins Eastman, is the Project Architect. The design team, headed by Navid Maqami, has extensive experience designing residential projects in New York City. This is the third collaboration between the Steiner Family and the design team.

PROJECT NAME: 438 E. 12th Street
ADDRESS: 438 E. 12 th Street, New York, NY 10009
DATE: 9/12/13

Unit Size Chart

To be completed by developer's team						
Unit Summary		Construction Floor #	Marketing Floor #	Apt #	# Bdrms	Net Sq. Ft.
# Bdrms	Units	7	7	701	1	588
0 Bdrm	30			702	1	585
1 Bdrm	98			703	2	1011
2 Bdrm	29			704	1	700
4 Bdrm	1			705	1	640
Total	158			706	2	1116
				707	2	961
				708	4	3364
				709	1	789
				722	2	1016
				723	2	977
				724	1	613
				727	1	557
		6	6	601	1	588
				602	1	585
				603	2	1011
				604	2	1009
				608	1	559
				609	1	531
				610	1	554
				611	1	598
				612	1	460
				613	0	380
				614	1	603
				615	1	604
				616	1	577
				617	1	545
				618	2	714
				619	1	553
				620	1	562
				621	0	521
				622	2	1016
				623	2	977
				624	1	613
				627	1	557
		5	5	501	1	588
				502	1	585
				503	1	579
				504	0	369
				505	0	435
				506	0	423
				507	1	564
		508	1	561		
		509	1	531		

		510	1	554
		511	1	598
		512	1	460
		513	0	380
		514	1	603
		515	1	604
		516	1	577
		517	1	545
		518	2	714
		519	1	553
		520	1	562
		521	1	580
		522	1	576
		523	2	750
		524	0	414
		525	0	401
		526	2	778
		527	1	541
4	4	401	1	588
		402	1	585
		403	1	579
		404	0	369
		405	0	435
		406	0	423
		407	1	564
		408	1	561
		409	1	531
		410	1	554
		411	1	598
		412	1	460
		413	0	380
		414	1	603
		415	1	604
		416	1	577
		417	1	545
		418	2	714
		419	1	553
		420	1	562
		421	1	580
		422	1	576
		423	2	750
		424	0	414
		425	0	401
		426	2	778
		427	1	541
3	3	301	1	588
		302	1	585
		303	1	579
		304	0	369
		305	0	435
		306	0	423
		307	1	564
		308	1	561
		309	1	531
		310	1	554
		311	1	598

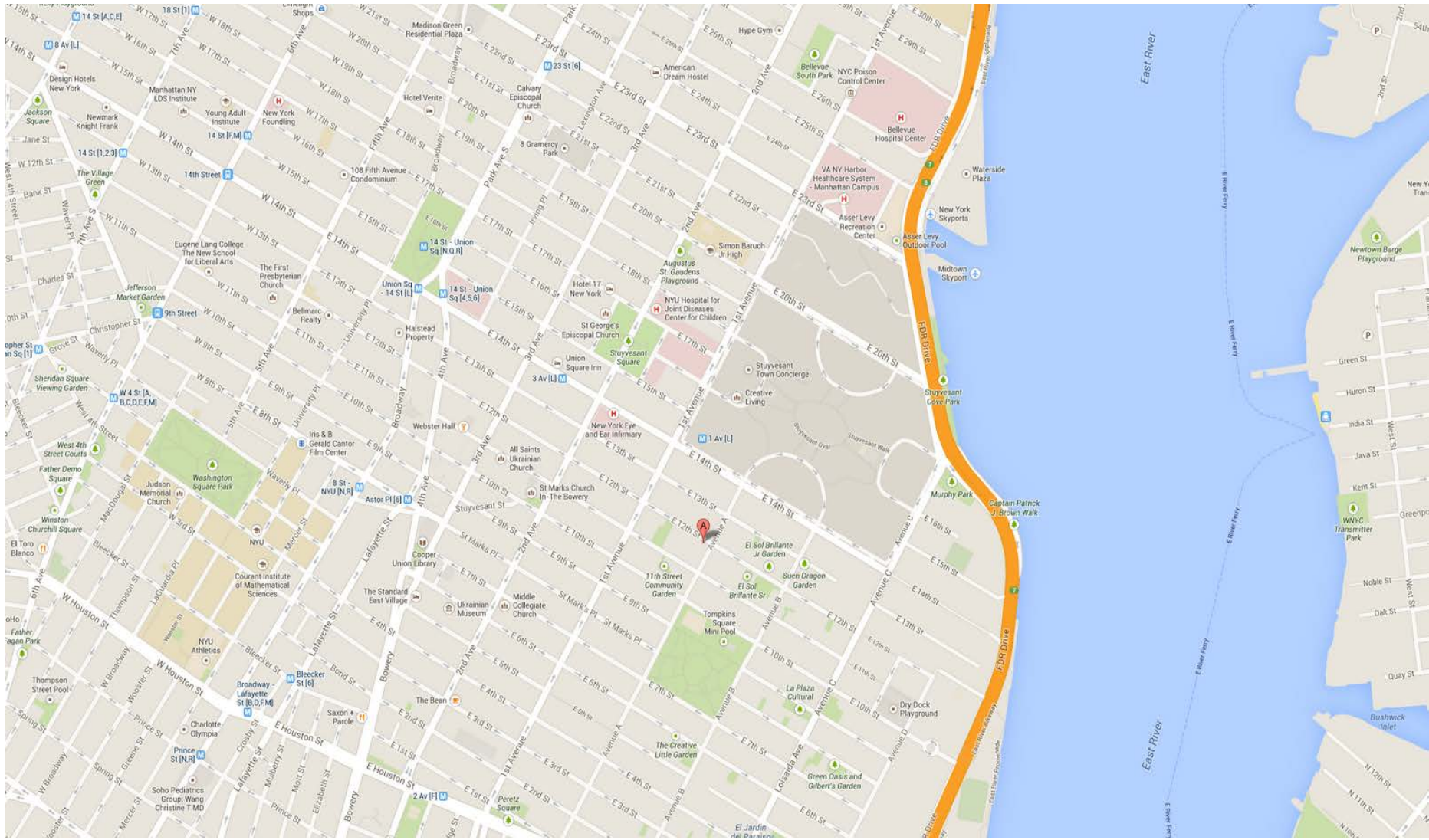
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		319	1	553
		320	1	562
		321	1	580
		322	1	576
		324	0	414
		325	0	401
		326	2	778
		327	1	541
2	2	201	1	588
		202	1	585
		203	1	579
		204	0	369
		205	0	435
		206	0	423
		207	1	564
		208	1	561
		209	1	531
		210	1	554
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		212	1	460
		213	0	380
		214	1	603
		215	1	604
		216	1	577
		217	1	545
		218	2	714
		219	1	553
		220	1	562
		221	1	580
		222	1	576
		223	2	750
		224	0	414
		225	0	401
		226	2	778
		227	1	541
1	1	101	2	843
		102	2	827
		104	0	369
		105	0	435
		106	1	600
		122	0	512
		123	2	747
		124	0	419
		125	1	559
		126	1	565
		127	1	530
CELLAR/ GARDEN LEVEL	G	001	2	930
		002	2	1140
		003	2	915

		004	2	1096
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Super / Resident Manager Unit(s)

Construction Floor #	Marketing Floor #	Apt #	# Bdrms	Net Sq. Ft.
3	3	323	2	750

Form 07-16-2012



Nighborhood Plan



Site Overhead View



Keyed Neighborhood Plan



Image # 1
405 East 12th St



Image # 2
407 East 12th St



Image # 3
411 East 12th St



Image # 4
413 East 12th St



Image # 5
415 East 12th St



Image # 6
417 East 12th St



Image # 7
421 East 12th St



Image # 8
423 & 425 East 12th St



Image # 9
429 & 431 East 12th St



Image # 10
435 East 12th St



Image # 11
437 East 12th St



Image # 12
465 East 12th St



Image # 13
194 Avenue A



Image # 14
189 & 191 Avenue A



Image # 15
185 & 187 Avenue A



Image # 16
174 Avenue A



Image # 17
173 Avenue A

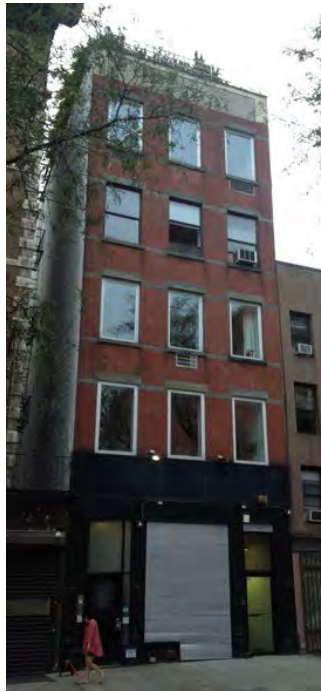


Image # 18
436 East 11th Street



Image # 19
438 East 11th Street



Image # 20
432 East 11th Street



Image # 21
430 East 11th Street



Image # 22
428 East 11th Street



Image # 23
424 East 11th Street



Image # 24
189 & 191-193 Avenue A



Image # 25
Public School 60
420 East 12th Street



Public School 60
East 11th Street entrance

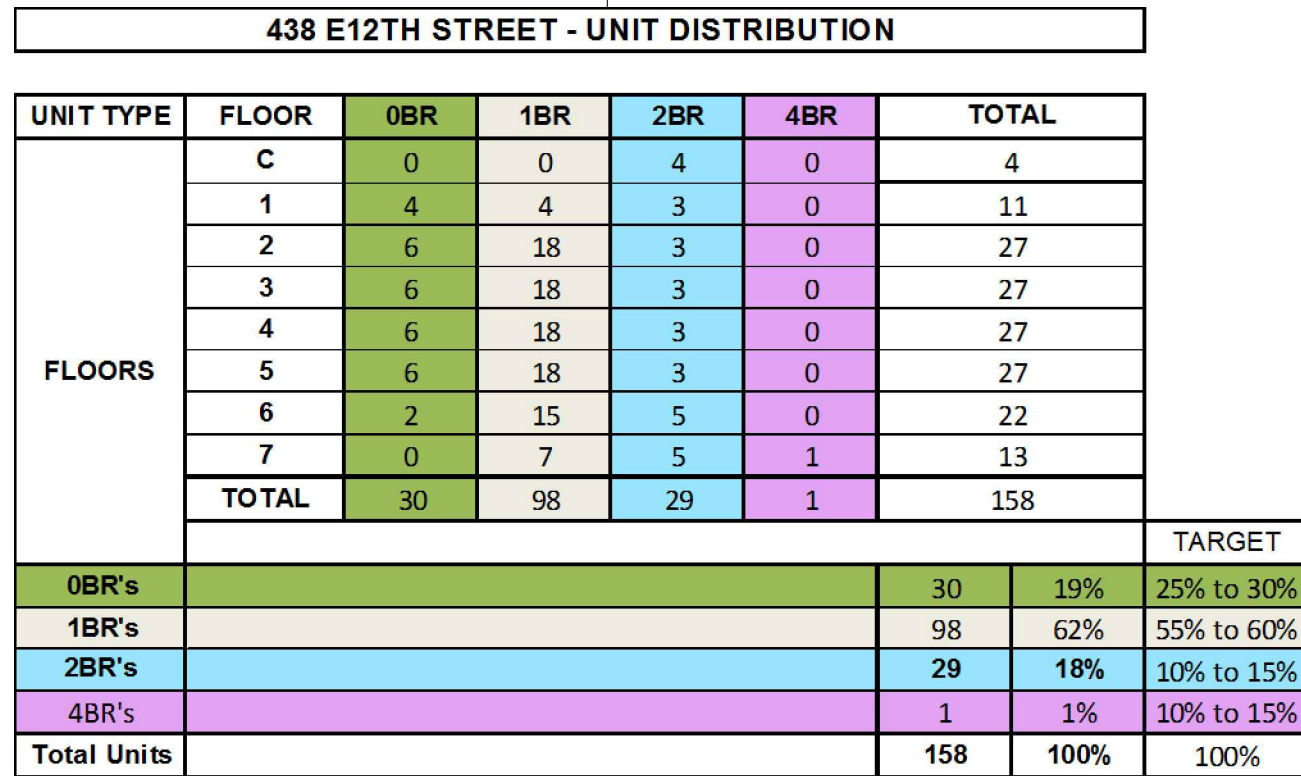
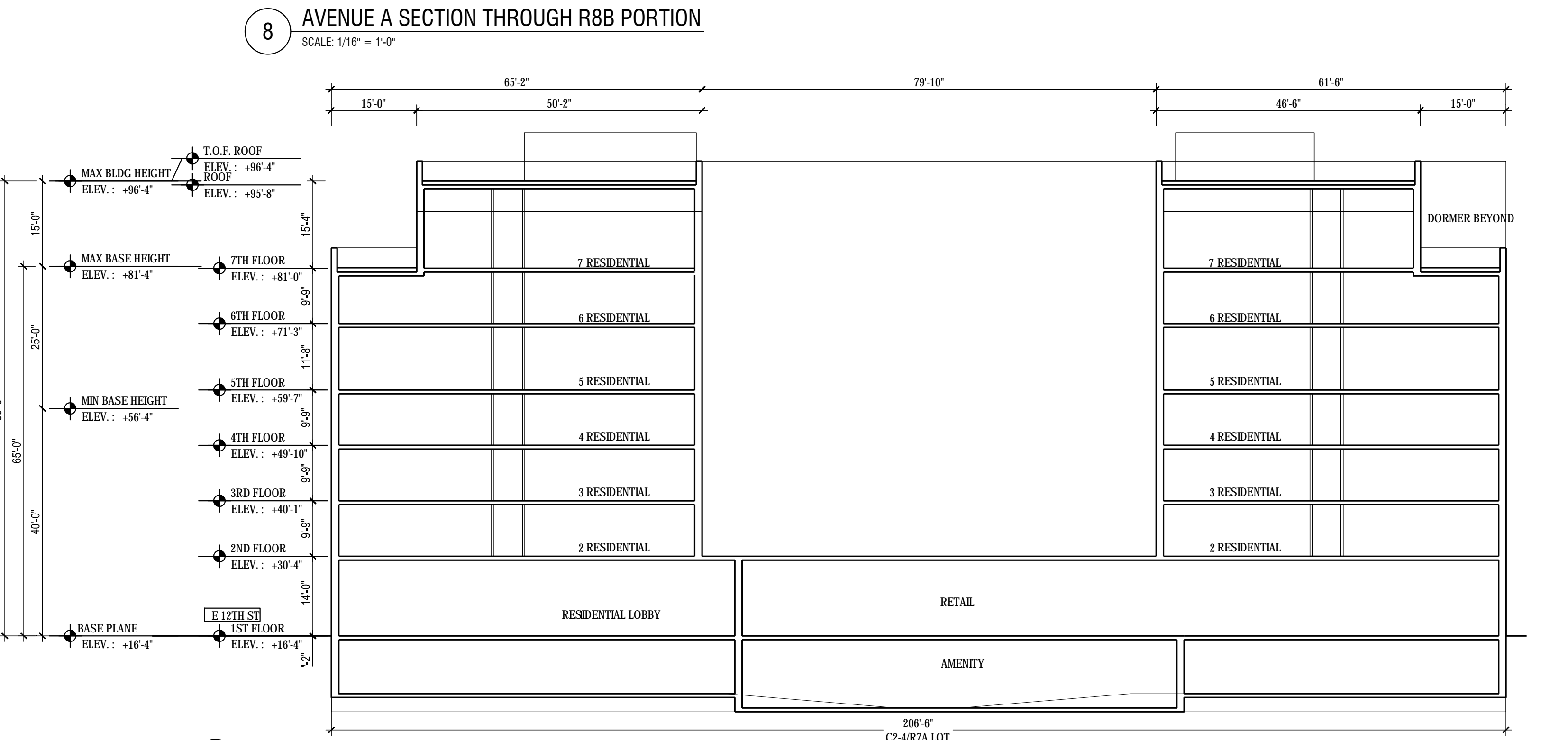
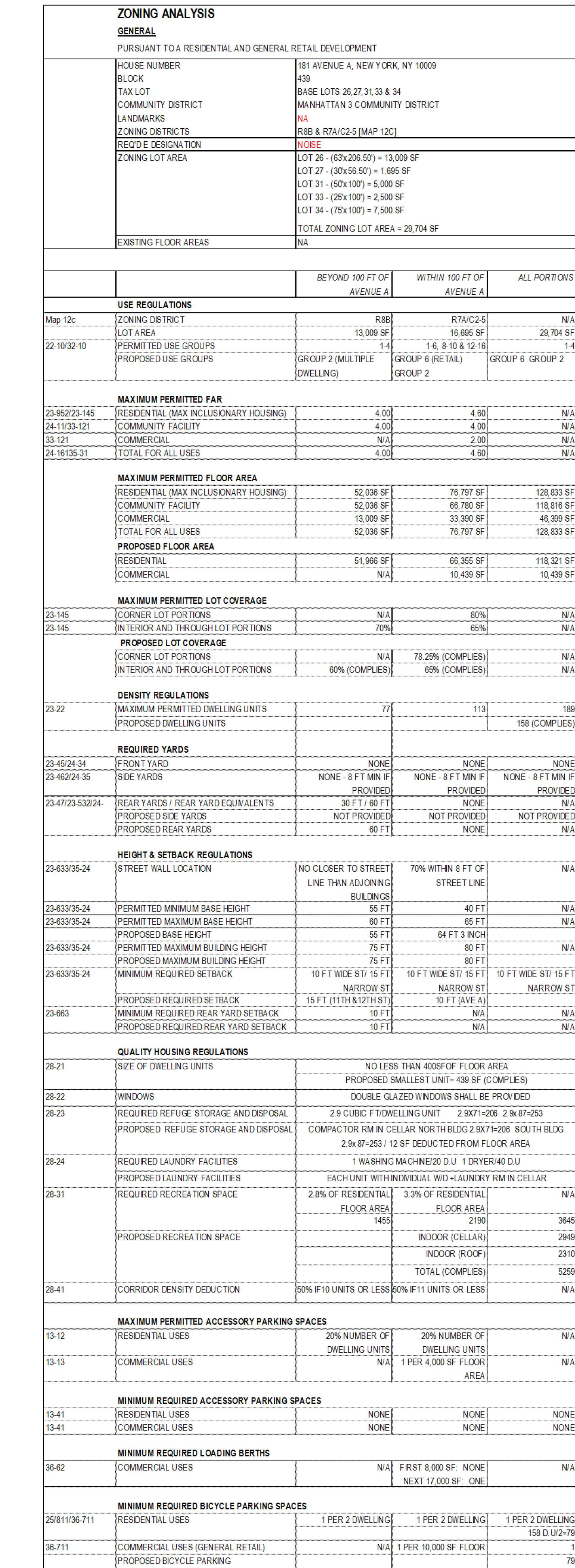
Owner:
181 AVENUE A, LLC
15 SHIRINGTON AVENUE
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Structural:
DESIMONE CONSULTING ENGINEERS
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MEP:
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Civil Engineer:
RA CONSULTANTS, LLC
47 WILKENS DRIVE
DUMONT, NJ 07628
T: 201-374-1794



3 DWELLING UNIT SCHEDULE
SCALE: N.T.S.

7 FLOOR AREA CALCULATIONS
SCALE: N.T.S.

WALL BOUNDARY HOUSING CALCULCS FOR RTAC2.5 PORTION	
BASE FAR	3.45
FAR W/INCL BONUS	4.6
1/2' AREA	70,088 SF
MAX PERMISSIBLE BASE ZFA	77,088 SF
MAX PERM IF A W/INCL BONUS	76,707 SF
PROPOSED ZFA	76,784 SF
REQUIRED BONUS ZFA	19,198 SF
G/H REC SPACE CALCUS	
	3,646 SF

an affiliate of
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1100 N. 17TH STREET
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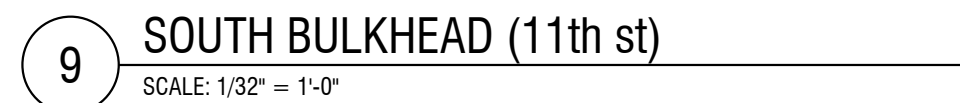
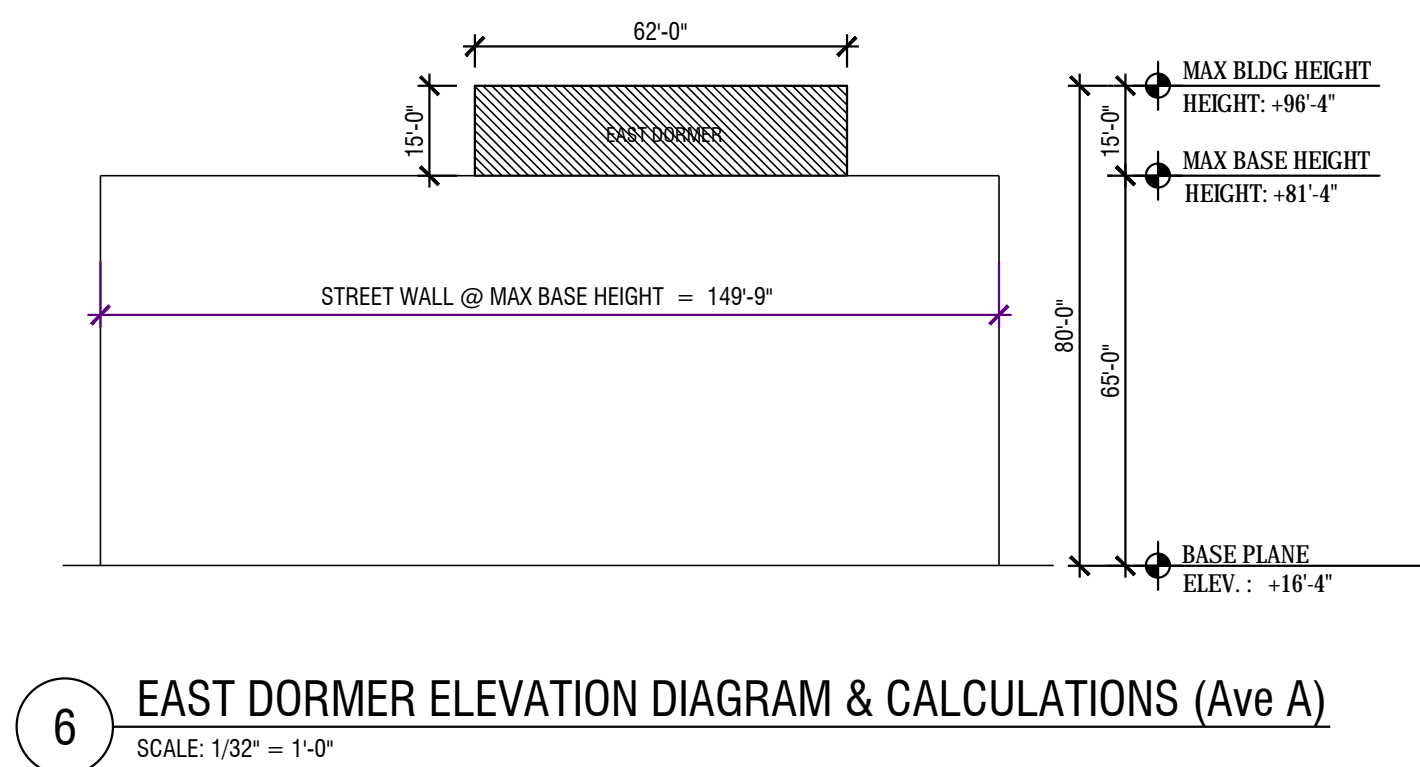
Owner:
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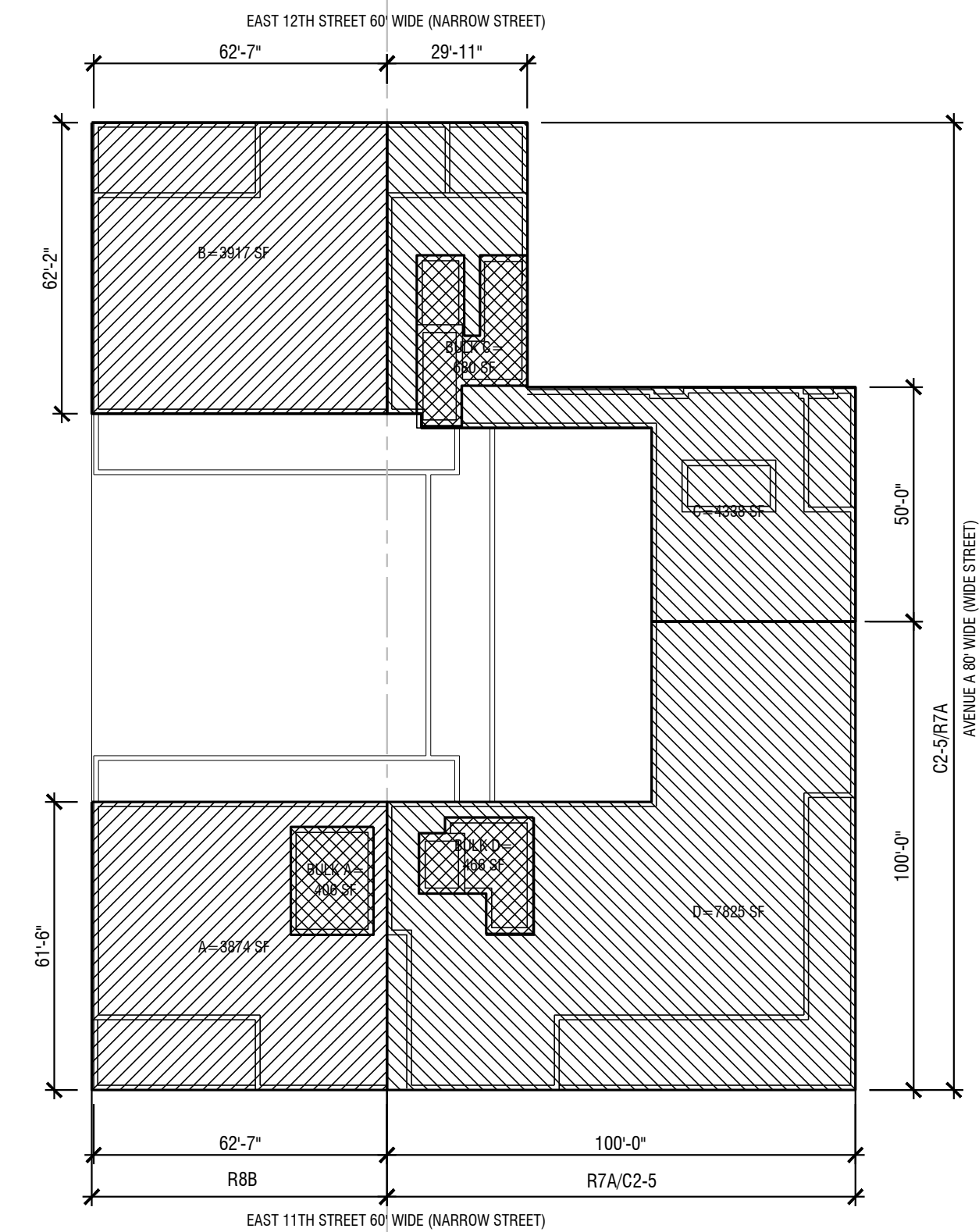
Civil Engineer:
RA CONSULTANTS, LLC
47 WILKENS DRIVE
DUMKINT, NY 07628
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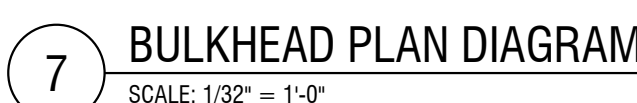
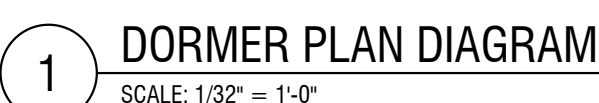
(A) (24-1241)			
PLAN SECTION	LENGTH OF STREET WALL \geq HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT		
	MAXIMUM AGGREGATE LENGTH OF DORMER PERMITTED IS EQUAL, OR LESS THAN 60% OF STREET WALL		$= (29' 11" \times 60)$ $= 17' 11"$ MAX. PERMITTED AGGREGATED LENGTH OF STREET WALL
	HEIGHT OF DORMER ABOVE MAXIMUM BASE HEIGHT		$= 15' 4"$
	DECREASE IN PERMITTED LENGTH OF STREET WALL OF DORMER PERMITTED AGGREGATE LENGTH OF DORMER ABOVE MAX BASE HEIGHT PROPOSED AGGREGATE LENGTH OF DORMER ABOVE MAX BASE HEIGHT		$= 60\% - 10\% = 50\%$ OF STREET WALL $= (29' 11" \times 5) = 14' 11"$ $= 13' 0"$ PROPOSED AGGREGATE LENGTH OF DORMER $\sim 13' 0"$ (COMPLET)
ELEVATION SECTION	LENGTH OF STREET WALL OF HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT		
	MAXIMUM AGGREGATE LENGTH OF DORMER PERMITTED IS EQUAL, OR LESS THAN 60% OF STREET WALL		$= (62' 7" \times 60)$ $= 37' 4"$ MAX. PERMITTED AGGREGATED LENGTH OF STREET WALL
	HEIGHT OF DORMER ABOVE MAXIMUM BASE HEIGHT		$= 15' 4"$
	DECREASE IN PERMITTED LENGTH OF STREET WALL OF DORMER PERMITTED AGGREGATE LENGTH OF DORMER ABOVE MAX BASE HEIGHT PROPOSED AGGREGATE LENGTH OF DORMER ABOVE MAX BASE HEIGHT		$= 60\% - 10\% = 45\%$ OF STREET WALL $= (62' 7" \times 45) = 28' 1"$ $= 28' 1"$ PROPOSED AGGREGATE LENGTH OF DORMER $\sim 28' 1"$ (COMPLET)

[R 12D-021]	
DATA SECTION	LENGTH OF STREET WALL OF HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT
	MAXIMUM AGGREGATE LENGTH OF CORNER PERMITTED IS EQUAL TO LESS THAN 50% OF STREET WALL
	= (149'-0" MAX) = 80'-0" OF MAXIMUM AGGREGATED LENGTH OF STREET WALL
	HEIGHT OF CORNER ABOVE MAXIMUM BASE HEIGHT
	= 15'-0"
	DECREASE IN PERMITTED LENGTH OF STREET WALL OF CORNER
	PERMITTED AGGREGATE LENGTH OF CORNER ABOVE MAX BASE HEIGHT
	PROPOSED AGGREGATE LENGTH OF CORNER ABOVE MAX BASE HEIGHT
	= 60% - 10% = 50% OF STREET WALL = (149'-0" x .50) = 74'-6" = 62'-0" PROPOSED AGGREGATE LENGTH OF CORNER = 62'-0" (COMPLIES)

[33-42][36] the #lot coverage# of all such obstructions does not exceed 20 percent of the #lot coverage# of the #building#, and where the maximum permitted height of a #building# is less than 120 feet, such obstructions are limited to a maximum height of 25 feet



MAXIMUM LOT COVERAGE [C.R. 23-145]	
PERMITTED CORNER LOT COVERAGE	80%
PROPOSED CORNER LOT COVERAGE	7.825 SF RES. COVERAGE/10,000 SF CORNER LOT=78.25% (COMPLIES)
PERMITTED INTERIOR LOT COVERAGE	65%
EXISTING INTERIOR LOT COVERAGE	4,337 SF RES. COVERAGE/6,895 SF INT. LOT=64.78% (COMPLIES)
PERMITTED LOT PORTION COVERAGE	70%
EXISTING INTERIOR LOT COVERAGE	7,791 SF RES. COVERAGE/13,009 SF INT. LOT=59.89% (COMPLIES)



YARDS
DORMERS &
BULKHEAD
CALCULATIONS
SCALE: AS NOTED

SEAL

[illegible]

AFFORDABLE FLOOR AREA REQ FOR INCLUSIONARY BONUS (REQ. BONUS ZFA1.25)	15,357 SF
RESIDENTIAL ZFA (EXCLUDES SUPER APT & RET SPACE)	117,571 SF
INCL AREA CAPPED AT 20% OF RESID ZFA	23,514 SF

1 INCLUSIONARY UNIT TABULATION
SCALE: NTS

438 E12TH STREET - UNIT DISTRIBUTION - 421-A							
UNIT TYPE	FLOOR	0BR	1BR	2BR	4BR	TOTAL	
FLOORS	C	0	0	0	0	0	
	1	2	1	1	0	4	
	2	2	6	2	0	10	
	3	1	5	1	0	7	
	4	1	5	1	0	7	
	5	0	2	1	0	3	
	6	0	1	0	0	1	
	7	0	0	0	0	0	
	TOTAL	6	20	6	0	32	
						TARGET*	
0BR's					6	19%	19%
1BR's					20	63%	62%
2BR's					6	19%	19%
Total Units					32	100%	100%

2 UNIT DISTRIBUTIONS

Civil Engineer:
RA CONSULTANTS, LLC
47 WILKENS DRIVE
DUMONT, NJ 07628
T: 201-374-1794

Z-102.00

SEAL

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110 N. Wacker Drive
New York, NY 10036
Tel: 212.512.2000
Fax: 212.512.2071

Owner:
1811 AVENUE A, LLC
15 WASHINGTON STREET
BROOKLYN, NY 11205
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Structural:
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NEW YORK, NY 10011
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PROJECT ADDRESS
NEW YORK, NY
PROJECT No: 53190.0
DOB No: XXX
DRAWING TITLE:

SCALE: 1/8" = 1'-0"

DOB BSCAN STICKER

SEAL

S9 an affiliate of
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115 FIFTH AVENUE
NEW YORK, NY 10003
T. 212.253.7200
F. 212.253.7626

PROJECT TITLE:
**438 EAST 12TH
STREET**

PROJECT ADDRESS
NEW YORK, NY

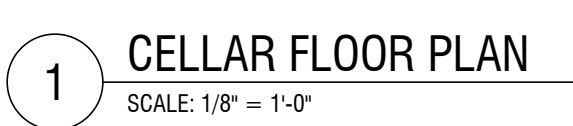
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DOB No: XXX

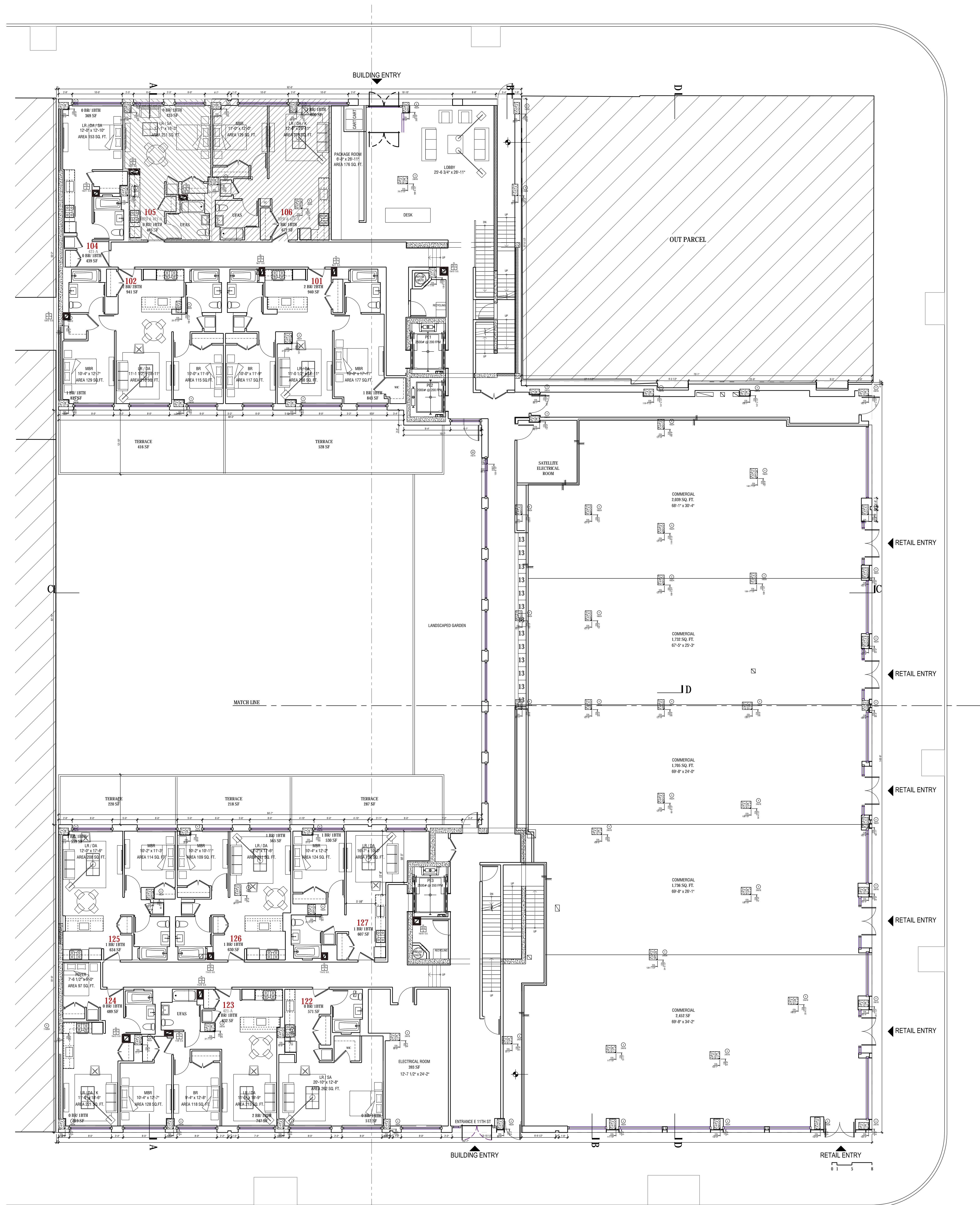
DRAWING TITLE:

A-100.00

SEAL



SEAL



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PROJECT ADDRESS
NEW YORK, NY
PROJECT No: 53190.00
DOB No: XXX
DRAWING TITLE:

SCALE: 1/8" = 1'-0"

DOB BSCAN STICKER

SEAL

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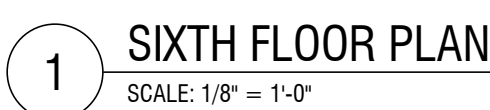
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SEAL



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Perkins Eastman Architects, PC

110 Park Avenue, 30th Floor
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F: 212.303.3670

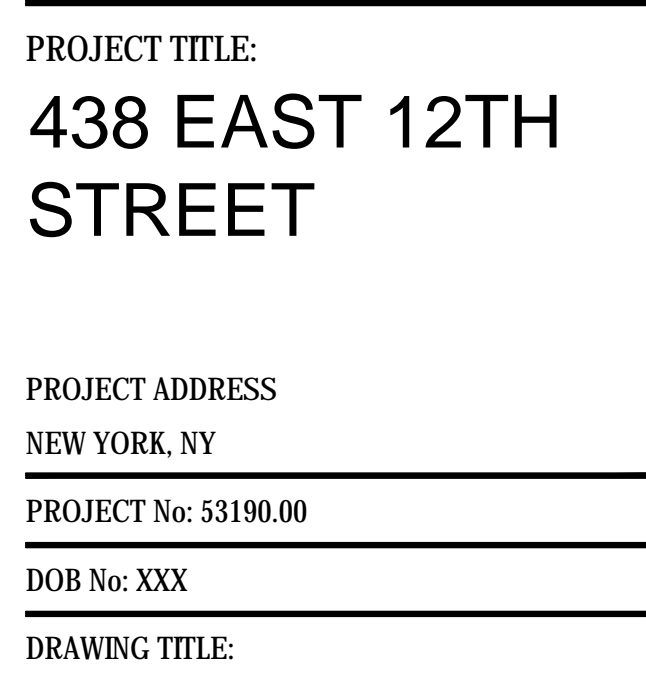
Owner:
181 AVENUE A, LLC
15 WASHINGTON AVENUE
BROOKLYN, NY 11205
T: (718) 858-1600

Structure:
DESIMONE CONSULTING ENGINEERS
15 WEST 18TH STREET, 10TH FLOOR
NEW YORK, NY 10011
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MEP:
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6 WEST 29TH STREET, SUITE 524
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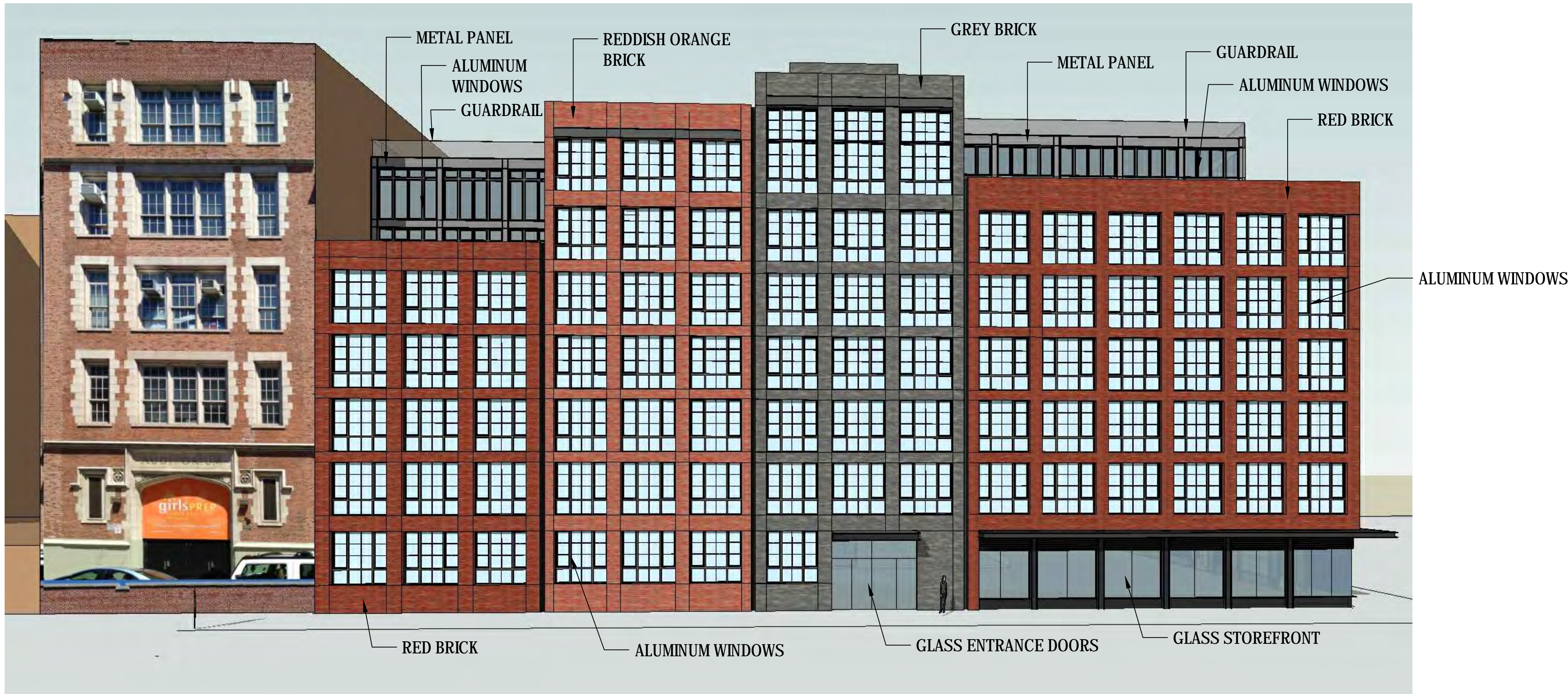
Civil Engineer:
RA CONSULTANTS, LLC
47 WILKENS DRIVE
DUMONT, NJ 07628
T: 201-374-1704



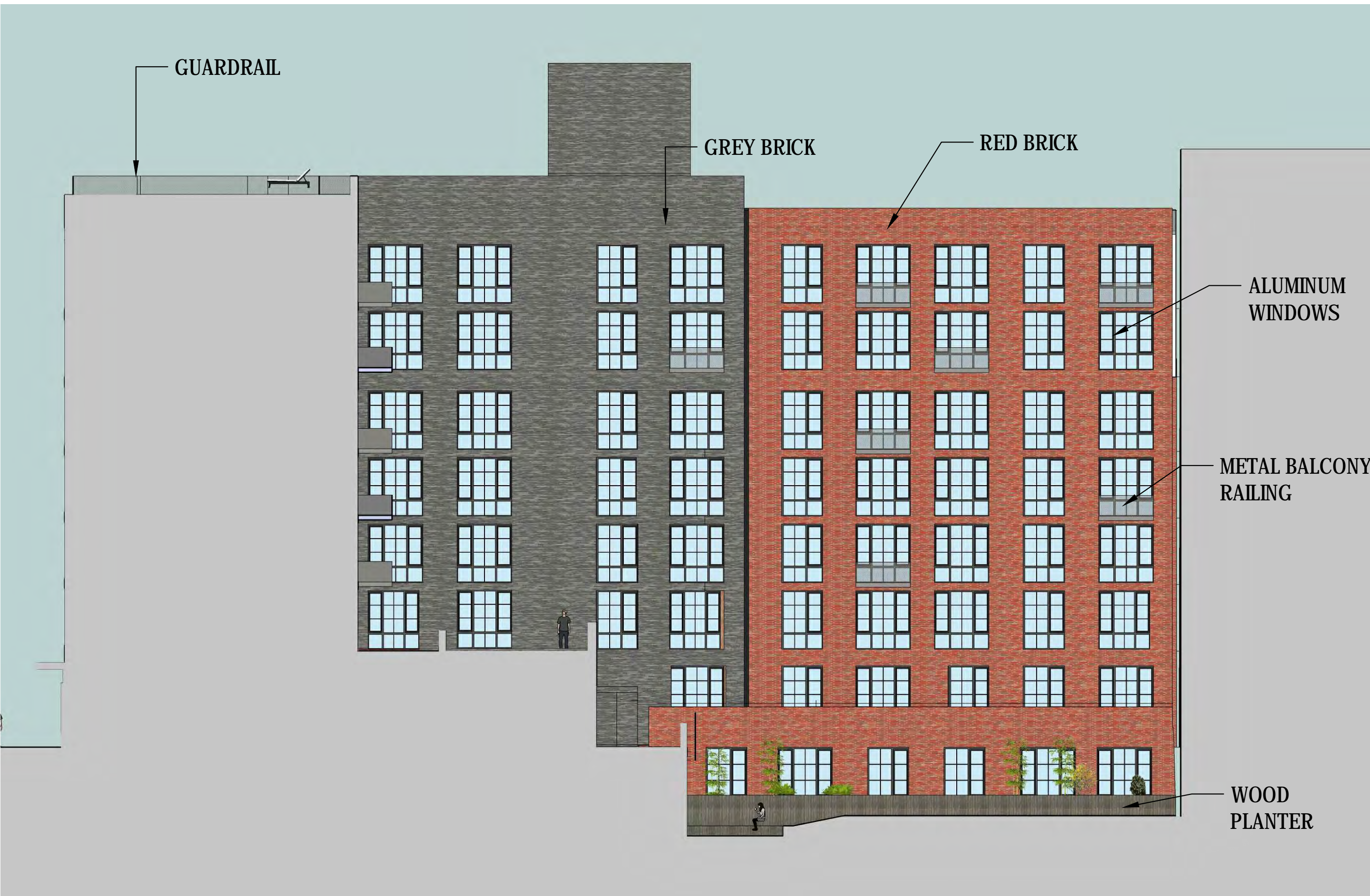
SCALE: $1/8" = 1'-0"$

DOB BSCAN STICKER

SEAL



1 11TH ST. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



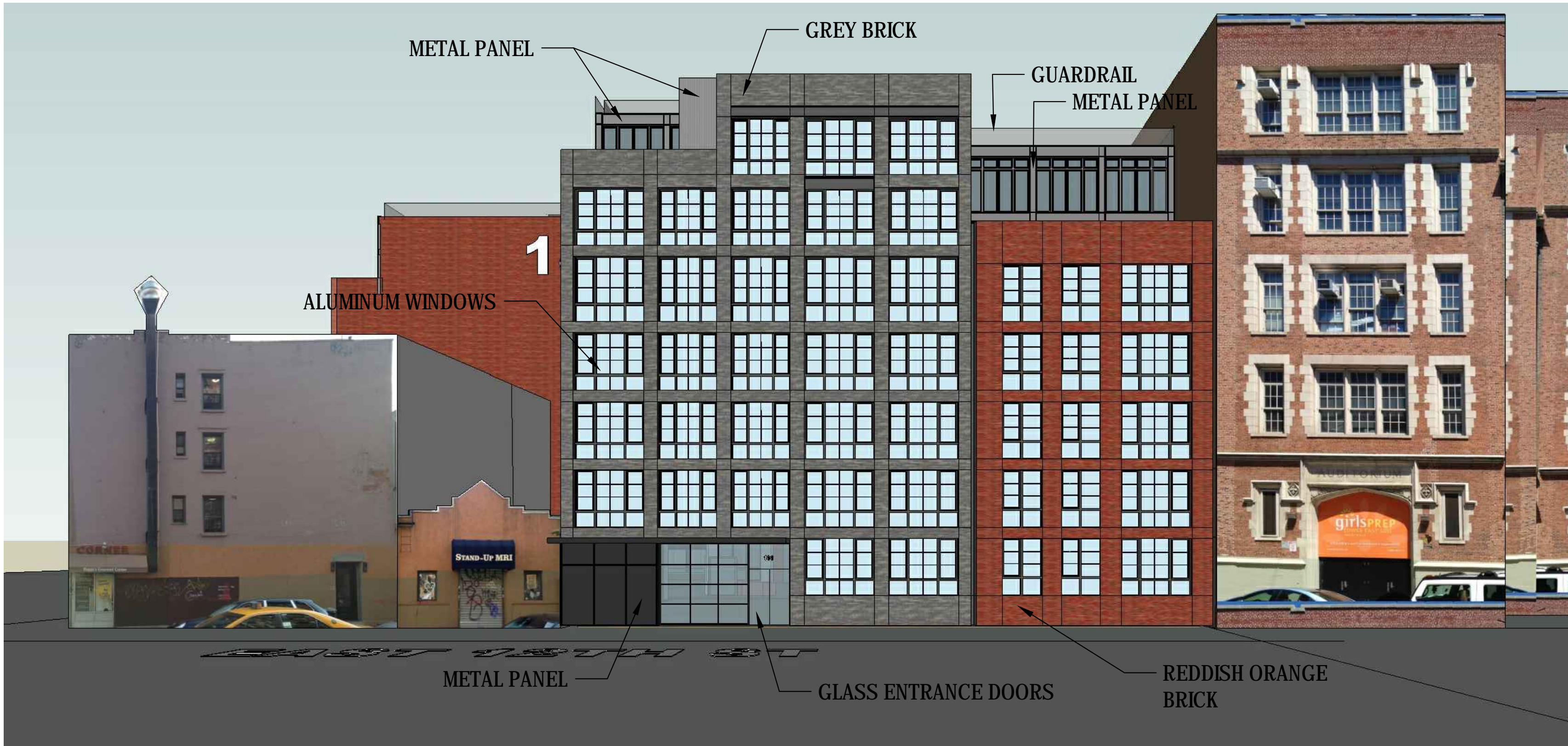
2 11TH STREET. COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"



3 AVENUE A. EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 AVENUE A. COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"



5 12TH STREET. NORTH ELEVATION
SCALE: 1/8" = 1'-0"



6 12TH STREET. COURTYARD ELEVATION
SCALE: 1/8" = 1'-0"

PARCEL 1 (LOT NO. 34):

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, COUNTY, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF 11TH STREET WITH THE WESTERLY SIDE OF AVENUE A, 75 FEET;

RUNNING THENCE WESTERLY, ALONG THE NORTHERLY SIDE OF 11TH STREET, 100 FEET;

THENCE NORTHERLY AND PARALLEL WITH AVENUE A, 75 FEET;

THENCE EASTERLY AND PARALLEL WITH 11TH STREET, 100 FEET TO THE WESTERLY SIDE OF AVENUE A;

THENCE SOUTHERLY ALONG THE SAID WESTERLY SIDE OF AVENUE A, 75 FEET TO THE POINT OR PLACE OF BEGINNING.

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, COUNTY, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE WESTERLY SIDE OF AVENUE A, 25 FEET NORTHERLY FROM THE NORTHWESTERLY CORNER OF 11TH STREET AND A VENUE A;
THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 25 FEET;
THENCE WESTERLY PARALLEL WITH 11TH STREET, 100 FEET;
THENCE SOUTHERLY PARALLEL WITH AVENUE A, 25 FEET;
THENCE EASTERLY PARALLEL WITH 11TH STREET, 100 FEET TO THE POINT OR PLACE OF BEGINNING.

PARCEL A:

BEGINNING AT A POINT ON THE WESTERLY SIDE OF AVENUE A, DISTANT 102 FEET NORTHERLY FROM THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF 11TH STREET AND THE WESTERLY SIDE OF AVENUE A, 25 FEET;

THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 25 FEET;

THENCE WESTERLY AND PARALLEL WITH 11TH STREET AND PART OF THE DISTANCE THROUGH A PARTY WALL, 100 FEET;

THENCE SOUTHERLY AND PARALLEL, WITH AVENUE A, 25 FEET;

THENCE EASTERLY AND PARALLEL WITH 11TH STREET AND PART OF THE DISTANCE THROUGH A PARTY WALL, 100 FEET TO THE WESTERLY SIDE OF AVENUE A TO THE POINT OR PLACE OF BEGINNING.

BEGINNING AT A POINT ON THE WESTERLY SIDE OF A VENUE A, DISTANT 100 FEET NORTHERLY FROM THE NORTHWEST CORNER OF AVENUE A AND 11TH STREET;

RUNNING THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 25 FEET;

THENCE WESTERLY AND PARALLEL WITH 11TH STREET, 100 FEET;

THENCE SOUTHERLY AND PARALLEL WITH AVENUE A, 25 FEET;

THENCE EASTERLY AND PARALLEL WITH 11TH STREET, 100 FEET TO THE WESTERLY SIDE OF AVENUE A, THE POINT OR PLACE OF BEGINNING.

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, COUNTY, CITY AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY SIDE OF AVENUE A, DISTANT 75 FEET NORTHERLY FROM THE NORTHWESTERLY CORNER OF 11TH STREET AND AVENUE A;

THENCE NORTHERLY ALONG THE WESTERLY SIDE OF AVENUE A, 75 FEET;

THENCE WESTERLY PARALLEL WITH 11TH STREET, 100 FEET;

THENCE SOUTHERLY PARALLEL WITH AVENUE A, 75 FEET;

THENCE EASTERLY PARALLEL WITH 11TH STREET, 100 FEET TO THE POINT OR PLACE OF BEGINNING.

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND, SITUATE LYING AND BEING IN THE BOROUGH OF MANHATTAN, OF THE CITY OF NEW YORK, COUNTY OF NEW YORK AND STATE OF NEW YORK, ON THE SOUTH SIDE OF 12TH STREET, BETWEEN 6TH AVENUE AND 7TH AVENUE, 6 INCHES;

COMMENCING AT A POINT ON SAID SOUTHERLY SIDE OF 12TH STREET DISTANT 70 FEET OR THEREABOUTS WESTERLY FROM THE SOUTHWESTERLY CORNER OF AVENUE A AND 12TH STREET; AND

RUNNING THENCE SOUTHERLY AND PARALLEL WITH AVENUE A, 56 FEET 6 INCHES;

THENCE WESTERLY AND PARALLEL WITH 12TH STREET, 30 FEET;

THENCE NORTHERLY AND PARALLEL WITH AVENUE A, 56 FEET 6 INCHES TO THE SOUTHERLY SIDE OF 12TH STREET; AND

THENCE EASTERLY ALONG SAID SOUTHERLY SIDE OF 12TH STREET, 30 FEET TO THE POINT OR PLACE OF BEGINNING, BE THE SAID SEVERAL DIMENSIONS AND DISTANCES MORE OR LESS.

ALL THOSE CERTAIN LOTS, PIECES OR PARCELS OF LAND, SITUATE, LYING AND BEING IN THE BOROUGH OF MANHATTAN, CITY, COUNTY AND STATE OF NEW YORK, MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OR SIDE OF 127TH STREET DISTANT 100 FEET WESTERLY FROM THE CORNER FORMED BY THE INTERSECTION OF THE SOUTHERLY LINE OR SIDE OF 127TH STREET WITH THE WESTERLY LINE OR SIDE OF AVENUE A;

RUNNING THENCE SOUTHERLY, PARALLEL WITH AVENUE A, 208 FEET 6 INCHES, TO THE NORTHERLY LINE OR SIDE OF 11TH STREET;

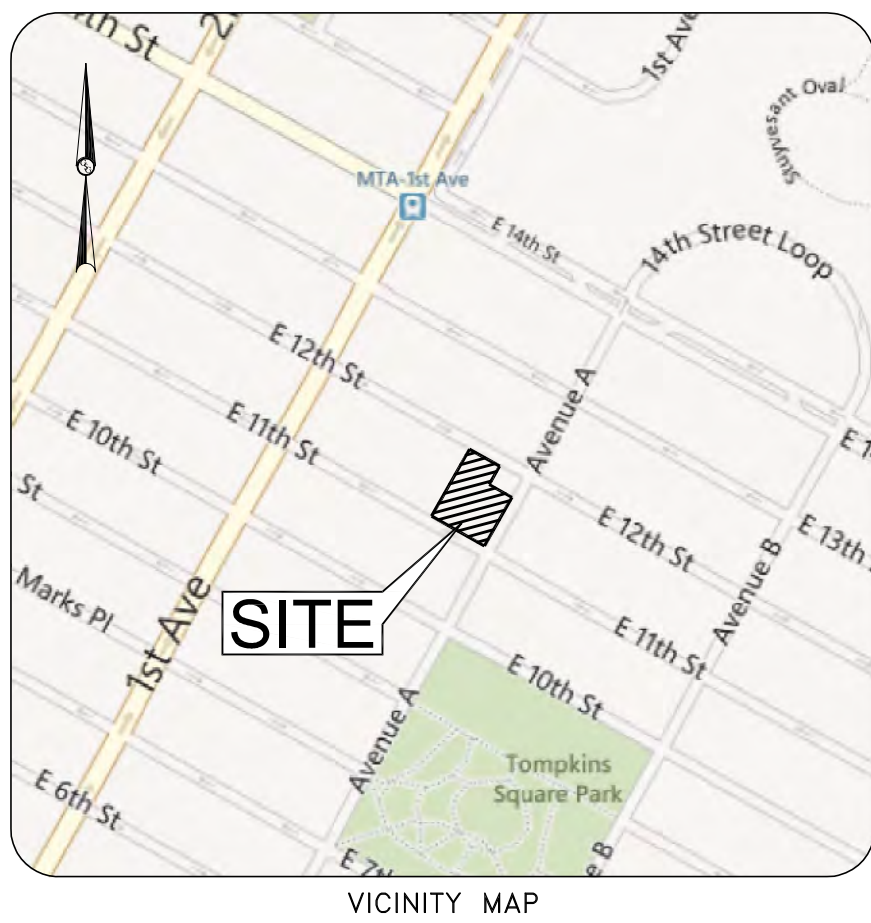
THENCE WESTERLY, ALONG THE SAID NORTHERLY LINE OR SIDE OF 11TH STREET, 63 FEET;

THENCE NORTHERLY AGAIN PARALLEL WITH AVENUE A, 206 FEET 6 INCHES TO THE SOUTHERLY LINE OR SIDE OF 127TH STREET;

THENCE EASTERLY ALONG THE SOUTHERLY LINE OR SIDE OF 127TH STREET, 63 FEET TO THE POINT OR PLACE OF BEGINNING.

- PROPERTY KNOWN AND DESIGNATED AS LOTS 26, 27, 31, 33 & 34, IN BLOCK 439 ON THE OFFICIAL TAP FOR THE BOROUGH OF MANHATTAN, COUNTY & STATE OF NEW YORK.
2. PARCEL 1 (LOT 34) AREA ■ 7,500 S.F. OR 0.172 AC.
PARCEL 1 (LOT 33) AREA ■ 2,500 S.F. OR 0.0574 AC.
PARCEL 1 ■
PARCEL ■
PARCEL B ■ 2,500 S.F. OR 0.0574 AC.
PARCEL B ■ 2,500 S.F. OR 0.0574 AC.
PARCEL 1 (LOT 28) AREA ■ 1,045 S.F. OR 0.038 AC.
PARCEL 1 (LOT 26) AREA ■ 13,009 S.F. OR 0.2987 AC.
TOTAL AREA ■ 28,704 S.F. OR 0.6620 AC.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON RECORDS OF WORK-OUTS, IF ANY, THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES ABOVE AT THE TIME OF THE SURVEY. PLANS AND RECORDS OF SUCH UTILITY LOCATIONS ARE NOT TO BE USED FOR UNDERGROUND UTILITIES AND STRUCTURES, BEFORE ANY EXCAVATION IS TO BEGIN. ALL INFORMATION CONTAINED HEREIN SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
4. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE COMMITMENT REPORT PREPARED BY METROPOLITAN LAND TITLE INSURANCE COMPANY, TITLE NUMBER N120414 EFFECTIVE DATE 05/07/2015, WHERE THE FOLLOWING EXCEPTIONS APPEAR IN SCHEDULE B THEREOF:
C. COVENANTS, CONDITIONS, EASEMENTS, AGREEMENTS OF RECORDS, ETC., AS FOLLOWS:
A. SEVERAL AGREEMENTS SET FORTH IN REEL 874 OF 10 (THIRTY FOUR) LIBRARIET UNRECORDED, WHERE DOCUMENT #111661, AND IN REEL 173 OF 19 (NINETEEN) LIBRARIET UNRECORDED, NOT PLETTABLE.
B. REVERTER SET FORTH IN REEL 538 PAGE 623 AFFECTING LOT NO. 26 - BLANKET, SEE NOTE 10.
5. ELEVATIONS ARE BASED UPON BOROUGH OF MANHATTAN DATUM, BENCHMARK 434, HAVING AN ELEVATION OF 12.43, REPUTED TO BE 2.75' ABOVE MEAN SEA LEVEL AT SANDY Hook (NOV 29)
6. BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLASH HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE OF AN ANNUAL, OR 1% CHANCE OF EXCEEDENCE, NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP (FIRM) NO. 3604970201E EFFECTIVE DATE SEPTEMBER 5, 2015).
7. THERE ARE NO VISIBLE STREAMS OR NATURAL WATERCOURSES IN THE PROPERTY AT THE TIME OF THE FIELD SURVEY.
8. THE LOCATION AND EXTENTS OF UNDERGROUND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.
9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
10. DEED FOR LOT 26 CONTAINS A REVERSIONARY CLAUSE TO THE SELLER (THE TRUSTEES OF ST. PATRICK'S CATHEDRAL IN THE CITY OF NEW YORK) THAT IN THE EVENT THE PROPERTY OR SOME PART THEREOF SHALL BE LONGER BE USED FOR A CHURCH OR CHURCH RELATED ACTIVITIES, OR IN THE EVENT A CHURCH OR CHURCH RELATED GROUP OR SOCIETY SHALL BE FORMED OR CAUSE TO PERFORM ORDINARY CHURCH FUNCTIONS AS MAYBE DETERMINED BY THE ARCH-BISHOP OF NEW YORK.
11. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT TIME OF FIELD SURVEY.
12. THERE WAS NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, OR OBSERVED EVIDENCE OF STREET OR RAILROAD CROSSINGS OR REPAIRS AT TIME OF FIELD SURVEY.
13. THERE WAS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, JUNK OR SANITARY DEPOSIT AT TIME OF FIELD SURVEY.
14. BUILDING FOOTPRINTS ON THE OPPOSITE SIDE OF EAST 11TH STREET, EAST 12TH STREET AND AVENUE A ARE APPROXIMATE AND FOR ILLUSTRATION PURPOSES ONLY.

1. BOROUGH OF MANHATTAN, BOROUGH PRESIDENTS OFFICE, TOPOGRAPHICAL, BUREAU SECTIONAL MAP #33.
2. BOROUGH OF MANHATTAN, BOROUGH SURVEY MAP #23.
3. CITY OF NEW YORK FIRE DEPARTMENT BUREAU OF FIRE ALARM TELEGRAPH, MAP #22, DATED JUNE 30, 1916.
4. WATER MAPPING PROVIDED BY NYC DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF WATER & SEWER OPERATIONS, MAP PRINTED 8/21/2012.
5. SEWER MAPPING PROVIDED BY THE NEW YORK CITY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF WATER AND SEWER OPERATIONS.
6. TELEPHONE MAPPING RECEIVED FROM EMPIRE CITY SUBWAY, RECEIVED 8/23/2012.
7. LOW TENSION MAINS AND SERVICE PLATE PROVIDED BY CONSOLIDATED EDISON CO. OF N.Y., INC. - MANHATTAN PLATE NO. 17-4, LAST MODIFIED 10/22/2012 AND PLATE NO. 17-1 LAST MODIFIED 4/01/2012.
8. CONDUIT PLATE PROVIDED BY CONSOLIDATED EDISON CO. OF N.Y., INC. - MANHATTAN, PLATE NO. 17-K3 LAST GEN. ISSUE 10/25/2012 AND PLATE NO. 17-L-1, LAST GEN. ISSUE 10/23/2012.
9. GAS MAINS AND SERVICE PLATE PROVIDED BY CONSOLIDATED EDISON CO. OF N.Y., INC. - MANHATTAN, PLATE NO. 17-K3 LAST MODIFIED 9/11/2012 AND PLATE NO. 17-L, LAST MODIFIED 9/11/2012.



7	REVISE PER ENGINEER COMMENTS	06/28/2013
6	REVISE PER ENGINEER COMMENTS	06/27/2013
5	REVISE TO SHOW BASEMENT FLOOR AND ROOF ELEVATIONS	05/24/2013
4	REVISE PER RECEIPT OF GAS & ELECTRIC MAPPING	01/08/2013
3	REVISE TO EDIT NOTE 5	12/20/2012
2	REVISE PER UPDATED TITLE REPORT & CHANGE IN CERTIFIED PARTIES	10/12/2012
1	REVISE PER ADDITIONAL SITE ACCESS & RECEIPT OF TITLE REPORT	9/25/2012
No.	DESCRIPTION OF REVISION	DATE

ALTA/ACSM LAND TITLE SURVEY
LOTS 26, 27, 31, 33 & 34, BLOCK 439
 AVENUE A BETWEEN EAST 11TH & EAST 12TH STREETS
 BOROUGH OF MANHATTAN
 CITY, COUNTY & STATE OF NEW YORK

GALLAS
SURVEYING
GROUP

171 CHURCH LANE
NORTH BRUNSWICK, NJ 08902
TELE: 732-422-6700
FAX: 732-940-8786
www.gallassurvey.com

DATE 8-31-2012	SCALE 1"=20'	DRAWN: R.S.E.	CHECKED: D.A.H.
FIELD DATE 8/17, 8/21/2012	FIELD BOOK 15 16	PAGE 109 & 115 126	FIELD CREW P.P./M.C./J.C. D.A./P.P.
FILE NO.: G12121	DRAWING NAME/SHEET NO. G12121.DWG 1 of 1		

TO:
181 AVENUE A ASSOCIATES, LLC;
CAPITAL ONE NATIONAL ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS;
COMMONWEALTH LAND TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 3, 4, 7(a), 8, 9, 11(a), 13, 16, 17, 18, 19 AND 21 (\$1,000,000 MINIMUM THRESHOLD) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 08/21/2012.

NOT VALID UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEA

GREGORY S. GALLAS
NEW YORK PROFESSIONAL LAND SURVEYOR #50124

DATE _____

UTILITIES

THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK STATE ONE-CALL SYSTEM (1-800-962-7962) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

UTILITY COMPANY
CONSOLIDATED EDISON CO. OF N.Y
EMPIRE CITY SUBWAY MANHATTAN
RCN
TIME WARNER CABLE - MANHATTAN

PHONE NUMBER	
(718)	416-2832
(212)	240-4653
(718)	472-2304
(212)	379-4191

NEW YORK STATE REQUIRES NOTIFICATION BY EXCAVATORS,
DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S
SURFACE ANYWHERE IN THE STATE

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft

438 East 12th Street

FEMA Flood Maps

Issued February 22, 2013

Superstorm Sandy was considered a 500-year storm and the extent of the flooding could be found between Avenue A and Avenue B near our development site. FEMA determined that Sandy's flooding reached 15' above sea level near 438 East 12th Street, which is delineated by the blue hatched area. For the design, the street elevation in the area of the proposed lobby will be 16' +/-.



Flood Advisory Related Data

- | | |
|---|---|
| Advisory Base Flood Elevation Zone (ABFE) ² | Advisory Limit of the 1% Annual Chance Flood Hazard Area ² |
| 1% Advisory Base Flood Elevation, feet ^{1,2} | Advisory Limit of the 0.2% Annual Chance Flood Hazard Area ² |
| 0.2% Advisory Base Flood Elevation, feet ^{1,3} | Advisory Shaded Zone X |
| Advisory Flood Hazard Zone V | Effective FIRM Panel Boundary |
| Area of Moderate Wave Action ⁴ | |
| Advisory Flood Hazard Zone A | |

Hurricane Sandy Related Data

- | |
|--|
| Provisional Hurricane Sandy Surge Elevation ^{1,6} |
|--|

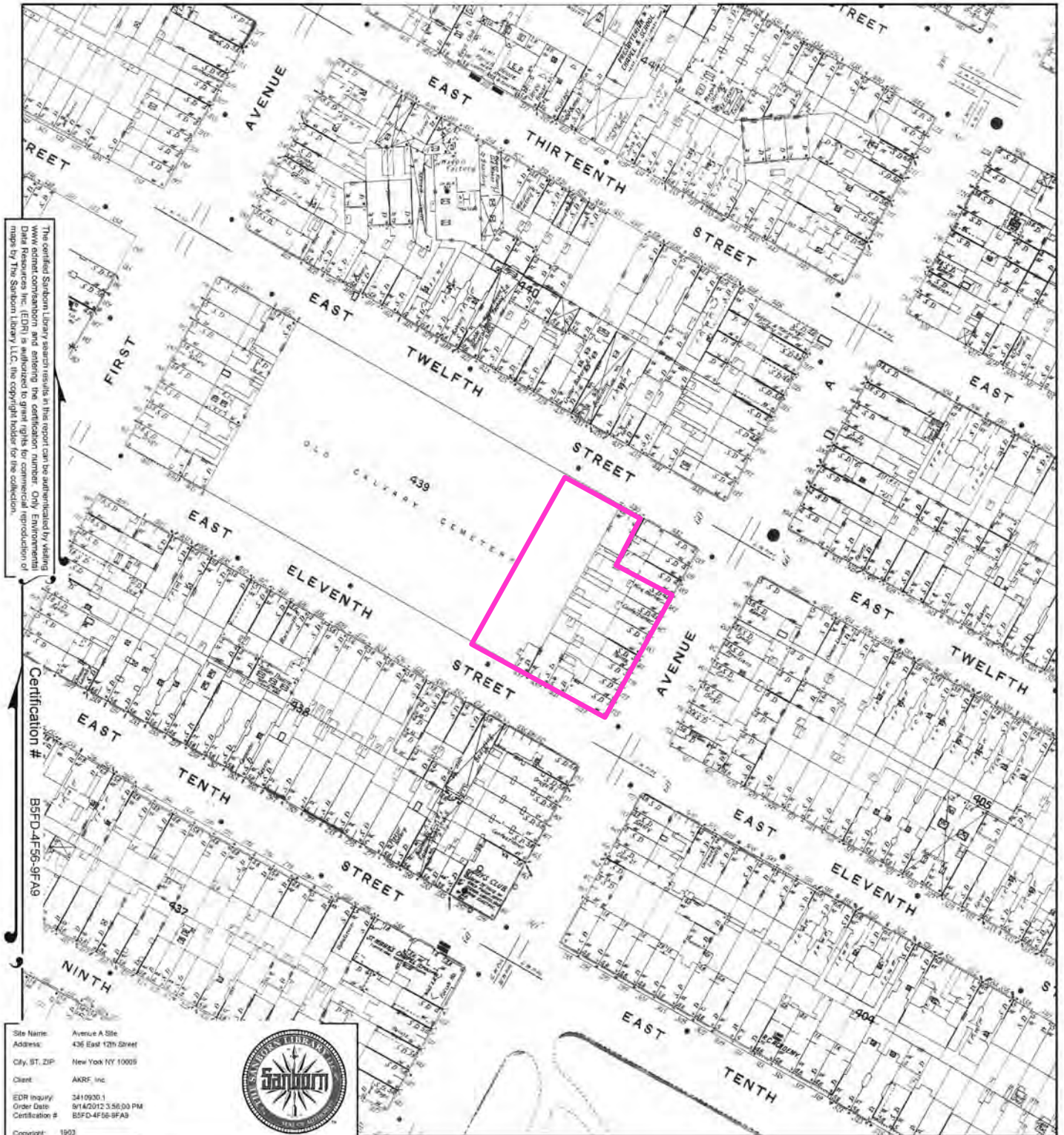
ABFE: Advisory Base Flood Elevation for the 100-year (1%) and 500-year (.2%) storms.

APPENDIX B

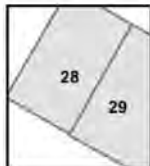
HISTORICAL SANBORN MAPS

438 East 12th Street
New York, NY

1903 Certified Sanborn Map



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Outlined areas indicate map sheets within the collection.

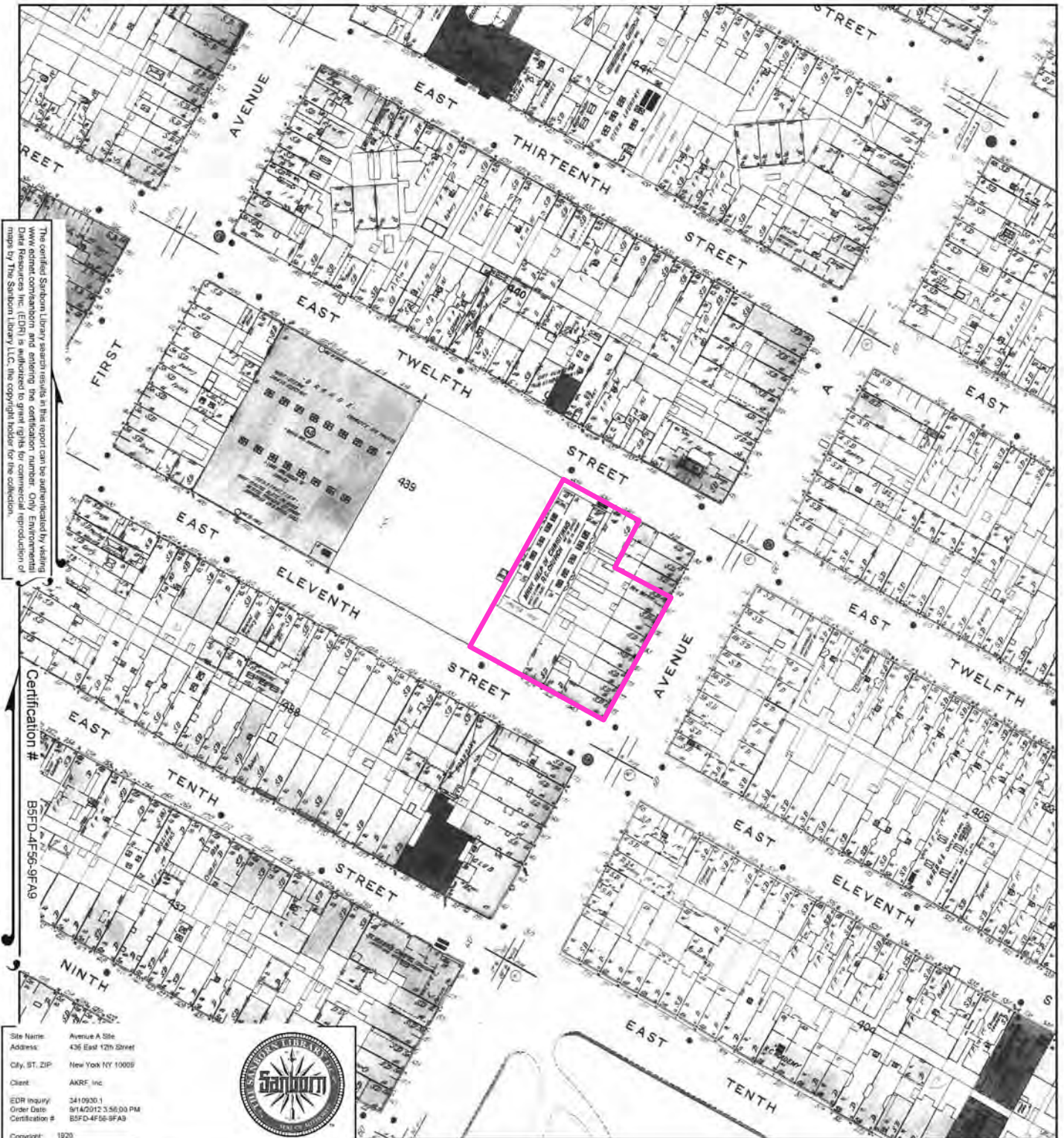


Volume 2, Sheet 28
Volume 2, Sheet 29

0 Feet 150 300 600



1920 Certified Sanborn Map



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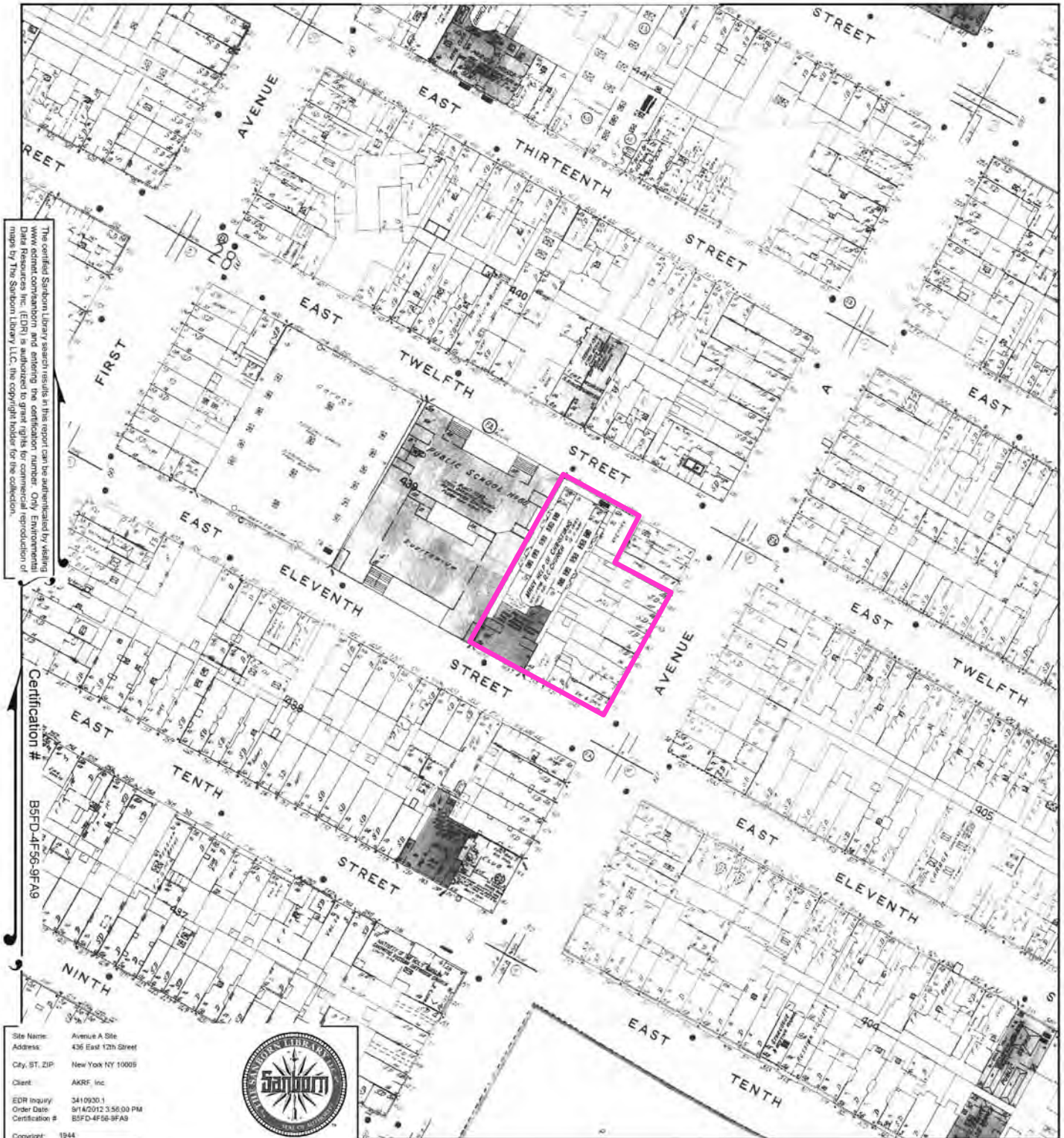


Volume 2, Sheet 20
 Volume 2, Sheet 28
 Volume 2, Sheet 29

0 Feet 150 300 600



1944 Certified Sanborn Map

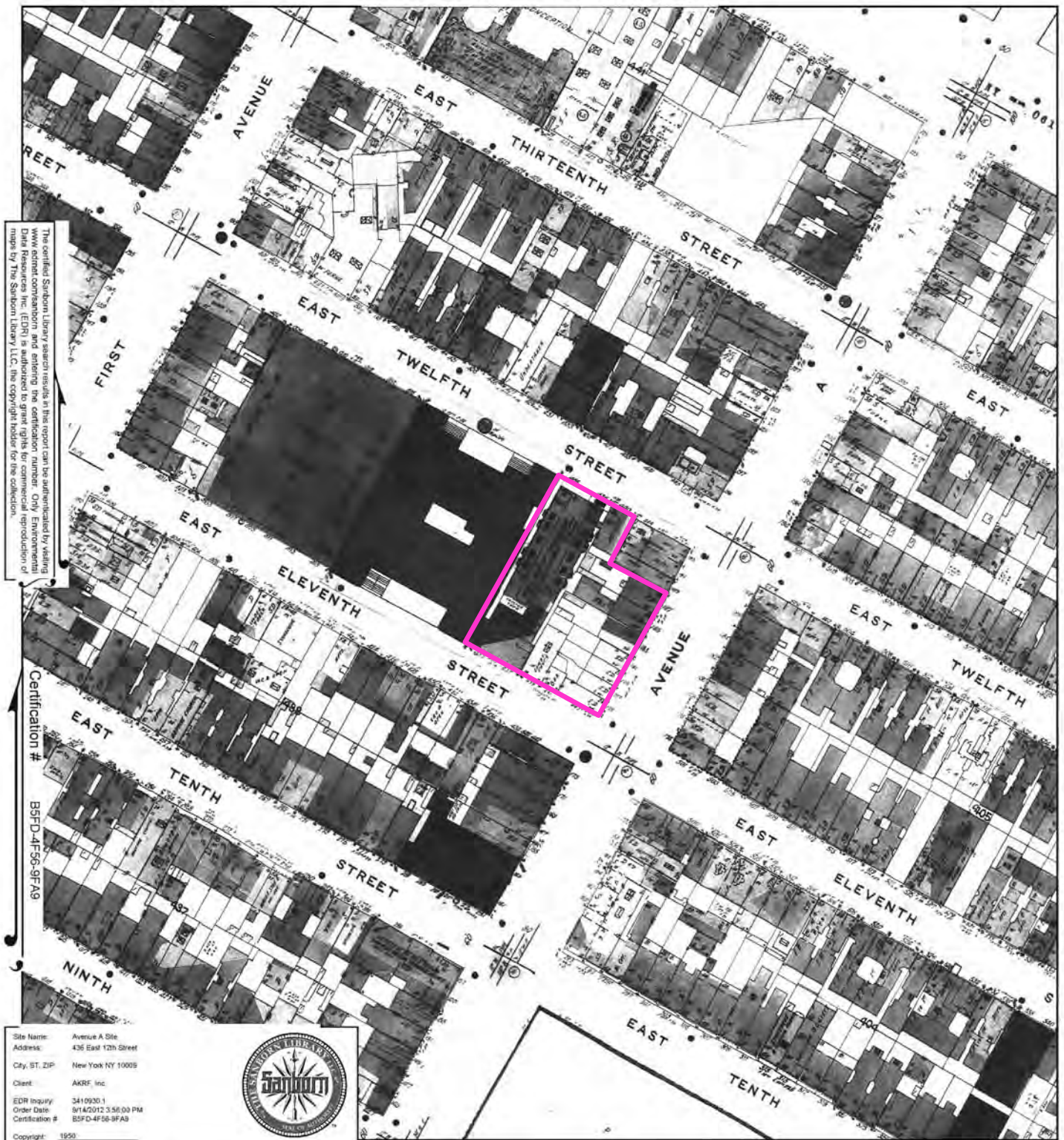


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1950 Certified Sanborn Map



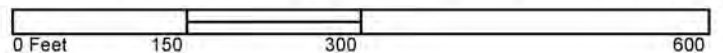
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Certification # B5FD-4F56-9FA9

Site Name: Avenue A Site
 Address: 436 East 12th Street
 City, ST, ZIP: New York NY 10005
 Client: AKRF, Inc.
 EDR Inquiry: 3410930-1
 Order Date: 9/14/2012 3:56:00 PM
 Certification #: B5FD-4F56-9FA9
 Copyright: 1950



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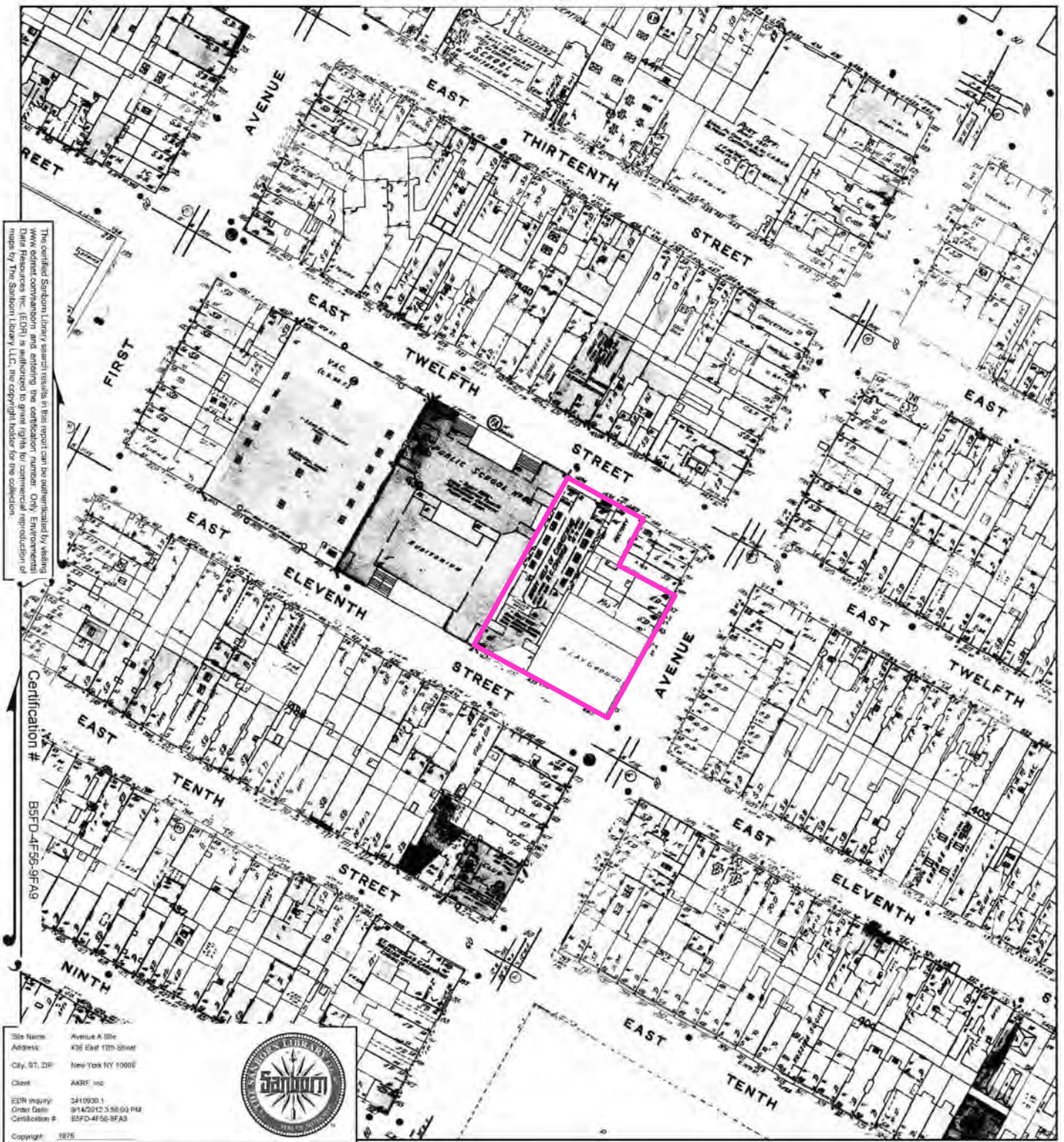


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 Volume 2, Sheet 28
 Volume 2, Sheet 29
 Volume 3, Sheet xxxx

Volume 1S, Sheet xxxx



1976 Certified Sanborn Map



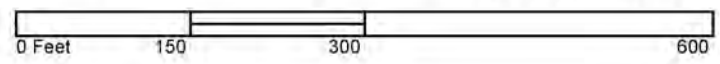
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Certification # B5FD-4F56-9FA9

Site Name: Avenue A Site
Address: 436 East 10th Street
City, St, ZIP: New York NY 10005
Client: AKRF, Inc.
EDR Inquiry: 3410930.1
Order Date: 9/14/2012 3:56:00 PM
Certification #: B5FD-4F56-9FA9
Copyright: 1976

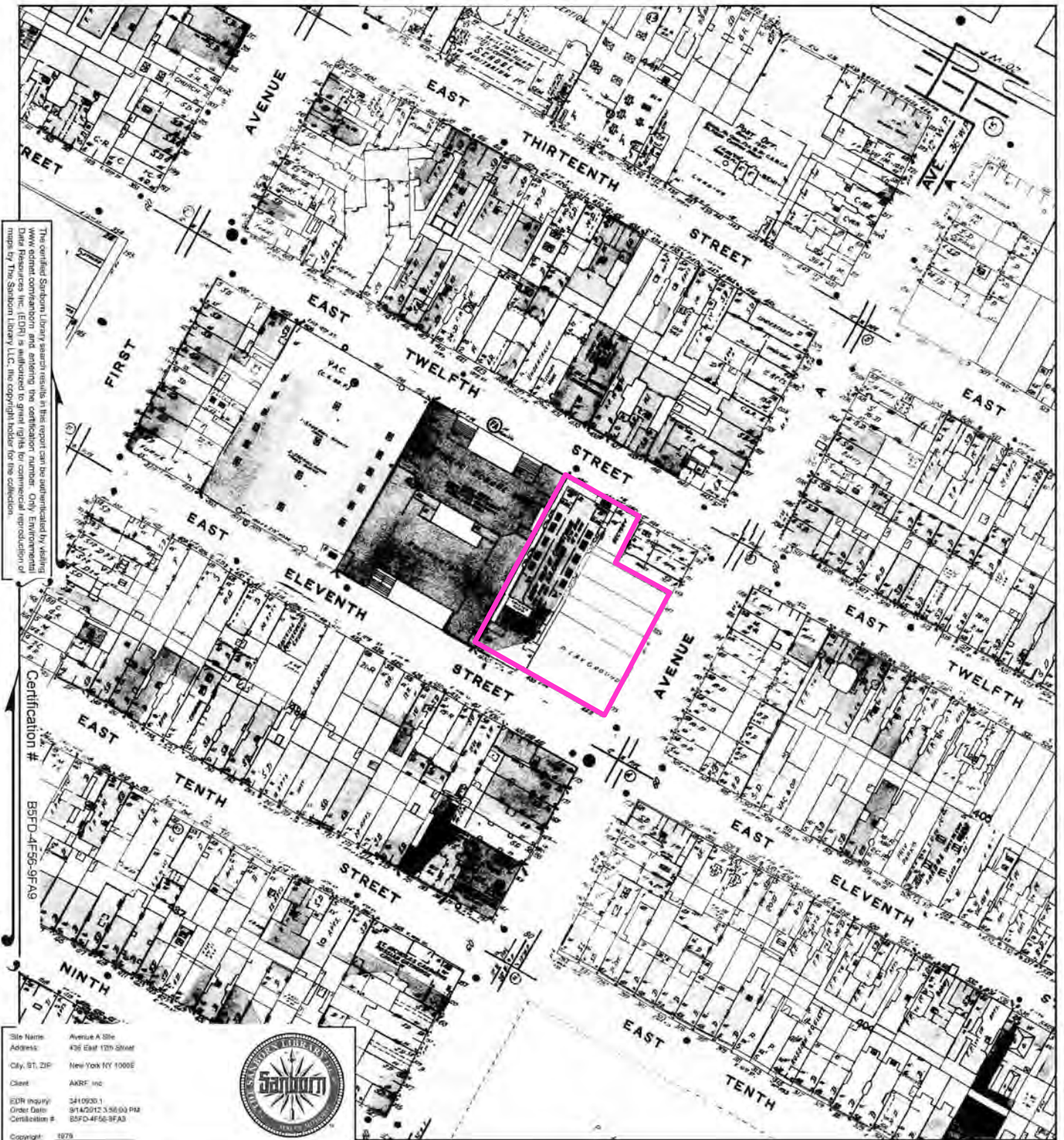


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1979 Certified Sanborn Map



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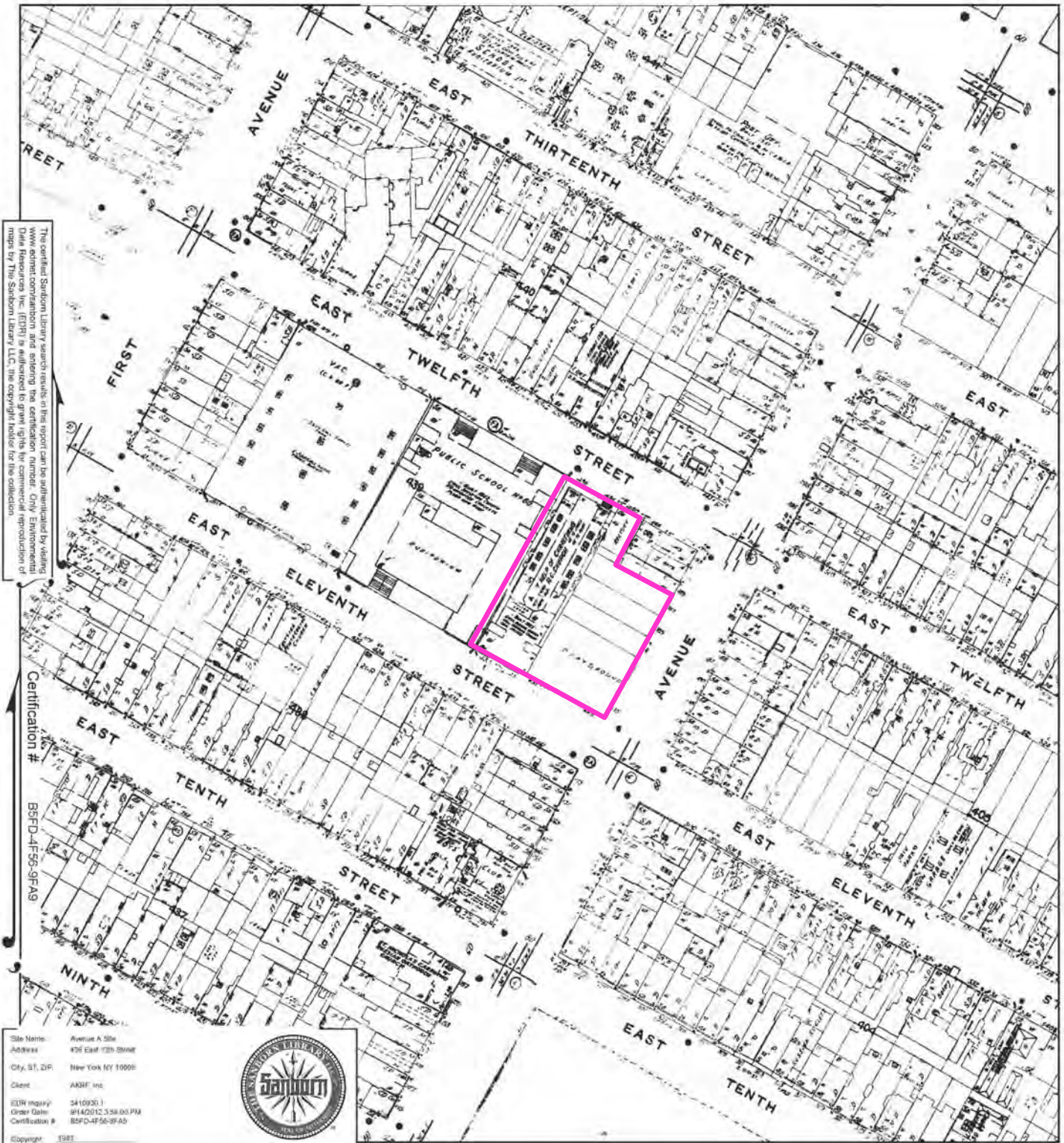


Volume 2, Sheet 28
Volume 2, Sheet 29
Volume 2, Sheet 20
Volume 2, Sheet 21

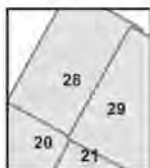
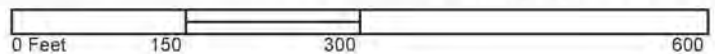
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1983 Certified Sanborn Map



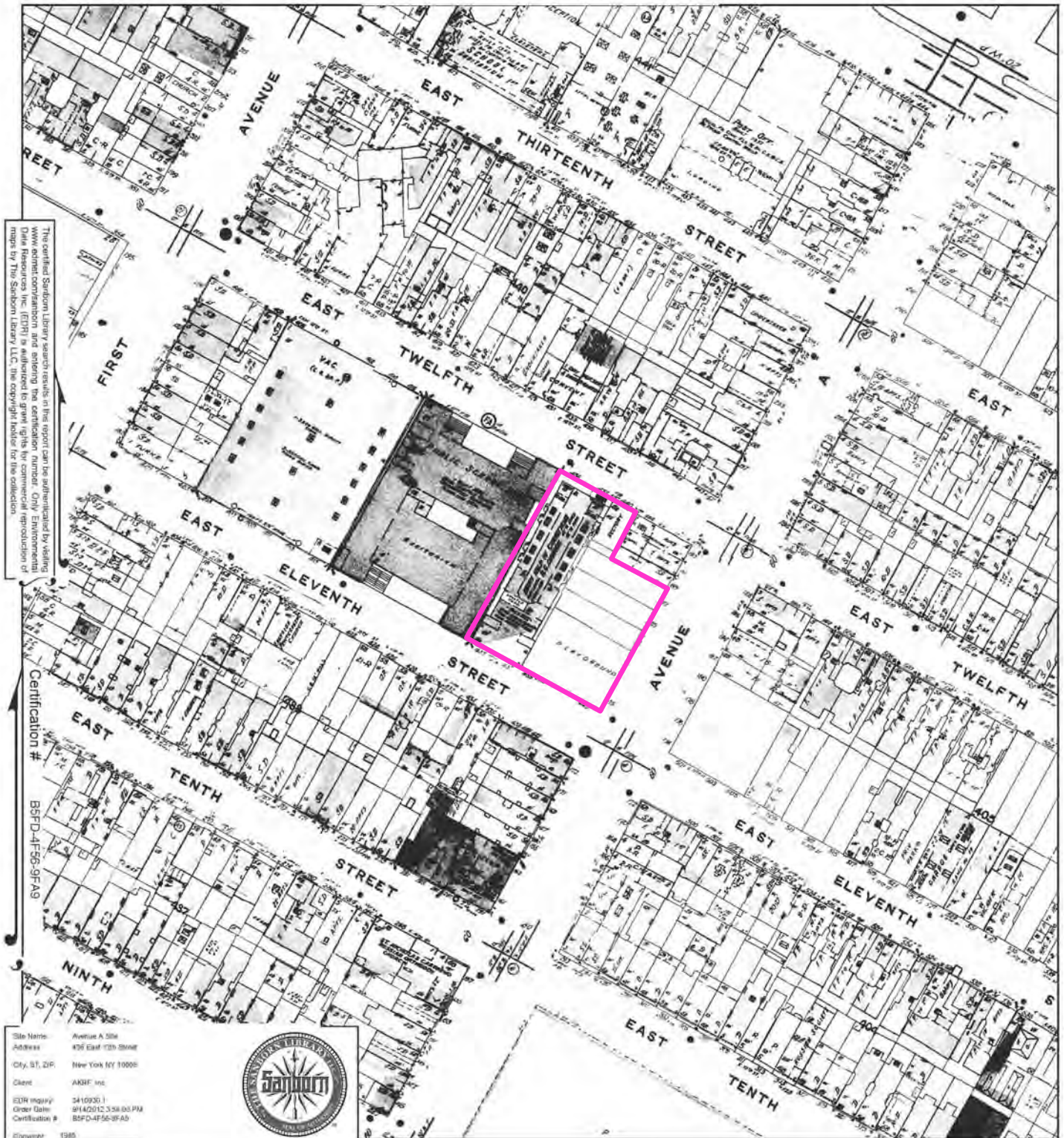
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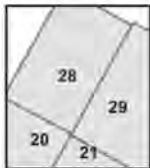
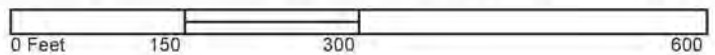
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 Volume 2, Sheet 29



1985 Certified Sanborn Map



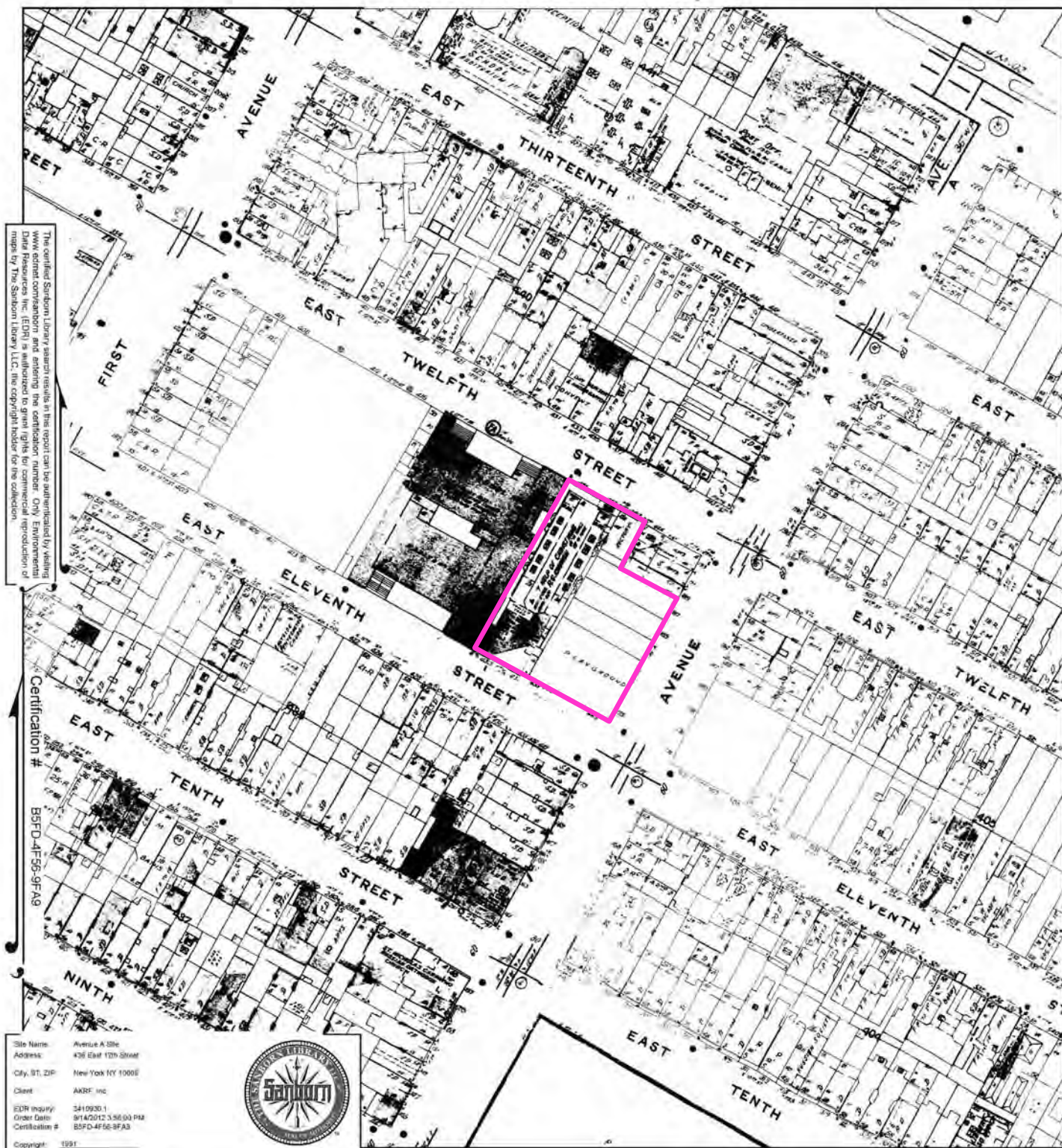
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Outlined areas indicate map sheets within the collection,



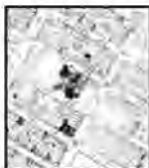
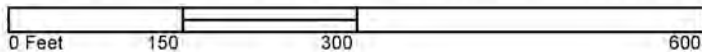
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1991 Certified Sanborn Map

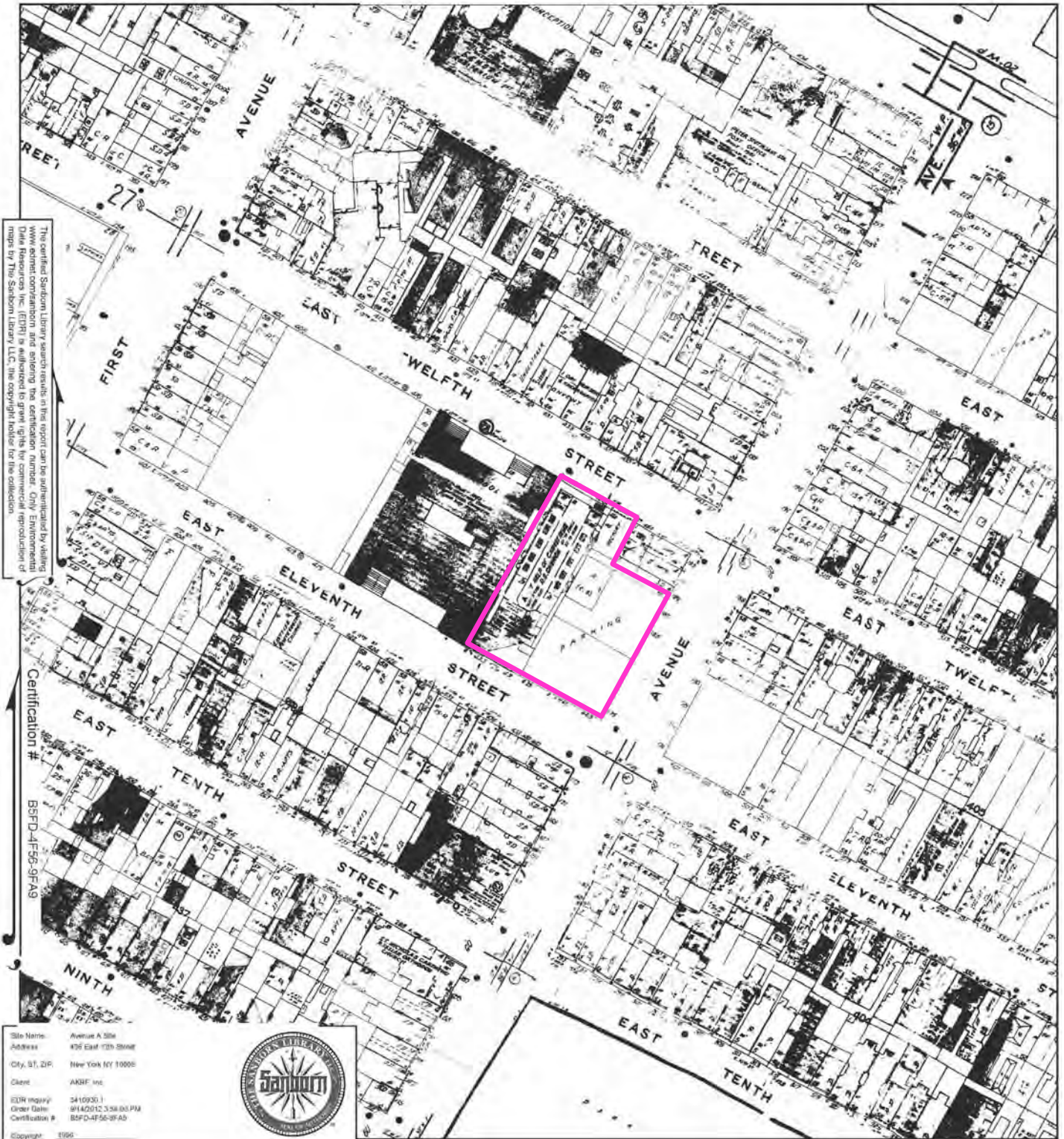


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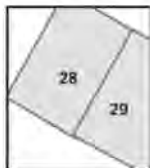
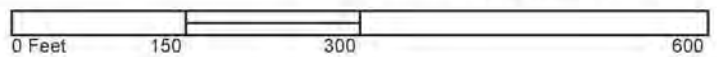


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1996 Certified Sanborn Map



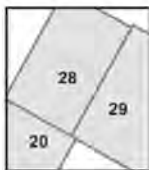
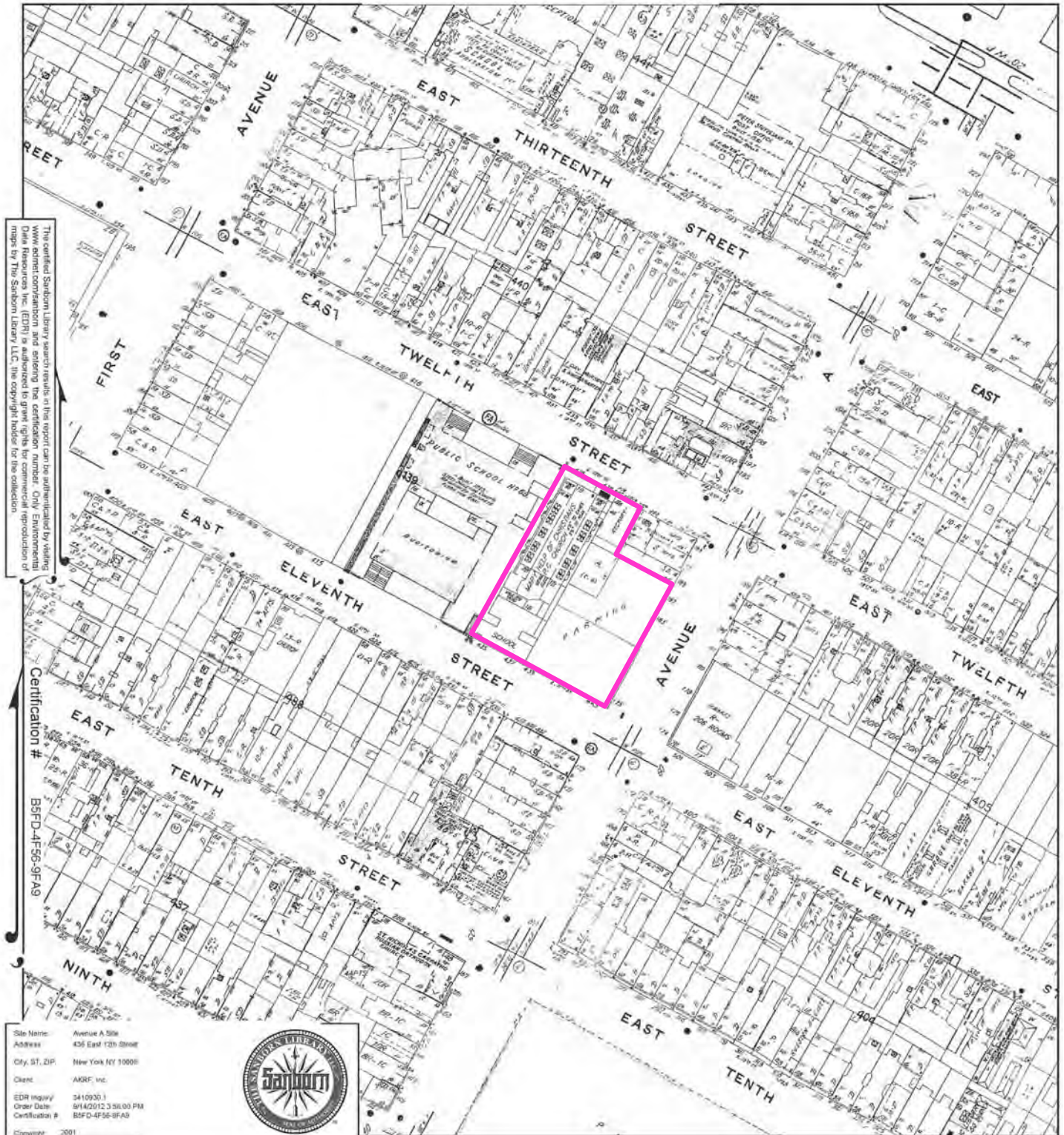
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2001 Certified Sanborn Map

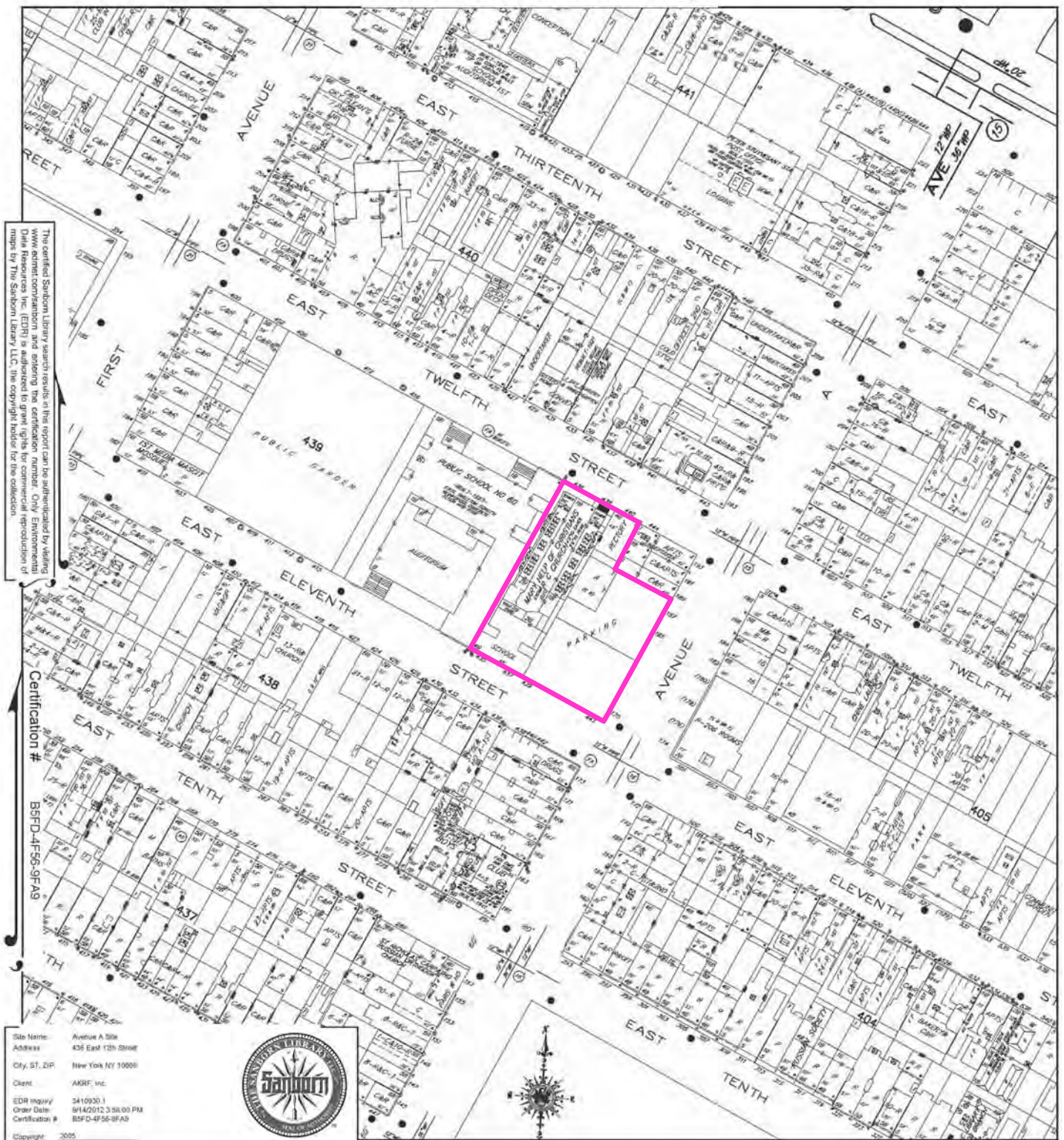


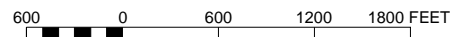
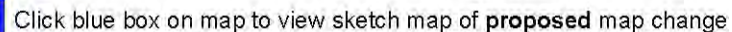
Volume 2, Sheet 20
Volume 2, Sheet 28
Volume 2, Sheet 29

0 Feet 150 300 600



2005 Certified Sanborn Map

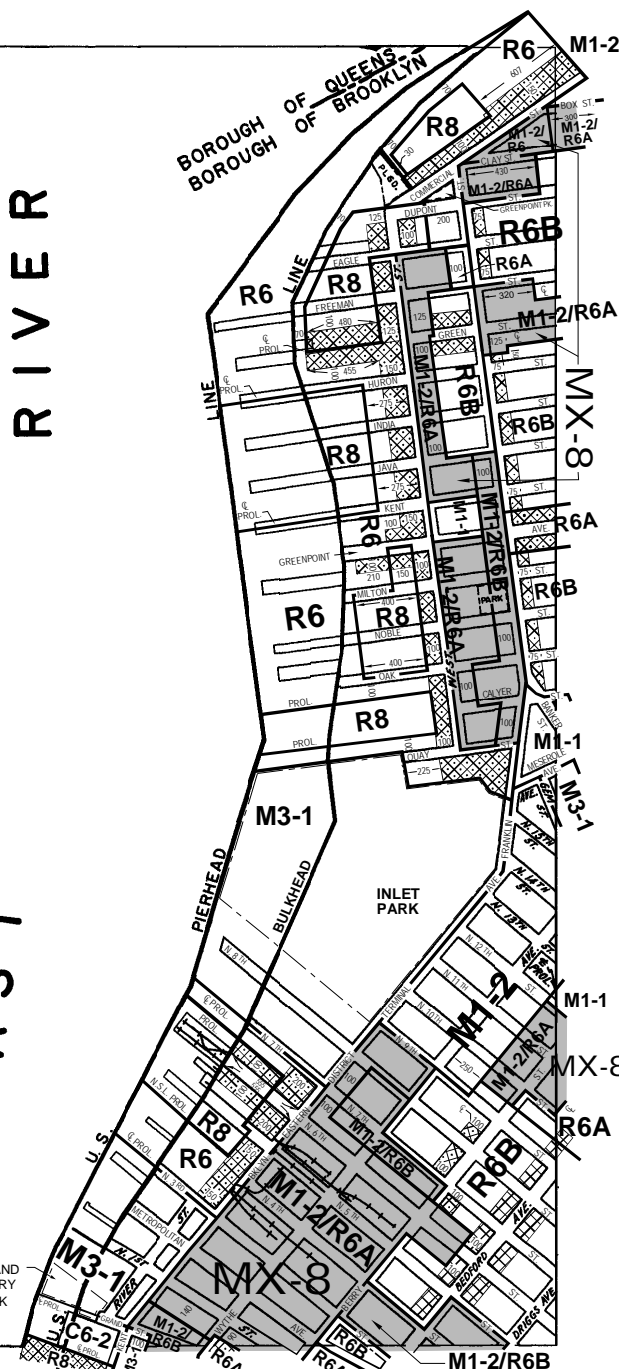




NOTE: STREETS FOR THE STREET MAP CHANGE C 120077 MMM ARE SHOWN ON THIS MAP PRIOR TO BECOMING EFFECTIVE IN ORDER TO LOCATE ZONING DISTRICT BOUNDARIES.

NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.

EAST RIVER




THE NEW YORK CITY PLANNING COMMISSION

The number(s) and/or letter(s) that follows an R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

C - COMMERCIAL DISTRICT

M – MANUFACTURING DISTRICT

 SPECIAL PURPOSE DISTRICT
The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.

AREA(S) REZONED

07-25-2012 C 120122 ZMM

For a list of lots subject to CEQR environmental requirements, see APPENDIX C.

For a list of lots subject to "D" restrictive declarations, see APPENDIX D.

For Inclusionary Housing designated areas on this map, see APPENDIX F.

MAP KEY

8b	8d	9b
12a	12c	13a
12b	12d	13b

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NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: www.nyc.gov/planning or contact the Zoning Information Desk at (212) 720-3291.