

SECTION 04200 - MASONRY, MASONRY RESTORATION AND CLEANING

- 1.0 GENERAL
 1.1 THE GENERAL CONDITIONS AND SPECIAL REQUIREMENTS SHALL GOVERN ALL WORK OF THIS SECTION.
 2.0 SCOPE OF WORK
 2.1 FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE ALL WORK OF THIS SECTION AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED, INCLUDING BUT NOT LIMITED TO:
 A. WATER CLEANING OF EXTERIOR BRICK SURFACES
 B. REPOINTING MORTAR JOINTS
 C. INFILL AND REPAIR OF MASONRY

- 2.2 SUBMITTALS
 SAMPLES: SUBMIT 6 SAMPLES OF FACE BRICK TO ILLUSTRATE COLOR, TEXTURE AND EXTREMES OF COLOR RANGE TO MATCH EXISTING.

- 3.0 MATERIALS
 3.1 CLEANING MATERIALS:
 A. CLEANING AGENT: DETERGENT
 B. MASONRY RESTORATION CLEANER

- 3.2 MASONRY MATERIALS:
 A. BRICK: REUSE SALVAGED BRICK FROM PARTIAL DEMOLITION OF THE EXTERIOR WALL. NEW BRICK, IF REQUIRED SHALL CONFORM WITH ASTM C62 AND SHALL MATCH COLOR, SIZE AND TEXTURE OF EXISTING BRICK.

- 4.0 EXECUTION
 4.1 REBUILDING:
 A. PROTECT ELEMENTS SURROUNDING THE WORK OF THIS SECTION FROM DAMAGE OR DISFIGURATION.
 B. IMMEDIATELY REMOVE STAINS, EFFLORESCENCE, OR OTHER EXCESS RESULTING FROM THE WORK OF THIS SECTION.
 C. CUT OUT MASONRY TO BE REMOVED WITH CARE IN A MANNER TO PREVENT DAMAGE TO ANY ADJACENT REMAINING MATERIALS.
 D. NEEDLE AND/OR SHORE STRUCTURE AS NECESSARY IN ADVANCE OF CUTTING OUT UNITS.
 E. CUT AWAY LOOSE OR UNSOUND ADJOINING MASONRY AND MORTAR AS DIRECTED AND PROVIDE FIRM AND SOLID BEARING FOR NEW WORK.
 F. MORTAR MIX: COLORED AND PROPORTIONED TO MATCH EXISTING WORK.
 G. ENSURE THAT ANCHORS, TIES AND REINFORCING AND FLASHING ARE CORRECTLY ALLOCATED AND BUILT IN.
 H. INSTALL BUILT-IN MASONRY WORK TO MATCH AND ALIGN WITH EXISTING, WITH JOINTS AND COURSES TRUE AND LEVEL TO MATCH EXISTING, FACES PLUMB AND IN LINE. BUILD IN ALL OPENINGS, ACCESSORIES AND FITTINGS.

- 4.2 CLEANING EXISTING MASONRY
 A. MEDIUM PRESSURE COLD WATER: COLD WATER BLAST WITH 50 PSI PRESSURE BRICK MASONRY SURFACES AT ALL LOCATIONS, PROVIDING UNIFORM FINISH.

- 4.3 CLEANING NEW MASONRY
 A. VERIFY MORTAR IS FULLY SAT AND CURED
 B. CLEAN SURFACES AND REMOVE LARGE PARTICLES WITH WOOD SCRAPERS, BRASS OR NYLON BRUSHES
 C. SCRUB WALLS WITH DETERGENT SOLUTION USING STIFF BRUSH. THOROUGHLY RINSE AND WASH OFF CLEANING SOLUTION, DIRT AND MORTAR CRUMBS USING CLEAN PRESSURIZED WATER
 D. PROTECTS AREA BELOW CLEANING OPERATION AND KEEP SILLS AND STONEMAN SOAKED WITH WATER AND FLUSHED FREE OF SOLUTION AND DISSOLVED MORTAR CONTINUOUSLY FOR DURATION OF CLEANING.
 E. BEFORE SOLUTION DRIES, RINSE AND REMOVE SOLUTION AND DISSOLVED MORTAR, USING CLEAN PRESSURIZED WATER.

- 4.4 RESTORATION CLEANING
 A. CLEAN SURFACES AND REMOVE LARGE PARTICLES WITH WOOD SCRAPER OR NON FERROUS WIRE BRUSH.
 B. SPRAY OR BRUSH COAT MASONRY WITH RESTORATION CLEANER, MIXED INTO SOLUTION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 C. PROVIDE A SECOND APPLICATION IF REQUIRED BY PRELIMINARY TEST OF SAMPLE AREA.
 D. ALLOW SUFFICIENT TIME FOR SOLUTION TO REMAIN ON MASONRY AND AGITATE WITH SOFT FIBER BRUSH.
 E. RINSE FROM THE BOTTOM UP WITH POTABLE APPLIED AT 50 PSI

SECTION 04100 - MORTAR SPECIFICATIONS

- 1.0 GENERAL
 1.01 THE GENERAL CONDITIONS AND SPECIAL REQUIREMENTS SHALL GOVERN ALL WORK OF THIS SECTION.
 1.02 DESCRIPTION
 A. FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE ALL WORK OF THIS SECTION AS SHOWN ON THE DRAWING M-004 AND HEREIN SPECIFIED, INCLUDING BUT NOT LIMITED TO:
 1. PROVIDE CUSTOM MORTAR FOR INFILL AND REPAIR OF MASONRY IN THE OPENINGS AFTER REMOVAL OF AC THROUGH WALL UNITS.
 B. PROVIDE CUSTOM MORTAR FOR THE REPOINTING OF INFILL MASONRY AND TERRA COTTA UNIT AT WINDOW SURROUND.

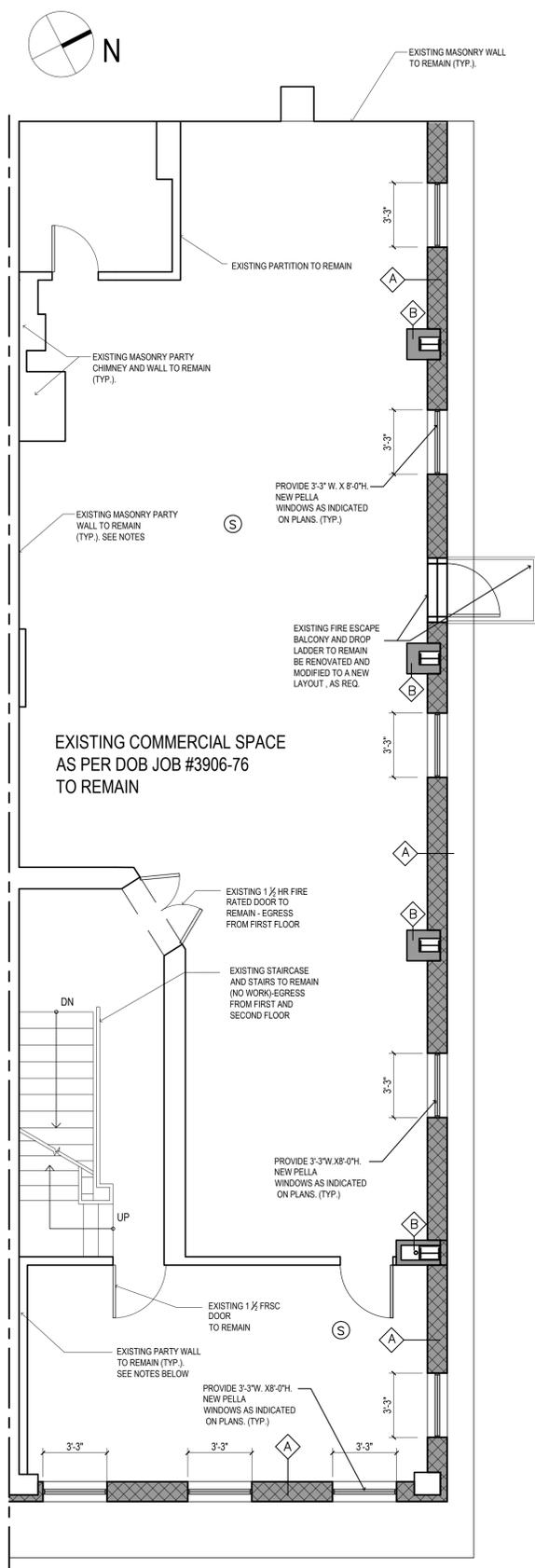
- 1.03 SUBMITTALS
 A. GENERAL: SUBMIT THE FOLLOWING IN ACCORDANCE WITH THE PROVISIONS OF THE GENERAL CONTRACT DOCUMENTS.
 1. SAMPLES: SUBMIT 6 SAMPLES OF EACH MORTAR FOR INITIAL SELECTION PURPOSES TO MATCH EXISTING.
 a. POINTING AND REBUILDING MORTARS: SUBMIT 1/2" X 1/2" X 1/2" ALUMINUM CHANNELS FILLED WITH FULLY CURED SAMPLES (MINIMUM 7 DAY CURE). LABEL EACH SAMPLE TO INDICATE TYPE, AMOUNT OF COLOR PIGMENT, MANUFACTURER AND SUPPLIER.
 b. 1-POUND SAMPLE OF EACH TYPE OF SAND.
 2. SUBMIT FIELD MOCK-UP PANEL OF BRICK AND MORTAR FOR FINAL APPROVAL BEFORE PROCEEDING WITH WORK.

- 2.01 MATERIALS
 A. MORTAR FOR SETTING AND POINTING SHALL CONFORM TO THE FOLLOWING:
 1. WHITE PORTLAND CEMENT: TYPE 1, GRAY OR WHITE, ASTM C-150, AS MANUFACTURED BY LEHIGH PORTLAND CO., ALLENTOWN, PA OR APPROVED EQUAL.
 a. WHITE PORTLAND CEMENT: ATLAS TYPE 1, AS MADE BY LEHIGH PORTLAND CEMENT CO., ALLENTOWN, PA.
 b. GRAY PORTLAND CEMENT: LIGHT GRAY PORTLAND CEMENT, LONE STAR TYPE 1, AS MADE BY LONE STAR CEMENT, WEST NYACK, NY.
 2. HYDRATED LIME: ASTM C-207, TYPE S WARNER SUPERLIME LIME AS MANUFACTURED BY THE WARNER CO., CEDAR HOLLOW PLANT, DEAVULT, PA., OR APPROVED EQUAL.
 3. SAND: CLEAN SHARP SAND FREE OF LOAM, SILT, SOLUBLE SALTS AND ORGANIC MATTER, ASTM C-144.
 a. GEORGE SCHOLFIELD COMPANY, BOUND BROOK, NJ.
 b. NEW JERSEY PULVERIZING CO., BRONX, NY.
 C. OR APPROVED EQUAL.
 4. WATER SHALL BE POTABLE, FROM CITY MAINS.
 5. OXIDE PIGMENTS SHALL BE STABLE, NON-FADING, AND ALKALI RESISTANT.
 6. GRAVEL: ASTM C-33, AND HAVE A MAXIMUM AGGREGATE SIZE OF 3/8".
 7. ACRYLIC ADMIXTURES SHALL BE ACRYL 60, AS MANUFACTURED BY THORO SYSTEMS PRODUCTS, INC., MIAMI FL, OR APPROVED EQUAL.

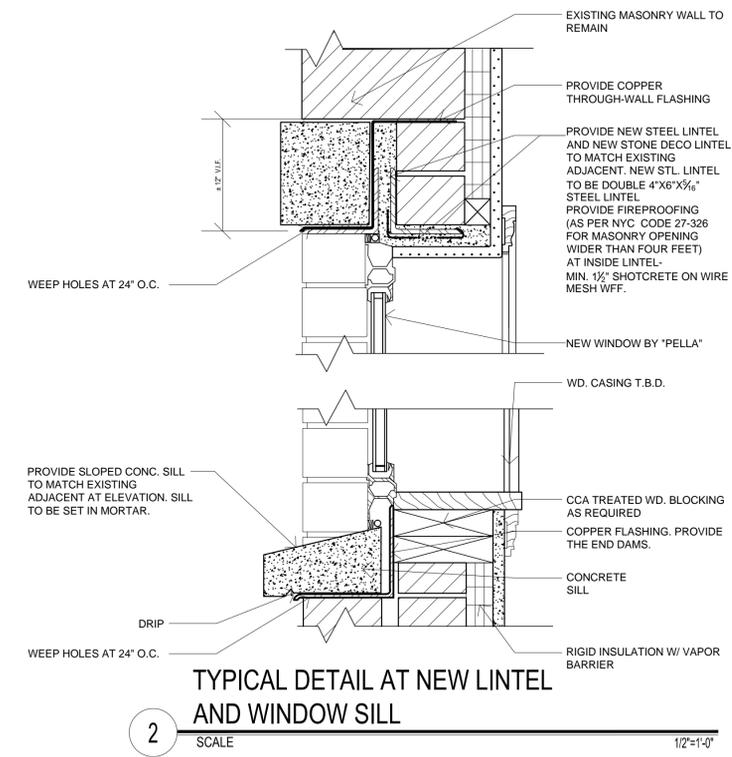
- 2.02 MORTAR MIXES
 A. MORTAR MIXES AND MORTAR MATERIALS- AT EACH TYPE OF MASONRY, MATCH EXISTING OR ORIGINAL MORTAR IN COLOR, TEXTURE, TOOLING.
 1. FOR FOR POINTING AND REBUILDING, MATCH EXISTING ADJACENT, CLEANED MORTAR IN COLOR, TEXTURE AND TOOLING. REFER TO 2.02 D FOR RECEIPTS.
 B. GENERAL: DO NOT ADD ADMIXTURES INCLUDING AIR ENTERING AGENTS, ACCELERATORS, RETARDANTS, WATER REPELLANT AGENTS, ANTI-FREEZE COMPOUNDS, OR OTHER ADMIXTURES, UNLESS OTHERWISE SPECIFIED.
 1. DO NOT USE CALCIUM CHLORIDE IN MORTARS.
 C. COLORED MORTAR PIGMENTS: NATURAL AND SYNTHETIC IRON OXIDES AND CHROMIUM OXIDES, NOT TO EXCEED 10% BY WEIGHT, COMPOUNDED FOR USE IN MORTAR MIXES. USE ONLY PIGMENTS WITH RECORD OF SATISFACTORY PERFORMANCE IN MASONRY MORTARS.
 1. AVAILABLE PRODUCTS: SUBJECT TO COMPLIANCE REQUIREMENTS, COLORED MORTAR PIGMENTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE BUT NOT LIMITED TO, THE FOLLOWING:
 a. SSS MORTAR COLORS: SOLOMON GRIND-CHEM SERVICES, INC.
 b. TRUE TONE MORTAR COLORS: DAVIS COLORS, A SUBSIDIARY OF ROCKWOOD INDUSTRIES, INC.

- D. MORTAR FOR BRICK MASONRY:
 1. MORTAR FOR POINTING AND REBUILDING BRICK IN THE OPENINGS:
 a. 1 PART BY VOLUME WHITE PORTLAND CEMENT
 b. 1 PART BY VOLUME HYDRATED LIME (TYPE S)
 c. 5 PARTS SAND
 d. FOR INFORMATION, A CLOSE MATCHING SAND IS A 1:1 RATIO OF SCHOFIELD 114 (TO PASS THROUGH SIEVE 50) AND 181 (TO PASS THROUGH SIEVE 30).
 e. OXIDE PIGMENTS AS NEEDED, BUT AS INDICATED IN 2.02 C, TO MATCH THE ORIGINAL COLOR OF THE ADJACENT MORTAR.

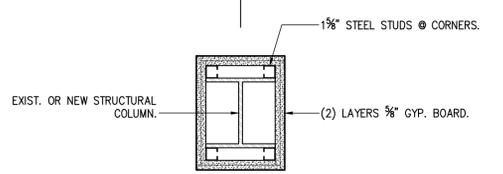
- 2.03 MIXING OF MORTAR
 A. GENERAL
 1. MORTAR INGREDIENTS SHALL BE MEASURED CAREFULLY SO THAT PROPORTIONS ARE CONTROLLED AND MAINTAINED THROUGHOUT ALL WORK PERIODS.
 2. MORTAR SHALL BE MIXED IN AN APPROVED TYPE POWER OPERATED BATCH MIXER. MIXING TIME SHALL BE SUCH AS TO PRODUCE A PLASTIC HOMOGENEOUS MORTAR, BUT MIXING SHALL NOT BE LESS THAN FIVE MINUTES, APPROXIMATELY TWO MINUTES OF WHICH SHALL BE FOR MIXING THE DRY MATERIALS AND NOT LESS THAN THREE MINUTES FOR CONTINUING THE MIXING AFTER WATER HAS BEEN ADDED. A MINIMUM AMOUNT OF WATER SHALL BE USED TO PRODUCE A WORKABLE CONSISTENCY.
 3. MORTAR FOR POINTING SHALL BE AS DRY A CONSISTENCY AS WILL PRODUCE A MORTAR SUFFICIENTLY PLASTIC TO BE OMKED INTO JOINTS.
 4. MORTAR FOR SLURRY SHALL BE OF A CONSISTENCY AS WILL BE BRUSHED.
 5. WHERE MORTAR IS REQUIRED IN SMALL BATCHES OF LESS THAN A CUBIC YARD AND THE ARCHITECT SPECIFICALLY APPROVES, MORTAR MAY BE MIXED BY HAND IN CLEAN WOODEN OR METAL BOXES PREPARED FOR THE PURPOSE BUT NOT ON SLABS, FLOORS ETC., PROVIDED THE METHODS OF MIXING AND TRANSFERING THE MORTAR ARE APPROVED BY THE ARCHITECT.
 6. AFTER MIXING, MORTARS FOR POINTING OR SETTING SHALL SIT FOR 20 MINUTES PRIOR TO USE TO ALLOW FOR THE SHRINKING. MORTAR SHALL BE PALCED IN FINAL POSITION WITHIN TWO HOURS OF MIXING. RETEMPERING OF PARTIALLY HARDENED MATERIAL IS NOT PERMITTED.



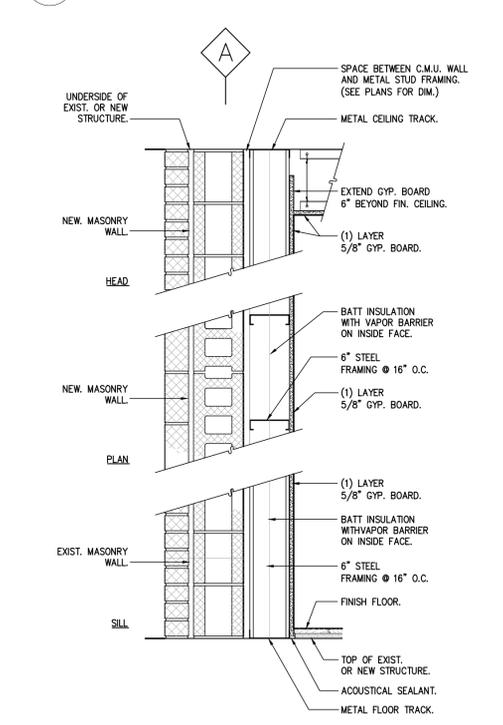
1 SECOND FLOOR PLAN SCALE 1/4"=1'-0"



2 TYPICAL DETAIL AT NEW LINTEL AND WINDOW SILL SCALE 1/2"=1'-0"



3 FIRE-RATED COLUMN ENCLOSURE N.T.S.

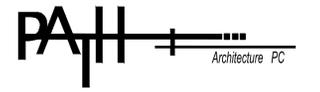


4 MASONRY/GYP. BD. EXTERIOR WALL SCALE N.T.S.

| SYMBOL LEGEND | |
|---------------|---|
| | WALL TO BE DEMOLISHED |
| | EXISTING WALL TO REMAIN |
| | NEW EXTERIOR WALL 12" MASONRY WALL TO MATCH EXISTING (4" BRICK VENEER TO MATCH EXISTING ADJACENT) ADJACENT 6" MIL STUDS, 1 LAYER OF 5/8" GYP. BD. TYPE "X" -3 HOUR FIRE RATED WALL |
| | STEEL COLUMN ENCLOSURES WALL (2 LAYER OF 5/8" GYP. BD. TYPE "X" ON ONE SIDE, 1 1/2" STEEL STUDS) 1 HOUR FIRE RATED MEA80-98-M |
| | FRSC DOOR FIRE-RATED, SELF-CLOSING DOOR |
| | ELEVATION MARKER |
| | SECTION MARKER |
| | DETAIL MARKER |
| | FLOOR LEVEL EL. HEIGHT |
| | WINDOW NUMBER |
| | FLOOR DRAIN |
| | +0'-0" CEILING HEIGHT ABOVE FLOOR |
| | SMOKE DETECTOR (CARBON MONOXIDE DETECTOR COMBINATION UNIT) |
| | NEW MILLWORK |
| | NEW DOOR |
| | EXIST. DOOR |
| | EXISTING DOOR TO BE REMOVED |
| | EXHAUST FAN 75 CFM |

| No. | Date | Issue |
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| 02 | 07/25/12 | ISSUED TO DOB FOR PERMIT |
| 01 | 06/25/12 | ISSUED TO CLIENT |

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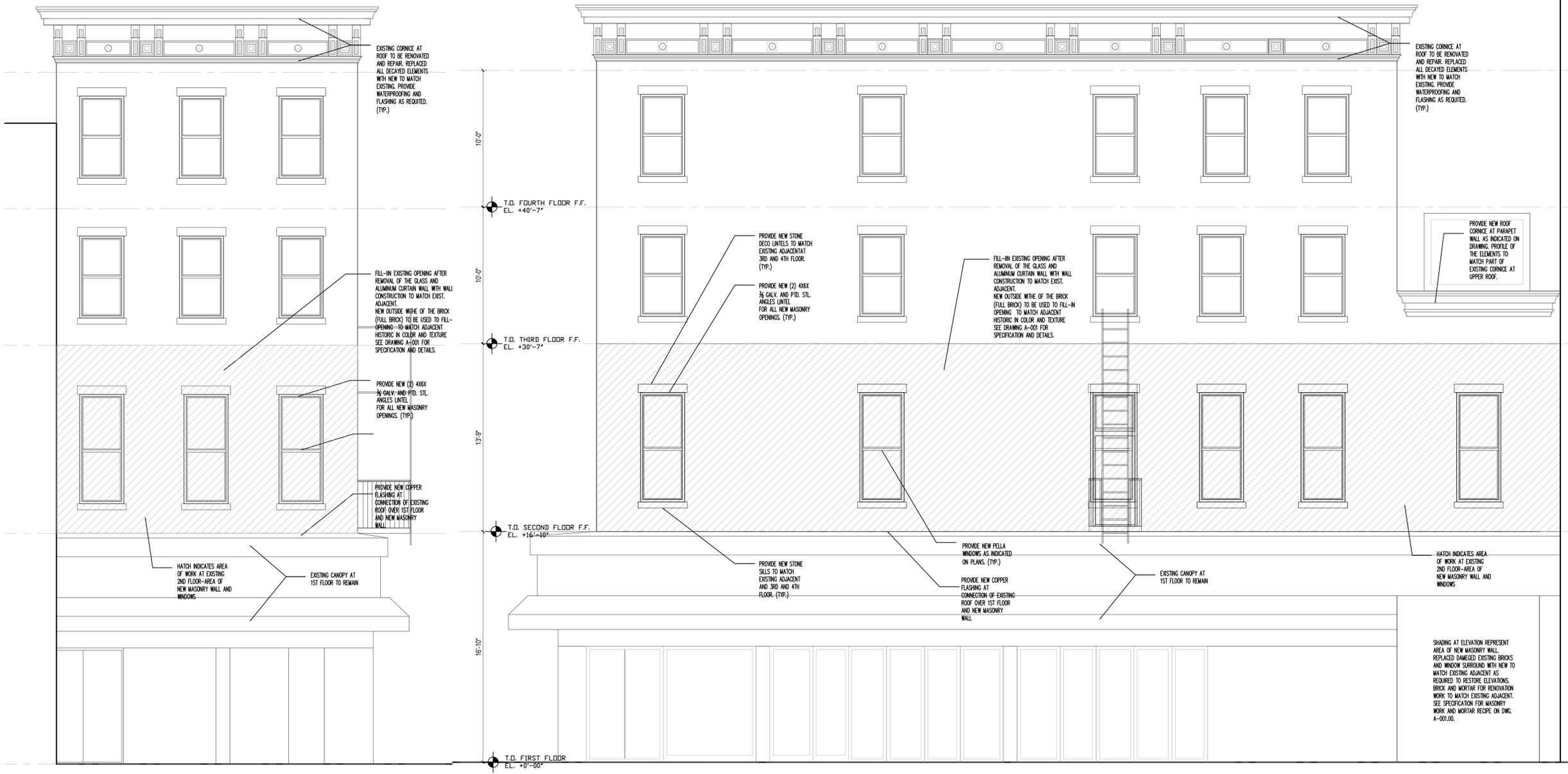
Project Title:
LOCATION
 117 SECOND AVENUE
 NY, NY 10003

PARTIAL DEMOLITION

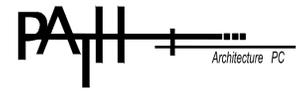
Drawing Title:
PLAN @ SECOND FLOOR

| SEAL & SIGNATURE | |
|------------------|----------|
| DATE: | 06-23-12 |
| PROJECT No: | 0112309 |
| DRAWING BY: | A.W. |
| CHK BY: | W.O. |
| DWG No: | |
| A-001.00 | |
| PAGE: | 4 of 5 |

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PARTIAL DEMOLITION

Drawing Title:

ELEVATIONS

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DATE: 06-23-12
PROJECT No: 0112309
DRAWING BY: A.W.
CHK BY: W.O.
DWG No:
A-002.00
PAGE: 5 of 5

2 ELEVATION @ SECOND AVENUE
SCALE 1/4"=1'-0"

1 ELEVATION @ 7-TH STREET
SCALE 1/4"=1'-0"

REPLACEMENT OF THE ALUMINIUM AND GLASS WALL WITH THE MASONRY WALL

117 2ND AVENUE, MANHATTAN, NY 10003

No. Date Issue

DOB NOTES

- SCOPE OF WORK:
ARCHITECTURAL: DEMOLITION OF EXISTING GLASS AND METAL CURTAIN WALL AT 2ND FLOOR AND CONSTRUCTION OF NEW MASONRY WALL WITH METAL STUD FURRING FROM INSIDE WITH NEW WINDOWS. MODIFICATIONS TO THE FIRE ESCAPE.
ELECTRICAL: NEW LINES AND OUTLETS AT THE EXTERIOR WALL.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE, FIRE DEPARTMENT RULES AND REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING NEW YORK CITY AGENCIES.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

SPECIAL AND PROGRSS INSPECTIONS

- CONTROLLED AND PROGRESS INSPECTIONS SHALL BE CARRIED OUT IN ACCORDANCE WITH APPLICABLE CODE SECTIONS AND SHALL INCLUDE THE FOLLOWING ITEMS:

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|---|--|
| MASONRY | - BC 1704.5 |
| STRUCTURAL SAFETY- STRUCTURAL STABILITY | - BC 1704.19 |
| FIRESTOPS, DRAFTSTOP AND FIREBLOCK SYSTEM | - BC 1704.25 |
| FRAME | - BC 109.3.3 |
| ENERGY CODE COMPLIANCE INSPECTIONS | - BC 109.3.5 |
| ENERGY CODE PROGRESS INSPECTIONS | TABLE REFERENCE IN RCNY 5000-01 (h)(1) AND (2) |
| INSULATION PLACEMENT AND R VALUE | (IA2),(IIA2) |
| FENESTRATION THERMAL VALUES AND RATINGS | (IA3),(IIA3) |
| FENESTRATION RATINGS FOR LEAKAGE | (IA4),(IIA4) |
| FENESTRATION AREA | (IA5),(IIA5) |
| AIR SEALING AND INSULATION- VISUAL | (IA6),(IIA6) |

| | |
|--|--------------|
| FIRE-RESISTANCE CONSTRUCTION INSPECTIONS | - BC 109.3.4 |
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|---|
| FINAL - 28-116.2.4.2 AND BC 109.5 AND DIRECTIVE 14 OF 1975 AND IRCNY # 101-10 |
|---|
- CONTROLLED INSPECTION SHALL BE MADE UNDER THE DIRECT SUPERVISION OF A PE/RA. A TR-1 AND TR-8 FORM SHALL BE FILLED WITH THE DEP. OF BUILDINGS

JOB FILED IN CONJUNCTION WITH:

- DEMOLITION JOB # 121136010
- SIDEWALK BRIDGE
- PIPE SCAFFOLDING

TENANT PROTECTION PLAN 2008 CODE AS PER 28-104.8.4

- THE BUILDING CONTAINS 2 DWELLING UNITS THAT WILL BE OCCUPIED DURING CONSTRUCTION.
- GENERAL: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE, ARTICLE 19, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY:
 - ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. ACCESS TO THE AREA TO BE CONTROLLED BY THE OWNER, OR THE GENERAL CONTRACTOR.
 - ALL MATERIALS TO BE STORED IN A ORDERLY FASHION.
 - ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS' CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.
 - ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS.
 - ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
- CONTRACTOR, AT ALL TIMES, TO ENSURE THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDINGS, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.
- DUST CONTROL:
 - DEBRIS, DIRT AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 - CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
 - DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS:
 - CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8 AM TO 6 PM, MONDAY TO FRIDAY, EXCEPT LEGAL HOLIDAYS.
 - CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS.
- CONSTRUCTION WORK WILL BE CONFINED TO THE APARTMENT INTERIOR, AND WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO THE OTHER APARTMENT UNITS WITHIN THE BUILDING.
- THERE WILL BE NO ONE OCCUPYING THE PREMISES TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.

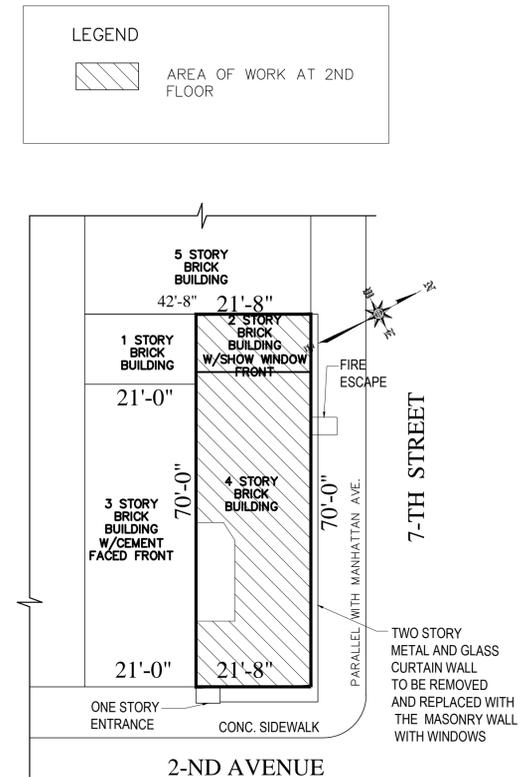
SMOKE/CARBON MONOXIDE DETECTORS

- SMOKE AND CARBON MONOXIDE DETECTORS SHOULD BE INSTALLED AS PER CHAPTER 9 FIRE PROTECTION SYSTEMS 2008 NYC BC.
- SMOKE ALARM DETECTORS SHOULD BE INSTALLED AS PER 907.2.10.5.1 THROUGH 907.2.10.5.5 BC.
- AS PER 907.2.10.1.1 SMOKE ALARMS SHOULD BE INSTALLED:
 - ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET FROM THE ENTRANCE TO SUCH ROOM.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - IN EACH STORY WITHIN DWELLING UNIT INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- AS PER 907.2.10.2 POWER SOURCE: - PRIMARY POWER FROM A DEDICATED BRANCH CIRCUIT OR THE UNSWITCHED PORTION OF A BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT PROTECTION.
- AS PER 907.2.10.3 INTERCONNECTION. WHERE MORE THAN ONE SMOKE ALARM OR DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN GROUP R-2, R-3, OR WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT IN GROUP R-1, THE SMOKE ALARMS OR DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARMS OR DETECTORS IN THE INDIVIDUAL UNIT. THE ALARM OR DETECTOR SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- AS PER 908.7.1.1. REQUIRED LOCATION WITHIN DWELLING UNITS. CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS:
 - OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSES, WITHIN 15 FEET OF ENTRANCE TO SUCH A ROOM,
 - IN ANY ROOM USED FOR SLEEPING PURPOSES.
 - ON ANY STORY WITHIN A DWELLING UNIT, INCLUDING BELOW GRADE STORIES OR PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- AS PER 908.7.1.1.2 INSTALLATION REQUIREMENTS. CARBON MONOXIDE ALARMS AND DETECTORS SHALL COMPLY WITH THE POWER SOURCE, INTERCONNECTION AND ACCEPTANCE TESTING REQUIREMENTS AS FOR REQUIRED SMOKE ALARMS IN ACCORDANCE WITH SECTION 907.2.10.2 THROUGH 907.2.10.4

DRAWING LIST

- | | |
|-----------|--|
| G-001.00 | GENERAL NOTES, PLOT PLAN, LOCATION PLAN, SMOKE DETECTORS NOTES, ENERGY NOTES |
| G-002.00 | ADA INFORMATION AND NOTES |
| DM-001.00 | PARTIAL DEMOLITION PLAN AND ELEVATIONS |
| A-001.00 | CONSTRUCTION PLANS AT 2ND FLOOR EXTERIOR WALL |
| A-002.00 | EXTERIOR ELEVATION AND DETAILS. WINDOW SCHEDULE |
| A003.00 | MASONRY DETAILS AND NOTES |

PLOT PLAN & DOB INFORMATION



1 PLOT PLAN
SCALE 1/16"=1'-0"

ZONING INFORMATION

BLOCK 462
LOT: 23
MAP: 12C

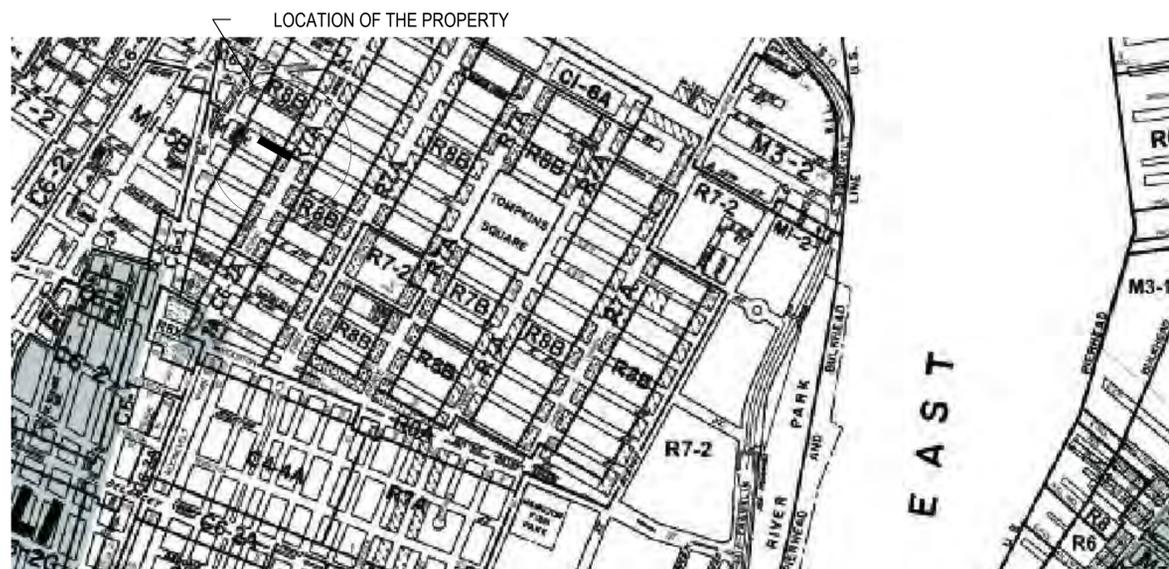
PRIMARY ZONING: R7A RESIDENTIAL WITH COMMERCIAL OVERLAY C2-5
TOTAL UNITS: 4, RESIDENTIAL UNITS: 2

NO CHANGE TO THE USE OR BULK OF THE BUILDING
EXTISTING USE: GROUP 6 ON 1ST AND 2ND FLOOR
USE GROUP 2-DWELLINGS ON 3RD AND 4TH FLOOR

NOTES:

SCOPE OF WORK: DEMOLITION OF THE ALUMIN./GLASS CURTAIN WALL AND CONSTRUCTION OF THE MASONRY WALL WITH WINDOWS AND METAL STUD FURRING AT 2ND FLOOR LEVEL ONLY.

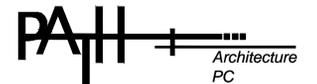
NO CHANGE IN USE, EGRESS, OR OCCUPANCY



2 LOCATION PLAN

SCALE NTS

These plans are an instrument of service and are the property of the Architect. Any infringement will be prosecuted.



59-20 69TH AVENUE
RIDGWOOD, New York 11385
718-381-5865
FAX 718-381-5866

Project Title:

LOCATION
117 2ND AVENUE
NEW YORK, NY 10003

Drawing Title:

ZONING INFORMATION
PLOT PLAN
LOCATION PLAN

SEAL & SIGNATURE

DATE: 07-12-12
PROJECT No: 000071
DRAWING BY: A.W.
CHK BY: W.O.
DWG No:
G-001.00
PAGE: 1 of 5

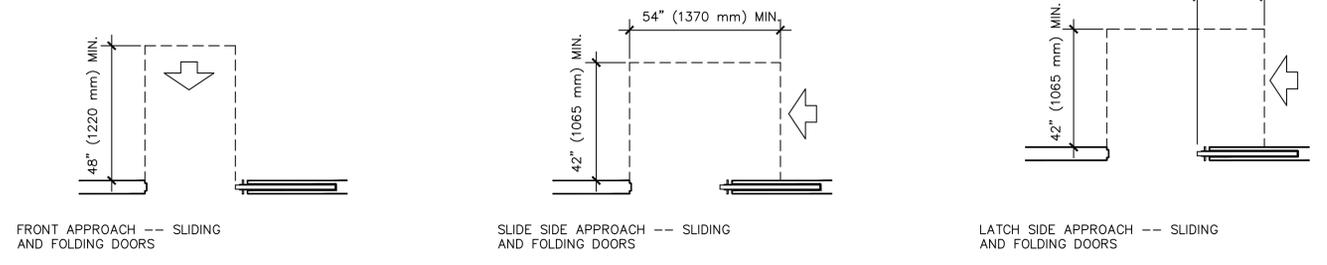
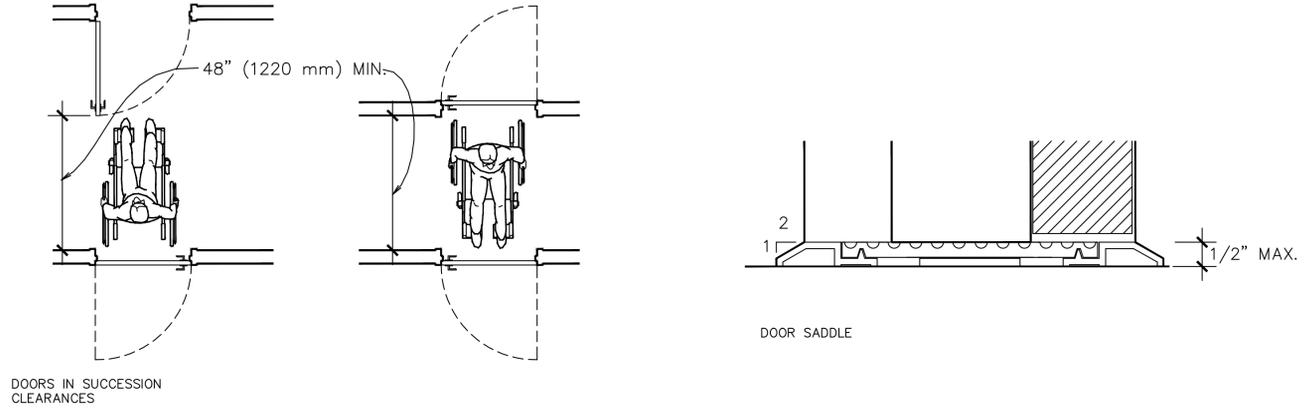
| No. | Date | Issue |
|-----|----------|-----------------|
| 02 | 07/16/12 | ISSUED TO BD |
| 01 | 07/02/12 | ISSUE TO CLIENT |

ENERGY STATEMENT NOTE

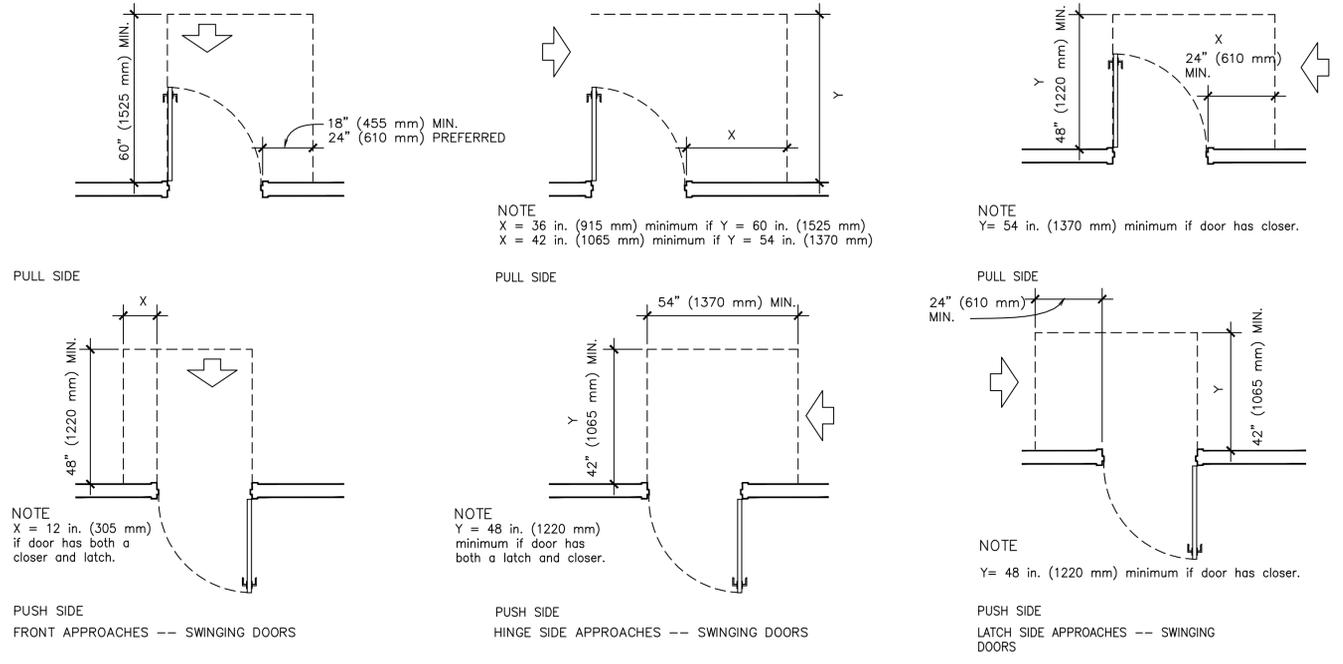
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE ECCCNY.

WOJCIECH OKTAWIEC R.A. DATE: 07-25-12

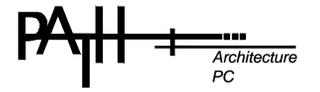
SEE DRAWING G-002 FOR THE ENERGY TABULAR CALCULATIONS



| ENERGY CALCULATION ANALYSIS FOR ALTERATION CLIMATE ZONE 4 AS PER 2010 ECCCNYC | | |
|--|---|--|
| ITEM DESCRIPTION | PROPOSED DESIGN VALUE AS SPECIFIED ON PROJECT | CODE PRESCRIPTIVE VALUE |
| INSTALL NEW MASONRY EXTERIOR WALL WITH MTL. STUD FURRING WALL AND INSULATION (STEEL FRAME) | R-19 | R-19 AS PER TABLE 402.1(1) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT -WALL R-VALUE |
| INSTALL NEW WINDOW AND REPLACE WINDOW | U=0.3 SHGC=0.31 (WINDOWS AS MANUF'D BY JELD-WEN) | MAXIMUM U=0.4 AND SHGC NR AS PER TABLE 402.1(1) |
| ADD INSULATION TO STEEL STUD WALL | R-16 (R-13 BATT INSULATION BETWEEN STUDS AND R-3 CONTINUOUS RIGID UNDER THE MASONRY WALL) | R-15 STEEL FRAME WALL R-VALUE AS PER TABLE 402.1(1) |



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59-20 69TH AVENUE
RIDGEWOOD, New York 11385
718-381-5865
FAX 718-381-5866

Project Title:

LOCATION
117 2ND AVENUE
NEW YORK, NY 10003

Drawing Title:

ENERGY CALCULATIONS AND STATEMENT ADA NOTES

SEAL & SIGNATURE

DATE: 10-14-11
PROJECT No: 000091
DRAWING BY: A.W.
CHK BY: W.O.
DWG No: **G-002.00**
PAGE: 2 of 5

Submitted for Review to:
**Landmarks Preservation
 Commission**

HISTORIC PHOTOGRAPHS



117 2ND AVENUE-1842-1843



117 2ND AVENUE-1940
 ORIGINAL PEAKED ROOF WAS EXPANDED TO FULL FOURTH STORY IN 1883, QUEEN ANN CORNICE INSTALLED AT THE SAME TIME ARCH. JOBS HOFFMANN



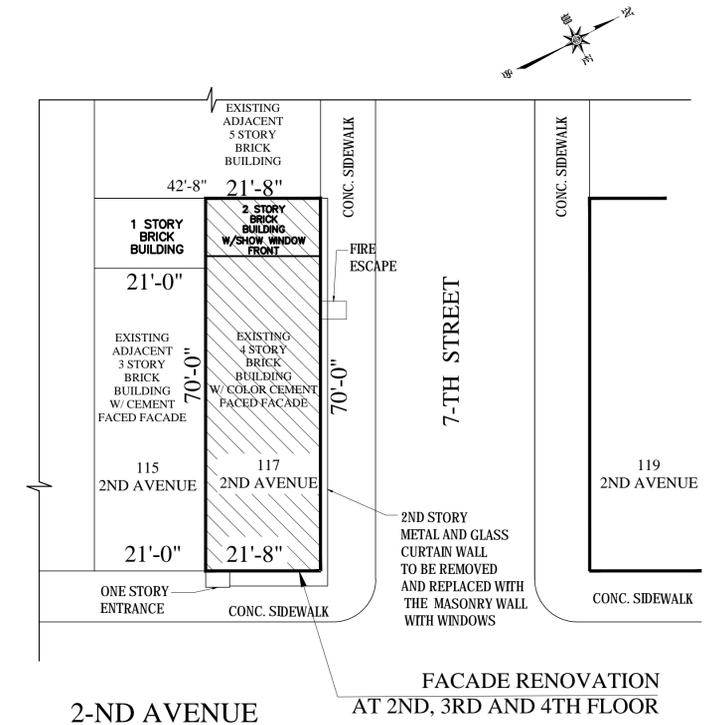
117 2ND AVENUE-1980



117 2ND AVENUE-2012



117 2ND AVENUE-2013



PLOT PLAN

LPC-01

Facade Renovation :
 117 2nd Avenue, Manhattan, NY 10003
 Block: 462 Lot: 23

HISTORIC Street Facade and Plot Plan

PATH ARCH. P.C.

59-20 69TH AV., RIDGEWOOD, NY 11385

Submitted for Review to:
**Landmarks Preservation
 Commission**



2ND AVENUE-EXISTING CONDITION



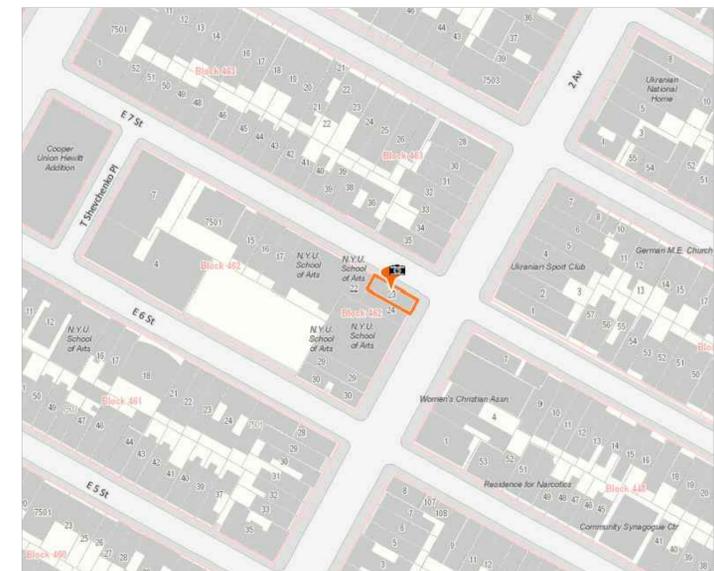
7TH STREET-EXISTING CONDITION



117 2ND AVENUE-EXISTING ELEVATION
 SCALE 1/8"=1'-0"



EXISTING ELEVATION AT 7TH STREET
 SCALE 1/8"=1'-0"



BLOCK DIAGRAM

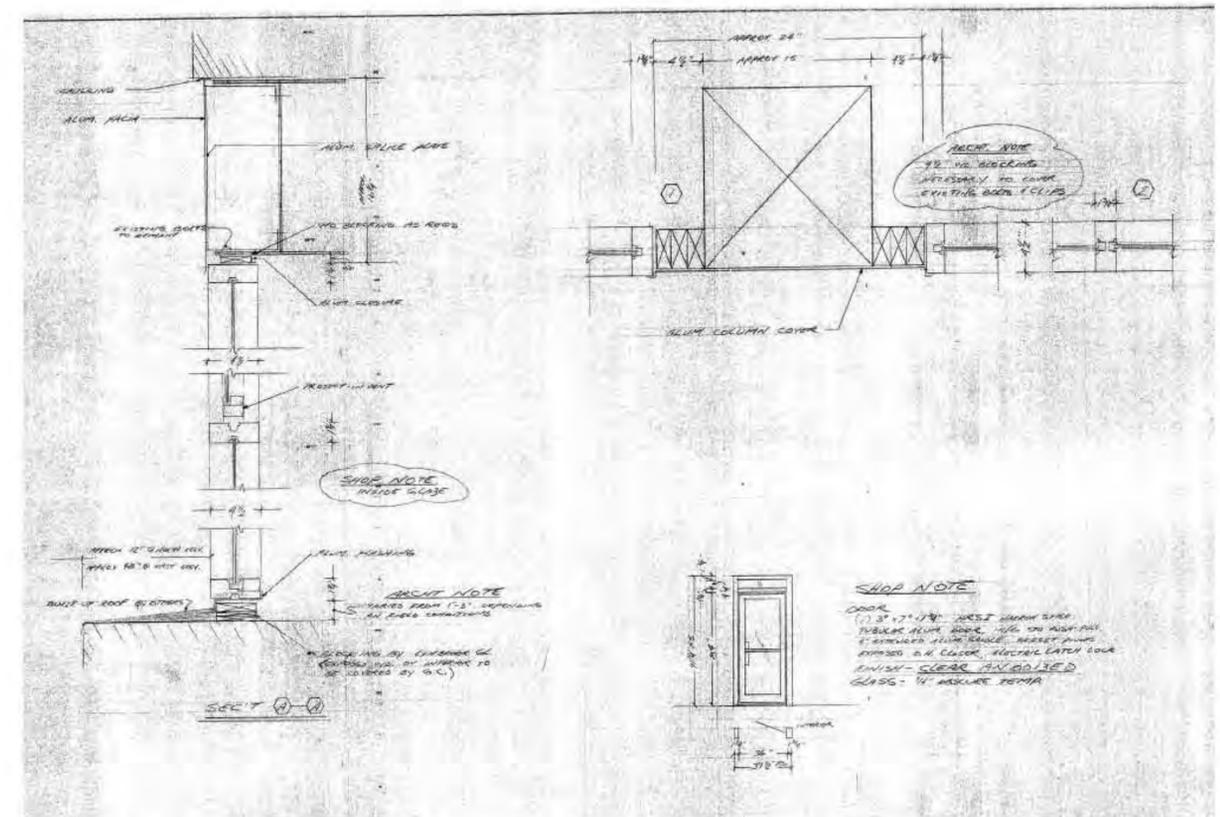
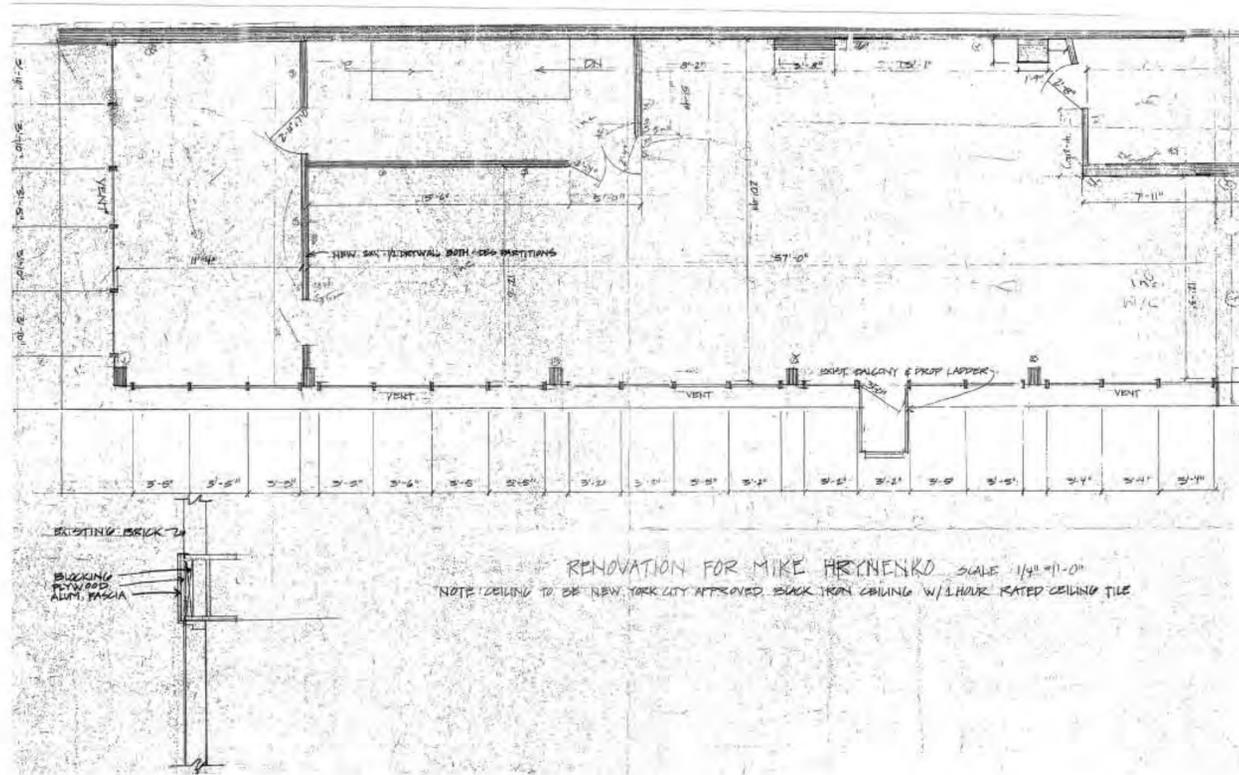
LPC-02

Facade Renovation :
 117 2nd Avenue, Manhattan, NY 10003
 Block: 462 Lot: 23

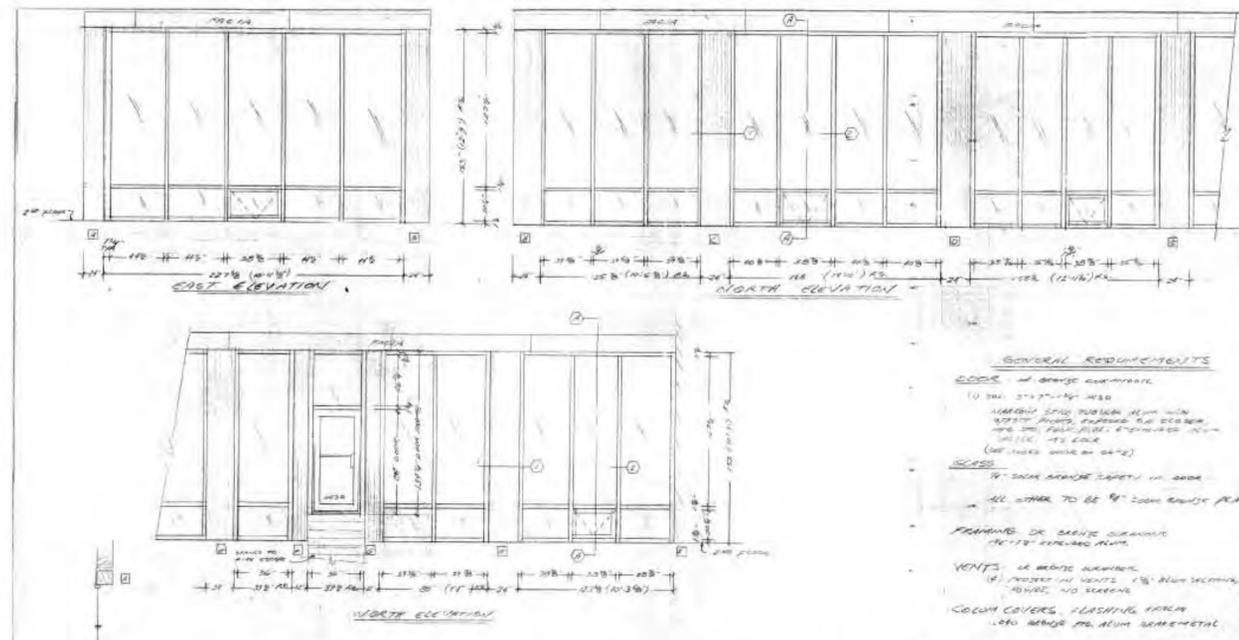
Street Facade and Block Diagram

PATH ARCH. P.C.

59-20 69TH AV., RIDGEWOOD, NY 11385



EXISTING 2nd FLOOR STOREFRONT-DETAILS, SECTION
 SCALE 1/4"=1'-0"



EXISTING 2nd FLOOR STOREFRONT-ELEVATION AND PLAN
 SCALE 1/4"=1'-0"





LPC-04

Facade Renovation :
117 2nd Avenue, Manhattan, NY 10003
Block: 462 Lot: 23

VIEW OF THE STREETSCAPE WITH THE BUILDING IN CONTEXT

PATH ARCH. P.C.

59-20 69TH AV., RIDGEWOOD, NY 11385



PROPOSED FRONT ELEVATION-2ND AVENUE
SCALE 1/4"=1'-0"

PROPOSED SIDE ELEVATION-7TH STREET
SCALE 1/4"=1'-0"

LPC-05

Facade Renovation :
117 2nd Avenue, Manhattan, NY 10003
Block: 462 Lot: 23

Proposed Elevations

PATH ARCH. P.C.

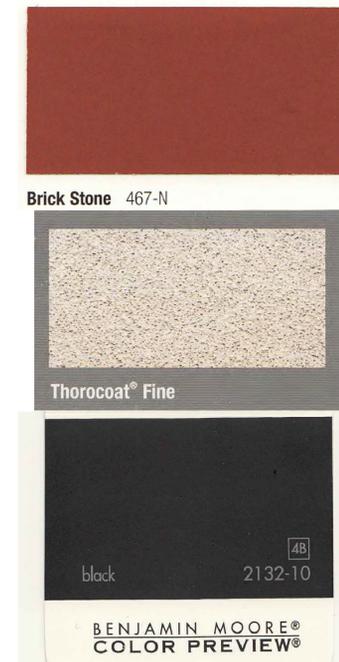
59-20 69TH AV., RIDGEWOOD, NY 11385



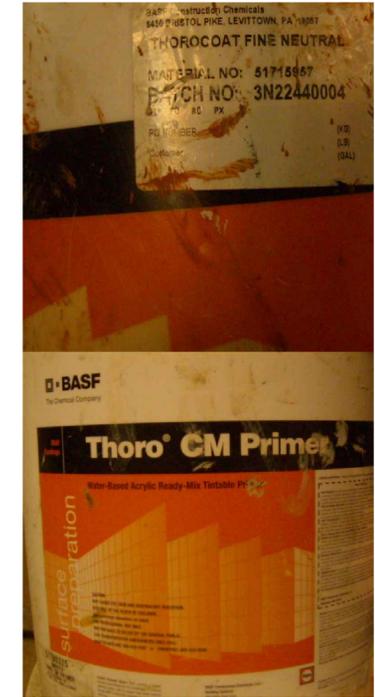
PARTIAL VIEW OF ELEVATION-2ND AVENUE
SHOWING COLOR OF THE WALL COATINGS OF THE WALL, LINTELS
AND SILLS OF THE WINDOWS AND BLACK PAINT AT ROOF CORNICE



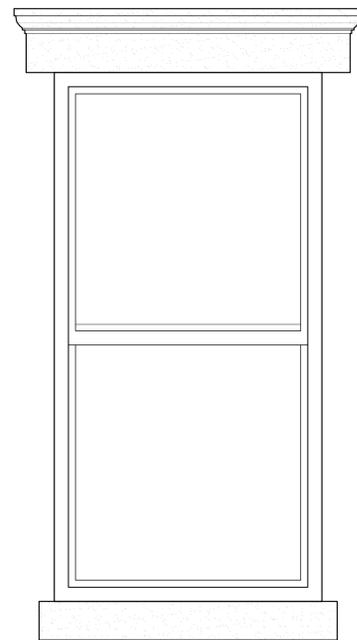
WALL COATING BY BASF , COLOR: BRICK STONE 467-N
TEXTURE THOROCCOAT FINE
LINTELS AND SILLS OF THE WINDOWS
ROOF CORNICE
"BLACK" EXT. RM (2132-10) PAINT BY BENJAMIN
MOORE
FINISH GLOSS



SAMPLES OF THE WALL COATINGS COLOR OF THE
WALL, LINTELS AND SILLS OF THE WINDOWS AND
BLACK PAINT AT THE ROOF CORNICE



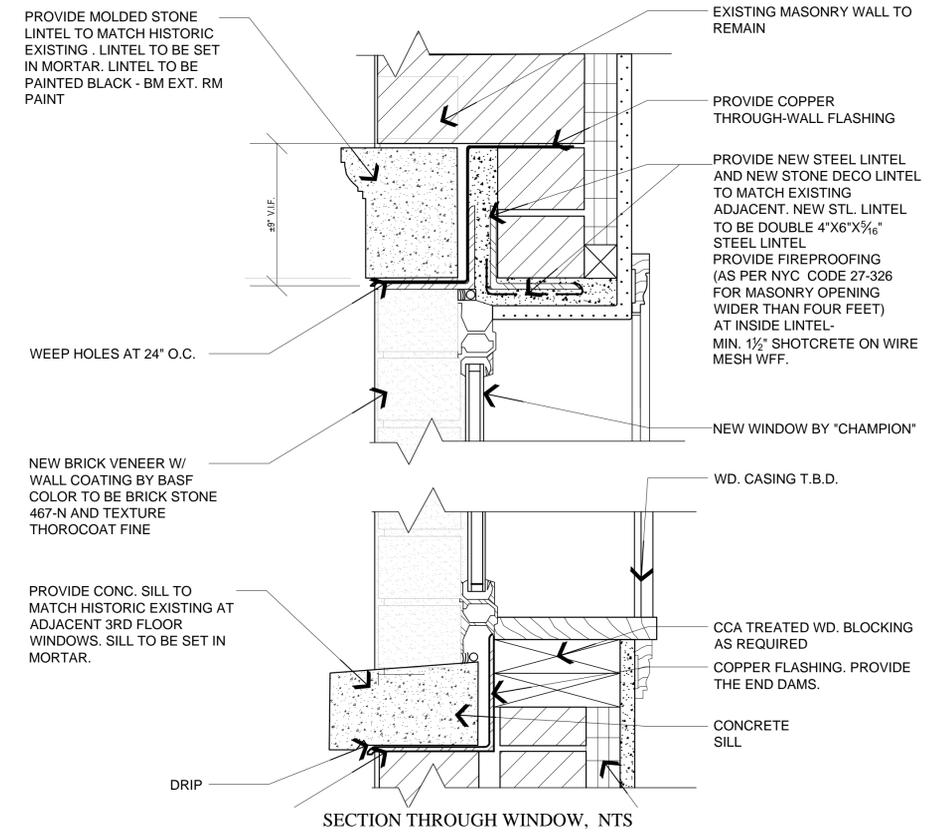
EXISTING ALUMINUM WINDOWS AT 3RD AND 4TH
FLOOR. FINISH BRONZE ANADIZED



ELEVATION VIEW OF THE 2ND FLOOR
WINDOWS. SCALE: 1" =1'-0"



NEW WINDOWS TO BE LEGEND 9000 SERIES
DOUBLE-HUNG ALUMINIUM WINDOWS BY CHAMPION.
FINISH OF THE WINDOWS RO BE BRONZE ANODIZED
ALUMINIUM TO MATCH EXISTING WINDOWS AT 3RD
AND 4TH FLOOR



LPC-06

Facade Renovation :
117 2nd Avenue, Manhattan, NY 10003
Block: 462 Lot: 23

Proposed Elevations-Materials of the windows, coating of the facade and colors of the paints

PATH ARCH. P.C.

59-20 69TH AV., RIDGEWOOD, NY 11385



LPC-07

Facade Renovation :
117 2nd Avenue, Manhattan, NY 10003
Block: 462 Lot: 23

Photo of the building "Before" Renovation and Rendering of the "After" Renovation view

PATH ARCH. P.C.

59-20 69TH AV., RIDGEWOOD, NY 11385

ATTENTION RESIDENTS & NEIGHBORS

MARIA HRYNIENKO

Property Owner Name

Certificate of Appropriateness Application from the
Landmarks Preservation Commission for

117 2ND AVENUE

Landmark Address

This applicant is seeking approval to

RENOVATION TO THE DETERIORATED FACADE OF THE BUILDING. REPLACEMENT OF THE ALUMINUM AND GLASS FACADE AT 2ND FLOOR OF THE BUILDING, WITH MASONRY WALL WITH WINDOWS. REPAIR WORK AT EXISTING CORNICE IN PAINTING OF THE FACADE WITH NEW PAINT.

Scope/Description of Proposed Work

There will be an opportunity for public comment on

Thursday, February 14 at 6:30pm -- BRC Senior Services
Center - 30 Delancey Street (btwn Chrystie & Forsyth Sts)

WISSECH OKTAWIJC

84-20 69TH AVENUE

PAPE ARCHITECTURE PC

RIDGEWOOD, NY 11385

Applicant's Contact Information

PH (718) 581-5165

AL COMMUNITY BOARD 3

Landmarks Subcommittee Meeting

info@ch3manhattan.org - www.ch3manhattan.org

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\$5.00

Timbuktu Endured Terror Under Harsh Shariah Law

Militants Beheaded Women, Raped Teen
and Cut Off Hands During Reign

By STEPHEN LEVY

PHOTOGRAPH BY AP/WIDEWORLD

