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August 10, 2011

By Hand

Maurice Spreiregen
Central Intake
Department of City Planning
22 Reade Street, 2nd Floor
New York, NY 10007

CITY OF NEW YORK

Received by Central Intake on August 10, 2011

DEPARTMENT OF CITY PLANNING



120029-

120033

Re: Rudin West Village Project (Manhattan Block 607, Lot 1 and Block 617 p/o Lot 1)
ULURP Application filing

Dear Mr. Spreiregen:

Attached for filing are twenty-one copies of an application for the following actions with respect to the above-referenced property:

- A zoning map amendment changing a C2-6 district to a C6-2 district, and an R6 district and C1-6 district to an R8 district.
- A zoning text amendment to Zoning Resolution (“ZR”) Section 74-743(a)(4) to make a special permit currently available only for large-scale general developments (“LSGDs”) in Manhattan Community District 7 also available for LSGDs in Manhattan Community District 2.
- A special permit for bulk modification available to LSGDs under ZR 74-743(a) to allow:
 - Distribution of total open space required by ZR 35-33 and 23-142 without regard for zoning lot lines or district boundaries.
 - The location of buildings without regard for the applicable court and height and setback (including rear yard setback) regulations set forth in ZR 23-632, 23-663, 23-843, and 33-432.
 - The maximum FAR within the LSGD to be developed and to allow the open space required under ZR 35-33 and 23-142 to be reduced by 50 percent.
- A special permit for use modification available to LSGDs pursuant ZR 74-744(b) to allow commercial uses on the third floor of a building in the C6-2 district portion of the LSGD without regard for the locational restrictions set forth in ZR 32-42.
- A special permit pursuant to ZR 13-561 to allow a 152-space accessory parking facility in the cellar level of the proposed project.

Maurice Spreiregen

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The application includes the following materials:

- Doing Business forms for RSV, LLC and Saint Vincent Catholic Medical Centers
- Forms LR (with addendum), ZS/ZA/ZC, and MM/ZM/ZR
- Application fee in the amount of \$128,535, broken down as follows:
 - Special Permit pursuant to ZR 74-743(a) (for 590,660 square feet (“sf”)): \$29,485
 - Special Permit pursuant to ZR 74-744(b) (for approximately 10,000 sf of office space): \$3,100
 - Special Permit pursuant to ZR 13-561 (for an approximately 20,400 sf garage): \$4,080
 - Zoning Text Amendment: \$5,445
 - Zoning Map Amendment (for approximately 92,000 sf of lot area): \$6,425
 - Large-sized project supplement (for development over 500,000 sf): \$80,000
- Description of Proposal (attachment to LR form Item #3) and Discussion of Findings
- Zoning comparison chart
- Zoning sectional maps, existing and proposed zoning map, existing and proposed tax map, existing and proposed area map (drawings Z-01 and Z-02), and parking garage diagram
- Eleven architectural drawings (Z-10 through Z-40) and 18 landscape drawings (L-00 (cover sheet) through L-207), for a total of 29 drawings

The application fee was reviewed with and approved by Jacquelyn Harris. Please feel free to call me at 212-859-8353 with any questions.

Sincerely,



David Gest

Enclosures



Land Use Review Application

Received by Central Intake on August 10, 2011

Reade Street, New York, NY 10007-1215

N120032ZRM
120033ZMM

20029ZSM
120030ZSM
120031ZSM

1. APPLICANT AND APPLICANT'S REPRESENTATIVES

**RSV, LLC,
c/o Rudin Management Company, Inc.**
APPLICANT (COMPANY/AGENCY OR OTHER ORGANIZATION) *
345 Park Avenue
STREET ADDRESS
New York NY 10154
CITY STATE ZIP
(212) 407-2400 (212) 407-2540
AREA CODE TELEPHONE # FAX#

APPLICATION NUMBER
John J. Gilbert, III
APPLICANT'S PRIMARY REPRESENTATIVE
Rudin Management Company, Inc.
REPRESENTATIVE'S COMPANY/AGENCY OR OTHER ORGANIZATION
345 Park Avenue
STREET ADDRESS
New York NY 10154
CITY STATE ZIP
(212) 407-2400 (212) 407-2540
AREA CODE TELEPHONE # FAX#

* List additional applicants below:

Saint Vincents Catholic Medical Centers of New York, d/b/a Saint Vincents Catholic Medical Centers
CO-APPLICANT (COMPANY/AGENCY OR OTHER ORGANIZATION)

CO-APPLICANT (COMPANY/AGENCY OR OTHER ORGANIZATION)
ADDITIONAL APPLICANT REPRESENTATIVE:

Please see Attached Addendum

NAME AND PROFESSIONAL AFFILIATION (ATTORNEY/ARCHITECT/ENGINEER ETC.) TELEPHONE # FAX #

**133-147 West 11th Street, 1-9 Seventh Avenue,
134-178 West 12th Street, 76 Greenwich Avenue**
STREET ADDRESS

Rudin West Village Project
PROJECT NAME (IF ANY)

Greenwich Avenue, West 11th Street, West 12th Street, Seventh Avenue (cross street)
DESCRIPTION OF PROPERTY BY BOUNDING STREETS OR CROSS STREETS

C1-6; C2-6; C2-7; R6 **12a, 12c**
EXISTING ZONING DISTRICT (INCLUDING SPECIAL ZONING DISTRICT DESIGNATION, IF ANY) ZONING SECTIONAL MAP NO(S).

Block 607 Lot 1, and Block 617 p/o Lot 1 **Manhattan 2**
TAX BLOCK AND LOT NUMBER BOROUGH COMM. DIST.

Greenwich Village Historic District
URBAN RENEWAL AREA, HISTORIC DISTRICT OR OTHER DESIGNATED AREA (IF ANY)

IS SITE A NEW YORK CITY OR OTHER LANDMARK? NO YES IF YES, IDENTIFY

2. SITE DATA

(If the site contains more than one property complete the "LR Item 2. Site Data Attachment Sheet.")

3. DESCRIPTION OF PROPOSAL

(If the entire project description does not fit in this space, enter "see attached description" below and submit description on a separate sheet, identified as "LR item 3. Description of Proposal")

See Attached Description

4. ACTIONS REQUESTED AND FEES

(Check appropriate action(s) and attach supplemental form)

* No supplemental form required

- CHANGE IN CITY MAP.....MM \$ _____
- ZONING MAP AMENDMENT.....ZM \$ **6,425**
- ZONING TEXT AMENDMENT.....ZR \$ **5,445**
- ZONING SPECIAL PERMIT.....ZS \$ **36,665**
- ZONING AUTHORIZATION.....ZA \$ _____
- ZONING CERTIFICATION.....ZC \$ _____
- PUBLIC FACILITY, SEL./ACQ.....PF \$ _____
- DISPOSITION OF REAL PROP.....PD \$ _____
- URBAN DEVELOP=MENT ACTION.....HA \$ _____
- URBAN RENEWAL PROJECT.....* \$ _____
- HOUSING PLAN & PROJECT.....* \$ _____
- FRANCHISE.....* \$ _____
- REVOCABLE CONSENT.....* \$ _____
- CONCESSION.....* \$ _____
- LANDFILL.....* \$ _____
- OTHER (Describe) \$ _____

- MODIFICATION \$ _____
- FOLLOW-UP \$ _____
- RENEWAL \$ _____
- OTHER **Large-sized project** \$ **80,000**
SPECIFY

TOTAL FEE (For all actions) \$ 128,535

Make Check or Money Order payable to Department of City Planning.
If fee exemption is claimed check box below and explain

Has pre-application meeting been held? NO YES

If yes **Hannah Fischer-Baum, Adam Wolff** **4/6/09**
DCP Office/Representative Date of meeting

Rudin West Village Project – LR Addendum

Item #1 – Applicants' Representatives

- 1) **Shelly S. Friedman, Esq.**
Friedman & Gotbaum, LLP
568 Broadway, Suite 505
New York, New York 10012
Counsel to Saint Vincents
(212) 925-4545; fax: (212) 925-5199

- 2) **Melanie Meyers, Esq.**
Fried Frank Harris Shriver & Jacobson LLP
One New York Plaza
New York, New York 10004
Counsel to RSV, LLC
(212) 859-8785; fax: (212) 859-4000

- 3) **Daniel Kaplan**
FxFowle Architects
22 West 19th Street
New York, New York 10011
(212) 627-1700; fax: (212) 463-5199

5. ENVIRONMENTAL REVIEW

CITY ENVIRONMENTAL QUALITY REVIEW (CEQR) (Discuss with CEQR lead agency before completing)
 LEAD AGENCY New York City Planning Commission CEQR NUMBER 10DCP003M

TYPE OF CEQR ACTION:

TYPE II Type II category: _____ Date determination was made: _____

TYPE I } Has EAS been filed? Yes No

UNLISTED } If yes, Date EAS filed: 8/6/09

Has CEQR determination been made? Yes No

If yes, what was determination? Negative Declaration
 CND
 Positive Declaration } Date determination made: 11/6/09 (Attach Copy)

If Positive Declaration, has PDEIS been filed? no

Has Notice of Completion (NOC) for DEIS been issued? no If yes, attach copy.

If PDEIS has not been filed, has final scope been issued? no If yes, date issued: _____

6. COASTAL ZONE MANAGEMENT

IS SITE IN STATE DESIGNATED COASTAL ZONE MANAGEMENT (CZM)? AREA? No Yes

7. RELATED ACTIONS BY CITY PLANNING

LIST ALL CURRENT OR PRIOR CITY PLANNING COMMISSION ACTIONS RELATED TO SITE:

| APPLICATION NO. | DESCRIPTION/ DISPOSITION/STATUS | CAL. NO. | DATE |
|-----------------|---|----------|-----------|
| 780516ZAM | LSCFD Designations & Authorizations | 10 | 8/20/1979 |
| 770125GFM | Revocable Consent for tunnel across West 12 th and Seventh Ave | n/a | 9/17/1979 |

8. RELATED ACTIONS BY OTHER AGENCIES

LIST ALL OTHER CURRENT OR PRIOR CITY, STATE OR FEDERAL ACTIONS RELATED TO APPLICATION:

| REFERENCE NO. | DESCRIPTION/ DISPOSITION/STATUS | CAL. NO. | DATE |
|---------------|------------------------------------|----------|------------|
| LPC-08 4934 | Status Update Letter [SUL 10-1426] | n/a | 07/29/2009 |

9. FUTURE ACTIONS REQUIRED

LIST ALL FUTURE CITY, STATE OR FEDERAL ACTIONS REQUIRED TO IMPLEMENT THE PROPOSED ACTION:

n/a

10. APPLICANT
(Attach authorizing resolution(s), if applicable)

JOHN J. GILBERT, III [Signature] 8/4/2011
 NAME AND TITLE OF APPLICANT OR AUTHORIZED REPRESENTATIVE SIGNATURE OF APPLICANT DATE
RSV, LLC
 APPLICANT'S COMPANY/AGENCY OR OTHER ORGANIZATION (IF ANY)

11. CO-APPLICANTS

(Attach authorizing resolution(s), if applicable)

MARK E. TONEY, CRO [Signature] 8-8-2011
 NAME AND TITLE OF CO-APPLICANT OR AUTHORIZED REPRESENTATIVE SIGNATURE OF CO-APPLICANT DATE
Saint Vincents Catholic Medical Centers of New York d/b/a Saint Vincent catholic Medical Centers
 CO-APPLICANT'S COMPANY/AGENCY OR OTHER ORGANIZATION

| | | | | | |
|----------------------------------|----------|-------|-------|---------|-----------------|
| 450 West 33 rd Street | New York | NY | 10001 | (212) | (212) 604-2293t |
| STREET ADDRESS | CITY | STATE | ZIP | TEL.NO. | FAX |

 NAME AND TITLE OF CO-APPLICANT OR AUTHORIZED REPRESENTATIVE SIGNATURE OF CO-APPLICANT DATE
 CO-APPLICANT'S COMPANY/AGENCY OR OTHER ORGANIZATION

| | | | | | |
|----------------|------|-------|-----|---------|-----|
| STREET ADDRESS | CITY | STATE | ZIP | TEL.NO. | FAX |
|----------------|------|-------|-----|---------|-----|

ADMINISTRATIVE CODE

ANY PERSON WHO SHALL KNOWINGLY MAKE A FALSE REPRESENTATION ON OR WHO SHALL KNOWINGLY FALSIFY OR CAUSE TO BE FALSIFIED ANY FORM, MAP, REPORT OR OTHER DOCUMENT SUBMITTED IN CONNECTION WITH THIS APPLICATION SHALL BE GUILTY OF AN OFFENSE PUNISHABLE BY FINE OR IMPRISONMENT OR BOTH, PURSUANT TO SECTION 10-154 OF THE CITY OF NEW YORK ADMINISTRATIVE CODE.

NOTICE

THIS APPLICATION WILL BE DEEMED PRELIMINARY UNTIL IT IS CERTIFIED AS COMPLETE BY THE DEPARTMENT OF CITY PLANNING OR THE CITY PLANNING COMMISSION. ADDITIONAL INFORMATION MAY BE REQUESTED OF THE APPLICANT BY THE DEPARTMENT OF CITY PLANNING.

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120029-
120033

Special Permit/Authorization/Certification ... ZS/ZA/ZC

CITY OF NEW YORK

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Z.R. 74-743(a)

Z.R. 74-744(b)

120029ZSM

120030ZSM

120031ZSM - Z.R. 13-561

APPLICATION NO.

(If more than five actions are being requested, enter "see attached" below, and list ALL PROPOSED ACTIONS in the same format as below on a separate sheet titled "Proposed Zoning Special Permits/ Authorization/ Certifications.")

Action(s) requested pursuant to ZR

(Check one box for each proposed action)

SPECIAL PERMIT (ZS)
AUTHORIZATION (ZA)
CERTIFICATION (ZC)

PURSUANT TO:

TO MODIFY:

ZONING RESOLUTION SECTION NUMBER

ZONING RESOLUTION SECTION TITLE

SECTION NO. (If applicable)

120031ZSM

120030ZSM

13-561

Accessory Off-Street Parking Spaces

X

74-744(b)

Modification of Use Regulations

32-42

X

74-743(a)

Special Provisions for Bulk Modifications

23-142, 23-632, 23-663, 23-843, 33-432

120029ZSM

HAS A DRAFT RESTRICTIVE DECLARATION BEEN INCLUDED WITH THIS APPLICATION?

YES NO

WILL ALL PARTIES IN INTEREST AGREE TO A RESTRICTIVE DECLARATION IF REQUIRED?

YES NO

Property ownership/ interest

CHECK APPLICABLE BOX(ES) (If more than one box is checked in the left column, please explain below).

APPLICANT:

IS OWNER OF SUBJECT PROPERTY (co-applicant)

IS A CITY AGENCY

IS LESSEE OF SUBJECT PROPERTY

IS A STATE OR FEDERAL AGENCY

X HAS CONTRACT TO LEASE OR BUY SUBJECT PROPERTY (app)

IS OTHER (Explain real property interest below)

Discussion of findings

STATEMENT IN SUPPORT OF REQUIRED ZONING RESOLUTION FINDINGS/DECLARATION OF COMPLIANCE

(This is the same discussion/statement as in Attachment #11. If it fits below, it may be put here instead of in a separate attachment. If Attachment 11 has been completed, you may leave this area blank).

Please see attached.

City Map Change **MM**

Proposed City Map change
 (Check appropriate boxes)

APPLICATION NO

1. ESTABLISH NEW STREET PARK PUBLIC PLACE GRADE

2. ELIMINATE EXISTING STREET PARK PUBLIC PLACE GRADE


3. CHANGE EXISTING STREET GRADE

4. EASEMENT
 Delineate New

5. RELATED ACQUISITION OR DIS

Received by Central Intake on August 10, 2011

120033ZMM



Zoning Map Change **ZM**

Proposed Zoning Map Change(s)

APPLICATION NO

(If more than five changes are being requested, enter "see attached" below and list ALL PROPOSED ZONING CHANGES in the same format as below on a separate sheet titled "Proposed Zoning Map Changes")

CHANGE #1 FROM: C2-6 EXISTING TO: C6-2 PROPOSED


CHANGE #2 FROM: C1-6 EXISTING TO: R8 PROPOSED

CHANGE #3 FROM: R6 EXISTING TO: DR PROPOSED

CHANGE #4 FROM: _____ EXISTING TO: _____ PROPOSED

CHANGE #5 FROM: _____ EXISTING TO: _____ PROPOSED

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Zoning Text Amendment **ZR**

N120032ZRM

Affected Zoning Resolution (ZR) Sections

APPLICATION NO.

If more than five sections are proposed to be amended, enter "see attached" below, and list ALL PROPOSED TEXT AMENDMENTS in the same format as below on a separate sheet titled "Proposed Zoning Text Amendments")

| ZR SECTION NUMBER | ZONING RESOLUTION SECTION TITLE |
|-------------------|--|
| <u>74-743</u> | <u>Special Provisions for Bulk Modifications</u> |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

8/10/11
Rudin West Village Project
LR Item 3 – Description of Proposal

Introduction

This application is for a series of land use approvals related to two of the parcels of land that once comprised portions of the campus of St. Vincent’s Hospital (the “Hospital”) in the West Village, located along Seventh Avenue between West 11th Street and West 13th Street in Manhattan. The actions, if approved, will allow for the reuse and redevelopment of the portion of the campus east of Seventh Avenue (the “East Site”) as a mixed-use, primarily residential development in keeping with the uses and built form of the surrounding historic neighborhood. The actions will also result in a 15,102 square foot publicly accessible open space on the triangular parcel of land located immediately west of the East Site (the “Triangle Site”), replacing an existing raised landscaped area and a loading facility (the “Materials Handling Facility”) that once supported the Hospital’s operations. The East Campus and the portion of the Triangle Site that would contain the open space will be developed as a Large-Scale General Development (a “LSGD”). The remainder of the former St. Vincent’s campus, including the westernmost part of the Triangle Site and the O’Toole Building parcel between West 12th and West 13th Streets (the “O’Toole Building Site”) would not be part of the LSGD and is not part of this application.

The proposed actions include:

- Rezoning of the East Site within 100 feet of Seventh Avenue from a C2-6 district to a C6-2 district, and rezoning of the midblock portion of the East Site from R6 and C1-6 districts to an R8 district.
- A zoning text amendment pursuant to Zoning Resolution (“ZR”) Section 74-743(a)(4) to make a special permit currently available only for LSGDs in Manhattan Community District 7 also available for LSGDs in Manhattan Community District 2. The special permit allows the floor area ratio (“FAR”) available for new development to be used without regard to height factor or open space ratio requirements and allows for a reduction in open space requirements for site plans with superior landscaping for open space.
- A series of special permits for bulk modifications available to LSGDs, as follows:
 - A special permit pursuant to ZR 74-743(a)(1) to allow for distribution of total open space required by ZR 35-33 and 23-142 without regard for zoning lot lines or district boundaries.
 - A special permit pursuant to ZR 74-743(a)(2) to allow the location of buildings without regard for the applicable court and height and setback (including rear yard setback) regulations set forth in ZR 23-632, 23-663, 23-843, and 33-432.
 - A special permit pursuant to ZR 74-743(a)(4) (as amended) to modify the open space regulations of ZR 35-33 and 23-142 applicable in the C6-2 and R8 zoning districts to allow the maximum FAR within the LSGD to be developed and to allow the required open space to be reduced by 50 percent.
- A special permit for use modification available to LSGDs pursuant ZR 74-744(b) to allow commercial uses on the third floor of a building in the C6-2 district portion of the LSGD without regard for the locational restrictions set forth in ZR 32-42.
- A special permit pursuant to ZR 13-561 to allow a 152-space accessory parking facility in the cellar level of the project.

Saint Vincents Catholic Medical Centers of New York d/b/a the Saint Vincent Catholic Medical Centers (“SVCMC”), owner of the St. Vincent’s campus, and RSV, LLC, contract vendee, are the applicants.

Background

The project site was the home of St. Vincent’s Hospital from 1849, when four Sisters of Charity of Saint Vincent de Paul of New York founded Saint Vincent’s Hospital with 30 beds in a brick row house on West 13th Street, until April 2010 when the Hospital closed its doors. St. Vincent’s was the City’s first Catholic hospital, and the West Village campus served as the anchor of the SVCMC system and the New York City academic medical center for New York Medical College in New York City.

The Hospital eventually encompassed three properties. The East Site served as the main hospital complex, with eight buildings constructed between the early 1900s and the mid-1980s. The O’Toole Building Site was added to the St. Vincent’s complex in the mid-1970s to provide medical office and clinic space for doctors affiliated with the Hospital. The Triangle Site is occupied by a landscaped area of approximately 7,390 square feet on its eastern side, the Materials Handling Facility, and a gas storage facility that supported the Hospital on its western side. The three parcels were designated as a large-scale community facility development (“LSCFD”) in 1979, and today remain subject to the LSCFD controls. As part of the LSCFD approvals, two buildings on the site were demolished, floor area attributable to the Triangle Site and the O’Toole Building Site was transferred to the East Site, and height and setback

modifications were granted, allowing for the two newest buildings – the Coleman and Link Pavilions – to be built.

Confronted with the growing obsolescence of the East Site buildings for hospital use, SVCMC had recently proposed the construction of a new acute care hospital and emergency department on the site of the O’Toole Building. That proposal would have caused the demolition of the O’Toole Building and the complete relocation of Saint Vincent’s hospital activities from the East Site to the O’Toole Building Site. Under that proposal, the East Site was to be redeveloped for other, primarily residential, uses. On July 7, 2009, the Landmarks Preservation Commission adopted a resolution approving the issuance of a Certificate of Appropriateness for the residential/commercial development on the East Site, consistent with that proposal.

However, in the spring of 2010 SVCMC declared bankruptcy, ceased operations, and closed its doors. As a result, SVCMC is no longer proposing to build a new hospital. Since April of 2010, all of the East Site buildings and the loading uses on the Triangle Site have been vacant. The O’Toole Building has continued to be occupied by health clinics and doctor’s offices on short term or month-to-month leases through summer 2011. RSV, LLC and St. Vincent’s entered into a contract of sale for the St. Vincent’s campus in early Spring 2011 to RSV, LLC.

Surrounding Area and West Village Historic District

Land Use. The project site is located in the heart of the West Village and the Greenwich Village Historic District, established in 1969 to recognize the high architectural quality and history of artists using buildings in the area. The surrounding area is predominantly residential, with ground floor retail uses along the wide streets, and larger retail and office space along the 14th Street Corridor to the north. Institutional uses, including the New School to the east, St. Francis Xavier Church and School to the northeast, the Rubin Museum to the northwest, and a variety of schools and houses of worship are located throughout the surrounding neighborhood. The streets surrounding the project site are characterized by townhouse and mid-rise buildings along the side streets, and taller buildings along the avenues. Along Seventh Avenue to the north of the project site, between West 12th and West 15th Streets, are two residential buildings rising to 20 and 21 stories, three mixed residential and commercial buildings with 19, 20, and 20 stories, and a commercial building with 12 stories. South of the project site, just off of Seventh Avenue on parcels between Perry Street and Barrow Street, are several larger buildings including two mixed residential and commercial buildings with 17 and 18 stories, and a 17-story residential building.

The project site is well served by mass transit. The 14th Street 1, 2, and 3 station has an entrance at West 12th Street and Seventh Avenue, adjacent to the project site. Additional subway stations are within walking distance of the site, including the Sixth and Eighth Avenue stations on the L line, the 14th Street station on the F and M lines, and the 14th Street station on the A, C, and E lines. The 14th Street station on the PATH commuter rail line is also a short walk from the project site. The project site is additionally served by the M20 bus, which runs south along Seventh Avenue, as well as the M7 bus, which runs east along West 14th Street before traveling north on Sixth Avenue, and the M14 bus, which runs east and west along 14th Street.

Zoning. A mix of commercial and residential zoning districts surrounds the project site. These zoning districts generally allow for residential, community facility, and commercial uses at a mix of densities, including a number of districts allowing for mid- and higher density commercial and residential development. In terms of commercial districts, immediately to the north and northeast of the project site are C2-6, C6-2, C6-2A, C6-2M, C6-3A, and C6-4M districts, including a C6-2 district extending along the West 13th Street corridor from west of Sixth Avenue all the way to Fifth Avenue. To the east of the project site are C6-4 and C1-7 districts. To the south and west are a C1-6 district and additional C2-6 and C6-2A districts, as well as a C4-5 district within the Special Limited Commercial District.

The majority of the C6 districts have maximum street wall heights of 85 feet and maximum building heights limited only by the sky exposure plane. The C6-2A district limits building heights to 120 feet, while the C6-3A district allows base heights up to 102 feet, with building heights limited to 145 feet. The C6-2 districts generally limit residential and commercial development to 6.02 and 6.0 FAR, respectively, with community facility uses permitted up to 6.5 FAR. The C6-3A district allows residential development up to 7.52 FAR, and community facility uses up to 10.0 FAR. The C6-4 districts allow 10.0 FAR for all uses. C2-6 districts have maximum FARs of 2.0 for commercial, 3.44 for residential, and 6.50 for community facility uses, and maximum front wall heights of 60 feet.

Residential districts near the project site include R8A and R8B districts north of West 14th Street, as well as an R10 district to the east along Fifth Avenue, and several R6 districts to the east, south, and west. The R8A Quality Housing district generally produces 10- to 12-story apartment buildings with high lot coverage, set at or near the street line. These buildings have maximum base heights of 85 feet and maximum building heights of 120 feet, as well as maximum base FARs of 6.50, with residential use limited to 6.02 FAR. R8B districts allow base heights up to 60 feet and building heights up to 75 feet, with maximum FARs of 4.0. In R10 districts, both height and setback and tower controls may be used,

allowing for very tall residential buildings. The base FAR in R10 districts is 10.0 for both residential and community facility development. R6 districts allow street wall heights of up to 60 feet, and FARs of up to 2.43 for residential uses and 4.8 for community facilities.

Project Site

Land Use

East Site. The East Site is an approximately 92,925 square foot parcel currently occupied by eight buildings. The site is bordered by West 11th Street to the south, Seventh Avenue to the west, West 12th Street to the north, and interior lots to the east. The buildings on the East Site date from different periods, have different overall heights and different floor-to-floor heights reflecting the variety of both their ages and their original purposes, and vary in terms of their individual footprints and floor area.

- Coleman Pavilion, completed in 1983 for use as an emergency department with diagnostic and operating facilities, is the tallest building on the East Site at 190 feet (201 feet to the mechanical bulkhead) and 17 stories. It stands in the middle of the Seventh Avenue frontage.
- Link Pavilion adjoins the Coleman Pavilion to the south and occupies the corner of Seventh Avenue and West 11th Street. Completed in 1987 as a hospital wing to the Coleman Pavilion, it is the newest building on the East Site. It is 59 feet and four stories tall.
- Cronin Building, located at the eastern end of the East Site on West 11th Street, was built in 1941 and expanded in 1961 for research and laboratory facilities. It is 151 feet and 14 stories tall.
- Spellman Pavilion, on West 11th Street between the Link Pavilion and the Cronin Building, was constructed in 1941 for administrative offices. It is 135 feet and 11 stories tall.
- Smith/Raskob Buildings, north of the Coleman Pavilion at the corner of Seventh Avenue and West 12th Street, were constructed in 1950 and 1953, respectively, as inpatient pavilions serving the buildings that preceded the Coleman/Link Pavilions. The buildings are approximately 146 and 168 feet, and 13 and 15 stories tall, respectively.
- Reiss Pavilion, built in 1955 as a residential behavioral health facility, is located at the eastern end of the East Site on West 12th Street. It is 109 feet and nine stories tall.
- The Nurses' Residence, completed in 1924 to serve as a dormitory for the since closed School of Nursing, is located on West 12th Street between the Smith/Raskob Buildings and Reiss Pavilion. The building is 140 feet and 14 stories tall.

With the exception of Coleman and Link, all of the buildings were designed as freestanding structures, each with its own load-bearing walls, elevators and circulation systems, and separate mechanical systems. All of the buildings are built at or close to the street line and have a strong street wall presence characteristic of the West Village neighborhood. Many of the existing buildings have large floor plates or building elements extending into the middle of the block, resulting in discontinuous open areas on the East Site. In particular, the extensions of the Spellman Pavilion and the Nurses' Residence into the midblock area result in an irregularly-shaped open area, with narrow gaps between the buildings limiting light and air into the interior of the block.

Overall, the East Site buildings contain approximately 763,115 gross square feet (and at least 677,400 zoning square feet) of above grade floor area.

Triangle Site. The Triangle Site is an approximately 16,596 square foot parcel currently occupied by a landscaped area on its eastern side, the Materials Handling Facility, and a gas storage facility that supported the Hospital on its western side. A total of 15,102 square feet of the Triangle Site will be part of the project site.¹ The parcel is bordered by Seventh Avenue to the east, Greenwich Avenue to the southwest, and West 12th Street to the north. The Materials Handling Facility, built in 1988, is approximately 20 feet (one story) tall. The gas storage facility is a small, narrow, two story building. The two structures are connected by several brick-clad beams. The raised landscaped area on the eastern side of the parcel is surrounded by a low metal fence, a sloped brick embankment, and a taller metal fence, and is not accessible to the public. Inside the landscaped area are several shade trees and shrubs.

Zoning

East Site. The current zoning for the East Site is a C2-6 district along Seventh Avenue to a depth of 100 feet, and an R6 district for nearly all of the remainder of the site, with a very small – less than 400 square foot – portion of the site zoned as a C1-6 district. The C2-6 zoning district allows for community facility development of up to 6.5 FAR, but limits residential development to a maximum of 3.44 FAR and commercial development to 2.0 FAR. The R6 zoning district allows for community facility development up to 4.8 FAR, with residential development capped at 2.43 FAR. The C1-6 district would allow for

¹ The remaining portion of the Triangle Site will be used to support the reuse of the O'Toole Building on the north side of West 12th Street.

community facility, residential, and commercial uses up to the same FARs as the C2-6 district, however, because all of the portion of the zoning lot located within the C1-6 district is less than 25 feet from the R6 district, the R6 district boundary line may be deemed relocated for zoning purposes. The current buildings on the East Site, with at least 677,400 square feet of zoning floor area, contain more floor area than what would be allowed by the underlying zoning if floor area had not been transferred to the site from the O'Toole Building Site and the Triangle Site under the LSCFD. Even in the absence of the floor area transfer, the buildings located within the R6 district portion of the site are generally substantially larger than what could typically be built within an R6 district, and the floor area of the East Site exceeded what was allowed for new development under zoning.

Triangle Site. The Triangle Site is zoned as a C2-7 district. This zoning district allows for residential development up to 7.52 FAR, community facility development up to 10.0 FAR, and commercial development up to 2.0 FAR. Overall, the portion of the Triangle Site included in the project site generates 151,020 square feet of development potential. This site was rezoned in 1969 to facilitate the construction of a 17-story building approved for the Triangle Site. (This building was never constructed.)

Proposal

The proposal would allow for the reuse and redevelopment of the now vacant East Site as a mixed use, primarily residential development. In keeping with a proposed design approved by the Landmarks Preservation Commission in July of 2009, the newer buildings on the East Site (Cronin, Reiss, Link, and Coleman) would be demolished, the buildings on the site that most contribute to the special character of the historic district (Smith/Raskob, Nurses, and Spellman) would be renovated, and a series of townhouse, mid-rise and higher rise buildings would be constructed in the place of the demolished buildings to provide a cohesive design in keeping with the scale and character of the surrounding historic neighborhood.

The largest new building would be a 16-story structure articulated with multiple setbacks that would replace the 17-story Coleman Pavilion and a portion of the Link Pavilion along Seventh Avenue. A seven story structure would replace the remainder of the Link Pavilion along West 11th Street, and a 10-story structure would replace the Reiss Building along West 12th Street. After its demolition, the 14-story Cronin Building would be replaced by a series of five townhouse structures, reflecting the strong townhouse presence on West 11th Street to the east and to the south of the project site. Changes to the remaining buildings on the East Site would be limited, and would facilitate their residential conversion. In particular, the mid-block extensions of the Spellman Pavilion and the Nurses' Residence would be removed, window openings would be enlarged on the buildings to be retained, limited rooftop additions would be added to the rear of Spellman, Smith, and the Nurses' Residence, and additional rooftop additions would be added to Smith/Raskob along the Seventh Avenue and West 12th Street façades.

The Seventh Avenue buildings would include ground floor retail space as well as medical offices on the second and third floors and at the cellar level. The arrangement of the East Site buildings would follow the development pattern of the area, with taller buildings on the avenues stepping down to row houses or mid-rise buildings along the side streets. In addition, each structure (other than the townhouses) would include a series of setbacks recalling the architectural forms of the neighborhood. There would be a pedestrian entry to each of the residential buildings. A 152-space accessory parking facility, accessed from a 22-foot curb cut on West 12th Street, would be located in a cellar level along with amenity space serving all of the residential units.

When the project is complete, the East Site will contain approximately 590,660 square feet of zoning floor area, at least 86,700 square feet less than exists today. The large majority of the floor area (approximately 559,409 square feet) would be occupied by residential use limited to a maximum of 450 dwelling units. An additional approximately 10,825 square feet is expected to be comprised of ground floor retail, and another approximately 20,426 square feet would be used for doctors' offices, including office space on the third floor of the Seventh Avenue building. Commercial space and community facility space combined would be limited to an aggregate of 31,251 square feet of zoning floor area, with any commercial floor area (which would include physician offices on the third floor of the Seventh Avenue building) limited to a maximum of 20,426 square feet.

The proposal would also introduce a central courtyard running the length of the East Site. Unlike the present condition, where buildings extend into the interior of the block, the proposed design would create a uniform rear building wall so that the interior courtyard has a consistent depth throughout its length and can have a coherent, superior design. A limited portion of the interior courtyard would be for private yards for the townhouses and certain of the other buildings, but the majority of the space would be open space accessible to all of the residents of the project. The common area would be a passive open space with significant landscaping, seating, and uniform lighting throughout, providing both a visual amenity as well as open space for the residents.

The proposal would also affect the Triangle Site. The Materials Handling Facility would be demolished and, together with the area covered by the existing landscaped area, would be improved as a publicly accessible open space. The medical gas storage area at the westernmost edge of the Triangle Site would not be part of the land use actions, and would remain available for use in connection with operations in the O’Toole building. While the Triangle Site has considerable development potential under zoning, the land use approvals would restrict the use of the Triangle Site within the project site to open space, effectively eliminating this parcel’s on site development potential.

The publicly accessible open space on the Triangle Site would include several stands of Honey Locust trees, each surrounded by plantings of species such as juniper, lirioppe, skimmia and pennisetum. The remaining ground area would be paved with decorative asphalt tiles. Undulating wood benches and groupings of metal tables and chairs would be interspersed among the trees and landscaped areas. Several memorials to events in St. Vincent’s history would be incorporated into the design. The back of the wall enclosing the remaining medical gas storage area would be covered in plantings.

The remainder of the former St. Vincent’s campus would be developed as-of-right, through the upgrade and reuse of the O’Toole Building as a comprehensive health care center (the “CHCC”) by North Shore Long Island Jewish Health System (“NSLIJ”), with a state-of-the-art emergency department on the ground floor and an imaging center and physicians’ offices and other health care services on the upper floors.² The reuse would maintain the essential form of the O’Toole Building while making necessary adjustments to accommodate health care functions.

Land Use Actions

In order to develop the proposed project, a number of land use approvals are needed from the New York City Planning Commission (“CPC”). Due to the site’s location in the New York City Greenwich Village Historic District, the proposed project is also subject to review and approval by the New York City Landmarks Preservation Commission (“LPC”). As noted above, LPC adopted a resolution approving the issuance a Certificate of Appropriateness for the residential/commercial development on the East Site on July 7, 2009, so no additional LPC review of the East Site buildings will be required. The design of the open space (including the demolition of the Materials Handling Facility) on the Triangle Site will also be subject to LPC review.

The required land use actions are as follows:

1) Zoning Map Amendments. Two zoning map amendments are required.

a) Rezoning of the East Site within 100 feet of Seventh Avenue from a C2-6 to a C6-2 district. This amendment would maintain the maximum FAR of 6.5 currently allowed for community facility use, but would allow for an increase in residential development potential from 3.44 to up to 6.02, and an increase in commercial FAR from 2.0 to 6.0. The zoning map amendment would also allow the use of the special permit provisions available to LSGDs, described below.

b) Rezoning of the midblock portion of the East Site from R6 and C1-6 districts to an R8 district. Rezoning from an R6 district to an R8 district would increase the allowable FAR for residential use from up to 2.43 to 6.02. The permitted FAR for community facility or mixed use residential/community facility use would increase from 4.8 to 6.5. Commercial use would not be permitted within the proposed R8 district.

The two zoning map amendments would allow for a combined maximum floor area of 604,013 square feet on the East Site, at least 73,400 square feet less than exists on the East Site today. (The Special Permits being requested would limit the permitted floor area on the East Site to 590,660 square feet, reducing the development potential of the East Site by another 13,300 square feet from the conditions that exist today for a total reduction of at least 86,700 square feet of floor area, and would limit the amount of commercial floor area to no more than 20,426 square feet.) The Zoning Map amendments would also increase the residential development potential of the East Site to allow for the reuse of the older of the existing, vacant, community facility buildings and permit new development for more productive uses, in keeping with the predominantly residential uses in the surrounding area.

The C2-6 district to C6-2 district rezoning, in combination with a zoning text amendment described below, would allow for the modification of open space regulations within the LSGD

² NSLIJ is an integrated health care delivery system comprising 14 hospitals, two long-term care facilities, the nation’s newest medical school, and The Feinstein Institute, a major research center. NSLIJ has become the nation’s second-largest nonprofit, secular healthcare system and one of the largest clinically integrated healthcare networks in the country. Lenox Hill Hospital in Manhattan is one of its four major teaching hospitals. NSLIJ also owns and manages the area’s largest ambulance and emergency management response system, specialized ambulatory care programs with over 100 locations, home care, rehabilitation, long term care, and hospice care services.

(which are not available in C2-6 districts pursuant to ZR 74-743(a)(4)). This rezoning would also enable commercial uses up to the third floor of buildings on the site (not permitted for C2-6 districts pursuant to ZR 32-421), consistent with other C6-2 districts in the surrounding area (particularly along Sixth Avenue).

As described above, rezoning the midblock from an R6 district to an R8 district would allow for an increase in the maximum FAR for residential use from 2.43 to 6.02, and the permitted FAR for community facility or mixed use residential/community facility use would increase from 4.8 to 6.5. The maximum front wall height would also be increased from 60 to 85 feet, allowing for taller maximum building heights governed by the sky exposure plane.

Because the amount of floor area proposed for the East Site would be allowed by the new zoning districts, the LSCFD would no longer be required once the Coleman and Link Pavilions are demolished, and accordingly the special permits granted pursuant to the LSCFD designation would no longer be necessary.

The proposed rezoning would place zoning districts on the project site that are consistent with other zoning districts in the area, and would also be consistent with the historic buildings located on the project site. C6-2 districts and other R8-equivalent districts are found in the vicinity of the project site to the north, east, and west of the East Site, as discussed above. In particular, a C6-2 district extends along the West 13th Street corridor to the east from west of Sixth Avenue all the way to Fifth Avenue (where the permitted FAR increases to 10.0 FAR). R8-equivalent districts are also located to the east of the project site at West 12th Street and Sixth Avenue, and to the north, from the midblock of West 13th Street to the midblock between West 16th Street and West 17th Street. In addition, all of the existing buildings to be retained that are located in the portion of the East Site proposed to be rezoned to an R8 district are from 11 to 14 stories in height, with large floor plates that are not consistent with the current R6 zoning. The buildings that would replace Reiss would have roughly the same amount of floor area as Reiss, and the townhouses replacing Cronin would have substantially less. It should be noted that this overbuilt condition is long-standing, predating both the 1961 Zoning Resolution and the addition of the Coleman and Link Pavilions. In fact, one of the buildings that was replaced by Coleman and Link – a high street wall seven-story building – could not have been built under the current R6 district zoning. Accordingly, the proposed R8 zoning district would bring the zoning map into better alignment with both existing conditions as well as the proposed project.

Moreover, with the exception of 130 West 12th Street (which is fully built out and in the process of being converted to residential use), the buildings to the east of the East Site are lower in scale than the buildings on the East Site. In order to protect this context, the proposal would limit the boundaries of the zoning map amendment to the perimeter of the East Site.

2) Zoning Text Amendment. A zoning text amendment pursuant to ZR 74-743(a)(4) is proposed. This amendment would permit the maximum floor area ratio available for new development to be used without regard to height factor or open space ratio requirements and to make open space allowances currently applicable only in LSGDs located in Manhattan Community District 7 also applicable to LSGDs in Manhattan Community District 2. This would permit a reduction in the required open space obligation for the residential portion of the project by up to 50 percent if CPC finds that the open space is of sufficient size to serve the residents of the building with appropriate amenities and superior landscaping.

This text amendment is necessary because the configuration of the buildings to be preserved on the site prevents a site plan that meets the open space requirements of the underlying zoning districts, and applying the amended ZR 74-743(a)(4) to the site would afford a more contextual solution to the design of the project buildings while providing appropriate and sufficiently sized open space. The proposed courtyard design would create a uniform rear building wall so that the interior courtyard has a consistent depth throughout its length and can have a coherent, superior design. The common area would be a passive open space with significant landscaping, seating, and uniform lighting throughout, providing both a visual amenity as well as open space for the residents. In addition, as described below, a portion of the open space will be located on the Triangle Site, and will be open to the public instead of a being a solely private amenity as would be allowed under zoning.

3) Large-Scale General Development. The proposed actions include several special permits available to LSGDs:

a) Special permits pursuant to ZR 74-743 as follows:

- ZR 74-743(a)(1): To allow for distribution of total required open space without regard for zoning lot lines or district boundaries. This special permit would allow for approximately 15,102 square feet of the open space required pursuant to ZR 35-33, ZR 23-142, and ZR 74-743(a)(4) (as amended) as part of the East Site development to be located on the

Triangle Site rather than on the East Site. The massing of the buildings to be preserved on the site combined with the proposed new buildings prevents the inclusion of the required amount open space on the East Site. As part of this special permit request, use of the portion of the Triangle Site included within the LSGD boundaries will be limited to publicly accessible open space, eliminating the use of 151,020 square feet of development potential at the project site.

- ZR 74-743(a)(2): To allow the location of buildings without regard for the applicable court and height and setback (including rear yard setback) regulations applicable in C6-2 and R8 zoning districts. This special permit will allow for additions to the existing buildings and for the proposed new buildings on the East Site by modifying the height and setback regulations in ZR 23-632, 33-432, and 23-663, which require setbacks above a base height of 85 feet, sky exposure planes of 2.7 vertical feet to 1 horizontal foot on narrow streets and 5.6:1 on wide streets, and 20 foot setbacks from rear yard lines for portions of buildings greater than 125 feet above yard level. This will allow for the preservation of the four historic buildings on the East Site as part of the overall development, and will also allow for the introduction of building forms with strong street walls that are more in keeping with the surrounding neighborhood, but which would also allow for encroachments into the required setbacks and sky exposure plane. The special permit will also allow for the East Site to be developed in accordance with the Certificate of Appropriateness issued for the East Site by LPC in 2009.

In addition, this special permit would allow two outer court recess areas located at the rear of the nine-story building replacing Reiss Pavilion – one extending from the second through seventh floors and one on the eighth floor – to be narrower than the required width of twice the depth of each outer court recess (as provided in ZR 23-843). These outer court recess areas adjacent to existing non-complying court conditions at the rear of the adjacent 130 West 12th Street building and would reduce the bulk of the proposed building at its rear to provide more light and air into the East Site's interior courtyard and to the rear of the adjoining property.

- ZR 74-743(a)(4) (as amended): To modify the open space regulations applicable in the C6-2 and R8 zoning districts to allow the maximum FAR within the LSGD to be developed and to allow the required open space to be reduced by 50 percent. This will allow for the amount of open space provided on the project site to be 50 percent of the open space that would be required for new development (from 59,857 to 29,928 square feet), including at least 15,131 square feet on the East Site and 15,102 square feet on the Triangle Site. An additional approximately 9,530 square feet of the East Site will be open to the sky and serve as private yards, but will not be open to all of the residents of the East Site proper. The open space reduction will help maintain the existing historic buildings on the project site and allow for the introduction of new buildings reinforcing the strong street wall context of the historic buildings on the project site and in the surrounding area. Moreover, the project would increase the amount of open area on the East Site (i.e. the 15,131 square feet of common open space and the additional 9,530 square feet of private yards) by more than 100 percent, from 10,189 square feet to 24,661 square feet. The common area site plan includes superior landscaping for open space, including appropriate seating and uniform lighting throughout, providing both a visual amenity as well as open space for the residents. As part of this special permit, the number of dwelling units allowed on the project site would be limited to 450 units, significantly less than the approximately 750 units that zoning would typically allow.

- b) LSGD special permit pursuant ZR 74-744(b): To permit residential and commercial uses to be arranged within the C6-2 district portion of the LSGD without regard for locational restrictions set forth in ZR 32-42. With this special permit, doctors' offices proposed for the East Site within the C6-2 district may occupy a portion of the third floor of the development, with residential uses located on the remainder of the floor.

4) Accessory Parking Special Permit. An accessory parking special permit pursuant to Zoning Resolution Section 13-561 is requested in order to permit a 152-space accessory parking facility in the cellar level of the project. This would be an increase above the 98 parking spaces that would be permitted as-of-right pursuant to ZR 13-12 and ZR 13-133. This garage would allow on-site accessory parking spaces for residents and tenants for approximately 30 to 40 percent of the anticipated residential units.

Upon the approval of the actions set forth above and the demolition of a portion of the Link-Coleman buildings, the existing LSCFD covering the former St. Vincent's campus would no longer be necessary and would cease to exist.

8/10/11
Rudin West Village Project
Attachment #11 – Applicant’s Statement of Findings

74-743(b) – Special provision for bulk modifications (findings)

(b) In order to grant a special permit pursuant to this Section for any #large-scale general development#, the Commission shall find that:

(1) the distribution of #floor area#, #open space#, #dwelling units#, #rooming units# and the location of #buildings#, primary business entrances and #show windows# will result in a better site plan and a better relationship among #buildings# and open areas to adjacent #streets#, surrounding development, adjacent open areas and shore lines than would be possible without such distribution and will thus benefit both the occupants of the #large-scale general development#, the neighborhood and the City as a whole;

The special permit would allow approximately 15,102 square feet of the open space required on the East Site pursuant to ZR 35-33 and 23-142 to be located on the Triangle Site adjacent to public streets instead of on the East Site. This configuration will allow for this portion of the project open space to be publicly accessible rather than a solely private amenity. As a result of its proposed location, the open space will be a visual resource for the neighborhood, and the historic low scale nature of the Triangle Site will be maintained. In addition, because of the open space proposed for the Triangle Site, the development potential of this parcel would not be able to be utilized on the project site pursuant to the special permit and the restrictive declaration that would be executed as part of the special permit. (Zoning would allow up to 151,020 square feet of floor area on the Triangle Site.) The substitution of this development potential with an open space is a substantial benefit to the neighborhood, assures that there will be substantial light and air along the Seventh Avenue corridor in this location, and provides for an improved site plan over what would be allowed by zoning.¹

The proposed location of the open space also results in a better site plan on the East Site. Without the proposed shift in open space from the East Site to the Triangle Site, it would not be possible to create a development on the East Site that would maintain and reinforce the strong street wall character of the neighborhood because of the need to introduce more open space on the East Site. With the proposed shift in open space, the new buildings on the East Site may be developed to the street line with a central courtyard, a development form that characterizes the surrounding area. The proposed open space configuration will also allow for the preservation of historic buildings on the East Site and permit the property to be built in accordance with the certificate of appropriateness issued by the LPC.

In addition, it should be noted that the proposed project would substantially increase the amount of open space that exists on the East Site today and thereby reduce overall lot coverage. Because of the large floor plates of the existing buildings, there is only 10,189 square feet of open space area on the East Site today. When the project is complete, there will be 24,354 square feet of open area on the East Site (15,131 square feet of which will be common area for the residents of the East Site project) and the lot coverage will be reduced from the 89.0% that exists today to 73.8% in the future. This change will substantially improve light and air within the large scale development.

The application also requests certain modification of the height and setback (including rear yard setback) requirements of ZR 23-632, 23-663, and 33-432. The principal waivers relate to the Seventh Avenue façade of the new building proposed for Seventh Avenue, to the new West 12th Street building that would replace the Reiss Building, and to the minor revisions on the upper stories of Raskob. In addition to these changes, the application requests a minor – less than 2-foot – modification of the initial setback requirement for new development along West 11th Street, and modifications to the rear yard setback requirements for the Smith, Nurses’ Residence, and Spellman buildings.

The proposed modifications to height and setback controls will allow for the East Site development to adjust the location and the form of the buildings to better respond to the historic buildings that exist on the East Site as well as respond to the surrounding built form. The principal height and setback modifications being requested are for the new building along Seventh Avenue. These modifications will allow for the new Seventh Avenue building to have a high street wall topped by a series of articulated setbacks in keeping with the form of the Raskob Building immediately to its north and the other tall buildings lining Seventh Avenue to the north and south. Moreover, the upper floors of the Seventh Avenue building will change angles and move away from Seventh Avenue as the building moves toward West 11th Street, allowing light and air to reach the important intersection of West 11th Street/Greenwich Avenue and Seventh Avenue. The slight encroachment into the required setback for the

¹ For example, in 1969, the Landmarks Preservation Commission approved of a 17-story community facility building on the Triangle Site (although this building was never constructed).

new West 11th Street building is limited to a less than 2-foot by 2-foot strip of the uppermost story of the building. This variation will not be discernable but will allow for rational residential floor plates within the building.

The modification requested for the new building at the site of the current Reiss Building is limited to a modification of the street wall by less than one story, permitting the street wall to rise to a height of 71.12 feet before setback in one location, and allowing the building to rise to a maximum building height of 93.62 feet without setback for another portion of the new building. The slightly higher street wall is consistent with the design of the other East Site buildings to be retained along West 12th Street, and also relates well to the building located at 130 West 12th Street (another building previously owned by St Vincent's, with 12 stories and a high street wall faced in brick). Moreover, the modifications requested for the new West 12th Street building and the other buildings will be accompanied by a significant reduction in the height of buildings on West 11th Street, where the 14-story Cronin Building is proposed to be replaced by a series of five-story townhouses having a street wall height and overall building height that is well under what zoning allows. This reduction in scale along West 11th Street and slight reconfiguration of the building envelopes on West 12th Street will provide a better transition between the East Site development and the adjoining properties, as the north side of West 11th Street is characterized by townhouses east of the East Site whereas the south side of West 12th Street has more mid-rise buildings, resulting in an overall improved site plan and arrangement of buildings on the East Site.

Finally, the application requests modification of the outer court recess requirements of ZR 23-843 for the new building that would replace the Reiss Building to allow for a non-complying outer court recess depth adjacent to the eastern property line between the new building replacing Reiss and the building located just to the east of the project site, at 130 West 12th Street. At present, a non-complying outer court, approximately eight feet wide and 40 feet deep, exists on the 130 West 12th Street property between the west façade of the building and the zoning lot line. By allowing a similar court area to be located on the project site, the area between the two buildings would be roughly doubled in size, providing more separation between the buildings and improving light and air to both buildings. In the absence of the waiver, the building replacing Reiss would be built to the zoning lot line, and the narrow court condition for the adjoining building would not be improved.

(2) the distribution of #floor area# and location of #buildings# will not unduly increase the #bulk# of #buildings# in any one #block# or unduly obstruct access of light and air to the detriment of the occupants or users of #buildings# in the #block# or nearby #blocks# or of people using the public #streets#;

The proposal would not allow for a redistribution of floor area from one parcel to another. In fact, the proposed redevelopment of the East Site will result in at least 86,700 square feet of zoning floor area less than exists today being located on the site. Moreover, the proposal would not allow for the 151,020 square feet of development potential on the portion of the Triangle Site included within the GLSD to be utilized on the project site. Accordingly, the proposed project would reduce – rather than increase – bulk on the project site, and no undue amount of building would occur on any portion of the project site. Specifically, the arrangement of the East Site buildings would follow the development pattern of the area, with taller buildings on the Avenues stepping down to row houses or mid-rise buildings along the side streets, and accordingly would be consistent in bulk and form to development in the surrounding area.

In addition, the proposed project will not unduly obstruct access to light or air. As noted above, the proposal would include a 16-story building along the Seventh Avenue frontage in the place of the existing 17-story tall Coleman building, one that will be consistent with the scale of other tall buildings lining Seventh Avenue. The location of the majority of the new development along a wide street and across from what will be a publicly accessible open space will ensure that light and air will reach the surrounding streets. Moreover, as noted above, the upper floors of the Seventh Avenue building will change angles and move away from Seventh Avenue as the building moves toward West 11th Street, allowing light and air to reach the important intersection of West 11th Street/Greenwich Avenue and Seventh Avenue. The slight encroachment into the required setback for the new West 11th Street building is limited to a less than 2-foot by 2-foot strip of the uppermost story of the building and will not compromise access to light and air.

Changes to the midblock portion of the East Site would substantially reduce the overall lot coverage of this portion of the East Site, and would result in buildings of the approximate scale of buildings that exist today, or in the case of the site of Cronin, for substantially smaller structures. The reduction in lot coverage and reduction in overall scale will improve access to light and air in the vicinity of the East Site midblock rather than imposing an undue obstruction.

(3) where a #zoning lot# of a #large-scale general development# does not occupy a frontage on a mapped #street#, appropriate access to a mapped #street# is provided;

Not Applicable – The large scale general development will have frontage on several mapped streets.

(4) considering the size of the proposed #large-scale general development#, the #streets# providing access to such #large-scale general development# will be adequate to handle traffic resulting therefrom;

The proposed large scale development will result in a reduction of at least 86,700 square feet of zoning floor area compared with the buildings that exist today, will limit the number of dwelling units to no more than 450, and will eliminate all of the development potential of the Triangle Site included within the LSGD. Any commercial and community facility use will also be limited to well under the amount permitted by zoning. This relatively limited amount of activity on the site would therefore generate significantly less traffic than the level of traffic generated by the East Site when St. Vincent's was operating, as well as less traffic than would be expected with any reuse of the East Campus buildings for community facility purposes.

Specifically, Sixth and Seventh Avenues, the major thoroughfares to the east and west of the East Site, each have six lanes, which will help accommodate traffic generated in the vicinity of the project site and will provide convenient access to West 12th Street, where the entrance to the proposed garage is located. The proposed garage will include 152 parking spaces, close to the number of spaces estimated to be required during peak parking demand, and will include 10 reservoir spaces, meaning that at most times the garage on the site will be able to accommodate almost all of the residential and community facility traffic generated by cars seeking to park in the neighborhood. In addition, West 12th Street includes two parking lanes and a wide central traffic lane that allows cars to pass, which will allow traffic to flow smoothly along this street. The East Site is also well served by mass transit, and many visitors to the site will likely arrive via the subway (including from the 1, 2, 3, A, C, E, L, F, and M subway lines), PATH commuter rail line, or M7, M14, or M20 buses, which all have stations or stops within walking distance of the project site. The frequent use of mass transit will further reduce the amount of traffic generated by the proposed project.

The traffic analysis set forth in the FEIS confirms the conclusion that the street network providing access to the LSGD will be adequate to handle the traffic generated by the proposed project. The analysis set forth in that document evaluates the incremental traffic generated by the East Site project assuming that there is no activity in the East Site buildings in absence of the proposed project, i.e., that the East Campus buildings would remain vacant rather than being reused for a school, dormitories, or other community facility purposes. Even with this highly conservative assumption, the analysis in the EIS concludes that the East Site project will add 57 to 65 vehicles in the surrounding area during peak hours, with substantially fewer numbers in other hours. This limited amount of traffic would be spread out over the broader street network, which is well equipped to handle this small amount of activity, further reducing any potential for congestion. It also includes taxis that may already be in the area. Accordingly, the project would not have a substantial effect on the street network, and the local streets would be adequate to handle the traffic from the project.

(5) when the Commission has determined that the #large-scale general development# requires significant addition to existing public facilities serving the area, the applicant has submitted to the Commission a plan and timetable to provide such required additional facilities. Proposed facilities that are incorporated into the City's capital budget may be included as part of such plan and timetable;

The proposed project will not require a significant addition to public facilities, and therefore this finding is inapplicable.

(6) where the Commission permits the maximum #floor area ratio# in accordance with the provisions of paragraph (a)(4) of this Section, the #open space# provided is of sufficient size to serve the residents of new or #enlarged buildings#. Such #open space# shall be accessible to and usable by all residents of such new or #enlarged buildings#, have appropriate access, circulation, seating, lighting and paving, and be substantially landscaped. Furthermore, the site plan of such #large-scale general development# shall include superior landscaping for #open space# of the new or #enlarged buildings#;

The proposed project will provide two different types of open spaces accessible to all of the residents of the new project that will be of sufficient size to serve the proposed project, one on the East Site and the other on the Triangle Site. The East Site open space will be available for use by all of the residents of the East Site development. The Triangle Site open space will be available for use by the residents of the proposed project as well as by the general public.

The main portion of the East Site common open space will be an approximately 13,846 square foot, heavily landscaped area that will be both a visual as well as an open space amenity for the residents.

A smaller, approximately 1,285 square foot landscaped common open space would be located along the West 11th Street frontage, in front of the residential entrance to the Seventh Avenue building, providing a landscaped amenity along the exterior of the East Site development. This space will be at the building entrance that will also provide access to the remainder of the East Site common space. The main open space will be characterized by three distinct areas, and will be a central element of a much larger amenity package for the project residents.

As shown on drawings L-200 through L-207 included with this application, there will be a large 60' x 112' "lobby court" area located at the western end of the East Site open space. This space will be a landscaped area with a variety of seating options ringing a central courtyard paved with glass block or other treatment that will provide visual interest and which could allow for filtered light into the project's amenity space located in the cellar. The lobby court will be accessible both from the residential lobby of the Seventh Avenue building and the lobby of the Smith/Raskob building, and will also be accessible from an adjoining amenity space from Smith/Raskob. A trellis or similar element will be introduced at the eastern end of the lobby court to provide some additional screening, create a more intimate scale, and establish a gateway to the remainder of the East Site open space. Two existing swales on the north and south sides of the triangular corner formed by the intersection of West 11th Street and Greenwich Avenue will be preserved, and new trees and plantings will be placed in the existing sidewalk planting areas along West 11th Street.

The easternmost end of the East Site open space will be defined by a 30' x 67' "secret garden." This portion of the open space will be designed as a play area for the resident children with one or two play elements introduced into this green lawn area. The lobby court and secret garden will be connected by a more than 200-foot long "linear garden." This portion of the open space will include a paved walkway of varying widths meandering through a series of at-grade and raised planters. This portion of the open space will have landscaped buffers between the common area and private yards on either side to provide an attractive separation of public and private space. Benches will be introduced in this area, both along the main pathway as well in more secluded areas to provide residents with a choice of socializing or using the open space in a more private manner.

As shown on drawings L-100 through L-108 included with this application, the 15,102 square foot Triangle Site open space will have a combination of paved and landscaped elements, with fixed and moveable seating, substantial lighting, and elevated planting beds located throughout the open space. Design elements recognizing the history of St Vincent's and/or important dates in the Hospital's history would be incorporated into the design. This space, unlike the East Campus open space, will be highly visible with numerous access points from the surrounding sidewalks to promote use by the general public. The Triangle Site open space will be available for use by both the residents of the project and the general public and will be open seven days a week, 365 days a year.

Between the East Site open space and the Triangle Site open space, the project will provide 30,233 square feet of common open space. This open space will be supplemented by a large variety of interior common amenities, private yard areas for a limited number of the units, as well as private and common terraces at the upper levels of the project. Moreover, the number of residential units that will be allowed as part of the proposed plan will be limited to 450 units, well less than the approximately 750 units that zoning would allow on an as of right basis. The substantial amount of open space being provided and the limited number of residential units allowed will ensure that there is sufficient open space on the project site to serve the residents of the project.

(7) where the Commission permits the exclusion of #lot area# or #floor area# in accordance with the provisions of paragraph (a)(5) of this Section or modification of the base and maximum #floor area ratios# or requirements regarding distribution of #affordable housing units# in accordance with paragraph (a)(8) of this Section, such modification will facilitate a desirable mix of #uses# in the #large-scale general development# and a plan consistent with the objectives of the Inclusionary Housing Program and those of Section 74-74 (Large-Scale General Development) with respect to better site planning; and

Not applicable.

(8) a declaration with regard to ownership requirements in paragraph (b) of the #large-scale general development# definition in Section 12-10 (DEFINITIONS) has been filed with the Commission.

A draft declaration is included with this application.

8/10/11
Rudin West Village Project
Attachment #11 – Applicant’s Statement of Findings

74-744(b) - Location of commercial uses

(b) Location of #commercial uses# For any #large-scale general development#, the City Planning Commission may permit #residential# and non-#residential uses# to be arranged within a #building# without regard for the regulations set forth in Section 32-42 (Location within Buildings), provided the Commission shall find:

(1) the #commercial uses# are located in a portion of the #mixed building# that has separate access to the outside with no opening of any kind to the #residential# portion of the #building# at any #story#;

As shown on Dwg. Z-12 included with this application, the entrance to the commercial uses – professional doctor’s offices on the third story, accessed via a Seventh Avenue entrance – will be separate from the entrances to the residential portions of the project on West 11th and 12th Streets. The offices will also be accessed from a separate elevator core.

(2) the #commercial uses# are not located directly over any #story# containing #dwelling units#; and

As shown on Dwg. Z-12, there will not be any dwelling units located below the commercial floor area.

(3) the modifications shall not have any adverse effect on the #uses# located within the #building#.

The special permit would allow for professional doctors’ offices to be located on the third floor, the same floor as residential dwelling units, and on a higher story (but not directly above) residential dwelling units on the second story. Doctor’s offices are a compatible use with residential uses, evidenced by the fact that they are allowed as of right and considered a community facility use when located on the first and second stories of a primarily residential building. The office use will be completely separated from the residential units, will have a separate entrance and elevator access, will not be apparent to the residential occupants of the building, and will not have any adverse effects.

13-561 - Accessory Off-Street Parking Special Permit

The City Planning Commission may, by special permit, subject to the otherwise applicable zoning district regulations, allow on-site or off-site, open or enclosed, #accessory# off-street parking facilities with any capacity not otherwise allowed under Section 13-10 (PERMITTED ACCESSORY OFF-STREET PARKING SPACES) provided the Commission finds that:

(a) such parking spaces are needed for, and will be used by, the occupants, visitors, customers or employees of the #use# to which they are #accessory#, except that #car sharing vehicles# may occupy #accessory# off-street parking spaces; however, the number of spaces so occupied shall not exceed five spaces or 20 percent of all such parking spaces, whichever is greater;

The application would allow for 152 accessory parking spaces to be located in a cellar level of the proposed project. It is expected that these spaces would accommodate all, or close to all, of the parking demand generated by the residential units.

Based on census data, parking studies, and comparisons to other projects, approximately 35 to 50 percent of the residents of the building will likely own a least one car.² As shown in the EIS, peak parking demand from the East Site project associated with the residential units is expected to be 167 spaces. Accordingly, the proposed garage would, if granted, be needed for and would be used by the residents and the other occupants of the East Site, including tenants of and visitors to the community facility space.

(b) within the vicinity of the site, there are insufficient parking spaces available;

The number of off-street parking opportunities in the vicinity of the project site is limited. At this time, there are three parking facilities convenient to the project site, all on West 12th Street: 203 West 12th Street (in the O’Toole Building); 75-179 West 12th Street (to the north of the East Site); and 101 West 12th Street (to the northeast of the East Site). These parking facilities have a combined licensed capacity of 180 spaces, and recent surveys show that on the order of 158 cars are parked in these facilities on any given day. Moreover, while this data already shows that parking in the nearby area is limited and inadequate to accommodate the project’s demand, that shortage will be exacerbated by the fact that the O’Toole Building garage will be closed as part of the redevelopment of that building into a free-standing emergency department and diagnostic and ambulatory care facility. Moreover, the remaining two facilities on West 12th Street are accessory garages, and are only available to persons not living in the building if the residents of those buildings have not made a request for the spaces.

While there are additional parking facilities further from the East Site within a quarter-mile (see attached parking diagram), approximately half of them are accessory facilities with limited availability for use by non-residents (and only in the event that the residents of the building containing the garages have not requested the spaces). In addition, new residential development is occurring in the neighborhood, eliminating former parking facilities. For example, in 2009 a surface parking lot that accommodated approximately 60 cars at the intersection of Eighth Avenue and Greenwich Avenue was replaced by a 30-unit condominium building with no parking facility, further limiting parking availability in the area. In addition, within the last two years, a 47-unit condominium building located at 50 West 15th Street has replaced an approximately 50 car surface parking lot. Additional developments recently built or planned for the area include limited or no parking, further increasing pressures on existing parking facilities. Accordingly, there will be insufficient parking spaces available in the vicinity of the project site to accommodate parking demand from the project.

(c) the facility will not create or contribute to serious traffic congestion nor will unduly inhibit vehicular and pedestrian movement;

As shown in the EIS, the garage will not result in significant trips and is not expected to cause or contribute to serious traffic congestion. Because the vast majority of the spaces will be associated with residential users, there will be only a limited number of trips in and out of the parking facility at any time. The maximum number of trips into and out of the garage expected in any hour is in the early evening between 5 and 6 pm. During this hour, only 20 vehicle trips would occur, and these would be split between 14 cars entering and 6 cars exiting the garage, further limiting the number to well under the thresholds that have the potential to cause traffic impacts. The morning peak is expected to generate a

² To the extent that fewer, larger, units are built, it is expected that the percentage of households owning a car will increase.

similar number of trips – 19 – with 3 cars entering and 16 cars exiting the garage over the course of an hour. Activity at the garage would be less in all other hours. The number of trips represents a very modest addition to the number of cars travelling down West 12th Street, and would have a negligible effect on traffic patterns in the area. It should be noted that because these trips are associated with the residents of the project, the trips would likely be in the street network in any event.

In addition, the limited number of trips in and out of the garage will not compromise pedestrian movements along the south side of West 12th Street. The entrance to the garage will be protected with audio and visual signals to alert pedestrians when a car is exiting the garage to assure that the garage is operated in a safe condition.

(d) the facility is so located as to draw a minimum of vehicular traffic to and through local residential streets; and





The entrance to the garage would be located between Seventh Avenue and Sixth Avenue, two regional streets. Residents seeking to access the garage would head directly from Seventh Avenue to the garage entrance on West 12th Street, and cars leaving the garage would travel less than one block to Sixth Avenue to access the broader street network. As noted above, it is expected that only 20 cars would enter or leave the garage in even the most active hour, a very small number. In addition, West 12th Street extends east-west across the entirety of Manhattan, including through both residential and more commercial areas, so it cannot be considered a “local residential street.” Accordingly, the proposed project would draw a minimum of vehicular traffic to and through any local residential streets in the vicinity of the East Site.

(e) adequate reservoir space is provided at the vehicular entrance to accommodate vehicles equivalent in number to 20 percent of the total number of parking spaces, up to 50 parking spaces, and five percent of any spaces in excess of 200 parking spaces, but in no event shall such reservoir spaces be required for more than 50 vehicles. However, in the case of a facility with a capacity of 10 vehicles or less, the Commission may waive this finding.

10 reservoir spaces will be provided in the garage.

RUDIN WEST VILLAGE PROJECT



-  Proposed LSGD
-  Study Area Boundary
-  Off-Street Parking Facility
-  Accessory Parking (accessory parking garages with spaces generally not available to public)

* Garage #8 to be eliminated as part of O'Toole Building redevelopment.

Parking Garages in Vicinity

Rudin West Village Project, Attachment #4 – Comparison of Existing and Proposed Zoning Requirements

| Zoning Requirement | Permitted/Required | | | | | | |
|------------------------------|------------------------|---|-----------------------------|-------------------------|------------------------|---|-------------------------|
| | Existing Zoning | | | | Proposed Zoning | | |
| | ZR Section(s) | C2-6 | C1-6 | R6 | ZR Section(s) | C6-2 | R8 |
| USE GROUPS | 22-10, 32-10 | 1-9, 14 | 1-6 | 1-4 | 22-10, 32-10 | 1-12 | 1-4 |
| FAR | | | | | | | |
| Residential | 23-142, 34-112, 35-23 | 0.87 – 3.44 | 0.87 – 3.44 | 0.78 – 2.43 | 23-142, 34-112, | 0.94 – 6.02 | 0.94 – 6.02 |
| Commercial | 33-122 | 2.00 | 2.00 | N/A | 35-23 | 6.00 | N/A |
| Comm. Facility | 24-10, 33-123 | 6.50 | 6.50 | 4.80 | 33-122 | 6.50 | 6.50 |
| Manufacturing | | N/A | N/A | N/A | 24-10, 33-123 | N/A | N/A |
| OPEN SPACE RATIOS | 23-142, 35-33 | 15.5 – 25.5 (R7 equivalent) | 15.5 – 25.5 (R7 equivalent) | 27.5 – 37.5 | 23-142, 35-33 | 5.9 – 11.9 (R8 equivalent) | 5.9 – 11.9 |
| YARDS | | | | | | | |
| Front Yard | 23-45, 34-112 | N/A | N/A | N/A | 23-45, 34-112 | N/A | N/A |
| Side Yard | 23-462(c), 34-112 | N/A, 8 feet if provided | N/A, 8 feet if provided | N/A, 8 feet if provided | 23-462(c), 34-112 | N/A, 8 feet if provided | N/A, 8 feet if provided |
| Rear Yard | 23-47, 23-532, 23-541 | 30 feet beyond 100 feet from intersection, 60 feet rear yard equivalent, no yard required within 100 feet of intersection | | | 23-47, 23-532, 23-541 | 30 feet beyond 100 feet from intersection, 60 feet rear yard equivalent, no yard required within 100 feet of intersection | |
| HEIGHT AND SETBACKS | | | | | | | |
| Maximum Height of Front Wall | 23-632, 33-432, 34-112 | 60 feet or 6 stories (4 stories for commercial building) | | 60 feet or 6 stories | 23-632, 33-432, 34-112 | 85 feet or 9 stories | 85 feet or 9 stories |
| Setbacks from Narrow Streets | 23-632, 33-432 | 20 feet | 20 feet | 20 feet | 23-632, 33-432 | 20 feet | 20 feet |
| Setbacks from Wide Streets | 23-632, 33-432 | 15 feet | 15 feet | 15 feet | 23-632, 33-432 | 15 feet | 15 feet |
| DENSITY REGULATIONS | 23-22, 35-40 | 680 square feet / unit | 680 square feet / unit | 680 square feet / unit | 23-22, 35-40 | 740 square feet / unit | 740 square feet / unit |
| PARKING | | | | | | | |
| Residential | 13-42, 13-12, 13-133 | None required; 20% new DUs or 200 permitted | | | 13-42, 13-12, 13-133 | None required; 20% new DUs or 200 permitted | |
| Commercial / comm. facility | 13-42, 13-12, 13-133 | None required; 1/4,000 square feet or 100 | | | 13-42, 13-12, 13-133 | None required; 1/4,000 square feet or 100 | |
| Bicycle – enclosed | 25-811, 36-711 | Depends on use | Depends on use | Depends on use | 25-811, 36-711 | Depends on use | Depends on use |
| Bicycle – unenclosed | 25-812, 36-712 | 1/10 auto < 200 spaces; 1/100 auto > 200 spaces | | | 25-812, 36-712 | 1/10 auto < 200 spaces; 1/100 auto > 200 spaces | |
| LOADING | 25-72, 36-62 | Depends on use | Depends on use | Depends on use | 25-72, 36-62 | Depends on use | Depends on use |



Site

ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

Major Zoning Classifications:
 The number(s) and/or letter(s) that follows an R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

- R – RESIDENTIAL DISTRICT
- C – COMMERCIAL DISTRICT
- M – MANUFACTURING DISTRICT
- SPECIAL PURPOSE DISTRICT
 The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.
- AREA(S) REZONED

Effective Date(s) of Rezoning:
 *10-27-2010 C 100437 ZMM
 10-13-2010 C 100369 ZMM

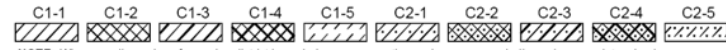
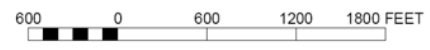
Special Requirements:
 For a list of lots subject to CEQR environmental requirements, see APPENDIX C.
 For a list of lots subject to "D" restrictive declarations, see APPENDIX D.
 For Inclusionary Housing designated areas on this map, see APPENDIX F.

MAP KEY

| | | |
|--|------------|-----|
| | 8b | 8d |
| | 12a | 12c |
| | 12b | 12d |

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ZONING MAP **12a**



NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.

NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: www.nyc.gov/planning or contact the Zoning Information Desk at (212) 720-3291.

Rudin West Village Project, Zoning Sectional Map Attachment (page 2 of 2)



ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

Major Zoning Classifications:
 The number(s) and/or letter(s) that follows on R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

- R – RESIDENTIAL DISTRICT
- C – COMMERCIAL DISTRICT
- M – MANUFACTURING DISTRICT

SPECIAL PURPOSE DISTRICT
 The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.

AREA(S) REZONED

Effective Date(s) of Rezoning:

- **10-27-2010 C 100420 ZMM
- *07-29-2010 C 100185 ZMK
- 11-30-2009 C 090096 ZMK

Special Requirements:

For a list of lots subject to CEQR environmental requirements, see APPENDIX C.

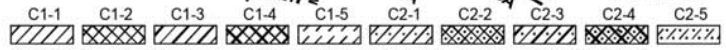
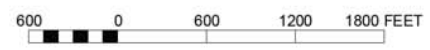
For a list of lots subject to "D" restrictive declarations, see APPENDIX D.

For Inclusionary Housing designated areas on this map, see APPENDIX F.

MAP KEY

| | | |
|-----|-----|-----|
| 8b | 8d | 9b |
| 12a | 12c | 13a |
| 12b | 12d | 13b |

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NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.

NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: www.nyc.gov/planning or contact the Zoning Information Desk at (212) 720-3281.

ZONING MAP 12c

RUDIN WEST VILLAGE PROJECT



ZONING MAP: EXISTING



ZONING MAP: PROPOSED

ATTACHMENT #7

ZONING MAP: EXISTING AND PROPOSED

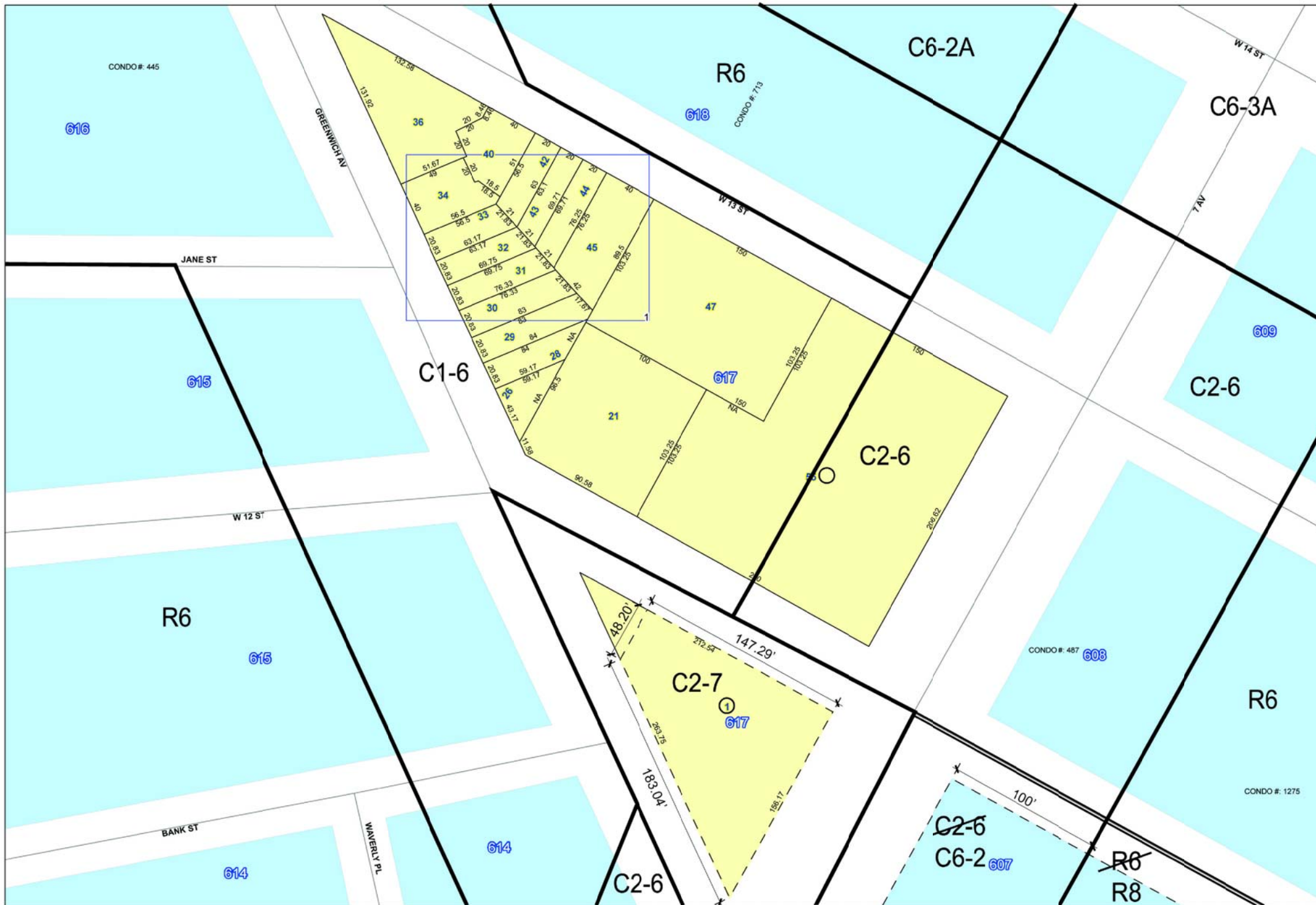


NYC Digital Tax Map

Effective Date : 12-09-2008 14:13:04
End Date : Current
Manhattan Block: 617

Legend

- Streets
- Miscellaneous Text
- ↓ Possession Hooks
- - - Boundary Lines
- ↓ Lot Face Possession Hooks
- Regular
- - - Underwater
- Yellow Tax Lot Polygon
- Light Blue Condo Number
- Light Blue Tax Block Polygon
- Zoning District Boundary to be Removed
- Zoning District Boundary to Remain
- New Zoning District Boundary
- - - Project Site
- Ⓜ Lot Owned by Applicant



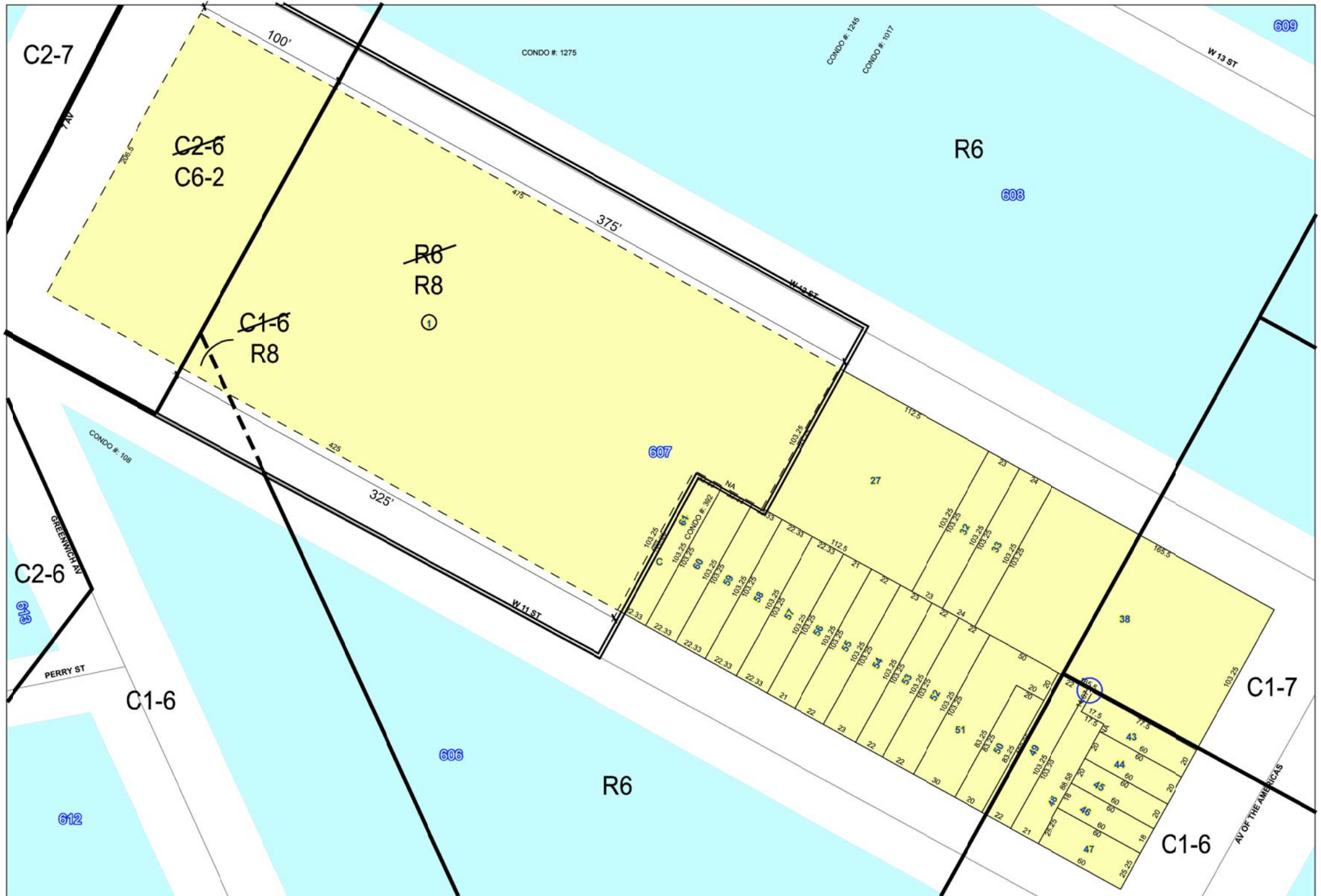


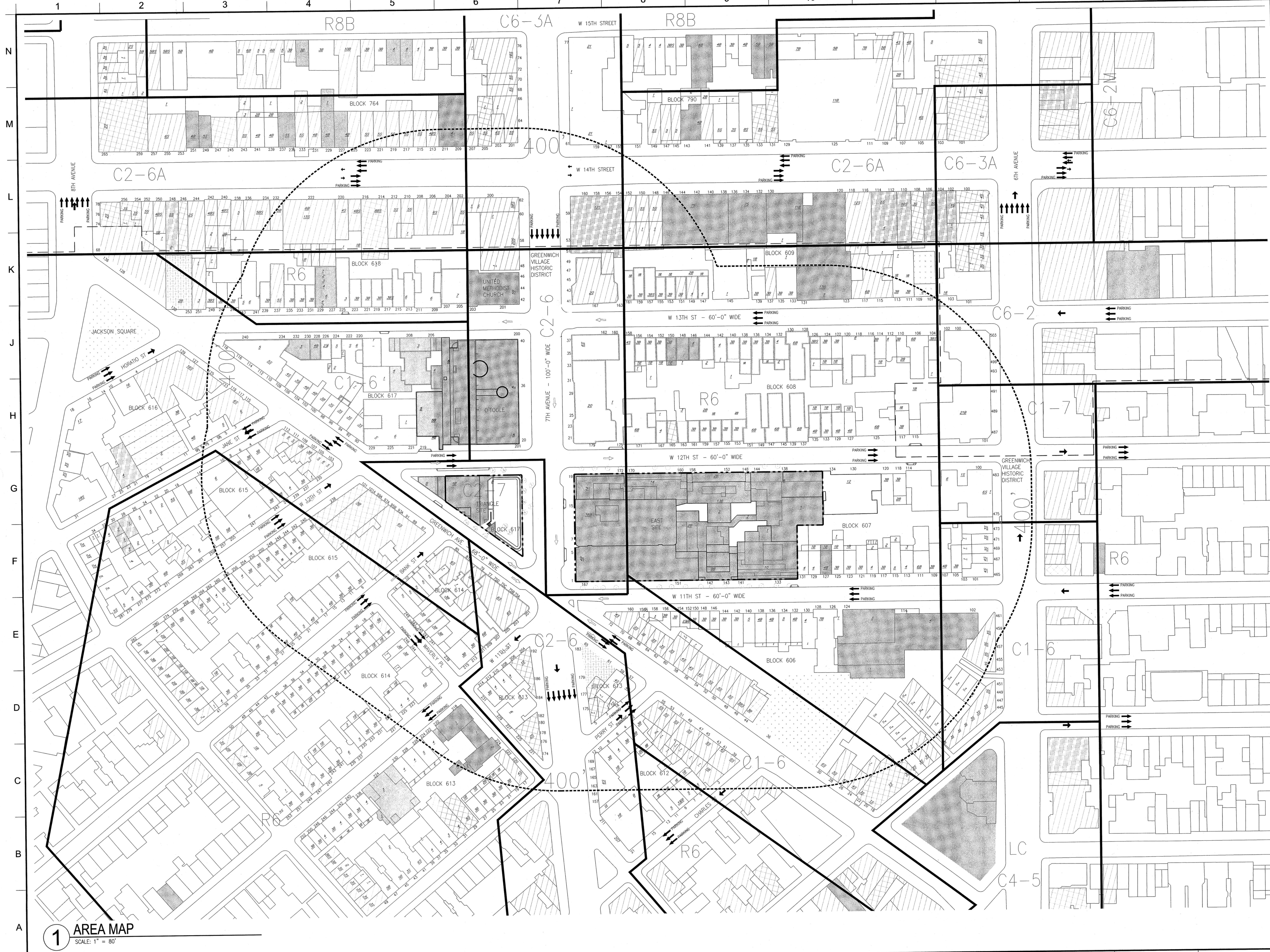
NYC Digital Tax Map

Effective Date : 12-09-2008 14:04:43
End Date : Current
Manhattan Block: 607

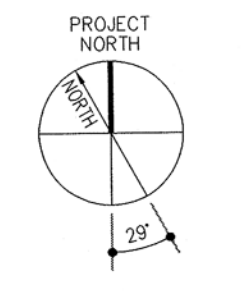
Legend

- Streets
- Miscellaneous Text
- ↓ Possession Hooks
- - - Boundary Lines
- ↓ Lot Face Possession Hooks
- Regular
- Underwater
- Yellow Tax Lot Polygon
- Blue Condo Number
- Cyan Tax Block Polygon
- Zoning District Boundary to be Removed
- Zoning District Boundary to Remain
- New Zoning District Boundary
- - - Project Site
- Ⓢ Lot Owned by Applicant





- LEGEND:**
- PROJECT SITE BOUNDARY
 - STUDY AREA BOUNDARY (400-FOOT PERIMETER)
 - GREENWICH HISTORIC DISTRICT BOUNDARY
 - ZONING DISTRICT BOUNDARY
 - RESIDENTIAL
 - RESIDENTIAL WITH COMMERCIAL BELOW
 - COMMERCIAL & OFFICE
 - INDUSTRIAL & MANUFACTURING
 - TRANSPORTATION & UTILITY
 - PUBLIC FACILITIES & INSTITUTIONS
 - OPEN SPACE & OUTDOOR RECREATION
 - PARKING FACILITIES
 - o STREET ADDRESS
 - o NUMBER OF STORIES



1 AREA MAP
SCALE: 1" = 80'

1 ULURP CERTIFICATION 08.10.2011
NO. REVISIONS | SUBMISSIONS DATE

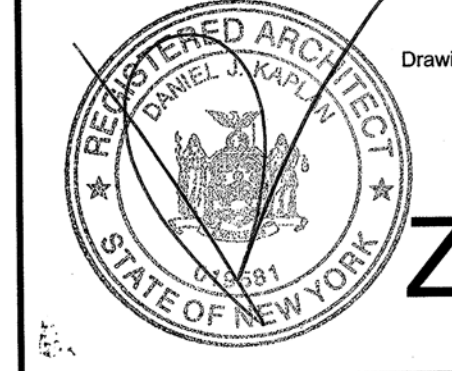


RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT

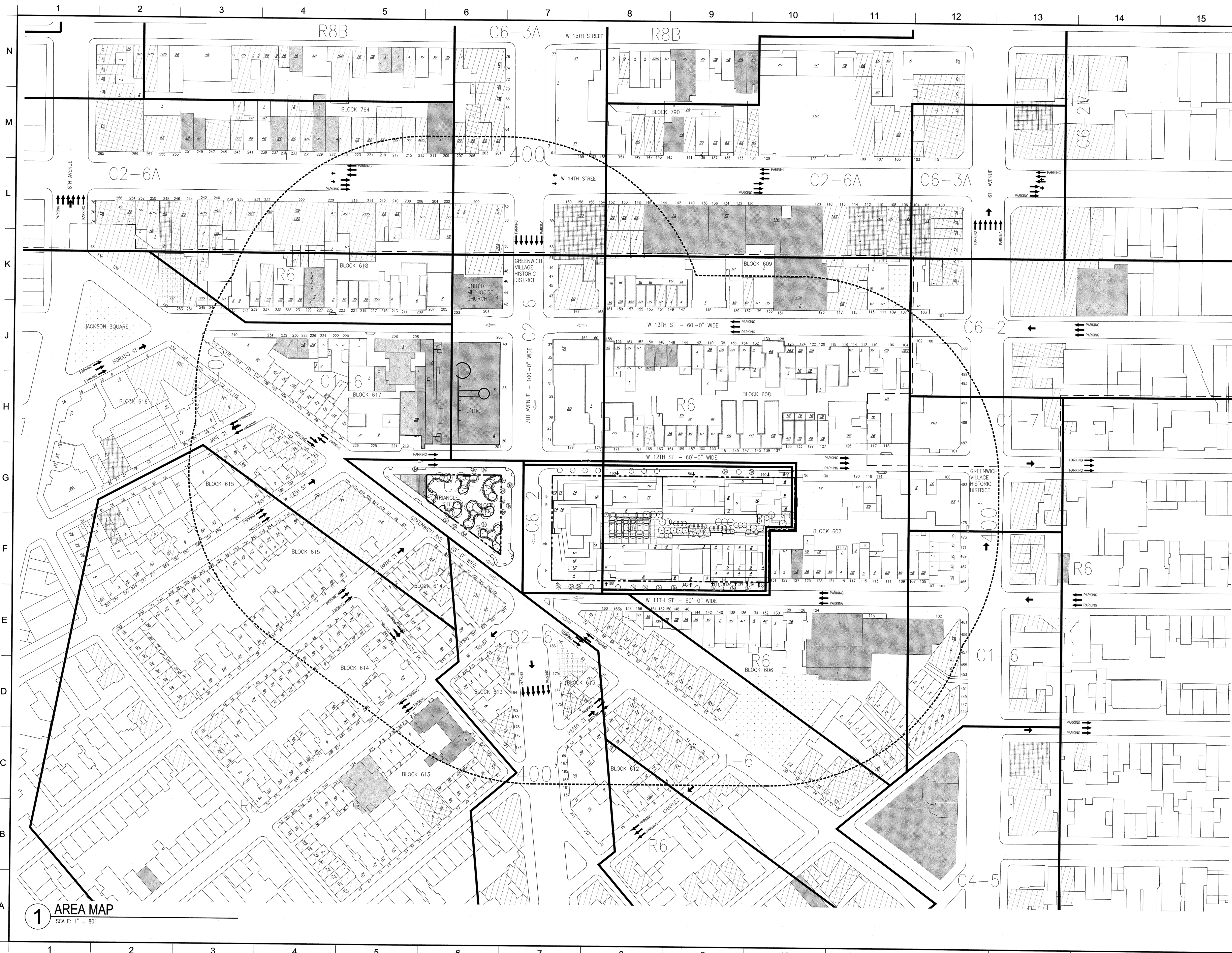
170 West 12th Street | New York NY 10011

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ATTACHMENT #9
AREA MAP - EXISTING

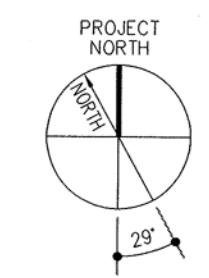
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Checked: WPC Scale: AS NOTED
Reviewed: AR Project No.: 07009
Seal: Cad File:
Drawing No.:



Z-01



- LEGEND:**
- PROJECT SITE BOUNDARY
 - - - STUDY AREA BOUNDARY (400'-FOOT PERIMETER)
 - - - GREENWICH HISTORIC DISTRICT BOUNDARY
 - ZONING DISTRICT BOUNDARY
 - PROPOSED ZONING DISTRICT BOUNDARY
 - RESIDENTIAL
 - RESIDENTIAL WITH COMMERCIAL BELOW
 - COMMERCIAL & OFFICE
 - INDUSTRIAL & MANUFACTURING
 - TRANSPORTATION & UTILITY
 - PUBLIC FACILITIES & INSTITUTIONS
 - OPEN SPACE & OUTDOOR RECREATION
 - PARKING FACILITIES
 - ∞ STREET ADDRESS
 - ∞ NUMBER OF STORES



1 AREA MAP
SCALE: 1" = 80'

1 ULURP CERTIFICATION 08.10.2011
NO. REVISIONS | SUBMISSIONS DATE

FXFOWLE
FXFOWLE ARCHITECTS, LLP | 170 WEST 12TH STREET | NEW YORK, NY 10011 | TEL: 212.625.0767 | FAX: 212.625.0768 | WWW.FXFOWLE.COM

RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT

170 West 12th Street | New York NY 10011

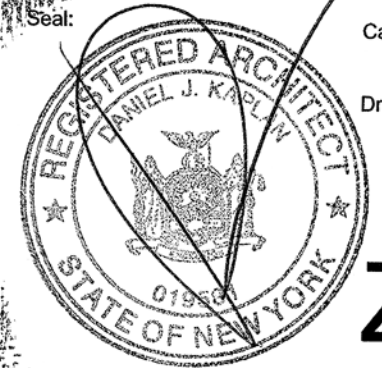
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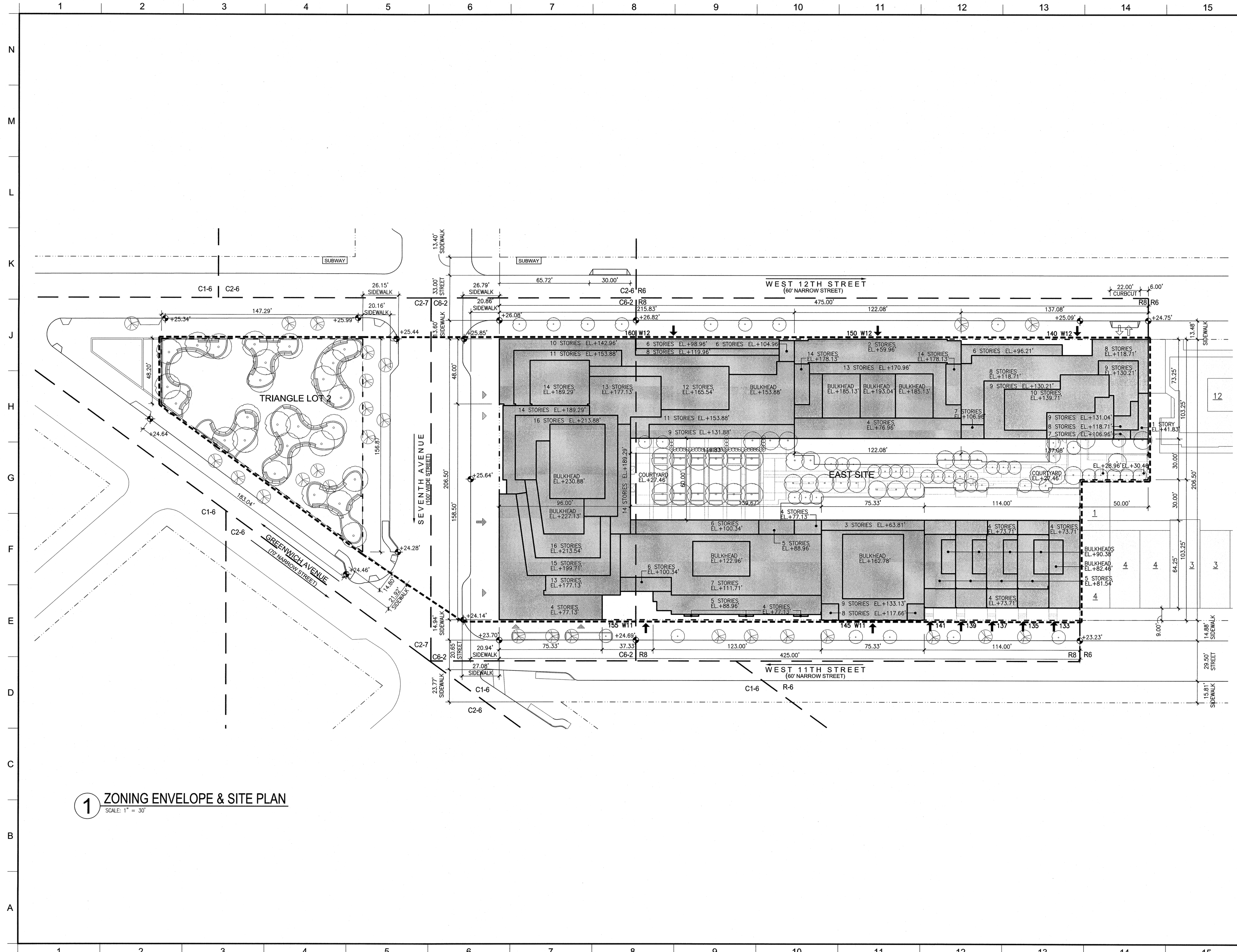
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Reviewed: AR Project No.: 07009

Cad File:
Drawing No.:



Z-02



- LEGEND:**
- PROPERTY LINE
 - - - GENERAL LARGE SCALE DEVELOPMENT BOUNDARY
 - - - ZONING DISTRICT BOUNDARY
 - ▭ PROPOSED DEVELOPMENT ZONING ENVELOPE
 - ← MAIN RESIDENTIAL ENTRIES
 - ← MEDICAL OFFICES ENTRY
 - ← COMMERCIAL / RETAIL ENTRY
 - ← VEHICULAR ACCESS/EGRESS
 - ⊗ EXISTING TREE
 - PROPOSED TREE

- NOTES:**
1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
 2. LANDMARKS PRESERVATION COMMISSION (LPC) APPROVED ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1) WHICH IS 2.45' ABOVE AVERAGE CURB LEVEL (ACL) OF EL. +25.09', AND ARE TAKEN TO TOP OF MASONRY PARAPET AND DO NOT INCLUDE GLASS OR PIPE RAILINGS.
 3. DEVELOPMENT SHALL BE IN ACCORDANCE WITH ANY CERTIFICATE OF APPROPRIATENESS OR OTHER PERMIT ISSUED BY THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION (LPC) UNDER LPC #084934 OR ANY SUBSEQUENT APPLICATION.
 4. PERMITTED OBSTRUCTIONS PER ZONING REGULATIONS MAY EXCEED DEVELOPMENT ENVELOPE.
 5. LOCATION OF BULKHEADS ILLUSTRATIVE AND SUBJECT TO CHANGE.
 6. ADDITIONAL ENTRANCES FOR GROUND FLOOR RETAIL AND SECONDARY ENTRY AND EGRESS PERMITTED.
 7. LANDSCAPE DESIGN ON TRIANGLE LOT 2 SUBJECT TO CHANGE.
 8. BUILDING MASSING DOES NOT DEPICT THE EXACT CONDITIONS APPROVED BY THE LPC ON JULY 07, 2009 AND ANY CHANGE TO CONDITIONS APPROVED ON THAT DATE IS SUBJECT TO FURTHER LPC APPROVAL.
 9. DEVELOPMENT MAY OCCUR ANYWHERE WITHIN THE ENVELOPE DEPICTED IN DRAWINGS Z-20A TO Z-23 AS DETERMINED BY DEVELOPER, SUBJECT TO THE FURTHER ALLOWANCES AND RESTRICTION SET FORTH IN THESE NOTES.
 10. MINOR CHANGES IN CONFIGURATION THAT DO NOT RESULT IN FURTHER ENCROACHMENTS OF APPLICABLE BULK CONTROLS SHALL BE PERMITTED, PROVIDED THAT (i) SUCH CHANGES ARE APPROVED BY THE LPC, AND (ii) SUCH CHANGES DO NOT RESULT IN AN INCREASE IN THE OVERALL FLOOR AREA ABOVE 590,660 SQUARE FEET OF ZONING FLOOR AREA.

| | | |
|-----|-------------------------|------------|
| 1 | ULURP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |

FX FOWLE
FX FOWLE ARCHITECTS, LLP 12 WEST 57TH STREET, NEW YORK, NY 10019 TEL: 212 692 1200 FAX: 212 692 1201

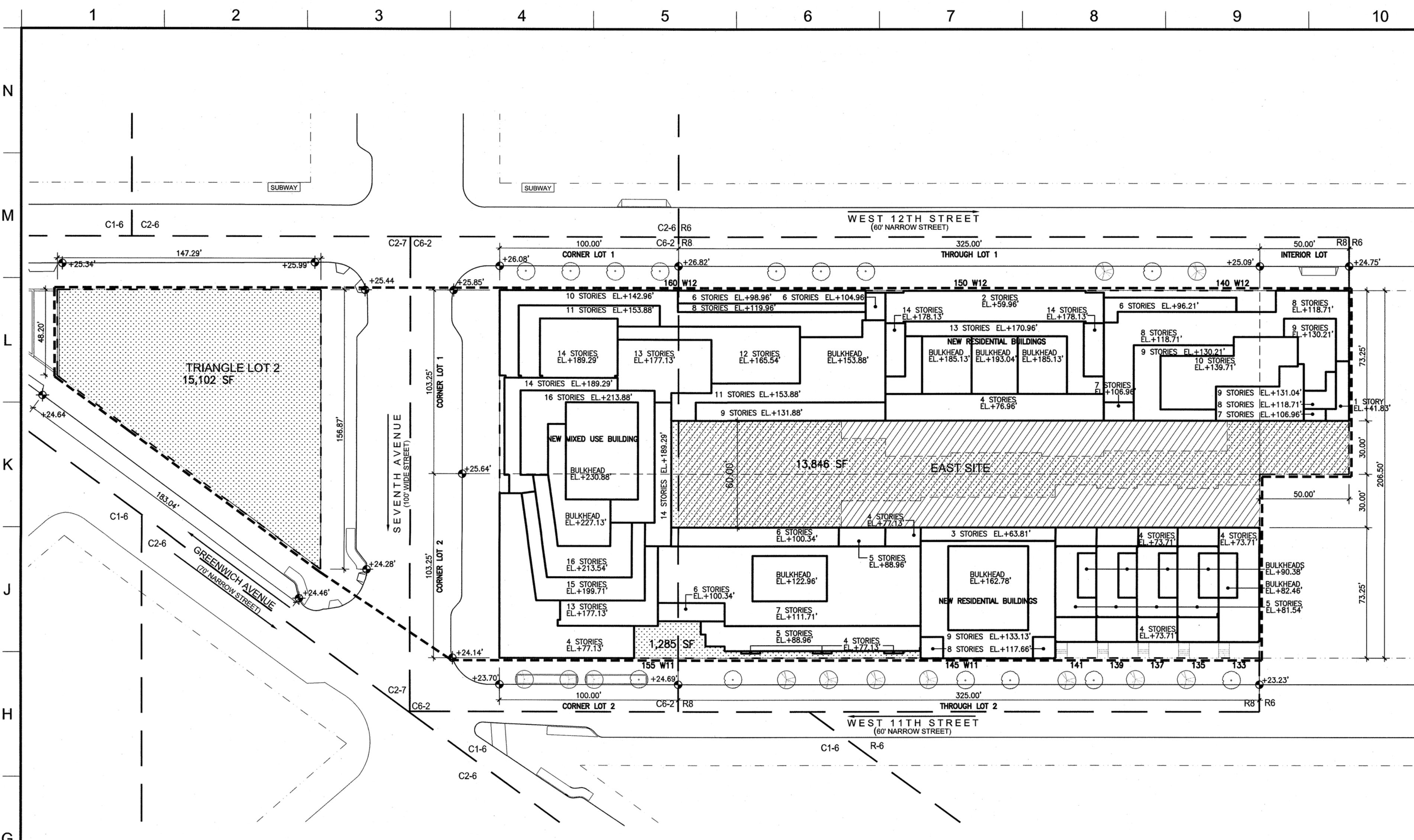
RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

DRAWING TITLE:
ATTACHMENT #2
PROPOSED LARGE-SCALE GENERAL DEVELOPMENT SITE PLAN

Drawn: STS Date: _____
 Checked: WPC Scale: AS NOTED
 Reviewed: AR Project No.: 07009

Seal: _____
 State of New York
 Registered Architect
 Daniel J. Kaprielian
 Drawing No.: _____

1 ZONING ENVELOPE & SITE PLAN
 SCALE: 1" = 30'



1 ZONING SITE PLAN & OPEN SPACE
SCALE: 1"=30'

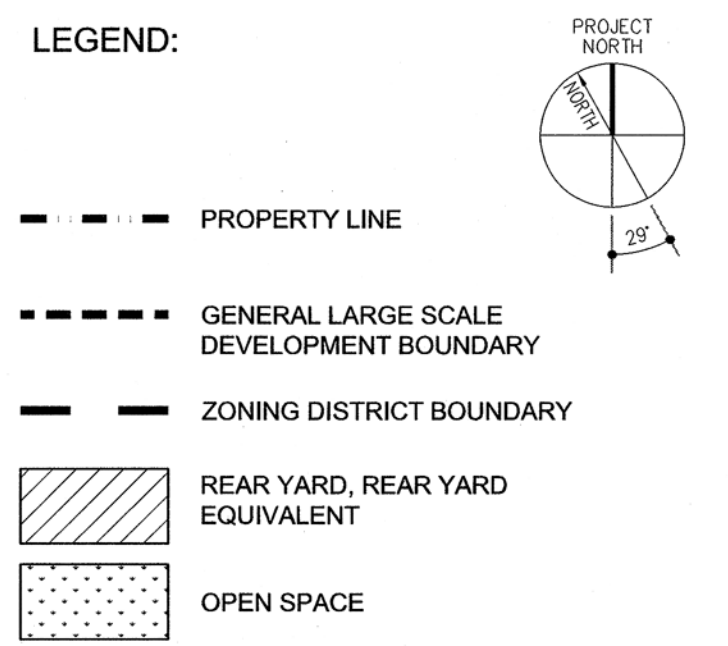
| AVERAGE CURB LEVEL CALCULATIONS | | | | Average Curb Level | Lot Coverage | Weighted ACL |
|---------------------------------|-------|---------|---------|--------------------|--------------|-------------------------|
| CORNER LOT 1 | 26.08 | + 26.82 | + 25.85 | + 25.64 | = 26.10 FT | 10,057 SF 15% 3.88 FT |
| CORNER LOT 2 | 23.70 | + 24.69 | + 24.14 | + 25.64 | = 24.54 FT | 9,672 SF 14% 3.51 FT |
| THROUGH LOT 1 | 26.82 | + 25.09 | | | = 25.96 FT | 22,995 SF 34% 8.83 FT |
| THROUGH LOT 2 | 24.69 | + 23.23 | | | = 23.96 FT | 21,325 SF 32% 7.56 FT |
| INTERIOR LOT | 25.09 | + 24.75 | | | = 24.92 FT | 3,555 SF 5% 1.31 FT |
| | | | | | | 67,604 SF 100% 25.09 FT |

LIST OF REQUIRED ACTIONS

- Zoning text amendment to 74-743(a)(4) to make ZR section 74-743 applicable in Community District 2 in Manhattan
- GLSD Special Permit 74-743 to permit:
 - 74-743(a)(1) distribution of total required open space without regard for zoning lot lines or district boundaries
 - 74-743(a)(2) location of buildings without regard to applicable courts, front height and setback and rear yard setback regulations
 - 74-743(a)(4) (as amended) maximum floor area ratio without regard for height factor or open space ratio... [and] to allow a minimum of 50% of the required open space at the maximum FAR
- GLSD Special Permit 74-744(b) to permit residential and non-residential uses to be arranged within the C6-2 portion of the GLSD without regard for location regulations of ZR 32-42.
- Special Permit 13-561 to permit 152 space accessory parking garage in the residential development
- Zoning map change from C1-6, C2-6, and R6 to C6-2 and R8

SVCMC RESIDENTIAL ZONING CALCULATIONS
Address: 1 Seventh Ave & 76 Greenwich Ave, New York, NY
GLSD lots: East Site Triangle Lot 2
Block: 607 617
Lot: 1 p/o 1
Greenwich Village Historic District
Community District 2

| ZR Section | East Site | Triangle Lot 2 | GLSD Total | Notes |
|-------------------------------------|--|--|--|--|
| 1. ZONING DISTRICT | C6-2 (100') & R8 | C2-7 | C6-2 (100') & R8, C2-7 | |
| 2. LOT AREA | 20,650 22,275 92,925 | 15,102 15,102 15,102 | 20,650 72,275 15,102 108,027 | |
| 3. USES PERMITTED | UG 1-12 UG 1-4 | UG 1-9, 14 | UG 1-12 UG 1-4 UG 1-9, 14 | |
| 4. USES PROPOSED | UG 2, 4, 6 UG 2, accessory parking* | UG 2/open space | UG 2, 4, 6 UG 2, accessory prkg* UG 2/open space | See Required Actions #4 * Pursuant to Special Permit 13-561 |
| 5. SUPPLEMENTARY USE | Commercial uses may only be located on a story below residential use Professional offices to be located on 3rd floor, on the same floor and a story above residential use* | | | Does not comply See Required Action #3; dwg Z-12 * Pursuant to Special Permit 74-744(b) |
| 6. FLOOR AREA PERMITTED | C6-2: 6.02 R8: 6.02 C2-7: 7.52 | R8: 6.02 C2-7: 7.52 | C6-2: 6.02 R8: 6.02 C2-7: 7.52 | See Required Actions #1, #2 |
| 7. FLOOR AREA PROPOSED | Residential: 559,409 Community facility: 10,861 Commercial (a)(b): 20,390 Maximum: 590,660 | Triangle Lot 2 (n/a) | GLSD Total: 559,409 SF 10,861 SF 20,390 SF 590,660 SF | See Required Actions #1, #2 |
| 8. DWELLING UNITS (DU) | Max FA permitted: 604,013 CFacility proposed: (10,861) Commercial proposed: (20,390) Net FA available: 572,762 Max residential FA: 559,409 Factor: 740 | Triangle Lot 2: 151,020 | GLSD Total: 755,033 (10,861) (20,390) 723,782 672,976 740 | Complies |
| 9. OPEN SPACE | 6.02 FAR lowest OSR = 10.7 559,409 SF x 10.7/100 = 59,857 559,409 SF x 35/100 = 29,928 at street: 1,285 at court: 13,846 | Triangle Lot 2: n/a | GLSD Total: 29,928 30,233 | Does not comply See Required Actions #1, #2 See dwg. Z-11, detail 1 * Pursuant to Special Permit 74-743(a)(4) ** Partially distributed off East Site pursuant to Special Permit 74-743(a)(1) |
| 10. YARDS (RESIDENTIAL) | Side yard: not required, if provided min. 8' Rear yard: 30' Rear yard equivalent: (a) 60' midway (or within 5') Blockfront: not required (first 100') | Triangle Lot 2: not required, if provided min. 8' 30' (a) 60' midway (or within 5') not required (first 100') | GLSD Total: 755,033 (10,861) (20,390) 723,782 672,976 | See dwg. Z-11, detail 1 Complies Complies Complies |
| 11. HEIGHT & SETBACK | Narrow St: 20' Wide St: 15' Max height front wall: 85' (9 sty) Sky exposure plane: 2.7:1 | Triangle Lot 2: Narrow St: 20' Wide St: 15' Max height front wall: 85' (9 sty) Sky exposure plane: 2.7:1 | GLSD Total: 755,033 (10,861) (20,390) 723,782 672,976 | Does not comply See Required Actions #2 See dwgs. Z-21, Z-22 * Pursuant to Special Permit 74-743(a)(2) |
| 12. OUTER COURT & RECESS | Narrow outer court Permitted: If less than 30' wide then width shall be min 1.33 times the depth Proposed: See dwg. Z-20C Outer court recess Permitted: Width shall be min 2 times depth of the recess to max 60' Proposed: See dwg. Z-20C* | Triangle Lot 2: n/a | GLSD Total: 755,033 (10,861) (20,390) 723,782 672,976 | Complies Does not comply See Required Action #2; dwg Z-20C * Pursuant to Special Permit 74-743(a)(2) |
| 13. PARKING | Residential: 450 DU x 20% = 90.00 CFacility+ Commercial: 31,251 SF/4,000 SF = 7.81 Total accessory parking spaces permitted: 97.81 Total accessory parking spaces proposed: 152* | Triangle Lot 2: none | GLSD Total: none 98 152* | Does not comply See Required Action #4 See dwg. Z-40 * Pursuant to Special Permit 13-561 |
| 14. LOADING | Loading required: none for 20,390 SF commercial Loading proposed: none | Triangle Lot 2: none | GLSD Total: none | Complies |



- NOTES:**
- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
 - LANDMARKS PRESERVATION COMMISSION (LPC) APPROVED ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1) WHICH IS 2.45' ABOVE AVERAGE CURB LEVEL (ACL) OF EL. +25.09', AND ARE TAKEN TO TOP OF MASONRY PARAPET AND DO NOT INCLUDE GLASS OR PIPE RAILINGS.
 - DEVELOPMENT SHALL BE IN ACCORDANCE WITH ANY CERTIFICATE OF APPROPRIATENESS OR OTHER PERMIT ISSUED BY THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION (LPC) UNDER LPC #084934 OR ANY SUBSEQUENT APPLICATION.
 - PERMITTED OBSTRUCTIONS PER ZONING REGULATIONS MAY EXCEED DEVELOPMENT ENVELOPE.
 - LOCATION OF BULKHEADS ILLUSTRATIVE AND SUBJECT TO CHANGE.
 - MINIMUM OF TWO GROUND FLOOR RETAIL ESTABLISHMENTS
 - BUILDING MASSING DOES NOT DEPICT THE EXACT CONDITIONS APPROVED BY THE LPC ON JULY 07, 2009 AND ANY CHANGE TO CONDITIONS APPROVED ON THAT DATE IS SUBJECT TO FURTHER LPC APPROVAL.
 - DEVELOPMENT MAY OCCUR ANYWHERE WITHIN THE ENVELOPE DEPICTED IN DRAWINGS Z-20A TO Z-23 AS DETERMINED BY DEVELOPER, SUBJECT TO THE FURTHER ALLOWANCES AND RESTRICTION SET FORTH IN THESE NOTES.
 - MINOR CHANGES IN CONFIGURATION THAT DO NOT RESULT IN FURTHER ENCROACHMENTS OF APPLICABLE BULK CONTROLS SHALL BE PERMITTED, PROVIDED THAT (i) SUCH CHANGES ARE APPROVED BY THE LPC, AND (ii) SUCH CHANGES DO NOT RESULT IN AN INCREASE IN THE OVERALL FLOOR AREA ABOVE 590,660 SQUARE FEET OF ZONING FLOOR AREA.

1 ULURP CERTIFICATION 08.10.2011
NO. REVISIONS | SUBMISSIONS DATE

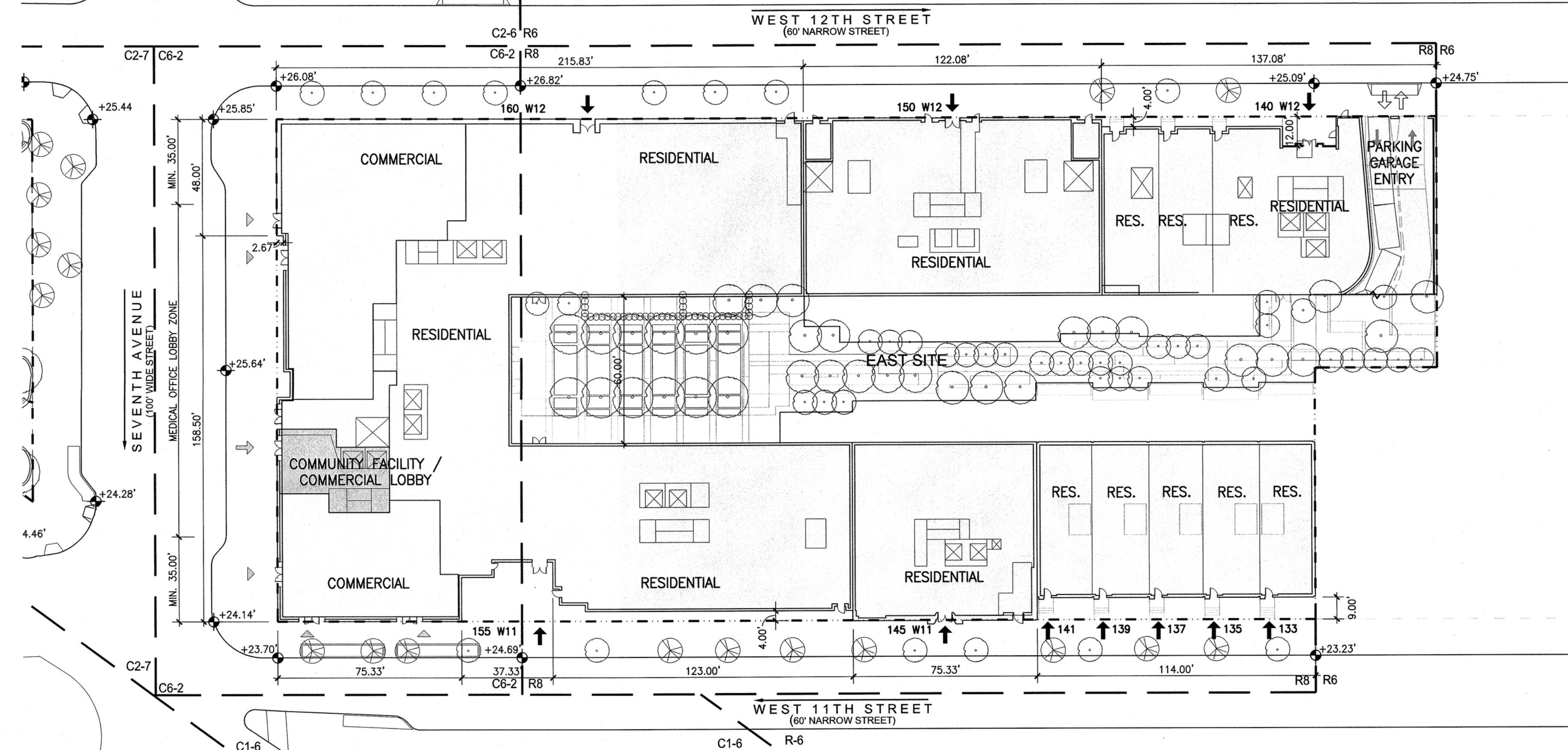


RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT

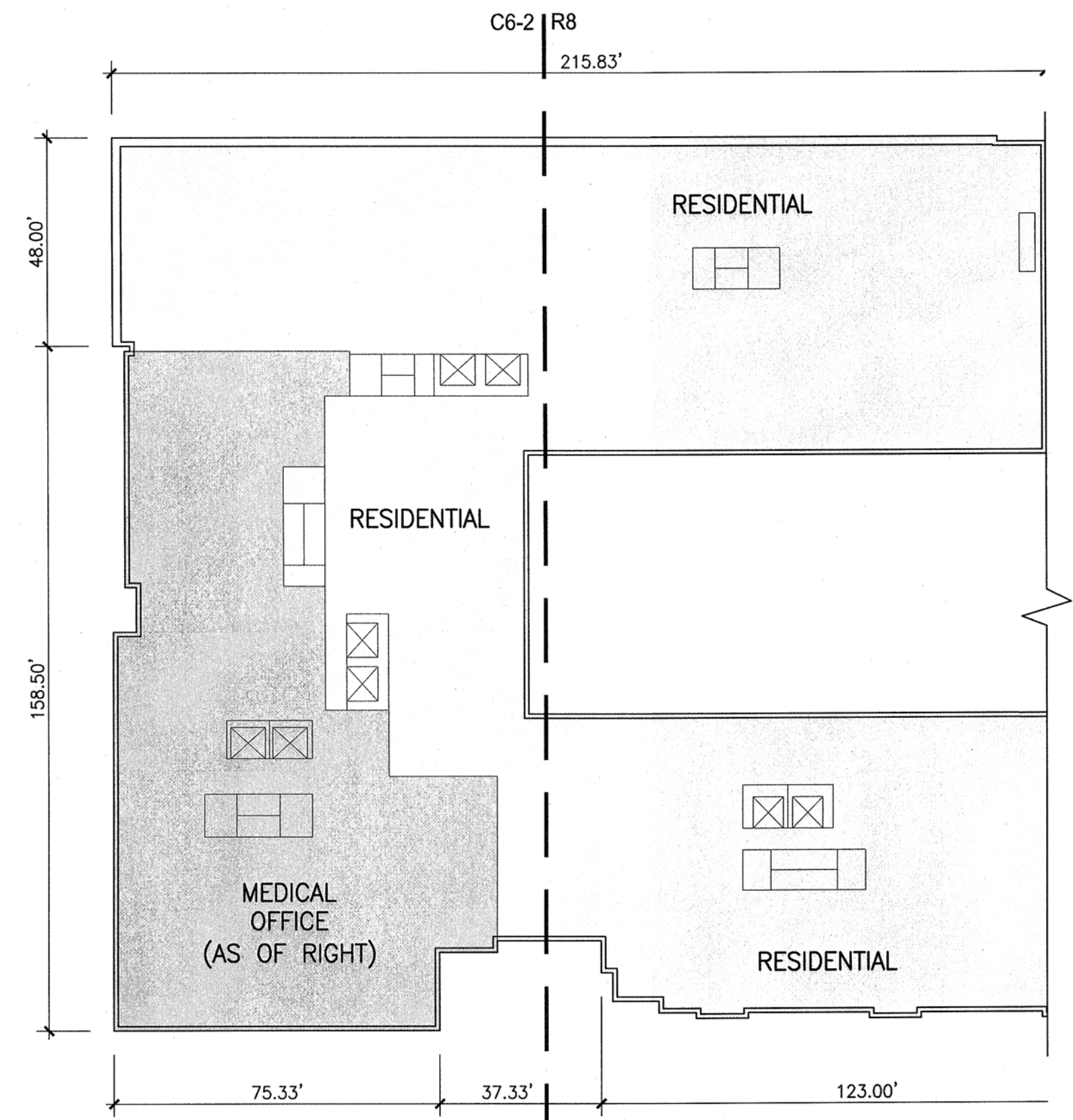
170 West 12th Street | New York NY 10011

**ATTACHMENT #2 & #4
ZONING CALCULATIONS**

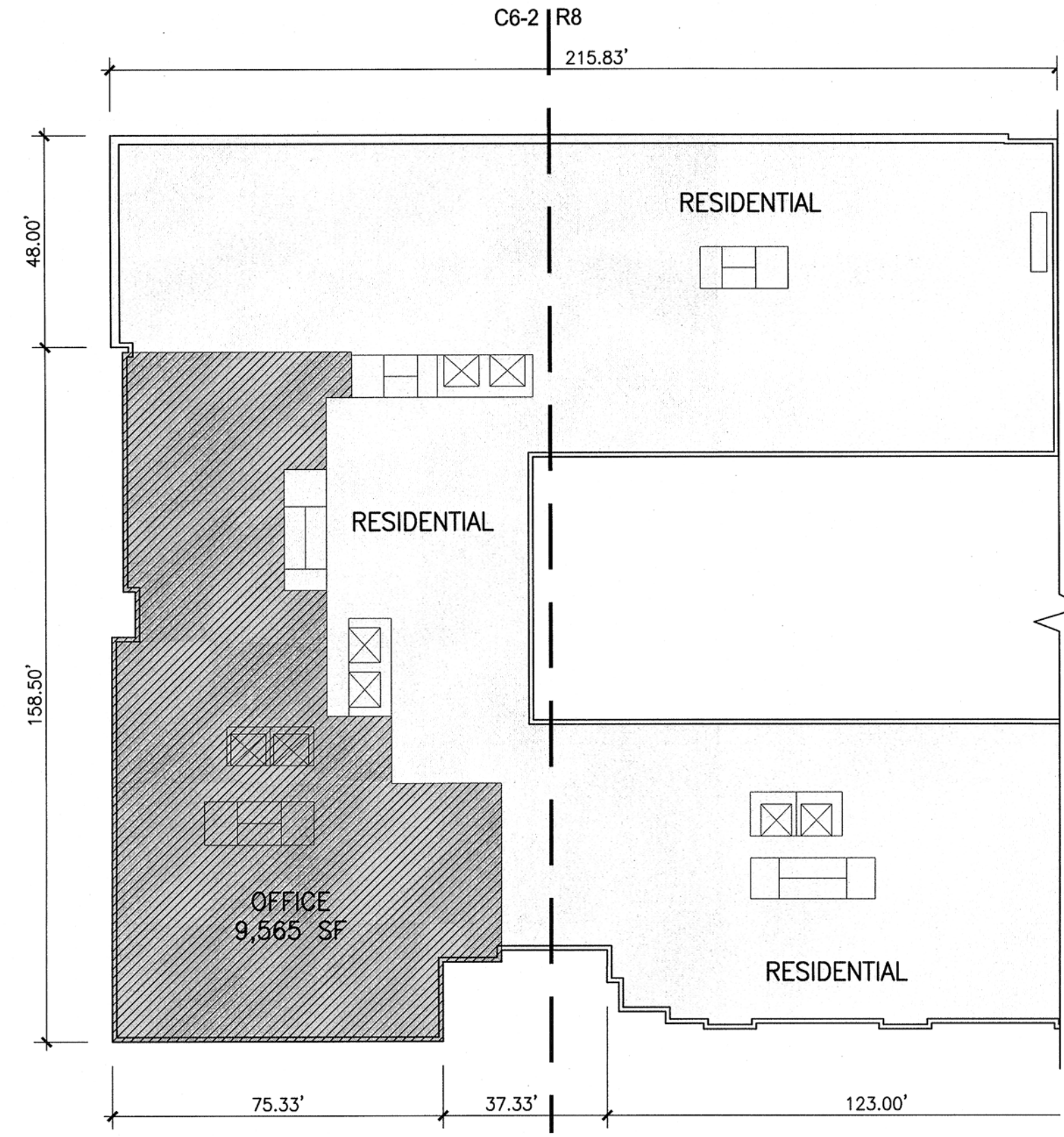
Drawn: _____ Date: _____
Checked: _____ Scale: _____
Reviewed: _____ Project No.: _____
Seal: _____ Cad File: _____
Drawing No.: **Z-11**



1 GROUND FLOOR PLAN
SCALE: 1" = 30'



2 PARTIAL 2ND FLOOR PLAN (AS-OF-RIGHT)
SCALE: 1" = 30'



3 PARTIAL 3RD FLOOR PLAN
SCALE: 1" = 30'

- LEGEND:**
- - - PROPERTY LINE
 - - - ZONING DISTRICT BOUNDARY
 - RESIDENTIAL + COMMERCIAL
 - OFFICES
 - THIRD FLOOR AREA SUBJECT TO SPECIAL PERMIT 74-7440 TO PERMIT RESIDENTIAL AND NON-RESIDENTIAL USES TO BE ARRANGED WITHIN THE C6-2 DISTRICT WITHOUT REGARD FOR LOCATION REGULATIONS OF 24-32-42.
 - AREA REQUESTING WAIVER
 - MAIN RESIDENTIAL ENTRIES
 - OFFICE/ COMMUNITY FACILITY ENTRY
 - COMMERCIAL / RETAIL ENTRY
 - VEHICULAR ACCESS
 - EXISTING TREE
 - PROPOSED TREE

- NOTES:**
1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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 3. DEVELOPMENT SHALL BE IN ACCORDANCE WITH ANY CERTIFICATE OF APPROPRIATENESS OR OTHER PERMIT ISSUED BY THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION (LPC) UNDER LPC #084934 OR ANY SUBSEQUENT APPLICATION.
 4. BUILDING INTERIOR LAYOUTS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE.
 5. LOCATION OF BULKHEADS ILLUSTRATIVE AND SUBJECT TO CHANGE.
 6. ADDITIONAL ENTRANCES FOR GROUND FLOOR RETAIL AND SECONDARY ENTRY AND EGRESS PERMITTED.
 7. DEMISING LINE BETWEEN RESIDENTIAL AND MEDICAL OFFICE USE AND COMMERCIAL AND MEDICAL OFFICE USE MAY CHANGE PROVIDED THAT AREA DEVOTED TO MEDICAL OFFICES MAY NOT EXCEED A COMBINED TOTAL OF 31,251 ZSF.
 8. BUILDING MASSING DOES NOT DEPICT THE EXACT CONDITIONS APPROVED BY THE LPC ON JULY 07, 2009 AND ANY CHANGE TO CONDITIONS APPROVED ON THAT DATE IS SUBJECT TO FURTHER LPC APPROVAL.

| | | |
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| 1 | ULURP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |



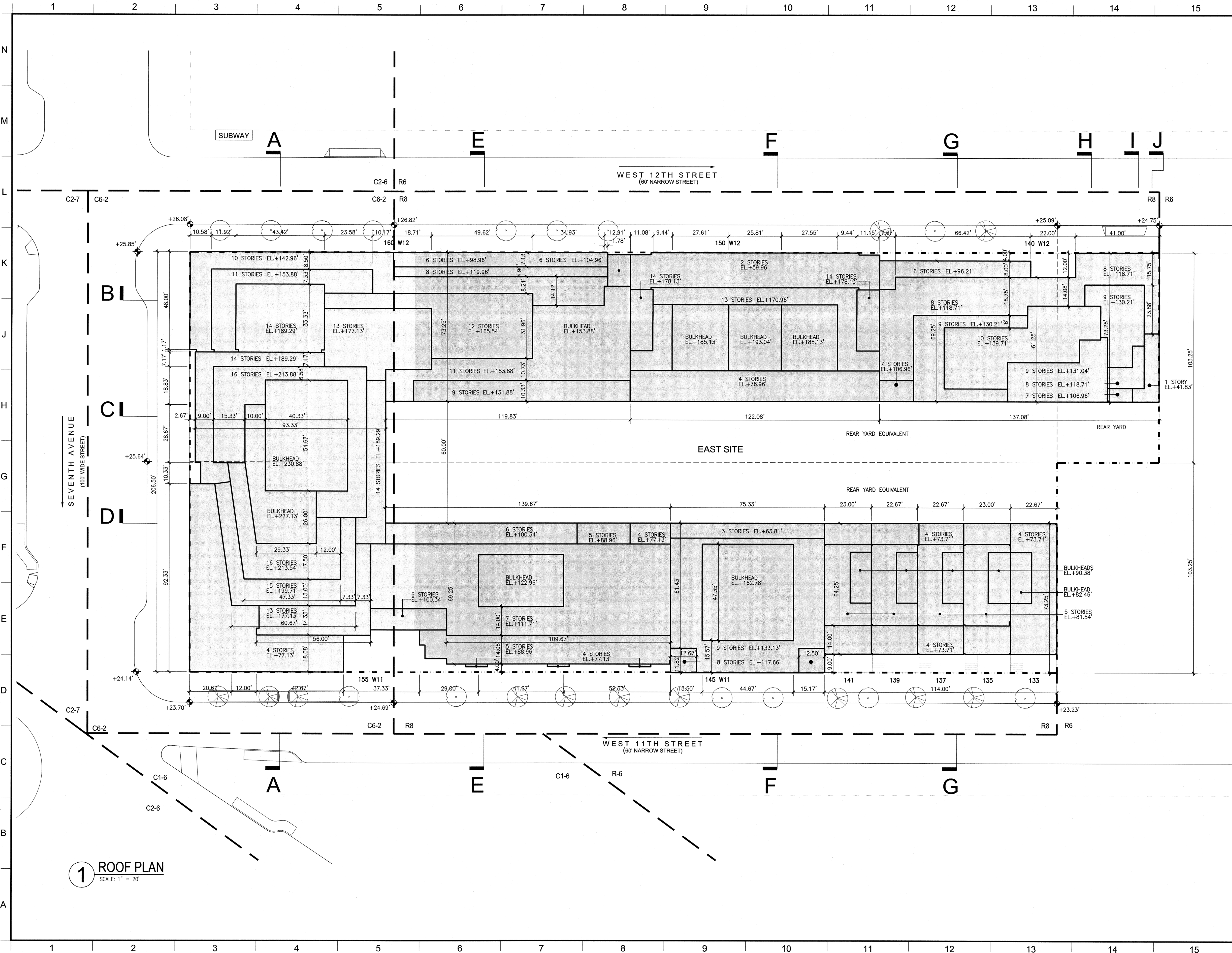
RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:
ATTACHMENT #6
FLOORS 1, 2, 3 PLANS
USE WAIVER

| | |
|------------------|-----------------------|
| Drawn: MJC | Date: |
| Checked: AR | Scale: AS NOTED |
| Reviewed: DJK | Project No.: 07009 |
| Seal: | Cad File: |

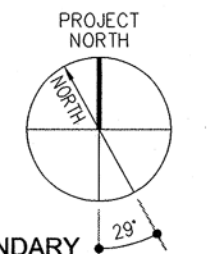


Z-12



LEGEND:

- PROPERTY LINE
- - - ZONING DISTRICT BOUNDARY
- ▭ PROPOSED DEVELOPMENT ZONING ENVELOPE



- NOTES:**
- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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 - PERMITTED OBSTRUCTIONS PER ZONING RESOLUTION MAY EXCEED DEVELOPMENT ENVELOPE.
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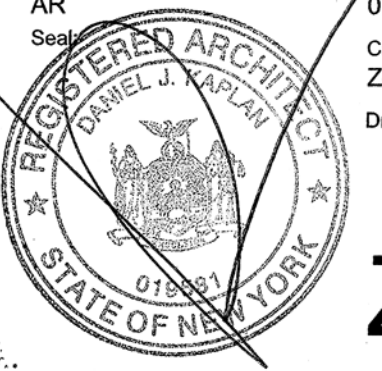
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| 1 | ULURP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |



RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

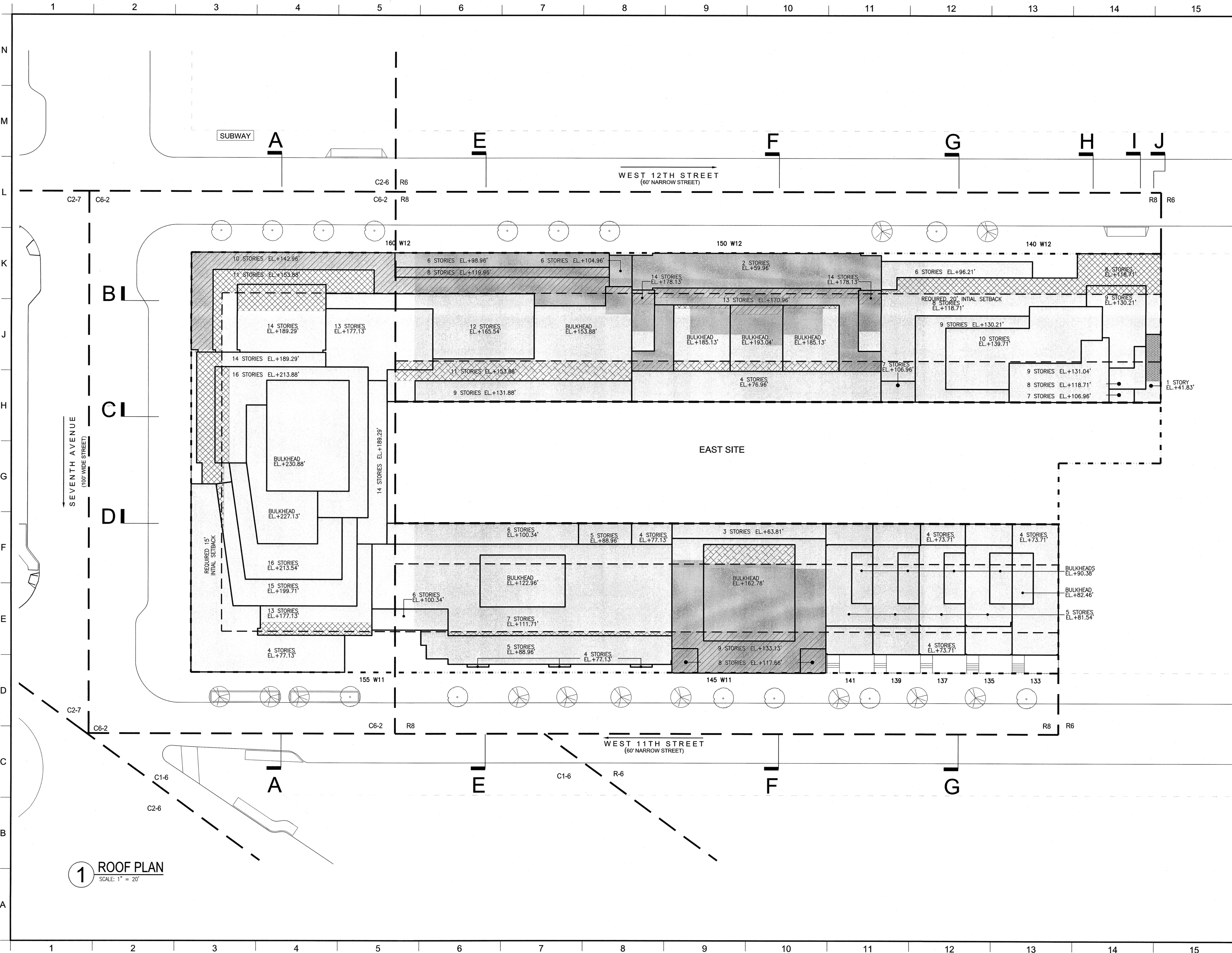
DRAWING TITLE:
ATTACHMENT #5
EAST SITE DIMENSIONED
BUILDING PLAN

| | | | |
|-----------|-----|--------------|----------|
| Drawn: | JCL | Date: | 02-07-11 |
| Checked: | STS | Scale: | AS NOTED |
| Reviewed: | AR | Project No.: | 07009 |
| Seal: | | Cad File: | Z-20.dwg |
| | | Drawing No.: | |



Z-20A

1 ROOF PLAN
 SCALE: 1" = 20'



- LEGEND:**
- PROPERTY LINE
 - ZONING DISTRICT BOUNDARY
 - EXISTING BUILDING ENVELOPE
 - NEW DEVELOPMENT ENVELOPE
 - NEW ENCROACHMENT (FRONT HEIGHT AND SETBACK) WAIVER PER 74-73(a)(2) FOR NEW ENCROACHMENTS
 - NEW ENCROACHMENT (REAR HEIGHT AND SETBACK) WAIVER PER 74-73(a)(2) FOR NEW ENCROACHMENTS
 - EXISTING LEGAL NON-COMPLIANCE (FRONT HEIGHT AND SETBACK) NOT SUBJECT TO HEIGHT AND SETBACK SPECIAL PERMIT
 - EXISTING LEGAL NON-COMPLIANCE (REAR HEIGHT AND SETBACK) NOT SUBJECT TO HEIGHT AND SETBACK SPECIAL PERMIT
 - OUTER COURT RECESS WAIVER WAIVER PER 74-73(a)(2) FOR COURTS

- NOTES:**
1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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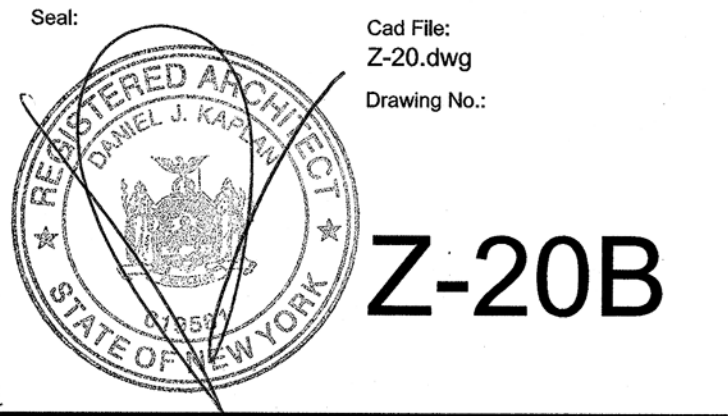
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| 1 | ULRP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |

FX FOWLE
ARCHITECTS LLP 10 WEST 57th STREET NEW YORK, NY 10019 TEL: 212.850.7200 FAX: 212.850.7201 WWW.FXFOWLE.COM

RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

DRAWING TITLE:
ATTACHMENT #5
HEIGHT & SETBACK
ENCROACHMENT DIAGRAMS - PLAN

| | | | |
|-----------|-----|--------------|----------|
| Drawn: | JCL | Date: | 05-22-09 |
| Checked: | MJC | Scale: | AS NOTED |
| Reviewed: | AR | Project No.: | 07009 |
| Seat: | | Cad File: | Z-20.dwg |
| | | Drawing No.: | |

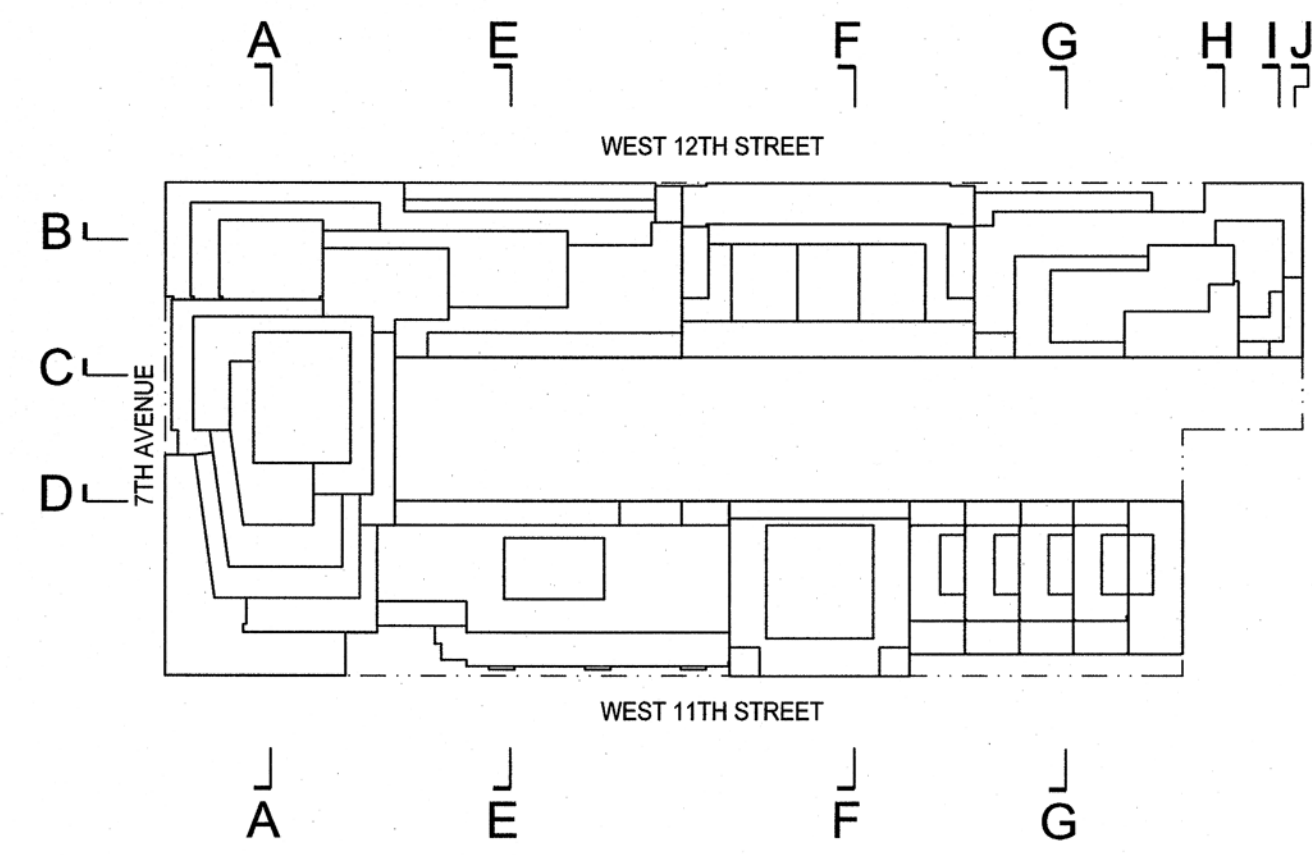


Z-20B

1 ROOF PLAN
 SCALE: 1" = 20'

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

N
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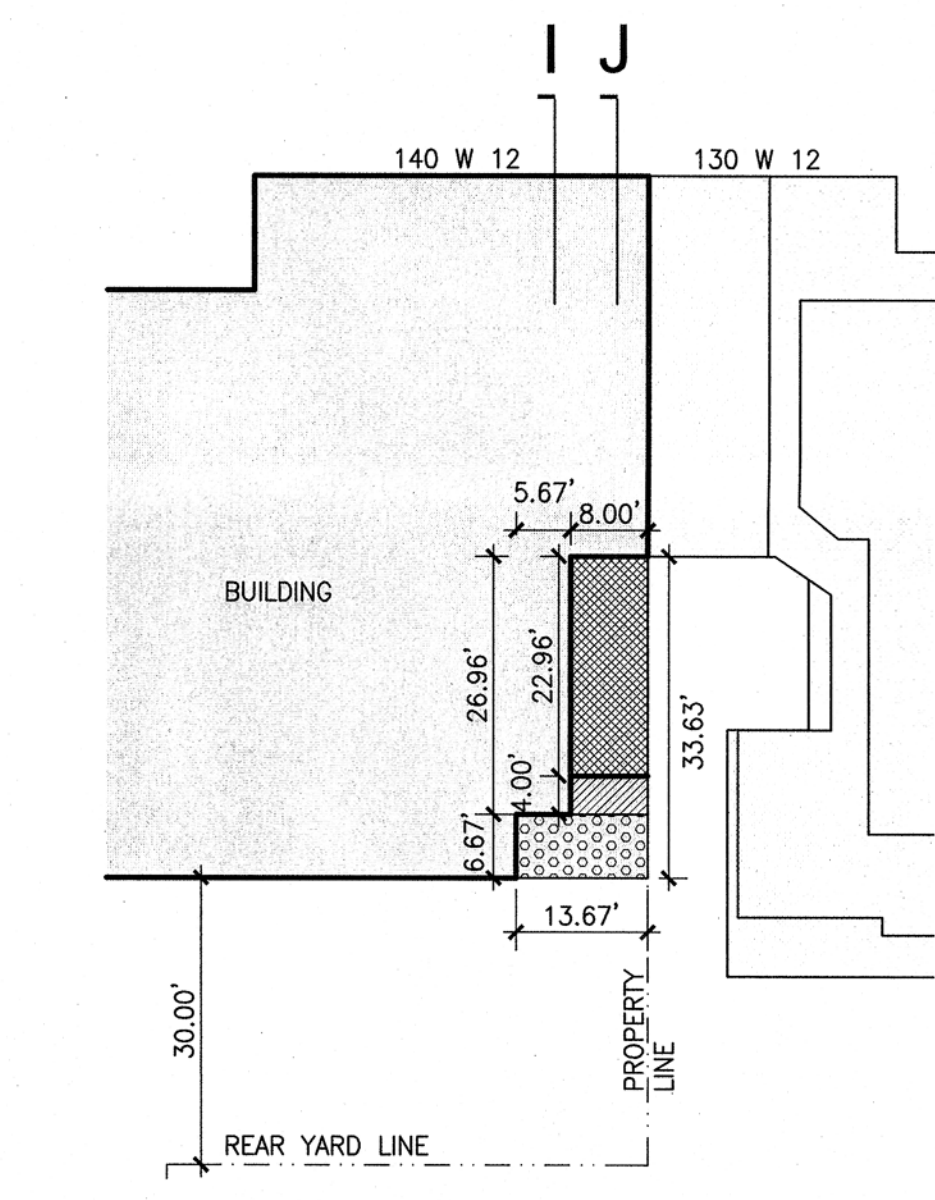


KEY PLAN

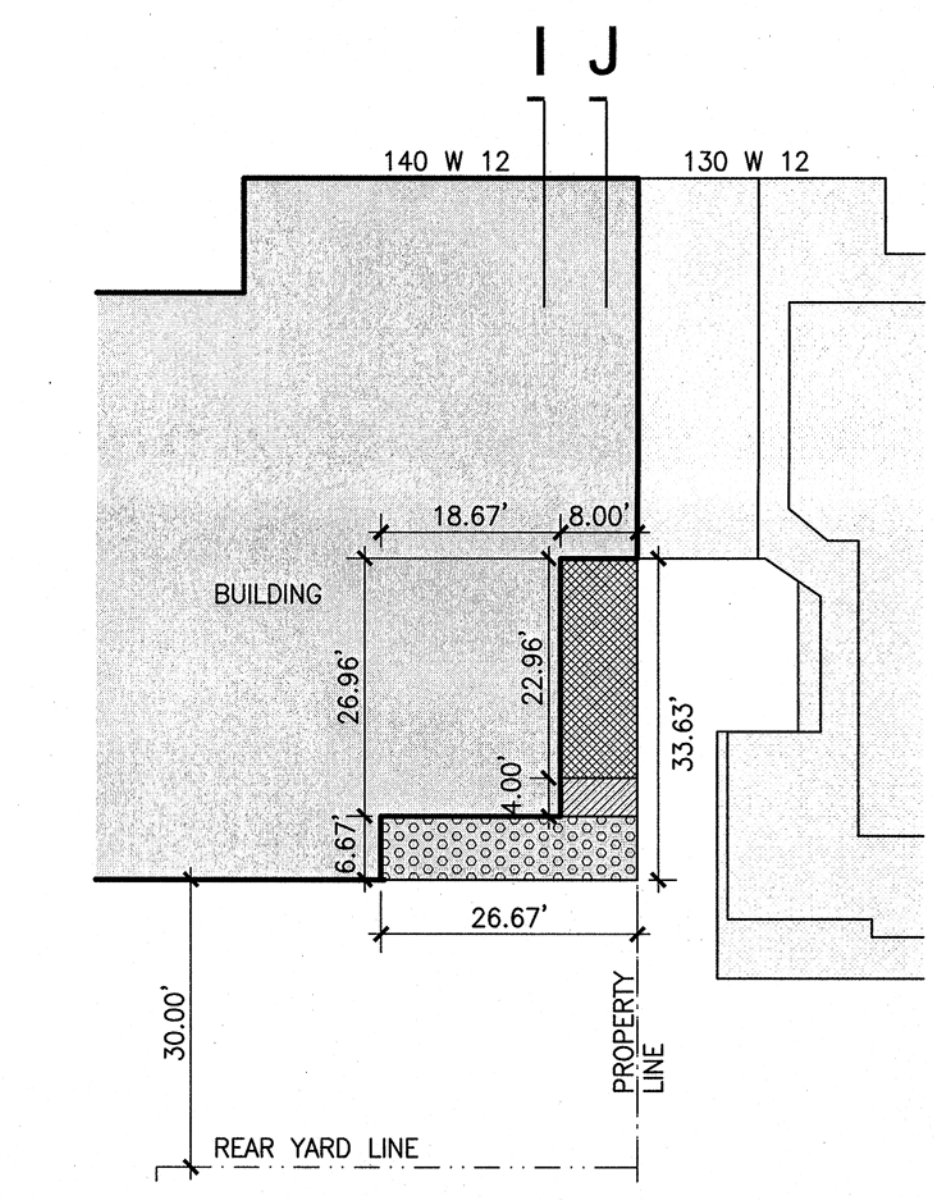
LEGEND:

- PROPERTY LINE
- PROPOSED DEVELOPMENT ZONING ENVELOPE
- NARROW OUTER COURT
- OUTER COURT RECESS
- NON-COMPLYING PORTION OF OUTER COURT RECESS; WAIVER PER 74-743(a)(2)

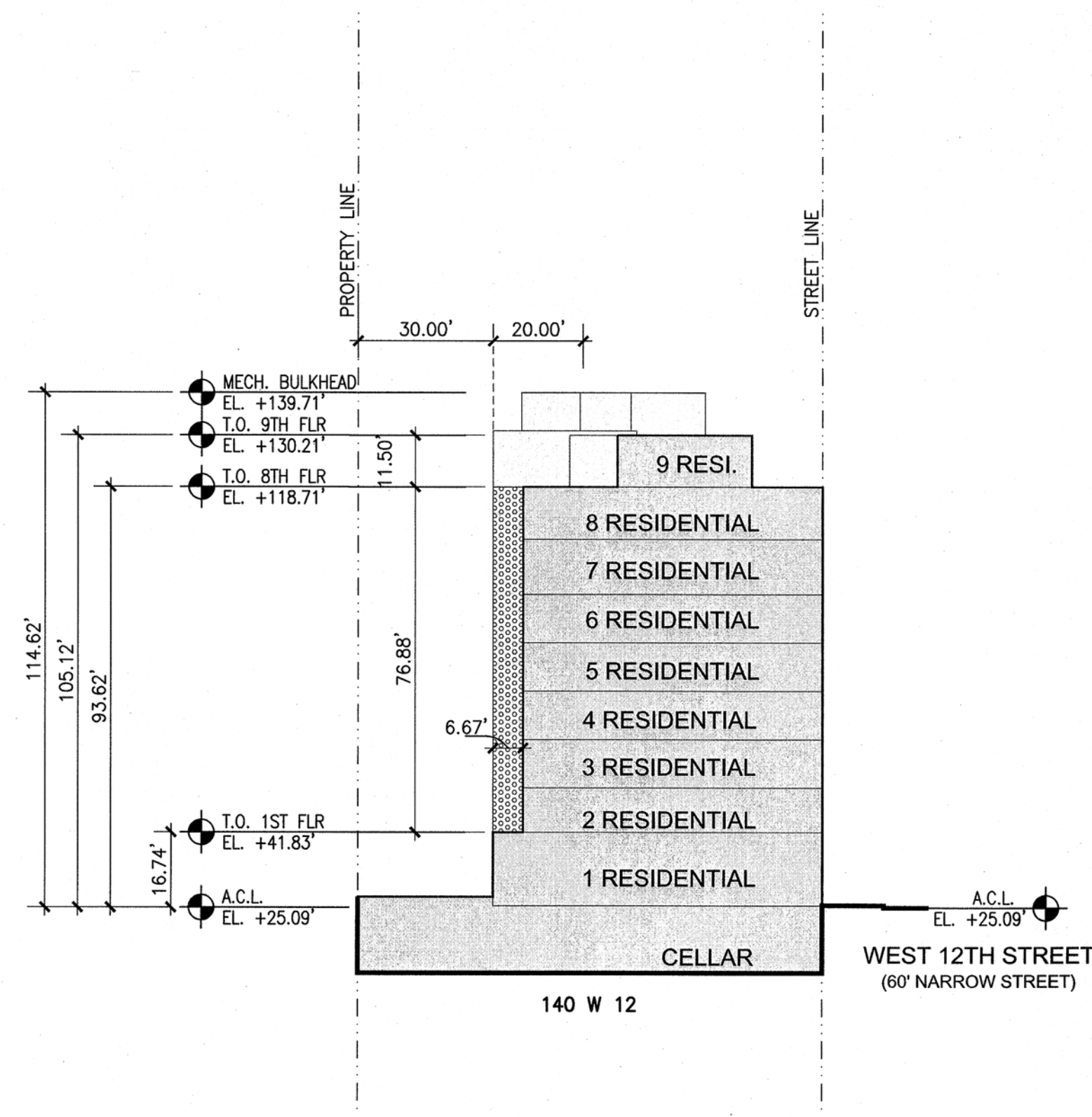
- NOTES:**
1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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 4. PERMITTED OBSTRUCTIONS PER ZONING RESOLUTION MAY EXCEED DEVELOPMENT ENVELOPE.
 5. LOCATION OF BULKHEADS ILLUSTRATIVE AND SUBJECT TO CHANGE.
 6. BUILDING MASSING DOES NOT DEPICT THE EXACT CONDITIONS APPROVED BY THE LPC ON JULY 07, 2009 AND ANY CHANGE TO CONDITIONS APPROVED ON THAT DATE IS SUBJECT TO FURTHER LPC APPROVAL.
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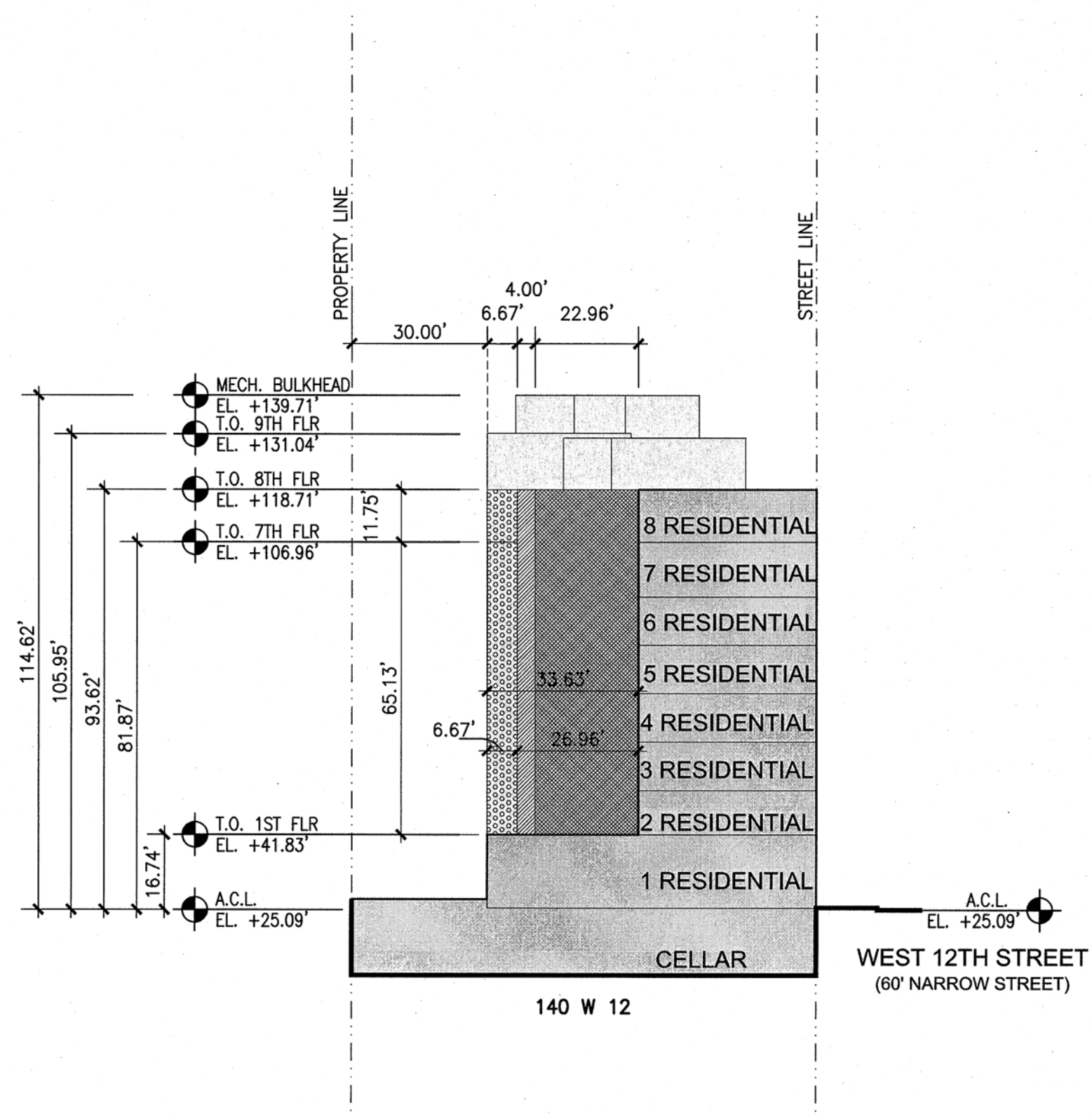
1 2ND-7TH FLOOR PLAN
SCALE: 1" = 20'



2 8TH FLOOR PLAN
SCALE: 1" = 20'



I SECTION DIAGRAM
SCALE: 1" = 30'



J SECTION DIAGRAM
SCALE: 1" = 30'

| | | |
|-----|-------------------------|------------|
| 1 | ULURP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |

FX FOWLE
ARCHITECTS, LLP | 10 WEST 19TH STREET, NEW YORK, NY 10011 | TEL: 212.633.0900 | FAX: 212.633.0901 | WWW.FXFOUWLE.COM

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170 West 12th Street | New York NY 10011

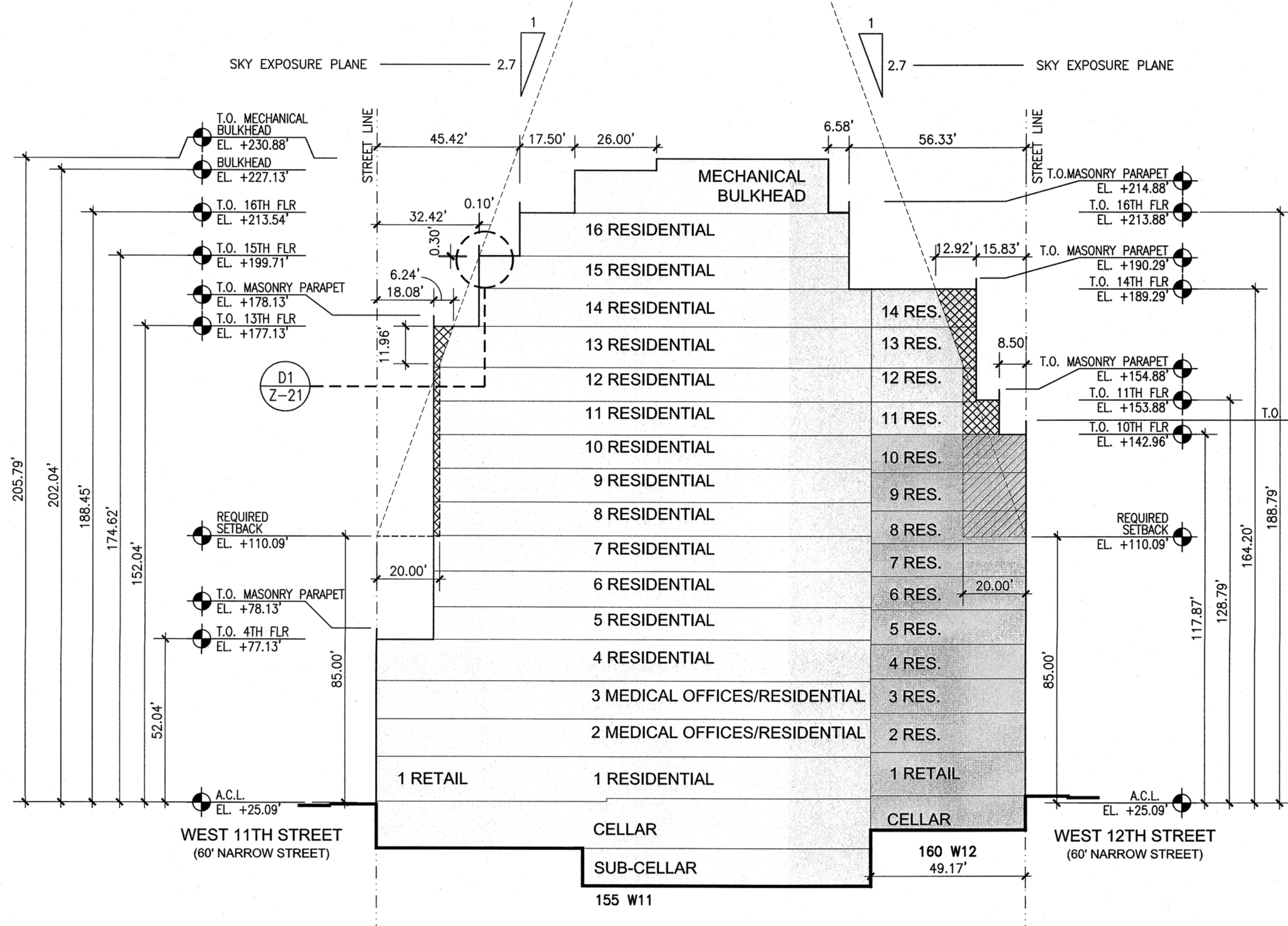
DRAWING TITLE:
ATTACHMENT #5
COURT PLANS AND SECTIONS

| | |
|-----------------|-----------------------|
| Drawn: JCL | Date: 05-22-09 |
| Checked: MJC | Scale: AS NOTED |
| Reviewed: AR | Project No.: 07009 |
| Seal: | Cad File: Z-20.dwg |
| | Drawing No.: |

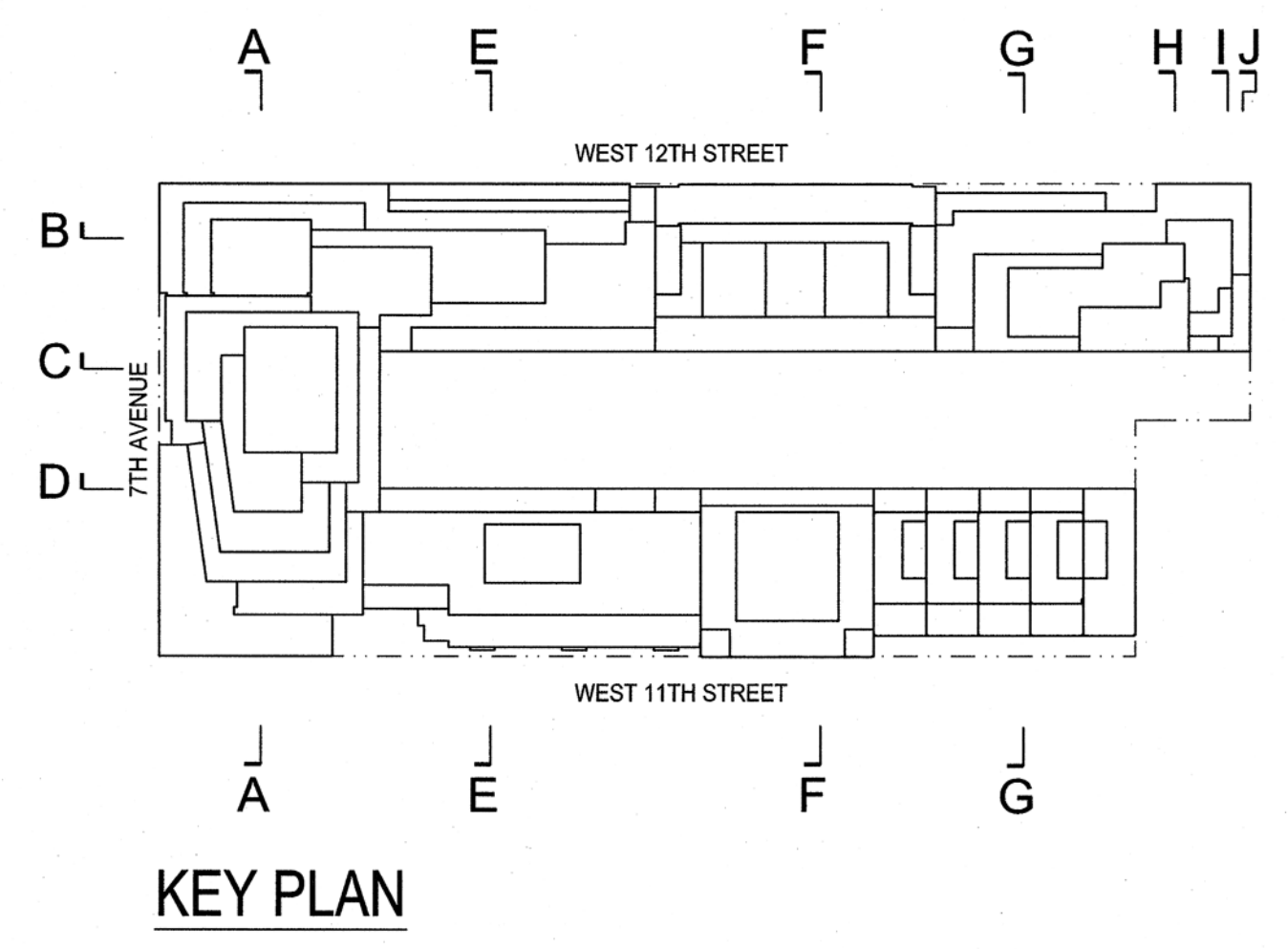
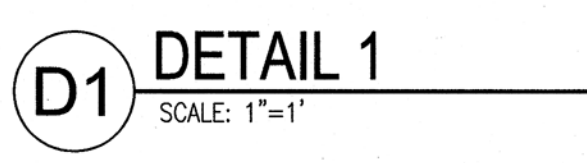


Z-20C

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



A SECTION DIAGRAM
SCALE: 1"=30'



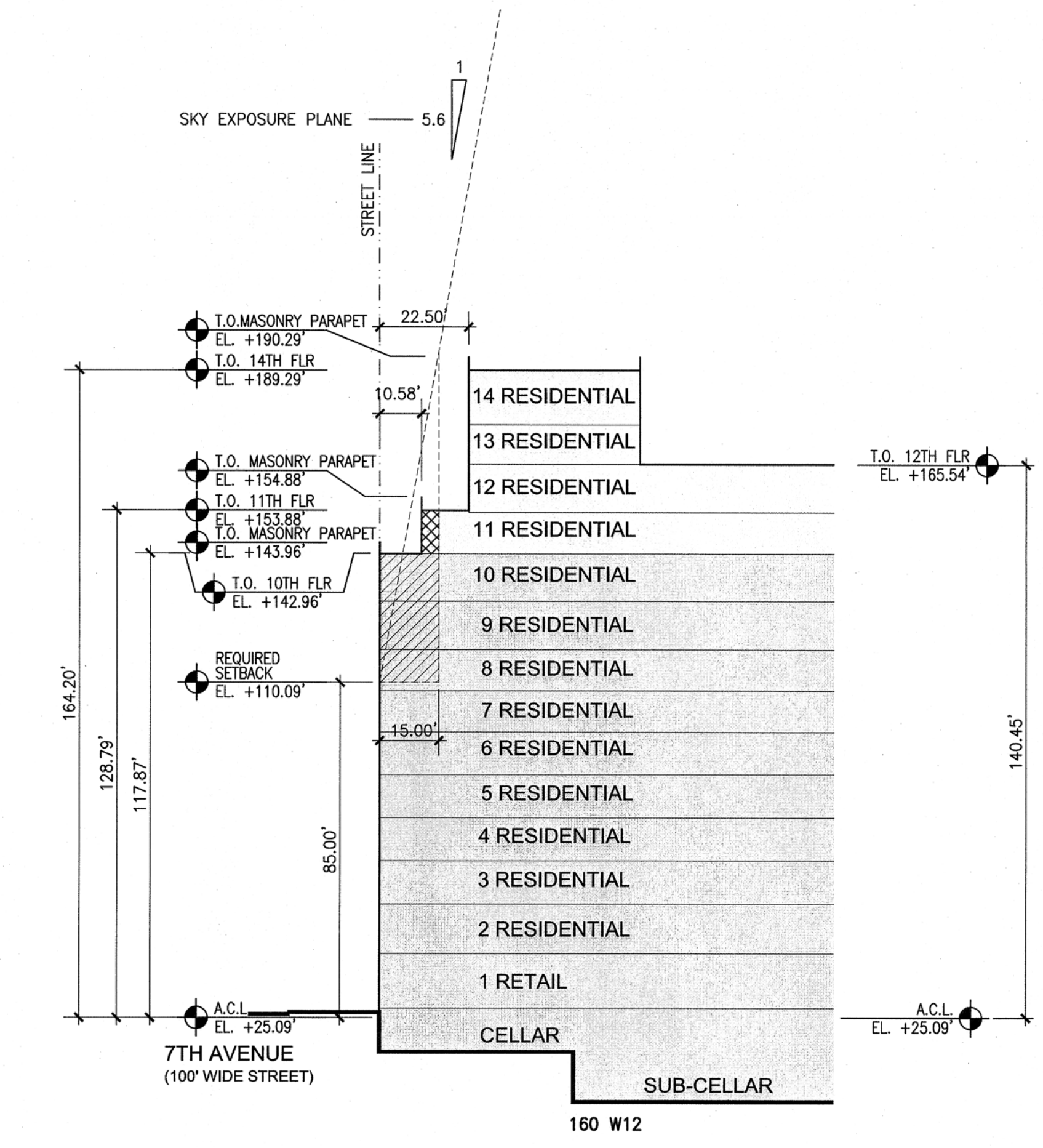
KEY PLAN

LEGEND:

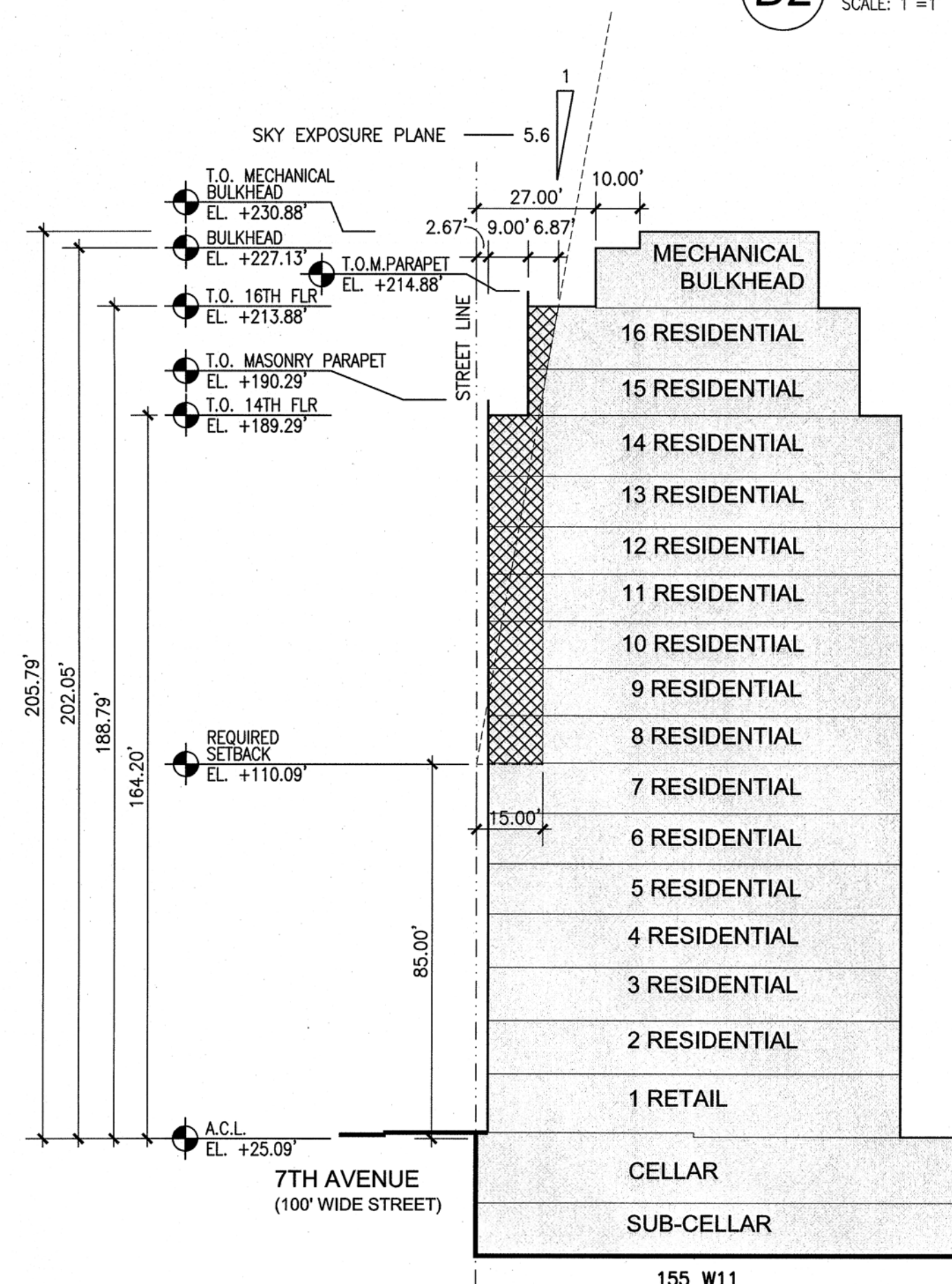
- PROPERTY LINE
- EXISTING BUILDING ENVELOPE
- NEW DEVELOPMENT ENVELOPE
- NEW ENCROACHMENT (FRONT HEIGHT AND SETBACK) WAIVER PER 74-73(a)(2) FOR NEW ENCROACHMENTS
- NEW ENCROACHMENT (REAR HEIGHT AND SETBACK) WAIVER PER 74-73(a)(2) FOR NEW ENCROACHMENTS
- EXISTING LEGAL NON-COMPLIANCE (FRONT HEIGHT AND SETBACK) NOT SUBJECT TO HEIGHT AND SETBACK SPECIAL PERMIT
- EXISTING LEGAL NON-COMPLIANCE (REAR HEIGHT AND SETBACK) NOT SUBJECT TO HEIGHT AND SETBACK SPECIAL PERMIT

NOTES:

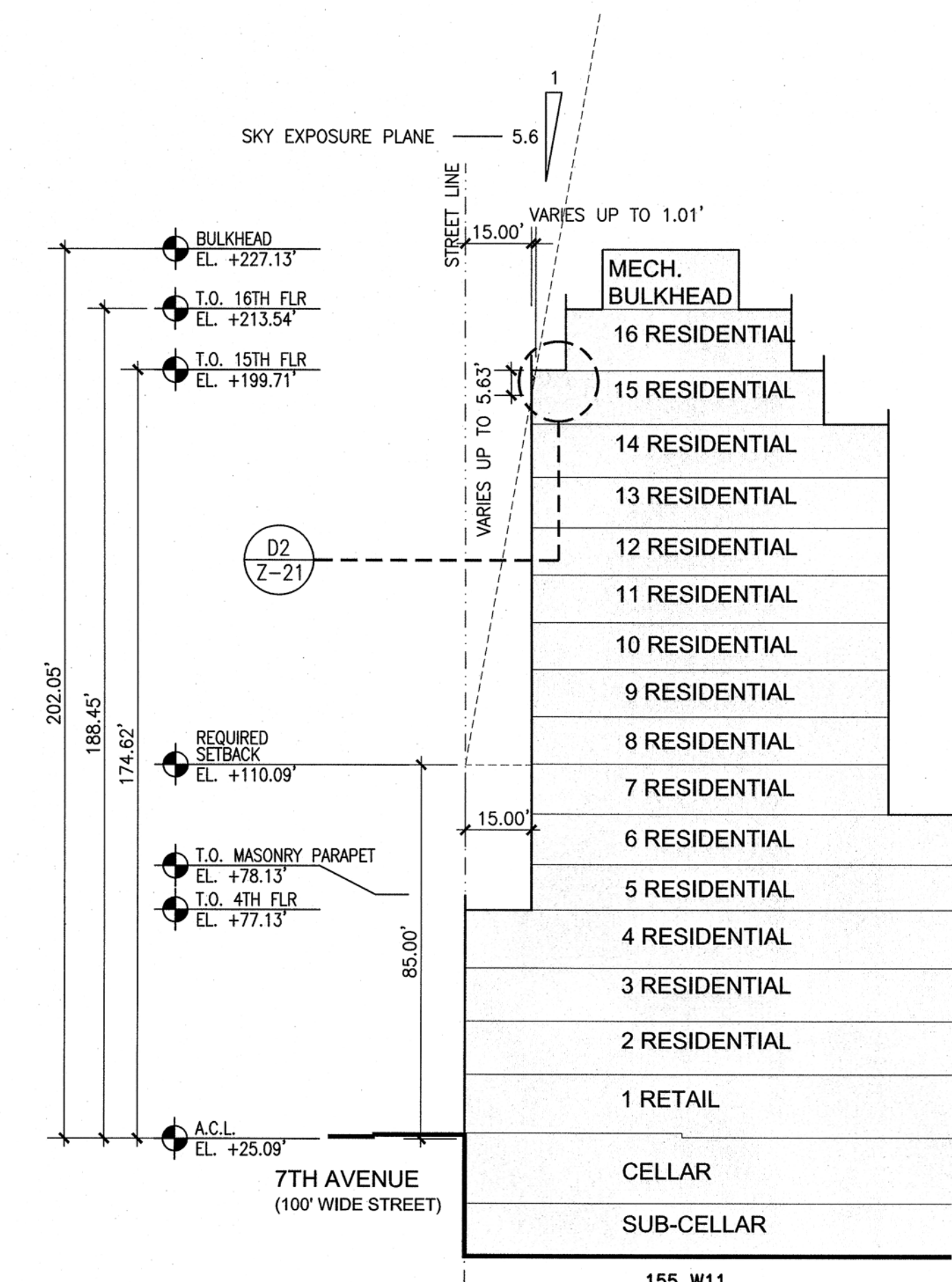
- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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- DEVELOPMENT SHALL BE IN ACCORDANCE WITH ANY CERTIFICATE OF APPROPRIATENESS OR OTHER PERMIT ISSUED BY THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION (LPC) UNDER LPC #084934 OR ANY SUBSEQUENT APPLICATION.
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- LOCATION OF BULKHEADS ILLUSTRATIVE AND SUBJECT TO CHANGE.
- BUILDING MASSING DOES NOT DEPICT THE EXACT CONDITIONS APPROVED BY THE LPC ON JULY 07, 2009 AND ANY CHANGE TO CONDITIONS APPROVED ON THAT DATE IS SUBJECT TO FURTHER LPC APPROVAL.
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- MINOR CHANGES IN CONFIGURATION THAT DO NOT RESULT IN FURTHER ENCROACHMENTS OF APPLICABLE BULK CONTROLS SHALL BE PERMITTED, PROVIDED THAT (i) SUCH CHANGES ARE APPROVED BY THE LPC, AND (ii) SUCH CHANGES DO NOT RESULT IN AN INCREASE IN THE OVERALL FLOOR AREA ABOVE 590,660 SQUARE FEET OF ZONING FLOOR AREA.



B SECTION DIAGRAM
SCALE: 1"=30'



C SECTION DIAGRAM
SCALE: 1"=30'



D SECTION DIAGRAM
SCALE: 1"=30'

| | | |
|-----|-------------------------|------------|
| 1 | ULURP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |

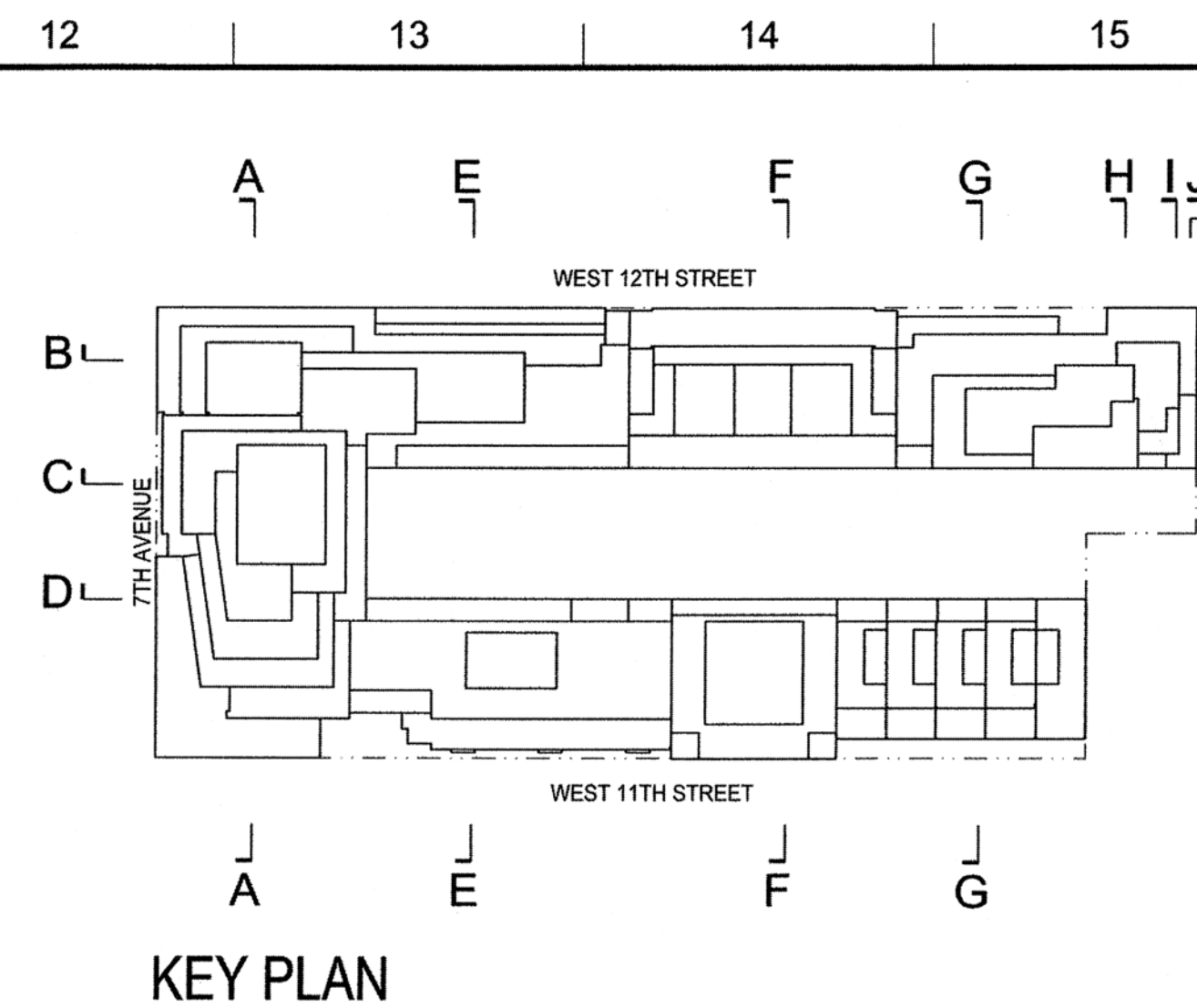
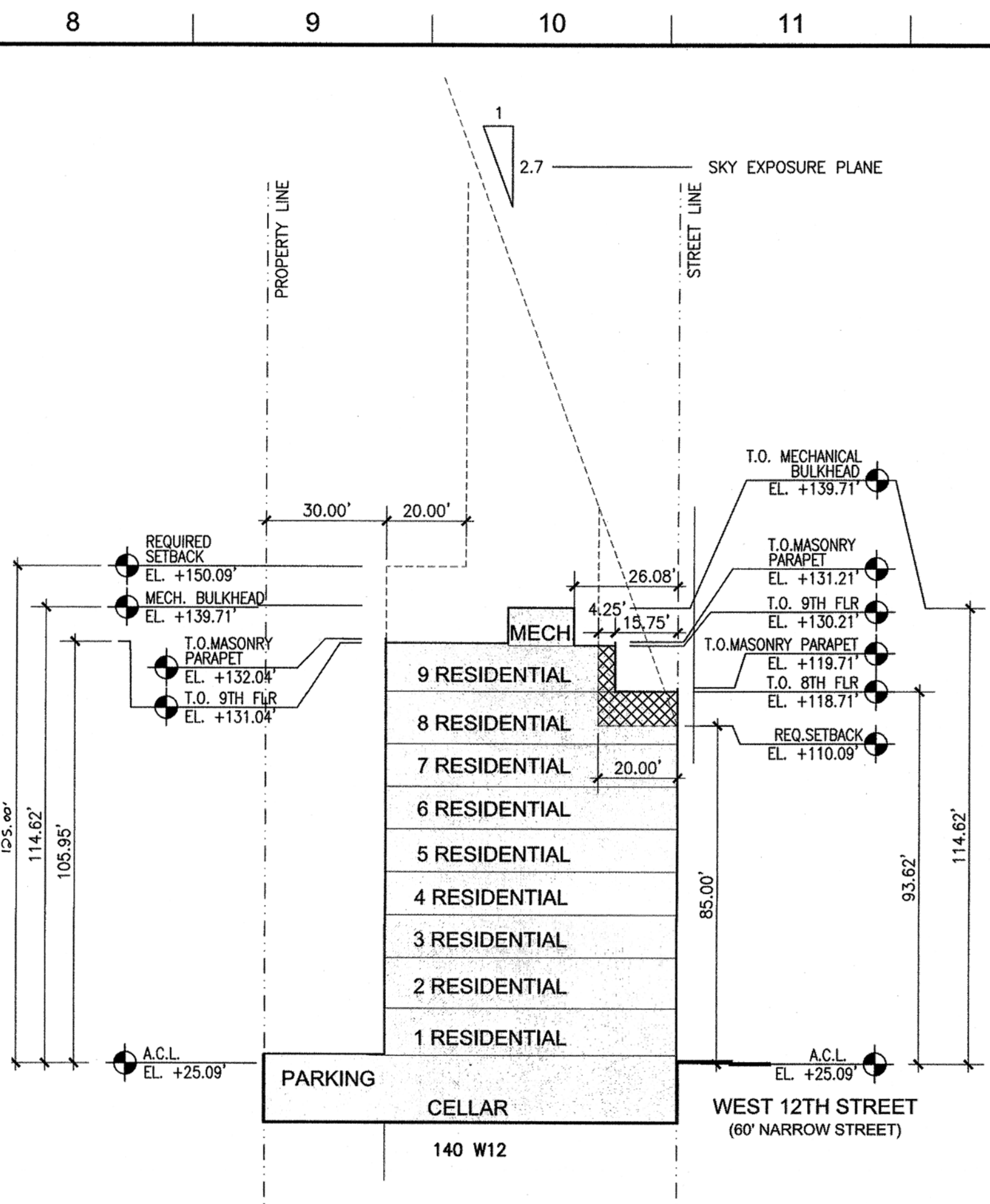
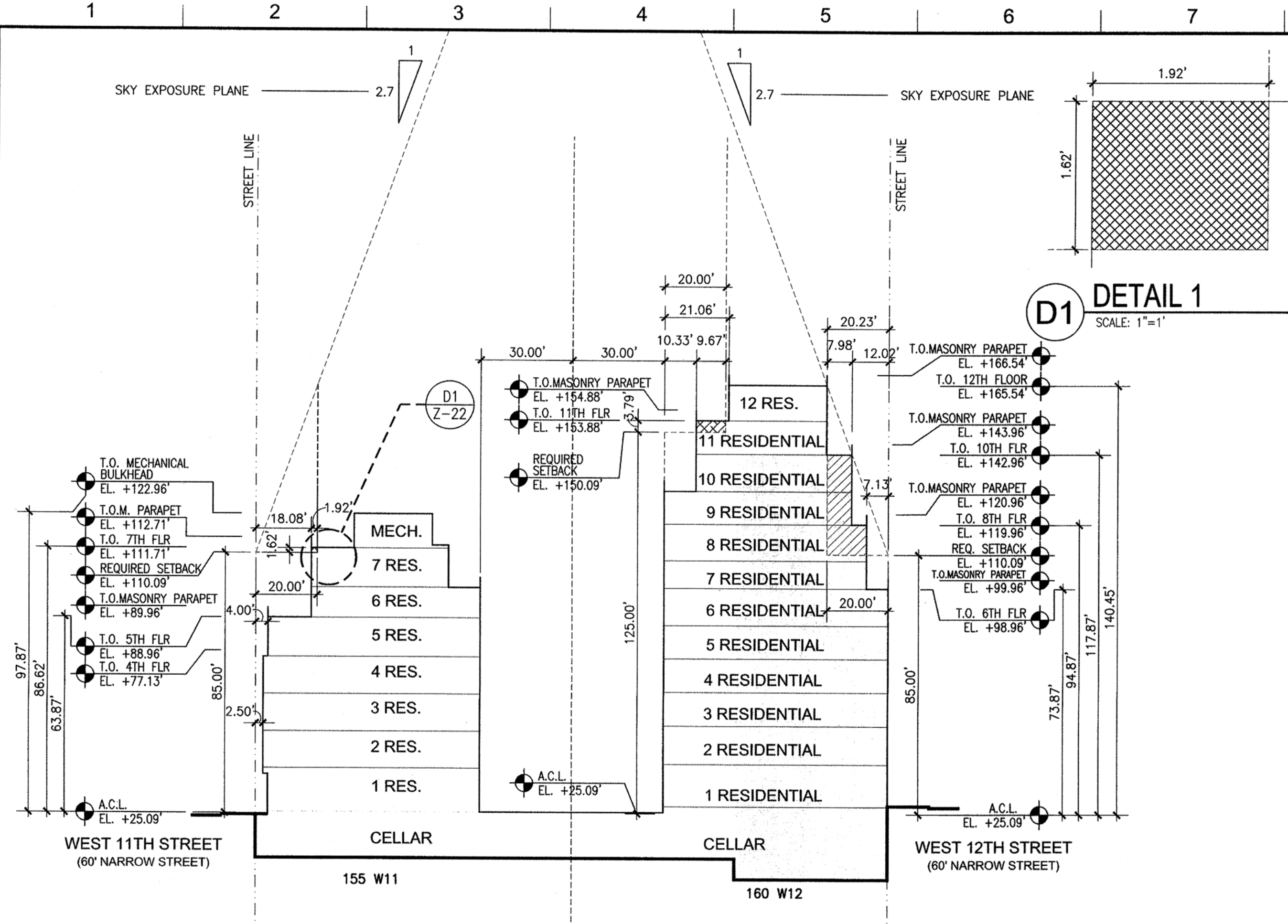
FX FOWLE
REGISTERED ARCHITECTS, P.C.

RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:
ATTACHMENT #5
HEIGHT & SETBACK
ENCROACHMENT DIAGRAMS - SECTIONS

| | | | |
|-----------|-----|--------------|----------|
| Drawn: | JCL | Date: | 05-22-09 |
| Checked: | MJC | Scale: | AS NOTED |
| Reviewed: | | Project No.: | 07009 |
| Seal: | | Cad File: | Z-21.dwg |
| | | Drawing No.: | |

Z-21

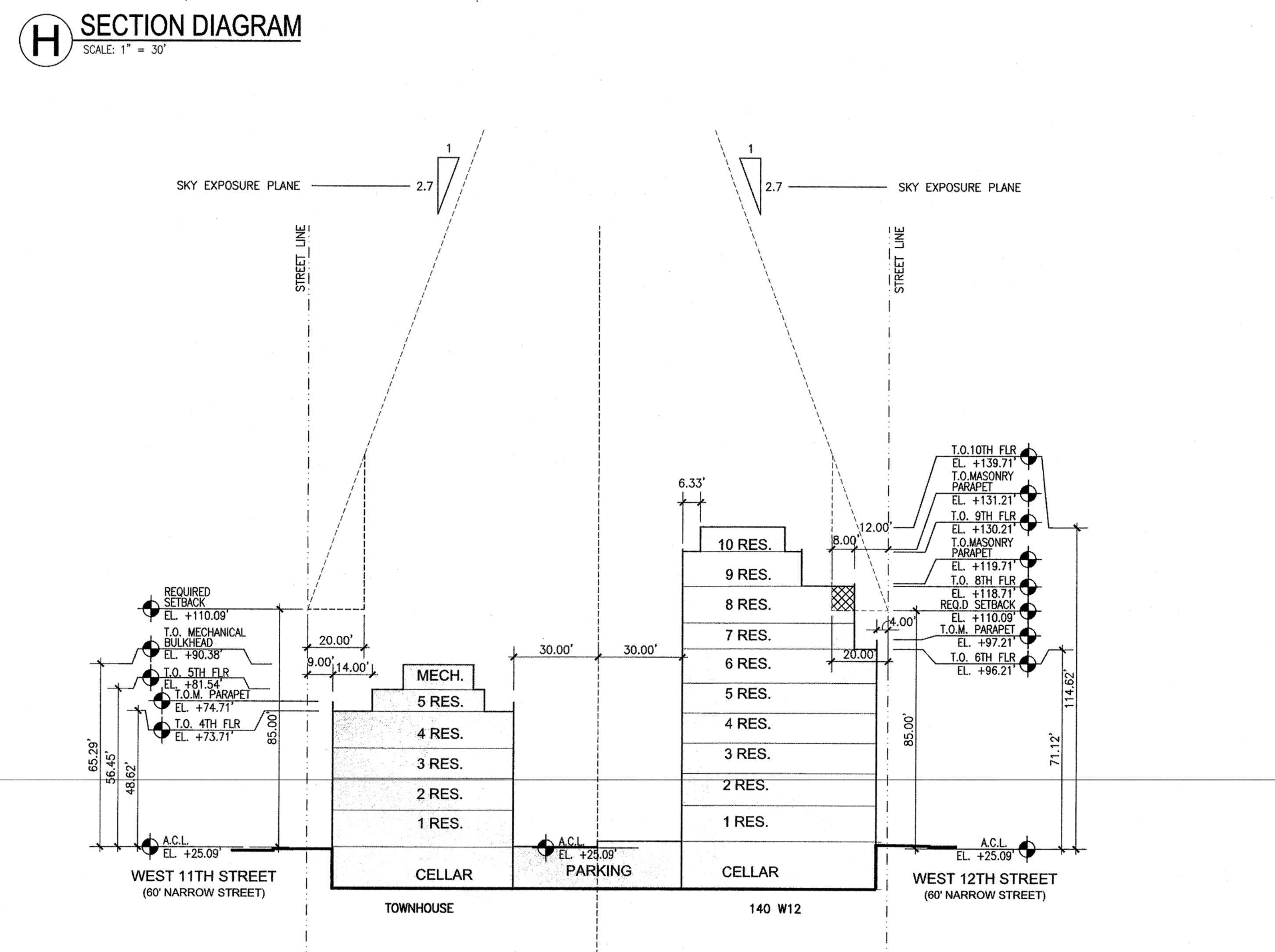
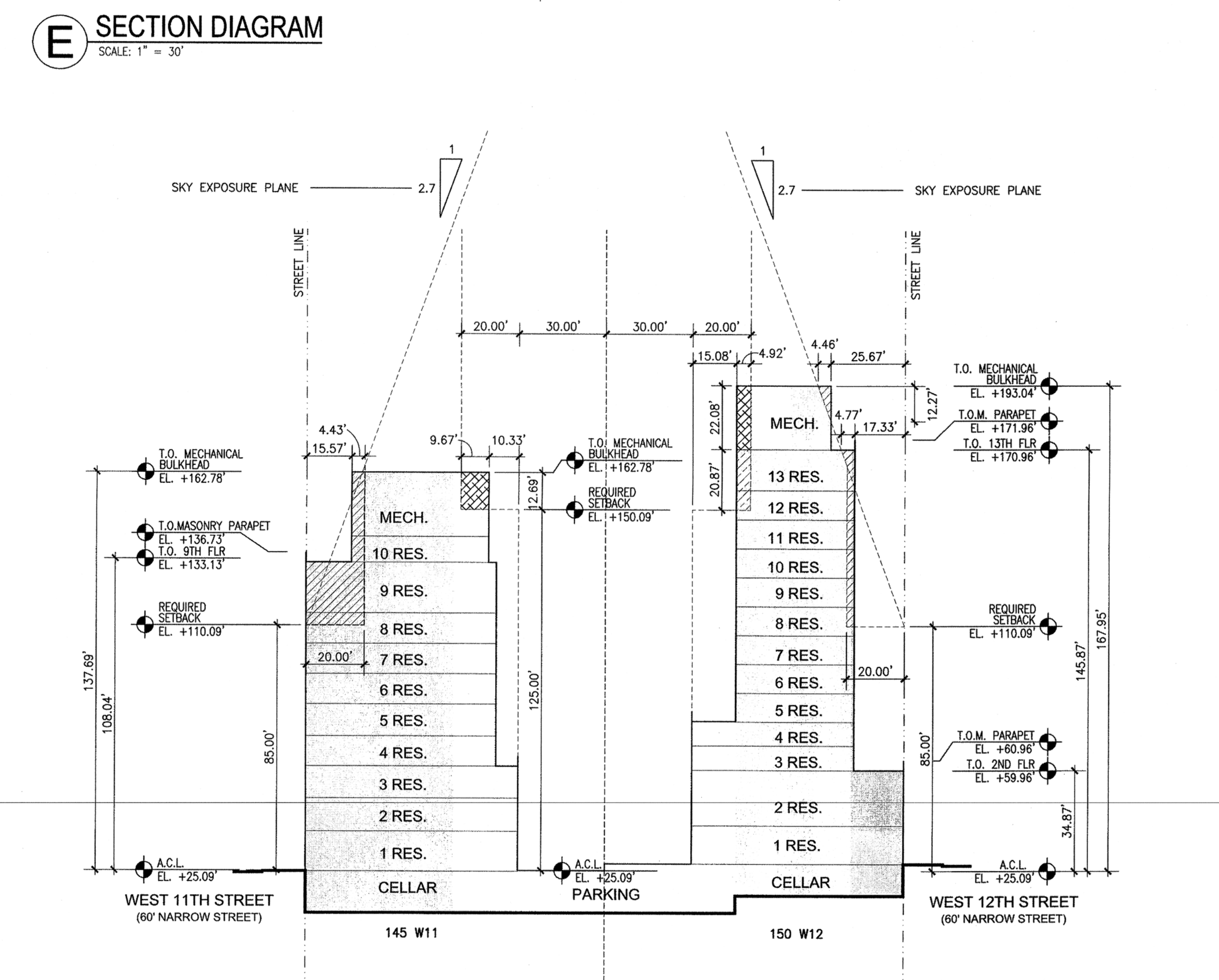


LEGEND:

- PROPERTY LINE
- EXISTING BUILDING ENVELOPE
- NEW DEVELOPMENT ENVELOPE
- NEW ENCROACHMENT (FRONT HEIGHT AND SETBACK) WAYER PER 24-243(a)(2) FOR NEW ENCROACHMENTS
- NEW ENCROACHMENT (REAR HEIGHT AND SETBACK) WAYER PER 24-243(a)(2) FOR NEW ENCROACHMENTS
- EXISTING LEGAL NON-COMPLIANCE (FRONT HEIGHT AND SETBACK) NOT SUBJECT TO HEIGHT AND SETBACK SPECIAL PERMIT
- EXISTING LEGAL NON-COMPLIANCE (REAR HEIGHT AND SETBACK) NOT SUBJECT TO HEIGHT AND SETBACK SPECIAL PERMIT

NOTES:

- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
- LANDMARKS PRESERVATION COMMISSION (LPC) APPROVED ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1) WHICH IS 2.45' ABOVE AVERAGE CURB LEVEL (ACL) OF EL. +25.09', AND ARE TAKEN TO TOP OF MASONRY PARAPET AND DO NOT INCLUDE GLASS OR PIPE RAILINGS.
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- LOCATION OF BULKHEADS ILLUSTRATIVE AND SUBJECT TO CHANGE.
- BUILDING MASSING DOES NOT DEPICT THE EXACT CONDITIONS APPROVED BY THE LPC ON JULY 07, 2009 AND ANY CHANGE TO CONDITIONS APPROVED ON THAT DATE IS SUBJECT TO FURTHER LPC APPROVAL.
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1 ULURP CERTIFICATION 08.10.2011

NO. REVISIONS | SUBMISSIONS DATE

FX FOWLE

RUDIN DEVELOPMENT, LLC

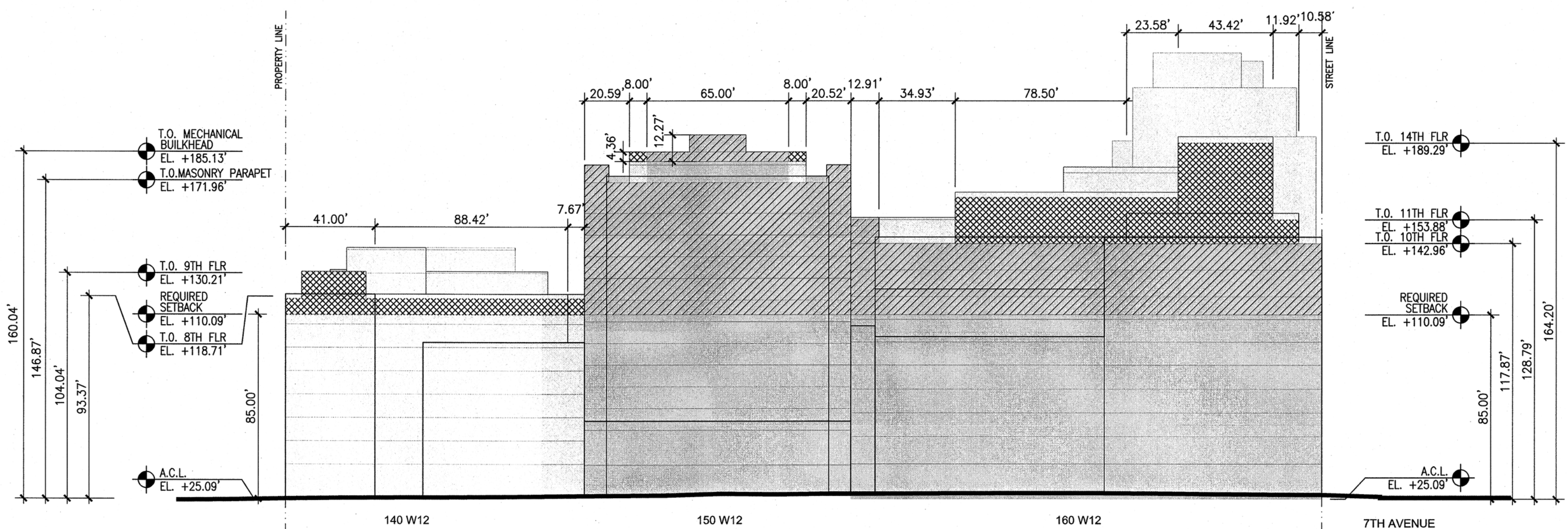
RUDIN WEST VILLAGE PROJECT

170 West 12th Street | New York NY 10011

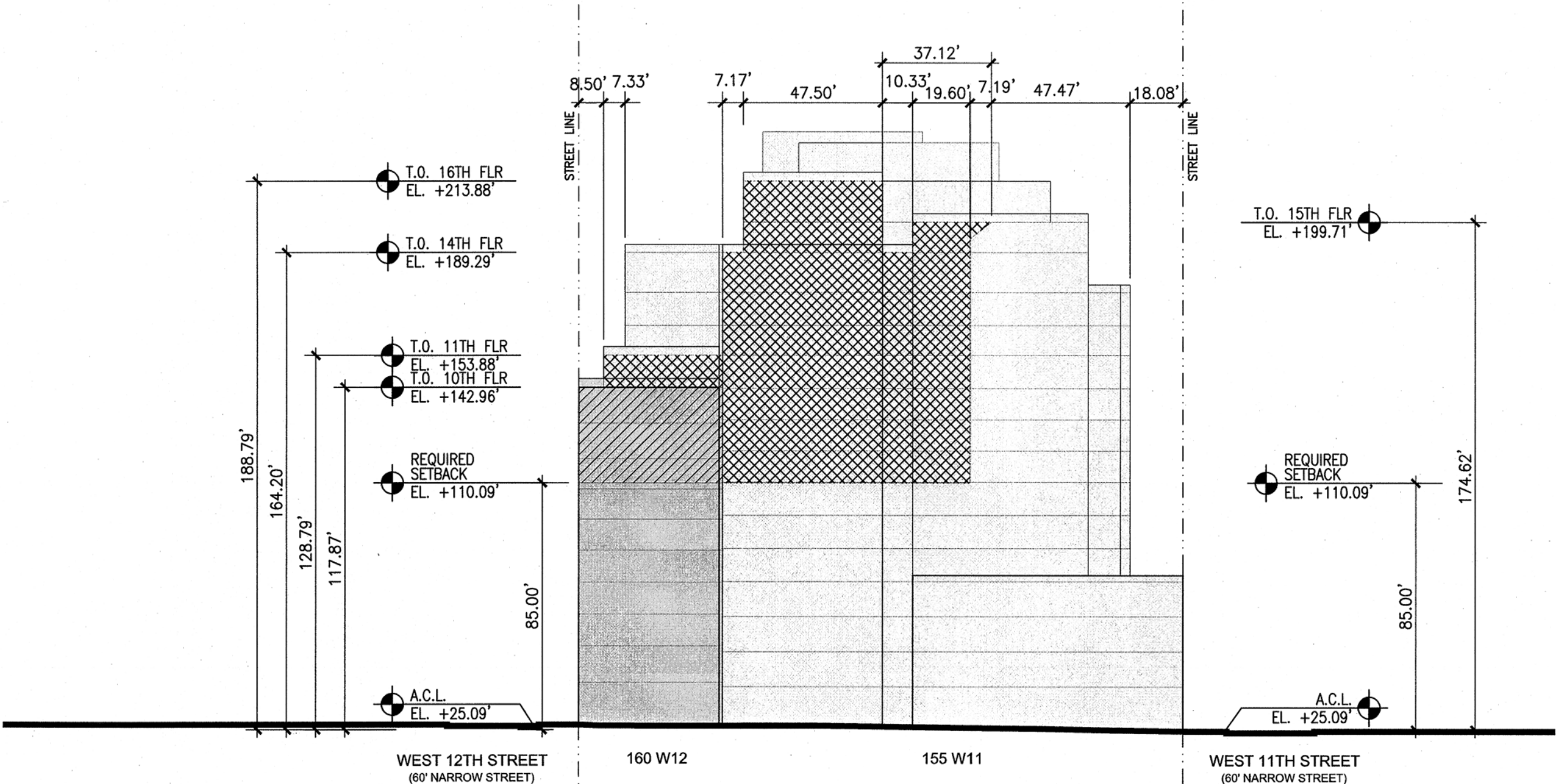
DRAWING TITLE:
ATTACHMENT #5
HEIGHT & SETBACK
ENCROACHMENT DIAGRAMS - SECTIONS

Drawn: JCL Date: 05-22-09
Checked: MJC Scale: AS NOTED
Reviewed: Project No.: 07009
Seal: Civil File: Z-22.dwg Drawing No.:

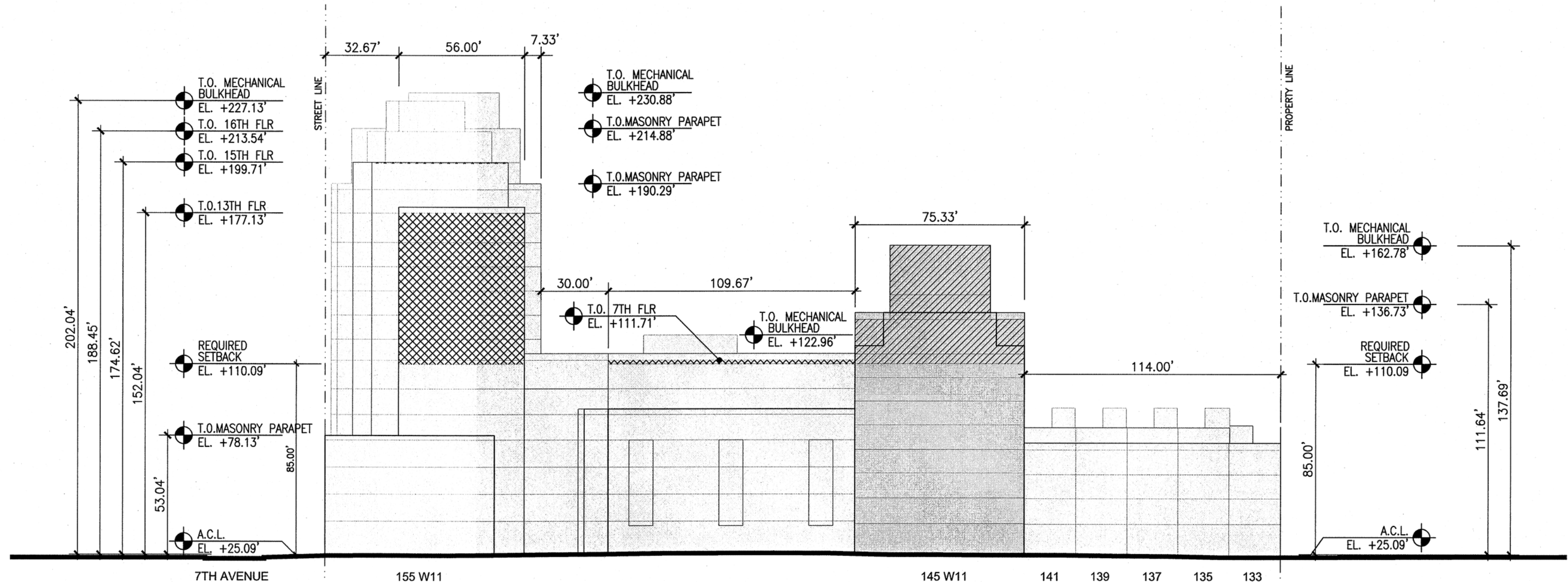
REGISTERED ARCHITECT
STATE OF NEW YORK
Z-22



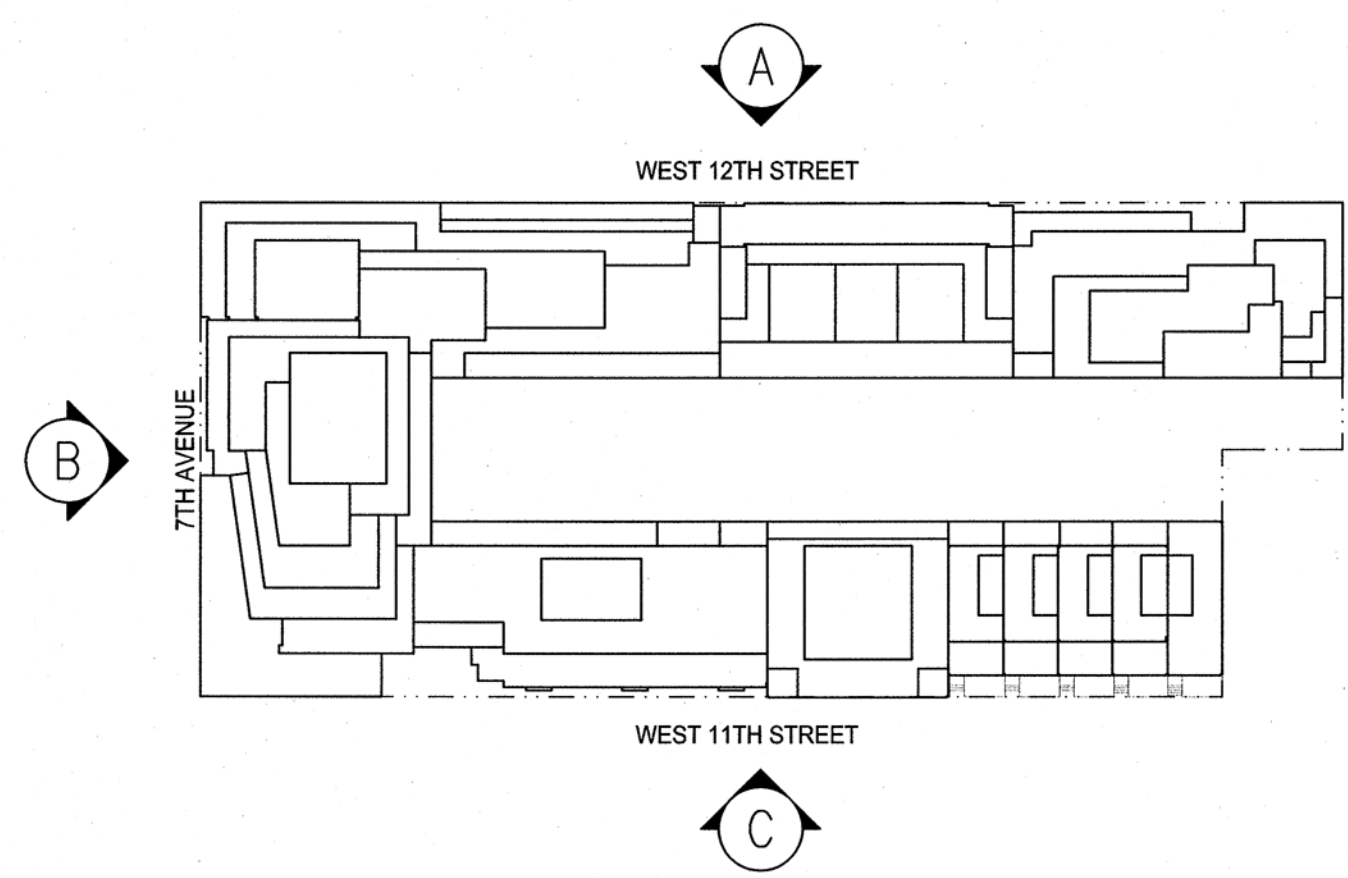
A 12TH STREET ELEVATION
SCALE: 1"=40'



B 7TH AVENUE ELEVATION
SCALE: 1"=40'



C 11TH STREET ELEVATION
SCALE: 1"=40'



KEY PLAN

LEGEND:

- PROPERTY LINE
- EXISTING BUILDING ENVELOPE
- NEW DEVELOPMENT ENVELOPE
- NEW ENCROACHMENT WAIVER PER 74-743(a)(2) FOR NEW ENCROACHMENTS
- EXISTING LEGAL NON-COMPLIANCE NOT SUBJECT TO HEIGHT AND SETBACK SPECIAL PERMIT

- NOTES:**
1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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 5. LOCATION OF BULKHEADS ILLUSTRATIVE AND SUBJECT TO CHANGE.
 6. BUILDING MASSING DOES NOT DEPICT THE EXACT CONDITIONS APPROVED BY THE LPC ON JULY 07, 2009 AND ANY CHANGE TO CONDITIONS APPROVED ON THAT DATE IS SUBJECT TO FURTHER LPC APPROVAL.
 7. DEVELOPMENT MAY OCCUR ANYWHERE WITHIN THE ENVELOPE DEPICTED IN DRAWINGS Z-20A TO Z-23 AS DETERMINED BY DEVELOPER, SUBJECT TO THE FURTHER ALLOWANCES AND RESTRICTION SET FORTH IN THESE NOTES.
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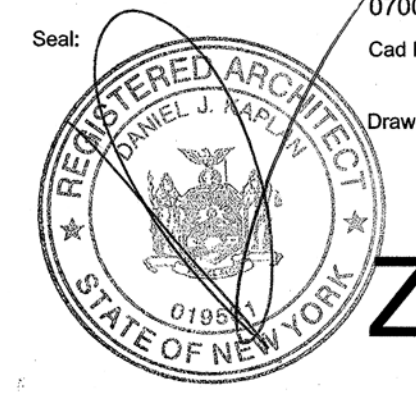
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| 1 | ULURP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |

FX FOWLE
FX FOWLE ARCHITECTS, L.P.C. 110 WEST 11TH STREET, NEW YORK, NY 10011 | TEL: (212) 200-1000 | FAX: (212) 200-1001

RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

DRAWING TITLE:
ATTACHMENT #5
HEIGHT AND SETBACK
ENCROACHMENT DIAGRAMS ELEVATIONS

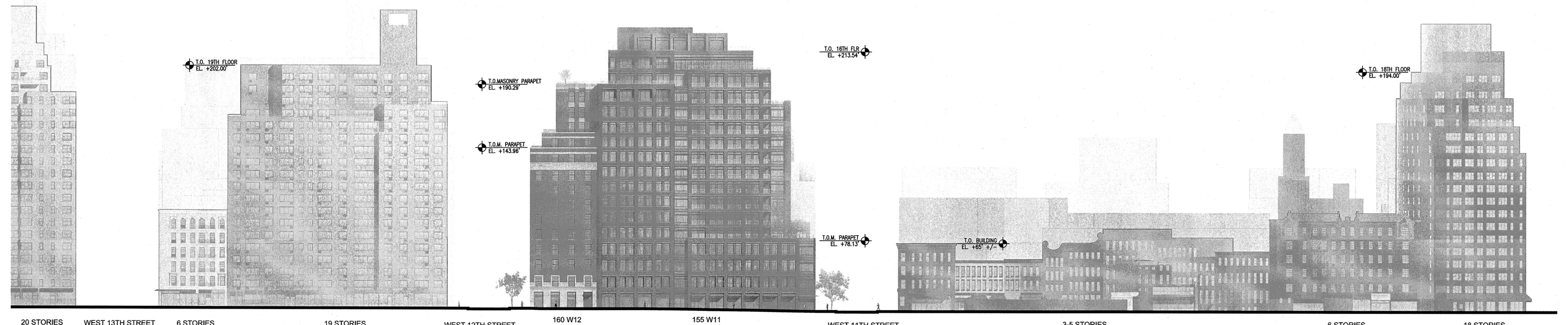
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| Drawn: | WC | Date: | 05-22-09 |
| Checked: | AR | Scale: | AS NOTED |
| Reviewed: | | Project No.: | 07009.000 |
| Seal: | | Cad File: | |



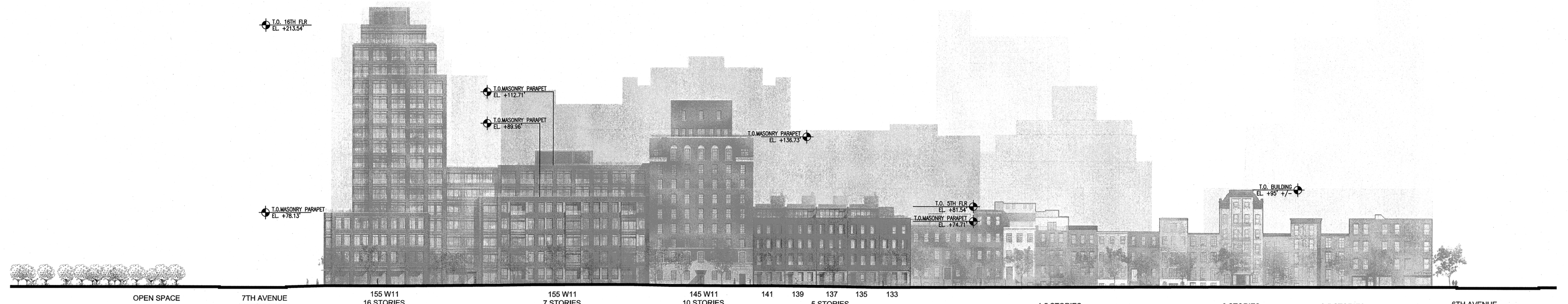
Z-23



1 12TH STREET ELEVATION
SCALE: 1"=40'



2 7TH AVENUE ELEVATION
SCALE: 1"=40'



3 11TH STREET ELEVATION
SCALE: 1"=40'

LEGEND:

- NOTES:
- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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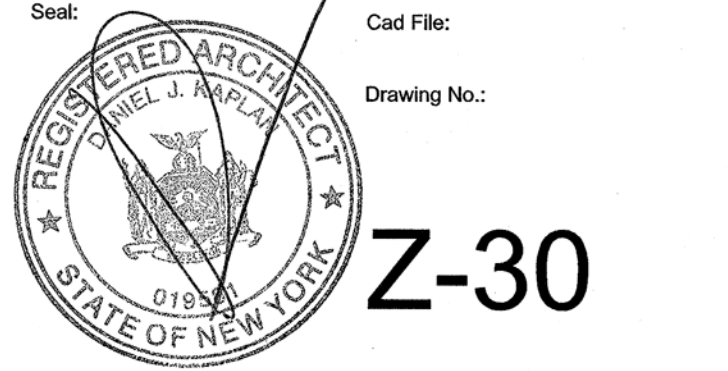
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| 1 | ULURP CERTIFICATION | 08.10.2011 |
| NO. | REVISIONS SUBMISSIONS | DATE |

FX FOWLE
FOWLE ARCHITECTS, LLP | 20 WEST 58TH STREET | NEW YORK, NY 10019 | TEL: 212.850.0900 | FAX: 212.850.0901

RUDIN DEVELOPMENT, LLC
RUDIN WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011



DRAWING TITLE:
**ATTACHMENT #5
ILLUSTRATIVE BUILDING
AND CONTEXT ELEVATIONS**

Drawn: JCL Date:
Checked: MJC Scale: AS NOTED
Reviewed: DJK Project No.: 07009
Seal: Cad File:
Drawing No.:



Z-30



- LEGEND**
-  DRINKING FOUNTAIN
 -  TRASH CAN
 -  SIGN
 -  LIGHTPOLE
 -  PROPOSED TREE
 -  HISTORICAL POINT OF SAINT VINCENT DESIGN W/ HONED BLACK GRANITE AND INLAY STAINLESS STEEL TEXT



LEGEND:



NOTES:

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| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
| 01 | DRAFT SUBJECT TO CHANGE | JULY 19, 2011 |
| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

MPFP **MPFP LLC**
 41 EAST 11TH STREET
 NEW YORK, NY 10003
 TEL.: (212) 477-6366
 FAX.: (212) 477-6548

RUDIN DEVELOPMENT, LLC

SAINT VINCENT'S PARK
 New York, New York
WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

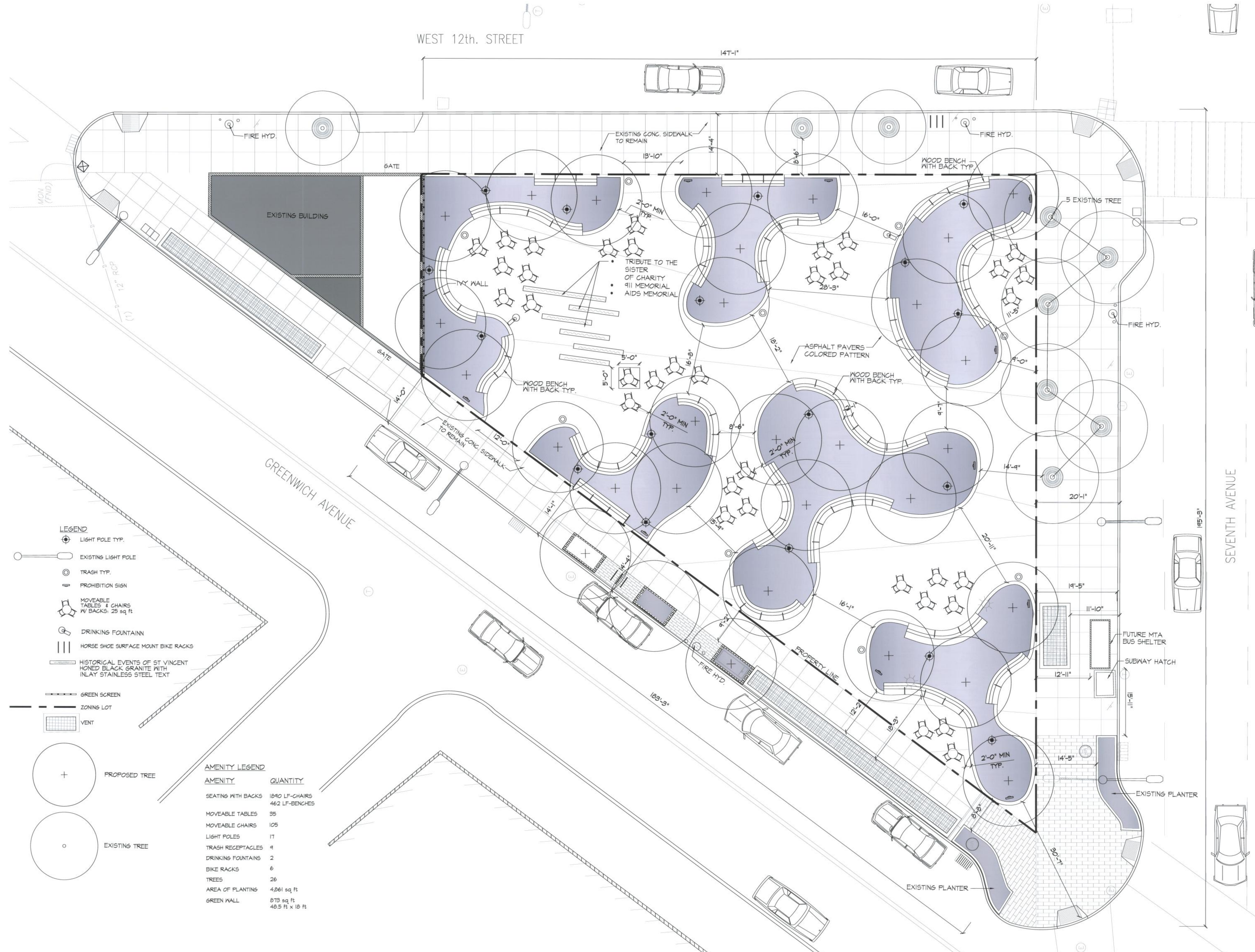
DRAWING TITLE:
TRIANGLE SITE
ILLUSTRATIVE SITE PLAN

Drawn: MPFP Date: JUNE 2, 2011
 Checked: Scale: SEE DWG
 Reviewed: Project No.:
 Seal: Cad File:

Drawing No.:
L-100

WEST 12th. STREET

147'-1"



LEGEND:

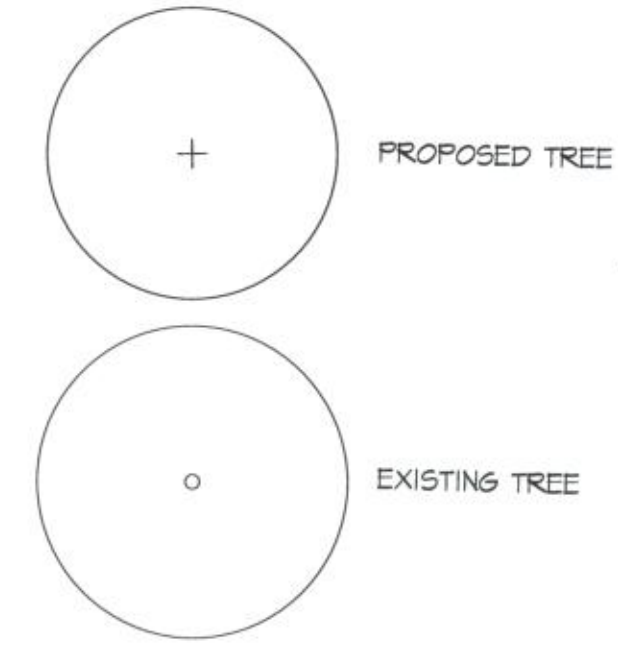


LEGEND

- LIGHT POLE TYP.
- EXISTING LIGHT POLE
- TRASH TYP.
- PROHIBITION SIGN
- MOVEABLE TABLES & CHAIRS
W/ BACKS: 25 sq ft
- DRINKING FOUNTAIN
- HORSE SHOE SURFACE MOUNT BIKE RACKS
- HISTORICAL EVENTS OF ST VINCENT
HONED BLACK GRANITE WITH
INLAY STAINLESS STEEL TEXT
- GREEN SCREEN
- ZONING LOT
- VENT

AMENITY LEGEND

| AMENITY | QUANTITY |
|--------------------|----------------------------------|
| SEATING WITH BACKS | 1890 LF-CHAIRS 462 LF-BENCHES |
| MOVEABLE TABLES | 35 |
| MOVEABLE CHAIRS | 105 |
| LIGHT POLES | 17 |
| TRASH RECEPTACLES | 4 |
| DRINKING FOUNTAINS | 2 |
| BIKE RACKS | 6 |
| TREES | 26 |
| AREA OF PLANTING | 4,861 sq ft |
| GREEN WALL | 873 sq ft 48.5 ft x 18 ft |



NOTES:

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2. LANDSCAPE ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1)

| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
| 01 | DRAFT SUBJECT TO CHANGE | JULY 19, 2011 |
| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

MPFP
 41 EAST 11TH STREET
 NEW YORK, NY 10003
 TEL.: (212) 477-6366
 FAX.: (212) 477-6548

RUDIN DEVELOPMENT, LLC
 SAINT VINCENT'S PARK
 New York, New York
 WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

DRAWING TITLE:
**TRIANGLE SITE
 DIMENSIONED PLAN**

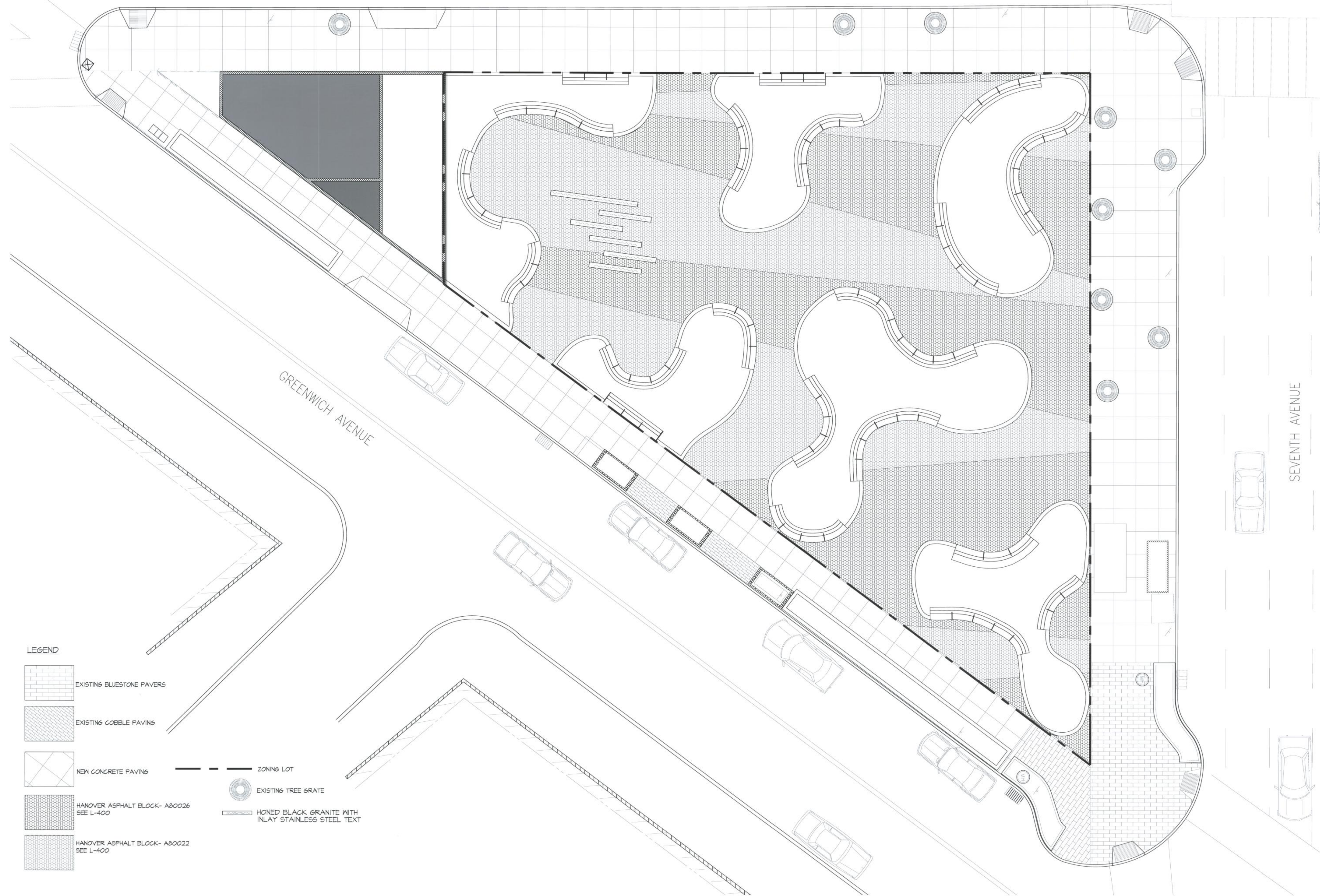
Drawn: MPFP Date: JUNE 2, 2011
 Checked: Scale: SEE DWG
 Reviewed: Project No.:
 Seal: Cad File:

Drawing No.:
L-101

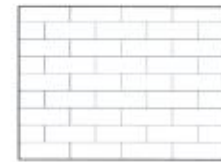







WEST 12th. STREET



LEGEND:



LEGEND

-  EXISTING BLUESTONE PAVERS
-  EXISTING COBBLE PAVING
-  NEW CONCRETE PAVING
-  HANOVER ASPHALT BLOCK- A80026 SEE L-400
-  HANOVER ASPHALT BLOCK- A80022 SEE L-400
-  ZONING LOT
-  EXISTING TREE GRATE
-  HONED BLACK GRANITE WITH INLAY STAINLESS STEEL TEXT



NOTES:

1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
| 01 | DRAFT SUBJECT TO CHANGE | JULY 19, 2011 |
| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

MPFP **MPFP LLC**
 41 EAST 11TH STREET
 NEW YORK, NY 10003
 TEL.: (212) 477-6366
 FAX.: (212) 477-6548

RUDIN DEVELOPMENT, LLC
 SAINT VINCENT'S PARK
 New York, New York
 WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

DRAWING TITLE:
TRIANGLE SITE PAVING PLAN

Drawn: MPFP Date: JUNE 2, 2011
 Checked: Scale: SEE DWG
 Reviewed: Project No.:
 Seal: Cad File:

Drawing No.:
L-102



KEY PLAN



VIEW TOWARDS 7 AVENUE

LEGEND:



NOTES:

1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
| 01 | DRAFT SUBJECT TO CHANGE | JULY 19, 2011 |
| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:



MPFP LLC
41 EAST 11TH STREET
NEW YORK, NY 10003
TEL.: (212) 477-6366
FAX.: (212) 477-6548

RUDIN DEVELOPMENT, LLC

SAINT VINCENT'S PARK
New York, New York
WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:

TRIANGLE SITE
ILLUSTRATIVE PERSPECTIVE

Drawn: MPFP Date: JUNE 2, 2011

Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawing No.:

L-103



KEY PLAN



SECTION 1



SECTION 2

LEGEND:



NOTES:

1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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LANDSCAPE ARCHITECTS:



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NEW YORK, NY 10003
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RUDIN DEVELOPMENT, LLC

SAINT VINCENT'S PARK
New York, New York
WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:

**TRIANGLE SITE
ILLUSTRATIVE SECTIONS**

Drawn: MPFP Date: JUNE 2, 2011

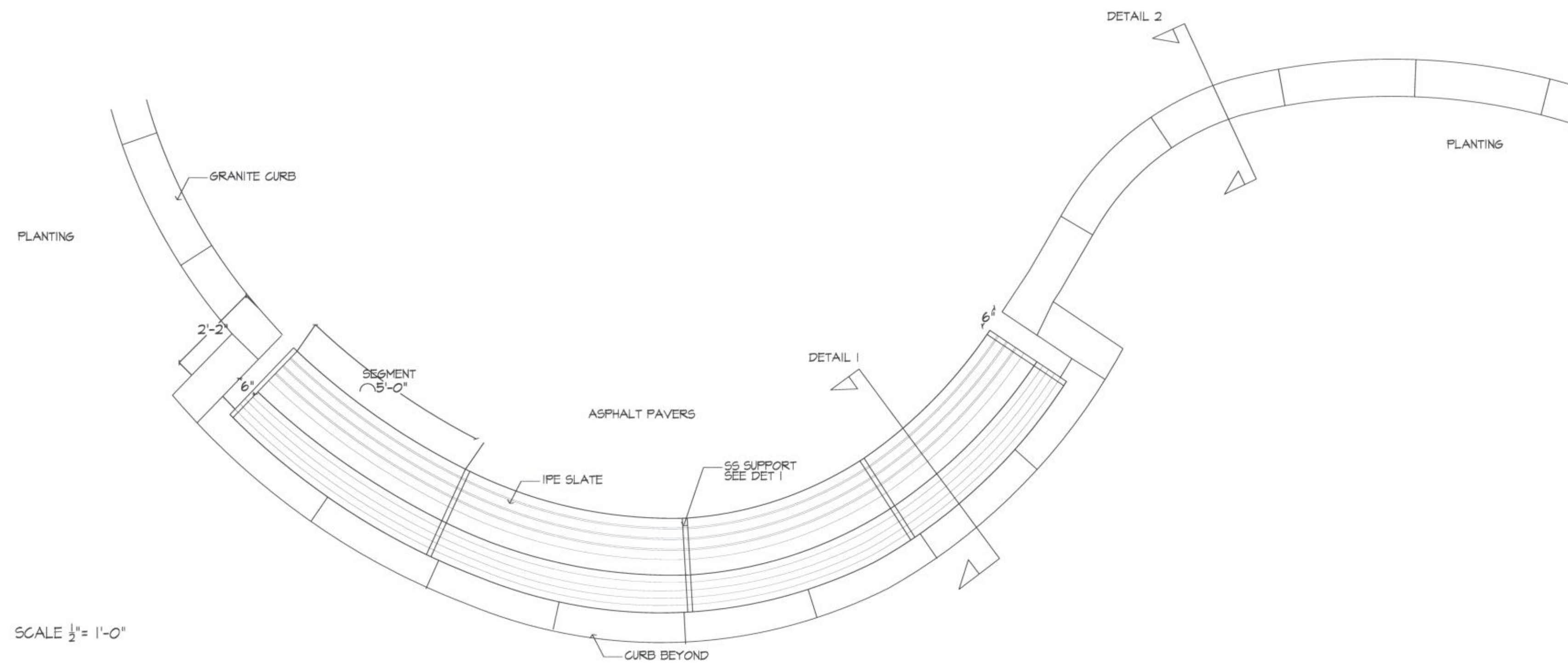
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Reviewed: Project No.:

Seal: Cad File:

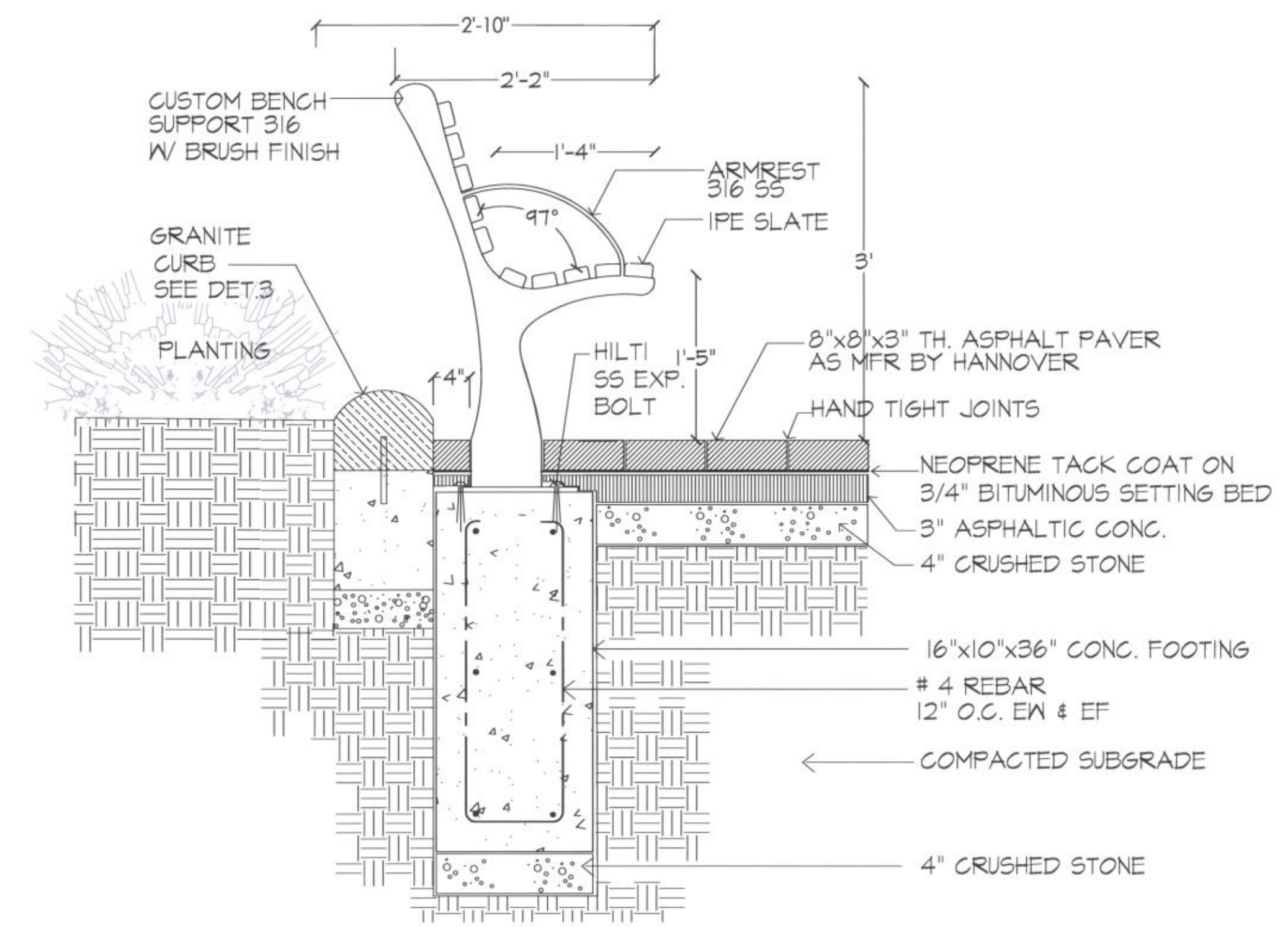
Drawing No.:

L-104



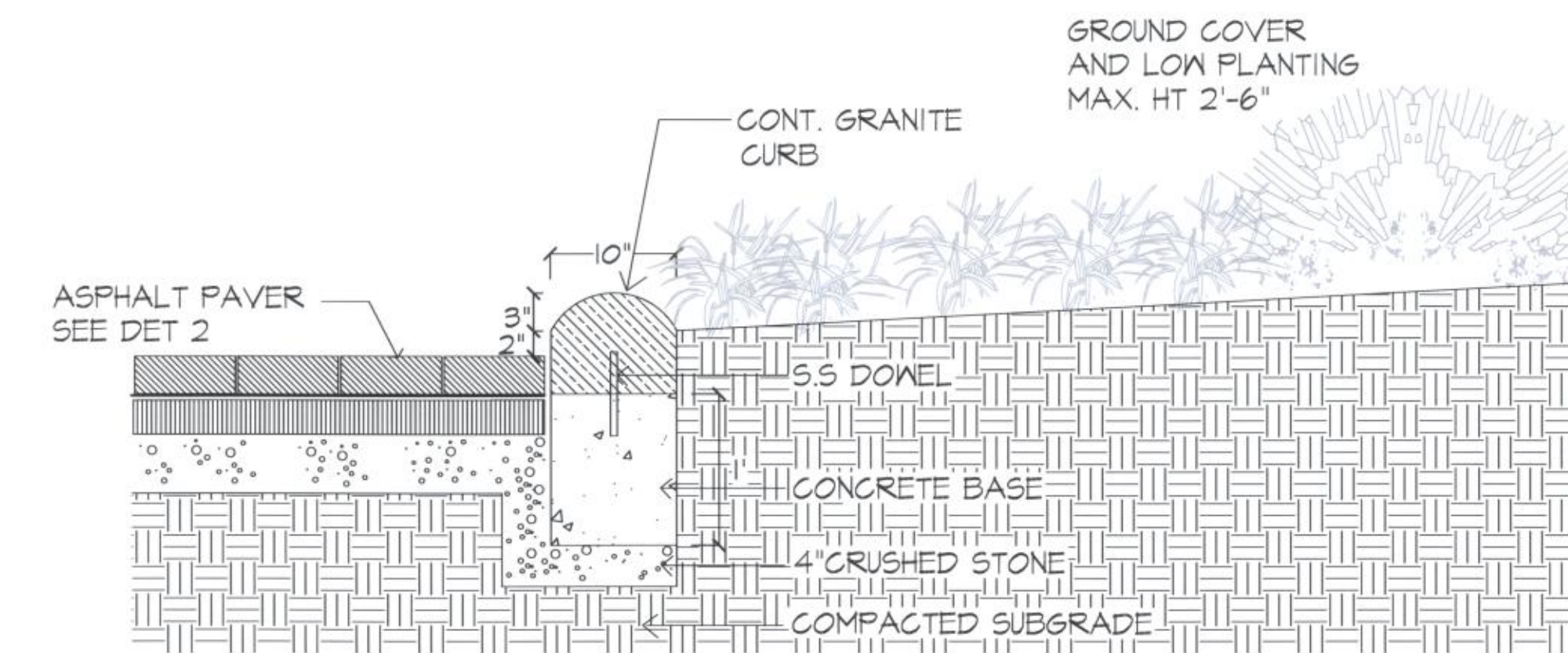
SCALE 1/4" = 1'-0"

1- WOOD BENCH ENLARGEMENT PLAN



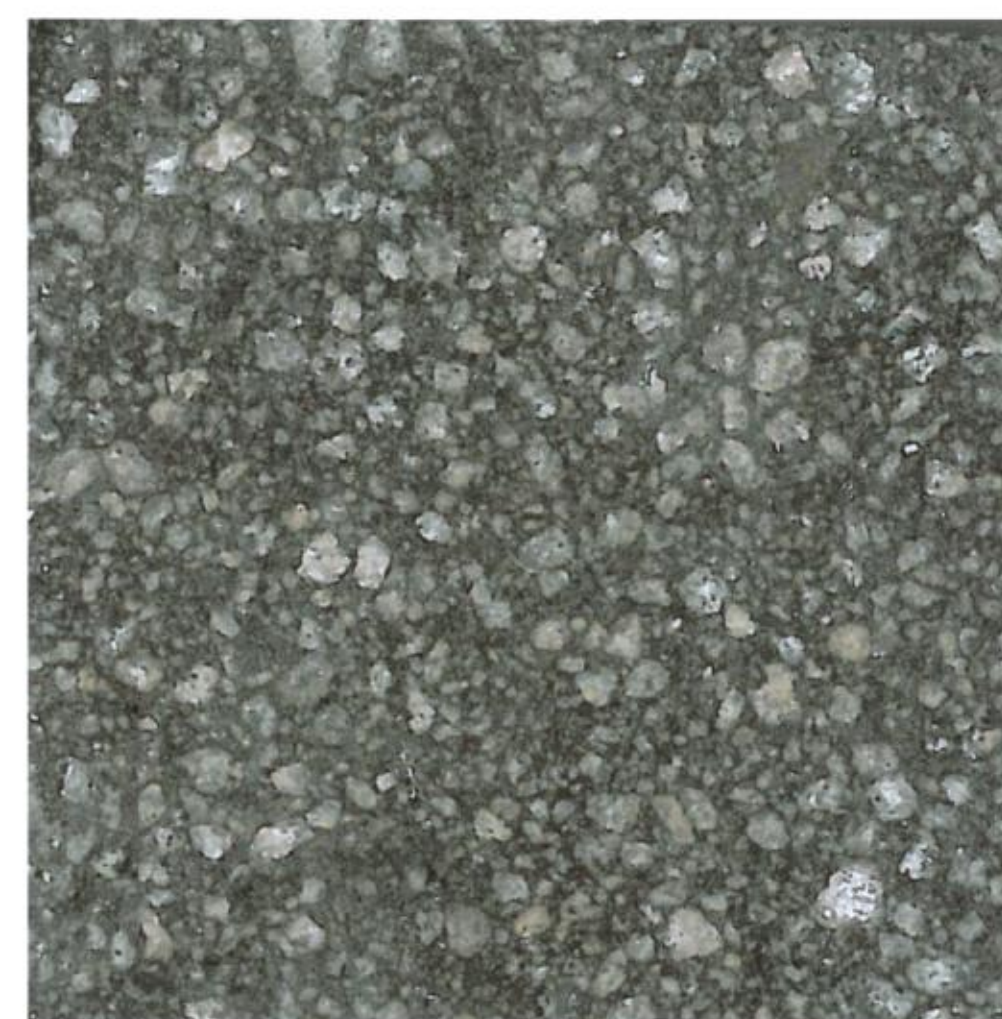
2- WOOD BENCH DETAIL TYP.

SCALE 1" = 1'-0"

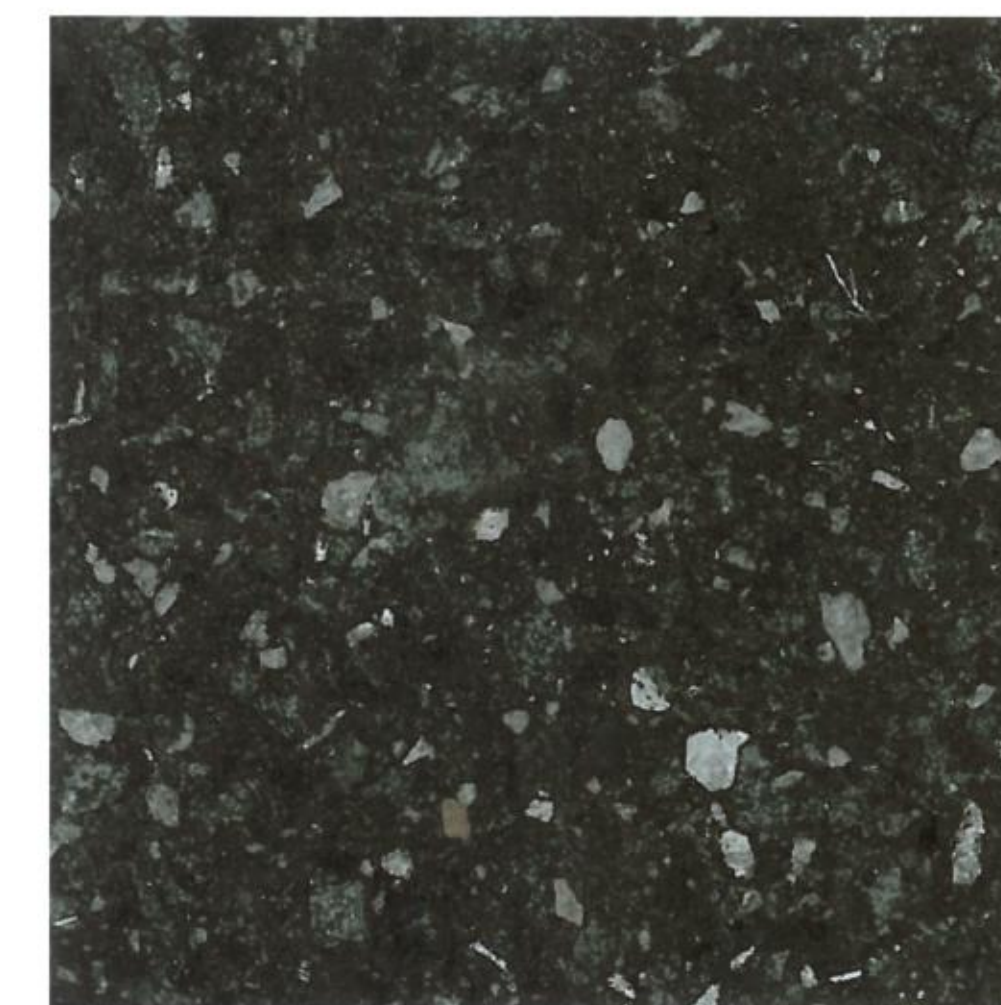


3- GRANITE CURB DETAIL TYP.

SCALE 1" = 1'-0"



ASPHALT BLOCK



ASPHALT BLOCK

LEGEND:



NOTES:

- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
- LANDSCAPE ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1)

| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
| 01 | DRAFT SUBJECT TO CHANGE | JULY 19, 2011 |
| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

MPFP MPFP LLC
 41 EAST 11TH STREET
 NEW YORK, NY 10003
 TEL.: (212) 477-6366
 FAX.: (212) 477-6548

RUDIN DEVELOPMENT, LLC

SAINT VINCENT'S PARK
 New York, New York
 WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

DRAWING TITLE:

**TRIANGLE SITE
 ILLUSTRATIVE MATERIALS**

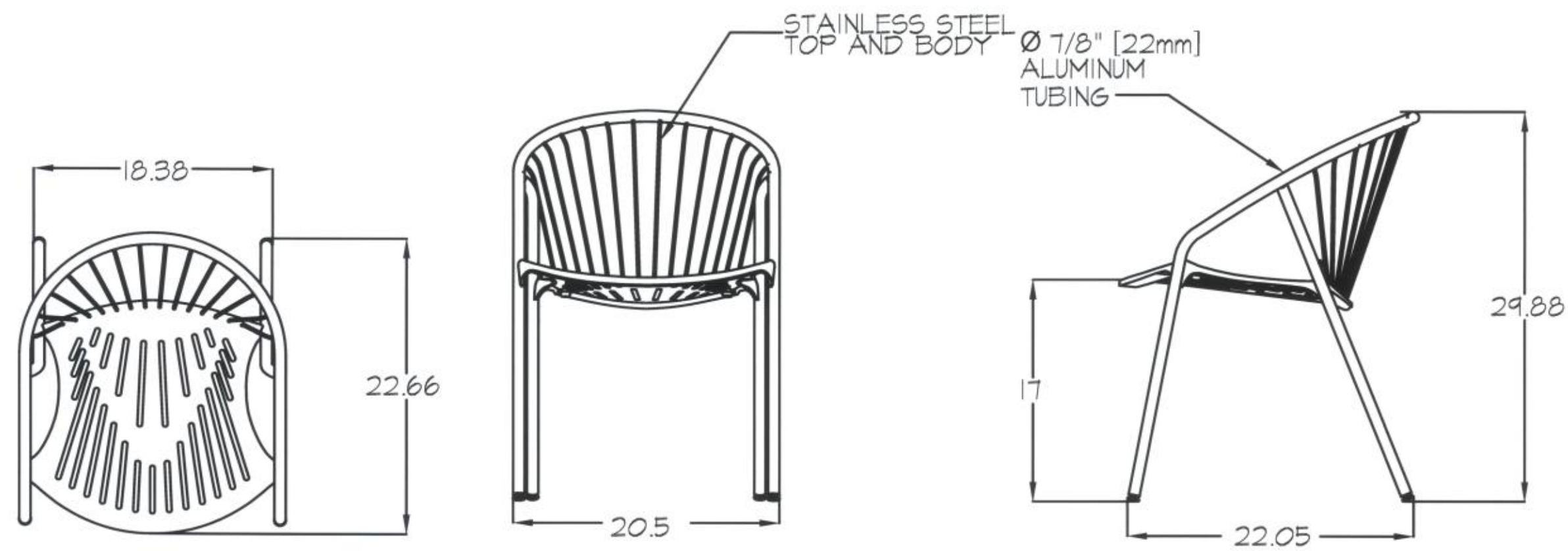
Drawn: MPFP Date: JUNE 2, 2011

Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawing No.:
L-105

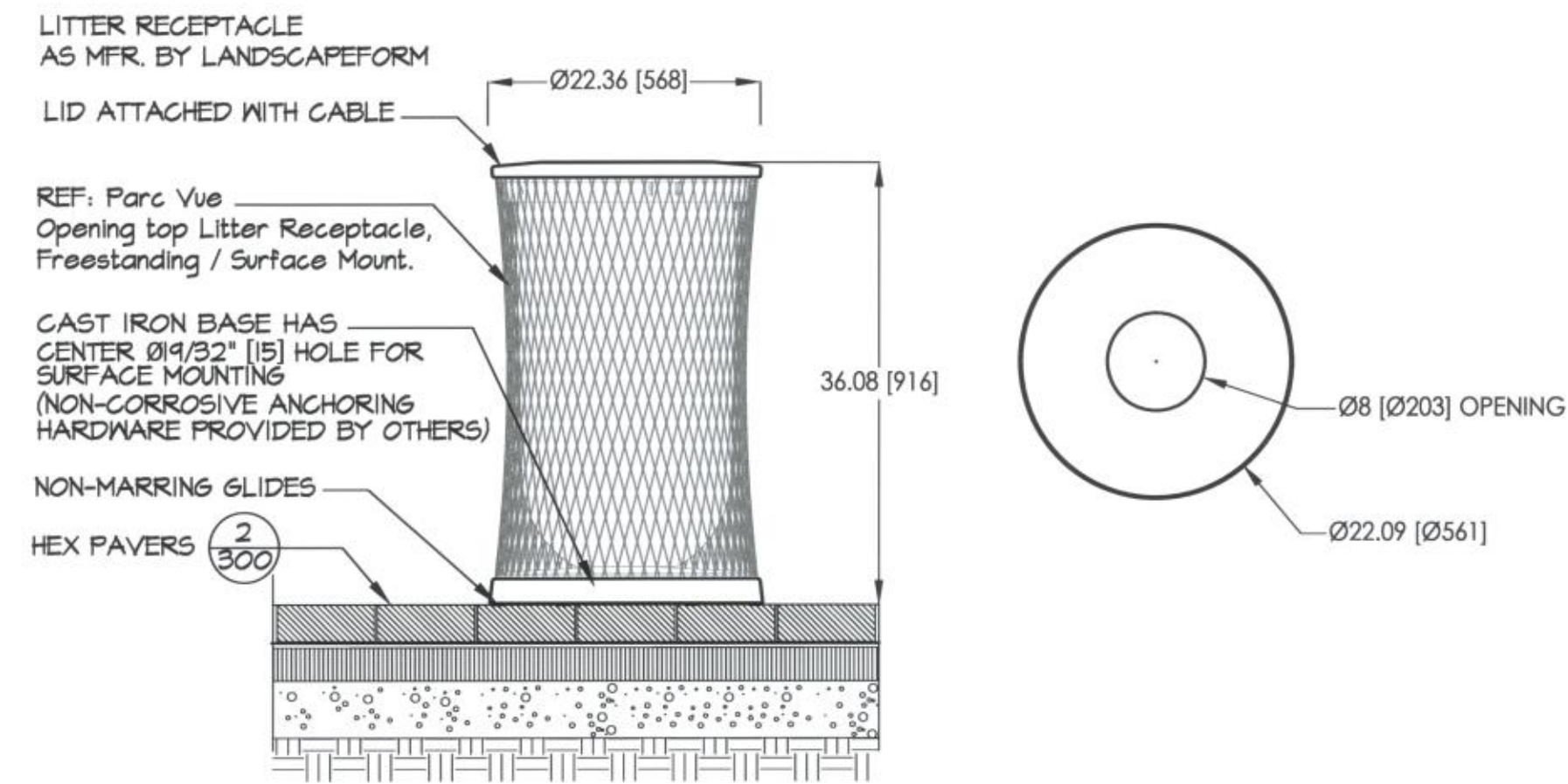


1 MOVEABLE CHAIR

SCALE: 1/4"=1'-0"

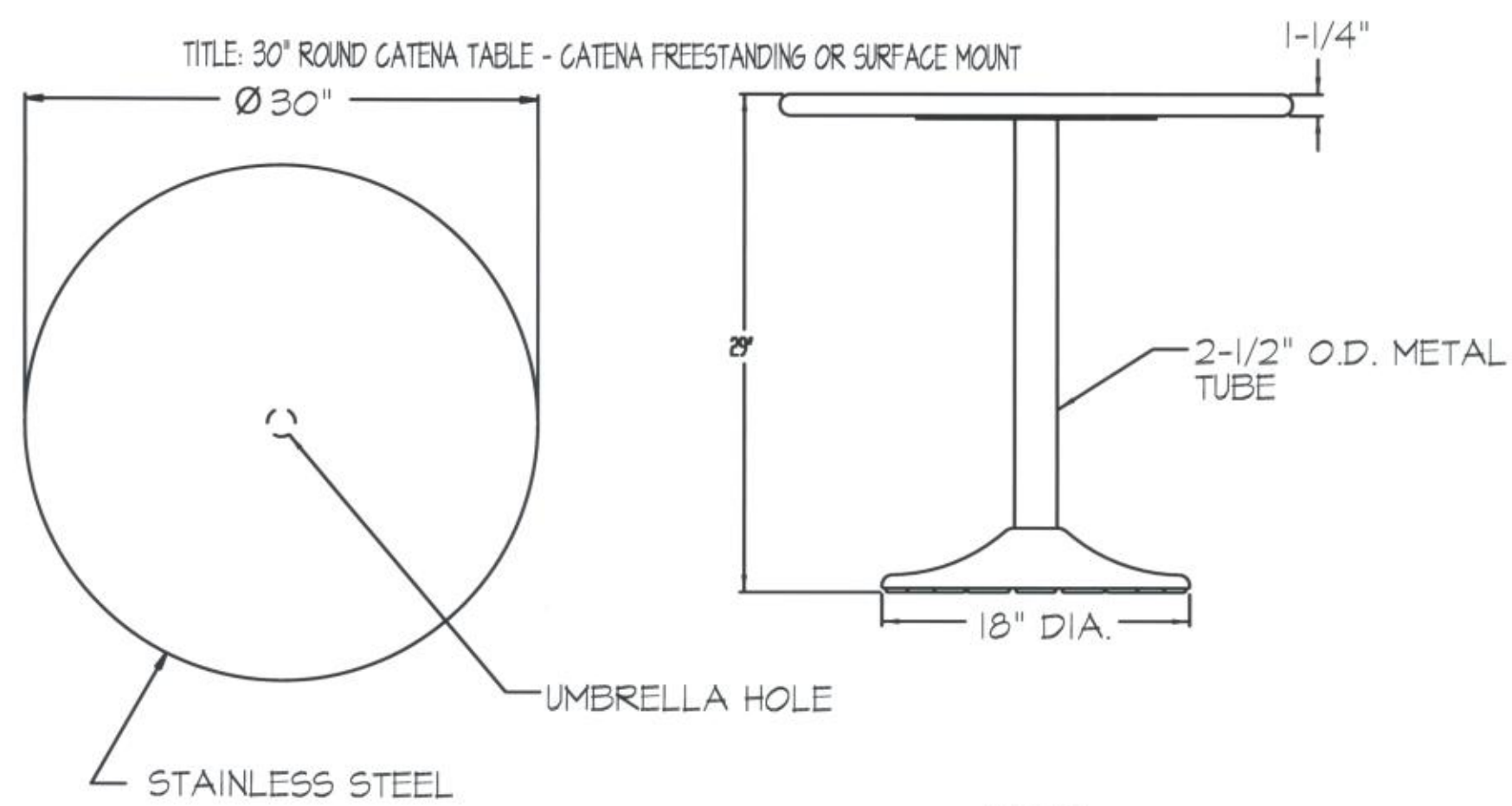
CHAIR BY LANDSCAPEFORMS

REF: CATENA
FIN: STEEL



2 TRASH RECEPTACLE

SCALE: 1/4"=1'-0"



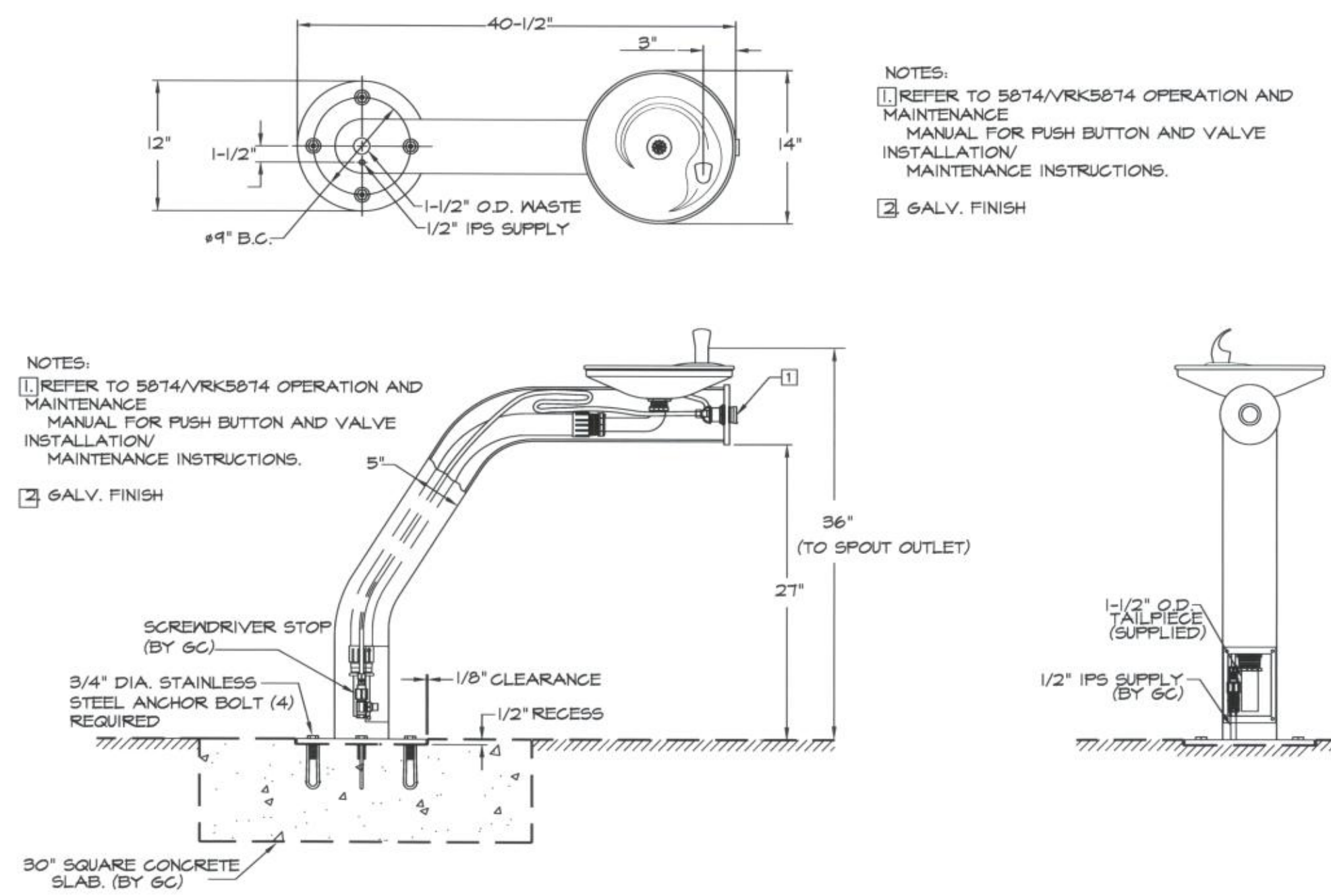
3 MOVEABLE TABLE

SCALE: 1/16"=1'-0"

TABLE BY LANDSCAPEFORMS

REF: 30" ROUND CATENA TABLE
FREE STANDING WITH UMBRELLA HOLE
FIN: STEEL

NOTE:
Landscape Forms, Inc.
431 Lawndale Ave.
Kalamazoo, MI 49048
269.381.3455 fax
800.521.2546 phone
E-mail: specify@landscapeforms.com
www.landscapeforms.com

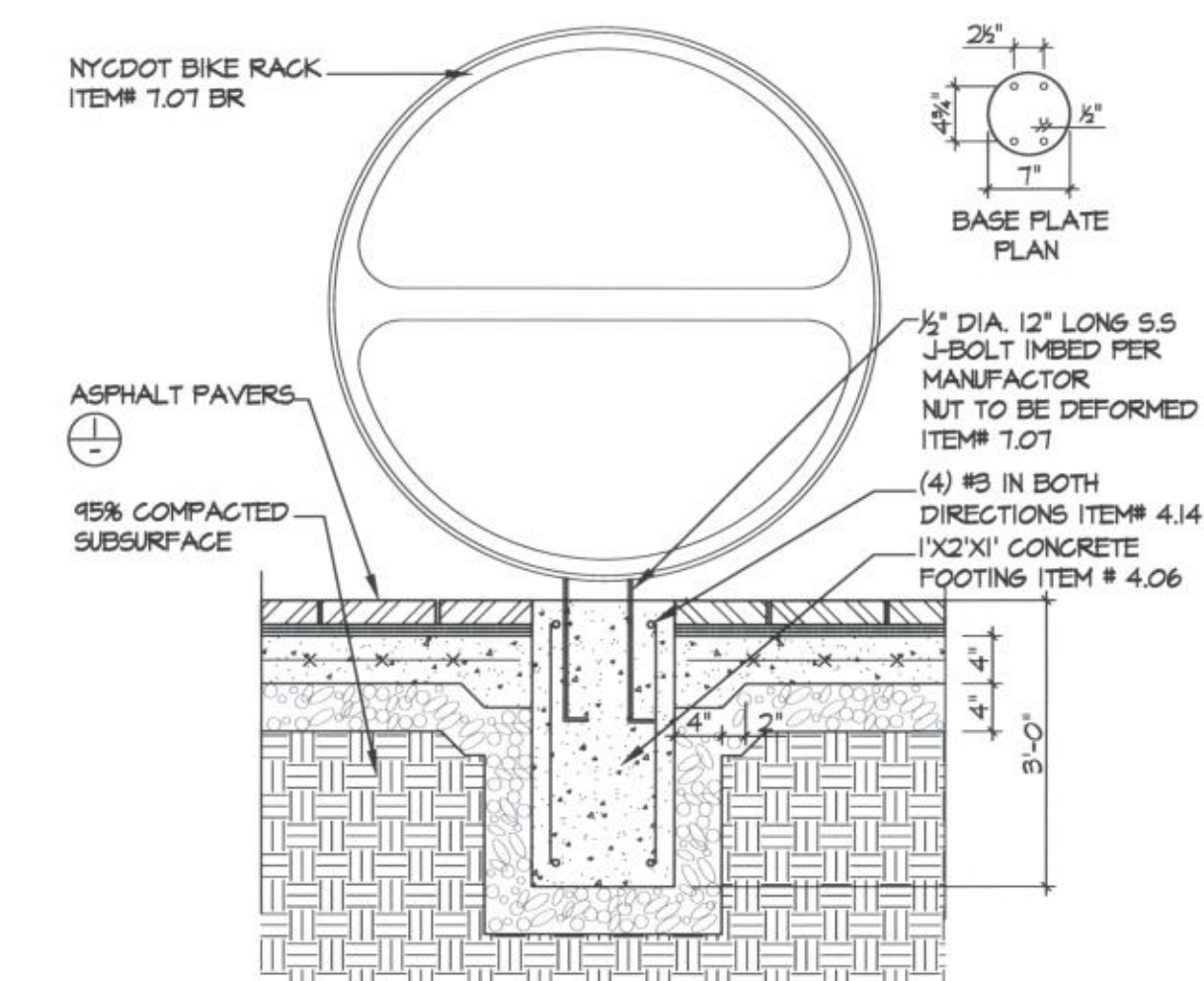


4 HAWS DRINKING FOUNTAIN 3380G

SCALE: 1" = 1'-0"



DRINKING FOUNTAIN
#3380G MFR BY HAWS CORPORATION
FINISH: SATIN STAINLESS STEEL



5 NYC DOT STANDARD BIKE RACK

SCALE: 1" = 1'-0"



CATENA TABLE AND CHAIRS

LEGEND:



NOTES:

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| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
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LANDSCAPE ARCHITECTS:

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RUDIN DEVELOPMENT, LLC

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New York, New York
WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:
**TRIANGLE SITE
ILLUSTRATIVE
FURNITURE DETAILS**

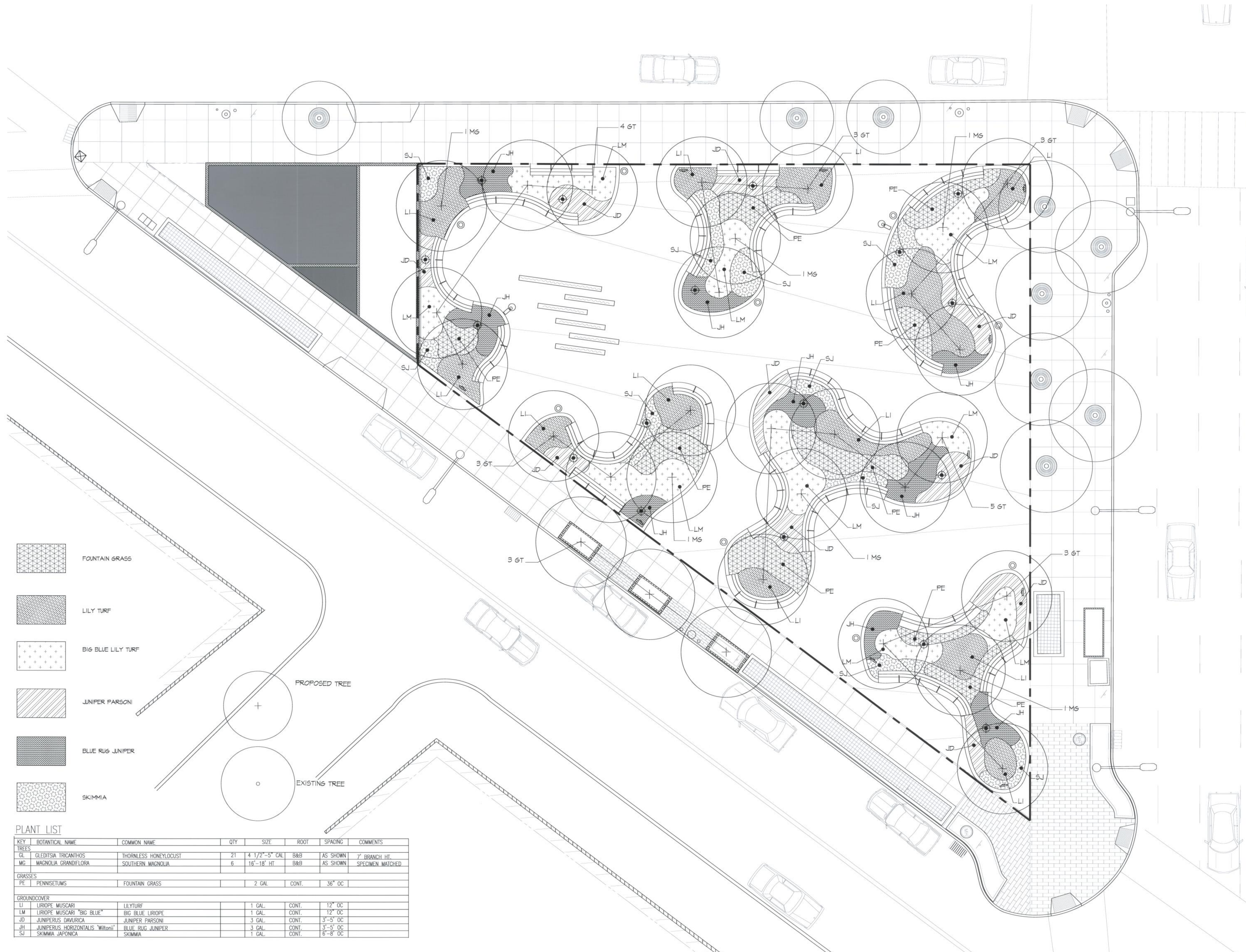
Drawn: MPFP Date: JUNE 2, 2011

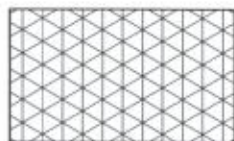





Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawn No.:
L-106



-  FOUNTAIN GRASS
-  LILY TURF
-  BIG BLUE LILY TURF
-  JUNIPER PARSONI
-  BLUE RUG JUNIPER
-  SKIMMIA

PLANT LIST

| KEY | BOTANICAL NAME | COMMON NAME | QTY | SIZE | ROOT | SPACING | COMMENTS |
|---------------------|-----------------------------------|-----------------------|-----|---------------|-------|----------|------------------|
| TREES | | | | | | | |
| GL | GLEDITSIA TRICANTHOS | THORNLESS HONEYLOCUST | 21 | 4 1/2"-5" CAL | B&B | AS SHOWN | 7' BRANCH HT. |
| MG | MAGNOLIA GRANDIFLORA | SOUTHERN MAGNOLIA | 6 | 16"-18" HT | B&B | AS SHOWN | SPECIMEN MATCHED |
| GRASSES | | | | | | | |
| PE | PENNISETUMS | FOUNTAIN GRASS | 2 | 2 GAL | CONT. | 36" OC | |
| GROUND COVER | | | | | | | |
| LI | LIRIOPE MUSCARI | LILYTURF | 1 | 1 GAL. | CONT. | 12" OC | |
| LM | LIRIOPE MUSCARI "BIG BLUE" | BIG BLUE LIRIOPE | 1 | 1 GAL. | CONT. | 12" OC | |
| JD | JUNIPERUS DAURICA | JUNIPER PARSONI | 3 | 3 GAL. | CONT. | 3'-5" OC | |
| JH | JUNIPERUS HORIZONTALIS 'Wiltonii' | BLUE RUG JUNIPER | 3 | 3 GAL. | CONT. | 3'-5" OC | |
| SJ | SKIMMIA JAPONICA | SKIMMIA | 1 | 1 GAL. | CONT. | 6'-8" OC | |

LEGEND:



NOTES:

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| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
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LANDSCAPE ARCHITECTS:

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 FAX.: (212) 477-6548

RUDIN DEVELOPMENT, LLC
SAINT VINCENT'S PARK
 New York, New York
WEST VILLAGE PROJECT
 170 West 12th Street | New York NY 10011

DRAWING TITLE:
TRIANGLE SITE PLANTING PLAN

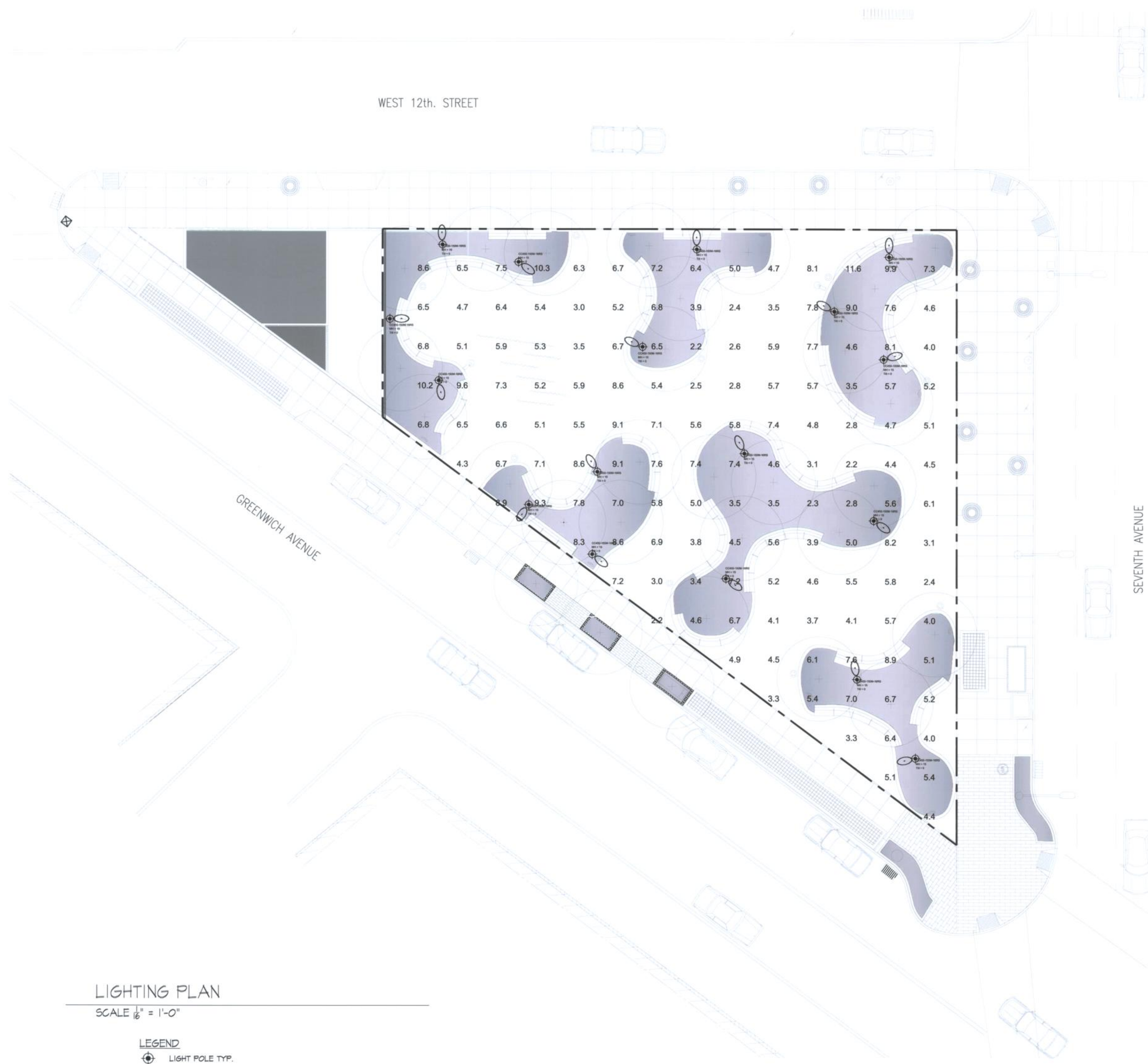
Drawn: MPFP Date: JUNE 2, 2011

Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawing No.:
L-107



LIGHTING PLAN

SCALE 1/8" = 1'-0"

LEGEND

⊕ LIGHT POLE TYP.

○ EXISTING LIGHT POLE

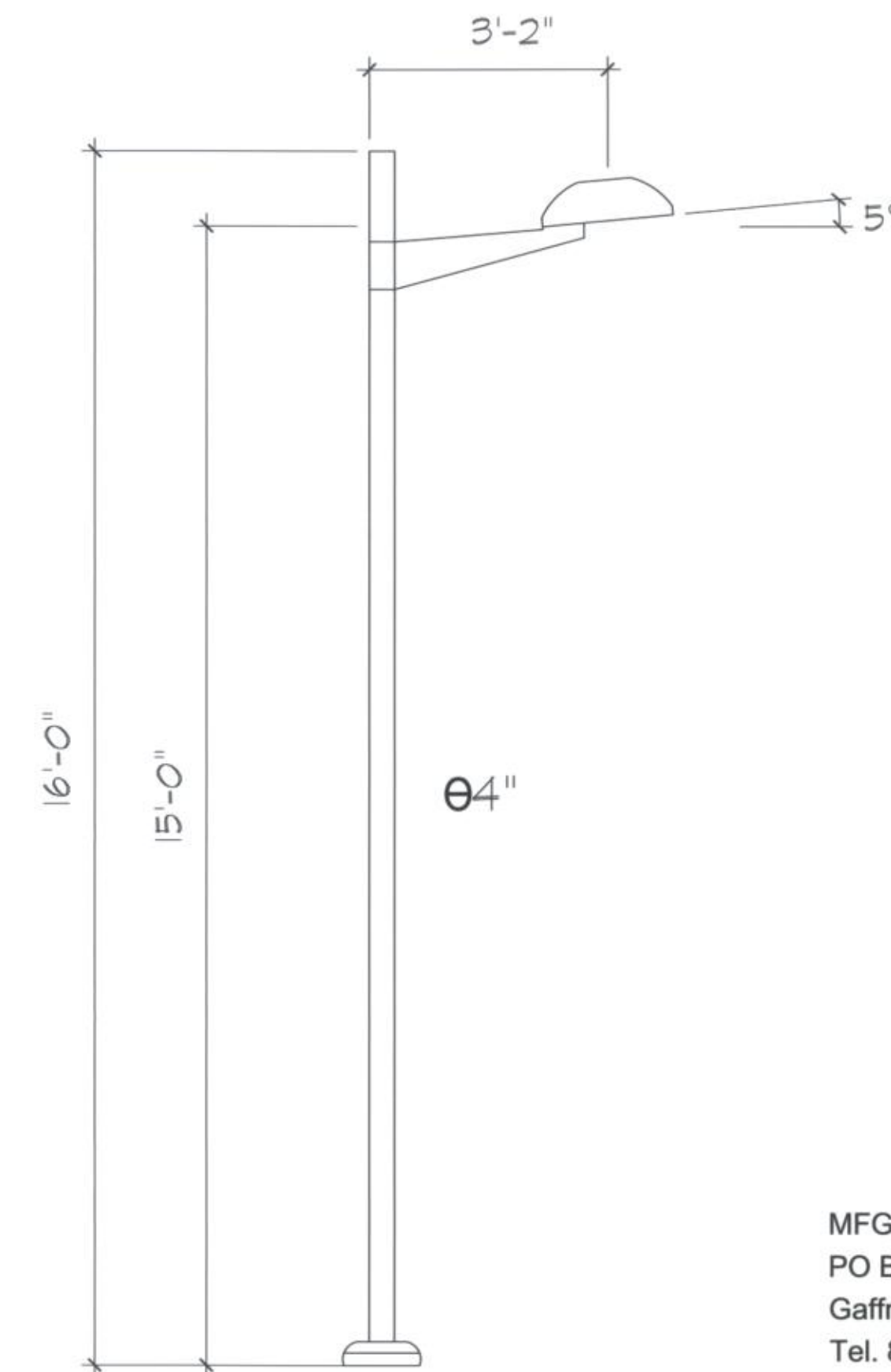
| Luminaire Schedule | | | | | | |
|--------------------|-----|-----------------|-------------|-------------------|-------|--|
| Symbol | Qty | Label | Arrangement | Total Lamp Lumens | LLF | Description |
| ⊕ | 17 | CC450-150M-16RS | SINGLE | 14000 | 0.680 | Canto 450, 150w ceramic metal halide, single mount, 16' round straight pole, 15' |

Actual results may vary due to line voltage variances, site conditions, obstructions, and manufacturing tolerances of lamps and ballasts.

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|------|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| CalcPts | Illuminance | Fc | 5.75 | 11.6 | 2.2 | 2.61 | 5.27 |

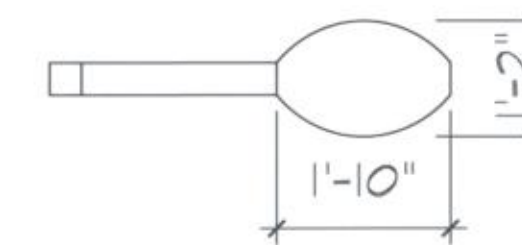
HessAmerica
PO Box 28
Gaffney, SC 29342
Tel. 864.487.3535

Date: 7/19/2011



LIGHTING POLE DETAIL

MFG :HessAmerica
PO Box 28
Gaffney, SC 29342
Tel. 864.487.3535



LEGEND:



NOTES:

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| NO. | REVISIONS SUBMISSIONS | DATE |
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| 01 | DRAFT SUBJECT TO CHANGE | JULY 19, 2011 |
| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:



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New York, New York
WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:
**TRIANGLE SITE
LIGHTING PLAN**

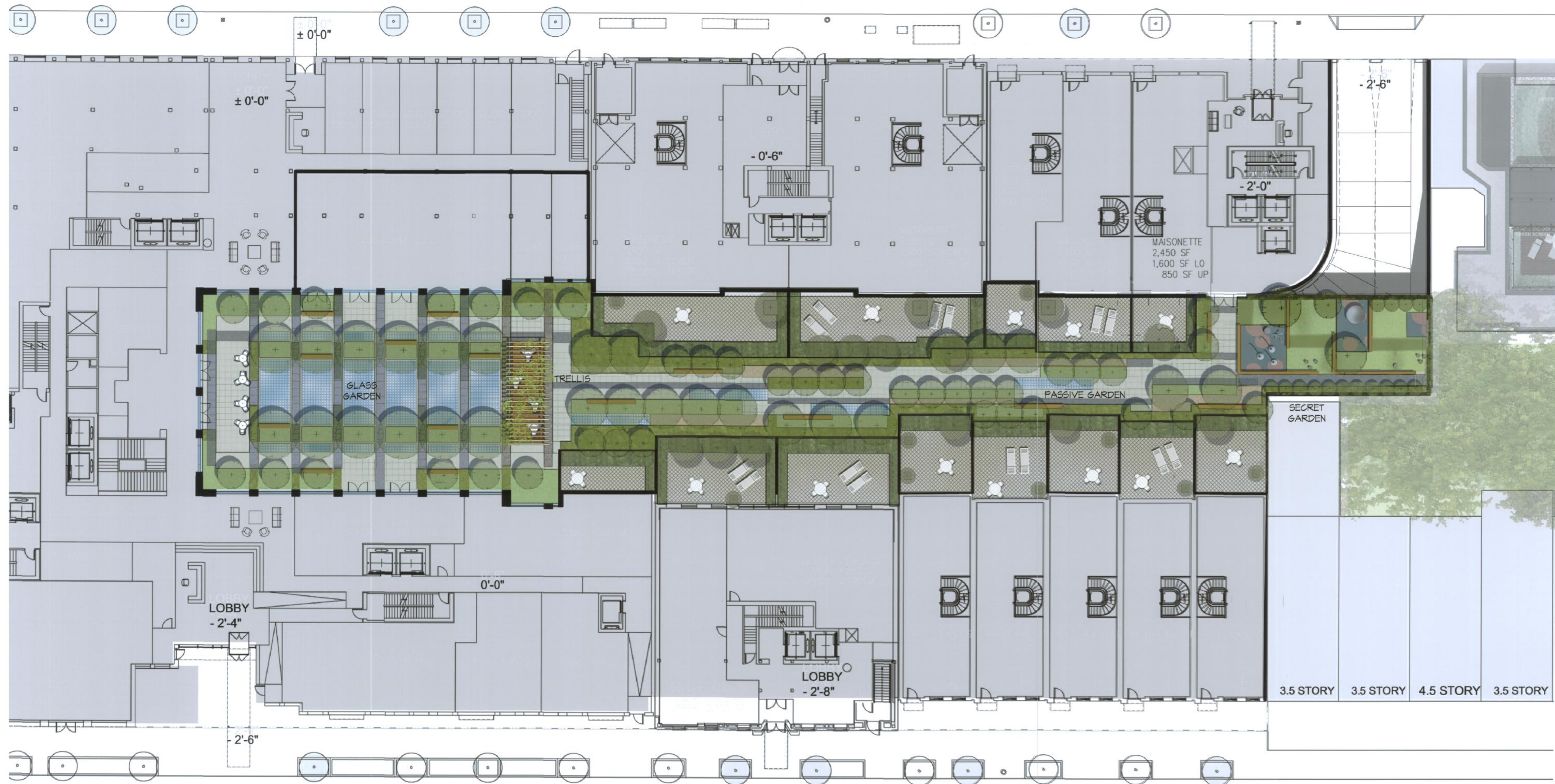
Drawn: MPFP Date: JUNE 2, 2011

Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawing No.:
L-108



SITE PLAN
SCALE 1/16" = 1'-0"

LEGEND:



NOTES:

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FAX.: (212) 477-6548



RUDIN DEVELOPMENT, LLC

SAINT VINCENT PARK
New York, New York

WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:

**EAST SITE
ILLUSTRATIVE SITE PLAN**

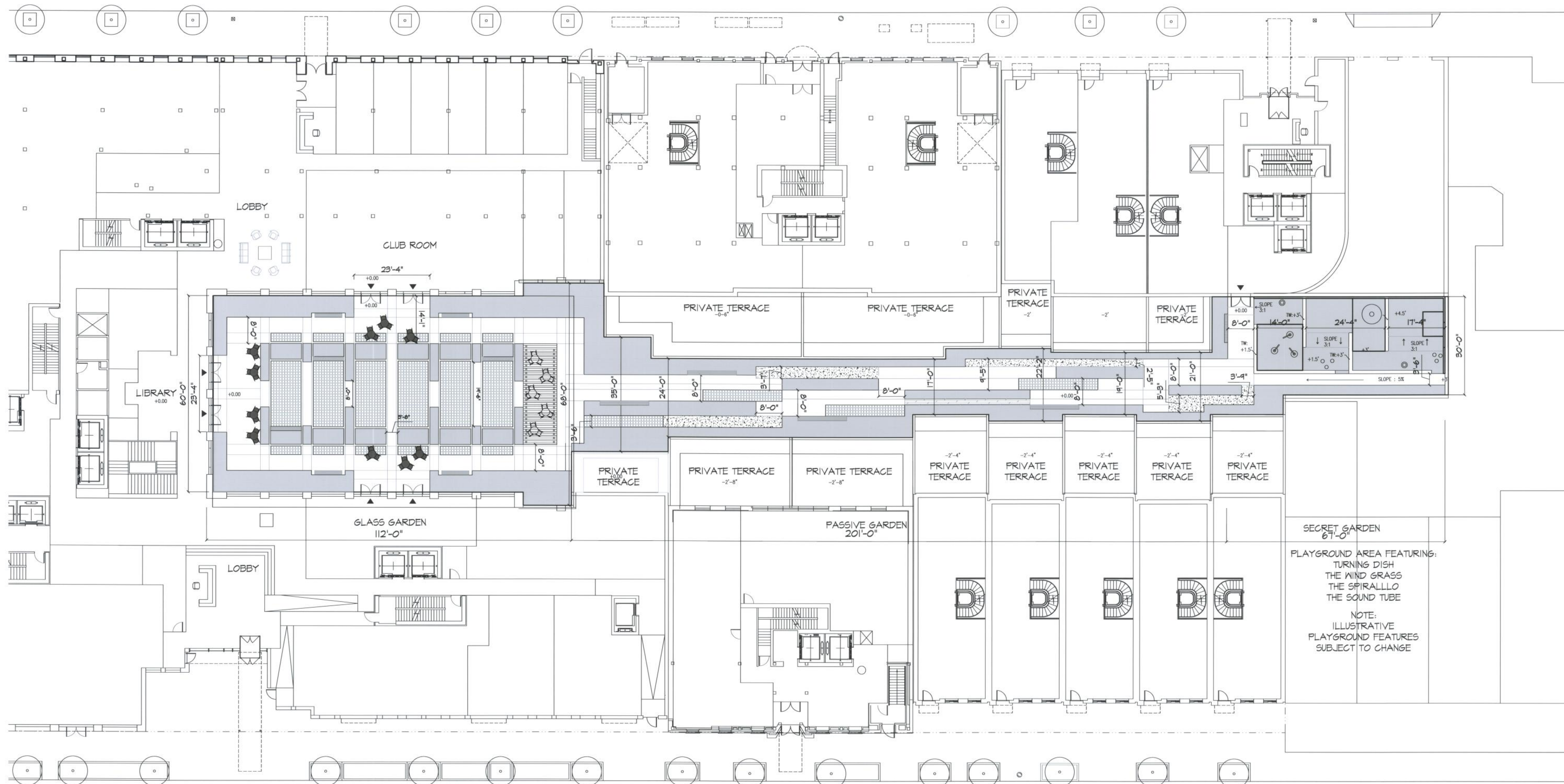
Drawn: MPFP Date: JUNE 2, 2011

Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawing No.:



SITE PLAN
SCALE 1/16" = 1'-0"

LEGEND:

- GLASS BLOCK / PAVING SKYLIGHT SYSTEM
- PLANTED AREA
- PAVERS
- BLUE PAVERS
- PEA GRAVEL OR DECOMPOSED GRANITE PATH
- WOOD BENCH

- PROPOSED TREE
- 10'x30' WOOD & S.S. TRELLIS
- TABLE AND CHAIR

NOTE:
PAVING, TRELLIS, SEATING, AND LIGHTING ARE SUBJECT TO CHANGE

LEGEND:



NOTES:

1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
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| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

MPPFP **MPPFP LLC**
41 EAST 11TH STREET
NEW YORK, NY 10003
TEL.: (212) 477-6366
FAX.: (212) 477-6548

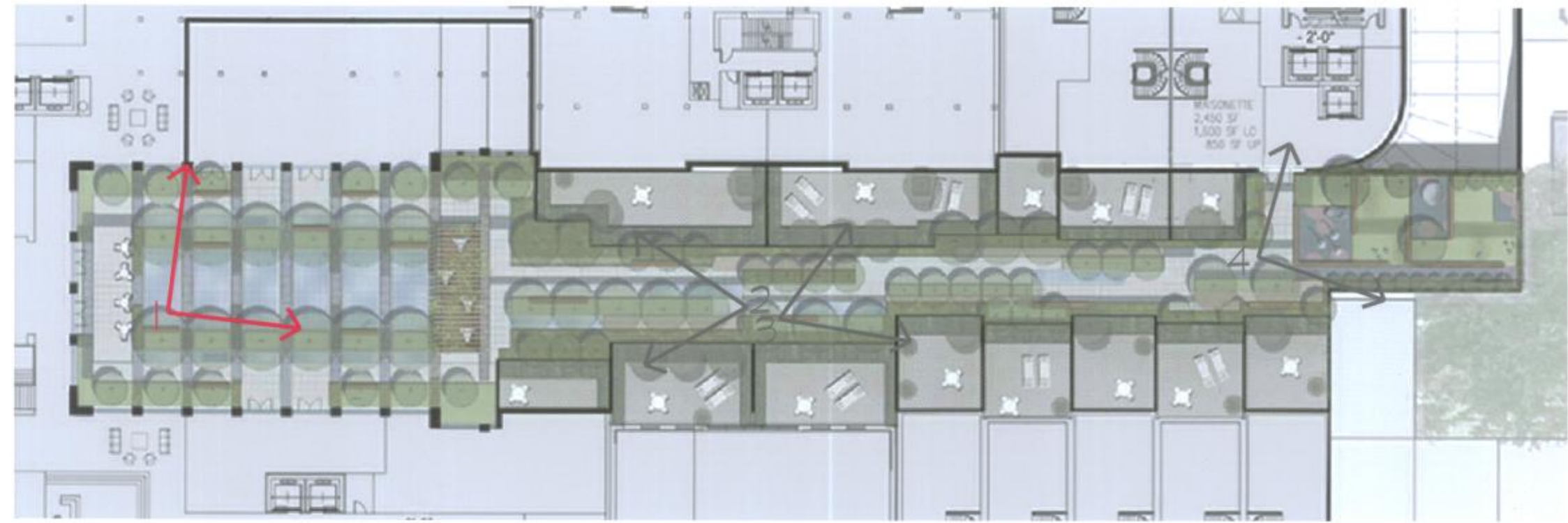


RUDIN DEVELOPMENT, LLC

SAINT VINCENT PARK
New York, New York
WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:
EAST SITE
DIMENSIONED PLAN

| | |
|--------------|--------------------|
| Drawn: MPPFP | Date: JUNE 2, 2011 |
| Checked: | Scale: SEE DWG |
| Reviewed: | Project No.: |
| Seal: | Cad File: |
| | Drawing No.: |



KEY PLAN



VIEW I :
THE GLASS GARDEN

LEGEND:



NOTES:

- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
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LANDSCAPE ARCHITECTS:

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NEW YORK, NY 10003
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FAX.: (212) 477-6548

FX FOWLE
FOWLE ARCHITECTS, LLP | 125 WEST 87TH STREET, NEW YORK, NY 10024 | TEL: (212) 625-4200 | WWW.FX-FOWLE.COM

RUDIN DEVELOPMENT, LLC

SAINT VINCENT PARK
New York, New York

WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:

**EAST SITE
ILLUSTRATIVE PERSPECTIVE**

Drawn: MPFP Date: JUNE 2, 2011

Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawing No.:



KEY PLAN



VIEW 2 :
THE PASSIVE GARDEN

LEGEND:



NOTES:

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| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
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| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

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FX FOWLE ARCHITECTS, LLP | 25 WEST 57TH STREET | NEW YORK, NY 10019 | TEL: (212) 477-1100 | WWW.FX-FOWLE.COM

RUDIN DEVELOPMENT, LLC

SAINT VINCENT PARK
New York, New York

WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:

**EAST SITE
ILLUSTRATIVE PERSPECTIVE**

Drawn: MPFP Date: JUNE 2, 2011

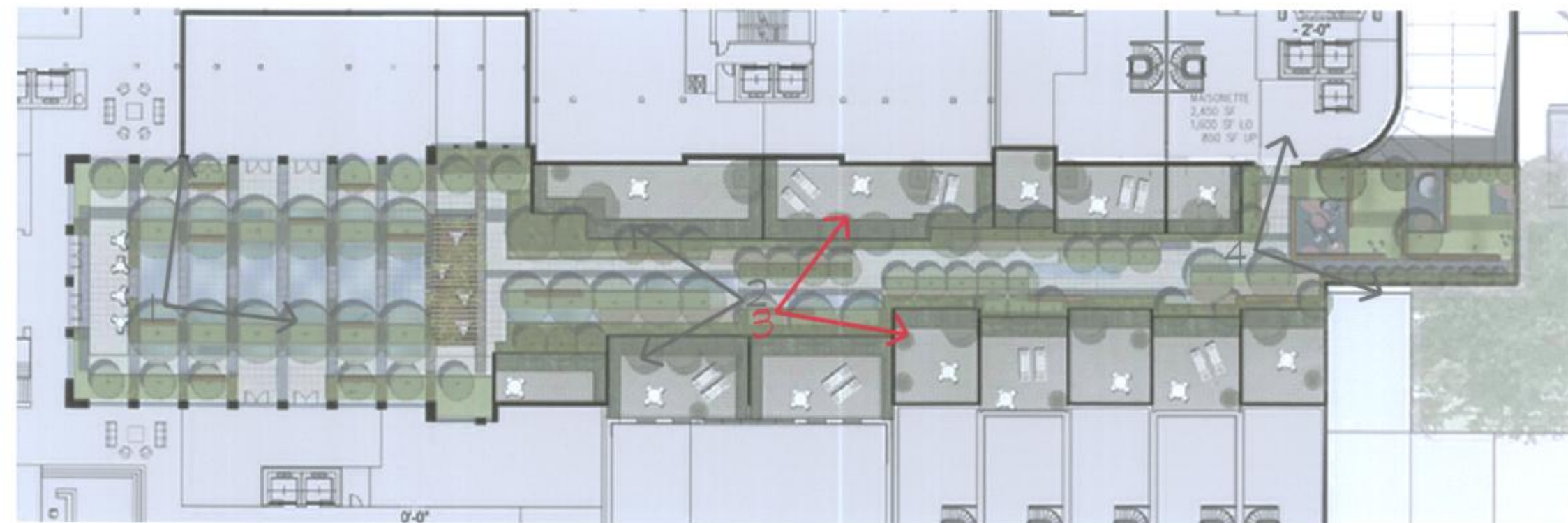
Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

Drawing No.:

L-203



KEY PLAN



VIEW 3 :
THE PASSIVE GARDEN

LEGEND:



NOTES:

1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
2. LANDSCAPE ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1)

| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
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LANDSCAPE ARCHITECTS:

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FX FOWLE
PERKINS ARCHITECTS, LLP | 20 WEST 57TH STREET, NEW YORK, NY 10019 | PERKINS-ARCHITECTS.COM | FXFOWLE.COM

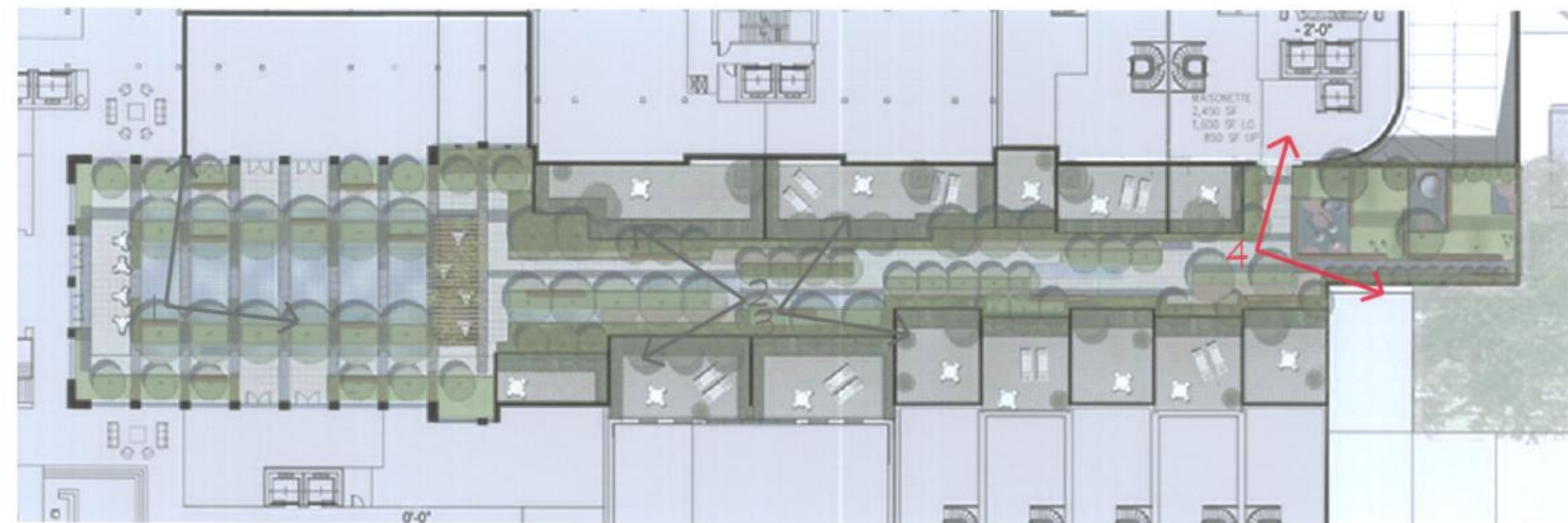
RUDIN DEVELOPMENT, LLC

SAINT VINCENT PARK
New York, New York

WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:
EAST SITE
ILLUSTRATIVE PERSPECTIVE 3

| | |
|-------------|--------------------|
| Drawn: MPFP | Date: JUNE 2, 2011 |
| Checked: | Scale: SEE DWG |
| Reviewed: | Project No.: |
| Seal: | Cad File: |
| | Drawing No.: |



KEY PLAN



VIEW 4 :
THE SECRET GARDEN

LEGEND:



NOTES:

1. ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
2. LANDSCAPE ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1)

| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
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| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

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FX FOWLE
LANDSCAPE ARCHITECTS, L.P. | 20 WEST 86TH STREET, NEW YORK, NY 10024 | (212) 477-1100 | FXFOWLE.COM

RUDIN DEVELOPMENT, LLC

SAINT VINCENT PARK
New York, New York

WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:

**EAST SITE
ILLUSTRATIVE PERSPECTIVE 4**

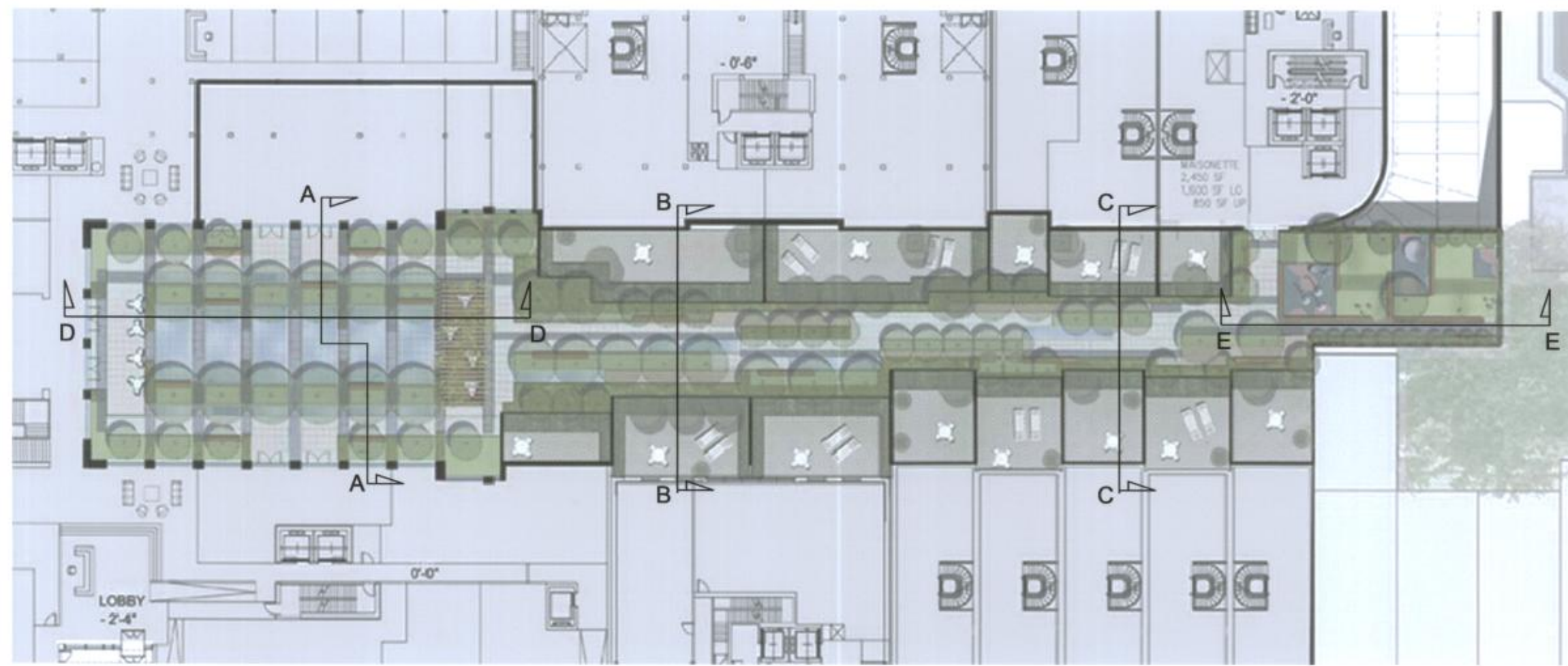
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Checked: Scale: SEE DWG

Reviewed: Project No.:

Seal: Cad File:

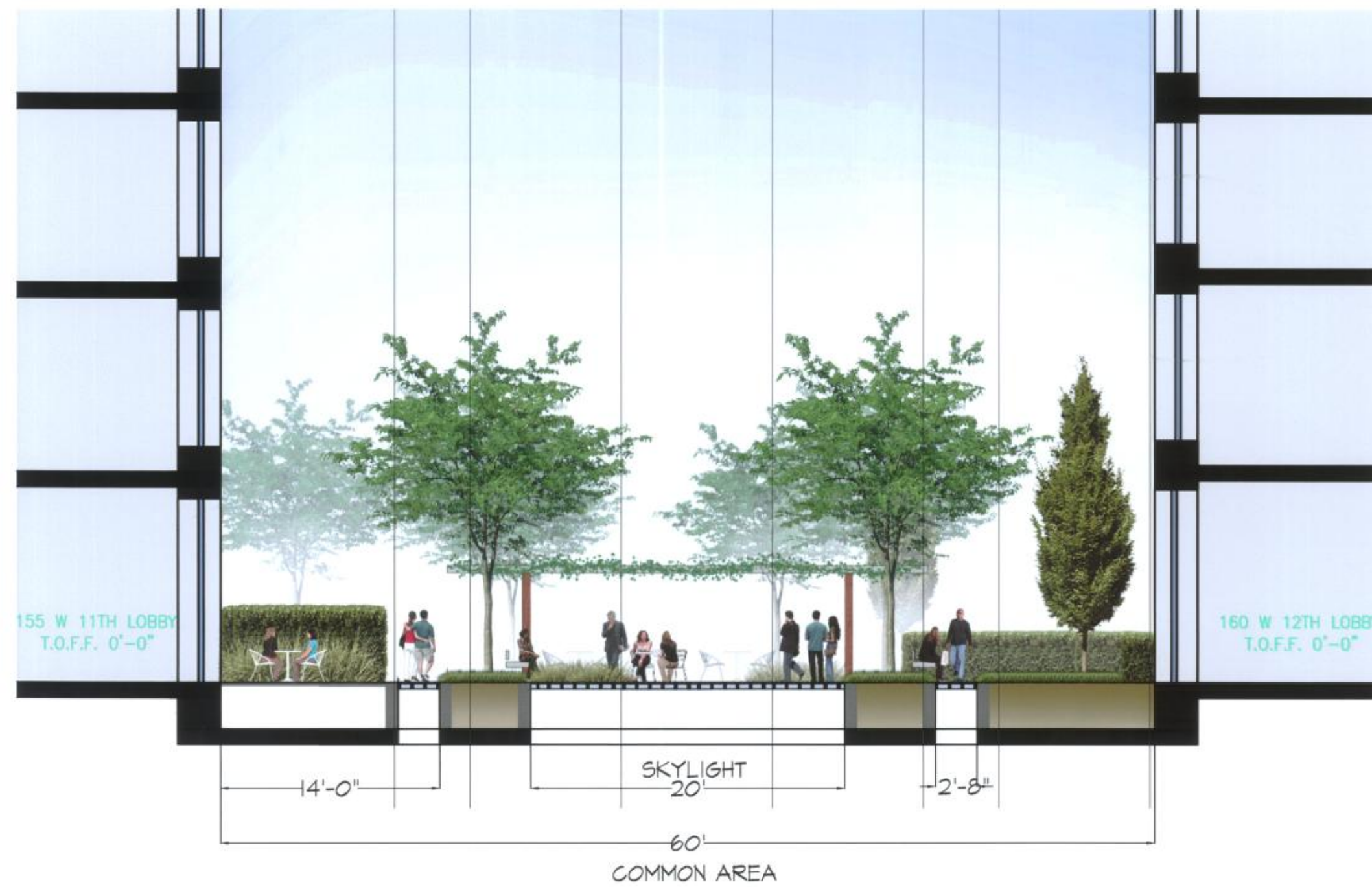
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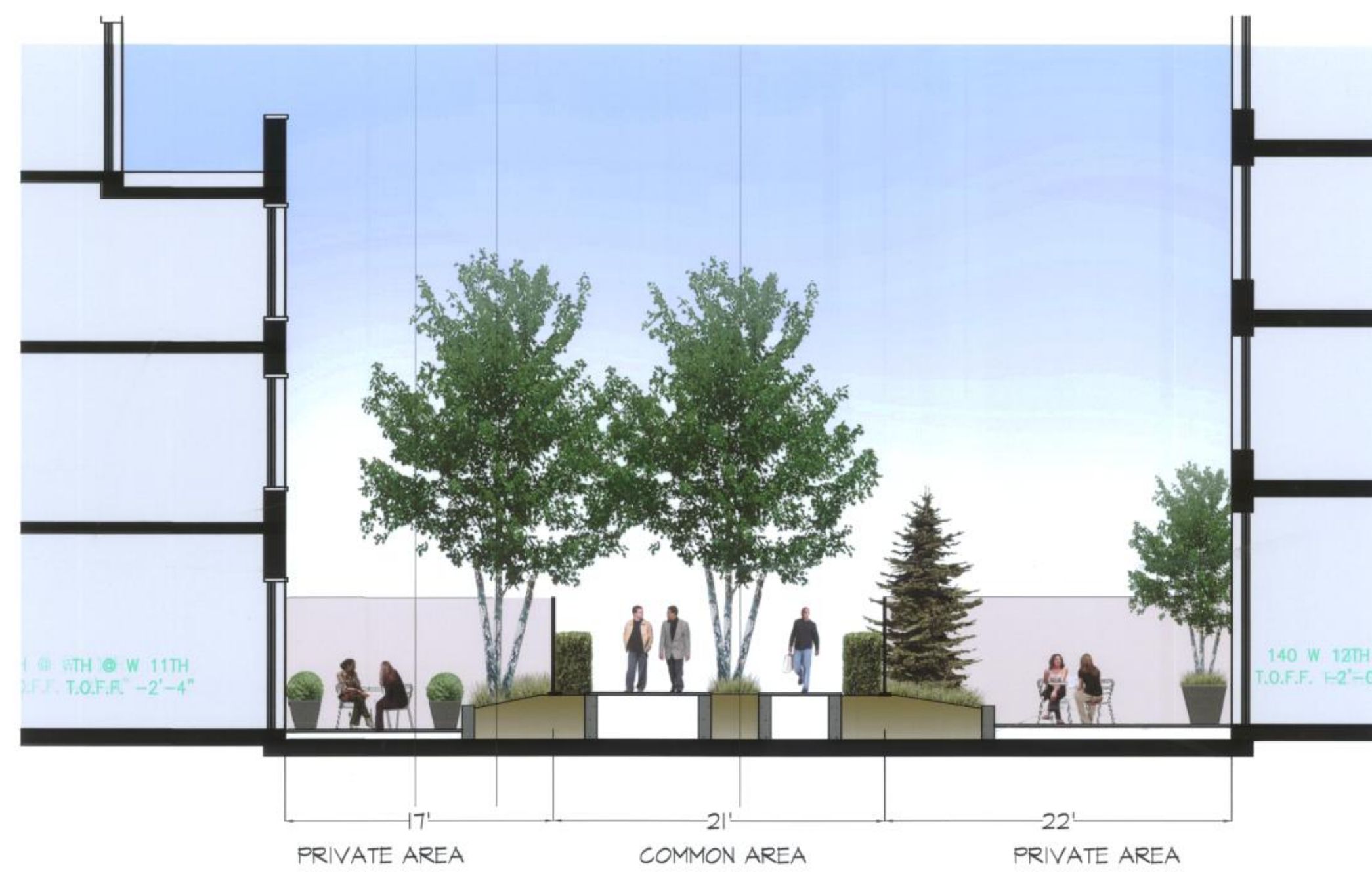
KEY PLAN



SECTION B
SCALE 1/8" = 1'-0"



SECTION A
SCALE 1/8" = 1'-0"



SECTION C
SCALE 1/8" = 1'-0"

LEGEND:



NOTES:

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New York, New York

WEST VILLAGE PROJECT
170 West 12th Street | New York NY 10011

DRAWING TITLE:

**EAST SITE
ILLUSTRATIVE SECTIONS**

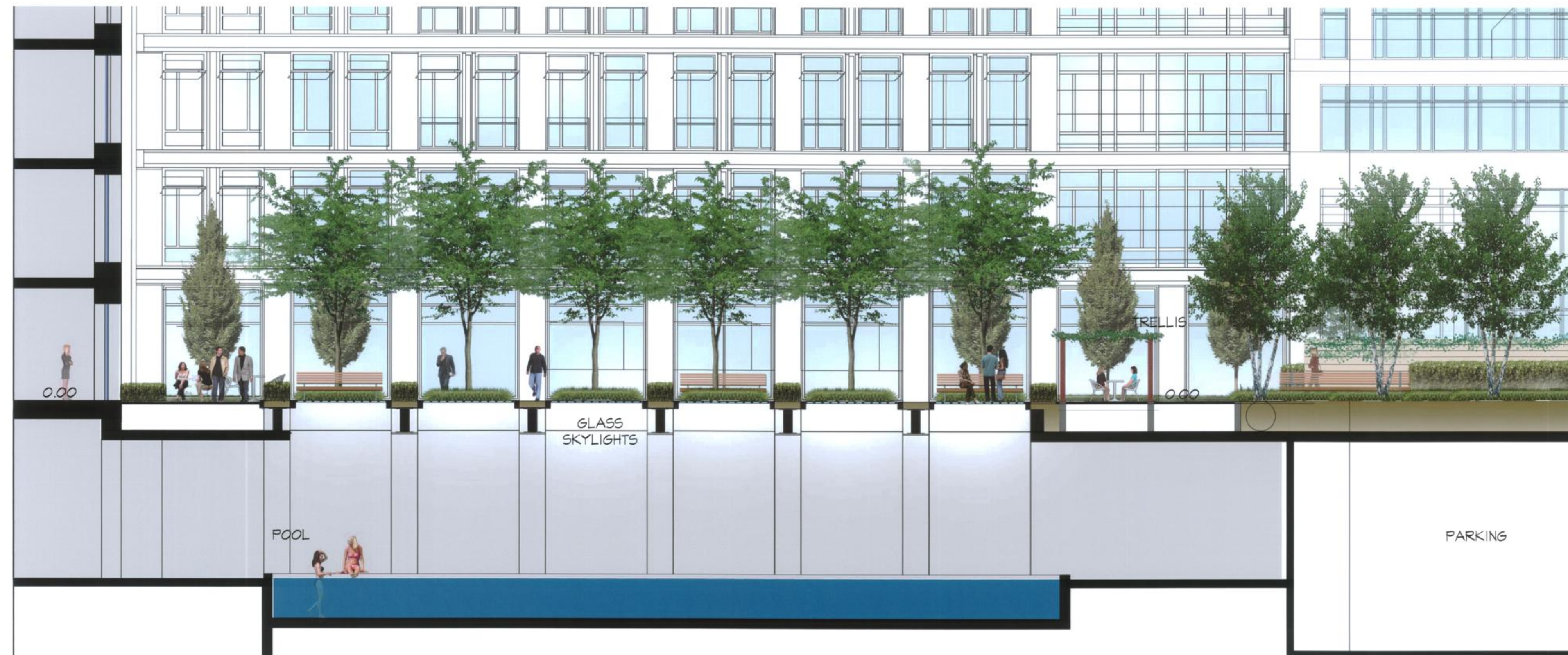
Drawn: MPFP Date: JUNE 2, 2011

Checked: Scale: SEE DWG

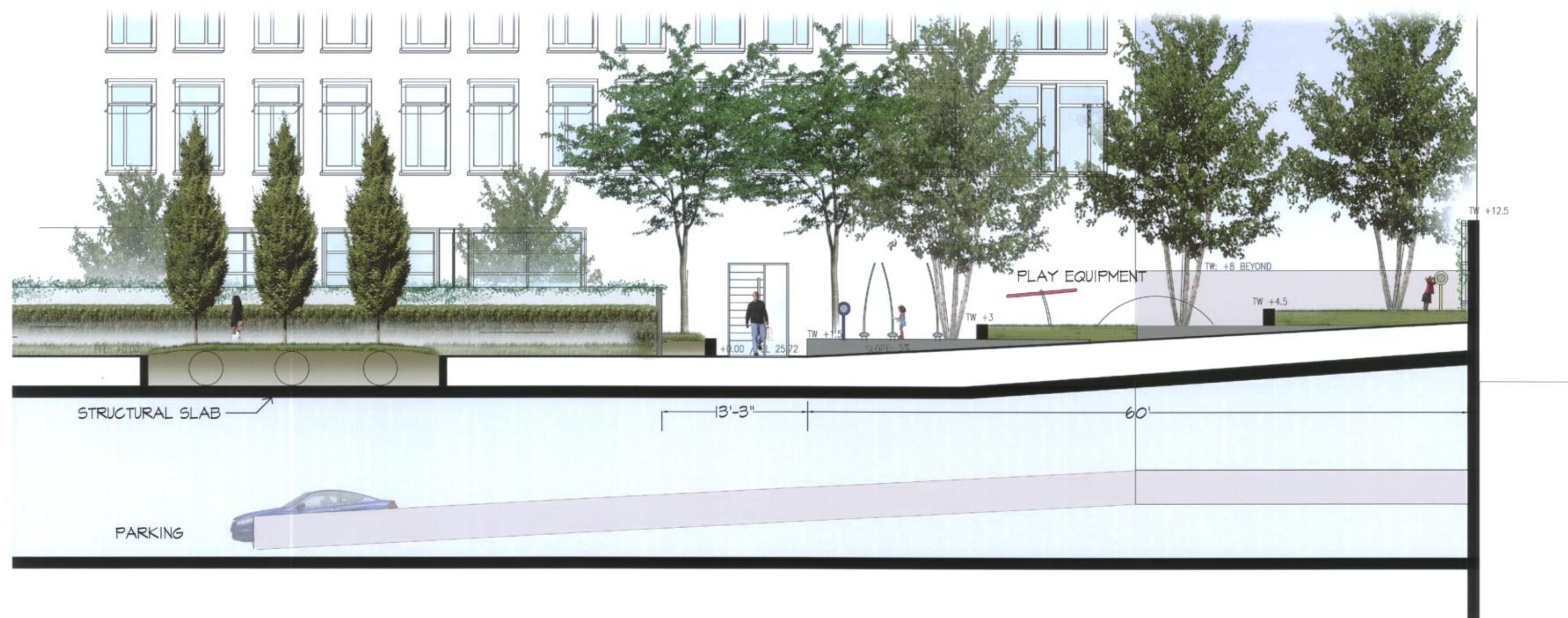
Reviewed: Project No.:

Seal: Cad File:

Drawing No.:



SECTION D: GLASS GARDEN
SCALE 1/8" = 1'-0"



SECTION E : THE SECRET GARDEN
SCALE 1/8" = 1'-0"

LEGEND:



NOTES:

- ELEVATIONS ARE ACTUAL AND REFER TO DATUM USED BY THE TOPOGRAPHICAL BUREAU, BOROUGH OF MANHATTAN, WHICH IS 2.75 FEET ABOVE THE NATIONAL GEODETIC SURVEY VERTICAL DATUM OF 1929 (UNITED STATES COAST AND GEODETIC SURVEY), MEAN SEA LEVEL, SANDY HOOK, NEW JERSEY.
- LANDSCAPE ELEVATIONS ARE BASED ON EL. +0'-0" = EL. +27.54' (MANHATTAN DATUM, SEE NOTE #1)

| NO. | REVISIONS SUBMISSIONS | DATE |
|-----|-------------------------|-----------------|
| 01 | DRAFT SUBJECT TO CHANGE | JULY 19, 2011 |
| 02 | ULURP CERTIFICATION | AUGUST 10, 2011 |

LANDSCAPE ARCHITECTS:

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RUDIN DEVELOPMENT, LLC

SAINT VINCENT PARK
New York, New York

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