

190 BOWERY

RFR REALTY

04.08.2015





1898



1905



1975



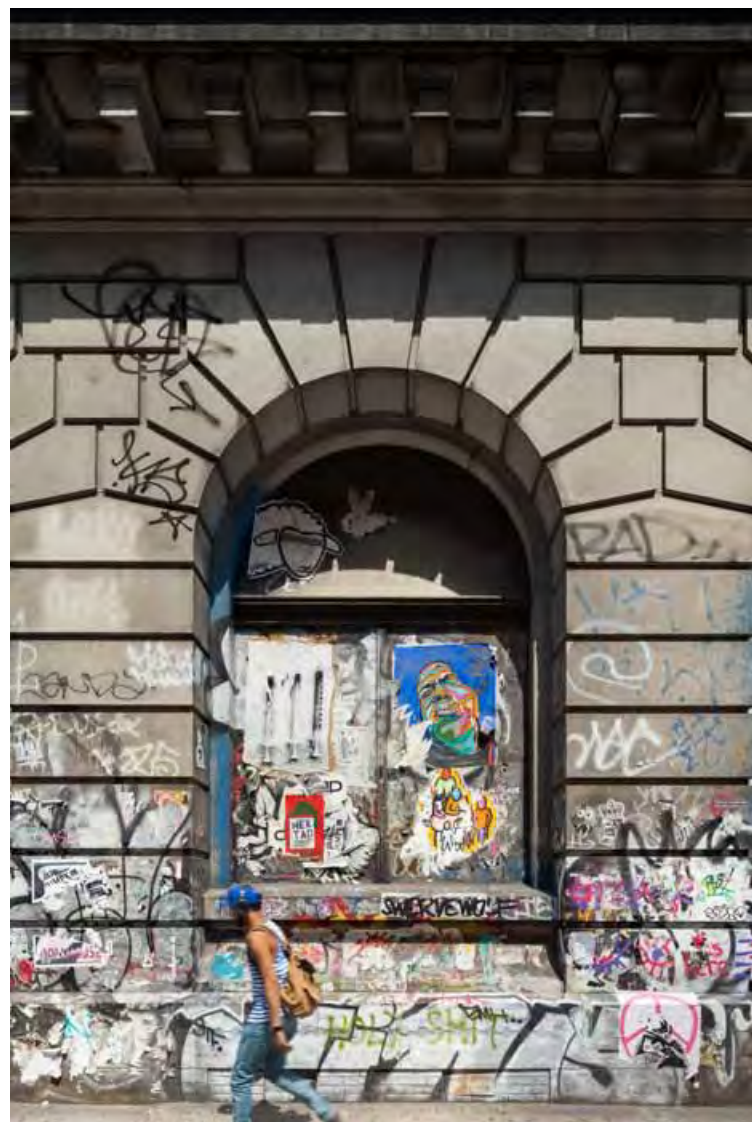
2002



BOWERY



SPRING ST.



TYPICAL SPRING ST. BAY

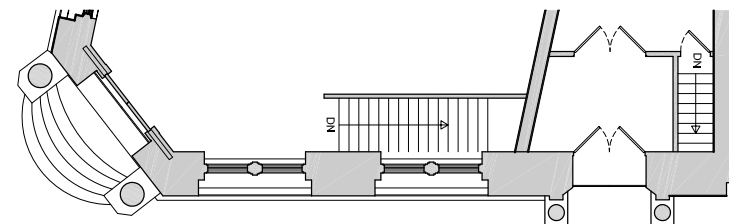
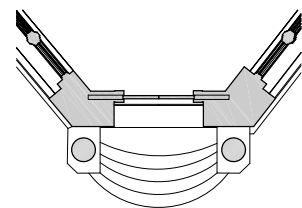


MAIN ENTRY



BOWERY ENTRY







RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

RESTORE GATES AND FIX IN OPEN POSITION

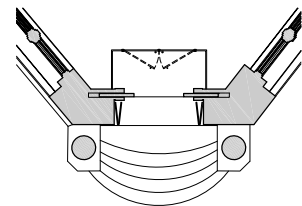
RESTORE SLIDING POCKET DOORS

RESTORE WOOD MULLIONS AND TRANSOM BARS

RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

BANK HALL LEVEL
EL. ±2'-6"

LOBBY LEVEL
EL. ±0'-1/2"

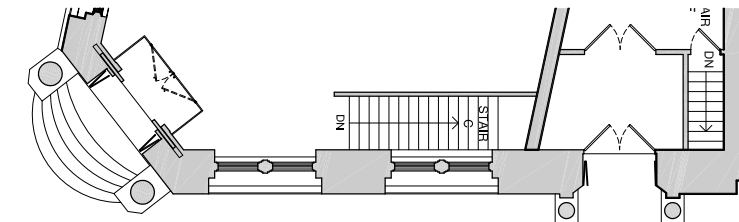


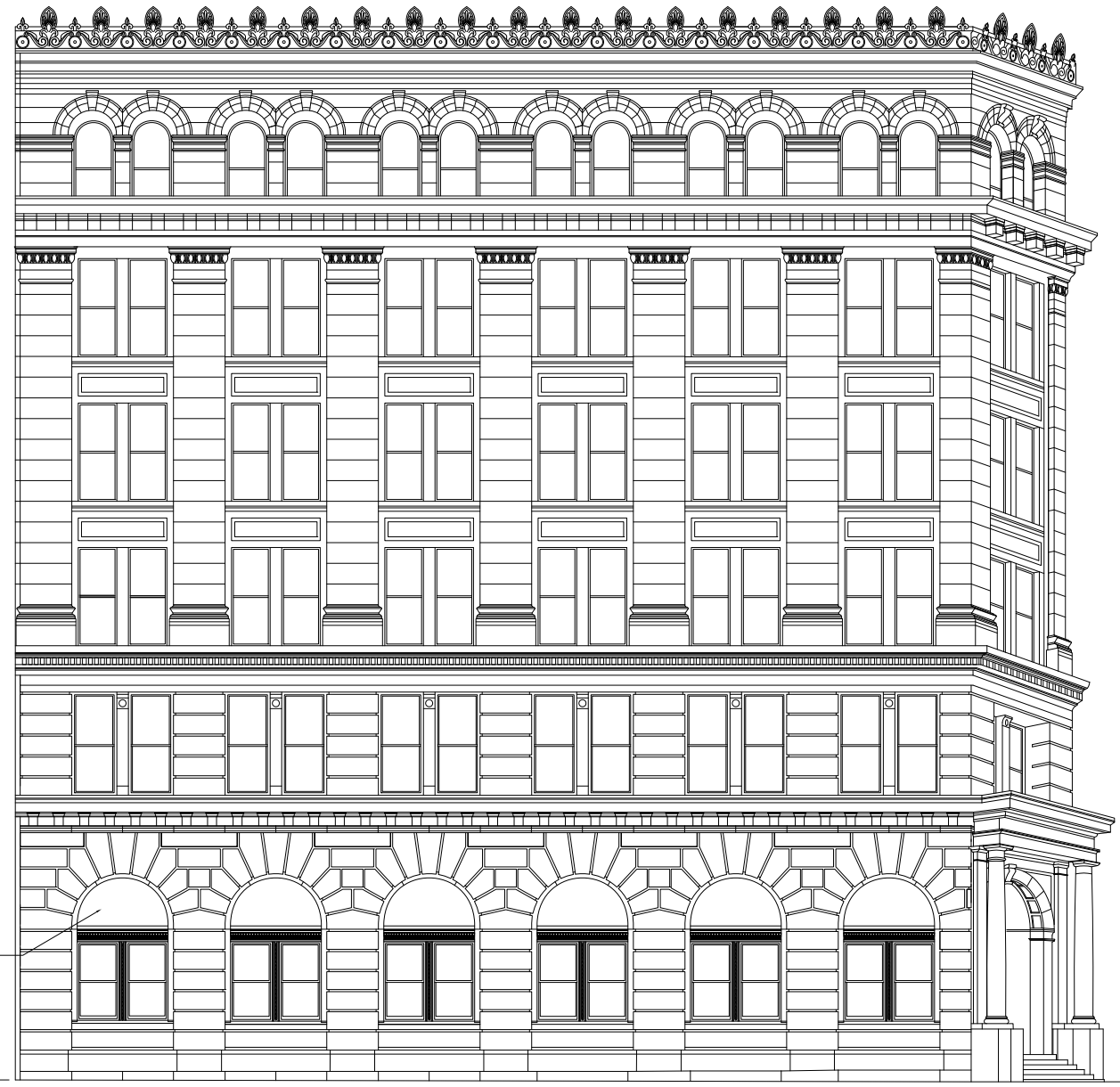
RESTORE DECORATIVE-GLASS TRANSOMS

RESTORE GATES AND FIX IN OPEN POSITION

BANK HALL LEVEL
EL. ±2'-6"

LOBBY LEVEL
EL. ±0'-1/2"

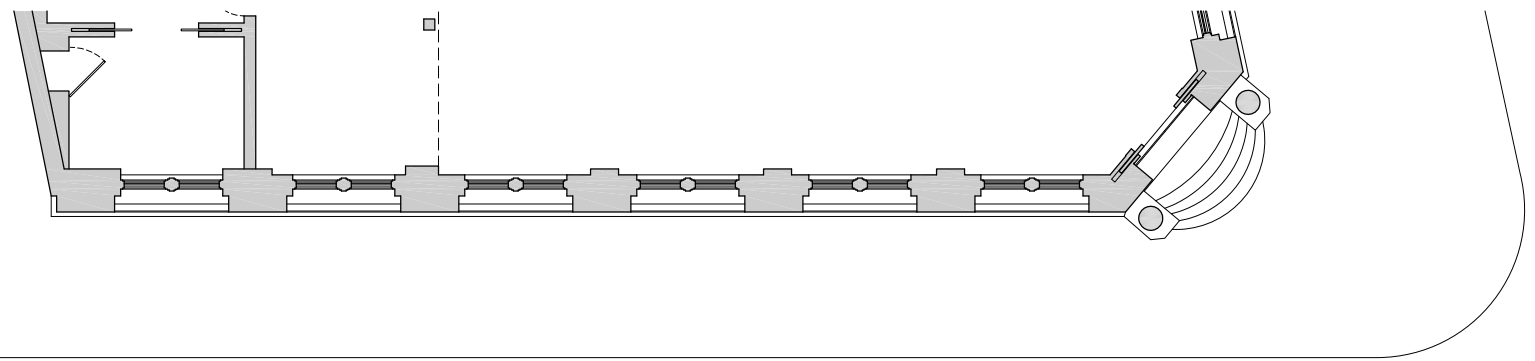


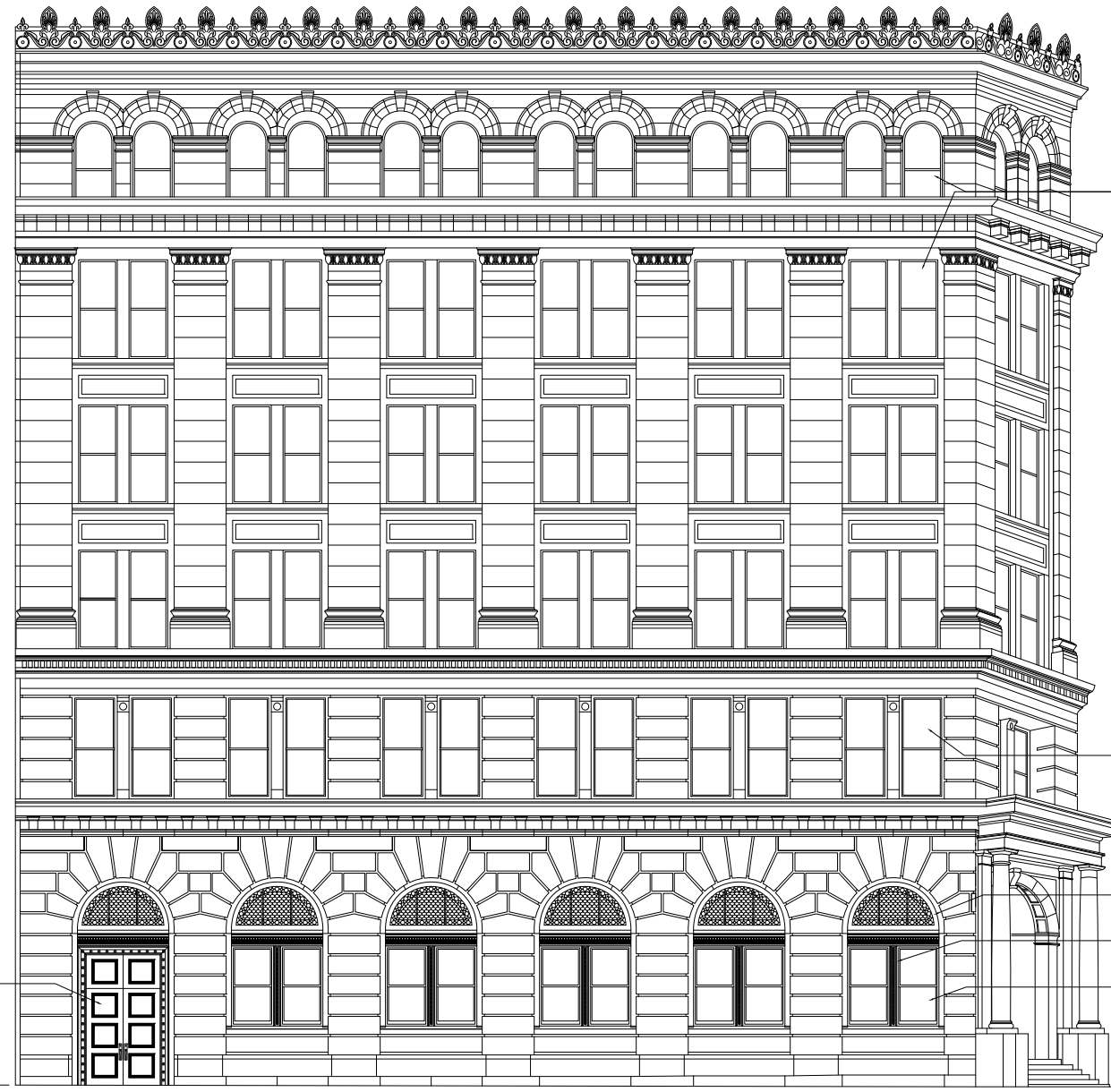


DECORATIVE TRANSOM
EXISTS BEHIND OPAQUE
COVERING

BANKING HALL LEVEL
EL.± 2'-6"

ADA LOBBY LEVEL
EL.± 0'-0"





RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

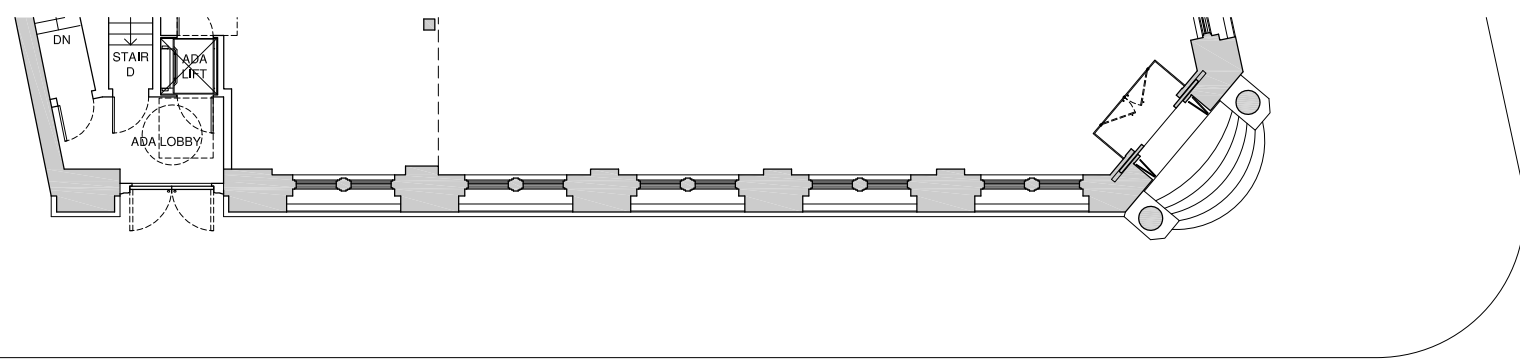
RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

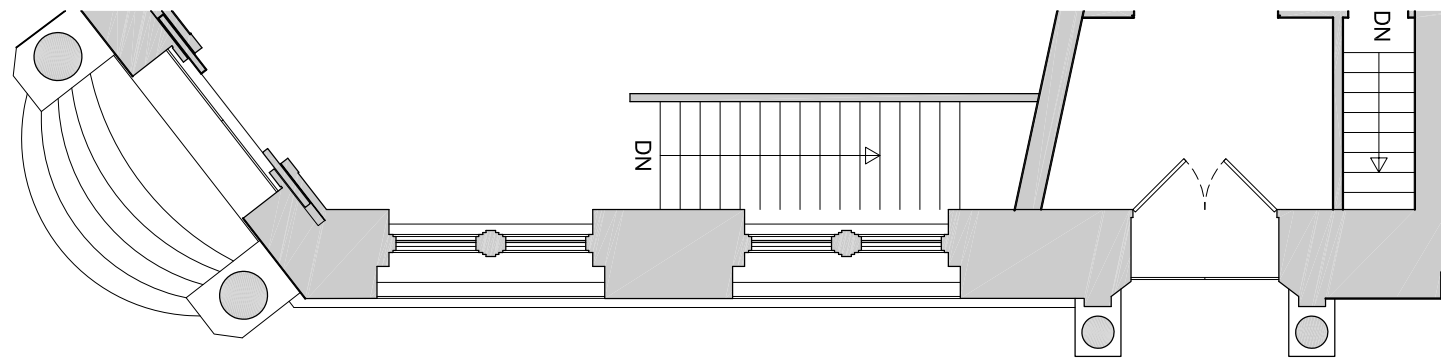
- RESTORE DECORATIVE-GLASS TRANSOMS
- RESTORE WOOD MULLIONS AND TRANSOM BARS
- RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

NEW DOOR AT EXISTING WINDOW BAY

BANKING HALL LEVEL
EL. ± 2'-6"

ADA LOBBY LEVEL
EL. ± 0'-0"







RESTORE WOOD MULLIONS AND TRANSOM BARS

RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

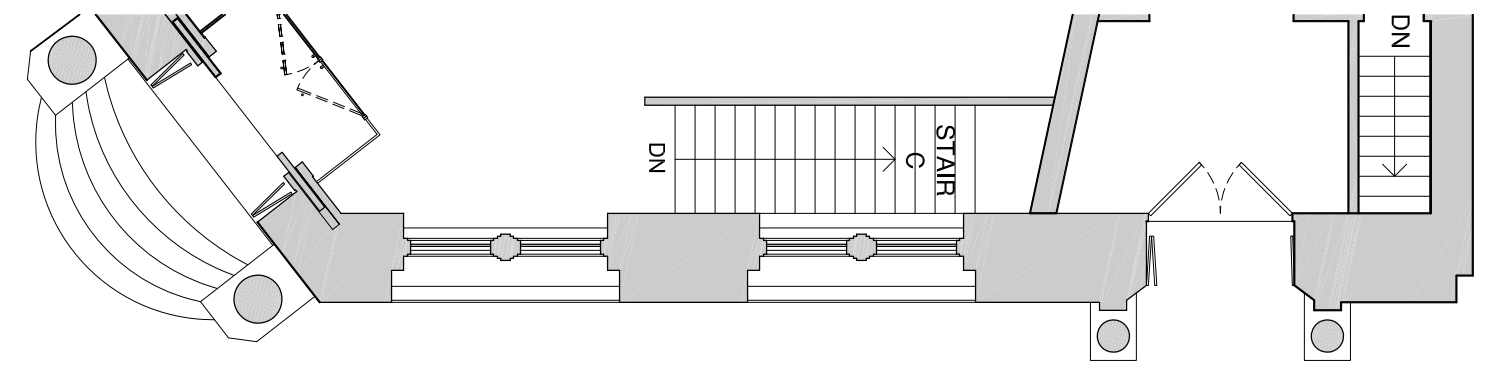
RESTORE DECORATIVE-GLASS TRANSOMS

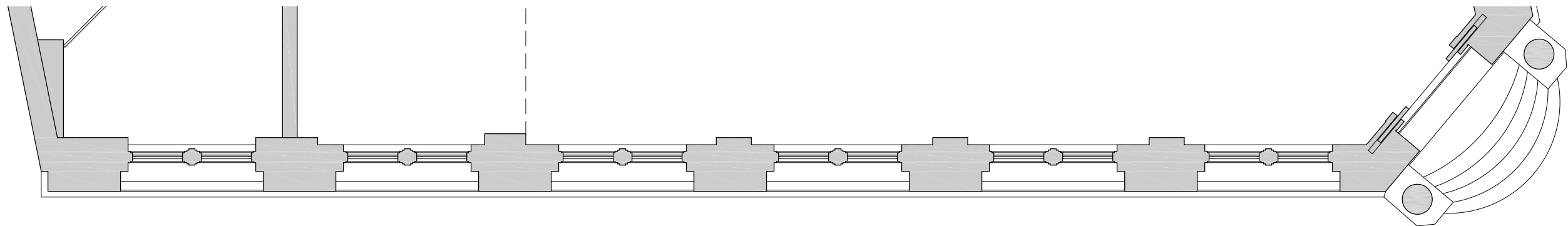
RESTORE GATES AND FIX IN OPEN POSITION

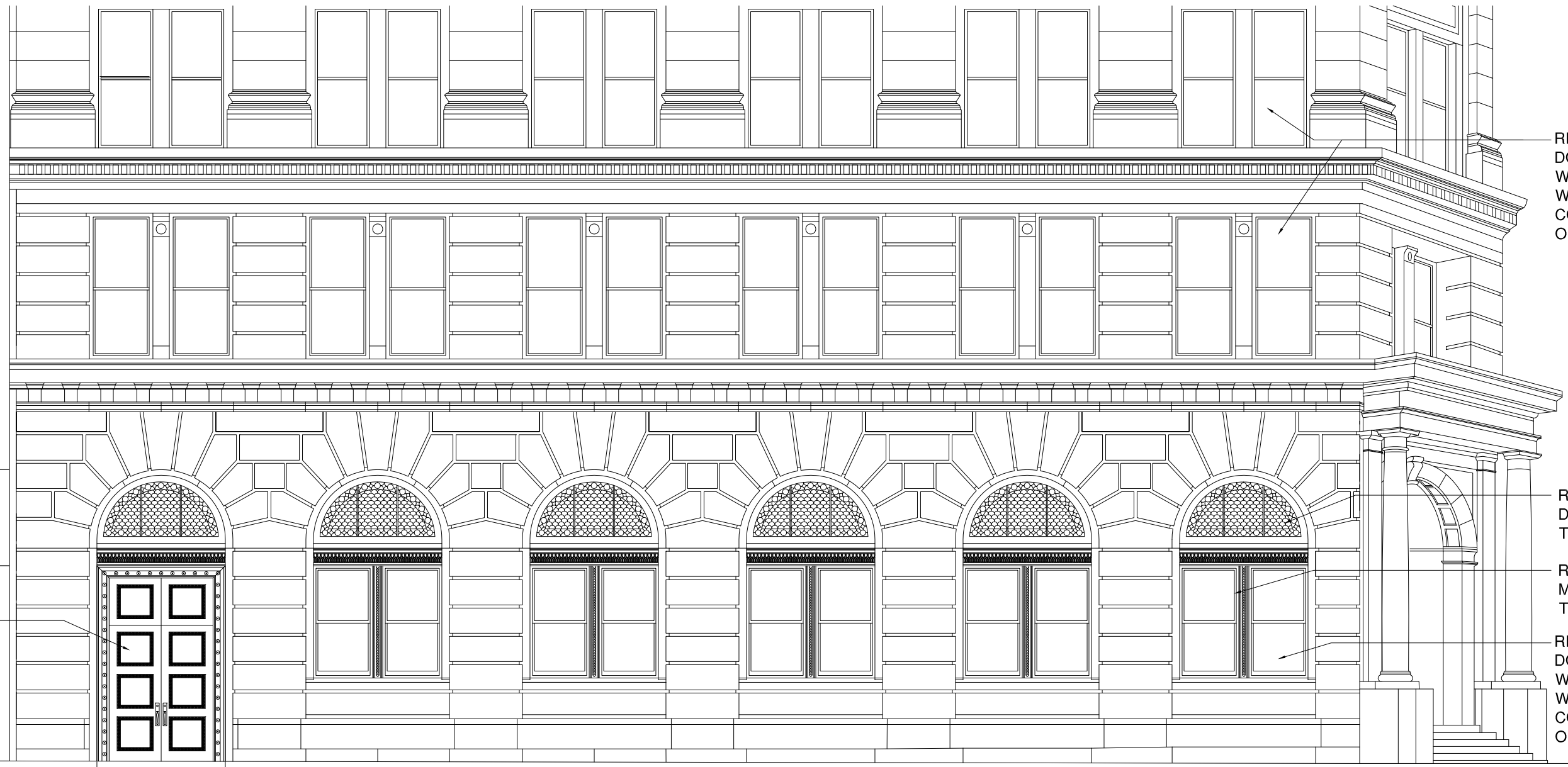
REMOVE 1" TREAD

BANK HALL LEVEL
EL. ±2'-6"

LOBBY LEVEL
EL. ±0'-1/2"







RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

RESTORE DECORATIVE-GLASS TRANSOMS

RESTORE WOOD MULLIONS AND TRANSOM BARS

RESTORE OR REPLACE DOUBLE-HUNG WOOD WINDOWS WITH NEW WOOD WINDOWS TO MATCH PROFILE, CONFIGURATION, AND OPERATION OF EXISTING

NEW DOOR AT EXISTING WINDOW BAY

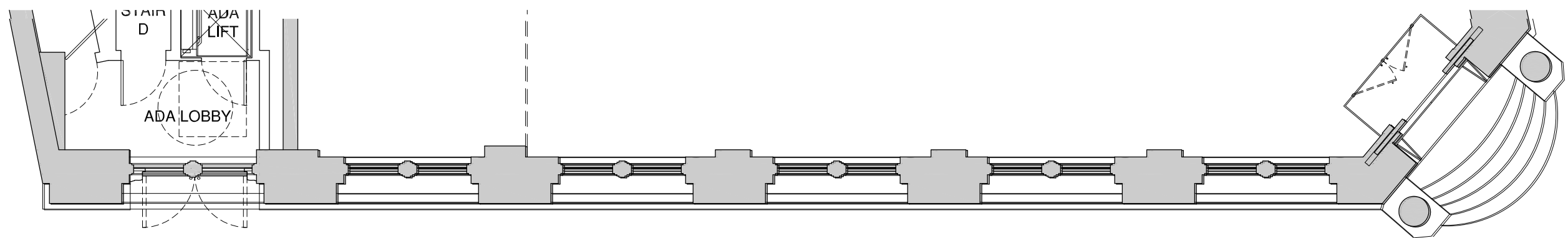
BANKING HALL LEVEL
EL. ± 2'-6"

ADA LOBBY LEVEL
EL. ± 0'-0"

6'-4³/₈"

12'-11¹/₈"

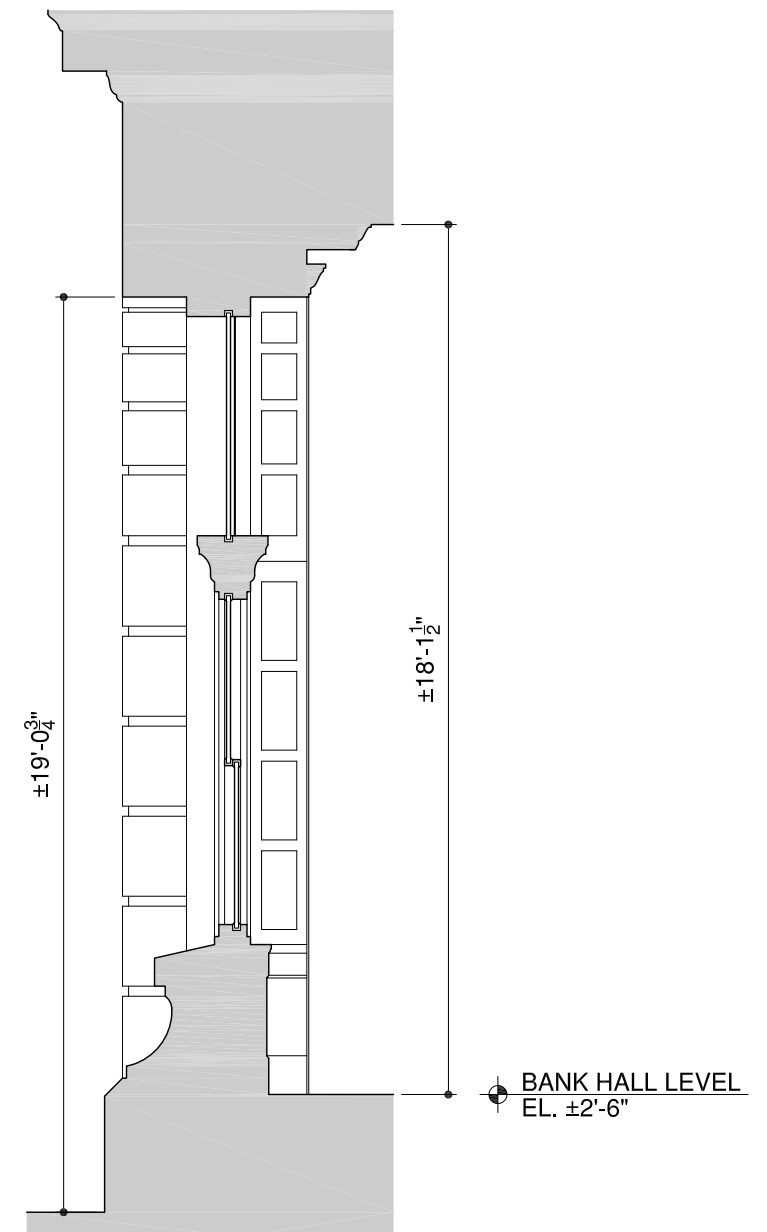
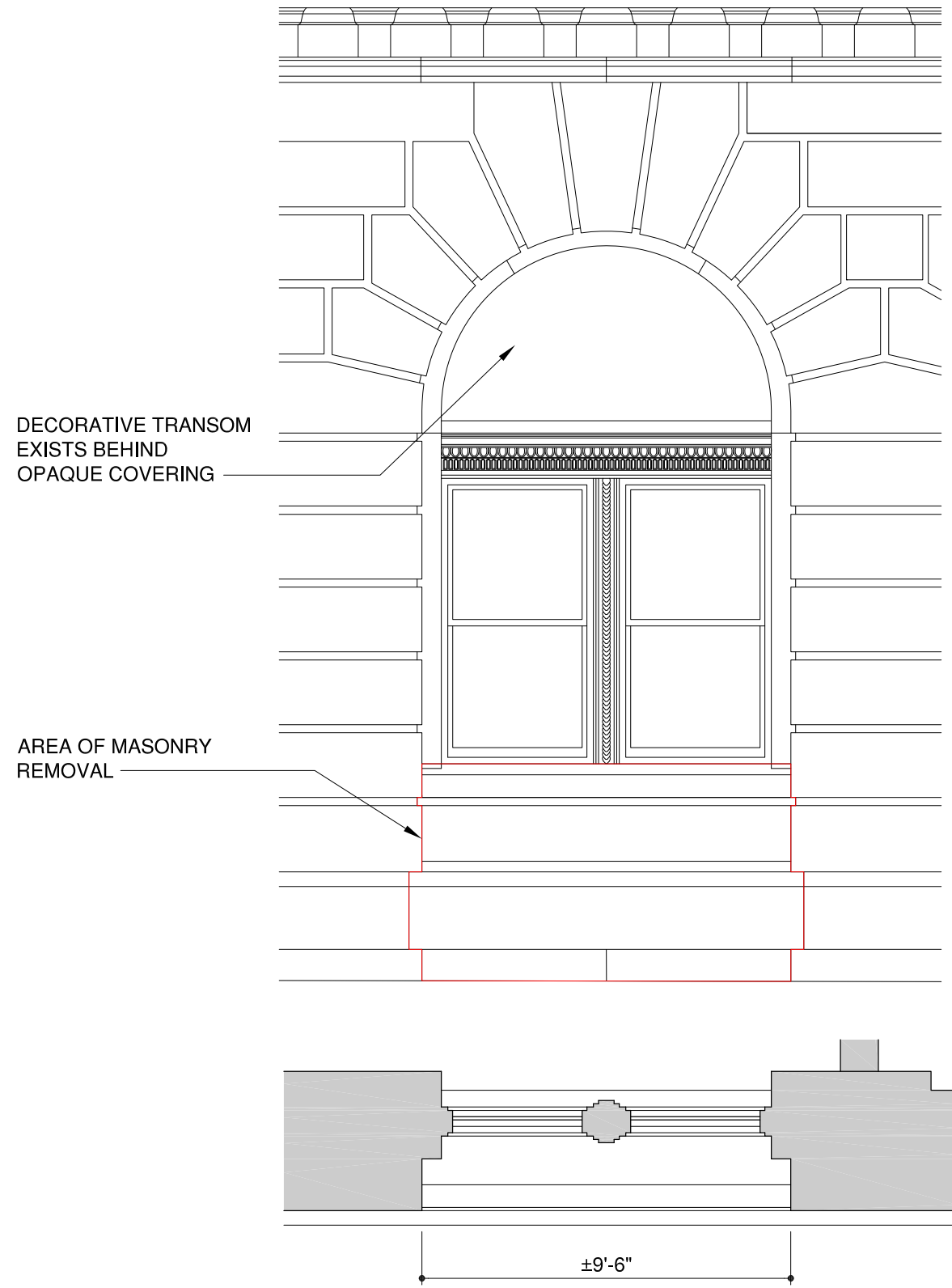
8'-6"



STAIR
D

ADA
LIFT

ADA LOBBY





RESTORE
DECORATIVE-GLASS
TRANSOM

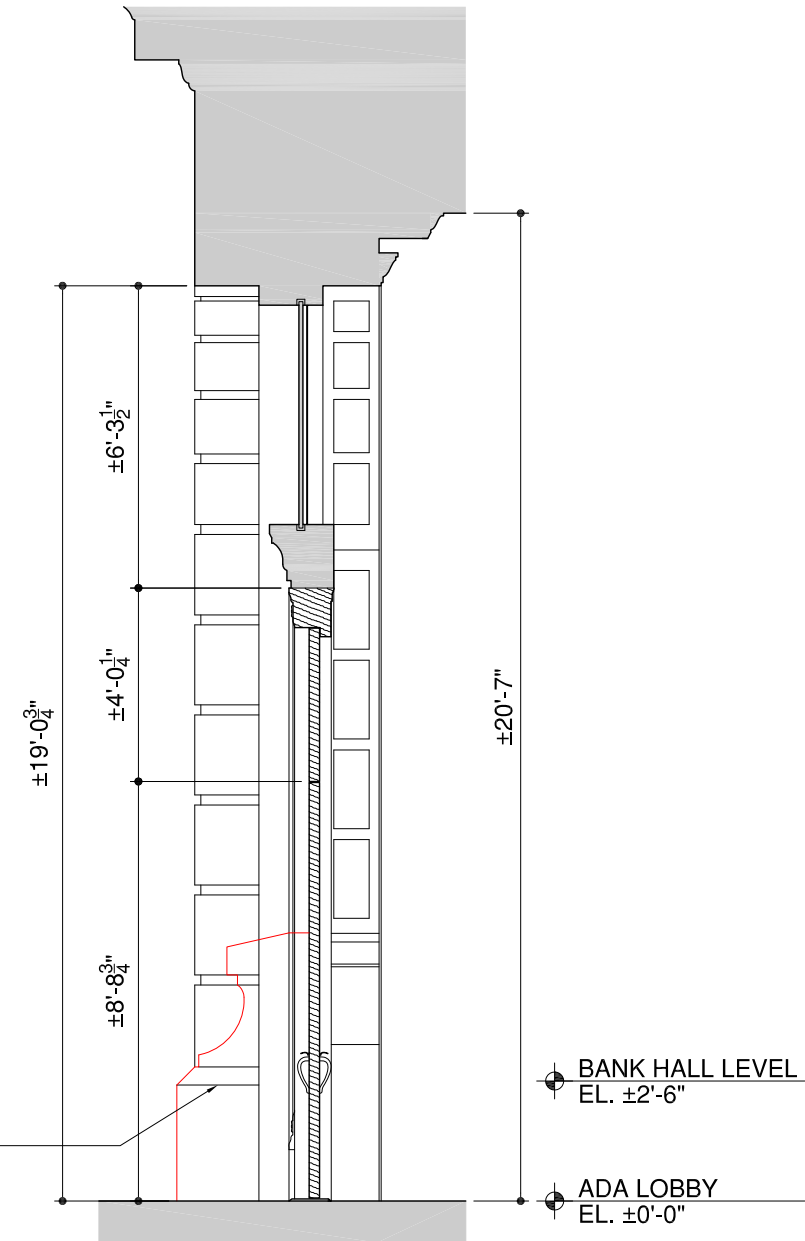
RESTORE WOOD
TRANSOM BAR

NEW WOOD FRAME

NEW FIXED WOOD
PANELS

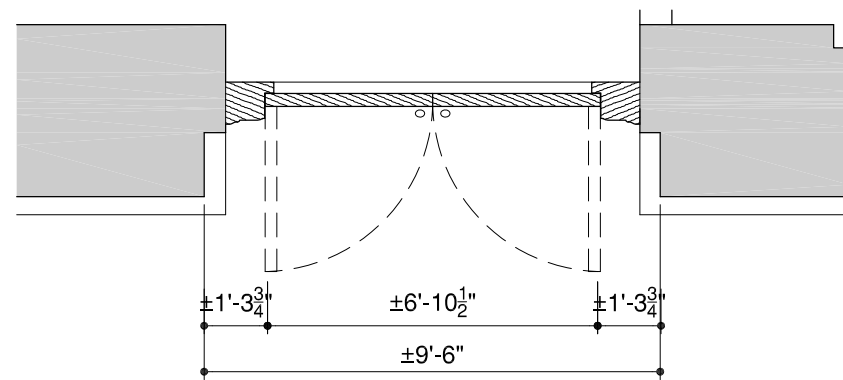
NEW WOOD DOORS TO
MATCH FINISH AND
PROFILE OF EXISTING
MAIN ENTRY DOORS

RETURN MASONRY AT
NEW OPENING

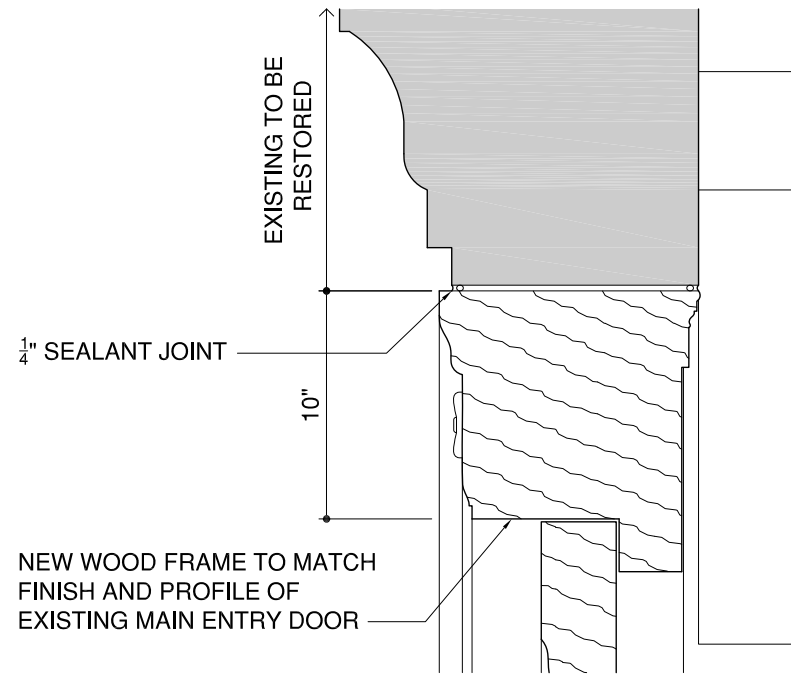


BANK HALL LEVEL
EL. ±2'-6"

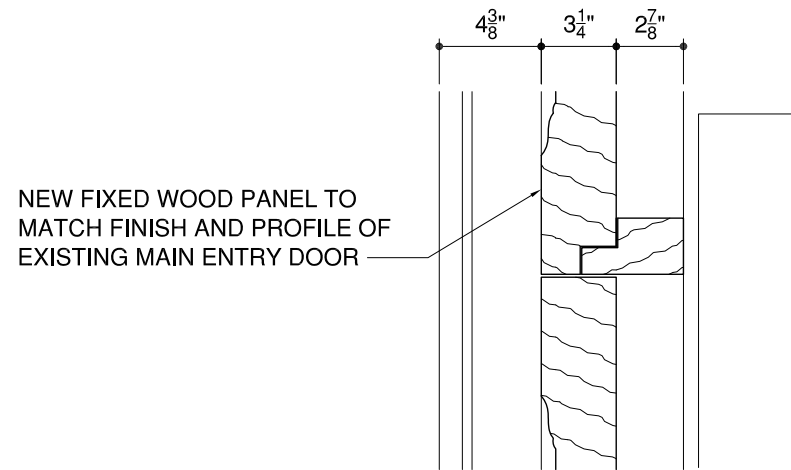
ADA LOBBY
EL. ±0'-0"



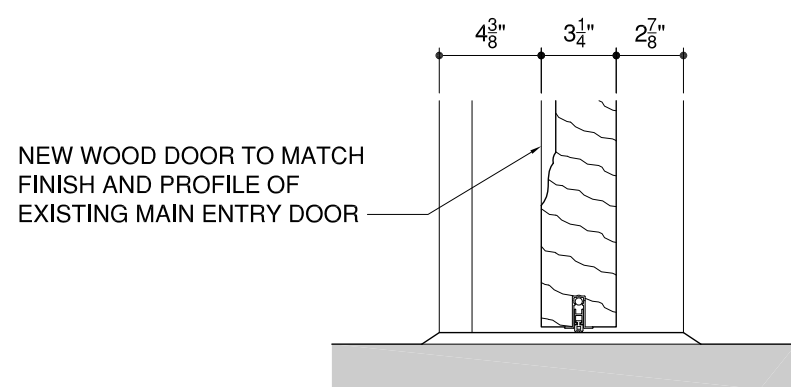
±1'-3³/₄" ±6'-10¹/₂" ±1'-3³/₄"
±9'-6"



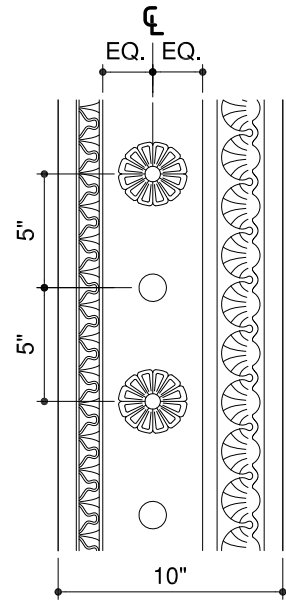
A SECTION AT DOOR FRAME
SCALE: 1 1/2" = 1'-0"



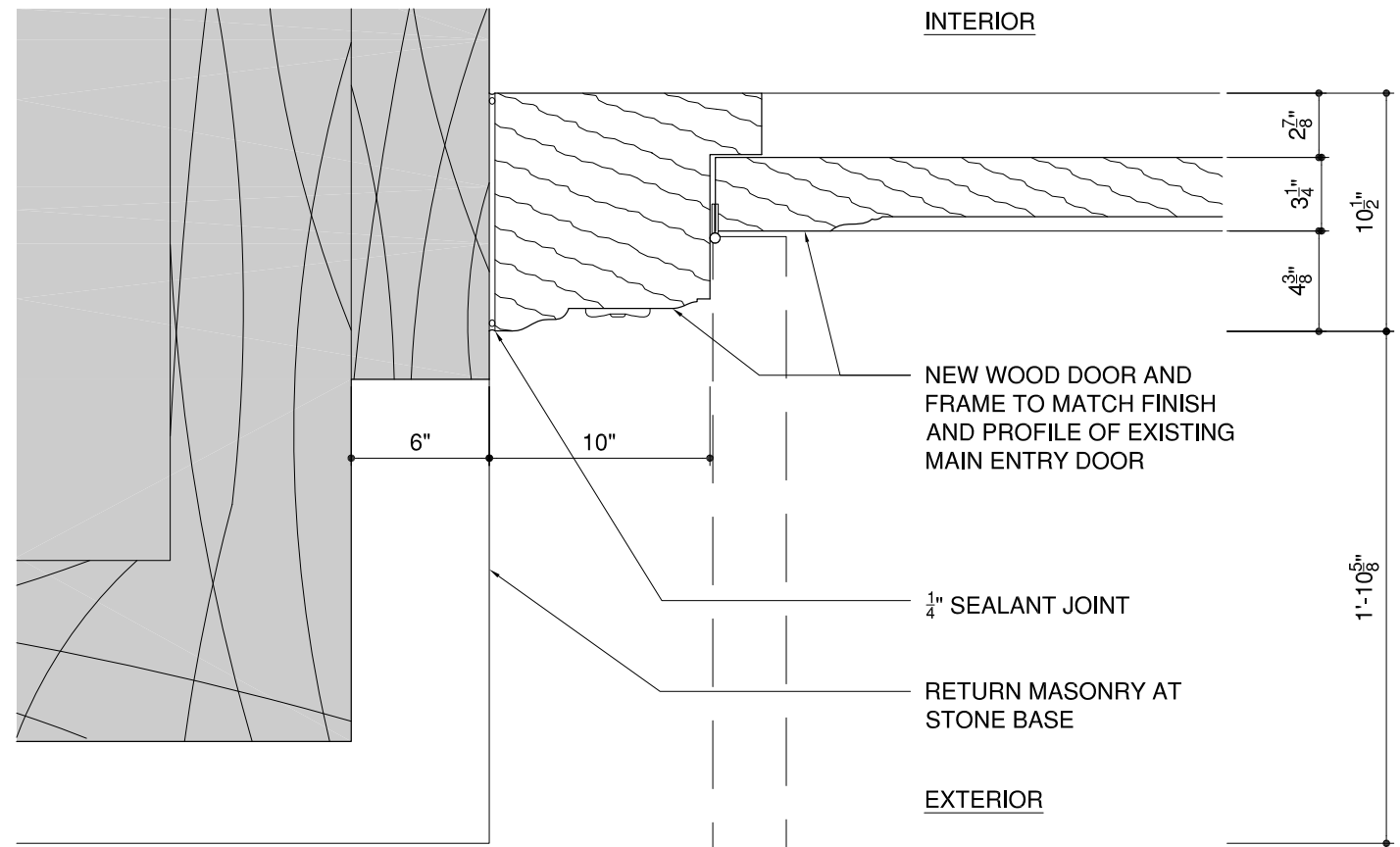
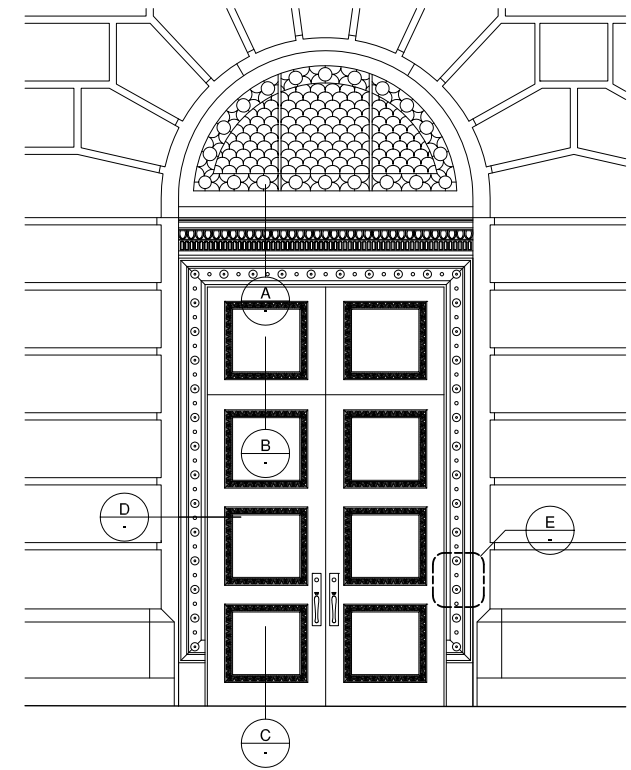
B SECTION AT DOOR HEAD
SCALE: 1 1/2" = 1'-0"



C SECTION AT DOOR BASE
SCALE: 1 1/2" = 1'-0"



E DETAIL AT DOOR FRAME
SCALE: 1 1/2" = 1'-0"



D PLAN AT DOOR JAMB
SCALE: 1 1/2" = 1'-0"



EXISTING



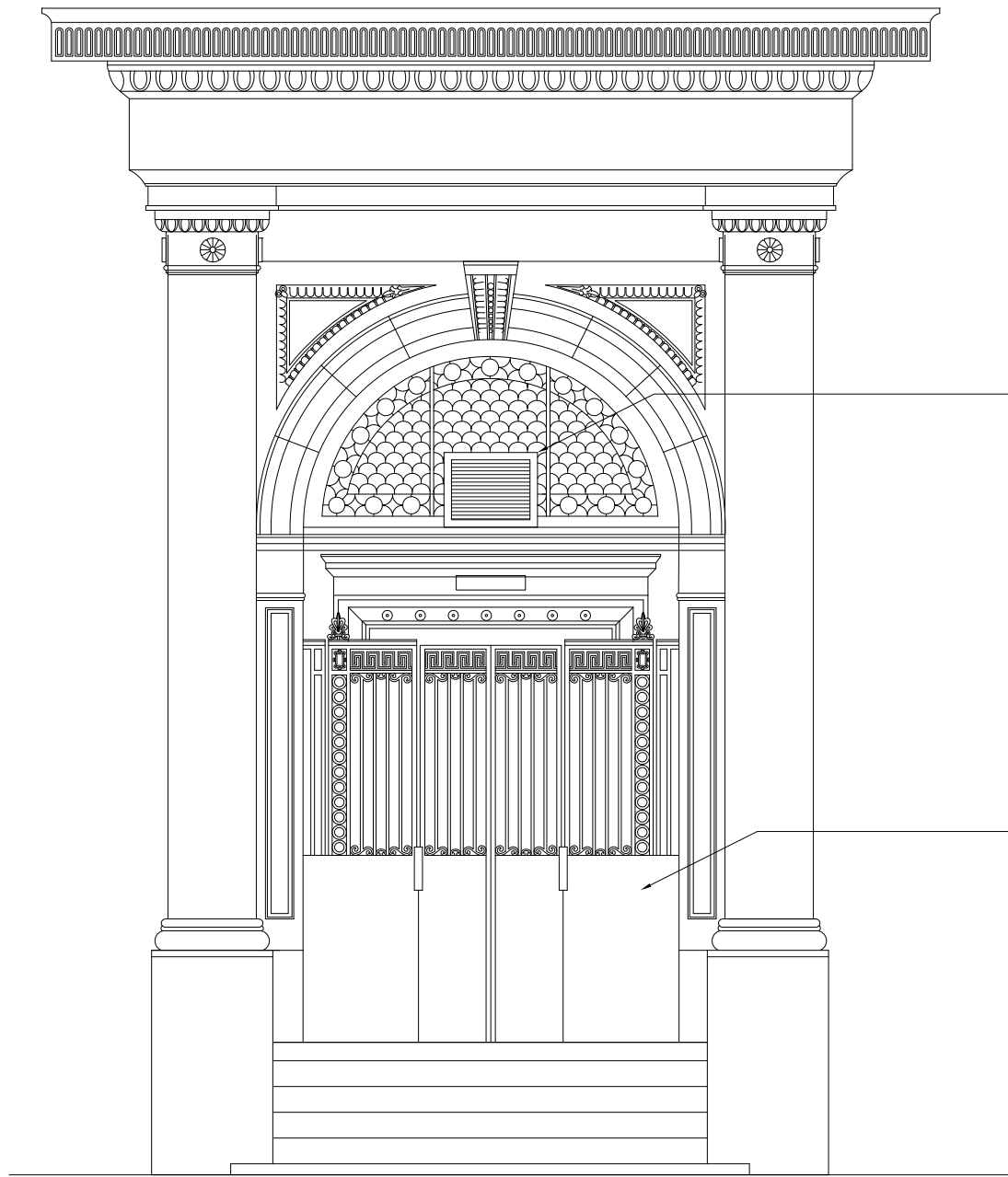
PROPOSED



EXISTING

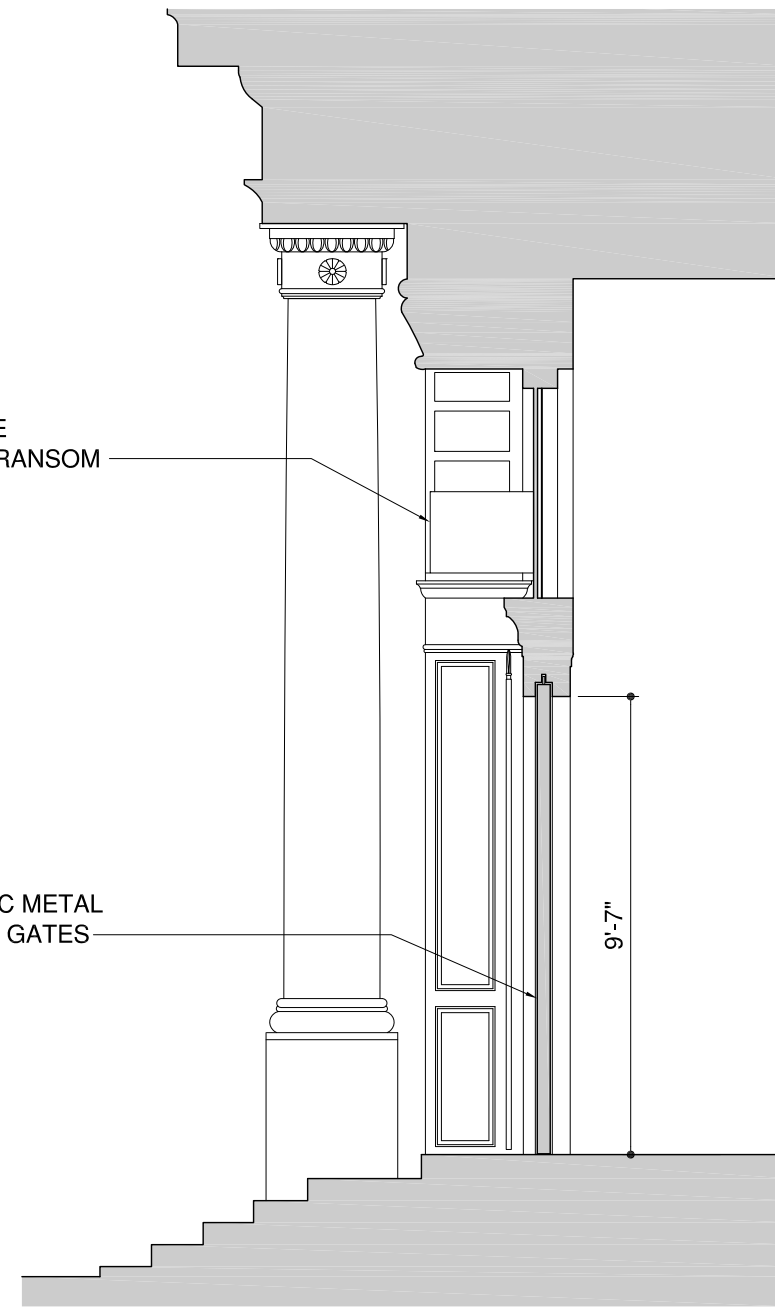


PROPOSED

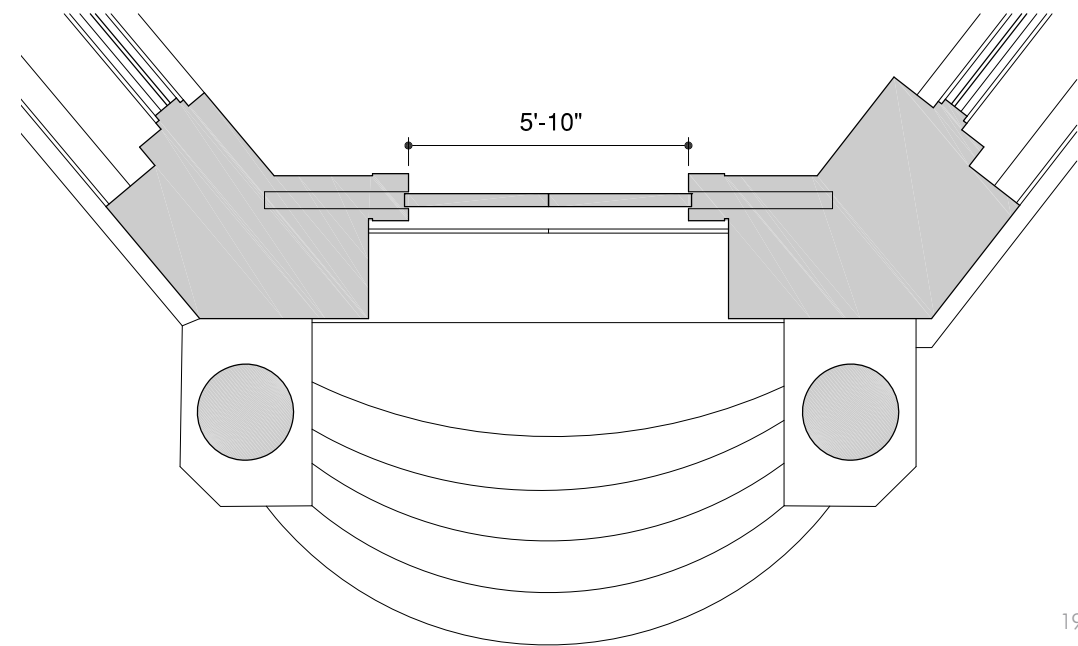


REMOVE A/C, RESTORE
DECORATIVE-GLASS TRANSOM

REMOVE NON-HISTORIC METAL
PLATES AND RESTORE GATES



9'-7"



5'-10"

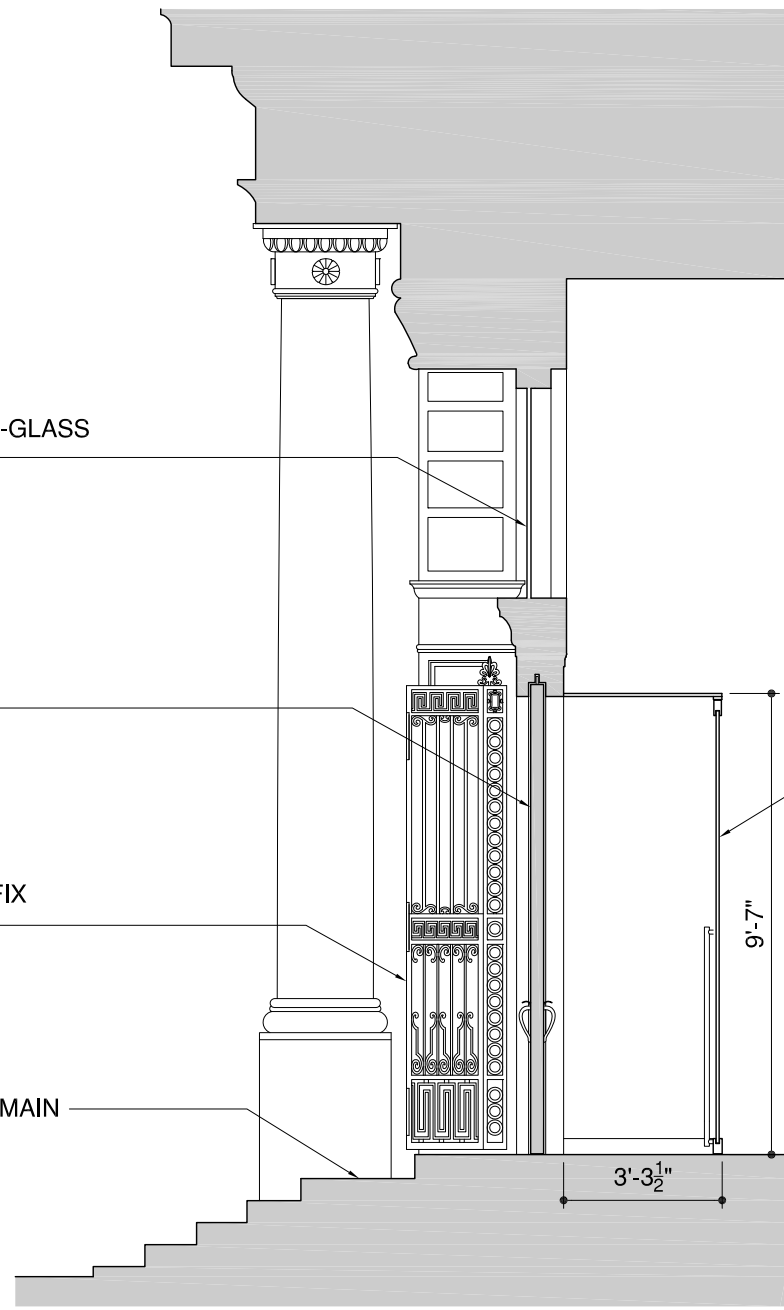


RESTORE DECORATIVE-GLASS
TRANSOM

RESTORE SLIDING
POCKET DOORS

RESTORE GATES AND FIX
IN OPEN POSITION

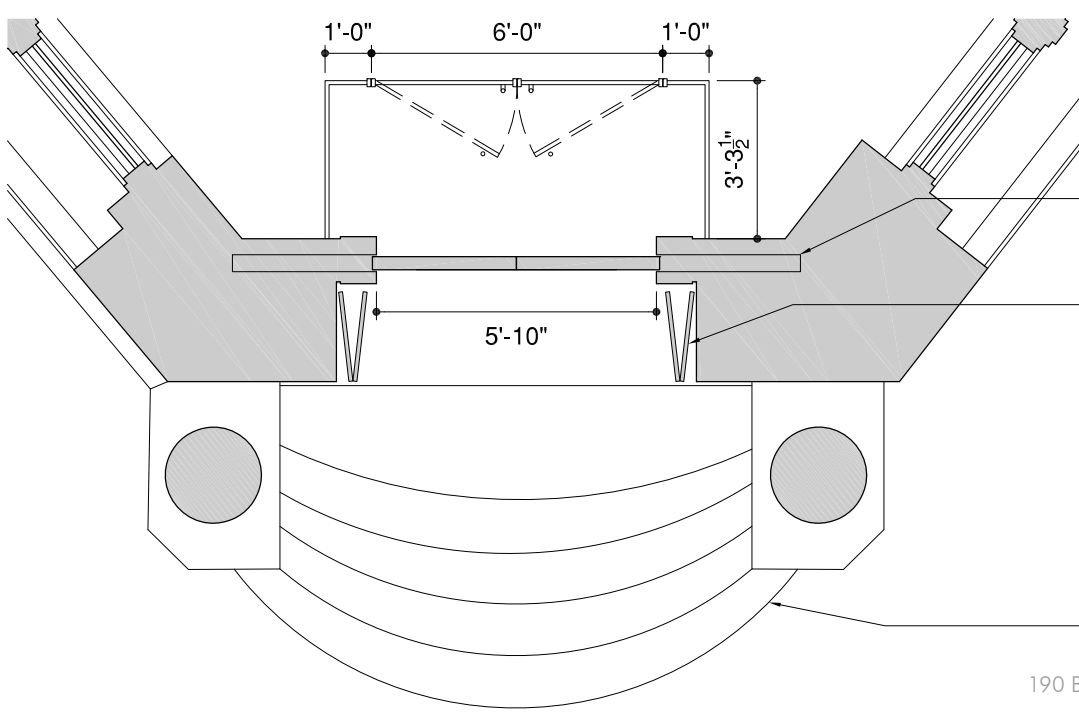
EXISTING STEPS TO REMAIN



FUTURE VESTIBULE
BY RETAIL TENANT

9'-7"

3'-3 1/2"



RESTORE SLIDING
POCKET DOORS

RESTORE GATES AND FIX
IN OPEN POSITION

EXISTING STEPS TO REMAIN



EXISTING

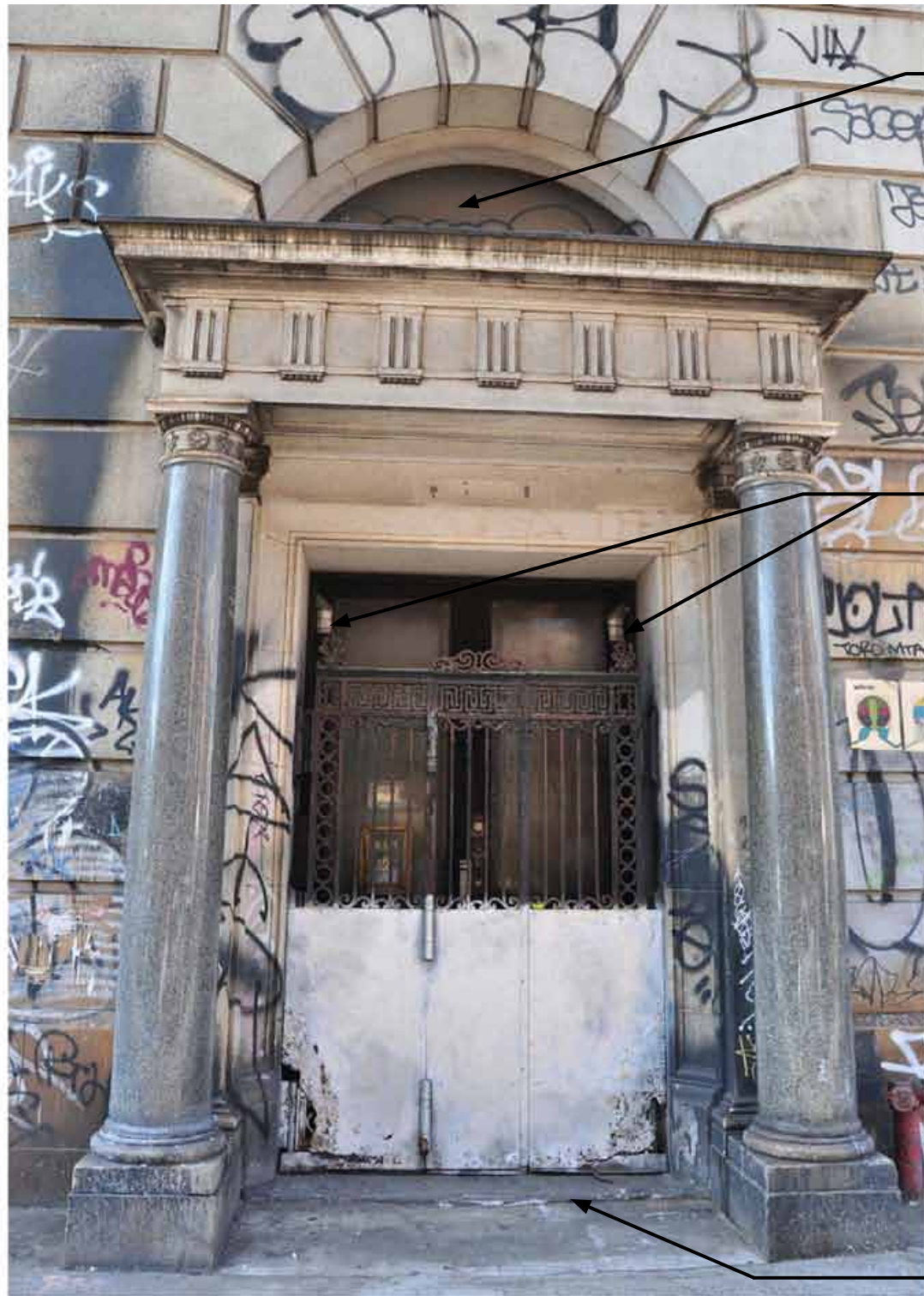


PROPOSED-CLOSED



PROPOSED-OPEN





EXISTING

RESTORE TRANSOM
WITHIN EXISTING
OPENING

REMOVE EXISTING
LIGHTS

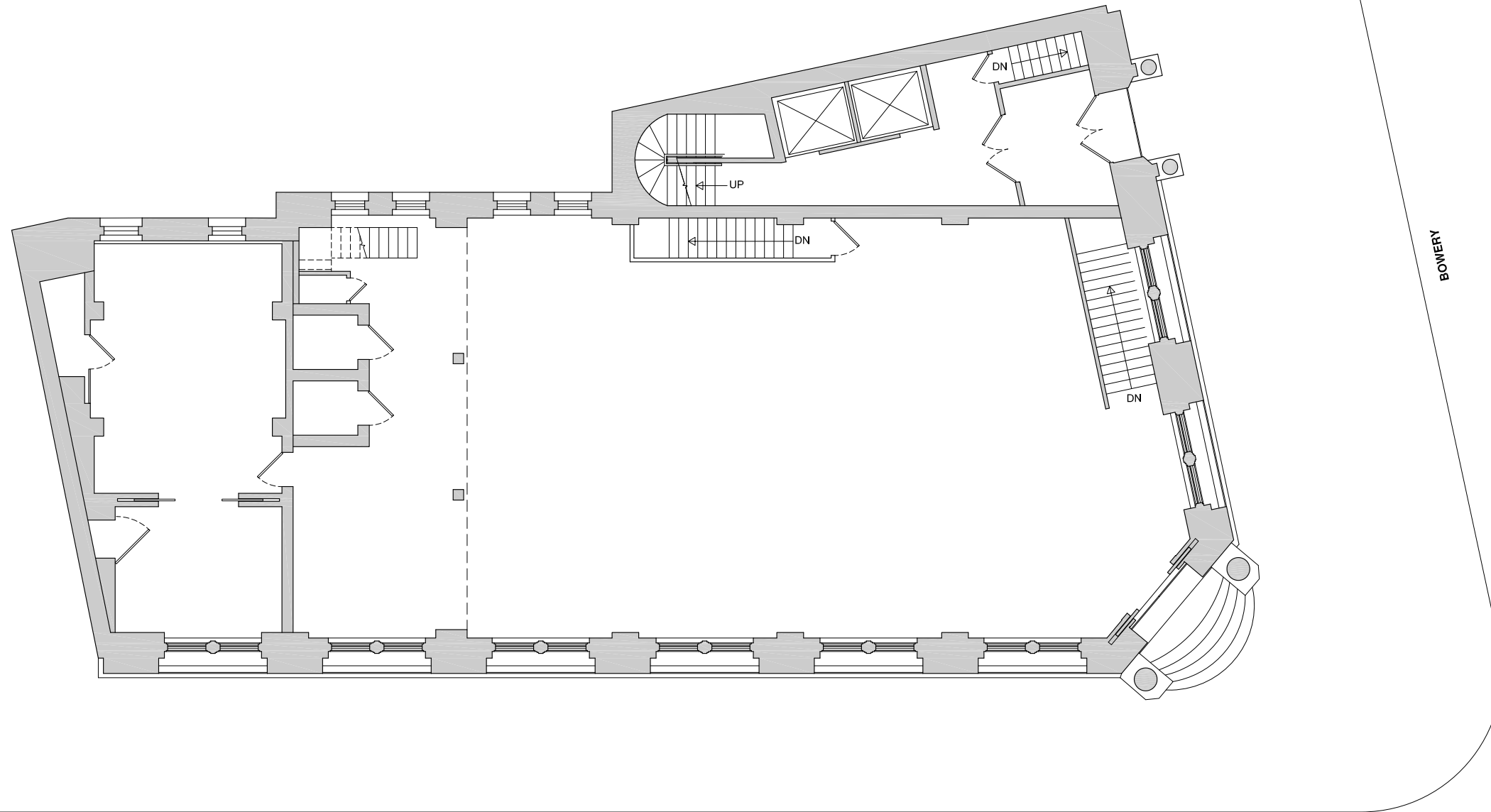
RESTORE OR REPLACE
EXTERIOR WOOD/
GLASS DOORS AND
SURROUND IN KIND

RESTORE GATES AND FIX
IN OPEN POSITION

REMOVE 1" TREAD

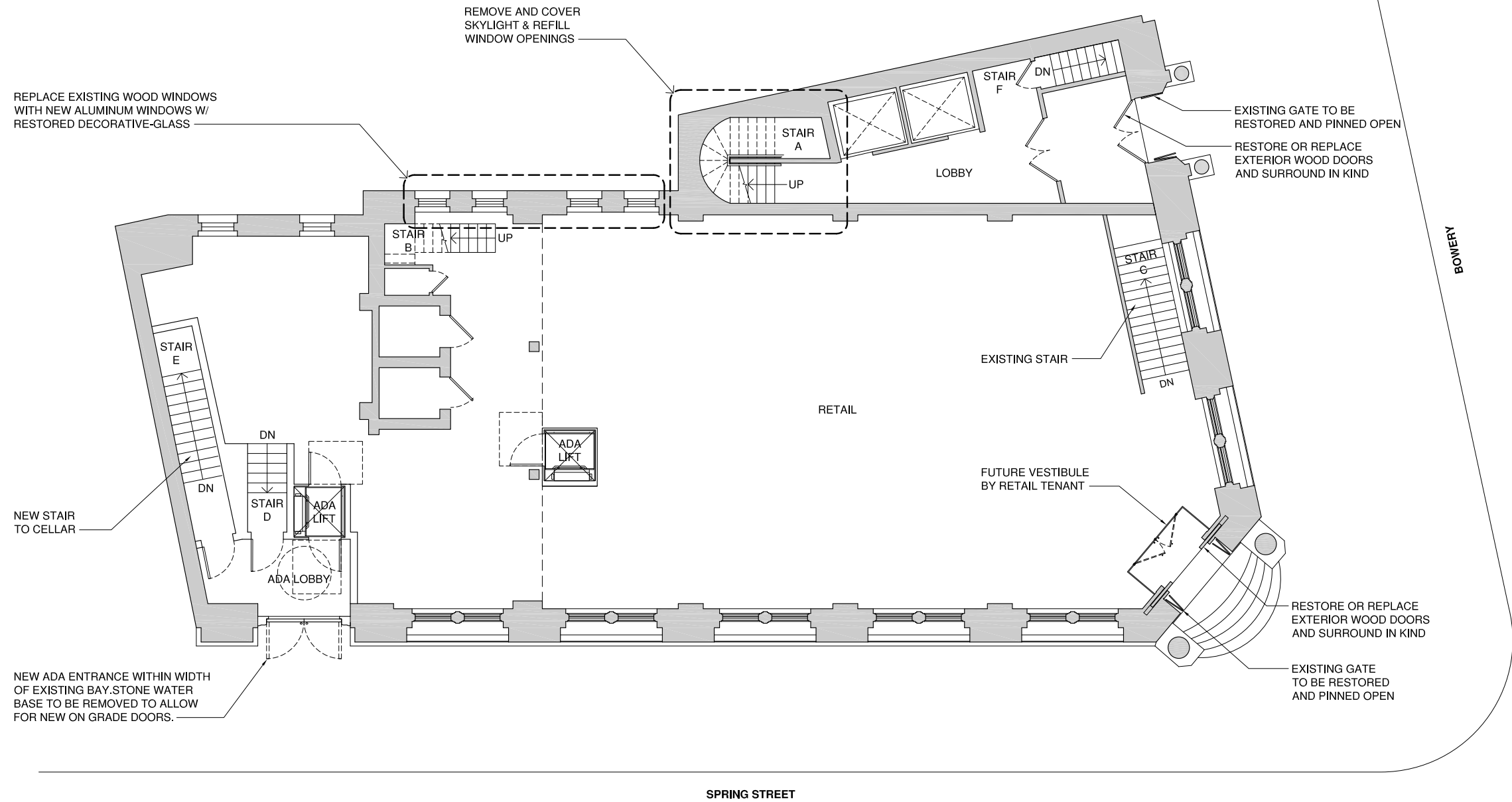


PROPOSED

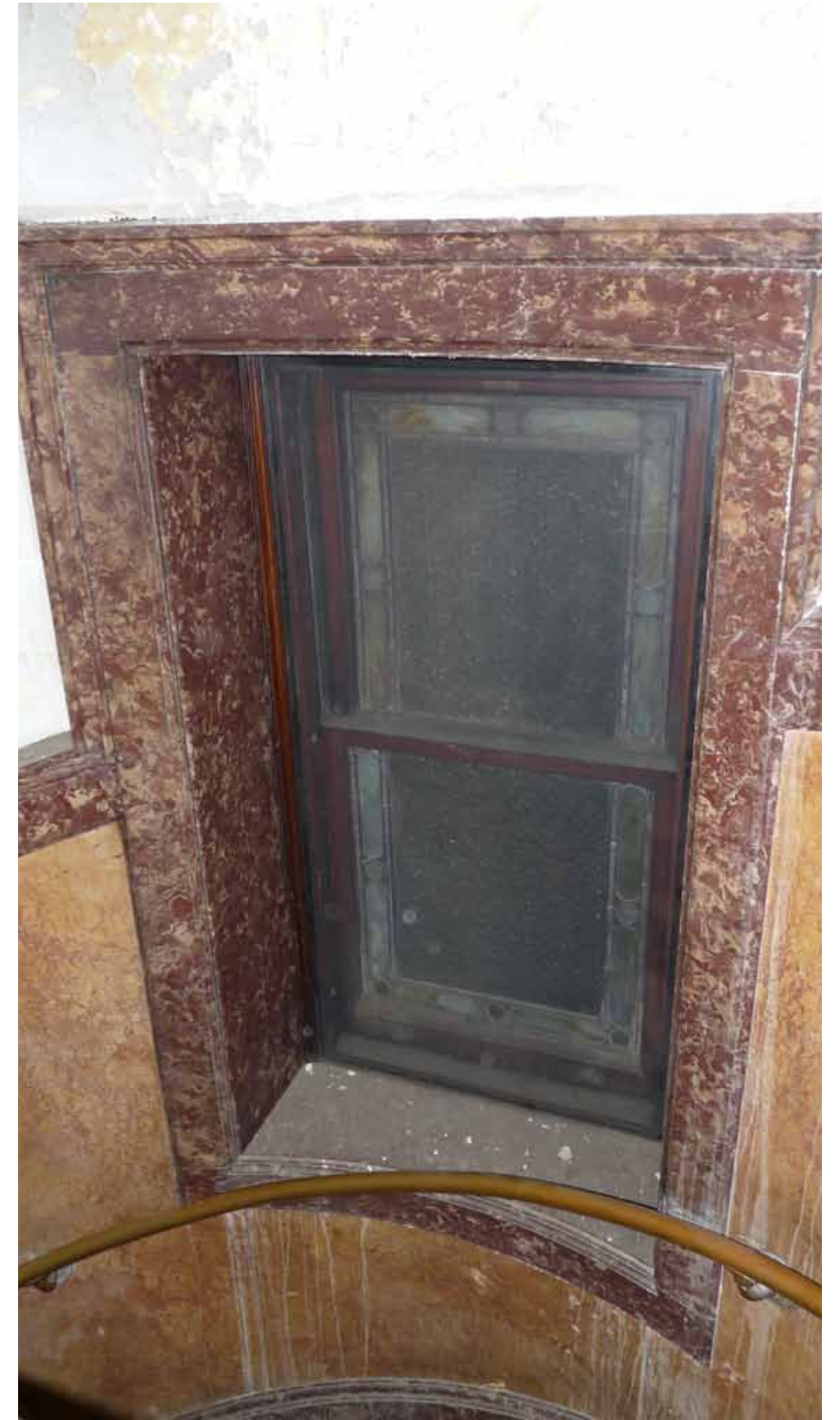
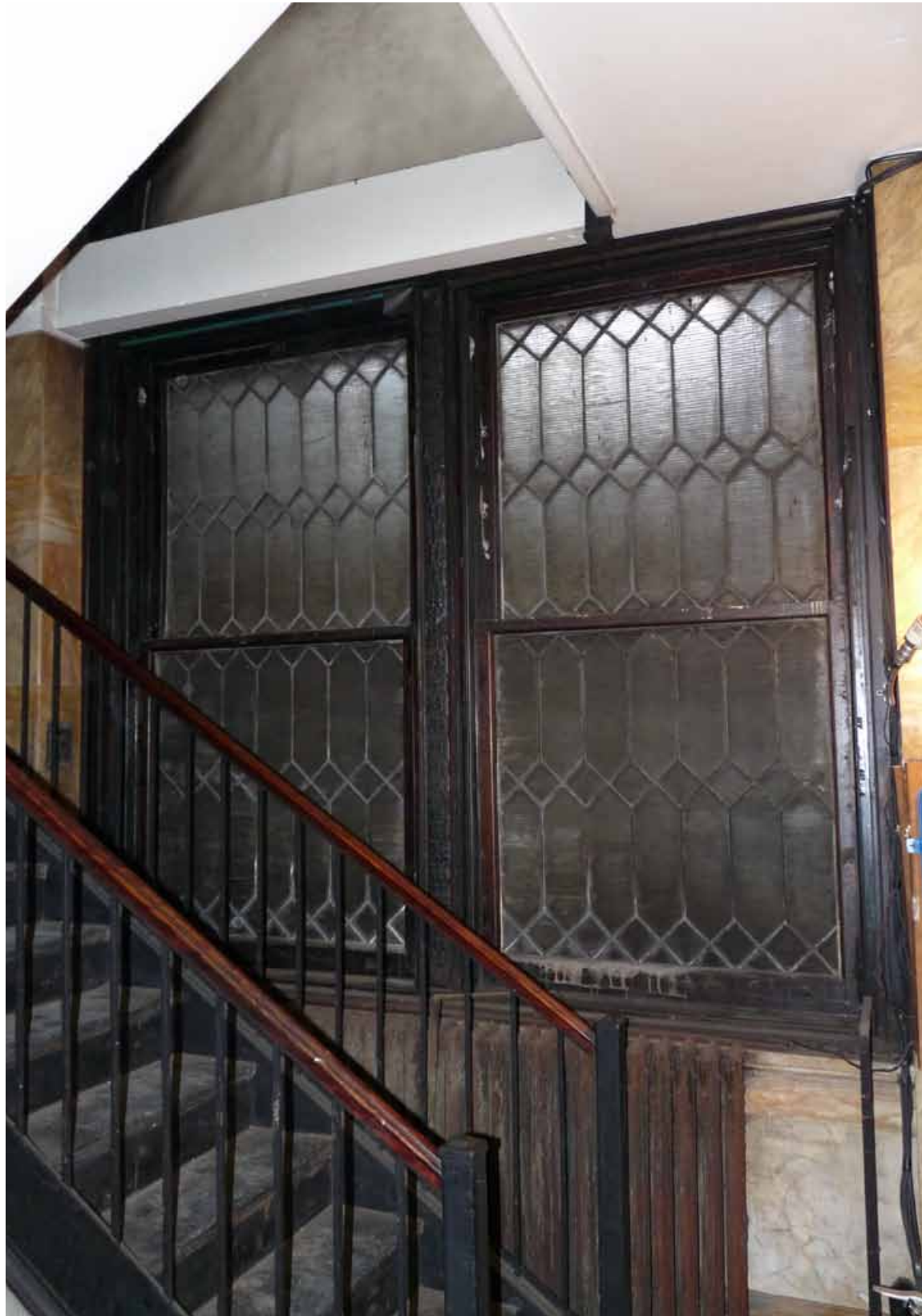


SPRING STREET

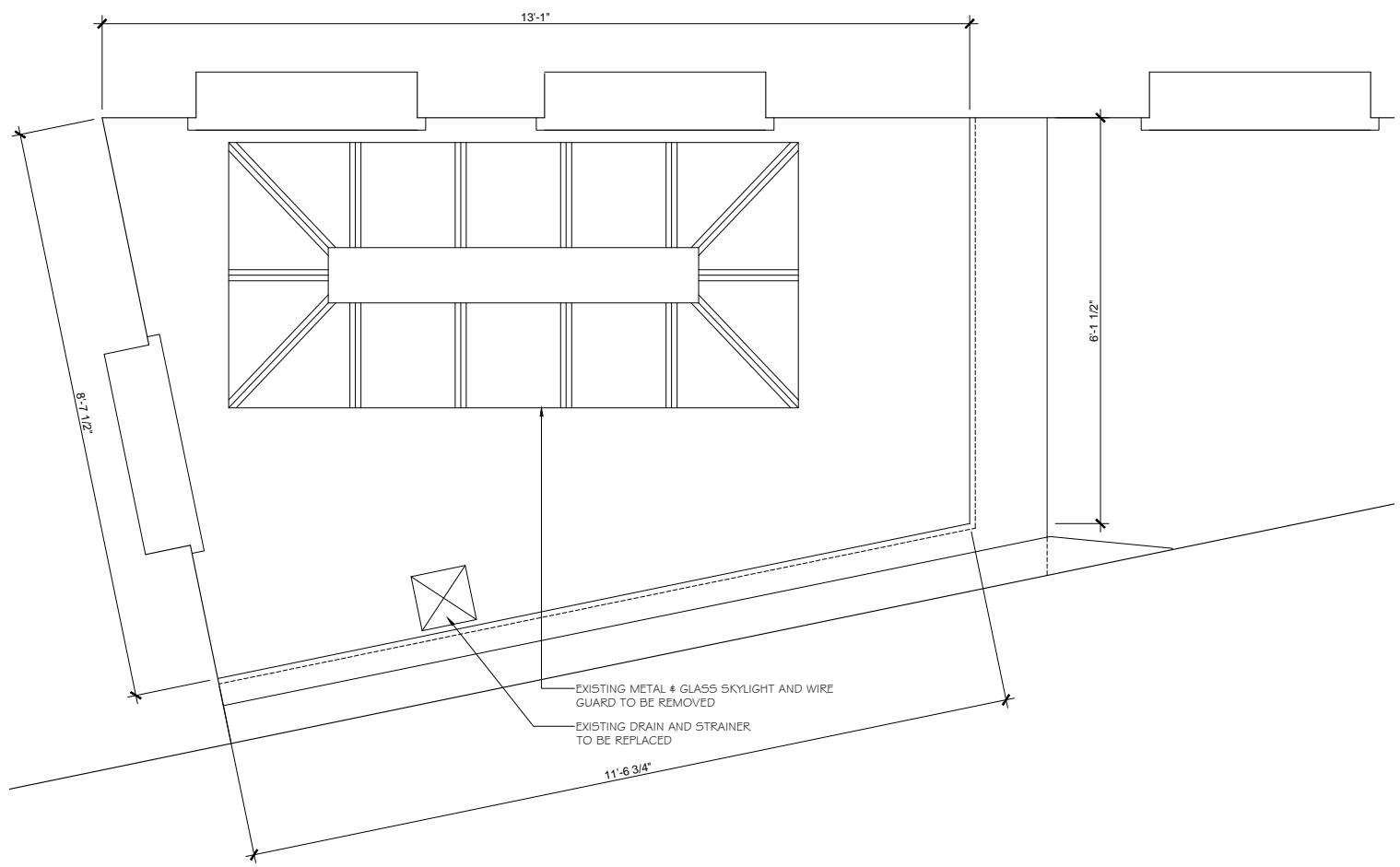
BOWERY



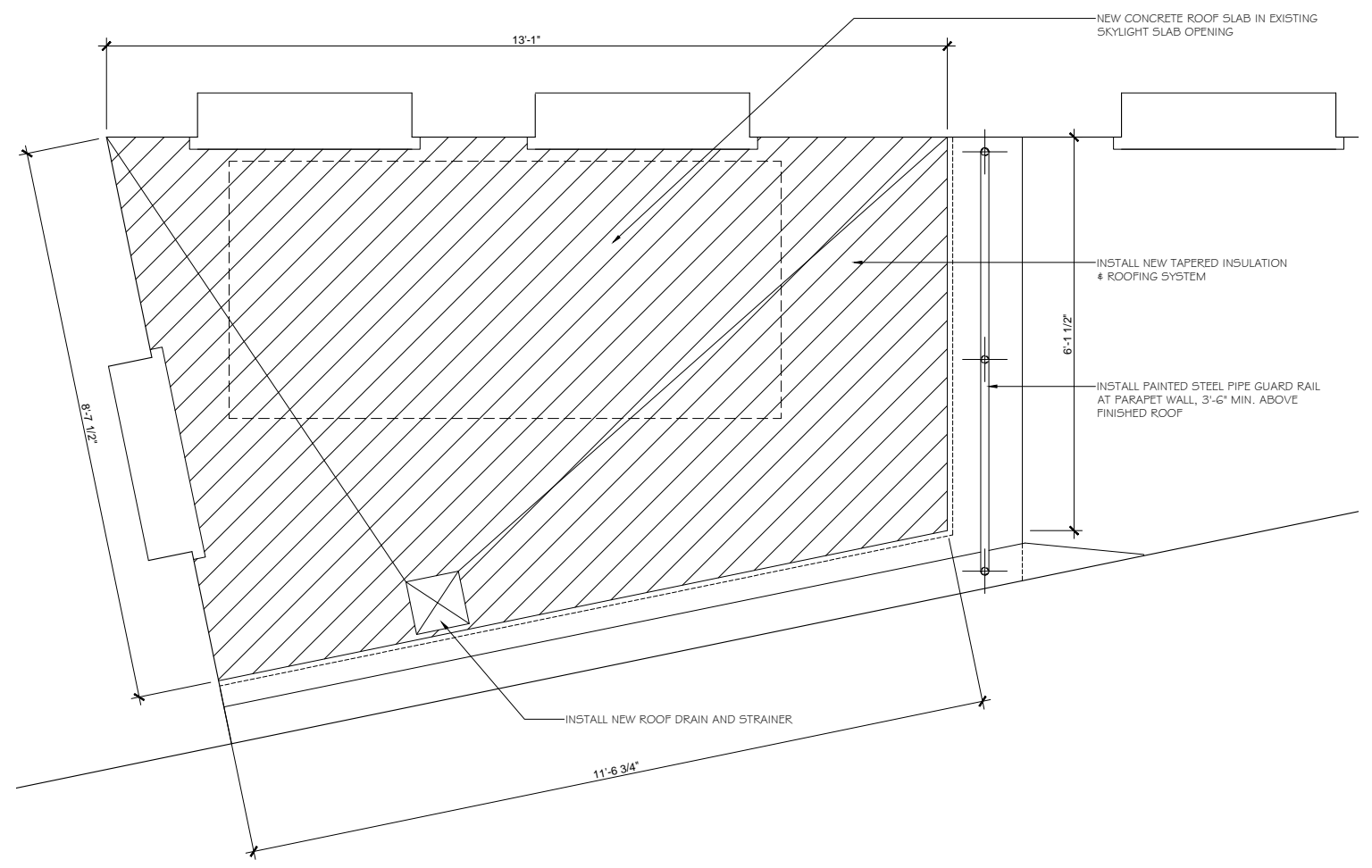




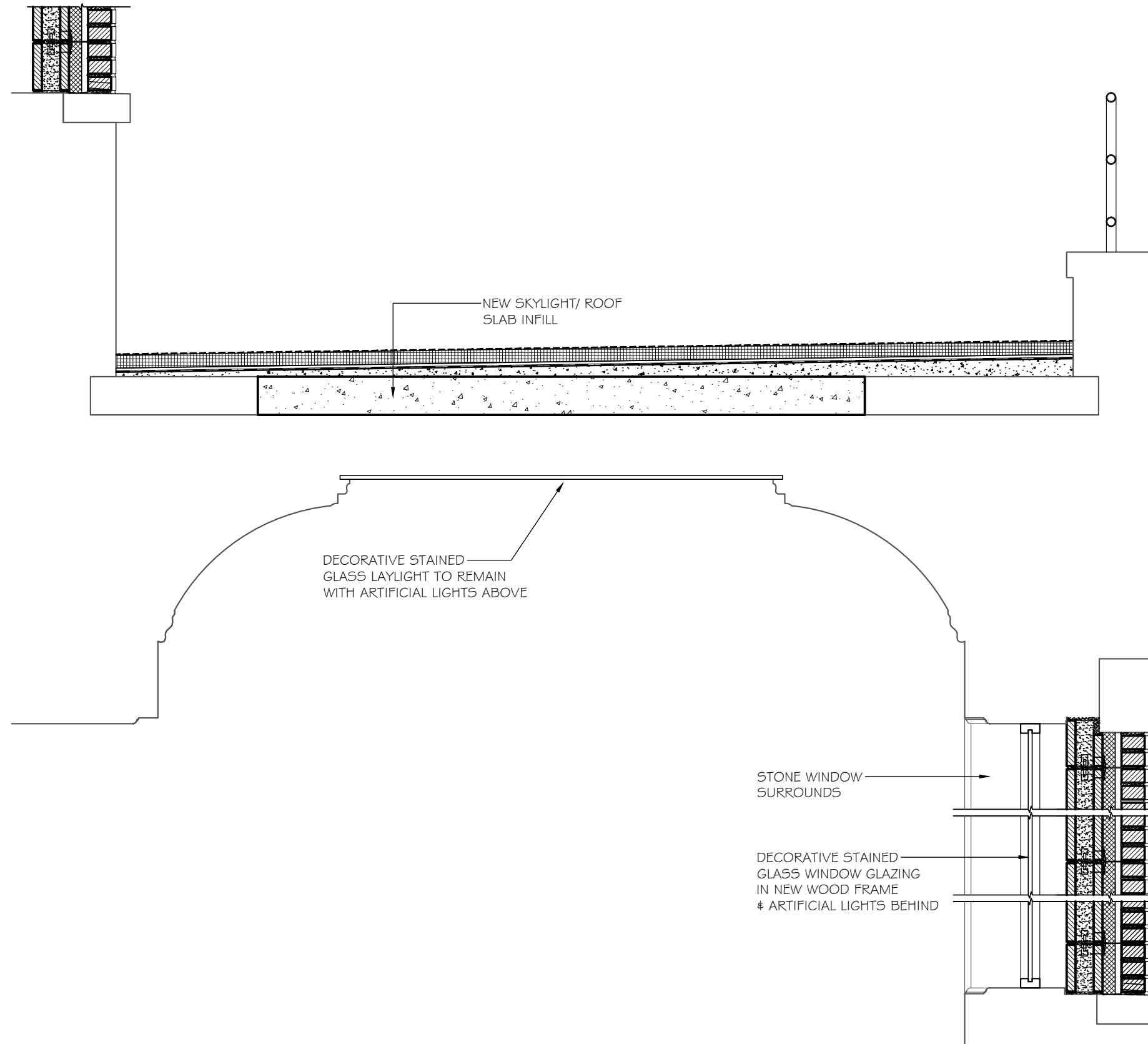


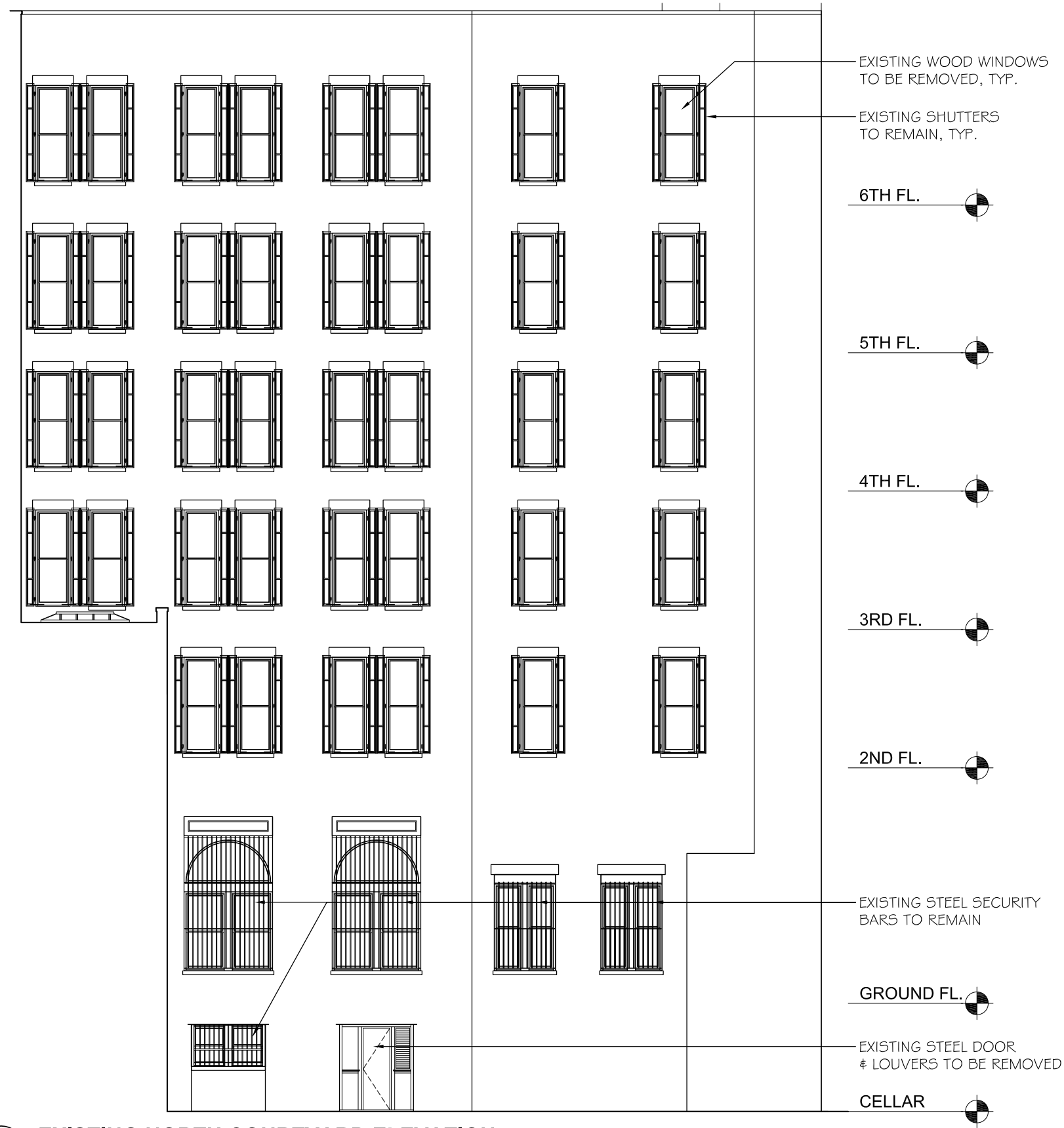


EXISTING

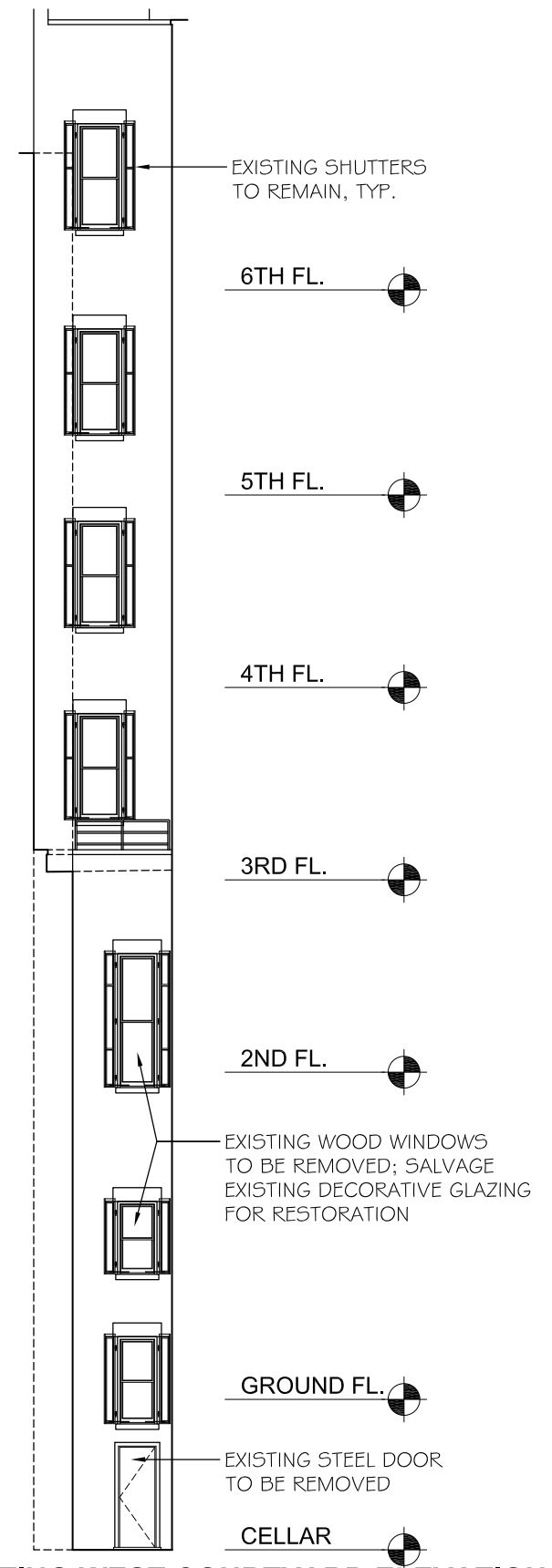


PROPOSED

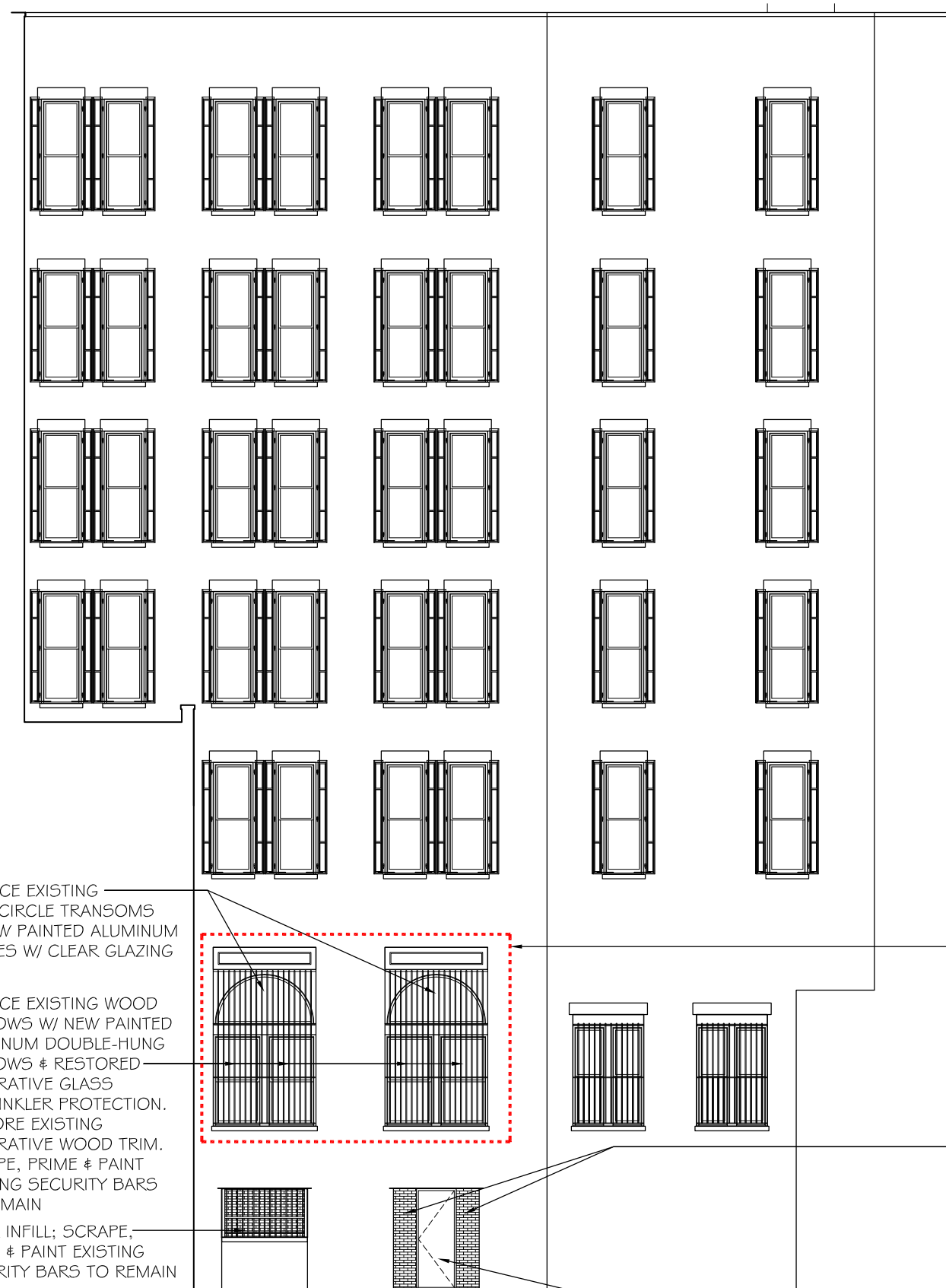




1 EXISTING NORTH COURTYARD ELEVATION
SCALE: 3/32" = 1'-0"



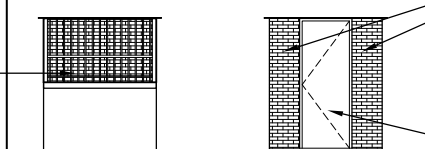
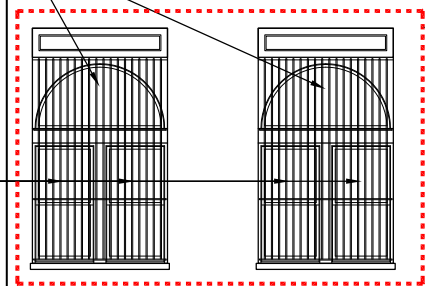
2 EXISTING WEST COURTYARD ELEVATION
SCALE: 3/32" = 1'-0"



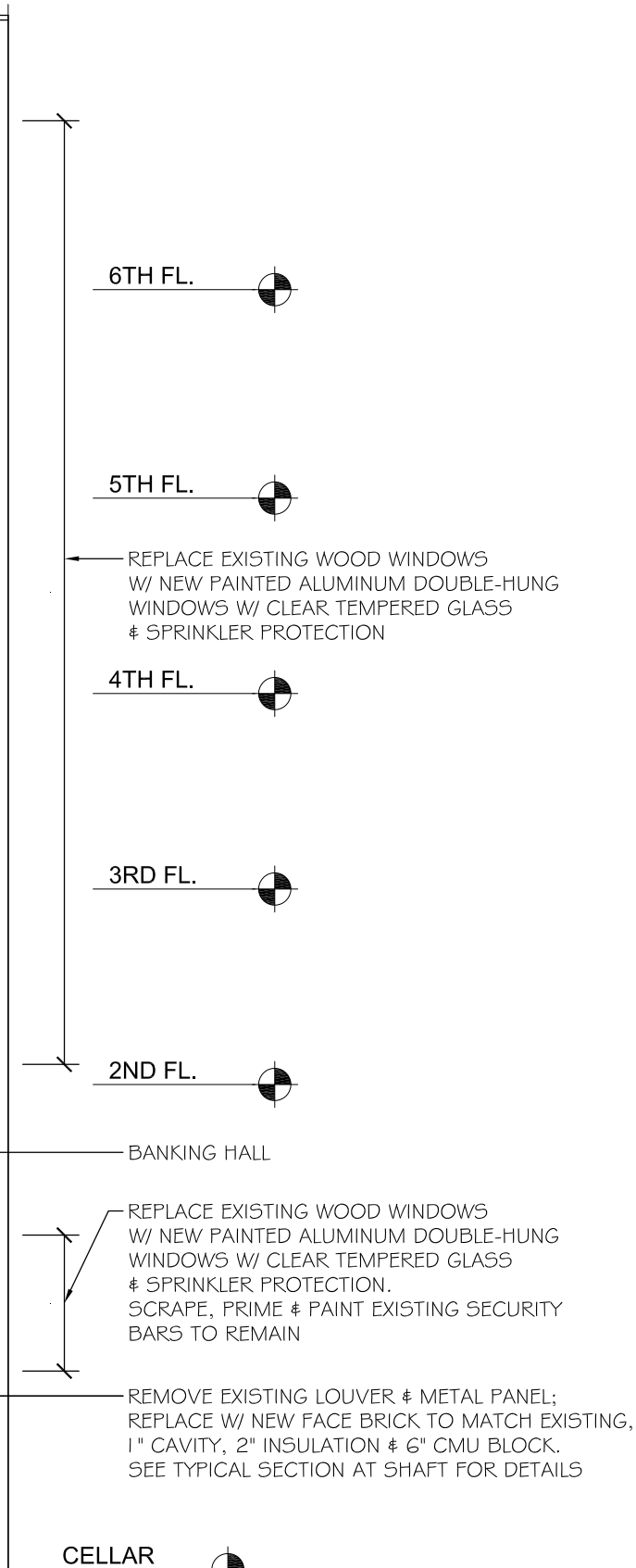
REPLACE EXISTING SEMI-CIRCLE TRANSOMS W/ NEW PAINTED ALUMINUM FRAMES W/ CLEAR GLAZING

REPLACE EXISTING WOOD WINDOWS W/ NEW PAINTED ALUMINUM DOUBLE-HUNG WINDOWS & RESTORED DECORATIVE GLASS & SPRINKLER PROTECTION. RESTORE EXISTING DECORATIVE WOOD TRIM. SCRAPE, PRIME & PAINT EXISTING SECURITY BARS TO REMAIN

BRICK INFILL; SCRAPE, PRIME & PAINT EXISTING SECURITY BARS TO REMAIN



1 PROPOSED NORTH COURTYARD ELEVATION
SCALE: 3/32" = 1'-0"



6TH FL.

5TH FL.

4TH FL.

3RD FL.

2ND FL.

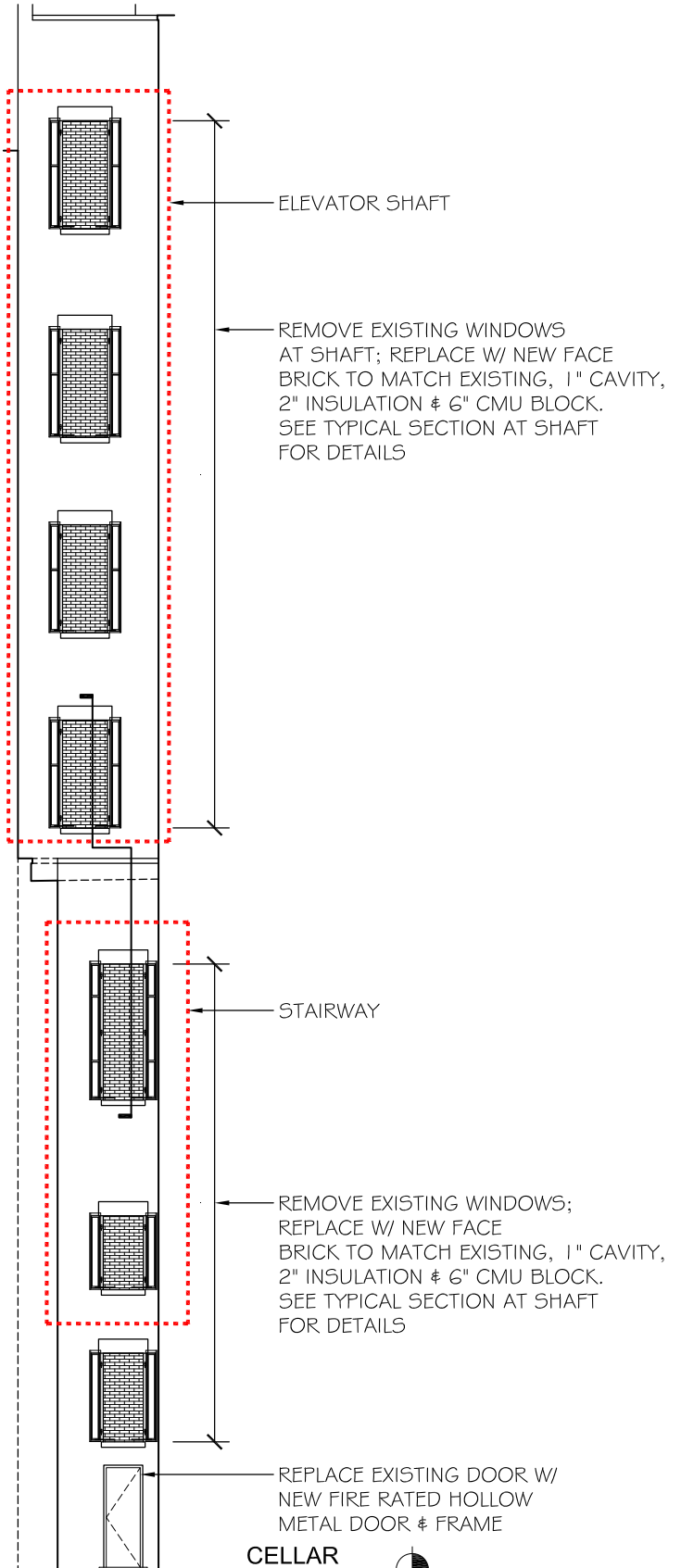
BANKING HALL

CELLAR

REPLACE EXISTING WOOD WINDOWS W/ NEW PAINTED ALUMINUM DOUBLE-HUNG WINDOWS W/ CLEAR TEMPERED GLASS & SPRINKLER PROTECTION

REPLACE EXISTING WOOD WINDOWS W/ NEW PAINTED ALUMINUM DOUBLE-HUNG WINDOWS W/ CLEAR TEMPERED GLASS & SPRINKLER PROTECTION. SCRAPE, PRIME & PAINT EXISTING SECURITY BARS TO REMAIN

REMOVE EXISTING LOUVER & METAL PANEL; REPLACE W/ NEW FACE BRICK TO MATCH EXISTING, 1" CAVITY, 2" INSULATION & 6" CMU BLOCK. SEE TYPICAL SECTION AT SHAFT FOR DETAILS



ELEVATOR SHAFT

REMOVE EXISTING WINDOWS AT SHAFT; REPLACE W/ NEW FACE BRICK TO MATCH EXISTING, 1" CAVITY, 2" INSULATION & 6" CMU BLOCK. SEE TYPICAL SECTION AT SHAFT FOR DETAILS

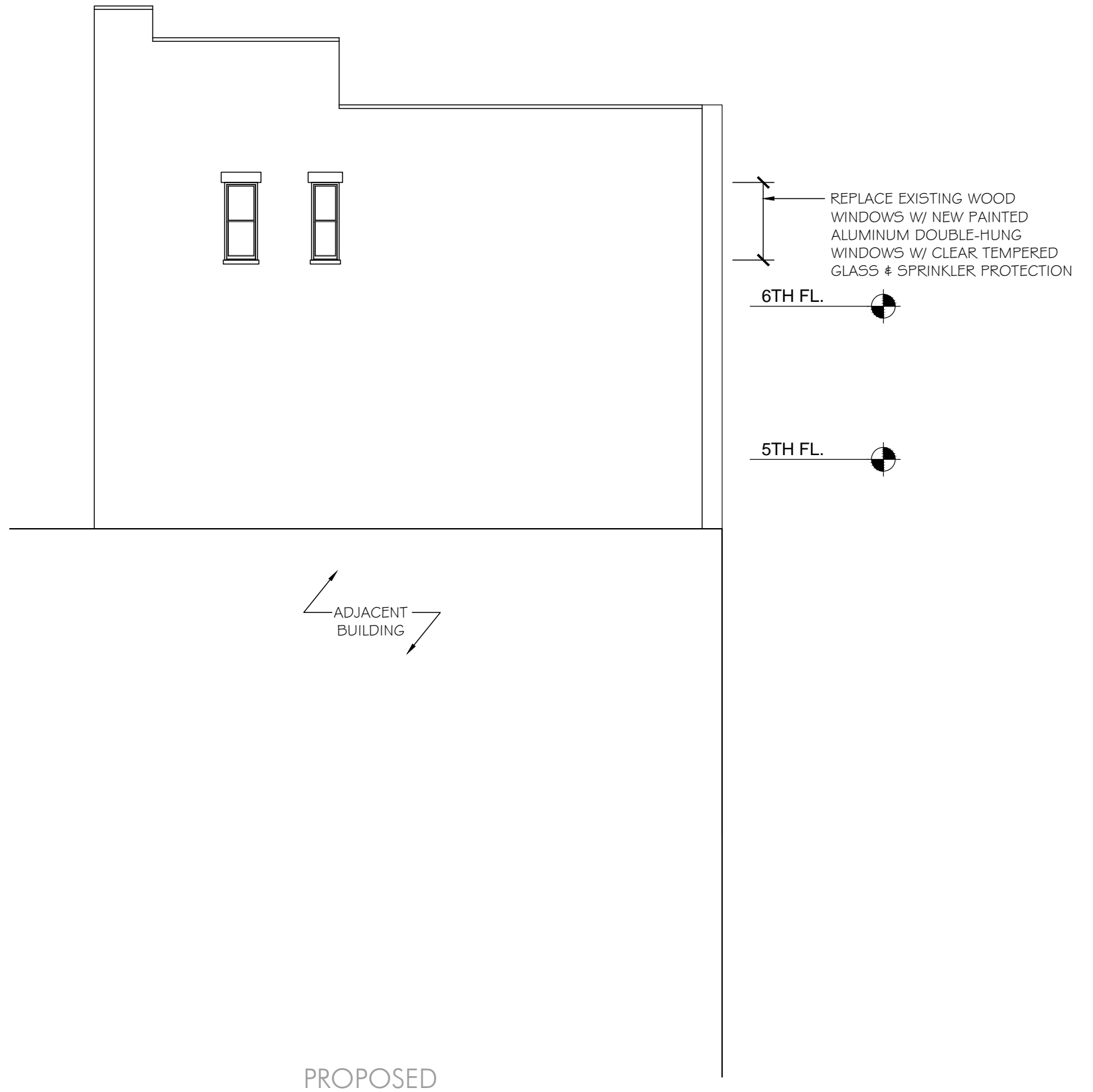
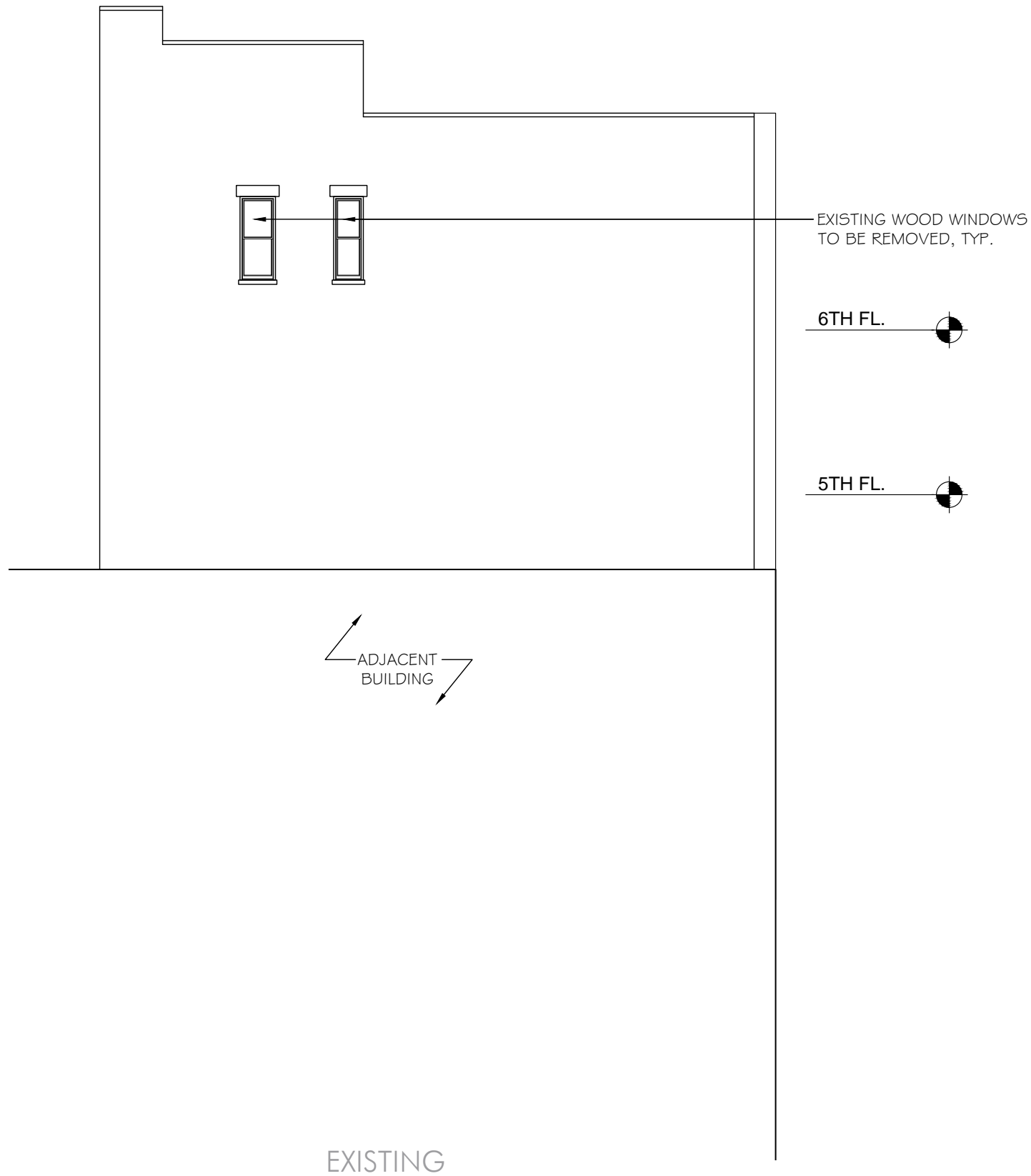
STAIRWAY

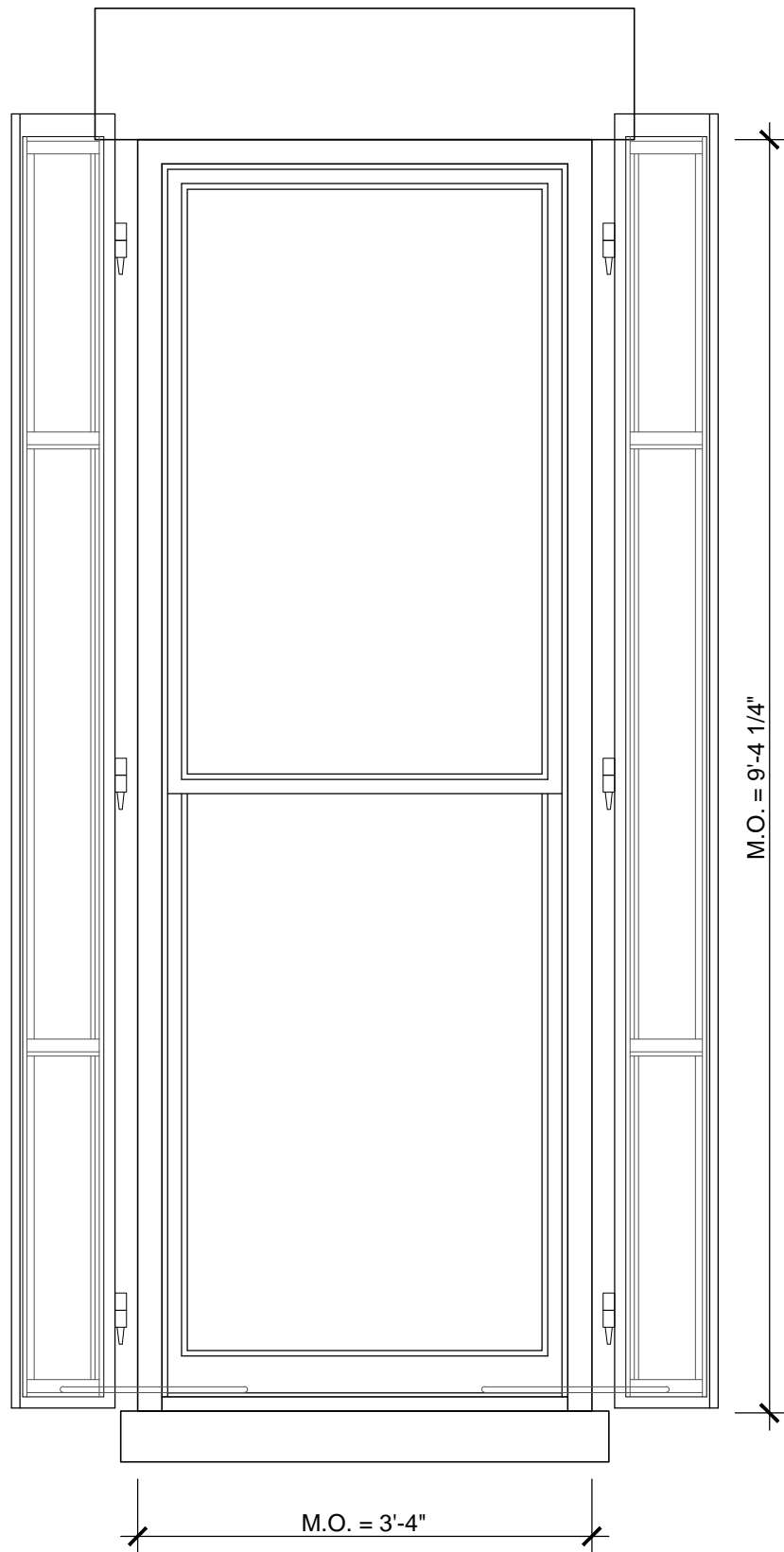
REMOVE EXISTING WINDOWS; REPLACE W/ NEW FACE BRICK TO MATCH EXISTING, 1" CAVITY, 2" INSULATION & 6" CMU BLOCK. SEE TYPICAL SECTION AT SHAFT FOR DETAILS

REPLACE EXISTING DOOR W/ NEW FIRE RATED HOLLOW METAL DOOR & FRAME

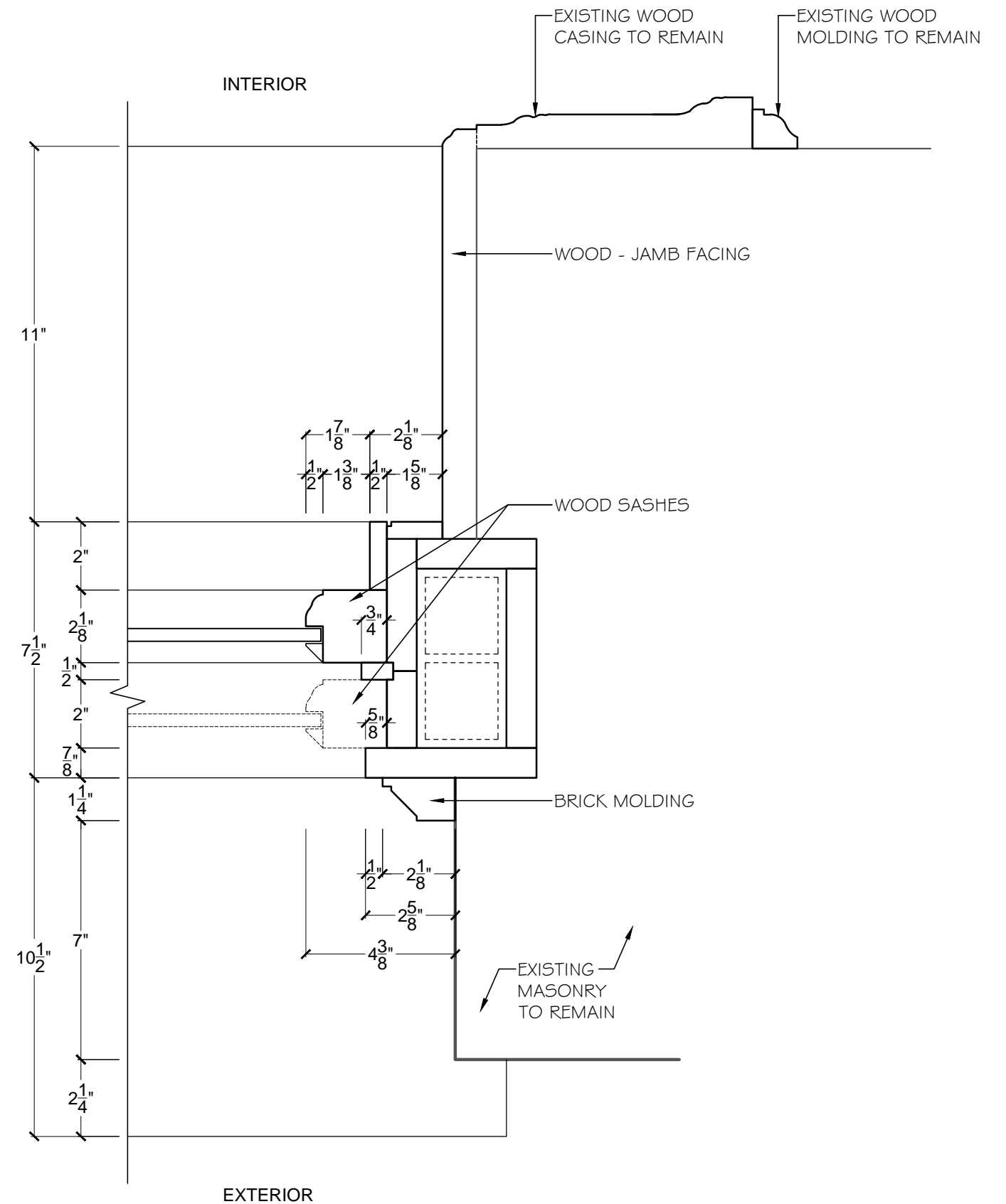
CELLAR

2 PROPOSED WEST COURTYARD ELEVATION
SCALE: 3/32" = 1'-0"

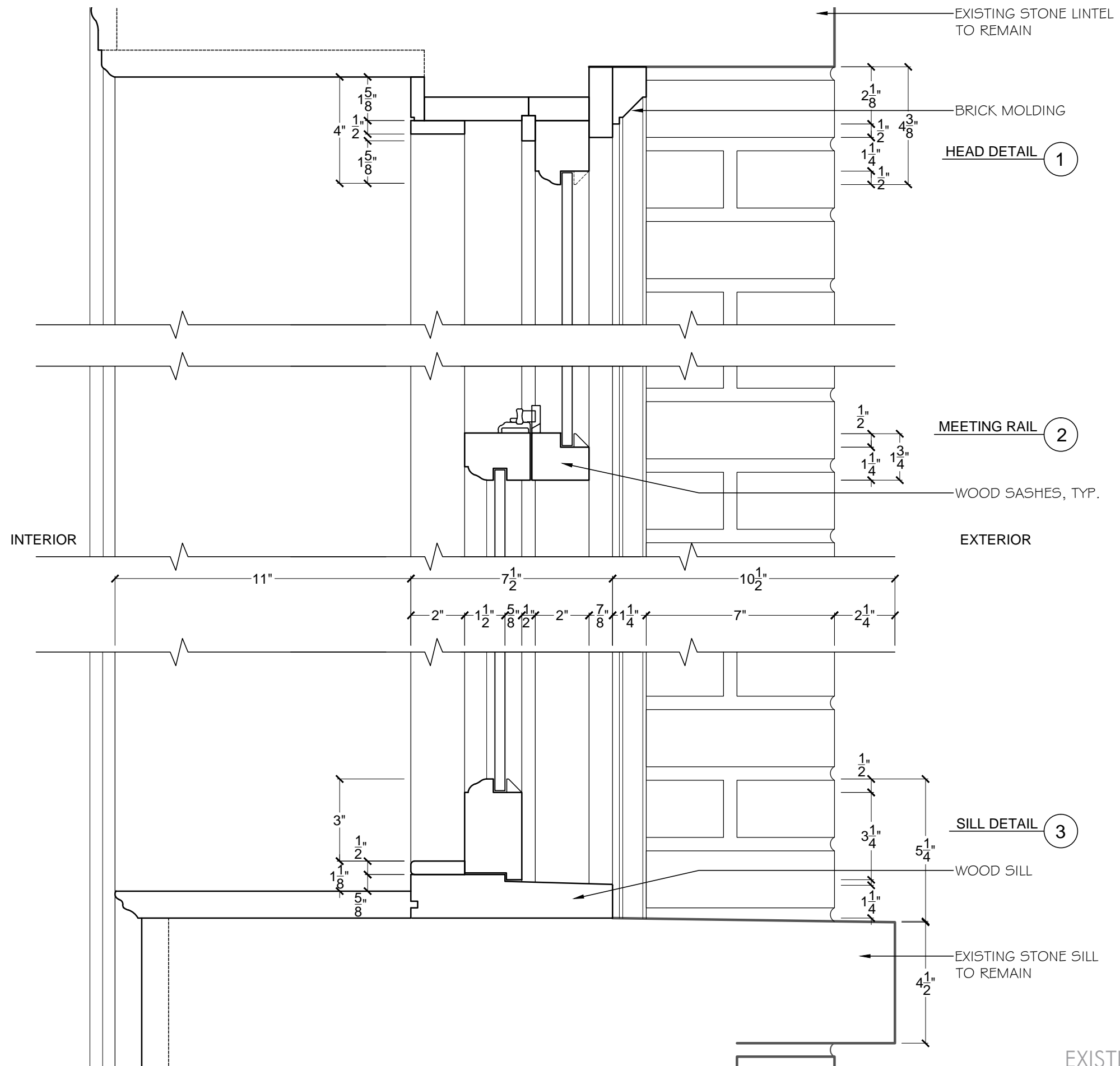


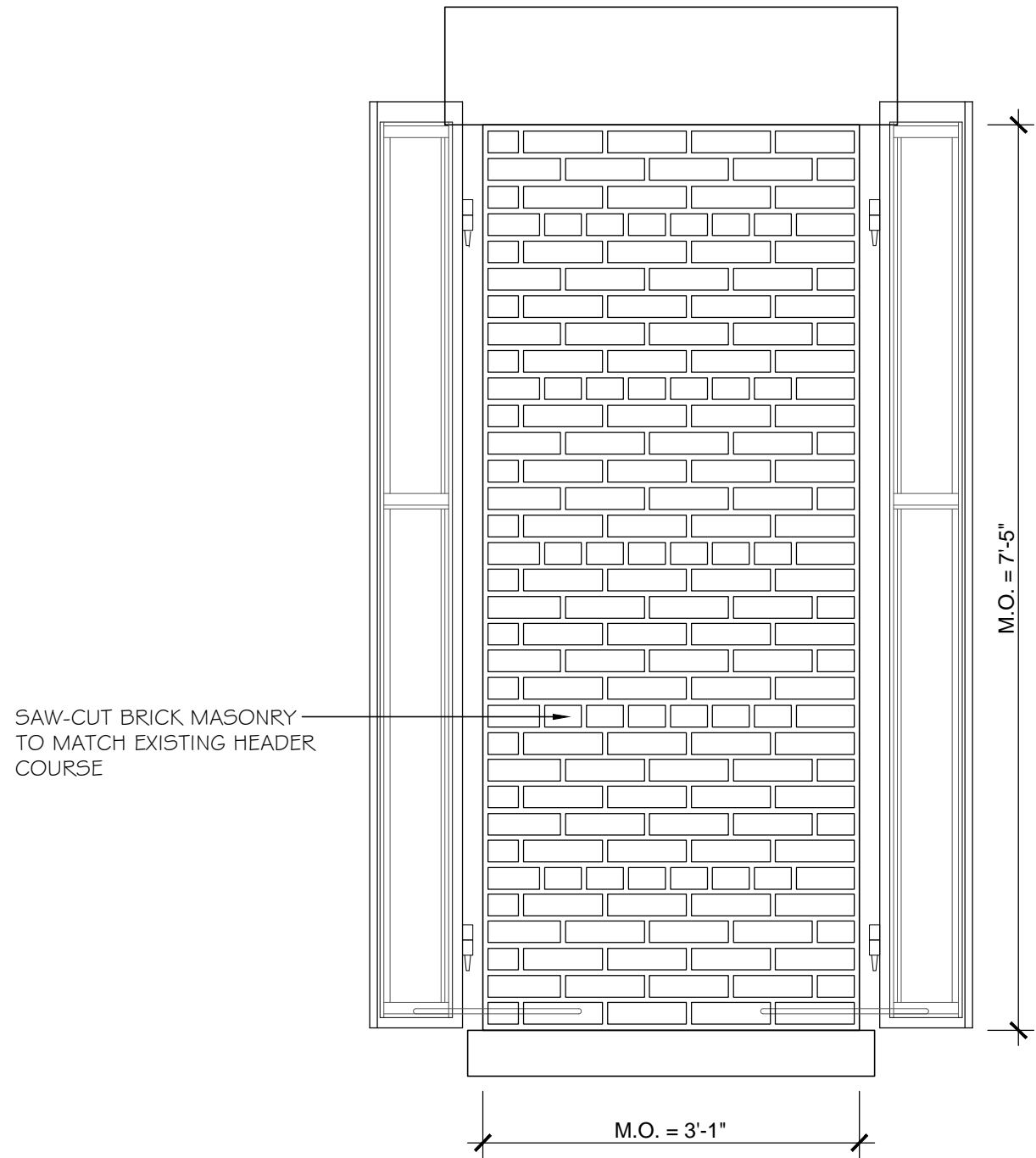


1 TYP. EXISTING WINDOW ELEVATION @ NORTH COURTYARD ELEVATION
SCALE: 3/4" = 1'-0"

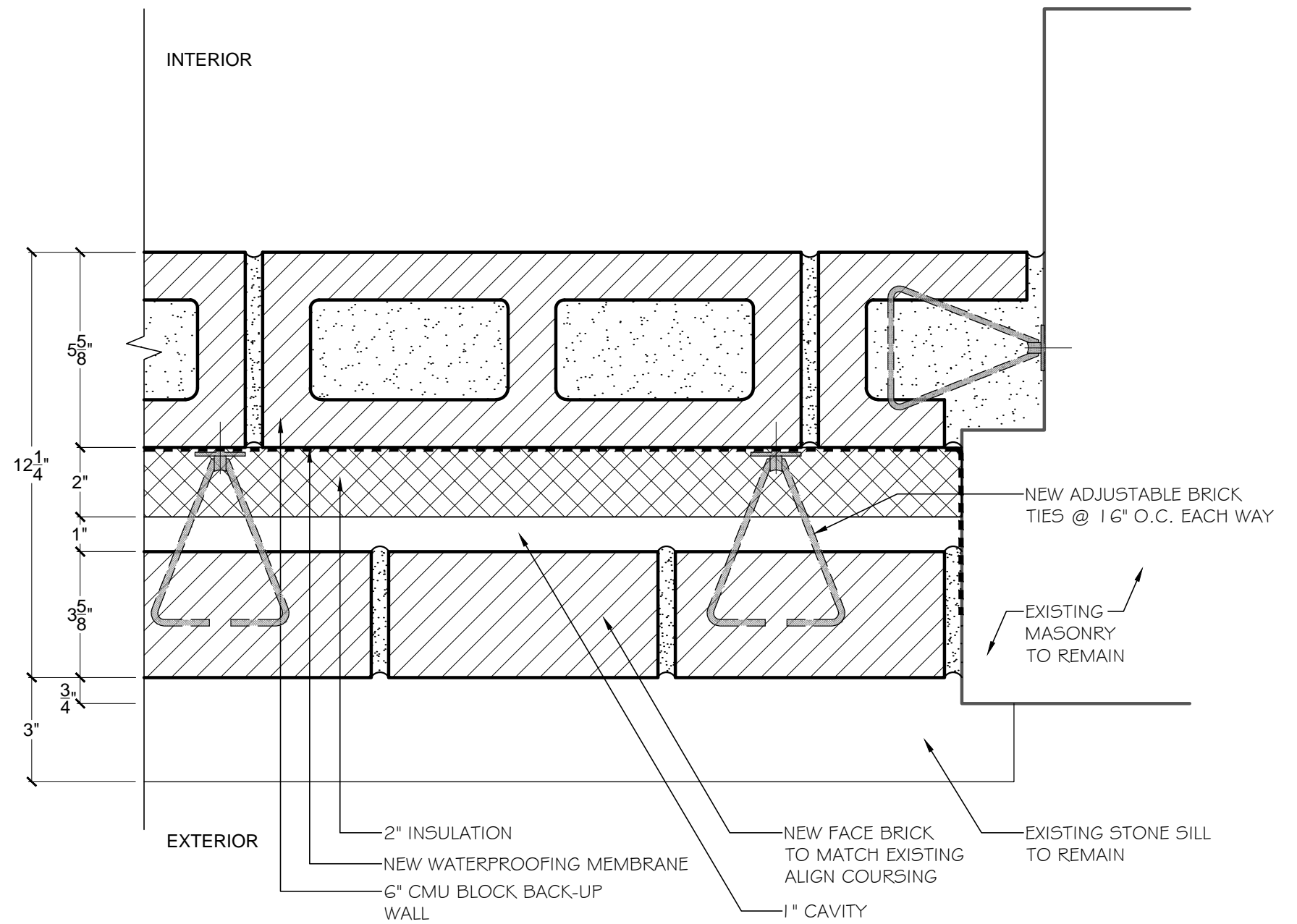


2 TYP. EXISTING WINDOW @ NORTH COURTYARD ELEV. - JAMB SECTION
SCALE: 3" = 1'-0"





1 TYP. NEW BRICK INFILL @ SHAFT - WEST COURTYARD ELEVATION
 SCALE: 3/4" = 1'-0"
 NORTH COURTYARD ELEV. SIM.



2 TYP. NEW BRICK INFILL @ SHAFT - WEST COURTYARD ELEV. - JAMB SECTION
 SCALE: 3" = 1'-0"

