



Historic Photograph of both Buildings - Circa 1900's

## WINDOW REPLACEMENT

#1 Astor Place / 754 Broadway  
(a combined building)

BLOCK: 545      LOT: 59

ZONE: C6-2 General Central Commercial District

NOHO HISTORIC DISTRICT, MANHATTAN

Designated 29 June 1999

Substantially Renovated / Converted 1981

Mullen Palandrani, Architects  
165 Lexington Avenue  
New York, N.Y. 10016  
212-260-6880

**BROADWAY, 746 to 754 (East side between Astor Place and East 8th Street)**

**746-750 Broadway (Northeast corner of Broadway and Astor Place)  
aka 1-7 Astor Place**

Borough of Manhattan Tax Map Block 545, lot 59 in part

Date of construction: 1881-83

Architect: Starkweather & Gibbs

Original Owner: Orlando B. Potter

Type: Hotel, boarding house, and stores

Style: Neo-Grec

Stories: 7

Structure/material: Brick, cast iron, brownstone, and terra cotta

Features: Broadway Nine bays; chamfered corner; non-historic sash; cast-iron storefront with highly stylized piers, columns, and cornice; non-historic storefront infill and signage; upper stories have multi-story decorative brick piers with carved stone caps, arched fenestration with keystones and decorative spandrels, and dentilwork; a prominent bracketed cornice supported on corbels crowns the sixth story; the seventh story has three major bays with grouped fenestration below corbel courses; simple molded roof cornice. Astor Place Similar to Broadway; twelve bays; facade follows slight curve of Astor Place; recessed, non-historic entrance to upper floors; non-historic marquee and lamps.

History: Built as a hotel and boarding house with ground-level stores, this building was designed by Starkweather & Gibbs, and constructed in 1881-83 for prominent New Yorker Orlando B. Potter (1823-1894), on land he leased from Sailors' Snug Harbor, which owned much land in the area. Potter, a Massachusetts lawyer who moved to New York City in 1853, was a prominent figure in New York Democratic politics who achieved recognition by developing a plan for a national banking system and currency that was adopted by Congress in 1863. Potter also owned prime real estate in Manhattan, including the building at 444 Lafayette Street (1875-76, Griffith Thomas), and 4-8 Astor Place (1890, Francis H. Kimball), all within the NoHo Historic District, as well as the Potter Building at 35-38 Park Row (1883-86, N.G. Starkweather), a designated New York City Landmark. In 1886, Potter founded the New York Architectural Terra Cotta Co. A nearby building, 740-744 Broadway (also within the NoHo Historic District) was built by his estate, the O.B. Potter Trust in 1910-12. The O.B. Potter Trust, later O.B. Potter Properties, Inc., continued to own buildings in the area into the mid-twentieth century. The cast-iron first story of 746-750

Broadway was manufactured by the James L. Jackson Iron Works. Within a few years of its construction, the building was converted to manufacturing lofts as this section of Broadway was becoming increasingly commercial and industrial. The decorative roof parapet with finials was removed sometime between c.1938 and 1955. The building was converted to an apartment house above the first floor c.1980.

Department of Buildings information:

1881-83: NB 901-1881 [Source: New Building docket]

References:

David W. Dunlap, *On Broadway: A Journey Uptown Over Time* (New York: Rizzoli International Publications, Inc.), 102-103.

Margot Gayle, *Cast Iron Architecture in New York* (New York: Dover Publications, Inc., 1974), 158-59.

Landmarks Preservation Commission, *Potter Building Designation Report (LP-1948)*, prepared by Jay Shockley (New York: City of New York, 1996).

New York City Department of Buildings, Buildings Information System.

New York City Department of Taxes, photographic record, c.1938.

"Orlando Brunson Potter," *Who Was Who in America* (Chicago: The A.N. Marquis Company, 1963), Historical Vol., 421.

**754 Broadway (Southeast corner of Broadway and East 8th Street)  
aka 108-134 East 8th Street and 9-11 Astor Place  
"The Sinclair Building"**

Borough of Manhattan Tax Map Block 545, lot 59 in part (former lot 63)

Date of construction: 1908-09

Architect: W. H. Gompert

Original Owner: Sinclair Realty Co.

Type: Office building

Style: Classical Revival

Stories: 12

Structure/material: Steel and cast-iron frame with limestone, brick, and terra-cotta facing

Features: **Broadway** Three bays; paired fenestration; non-historic sash; three-story base with limestone piers framing cast-iron infill and supporting a decorative terra-cotta band; non-historic storefronts and signage; historic fascia over storefront with leaf and vine motif; projecting portico at entrance to upper floors with granite columns and decorative limestone hood; facade above the base has brick piers and panelled terra-cotta spandrels; prominent galvanized-iron roof cornice with brackets and dentils. **East 8th Street** Similar to Broadway; six bays, grouped fenestration. **Astor Place** Similar to Broadway; one-bay wing extending east of 746-750 Broadway; grouped fenestration; roof cornice removed and replaced with cement stucco parapet. **Exposed side elevations** Brick with lot-line windows and non-historic sash.

History: This office building was designed by W. H. Gompert and constructed in 1908-09 for the Sinclair Realty Co. of New Rochelle, NY, at a time when the earlier, smaller commercial buildings that lined this section of Broadway were being replaced with taller buildings, like this one, which replaced two nineteenth-century brick buildings. One of the nineteenth-century buildings was called the Sinclair Building, and the present building, which the *Real Estate Record and Guide* called one of the first office buildings to be constructed on Broadway between Wanamaker's Store at East 9th Street and Duane Street (along with 693-697 Broadway), was known by the same name at the time of construction. The building was converted to an apartment house above the first floor c.1980.

Department of Buildings information:

1908-09: NB 124-1908 [Source: New Building docket]

References:

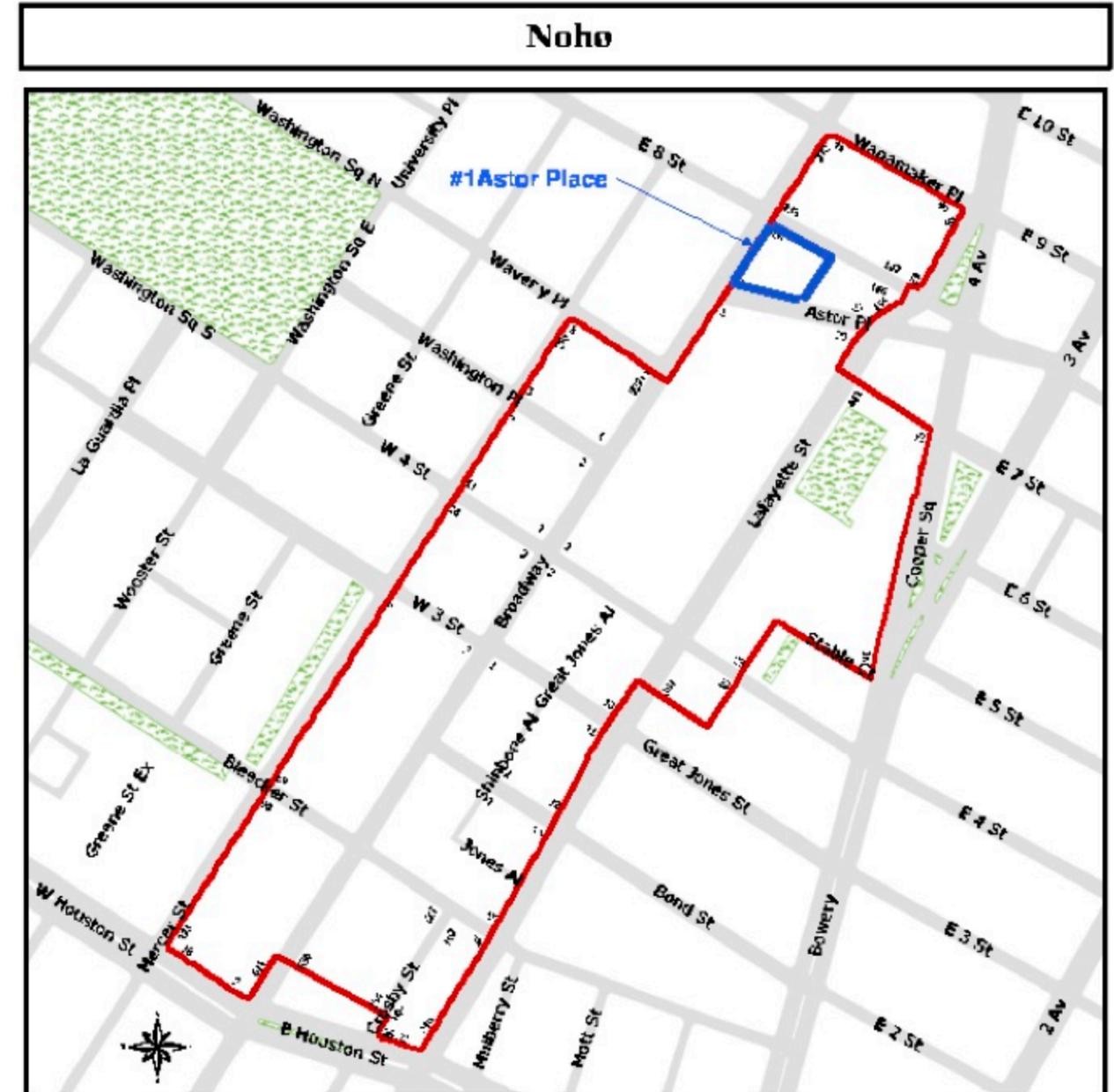
*Atlas of the City of New York and Part of the Bronx* (New York: E. Robinson, 1885), pl. 9.  
*Both Sides of Broadway from Bowling Green to Central Park* (New York: The De Leeuw Riehl Publishing Co., 1910), 285.  
 New York City Department of Buildings, Buildings Information System.  
*Real Estate Record and Guide*, August 1, 1908, p.226.

**BROADWAY, 756 to 770 (East side between East 8th Street and East 9th Street [Wanamaker Place])**

756-770 Broadway (East side between East 8th and East 9th Streets [Wanamaker Place]) aka 133-147 East 8th Street, 42-58 Fourth Avenue, and 74-86 East 9th Street [Wanamaker Place] "Wanamaker's Department Store Annex".

Borough of Manhattan Tax Map Block 554, lot 1

Date of construction: 1903-07; addition, 1924-25





### **Overview**

The subject property is comprised of two historic buildings, which were converted from commercial uses and combined into a single, multi-family residential use in 1981. The combined structure is known as #1 Astor Place with its main residential entry on that street.

### **The two historic building are:**

- A seven-story, red brick, Neo-Grec style, bearing wall building at the intersection of Broadway and Astor Place, and
- The “Sinclair Building”, a 1908, 12 story, steel framed, classic revival style office building with primary facades on Broadway, East 8th St., and Astor Place. This 12 story, L-shaped building surrounds the 7 story brick structure on two sides. A small interior courtyard is formed between the two buildings at the intersection of the legs of the L-shaped building.

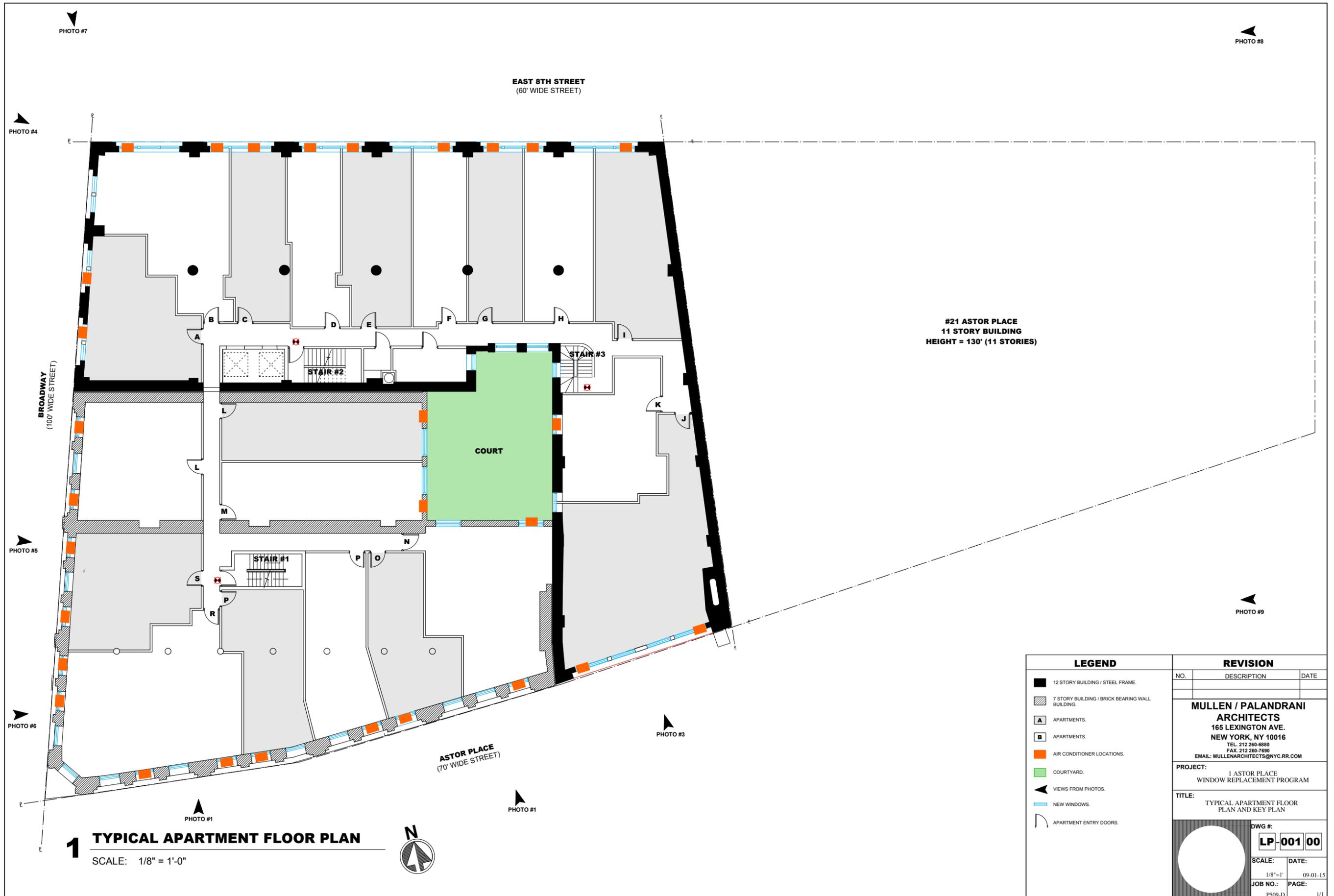
### **Windows**

- These two buildings were combined and converted to residential use without major alterations to their architecturally significant, ornate primary facades, prior to the District designation by the Commission; and today retain their original and independent identity and character. This thoughtful conversion placed individual room A/C units within the masonry “window” openings, (not thru the ornate and historical façades) in permanent sleeves mounted in custom windows. This provides for the easy replacement of air conditioning units and their use year-round, independent of the generous natural ventilation provided by the siding glass windows above. Because the masonry openings of these historic buildings are very large in most instances, the operable portion of the window is further broken down with a second fixed glass transom above the operable portion. The original rhythm of vertical mullions on the 8th Street and Astor Place has been maintained, aligning with the original façade details.

### **Proposal**

Our proposal in this window replacement plan is to maintain the existing frame configuration – a fixed transom above and below an operating window, the bottom transom with an air conditioning unit in some locations - and switch from sliding glass units, which can be opened 50% , to a casement window, which can be opened 100%. This configuration will look identical to the sliding windows now in place, but with far superior energy performance and natural ventilation capacity. This proposal will allow us to re-use the existing sleeves, air conditioning units, their electrical service and control wiring and re-install them into the bottom transom of our new custom window units.

Further, this new window plan will have no affect on any significant architectural feature of these historic buildings, will dramatically improve the thermal and air-infiltration efficiencies (over the existing sliding glass units as well as the original double hung units), will provide double the natural ventilation area of the existing sliding glass system, and keep the air conditioning system out of any “operable” portion of the new window, which would compromise the use of natural ventilation.



**#21 ASTOR PLACE  
11 STORY BUILDING  
HEIGHT = 130' (11 STORIES)**

**1 TYPICAL APARTMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

LEGEND		REVISION	
	12 STORY BUILDING / STEEL FRAME.	NO.	DESCRIPTION
	7 STORY BUILDING / BRICK BEARING WALL BUILDING.		DATE
	APARTMENTS.	<b>MULLEN / PALANDRANI ARCHITECTS</b> 165 LEXINGTON AVE. NEW YORK, NY 10016 TEL. 212 260-6880 FAX. 212 260-7690 EMAIL: MULLENARCHITECTS@NYC.RR.COM	
	APARTMENTS.		
	APARTMENTS.		
	AIR CONDITIONER LOCATIONS.	PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM	
	COURTYARD.	TITLE: TYPICAL APARTMENT FLOOR PLAN AND KEY PLAN	
	VIEWS FROM PHOTOS.	DWG #: <b>LP-001 00</b>	
	NEW WINDOWS.	SCALE: 1/8"=1'	DATE: 09-01-15
	APARTMENT ENTRY DOORS.	JOB NO.: P509-D	PAGE: 1/1



South Elevation - #1 Astor Place (Photo #1)



South Elevation - #1 Astor Place (Photo #2)



South Elevation - # 754 Broadway (Photo #3)



West Elevation - #754 Broadway (Photo #4)



West Elevation - #1 Astor Place (Photo #5)



Detail of #1 Astor Place Building (Photo #6)



Northwest Corner Elevation (Part North Elevation) - #754 Broadway (Photo #7)



Detail of Northwest corner - #754 Broadway



East Elevation From East 8th Street, concealed by 10 story building in foreground (Photo #8)



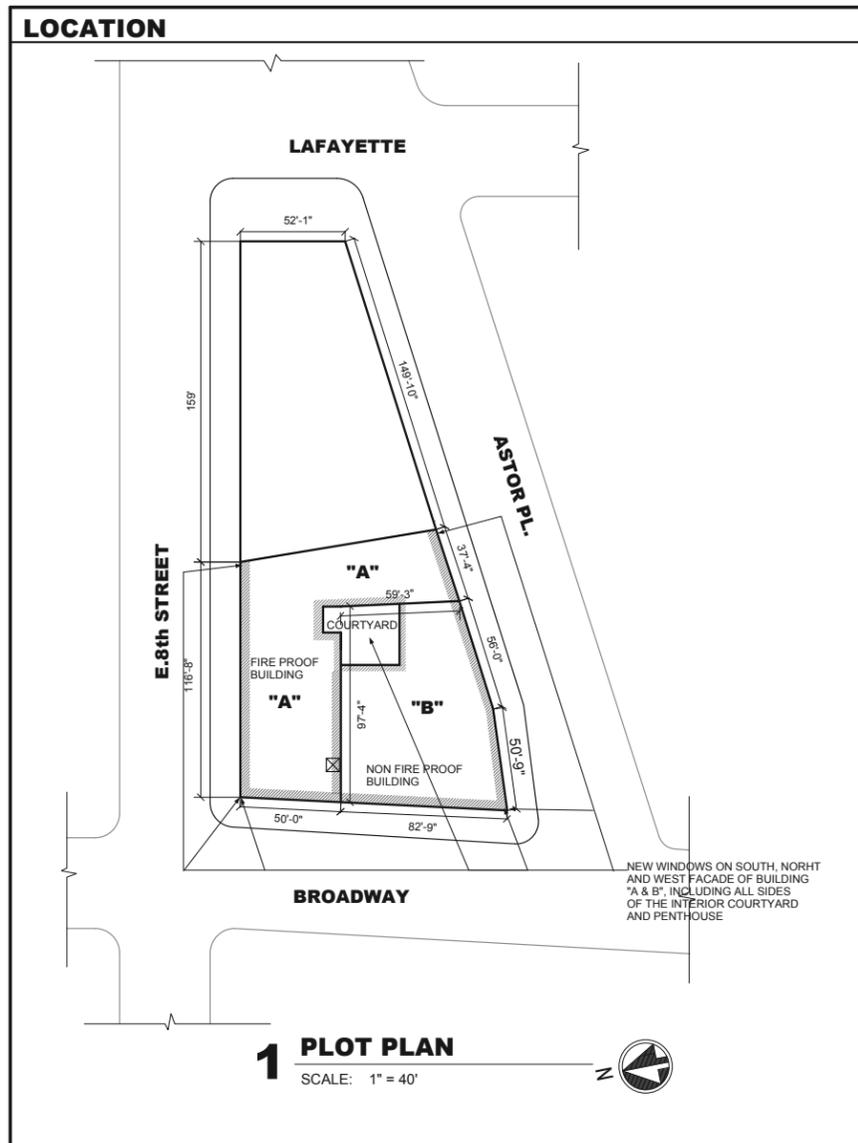
East Elevation from Astor Place, concealed by 10 story building in foreground (Photo #9)



1940 Historic Photo of #1 Astor Place



1940 Historic Photo of # 754 Broadway



### BUILDING INFORMATION

LOCATION:	1 ASTOR PLACE, MANHATTAN, NYC
BLOCK:	545
LOT:	59
ZONE:	C6-2
MAP:	12C
COMMUNITY BOARD:	102
LANDMARK STATUS:	L-LANDMARK
SPECIAL PURPOSE DISTRICT:	NONE
OCCUPANCY:	J-2

### FLOOD HAZZARD AREA

OTHER AREAS:  
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
SEE LEGEND ON THE FEMA / FLOOD INSURANCE RATE MAP FROM 2007 & 2013.  
NOTE: PROPERTY IS NOT IN FLOOD AREA AS PER NATIONAL FLOOD INSURANCE PROGRAM.

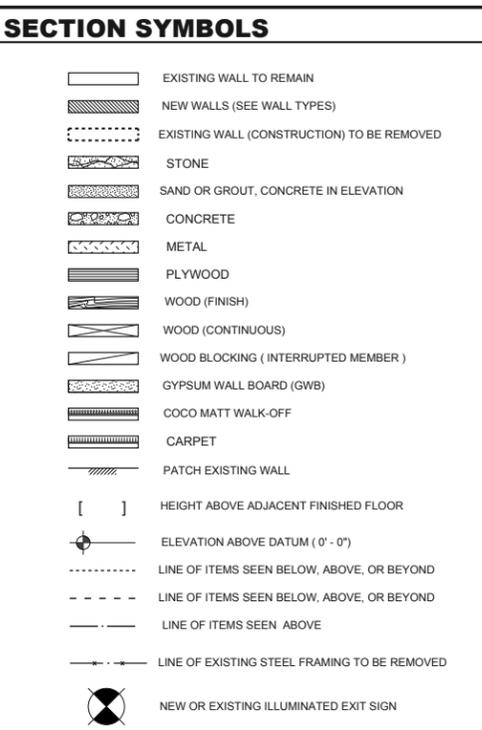
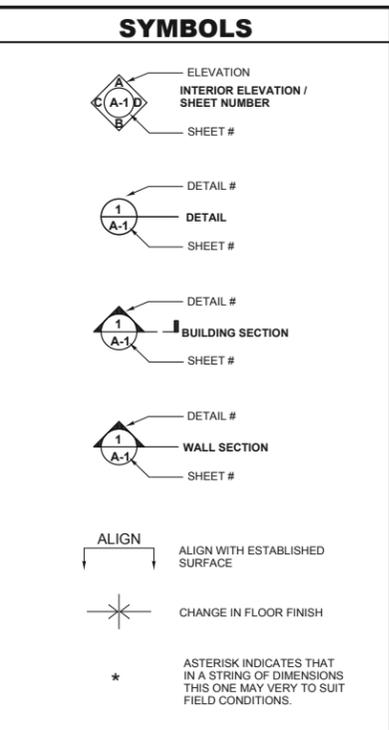
### SCOPE OF WORK

REPLACEMENT WINDOWS AT BUILDING "A" & "B" ON ALL FLOORS INCLUDING PENTHOUSE.  
NO CHANGE IN USE OR OCCUPANCY OR EGRESS.

- ### GENERAL NOTES:
- ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY OF NEW YORK.
  - ALL PERMITS FOR WORK UNDER THIS CONTRACT SHALL BE SECURED BEFORE WORK BEGINS. (INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DEMOLITION, SIDEWALK BRIDGE, STREET OBSTRUCTION BOND, CONTAINER ETC.).
  - THE CONTRACTOR SHALL FURNISH THE OWNER WITH CERTIFICATE OF INSURANCE STATING THEIR LIMITS OF LIABILITY, POLICY #, EXPIRATION DATE, AND GENERALLY INDEMNIFYING THE OWNER AGAINST WORK BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL INSURE THE SAFETY OF LIFE AND PROPERTY OF HIS WORKMEN, THE OWNER'S PROPERTY, ADJACENT PROPERTIES, AND ALL PEOPLE IN THE AREA OF HIS WORK.
  - FOR THE FULL DURATION OF THE WORK, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ADEQUATE PROTECTION FOR THE TENANTS AND THE PUBLIC AGAINST PERSONAL INJURY. LEGAL EGRESS FROM THE BUILDING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND IF MODIFIED FOR ANY TIME ADEQUATE, SIGNAGE, LIGHTING, AND NOTIFICATION SHALL BE GIVEN TO ALL TENANTS.
  - ALL MATERIALS AND DEBRIS DEMOLISHED AT THE SITE SHALL BE REMOVED AND DISPOSED OF PROPERLY AT THE CONTRACTOR'S EXPENSE.
  - JOB TO BE LEFT BROOM SWEEP CLEAN.
  - ALL PLUMBING & ELECTRICAL WORK TO BE PERFORMED BY LICENSED CONTRACTORS.

### SPECIAL INSPECTIONS

ENERGY CODE	BC 109.3.4
FENESTRATION THERMAL	(II A5)
FENESTRATION AIR LEAKAGE	(II A6)
FINAL DIR 14	BC 109.5



### REVISION

NO.	DESCRIPTION	DATE

### DEMOLITION GENERAL NOTES

- #### DEMOLITION NOTES GENERAL NOTES
- ALL EXISTING STRUCTURES ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE FIELD VERIFIED.
  - REMOVED MATERIALS, UNLESS OTHERWISE NOTED, BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS.
  - CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED PERSONNEL FOR REMOVAL AND DEMOLITION OPERATIONS. REMOVAL AND DEMOLITION OPERATIONS SHALL BE PERFORMED IN A CAREFUL, ORDERLY AND CONTROLLED MANNER TO AVOID HAZARDS TO PERSONS, DAMAGE TO PROPERTY, AND SPREADING OF DUST AND DEBRIS.
  - EXACT EXTENT OF DEMOLITION TO BE DONE SHALL BE VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH THE EXISTING CONSTRUCTION.
  - THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE MEANS AND METHODS OF DEMOLITION AND SHORING AND THE SAFETY OF THE EXISTING STRUCTURE AND ITS OCCUPANTS.
  - THE CONTRACTOR IS NOT TO REMOVE ANY MORE OF THE EXISTING STRUCTURE THAN NECESSARY TO PROPERLY EXECUTE THE DETAILS SHOWN ON CONTRACT DOCUMENT. DO NOT DAMAGE, MAR, OR DEFACE THE REMAINING STRUCTURE OR MATERIALS TO BE REUSED.
  - CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES, DUCTS, AND EQUIPMENT TO REMAIN.
  - CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND MONITORING OF ALL TEMPORARY FACILITIES AND STRUCTURES.

- #### GENERAL NOTES
- BEFORE SUBMITTING A PROPOSAL, ALL CONTRACTORS SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS, VERIFY THESE CONDITIONS WITH THE CONSTRUCTION DOCUMENTS AND CHECK FOR ANY DISCREPANCIES OR INTERFERENCES BETWEEN CONTRACTOR'S WORK AND THAT OF OTHER TRADES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES/ INTERFERENCES EXIST BEFORE ENTERING INTO CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE AFOREMENTIONED NOTIFICATIONS SHALL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE INTENT OF THE CONTRACT DOCUMENTS WITH NO ADDITIONAL EXPENSE (EXTRA) BEING INCURRED BY THE OWNER.
  - EACH CONTRACTOR SHALL PROVIDE LABOR, SUPERVISION, MATERIALS, EQUIPMENT AND ACCESSORIES, AND COORDINATE, PROCURE, FABRICATE, DELIVER, ERECT, INSTALL OR INTERFACE WITH ANY NEW OR EXISTING WORK, START, TEST ALL WORK AS PER CODE AND CONSTRUCTION DOCUMENTS IN ORDER TO PROVIDE THE OWNER WITH A COMPLETE ASSEMBLY OR SYSTEM.
  - ALL ITEMS MENTIONED OR IMPLIED AND/OR UNDERSTOOD AS NECESSARY TO COMPLETE THE WORK OF EACH CONTRACTOR SHALL BE PROVIDED BY THE CONTRACTOR.
  - CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK. CONTRACTOR SHALL PREPARE A PROPOSED CONSTRUCTION SCHEDULE AND SUBMIT SAME WITH THE BID.
  - ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE NEW YORK CITY BUILDING CODE AND ANY WORK NOT CONFORMING TO CODE SHALL BE CURED AT THE EXPENSE OF THE CONTRACTOR.
  - CONTRACTOR SHALL SUBMIT ALL SHOP, DRAWINGS, CUTS AND SAMPLES OF ALL CONSTRUCTION ASSEMBLIES, FOR APPROVAL, TO THE ARCHITECT BEFORE BEGINNING WORK. NO WORK IS TO BE PERFORMED WITHOUT THE AFOREMENTIONED ABOVE. THE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO DISAPPROVE ANY OF THE ABOVE.
  - THE CONTRACTOR SHALL PROMPTLY REMOVE FROM THE PREMISES ALL WORK CONDEMNED BY THE ARCHITECT AS FAILING TO CONFORM TO THE CONTRACT. WHETHER INCORPORATED OR NOT, THE CONTRACTOR SHALL PROMPTLY REPLACE AND RE-EXECUTE HIS OWN WORK IN ACCORDANCE WITH THE CONTRACT AND WITHOUT EXPENSE TO THE OWNER AND SHALL BEAR THE EXPENSE OF MAKING GOOD ALL WORK OF OTHER CONTRACTORS DAMAGED BY SUCH REMOVAL OR REPLACEMENT.
  - CONTRACTOR SHALL OBTAIN BUILDING AND ALL OTHER REQUIRED PERMITS, WHICH ARE TO BE DISPLAYED AT THE MANAGEMENT OFFICE. CONTRACTOR SHALL FORWARD ALL COPIES OF SIGN-OFFS TO THE ARCHITECT.
  - CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS, INSPECTIONS AND OTHER CHARGES.
  - CONTRACTOR SHALL DO ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER AND SAFE EXECUTION OF ALL WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS IN THE VICINITY OF THE SITE AS THE JOB PROGRESSES.
  - ALL MEANS OF EGRESS TO BE KEPT UNOBSTRUCTED.
  - THE ARCHITECT RESERVES THE RIGHT OF INTERPRETATION OF THESE CONTRACT DOCUMENTS.

#### NEW YORK ENERGY CODE COMPLIANCE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (NYCECC 2011).

- #### SIDEWALK SHED
- TO BE FILED SEPARATELY UNDER SEPARATE D.O.B. JOB NUMBER: (#, M)
- A SIDEWALK SHED SHALL BE ERECTED BY THE CONTRACTOR AT AREAS REQUIRED, PRIOR TO THE START OF CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL COMPLETION OF THE WORK.
  - BEFORE ERECTING SIDEWALK SHED, THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK AGENCIES.
  - THE CONTRACTOR SHALL FURNISH, ERECT, DISTRIBUTE AND REMOVE A HEAVY DUTY TYPE SIDEWALK SHED, WITH A 4" HIGH WOOD PARAPET ALONG THE OUTER PERIMETER. THE SIDEWALK SHED SHALL COMPLY FULLY WITH REQUIREMENTS OF SEC BC-3307 AND BC-3308, NEW YORK CITY BUILDING CODE (LOCAL LAW 45183).
  - THE SIDEWALK SHED SHALL BE PAINTED AS PER OWNER'S PREFERENCES.
  - THE CONTRACTOR SHALL FURNISH AND INSTALL FLUORESCENT LIGHTING ON THE UNDER SIDE OF SHED (AS PER NEW YORK CITY BUILDING CODE). ELECTRICAL FEED SHALL BE SUPPLIED BY IN-HOUSE ELECTRICIANS - PROVIDE PERMIT AS REQUIRED.
  - THE CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL RED LIGHT INDICATORS WHERE REQUIRED AT STANDPIPE LOCATIONS.
  - THE SIDEWALK SHED PERMIT HOLDER SHALL POST A SIGN MEASURING 25 SQUARE FEET, WHICH SHALL INCLUDE THE NAME, ADDRESS, PHONE NUMBER, AND PERMIT NUMBER OF PERMIT HOLDER, AND THE DATE PERMIT EXPIRES.
  - THE CONTRACTOR SHALL INSTALL ARCHITECT'S SIGN AS PROVIDED BY ARCHITECT AND PERMITTED BY OWNER. CONTRACTOR TO RETURN ARCHITECT'S SIGN TO ARCHITECT'S OFFICE UPON REMOVAL OF THE SIDEWALK SHED.

### LIST OF DRAWINGS

LANDMARKS	BID DOCUMENTS	DOB	DWG. NO.	DRAWING NAME
			A-001.00	PLOT PLAN, LIST OF DRAWINGS, DOB INFO, NOTES & SYMBOLS
			A-002.00	WINDOWS SCHEDULE
			A-100.00	WEST ELEVATIONS BUILDING "A & B"
			A-101.00	SOUTH ELEVATIONS BUILDING "A & B"
			A-102.00	NORTH ELEVATION BLDG. "A"
			A-103.00	COURTYARD WEST AND SOUTH ELEVATIONS BUILDING "A & B"
			A-104.00	COURTYARD EAST ELEVATION BUILDING "A"
			A-105.00	COURTYARD NORTH ELEVATION BUILDING "A"
			A-106.00	PENTHOUSE SOUTH, EAST & WEST ELEVATIONS BUILDING "B"
			A-107.00	PENTHOUSE WEST, NORTH & SOUTH ELEVATIONS BUILDING "A"
			FM-100.00	FLOOD INSURANCE RATE MAPS - FEMA 2007 & PRELIMINARY 2013

### TENANT PROTECTION PLAN:

#### TENANT SAFETY NOTES

- CONSTRUCTION WORK WILL BE EXECUTED THROUGH THE BUILDING'S INTERIOR AND EXTERIOR. MEASURES WILL BE TAKEN TO LIMIT DUST, OR SUCH INCONVENIENCES TO APARTMENT UNITS WITHIN THE BUILDING.
- CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF THE HEATING, WATER OR ELECTRICAL SERVICES TO THE TENANTS OF THE BUILDING.
- THE BUILDINGS WILL BE OCCUPIED DURING THE COURSE OF THE CONSTRUCTION WORK.
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS OF 8 AM TO 5 PM MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS WHICH WILL BE DETERMINED BY THE OWNER. NO WORK WILL BE DONE ON WEEKENDS WITHOUT WRITTEN PERMISSION BY THE OWNER OR WITHOUT A PERMIT.

#### EGRESS

-AT ALL TIMES DURING CONSTRUCTION, THE EXISTING EGRESS FACILITIES SHALL BE MAINTAINED CLEAR AND UNOBSTRUCTED.

#### FIRE SAFETY

-PROVIDE MINIMUM 3 FULLY CHARGED, 10 POUND, A-B FIRE EXTINGUISHERS IN THE AREA OF WORK AND COMPLY WITH ALL LAWS, CONTROLS, AND SAFETY MEASURES FOR THE TYPE OF CONSTRUCTION BEING PERFORMED.

-NOTIFY THE ARCHITECT OF ANY AREAS OF THE EXISTING WALL CONSTRUCTION WHICH DOES NOT MEET THE REQUIRED SEPARATION REQUIREMENTS FOR HIS FIELD INSPECTION (IN ACCORDANCE WITH BC 1704.25 FIRE-STOP, DRAFT-STOP AND FIRE BLOCK SYSTEM) BEFORE AND AFTER PATCHING.

#### HEALTH REQUIREMENTS

-TAKE ALL PRECAUTIONS AGAINST THE INFILTRATION OF DUST, THE ACCUMULATION OF CONSTRUCTION DEBRIS, AND EXCESSIVE CONSTRUCTION NOISE. PROVIDE FOR THE SERVICES OF PEST CONTROL PROFESSIONALS AS REQUIRED DURING AND IMMEDIATELY FOLLOWING CONSTRUCTION.

#### UTILITIES

-AT NO TIME DURING CONSTRUCTION SHALL THE BUILDING HEAT, WATER, ELECTRICITY, OR OTHER BUILDING SERVICES BE INTERRUPTED WITHOUT PRIOR NOTIFICATION TO THE LANDLORD AND AFFECTED TENANTS

-DEMOLITION WORK IN THE AREA OF SPRINKLERS SHALL PROCEED CAREFULLY TO INSURE THE PROTECTION OF THE EXISTING SYSTEM.

#### STRUCTURAL STABILITY

-NO WORK SHALL BE PERFORMED THAT MAY AFFECT THE SAFETY OF THE TENANTS, THE WORKERS, OR OTHER PERSONS IN THE AREA OF WORK. THERE IS NO STRUCTURAL WORK ANTICIPATED UNDER THIS ALTERATION APPLICATION; ANY QUESTIONS AS TO THE STRUCTURAL NATURE OF ELEMENTS WITHIN THE SCOPE OF WORK, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

#### SEQUENCE OF CONSTRUCTION

-THE REMOVAL OF EXISTING NON-LOAD BEARING PARTITIONS EQUIPMENT AND ABANDONED PIPING.

-THE MODIFICATION OF THE EXISTING SPRINKLER SYSTEM.

-THE INSTALLATION OF NEW GYPSUM BOARD CEILINGS WITH RECESSED AND SURFACE MOUNT LIGHTING (BOTH STANDARD AND EMERGENCY) ON SUB-CELLAR AND CELLAR LEVEL.

-REMOVAL AND REPLACEMENT OF EXISTING FINISH FLOOR AND WALL MATERIALS IN THE AREA OF WORK

#### DEMOLITION/CONSTRUCTION

-ALL MATERIALS INDICATED TO BE REMOVED SHALL BE TAKEN FROM THE BUILDING. NO DEMOLISHED MATERIALS SHALL BE PERMITTED TO ACCUMULATE IN THE WORK AREA, HALLS OR CORRIDORS.

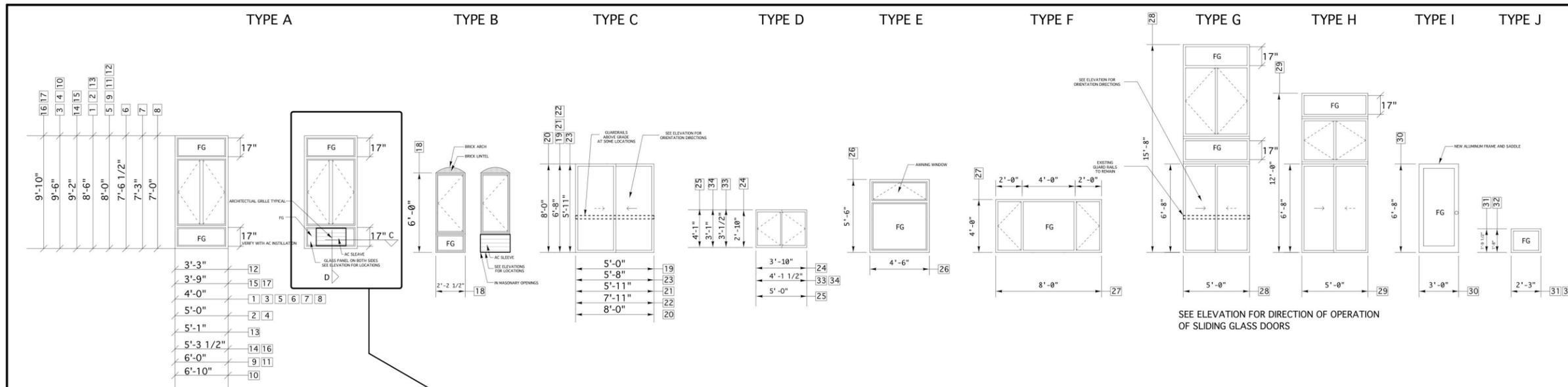
-MAINTAIN MINIMUM 3' - 8" CLEAR PATH OF EGRESS FOR ALL TENANTS AND WORKMEN FOR THE FULL DURATION OF THE WORK.

**MULLEN / PALANDRANI ARCHITECTS**  
165 LEXINGTON AVE.  
NEW YORK, NY 10016  
TEL: 212 260-6880  
FAX: 212 260-7690  
EMAIL: MULLENARCHITECTS@NYC.RR.COM

**PROJECT:** 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

**TITLE:** PLOT PLAN, LIST OF DRAWINGS, DOB INFORMATION, NOTES & SYMBOLS

	DWG #:	<b>A-001.00</b>
	SCALE:	DATE:
JOB NO.:	PAGE:	09-24-14
P509.D	1/11	



REVISION		
NO.	DESCRIPTION	DATE

**GENERAL NOTES**

- WINDOW NUMBER
- WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT
- WINDOW NUMBER WITH SOLID PANELS AT TRANSOM AND SILL
- WINDOW NUMBER AND SPECIAL CONFIGURATIONS SOLID PANEL TRANSOM

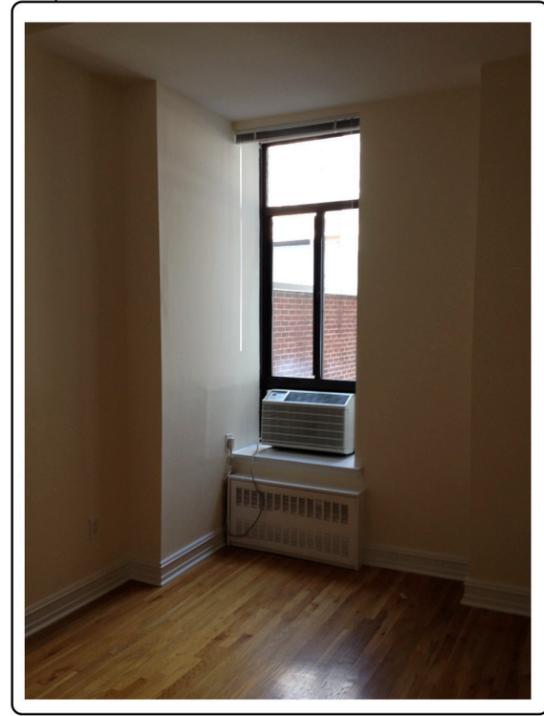
1. ALL MASONRY OPENING SIZES VERIFIED IN FIELD PRIOR TO THE PRODUCTION OF SHOP DRAWINGS

**A WINDOW ELEVATIONS**  
SCALE: 1/4"=1'

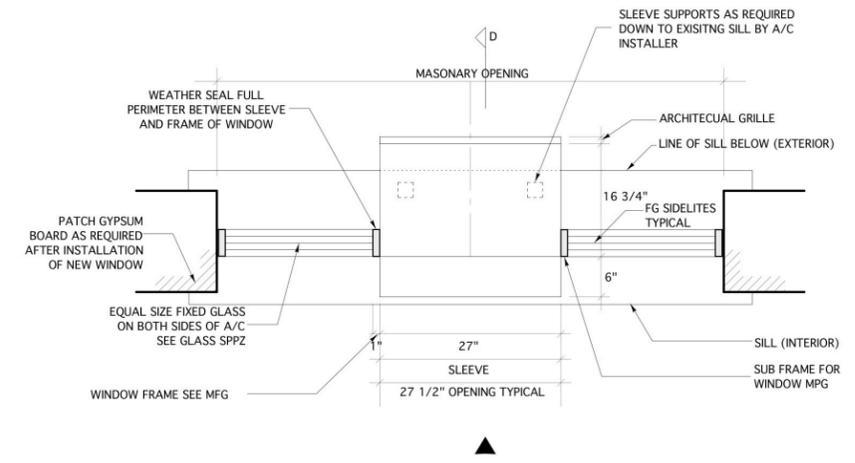
NUMBER	TYPE	*ROUGH OPENING WIDTH X HEIGHT	MATERIALS	DETAILS	FINISH INTERIOR/EXTERIOR	INTERIOR TRIM	REMARKS
1	A	4'-0" X 8'-6"					
2	A	5'-0" X 8'-6"					
3	A	4'-0" X 9'-6"					
4	A	5'-0" X 9'-6"					
5	A	4'-0" X 8'-0"					
6	A	4'-0" X 7'-6 1/2"					
7	A	4'-0" X 7'-3"					
8	A	4'-0" X 7'-0"					
9	A	6'-0" X 8'-0"					
10	A	6'-10" X 9'-6"					
11	A	6'-0" X 8'-0"					
12	A	6'-0" X 8'-0"					1
13	A	5'-1" X 8'-6"					
14	A	5'-3 1/2" X 9'-2"					
15	A	3'-9" X 9'-2"					
16	A	5'-3 1/2" X 9'-10"					
17	A	3'-9" X 9'-10"					
18	B	2'-2 1/2" X 6'-0"					
19	C	2'-2 1/2" X 6'-0"					1
20	C	8'-0" X 8'-0"					
21	C	5'-11" X 6'-8"					
22	C	7'-11" X 6'-8"					
23	C	5'-8" X 5'-11"					
24	D	3'-10" X 2'-10"					
25	D	5'-0" X 4'-1"					
26	E	4'-6" X 5'-6"					
27	F	8'-0" X 4'-0"					
28	G	5'-0" X 15'-8"					1
29	H	5'-0" X 12'-0"					
30	I	3'-0" X 6'-8"					
31	J	2'-3" X 1'-9 1/2"					
32	J	2'-3" X 1'-8"					
33	D	4'-1 1/2" X 3'-1/2"					
34	D	4'-1 1/2" X 3'-1"					
35							

**SCHEDULE NOTES:**  
1. IN SOME LOCATIONS THESE WINDOWS/DOORS HAVE EXISTING GUARD RAILS INSTALLED ON THE EXTERIOR OF THE BUILDINGS- THESE RAILS SHALL BE INSPECTED AND REMAIN IN PLACE AFTER THE WINDOWS INSTALLATION

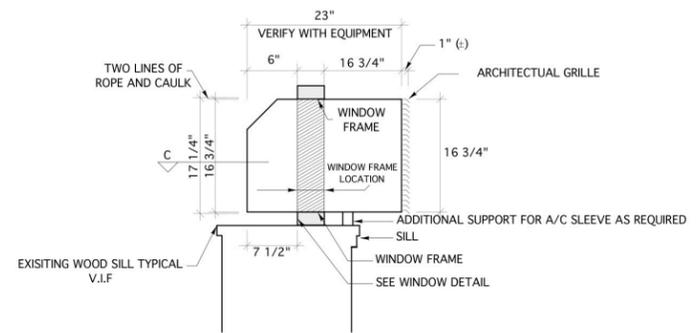
**B WINDOW SCHEDULE**



TYPICAL INTERIOR VIEW



**C PLAN SECTION TOP OF UNIT**  
SCALE: 1"=1'



**D VERTICAL SECTION TYPICAL WINDOW A/C UNIT**  
SCALE: 1"=1'

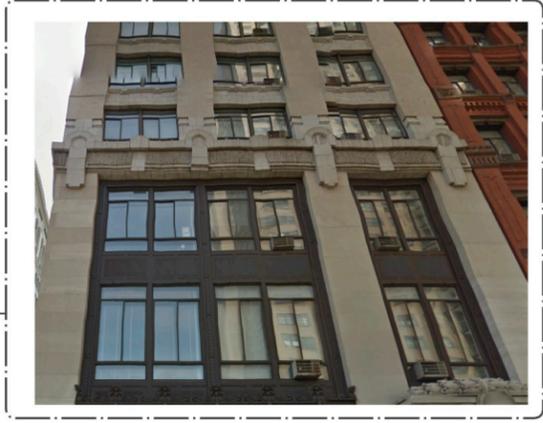
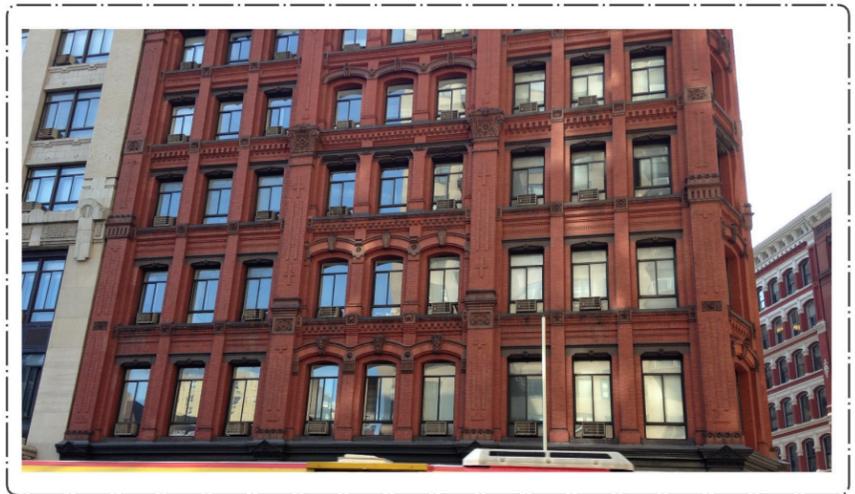
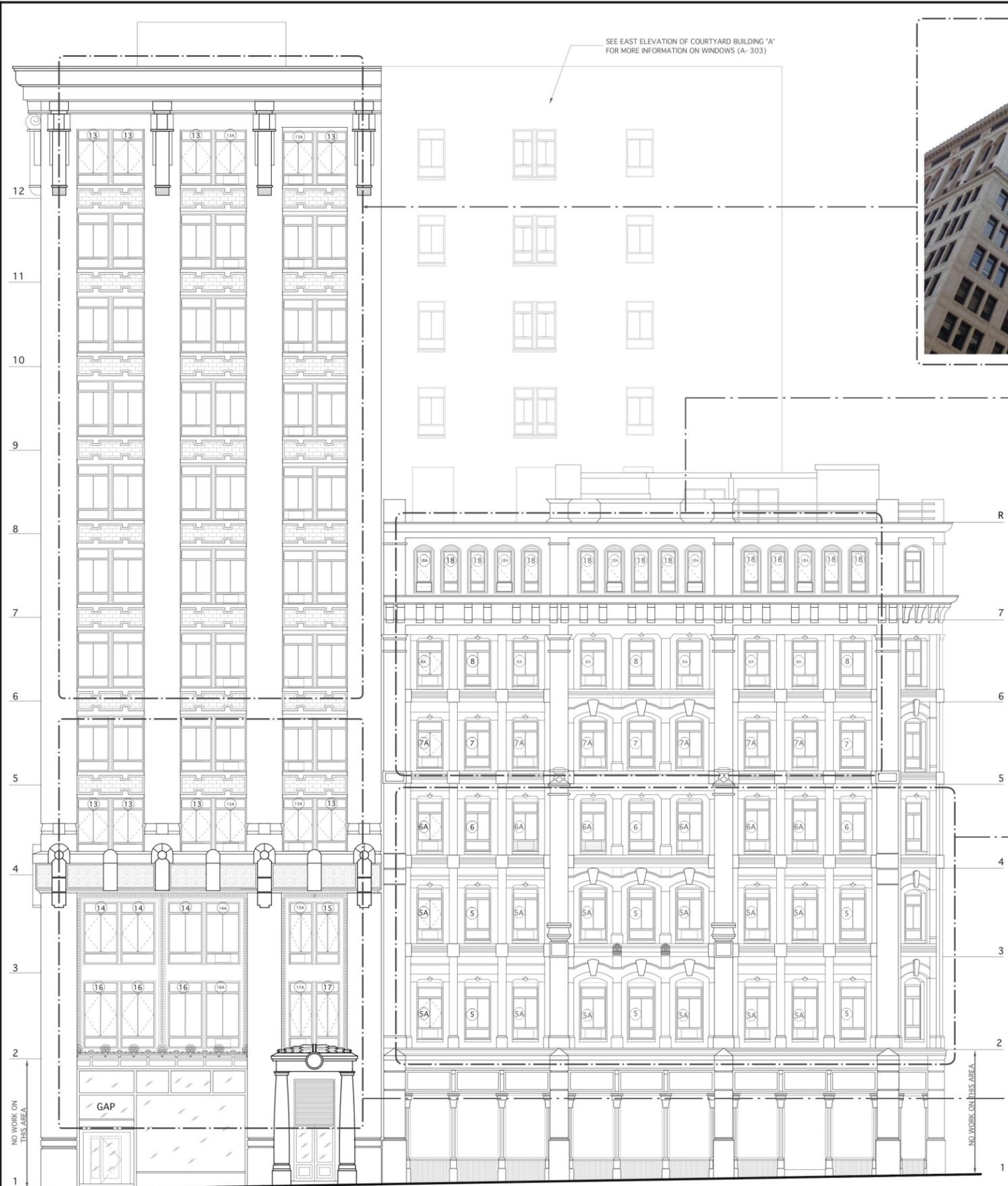
THROUGH WALL SLEEVE WSE WITH ARCHITECTURAL GRILLE  
FRIEDRICH "WALLMASTER" AS STANDARD  
27" W X 16 3/4" H X 16 3/4" D

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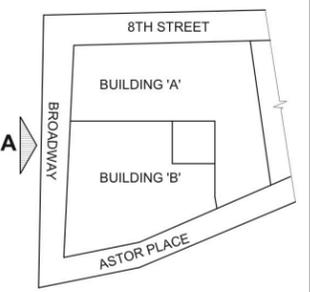
PROJECT:  
1 ASTOR PLACE  
WINDOW REPLACEMENT PROGRAM

TITLE:  
WINDOW SCHEDULE AND DETAILS

DWG #:	<b>A-00200</b>
SCALE:	AS NOTED
DATE:	09-24-14
JOB NO.:	PAGE:
P509-D	2/11



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NO.	DESCRIPTION	DATE



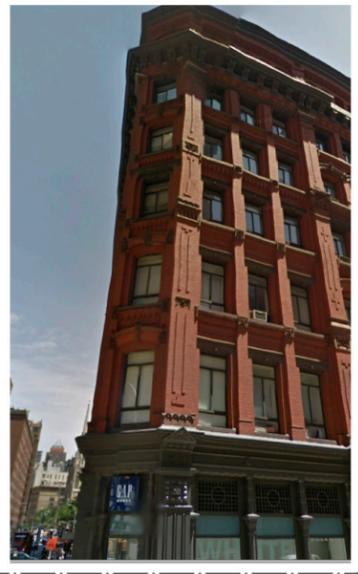
KEY PLAN SCALE: 1:50  
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PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

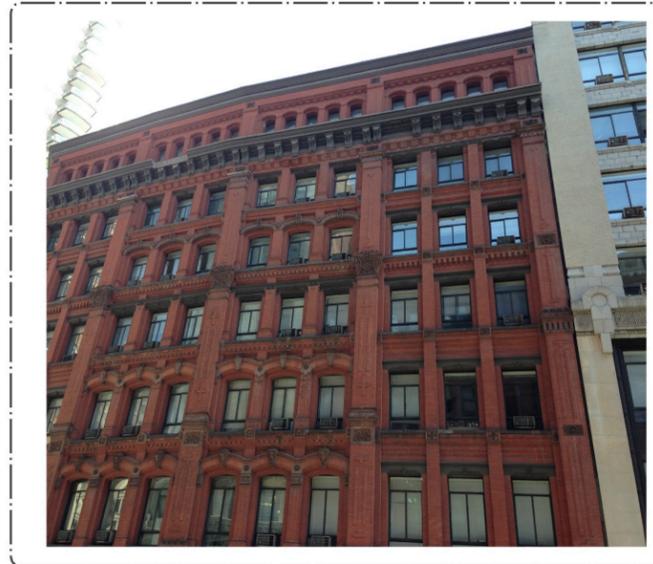
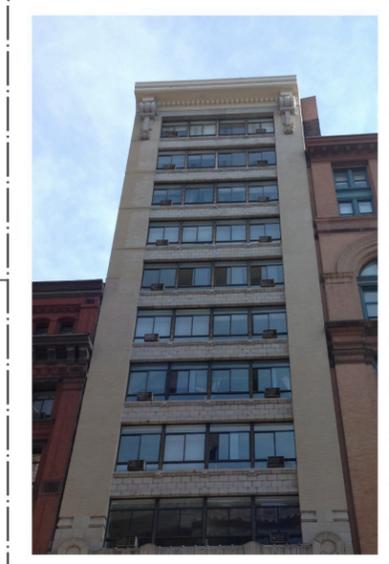
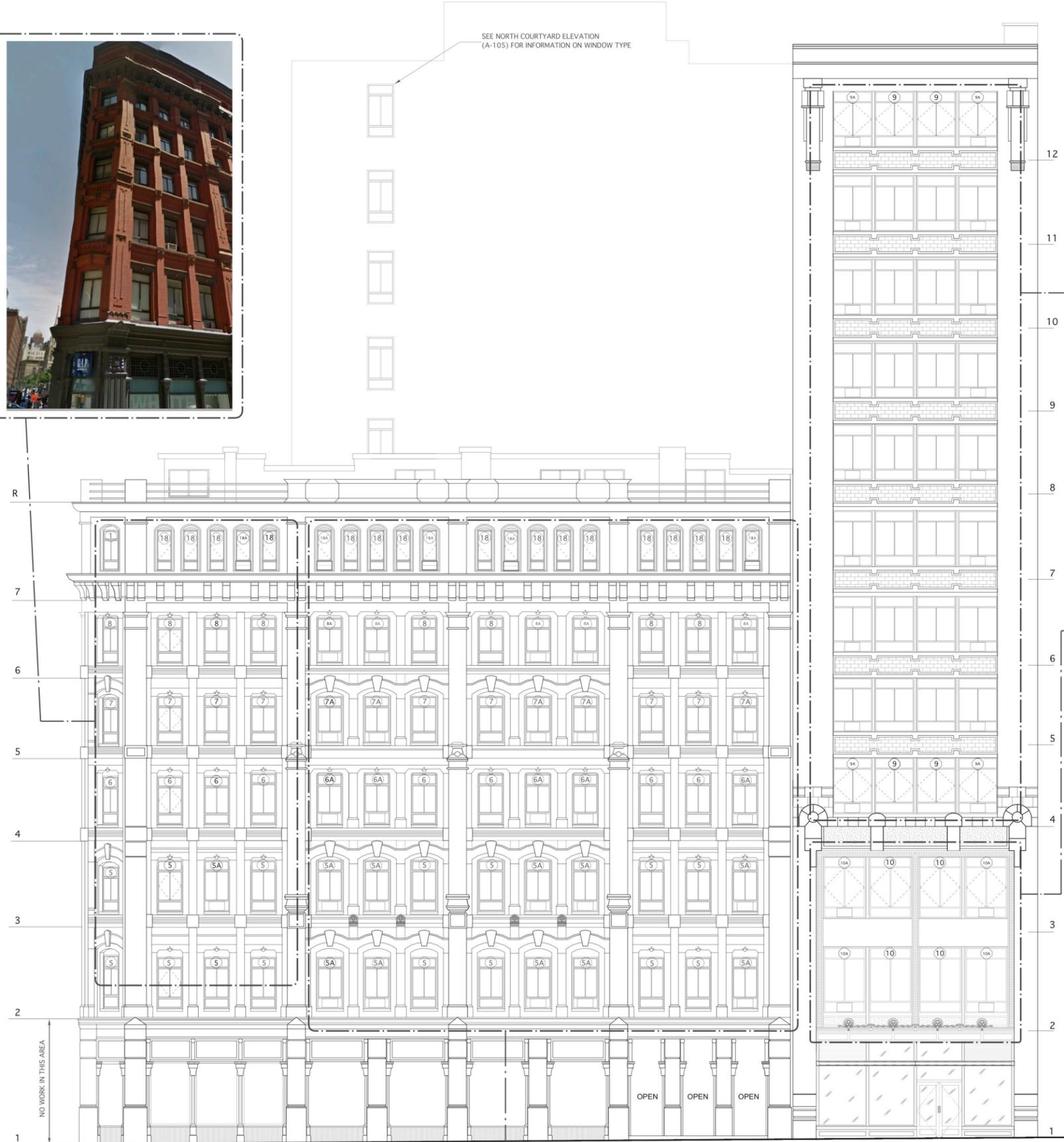
TITLE: WEST ELEVATION BUILDING 'A' AND 'B'

	DWG #:	<b>A-100 00</b>
	SCALE:	1/8"=1'
	DATE:	09-24-14
	JOB NO.:	P509-D
	PAGE:	3/11

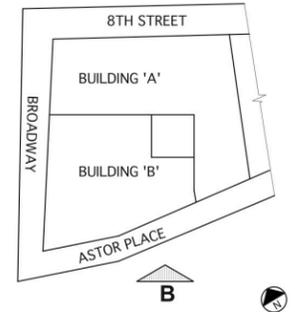
**A WEST ELEVATION BUILDING 'A' BUILDING 'B'**



SEE NORTH COURTYARD ELEVATION  
(A-105) FOR INFORMATION ON WINDOW TYPE



REVISION		
NO.	DESCRIPTION	DATE



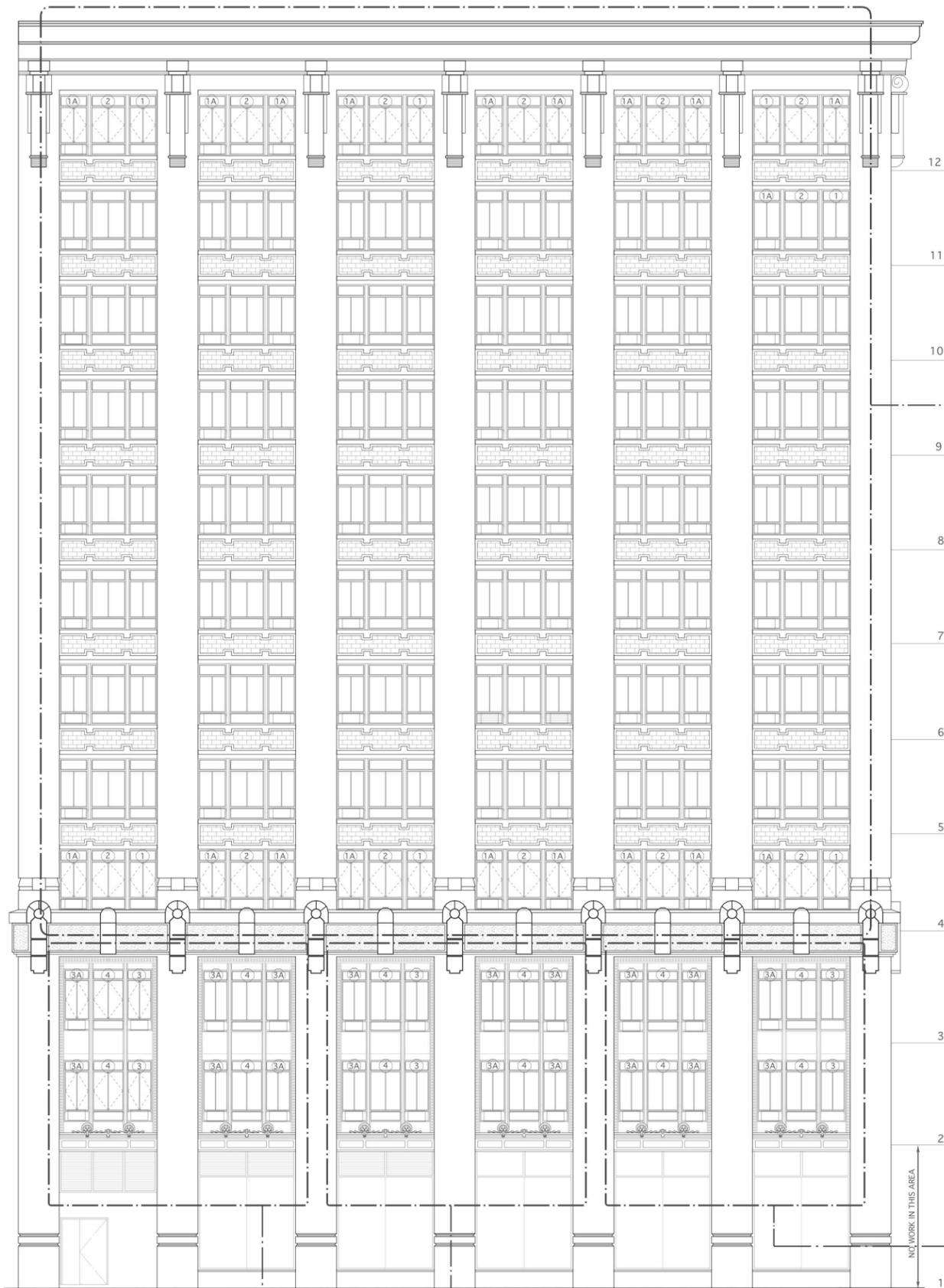
KEY PLAN SCALE: 1:50  
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PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

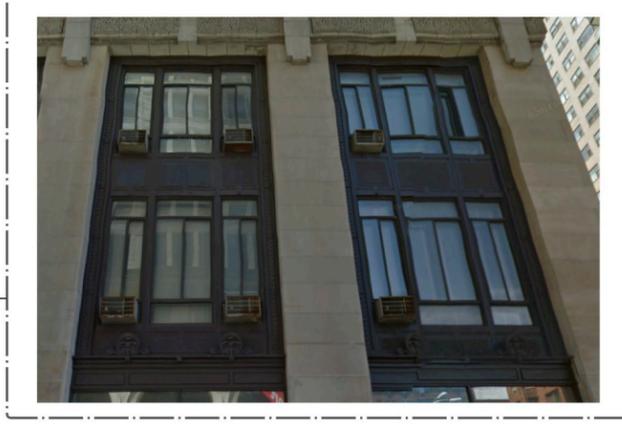
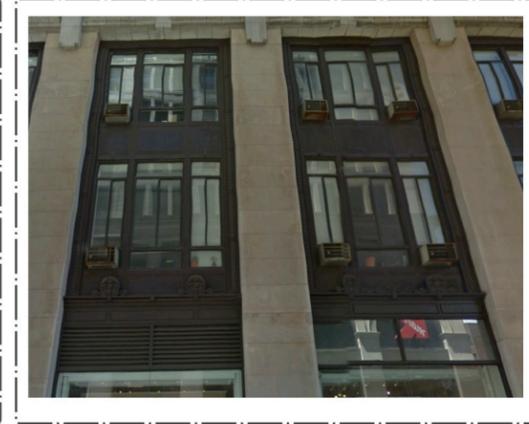
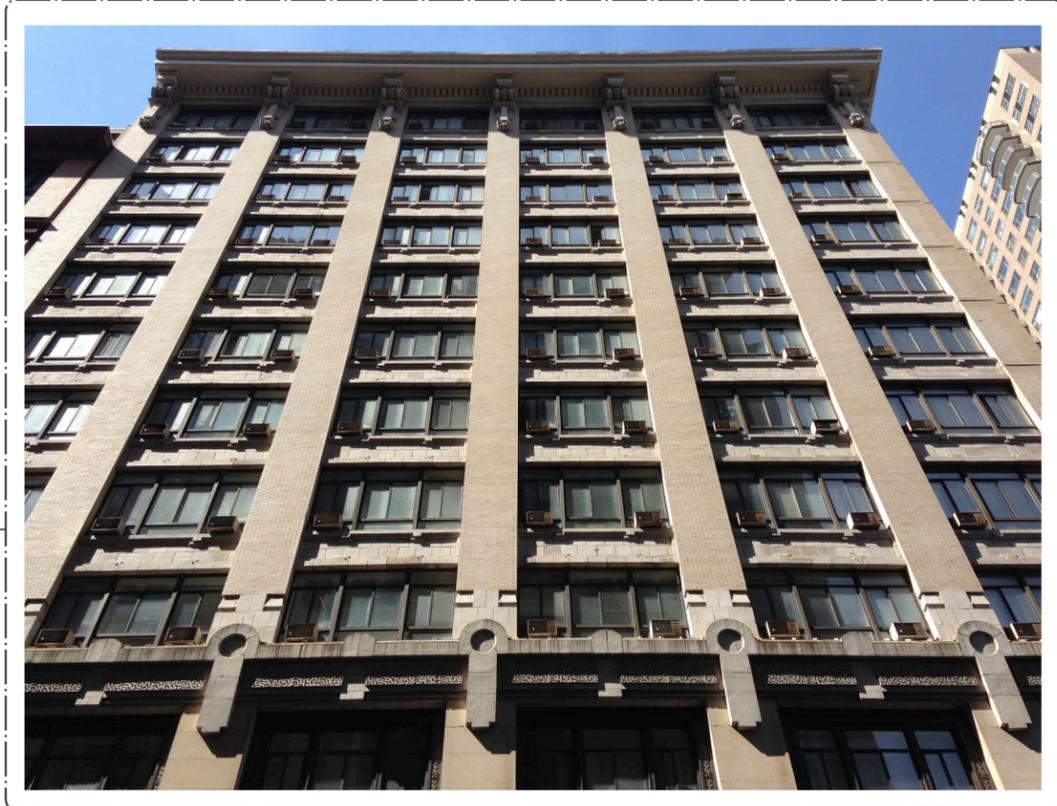
TITLE: SOUTH ELEVATION BUILDINGS 'B'/'A'

DWG #:	<b>A-10100</b>
SCALE:	1/8"=1'
DATE:	09-24-14
JOB NO.:	P509-D
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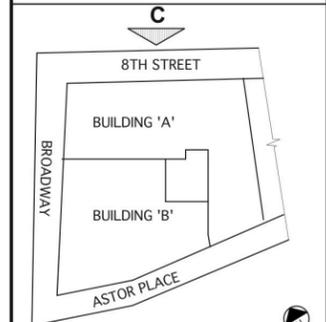
**B SOUTH ELEVATION BUILDING 'B' / BUILDING 'A'**



**C** NORTH ELEVATION  
BUILDING 'A'



REVISION		
NO.	DESCRIPTION	DATE

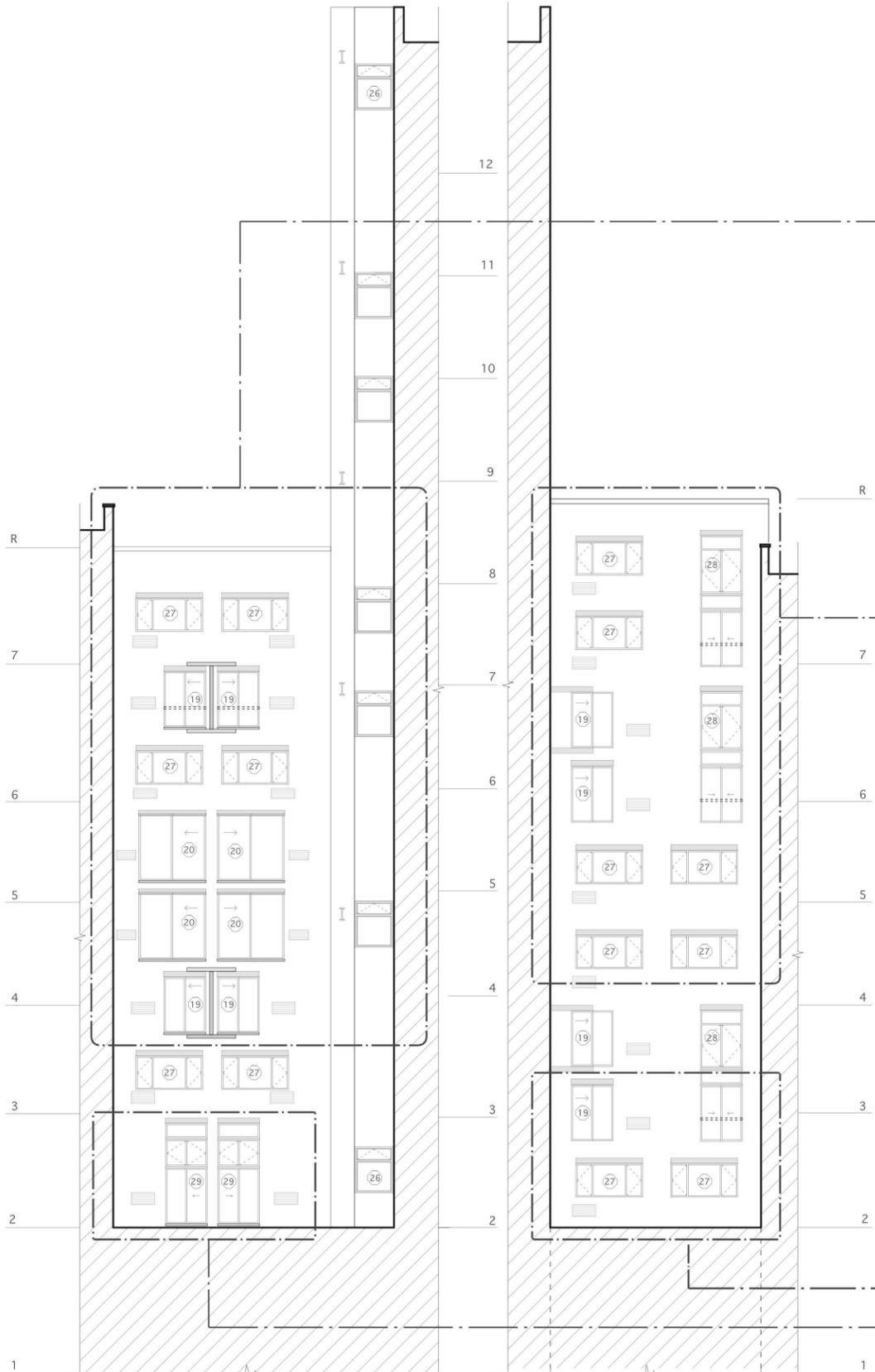


KEY PLAN SCALE: 1:50  
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PROJECT:  
 1 ASTOR PLACE  
 WINDOW REPLACEMENT PROGRAM

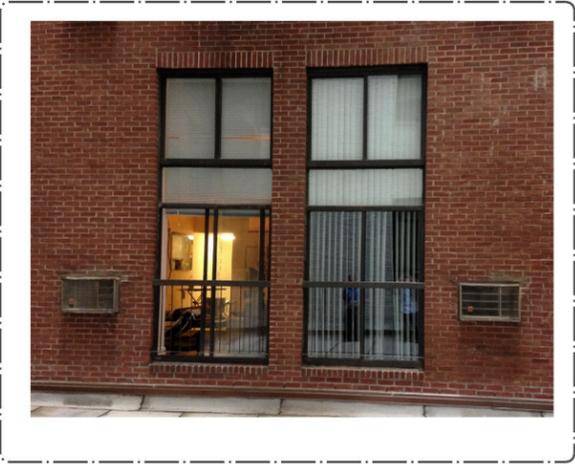
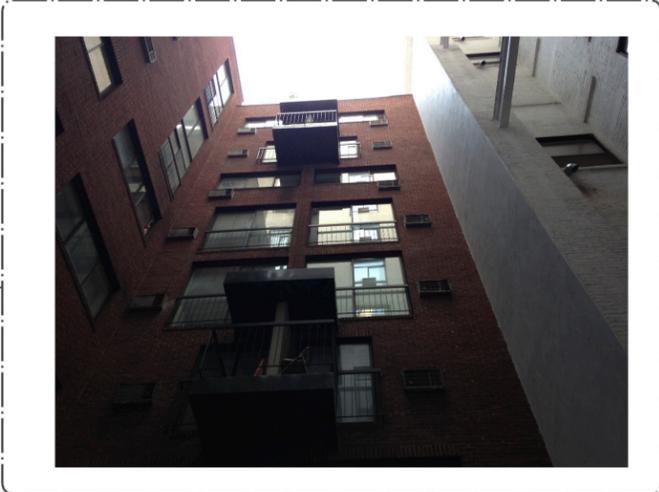
TITLE:  
 NORTH ELEVATION BUILDING 'A'

DWG #:	<b>A-10200</b>
SCALE:	DATE:
1/8"=1'	09-24-14
JOB NO.:	PAGE:
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**D WEST ELEVATION**  
**COURTYARD BUILDING 'B'/'A'**

**E SOUTH ELEVATION**  
**COURTYARD BUILDING 'B'**



REVISION		
NO.	DESCRIPTION	DATE

KEY PLAN SCALE: 1:50

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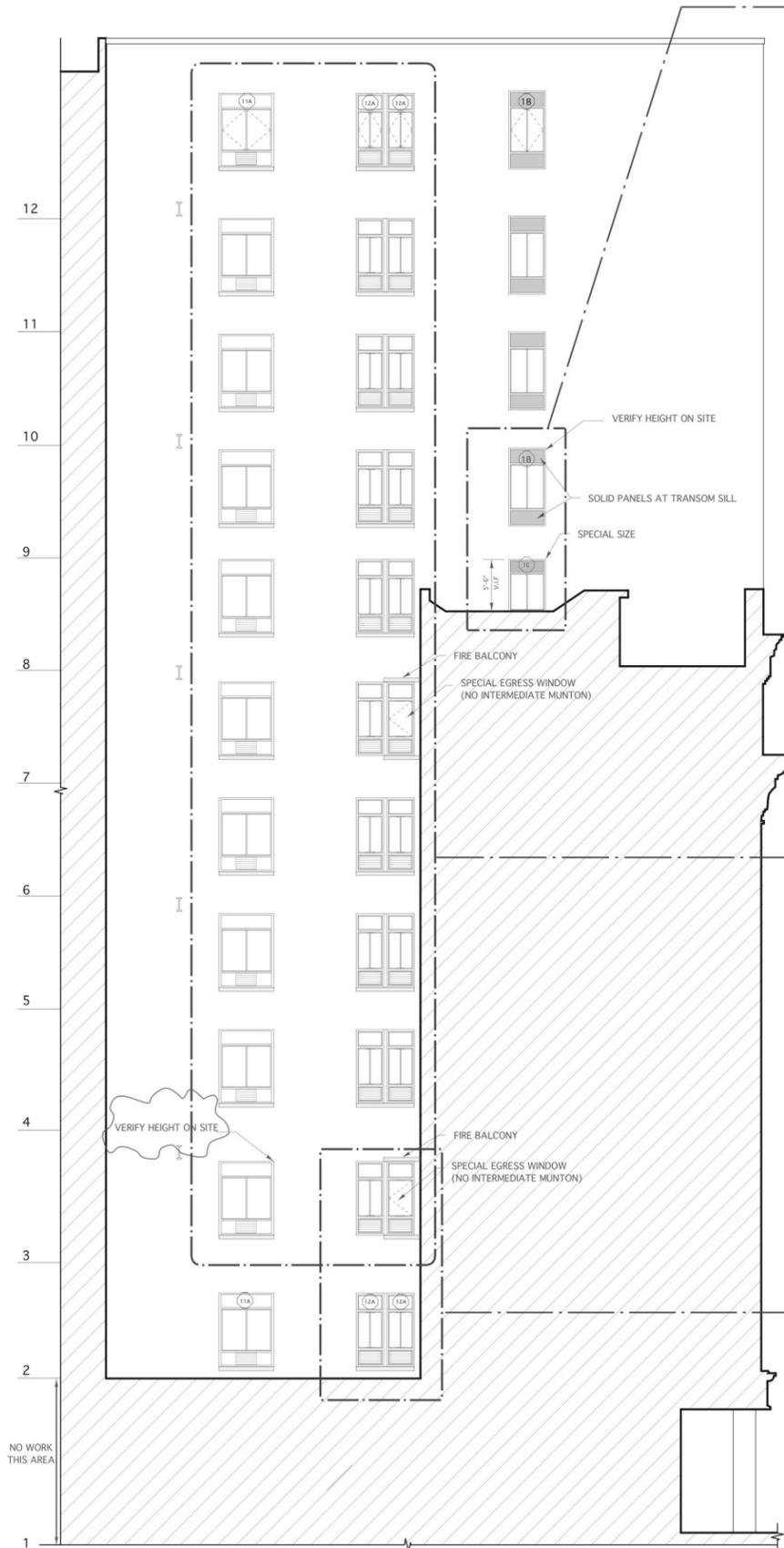
PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: COURTYARD WEST AND SOUTH ELEVATIONS BUILDINGS 'A' AND 'B'

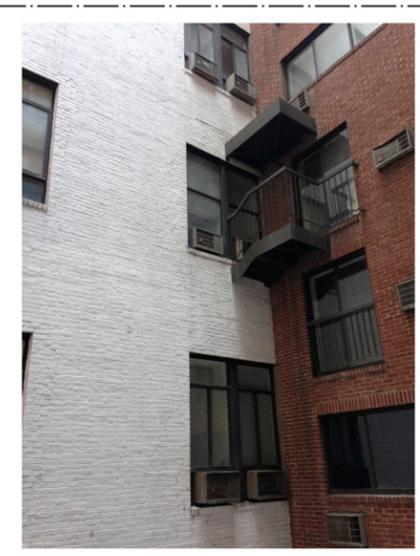
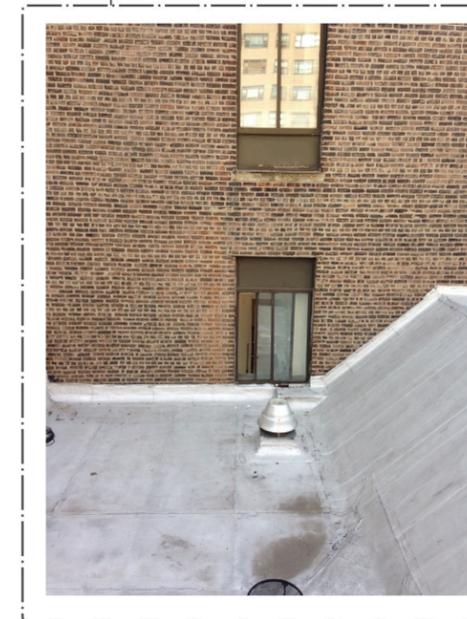
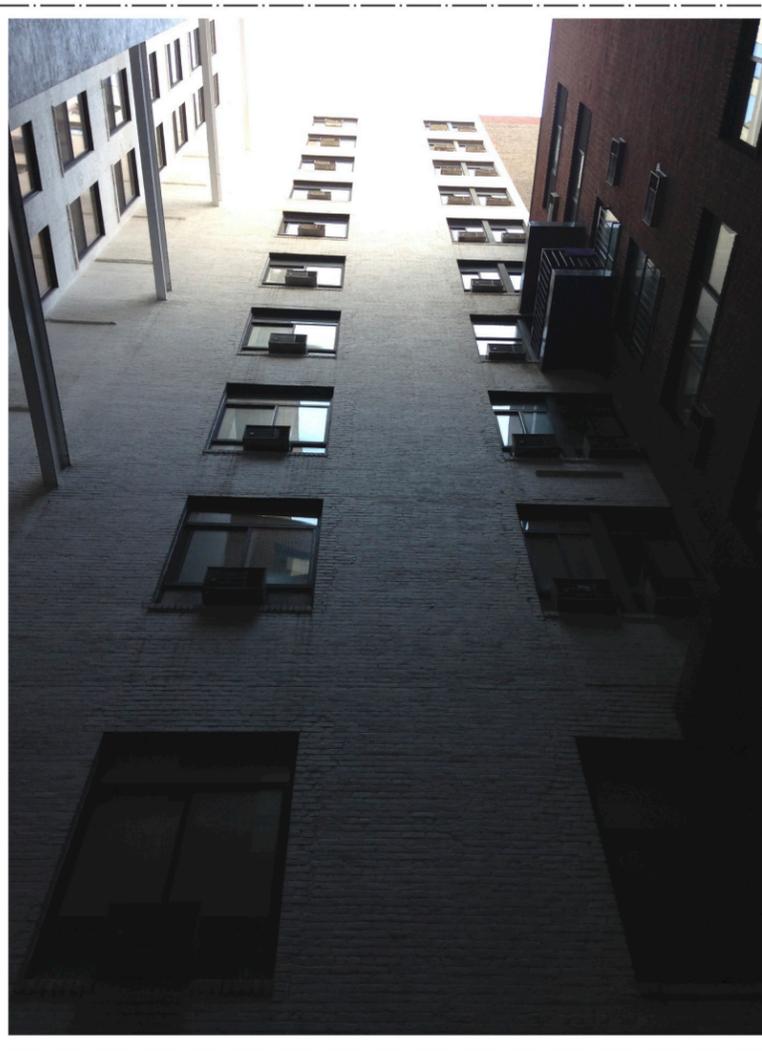
DWG #:	<b>A-103 00</b>
SCALE:	DATE:
1/8"=1'	09-24-14
JOB NO.:	PAGE:
P509-D	6/11

**REVISION**

NO.	DESCRIPTION	DATE



**F EAST ELEVATION  
COURTYARD BUILDING 'A'**



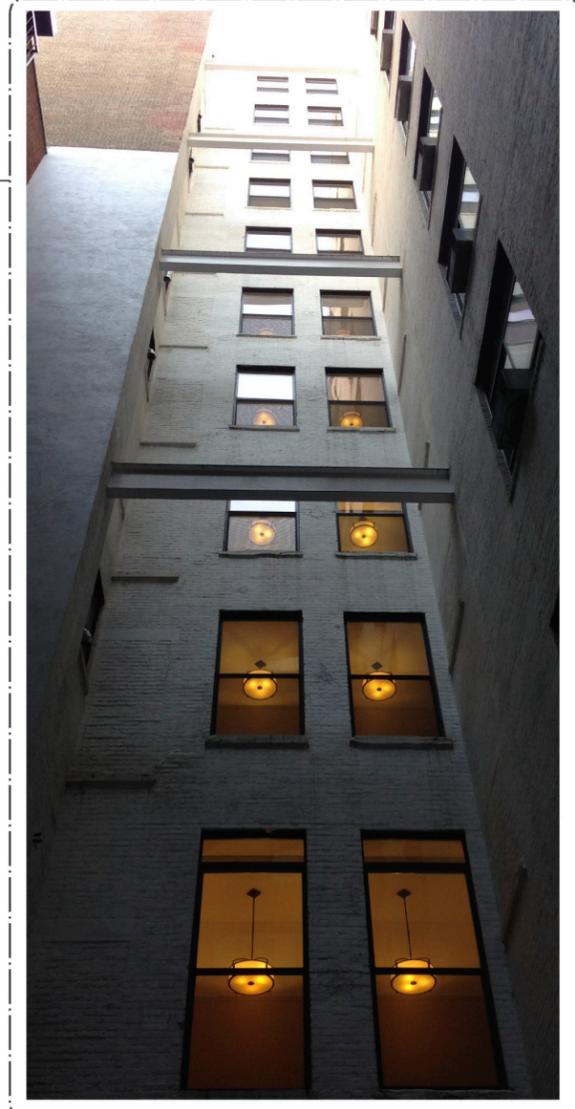
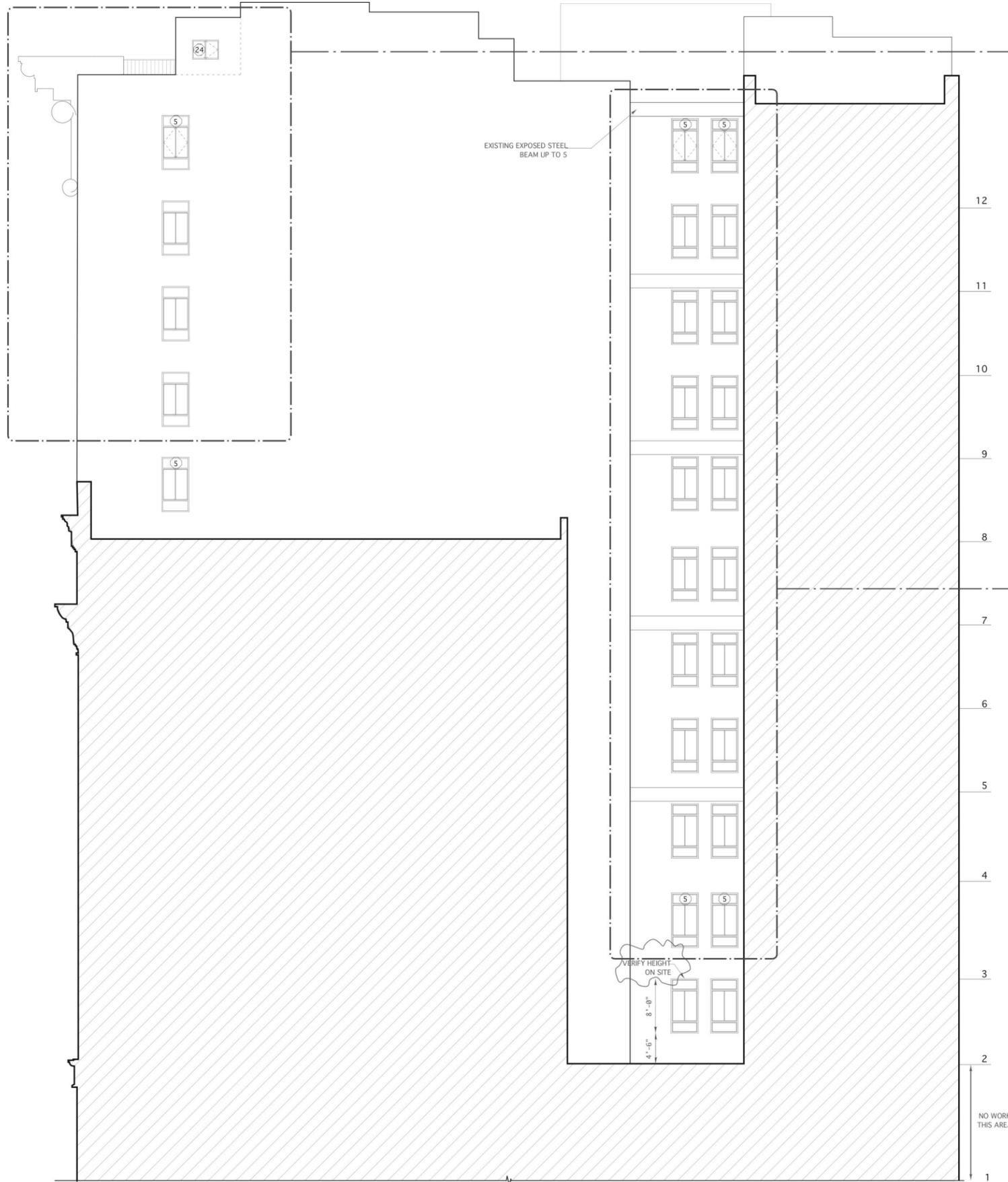
KEY PLAN SCALE: 1:50

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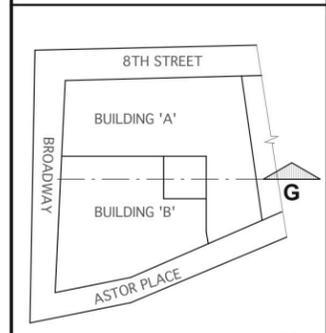
PROJECT: 1 ASTOR PLACE  
WINDOW REPLACEMENT PROGRAM

TITLE: COURTYARD EAST  
ELEVATION BUILDING 'A'

	DWG #:	<b>A-104 00</b>
	SCALE:	DATE:
	1/8"=1'	09-24-14
	JOB NO.:	PAGE:
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KEY PLAN SCALE: 1:50  
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PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: COURTYARD NORTH ELEVATION AT BUILDING 'A'

	DWG #:	<b>A-10500</b>
	SCALE:	DATE:
	1/8"=1'	09-24-14
	JOB NO.:	PAGE:
P500-D	8/11	

**G** NORTH ELEVATION  
 COURTYARD BUILDING 'A'

TYP FOR ALL SLIDING WINDOWS TYPE 22

GUTTER

**H WEST ELEVATION PENTHOUSE BUILDING 'B'**

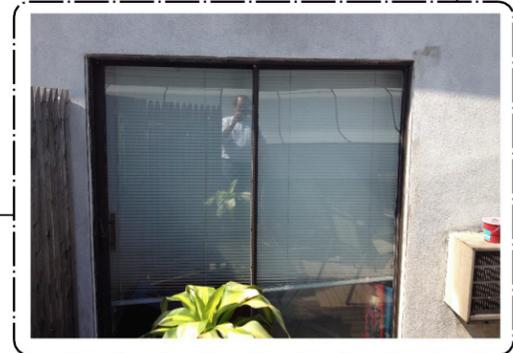


**I SOUTH ELEVATION PENTHOUSE BUILDING 'B'**

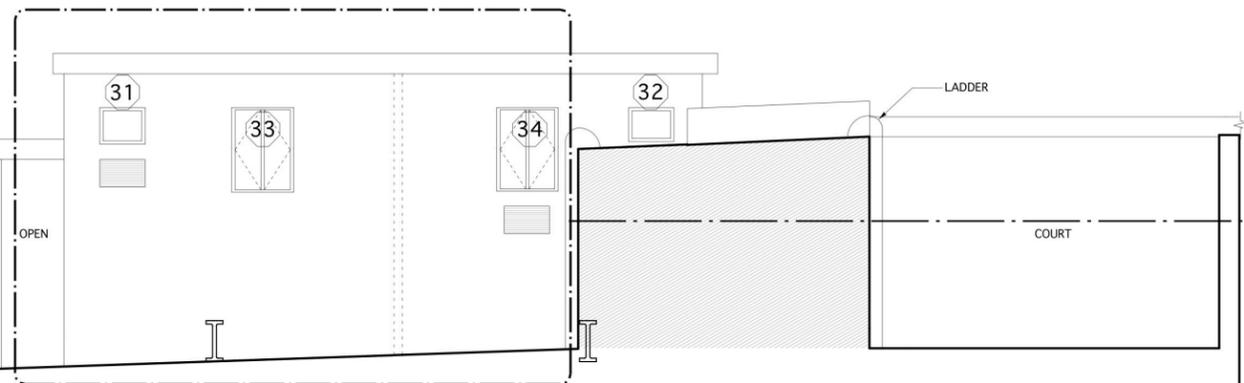


LADDER

**J EAST ELEVATION PENTHOUSE BUILDING 'B'**



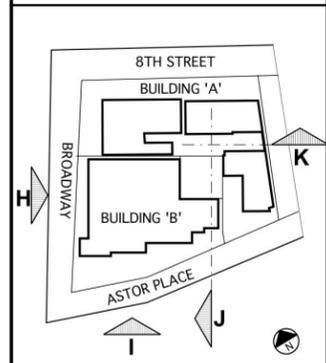
TYP FOR ALL SLIDING WINDOWS TYPE 22  
 (21) SIM DIFFERENT WIDTH



**K SOUTH ELEVATION PENTHOUSE BUILDING 'A'**



REVISION		
NO.	DESCRIPTION	DATE



KEY PLAN SCALE: 1:50

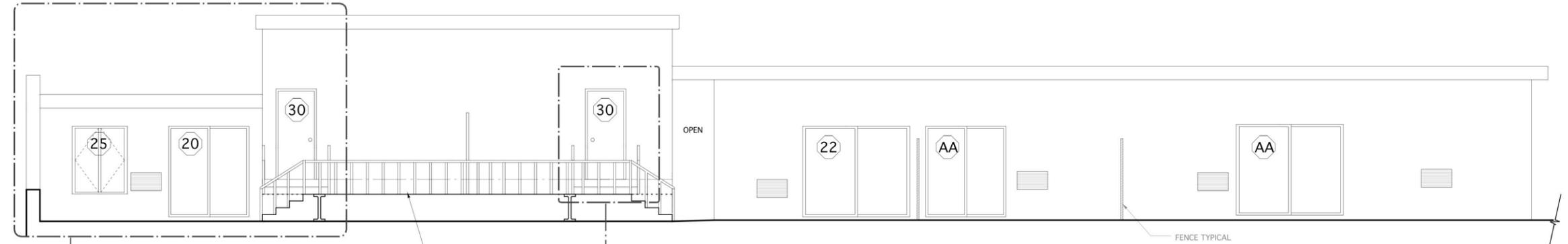
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PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: PENTHOUSE PLAN AND ELEVATIONS BUILDING 'B'

DWG #:	<b>A-10600</b>
SCALE:	1/8"=1'
DATE:	09-24-14
JOB NO.:	P509-D
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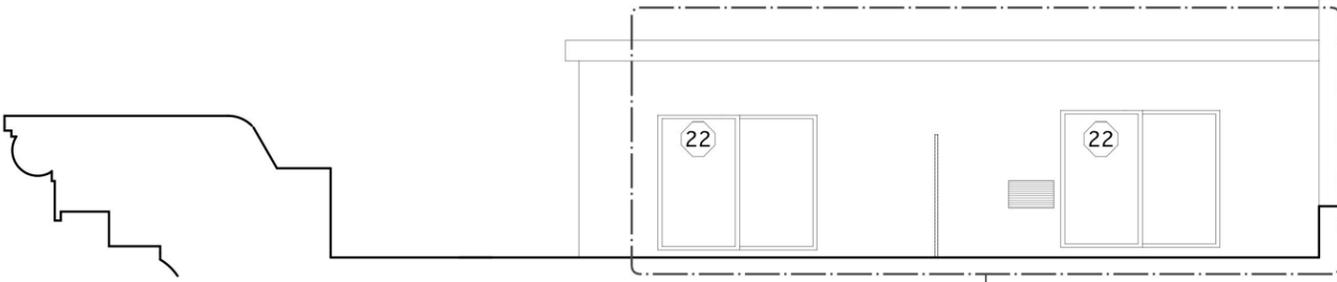
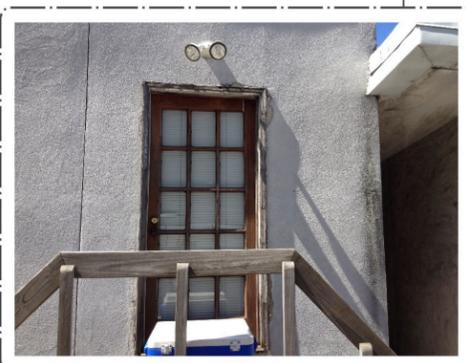
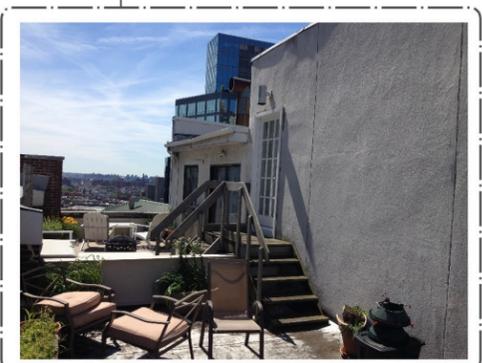
REVISION		
NO.	DESCRIPTION	DATE



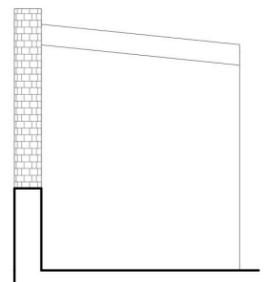
**L NORTH ELEVATION PENTHOUSE  
BUILDING 'A'**

PROPOSED ELEVATED DECK  
AND GUARD RAILS AT THESE UNITS

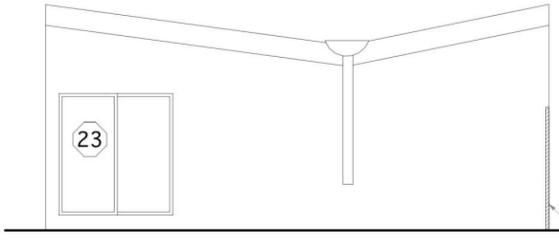
FENCE TYPICAL



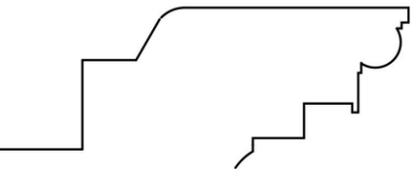
**M WEST ELEVATION PENTHOUSE  
BUILDING 'A'**



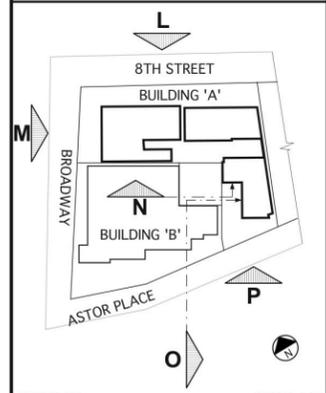
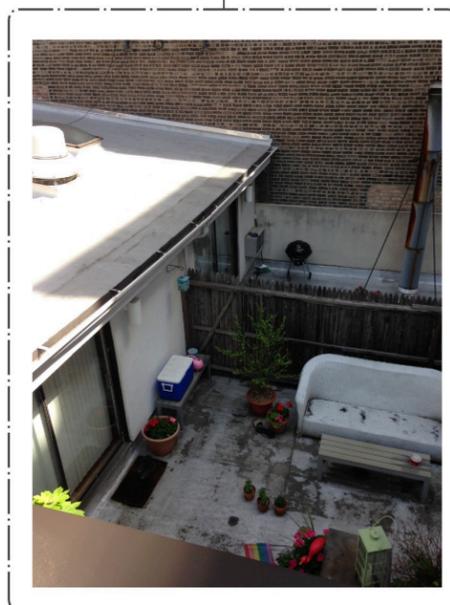
**N SOUTH ELEV. PENTHOUSE  
BUILDING 'A'**



**O WEST ELEVATION PENTHOUSE  
BUILDING 'A'**



FENCE TYPICAL



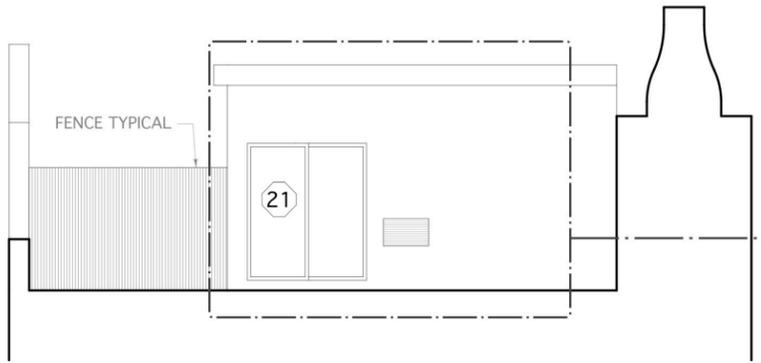
KEY PLAN SCALE: 1:50

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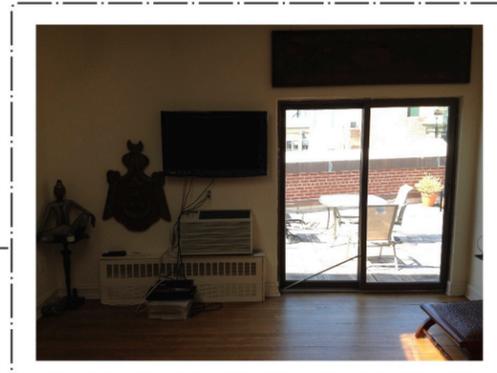
PROJECT:  
1 ASTOR PLACE  
WINDOW REPLACEMENT PROGRAM

TITLE:  
PENTHOUSE PLAN AND  
ELEVATIONS  
BUILDING 'A'

	DWG #:	<b>A-10700</b>
	SCALE:	DATE:
	1/8"=1'	09-24-14
	JOB NO.:	PAGE:
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**P SOUTH ELEVATION PENTHOUSE  
BUILDING 'A'**



TYPICAL VIEW FROM INTERIOR