



HISTORICAL (NYC Tax Map ca. 1930)



EXISTING

SOHO CAST IRON DISTRICT
 89 GRAND ST / 36 GREENE ST
 BLOCK 230, LOT 25
 NEW YORK, NY 10013
 PLATE 1

STUDIO MORSA
 247 CENTRE ST
 NEW YORK, NY 10013-3216
 TEL (212) 226 4324
 INFO@STUDIOMORSA.COM



GRAND AT GREENE STREET - SOUTH SIDE - TOWARD WEST



GRAND AT GREENE STREET - NORTH SIDE - TOWARD NORTH



GRAND STREET - SOUTH SIDE - TOWARD WEST



GREENE AT GRAND STREET - EAST SIDE - TOWARD NORTH

SOHO CAST IRON DISTRICT
89 GRAND ST / 36 GREENE ST
BLOCK 230, LOT 25
NEW YORK, NY 10013
PLATE 2

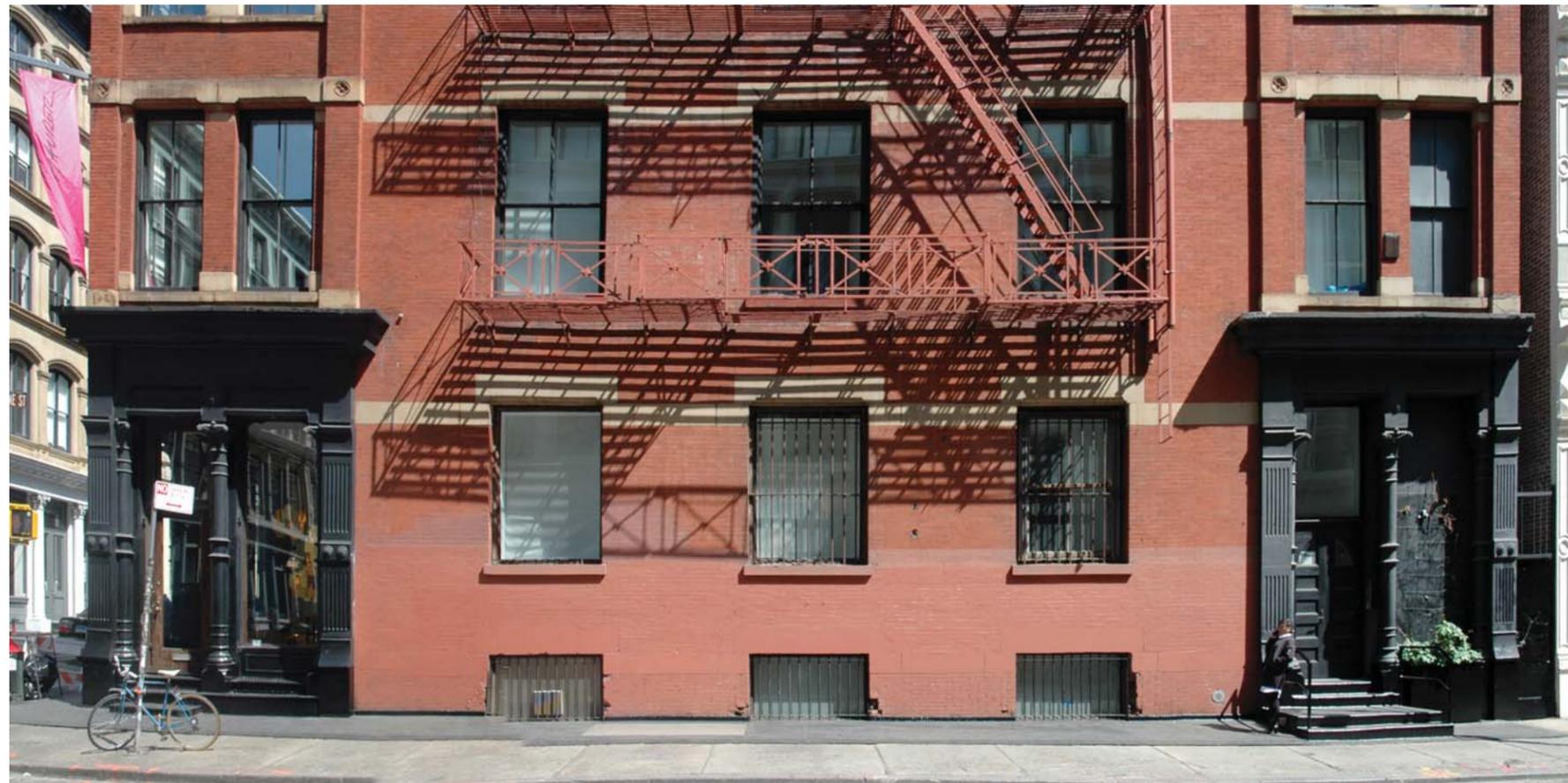
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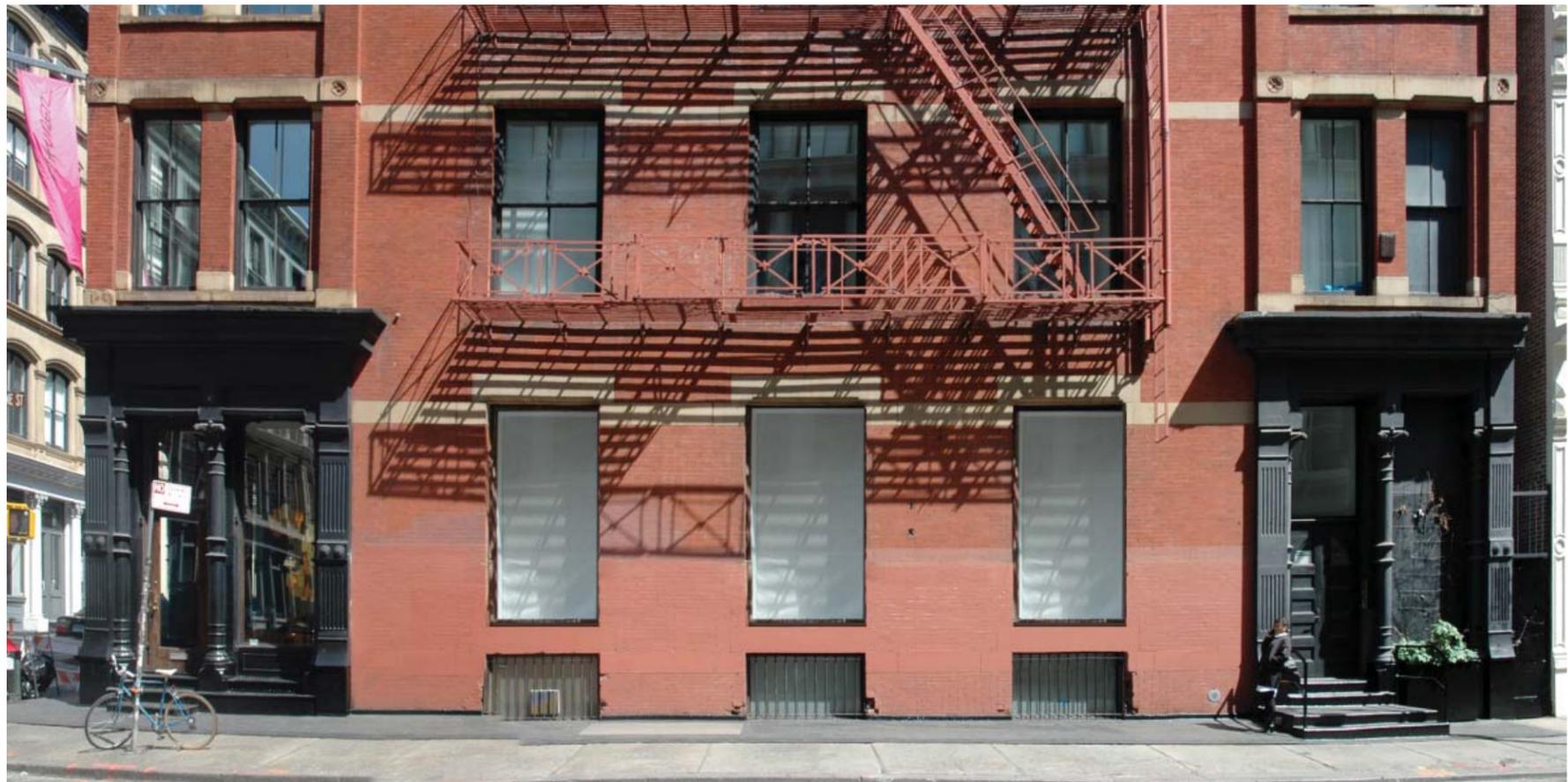
89 GRAND STREET / 36 GREENE STREET - WEST ELEVATION



89 GRAND STREET / 36 GREENE STREET



WEST ELEVATION (GREENE STREET) - EXISTING



WEST ELEVATION (GREENE STREET) - PROPOSED

SOHO CAST IRON DISTRICT
89 GRAND ST / 36 GREENE ST
BLOCK 230, LOT 25
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PLATE 4

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NORTH ELEVATION (GRAND STREET) - EXISTING



WEST ELEVATION (GREENE STREET) - EXISTING

SOHO CAST IRON DISTRICT
 89 GRAND ST / 36 GREENE ST
 BLOCK 230, LOT 25
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 PLATE 5

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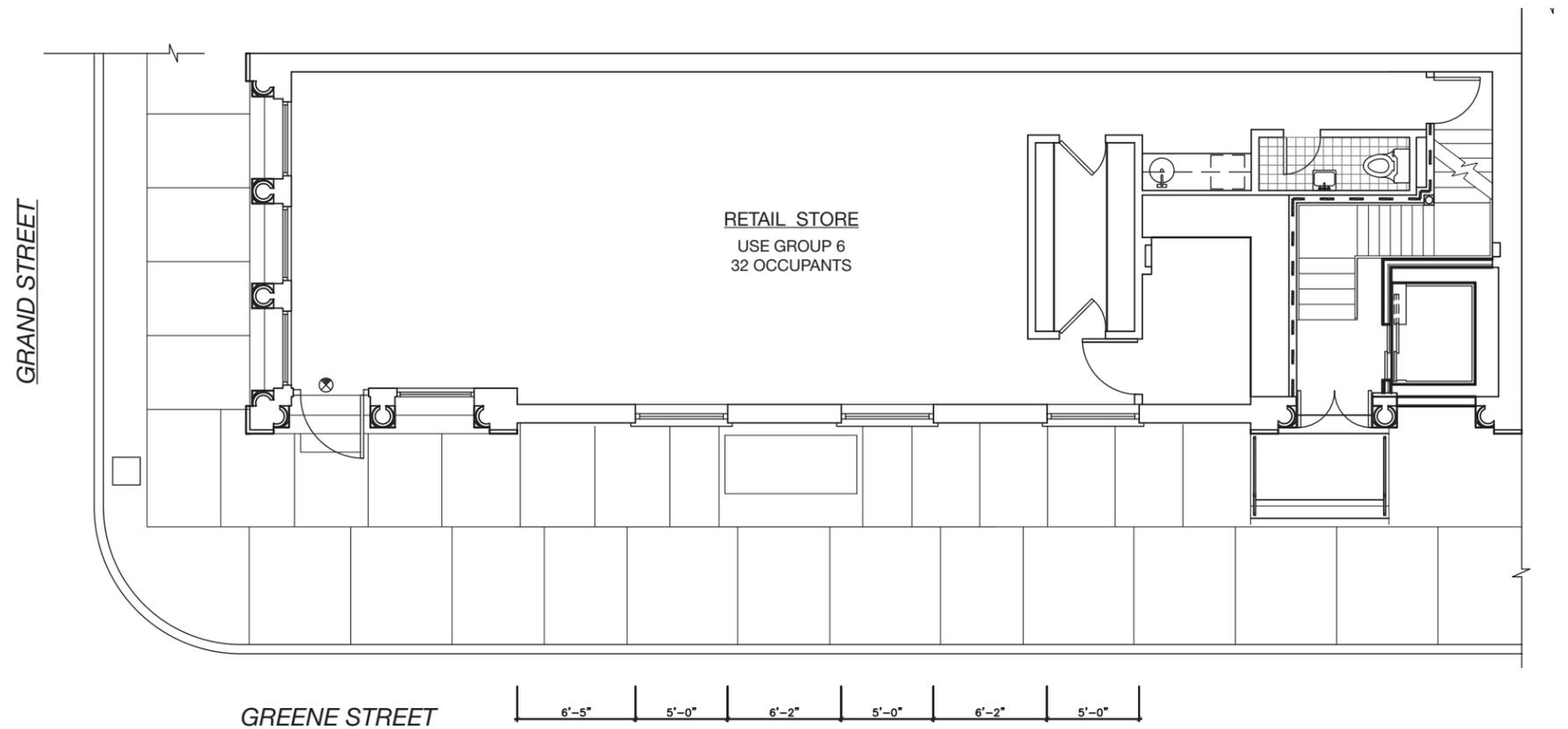


NORTH ELEVATION (GRAND STREET) - PROPOSED

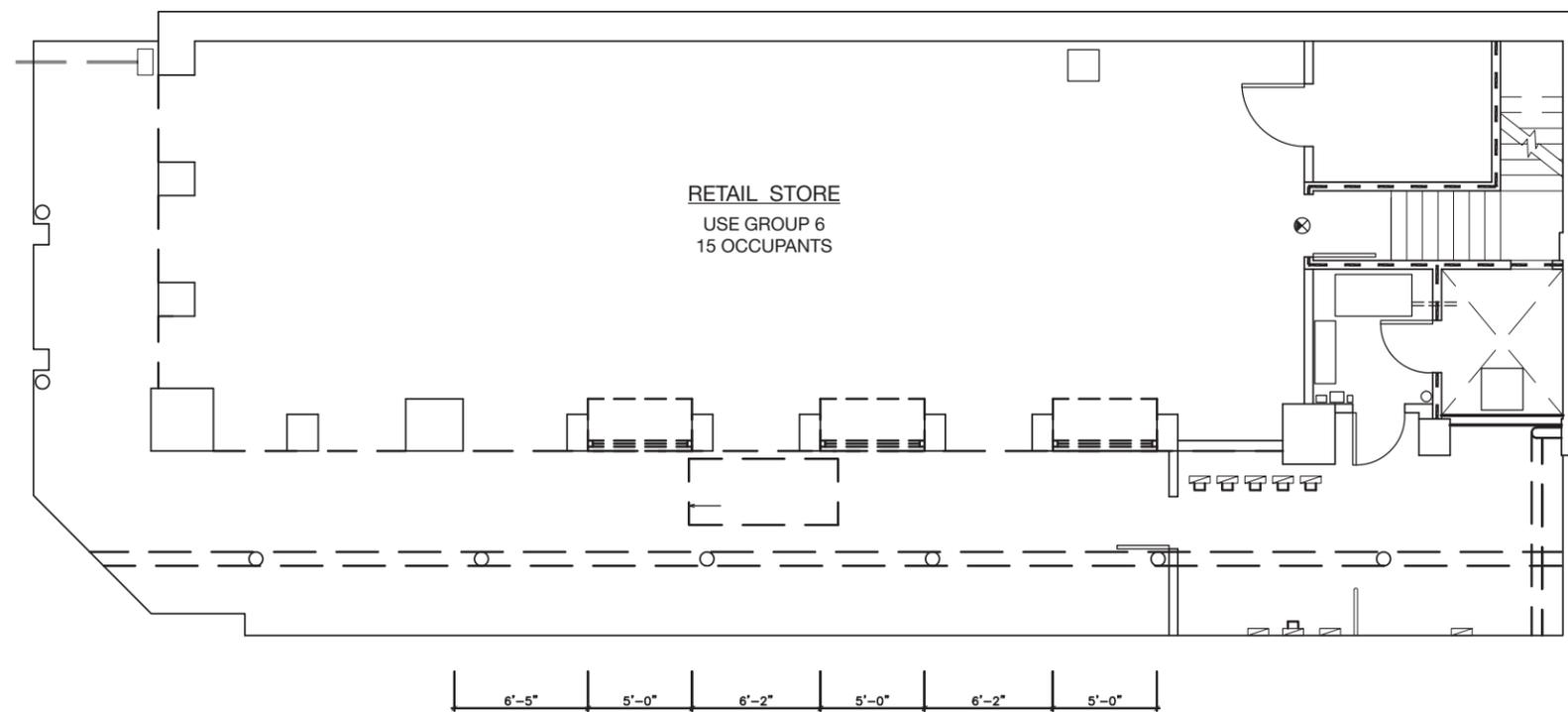
WEST ELEVATION (GREENE STREET) - PROPOSED

SOHO CAST IRON DISTRICT
89 GRAND ST / 36 GREENE ST
BLOCK 230, LOT 25
NEW YORK, NY 10013
PLATE 6

STUDIO **MORSA**
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1ST FLOOR PLAN - EXISTING



CELLAR PLAN - EXISTING





EXISTING WINDOWS
SCALE: 3/16" = 1'-0"



PROPOSED WINDOWS
SCALE: 3/16" = 1'-0"



38 GREENE STREET - WEST ELEVATION: PRE-EXISTING CONDITION (2007)



38 GREENE STREET - WEST ELEVATION: EXISTING CONDITION

NOTES TO THE GENERAL CONTRACTOR

1. THE BUILDING PERMIT SHALL BE SECURED BY THE GENERAL CONTRACTOR, WHO SHALL OBTAIN ALL OTHER PERMITS AND APPROVALS REQUIRED BY LAW FOR THE COMPLETION OF THE WORK.
2. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH TRADE SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS, AND FIELD CONDITIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
3. ALL OF THE ARCHITECT'S DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS. WHENEVER AN ITEM IS SPECIFIED AND/OR SHOWN ON THE DRAWINGS BY DETAIL OR REFERENCE, IT SHALL BE CONSIDERED TYPICAL FOR OTHER ITEMS WHICH ARE OBVIOUSLY INTENDED TO BE THE SAME, EVEN THOUGH NOT SO DESIGNATED OR SPECIFICALLY NAMED, BUT DO SERVE THE SAME FUNCTION.
4. IT IS INTENDED THAT THE DRAWINGS INCLUDE EVERYTHING REQUISITE AND NECESSARY TO FINISH THE ENTIRE WORK PROPERLY, NOTWITHSTANDING THE FACT THAT EVERY ITEM NECESSARILY INVOLVED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. ANY ITEM WHICH MAY BE REASONABLY CONSTRUED AS INCIDENTAL TO THE PROPER AND SATISFACTORY COMPLETION OF THE WORK IN ACCORDANCE WITH THE INTENT OF THESE NOTES AND DRAWINGS IS HEREBY INCLUDED.
5. THE CHARACTER AND SCOPE OF THE WORK IS ILLUSTRATED BY THE DRAWINGS AND NOTES. TO INTERPRET AND EXPLAIN THE DRAWINGS OTHER INFORMATION DEEMED NECESSARY BY THE ARCHITECT WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT SAID ADDITIONAL INFORMATION OR DRAWINGS ARE TO BE OF EQUAL FORCE WITH THESE DRAWINGS.
6. FULL SIZE OR LARGE-SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK BUT NOT CARRIED OUT FULLY FOR OTHER PORTIONS SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. IN EVERY CASE A MORE EXPENSIVE ITEM OR METHOD SHALL BE ASSUMED OVER A LESS EXPENSIVE ONE, AND DIMENSIONS SHALL BE FIGURED RATHER THAN BE DETERMINED BY RULE OR SCALE.
7. THE PROJECT HAS BEEN DESIGNATED AND DETAILED FOR THE SPECIFIC MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL PROPOSE AN ALTERNATE MATERIAL AND SHALL PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUFACTURER'S LITERATURE, PERFORMANCE DATA, ETC., IN ORDER THAT THE ARCHITECT CAN EVALUATE THE PROPOSED SUBSTITUTION. NO REQUESTS FOR SUBSTITUTES WILL BE ENTERTAINED BY THE ARCHITECT DUE TO CONTRACTOR'S FAILURE TO ORDER MATERIALS IN A TIMELY MANNER.
8. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT, FOR ANY REASON, COMPLY WITH ALL THE REQUIREMENTS OF THESE NOTES AND DRAWINGS.
9. ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THIS CONTRACT SHALL BE NEW AND OF THE BEST QUALITY OF KINDS SPECIFIED, ALL SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE USE OF OLD OR SECOND-HAND MATERIAL IS STRICTLY FORBIDDEN. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND WORKMANSHIP. MATERIALS SHALL BE USED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. UPON REQUEST, THE MANUFACTURER'S REPRESENTATIVE SHALL GO TO THE SITE AND INSTRUCT THE MECHANICS IN THE USE OF THE MATERIALS OR SHALL SUPERVISE THEIR USE.
10. ALL WORK SHALL BE DONE BY MECHANICS SKILLED IN THEIR TRADE AND SHALL BE INSTALLED IN A NEAT AND PROFESSIONAL MANNER IN ACCORDANCE WITH THE BEST TRADE PRACTICES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND ACCURATELY LAYING OUT THE WORK AND FOR THE LINES AND MEASUREMENTS HEREIN. THE CONTRACTOR SHALL ESTABLISH NECESSARY REFERENCE LINES AND PERMANENT BENCH MARKS FROM WHICH BUILDING LINES AND ELEVATIONS SHALL BE TAKEN. HEIGHTS OF ALL WORK CALLED FOR "AFF" (ABOVE FINISHED FLOOR) INCLUDING, BUT NOT LIMITED TO SOFFITS, CEILINGS, DOORS, AND HOLLOW METAL SHALL BE TRUE AND LEVEL WITHIN A MAXIMUM TOLERANCE OF 1/8" OVERALL THROUGHOUT THE ENTIRE PROJECT, REGARDLESS OF VARIATIONS IN THE ACTUAL FLOOR CONSTRUCTION.
12. THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL REMOVE CRATES, CARTONS AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREAS AT THE END OF EACH WORKING DAY.
13. CARE SHALL BE TAKEN BY WORKERS NOT TO MARK, SOIL, OR OTHERWISE DEFACE FINISHED SURFACES. IN THE EVENT THAT FINISHED SURFACES BECOME DEFAEC, CLEAN AND RESTORE SUCH SURFACES TO THEIR ORIGINAL CONDITION.
14. THE PREMISES SHALL BE PREPARED FOR OCCUPANCY BY:
 - A. A THOROUGH CLEANING THROUGHOUT, INCLUDING WASHING OR CLEANING BY APPROVED METHODS OF ALL FLOORS AND SURFACES ON WHICH DIRT OR DUST HAS COLLECTED AND BY WASHING GLASS, REMOVING ALL PAINT, PUTTY AND STAINS.
 - B. PROVIDING AND MAINTAINING ADEQUATE RUNNER STRIPS OF NON-STAINING REINFORCED KRAFT PAPER ON FINISHED FLOORS AS REQUIRED FOR PROTECTION.
 - C. LEAVING ALL FIXTURES AND EQUIPMENT IN AN UNDMAGED, BRIGHT, CLEAN, POLISHED CONDITION.
 - D. CLEAN AND POLISH ALL HARDWARE, AND OTHER METAL WORK.
15. THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF THE WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, PROPERLY REPAIR AND REPLACE ALL WORK INTERFERED WITH.
16. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT AND ACCEPTANCE BY THE OWNER.
17. THE CONTRACTOR SHALL GUARANTEE THE WORK AGAINST DEFECTS IN MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF COMPLETED WORK BY OWNER; AND HE SHALL, AT HIS OWN EXPENSE, AND WITHOUT COST TO THE OWNER, CORRECT ANY DEFECTS WHICH MAY DEVELOP DURING SUCH ONE-YEAR PERIOD AND CORRECT ANY DAMAGE TO OTHER WORK CAUSED BY SUCH DEFECTS OR REPAIRING OF SAME.

HANDICAPPED ACCESSIBILITY NOTES - ADAPTABLE DWELLING UNITS

1. ADAPTABLE DWELLING UNITS ARE UNITS THAT CONTAIN HABITABLE ROOMS, KITCHENS AND BATHROOMS IN RESIDENTIAL BUILDINGS OTHER THAN IN OCCUPANCY GROUP J-3 WHICH ARE ON AN ACCESSIBLE ROUTE (EXCEPT AS SET FORTH IN 27-292.8 AND ARE CONSTRUCTED AND EQUIPPED AS DEFINED IN SECTION 27-232.2 SO THAT THEY CAN BE CONVERTED TO BE USED, WITH A MINIMUM OF STRUCTURAL CHANGE, BY ALL CATEGORIES OF PEOPLE HAVING PHYSICAL DISABILITIES.
2. SUCH UNITS SHALL BE PROVIDED WITH DOOR WIDTHS AND CLEAR FLOOR SPACES FOR MAKING DWELLING UNITS USABLE AS SET FORTH IN REFERENCES STANDARD RS 4-6 WHEN OCCUPIED BY PEOPLE HAVING PHYSICAL DISABILITIES.
3. INTERIOR ACCESS, FLOOR SURFACES, ADAPTABLE KITCHENS, AND ADAPTABLE BATHROOM IN THESE DWELLING UNITS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN REFERENCE STANDARD RS-6.
4. ADAPTABLE BATHROOMS, KITCHEN, AND KITCHENETTES WITHIN ADAPTABLE DWELLING UNITS SHALL BE CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN REFERENCE STANDARD RS-6 WITH RESPECT TO ACCESS DOORWAY OR OPENING, CLEAR FLOOR SPACE, AND FLOOR SURFACE; BATHROOM, KITCHEN AND KITCHENETTE FACILITIES AND CONTROLS CAPABLE OF BEING MADE USABLE; SPACE AND UTILITIES FOR USABLE RANGE, (OR COOK TOP OR OVEN), REFRIGERATOR/FREEZER, AND DISHWASHER.
5. SUCH ITEMS SHALL INCLUDE WATER CLOSET AND TOILET PAPER DISPENSER, LAVATORY AND REMOVABLE BASE CABINET, MIRRORS, MEDICINE CABINET, BATHTUB AND CONTROLS, BATHTUB AND SHOWER ENCLOSURE, REINFORCED AREAS FOR GRAB BARS, CLEARANCE BETWEEN OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES AND WALLS, ADJUSTABLE OR REPLACEABLE SINK AND REMOVABLE BASE CABINET, AS WELL AS STORAGE CABINETS, DRAWERS AND SHELVES
- 6.) LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY AND INTERCOM SYSTEMS SHALL COMPLY WITH ANSI ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES SECTIONS 308 & 309.

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND ALL LOCAL BUILDING CODES. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROTECTION FROM DAMAGE TO ALL ADJACENT PROPERTY OF THE LANDLORD, THE TENANTS OR ADJACENT PROPERTIES AND TO EXISTING AND/OR NEW CONSTRUCTION DURING DEMOLITION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY INSURANCE'S AS REQUIRED BY LAW, INCLUDING DISABILITY AND WORKMAN'S COMPENSATION, IN THE AMOUNTS REQUIRED BY LAW AND SHALL PROVIDE THE OWNER COPIES OF THE CURRENT UP-TO-DATE PREMIUMS, AND SHALL GIVE 15 DAYS NOTICE TO THE OWNER AND THE PROPER GOVERNMENTAL AUTHORITIES OF ANY CHANGES TO THE POLICY DURING THE DURATION OF THE JOB.
4. THE CONTRACTOR SHALL MAINTAIN, AT THE SITE, FOR THE OWNER ONE RECORD COPY OF ALL DRAWINGS, MARKED CURRENTLY TO RECORD ALL CHANGES DURING CONSTRUCTION.
5. THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE WORK BEGINS.
6. EACH SUB-CONTRACTOR SHALL WARRANT ALL WORK PERFORMED BY HIM DIRECTLY FOR THE PERIOD OF ONE YEAR.
7. GYPSUM WALLBOARD INSTALLATION SHALL FOLLOW ANSI A97.1 FOR APPLICATION AND FINISHING.
8. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES SO THAT ANCHORAGE AND LOCATIONS FOR EQUIPMENT ARE PROVIDED FOR IN THE REQUIRED LOCATIONS.
9. CERAMIC FLOOR TILE SHALL BE SET IN ORGANIC ADHESIVE AS PER ANSI A136.1. 6" COVE BASE AND MISCELLANEOUS TRIM AS REQUIRED.
10. MECHANICAL VENTILATION SHALL CONFORM TO SUB-ARTICLE 1206 FOR AIR-CONDITIONING, KITCHEN AND BATHROOMS.
11. ALL PLUMBING SHALL BE PERFORMED BY A LICENSED PLUMBER AND SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL BUILDING CODES.
12. SUPPLY AND INSTALL ALL WATER AND DRAIN LINES TO LANDLORD'S CONNECTIONS.
13. WET AREAS (KITCHEN AND ALL BATHROOMS) ARE TO HAVE WATER-PROOF MEMBRANES AS REQUIRED.
14. ALL PIPE SHALL BE PROPERLY SUPPORTED WITH USE OF APPROVED HANGERS.
15. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICIAN.
16. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. WIRING FOR EQUIPMENT REQUIRING MAINTENANCE AND INSPECTION SHALL BE READILY ACCESSIBLE. ALL ROUTING AND WIRING LOCATIONS OF OUTLETS, FIXTURES, EQUIPMENT, ETC. IS TO BE GOVERNED BY STRUCTURAL CONDITIONS.
17. VENTILATION/EXHAUST HOODS SHALL CONFORM TO SUB-ARTICLE 1504.1 FOR GAS VENT SYSTEMS, AND RS13.3 FOR EXHAUST OF COMMERCIAL COOKING EQUIPMENT.
18. ANSUL SYSTEM TO BE FILED UNDER SEPARATE APPLICATION.

TENANT SAFETY NOTES

1. CONSTRUCTION WORK WILL BE CONFINED TO THE AREA SHOWN THE PLAN AND WILL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCE TO OTHER TENANTS WITHIN THE BUILDING.
2. CONSTRUCTION WORK WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING.
3. CONSTRUCTION WORK WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRIC SERVICES TO OTHER TENANTS OF THE BUILDING.
4. CONSTRUCTION WORK WILL BE CONFINED TO NORMAL WORKING HOURS, 8:00 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY, EXCEPT LEGAL HOLIDAYS.
5. THERE SHALL BE OPERATING FIRE EXTINGUISHERS AND SMOKE DETECTOR ALARMS INSTALLED AND MAINTAINED IN THE PREMISES DURING ALL STAGES OF THE DEMOLITION AND CONSTRUCTION WORK. NO WORK, CONSTRUCTION MATERIALS OR DEBRIS SHALL BLOCK ACCESS TO ANY FIRE EXIT OF THE BUILDING.

BUILDING DEPARTMENT NOTES

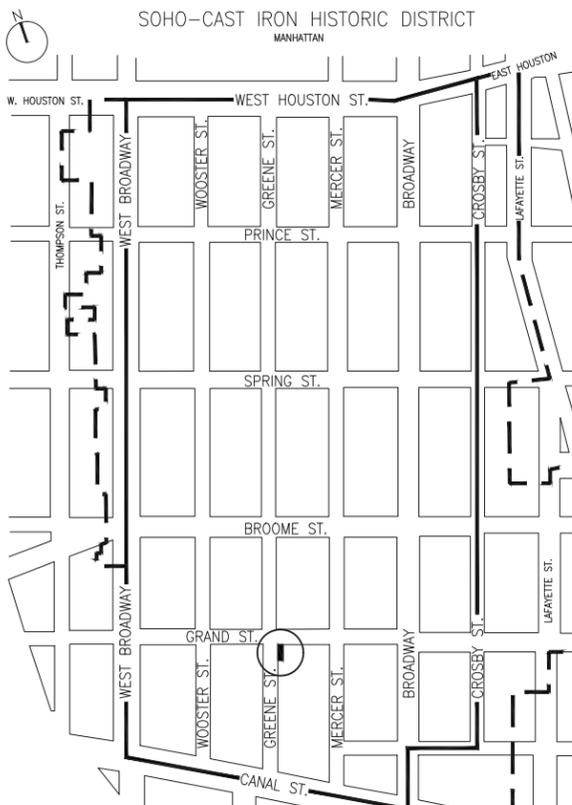
1. THE SCOPE OF WORK IS THE RESTORATION OF EXISTING FACADE TO BE HISTORICALLY ACCURATE.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO BIDDING FOR CLARIFICATION.
3. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REGULATIONS OF BUILDING DEPARTMENT OF THE CITY OF NEW YORK, THE NATIONAL ELECTRICAL CODE NATIONAL BOARD OF FIRE UNDERWRITERS, THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT, AND WITH ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
4. BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS AND OBTAIN ALL REQUIRED PERMITS.
5. ALL MEANS OF INGRESS AND EGRESS SHALL REMAIN CLEAR AND UNOBSTRUCTED DURING THE CONSTRUCTION PROCESS.

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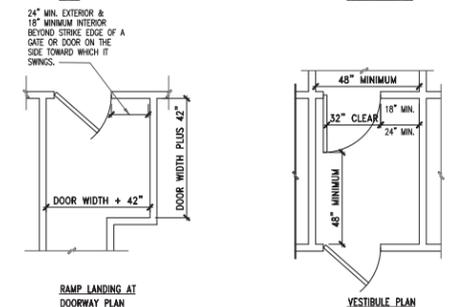
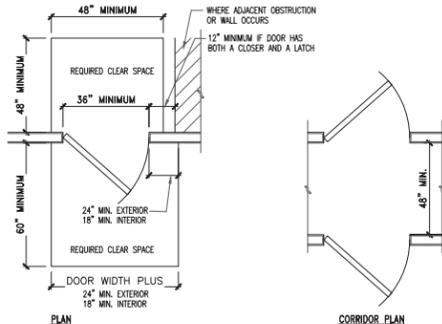
ENERGY ANALYSIS

1. THE SCOPE OF THE WORK DOES NOT INCLUDE ENVELOPE, HVAC, OR LIGHTING/POWER SYSTEMS. THEREFORE NO ITEMS ARE REQUIRED FOR ENERGY ANALYSIS. FILING WILL COMPLY EEC00NS, NYC0CC.



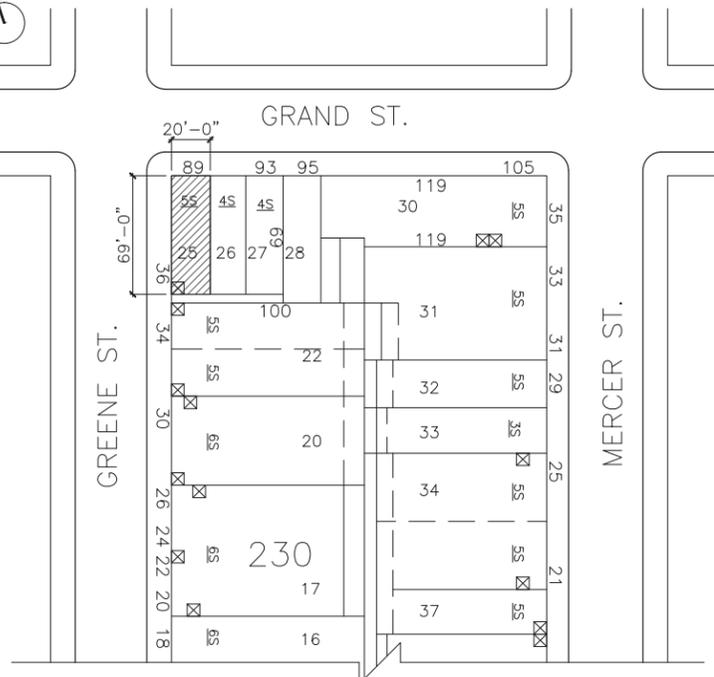
DESIGNATED: AUGUST 14, 1973
EXPANSION DESIGNATED: MAY 11, 2010

1 SOHO - CAST-IRON HISTORIC DISTRICT
T-000 NTS



- NOTES**
1. CLEAR SPACES MUST BE LEVEL TO PREVENT WHEELCHAIRS FROM ROLLING WHEN THE OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR THE DOOR. 1/4" PER FOOT IS ALLOWED FOR DRAINAGE.
 2. WHEN DOORS OPEN ONTO, BUT NOT INTO A CORRIDOR, THE REQUIRED LEVEL AREA BEYOND THE DOORS MAY BE A MINIMUM OF 48". FOR ADDITIONAL INFORMATIONS, SEE APPLICABLE NOTES ON TYPICAL ACCESSIBILITY NOTES SHEET.

3 MANEUVERING CLEARANCES AT DOORS
T-000 NTS



2 PLOT PLAN
T-000 NTS

DRAWING LEGEND

SYMBOLS	DESCRIPTION
[Symbol]	EXISTING WALLS TO REMAIN
[Symbol]	EXISTING 2HR. FIRE RATED PARTITION TO REMAIN
[Symbol]	EXISTING PARTITIONS, DOORS, EQUIPMENT AND FIXTURES TO BE REMOVED OR RELOCATED UNLESS OTHERWISE NOTED.
[Symbol]	ENTRANCE
[Symbol]	EXIT SIGN
[Symbol]	COMBINATION SMOKE AND CARBON MONOXIDE DETECTIVE
[Symbol]	SECTION CUT
[Symbol]	SHEET NUMBER
[Symbol]	ELEVATION
[Symbol]	SHEET NUMBER
[Symbol]	ELEVATION REFERENCE
[Symbol]	DOOR NUMBER
[Symbol]	PARTITION TYPE
[Symbol]	WINDOW TYPE

ABBREVIATIONS USED IN THE DRAWINGS

A.C.T.	ACOUSTICAL CEILING TILE
A.F.F.	ABOVE FINISH FLOOR
ASPH.	ASPHALT
BLK.	BLOCK
BLK'G.	BLOCKING
CBF.	CONTINUOUS FIBRE BOARD
CLG.	CEILING
CONC.	CONCRETE
CONT.	CONTINUOUS
C.J.	CONTROL JOINT
DN.	DOWN
DIA.	DIAMETER
DWG.	DRAWING
EQ.	EQUAL
E.F.	EACH FACE
E.W.C.	ELECTRIC WATER COOLER
EL.	ELEVATION
EXIST.	EXISTING
EXP.	EXPANSION
F.P.	FIREPROOF
FIN.	FINISH(ED)
GA.	GALVANIZED
GALV.	GALV.
GL.	GLASS
GWB.	GYPSUM WALL BOARD
H.M.	HOLLOW METAL
H.P.	HIGH POINT
H.S.	HIGH STRENGTH
I.D.C.	INSIDE DIMENSION CLEAR
JT.	JOINT
LAM.	LAMINATE
LAV.	LAVATORY
L.P.	LOW POINT
MAX.	MAXIMUM
MET.	METAL
MIN.	MINIMUM
M.O.	MASONRY OPENING
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
O.C.	ON CENTER
OP'N'G.	OPENING
PLAS. LAM.	PLASTIC LAMINATE
PLATE	PLATE
PLY'WD	PLYWOOD
PTD.	PAINTED
RAD.	RADIUS
R.C.P.	REFLECTED CEILING PLAN
REQ'D	REQUIRED
STL.	STEEL
SUSP. CLG.	SUSPENDED CEILING
T.O.M.	TOP OF MASONRY
T.O.S.	TOP OF STEEL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
V.C.T.	VENUE COMPOSITION TILE
W.	WITH
WD.	WOOD

4 NOTATION AND DRAWING REFERENCE MISCELLANEOUS INFORMATION
T-000 NTS

BUILDING CODE DATA:

LOCATION MAP:

BLOCK: 230 ZONING MAP: 12C
LOT: 25 ZONE: M1-5B

ADDRESS: 89 GRAND ST / 36 GREENE ST
NEW YORK, NY 10013

USE GROUP: 6

BUILDING OCCUPANCY: COMMERCIAL

DRAWING LIST:

TO.0	COVER SHEET AND NOTES
A.1.1	EXISTING PLANS
A.1.2	EXISTING ELEVATIONS
A.1.3	EXISTING ENLARGED PLANS/ELEVS
A.1.4	EXISTING WINDOW & SILL DETAILS
A.2.1	PROPOSED PLANS
A.2.2	PROPOSED ELEVATIONS
A.2.3	PROPOSED ENLARGED PLANS/ELEVS
A.2.4	PROPOSED WINDOW & SILL DETAILS

PROJECT:

89 GRAND STREET / 36 GREENE STREET
NEW YORK, NY 10013

DRAWING TITLE:

COVER PAGE: GENERAL NOTES,
HISTORIC DISTRICT SITE PLAN,
H.C. ACCESS DIAGRAMS AND DRAWING LIST

SEAL & SIGNATURE:

DATE: 09 June 2016

PROJECT CODE: 36G

DRAWING BY: JL

CHK BY: DS

DWG NO.:

TO.0

COVER

PAGE NO.: 1 OF 9

NYC DOB NUMBER:

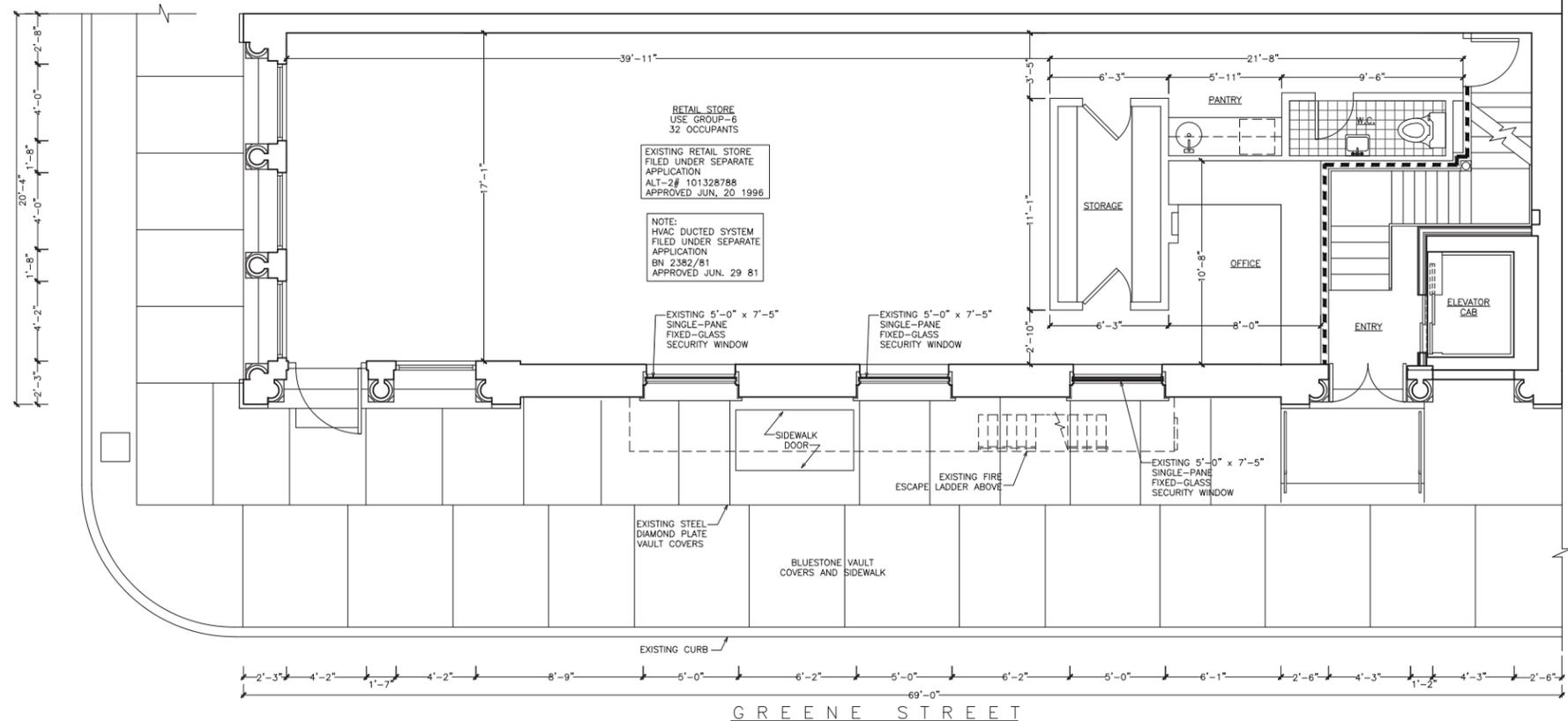


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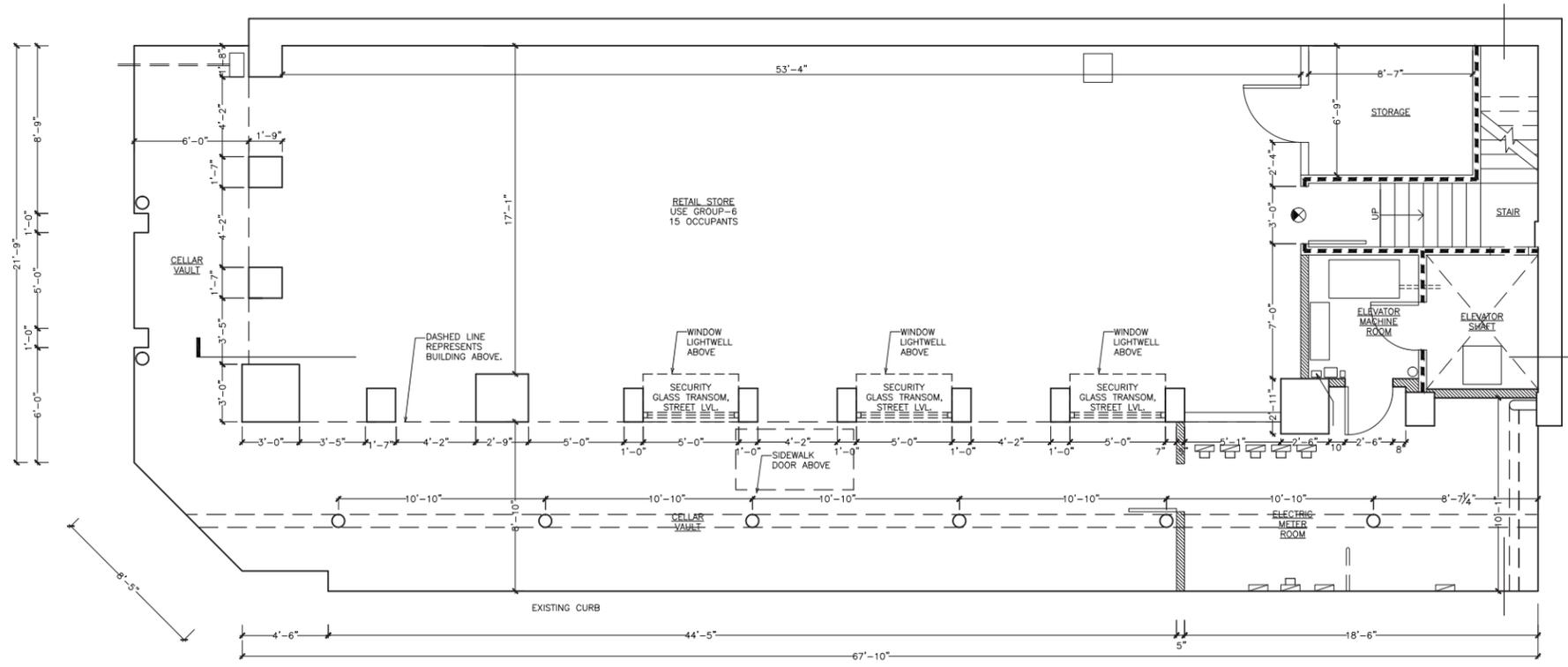
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GRAND STREET



2 FIRST FLOOR PLAN - EXISTING
A1.1 1/4"=1'-0"



1 CELLAR FLOOR PLAN - EXISTING
A1.1 1/4"=1'-0"

PROJECT:
89 GRAND STREET / 36 GREENE STREET
NEW YORK, NY 10013

DRAWING TITLE:
EXISTING 1ST FLOOR PLAN
EXISTING CELLAR PLAN

SEAL & SIGNATURE:
DATE: 09 June 2016
PROJECT CODE: 36G
DRAWING BY: JL
CHK BY: DS
DWG NO.:

A1.1
EXISTING

PAGE NO.: 2 OF 9

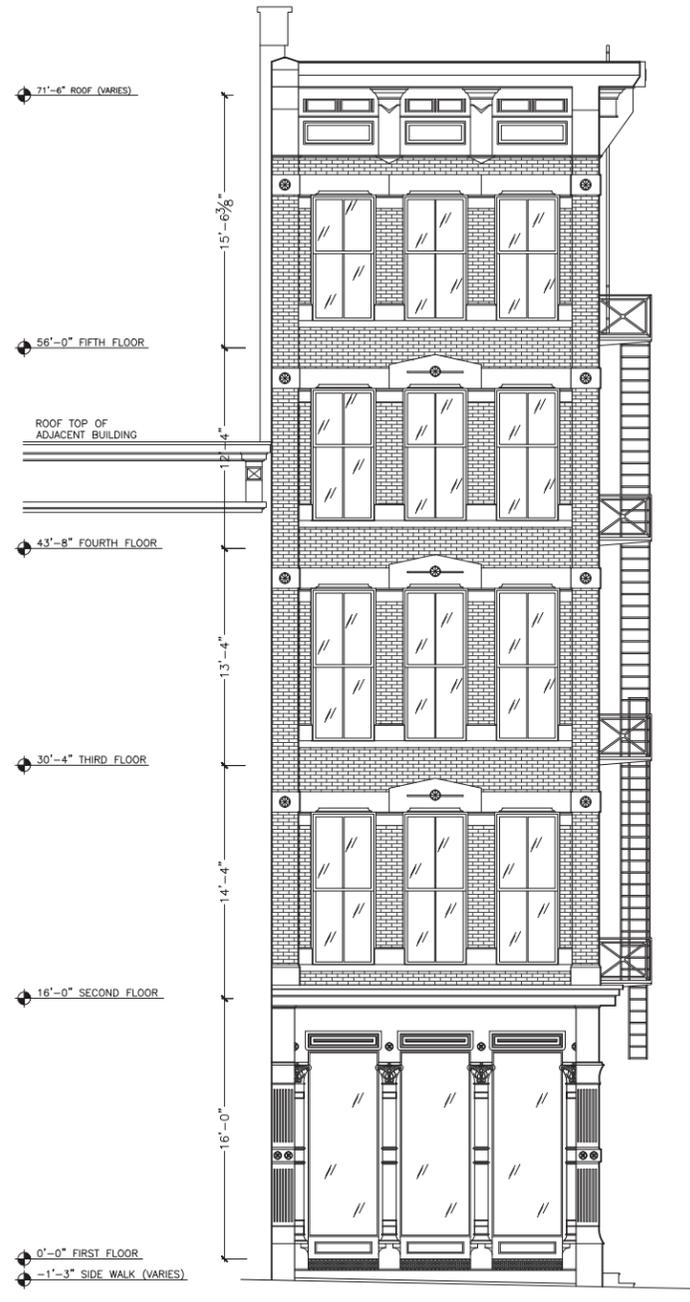
NYC DOB NUMBER:



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2 NORTH ELEVATION (GRAND STREET) – EXISTING
A1.2 3/16"=1'-0"



1 WEST ELEVATION (GREENE STREET) – EXISTING
A1.2 3/16"=1'-0"



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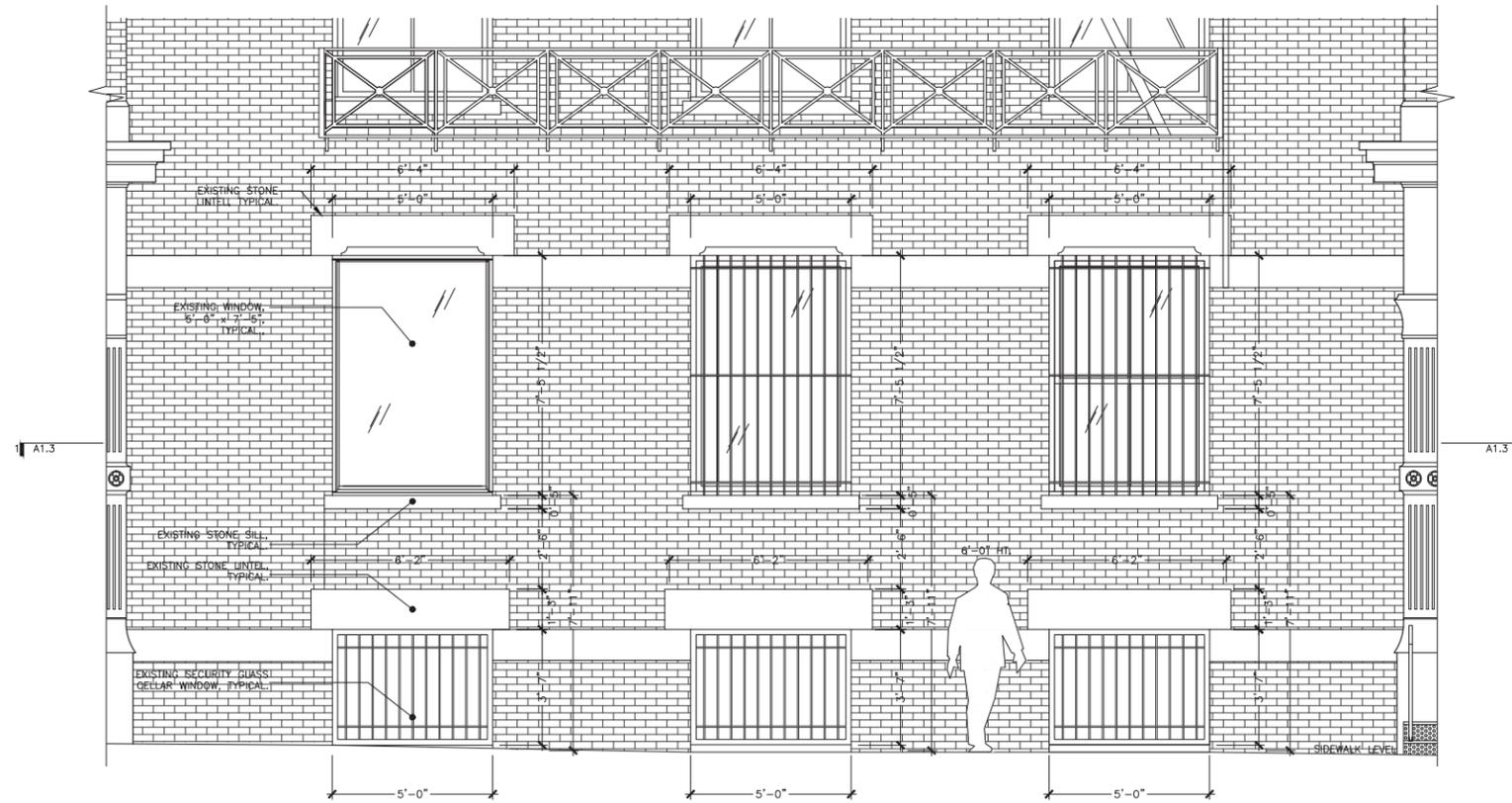
DRAWING TITLE:
EXISTING EXTERIOR ELEVATIONS

SEAL & SIGNATURE: _____ DATE: 09 June 2016
PROJECT CODE: 36G
DRAWING BY: JL
CHK BY: DS
DWG NO.:

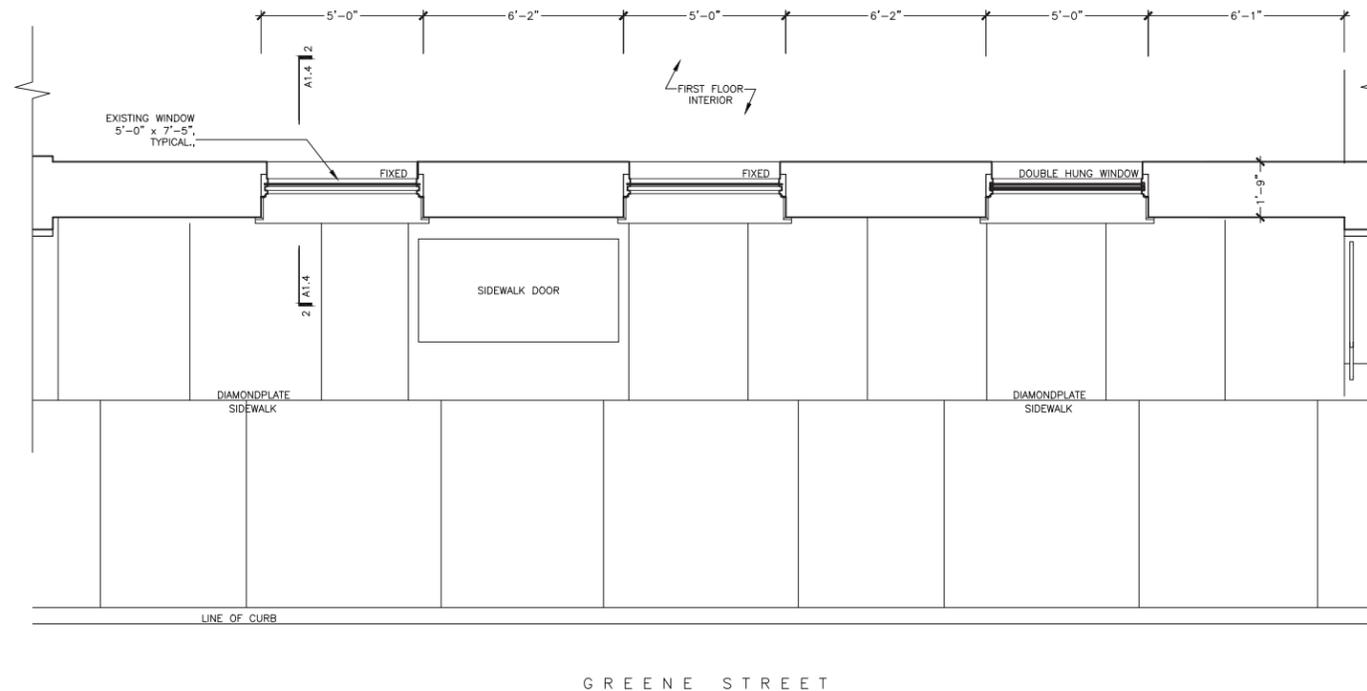
A1.2
EXISTING

PAGE NO.: 3 OF 9

NYC DOB NUMBER: _____



2 WEST ELEVATION (GREENE ST) AT 1ST FLOOR WINDOW OPENINGS – EXISTING
A1.3 3/8"=1'-0"



1 PLAN AT 1ST FLOOR WINDOW OPENINGS – EXISTING
A1.3 3/8"=1'-0"

PROJECT:
89 GRAND STREET / 36 GREENE STREET
NEW YORK, NY 10013

DRAWING TITLE:
EXISTING ENLARGED PLAN
EXISTING ENLARGED ELEVATION

SEAL & SIGNATURE: _____ DATE: 09 June 2016
PROJECT CODE: 36G
DRAWING BY: JL
CHK BY: DS
DWG NO.: _____

NYC DOB NUMBER: _____

A1.3
EXISTING

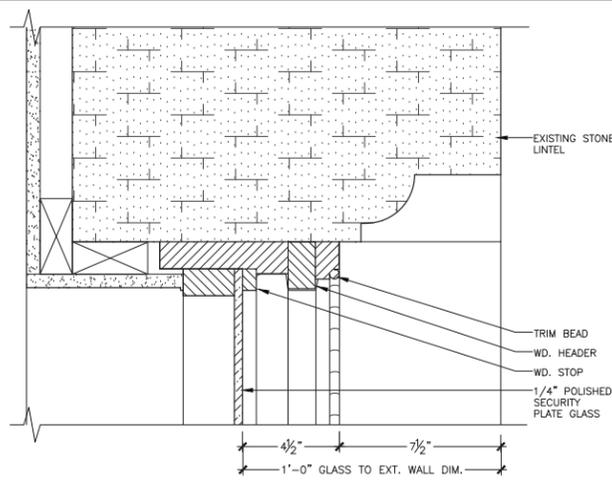
PAGE NO.: 4 OF 9



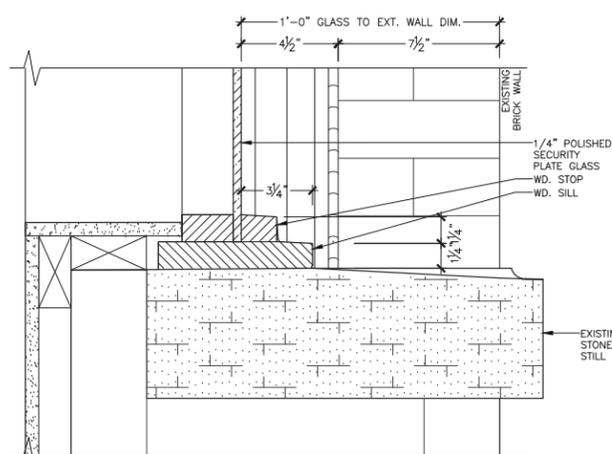
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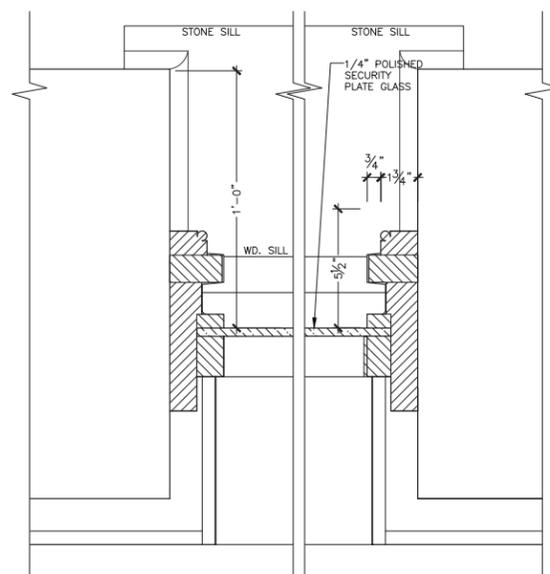
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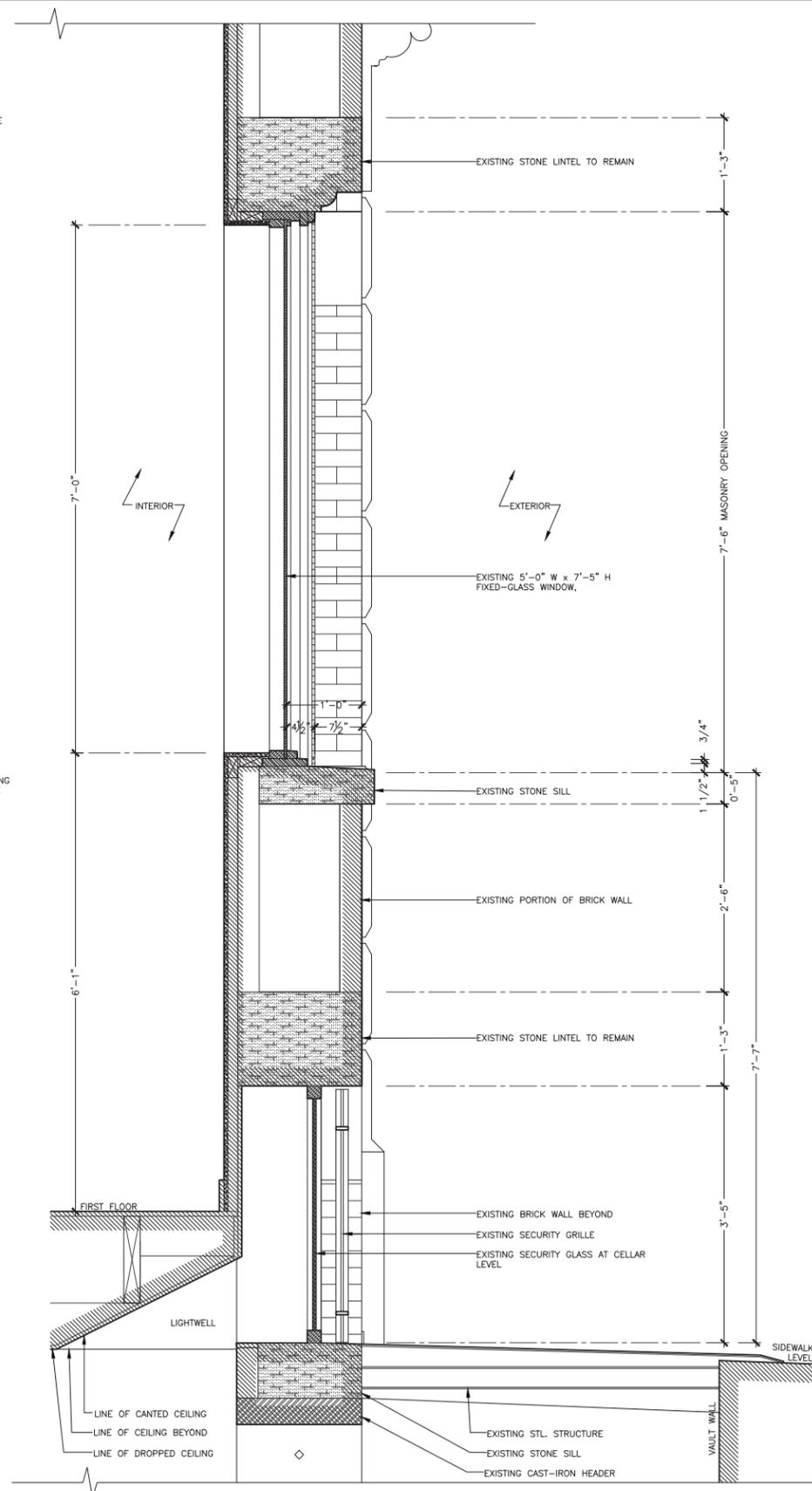
6 WINDOW HEAD DETAIL, TYPICAL - EXISTING
A1.4 3'-1'-0"



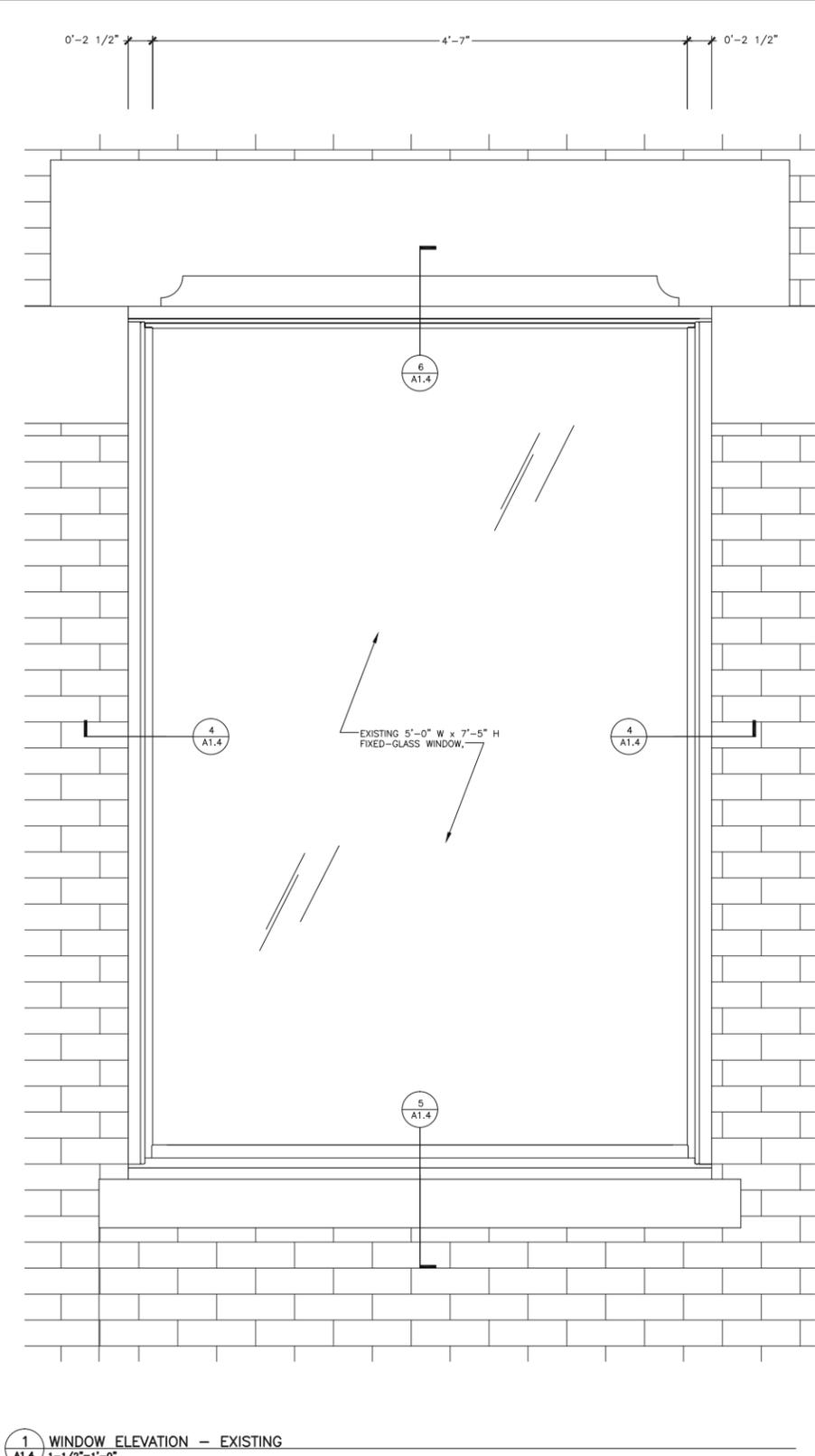
5 WINDOW SILL DETAIL, TYPICAL - EXISTING
A1.4 3'-1'-0"



4 WINDOW JAMB DETAIL, TYPICAL - EXISTING
A1.4 1 1/2'-1'-0"



3 36 GREENE STREET - SECTION - EXTERIOR WALL 1ST FLOOR WINDOWS - EXISTING
A1.4 1'-1'-0"



1 WINDOW ELEVATION - EXISTING
A1.4 1'-1/2'-1'-0"



PROJECT:
89 GRAND STREET / 36 GREENE STREET
NEW YORK, NY 10013

DRAWING TITLE:
EXISTING WINDOW & SILL DETAILS

SEAL & SIGNATURE: _____ DATE: 09 June 2016
PROJECT CODE: 36G
DRAWING BY: JL
CHK BY: DS
DWG NO.:

A1.4
EXISTING

PAGE NO.: 5 OF 9

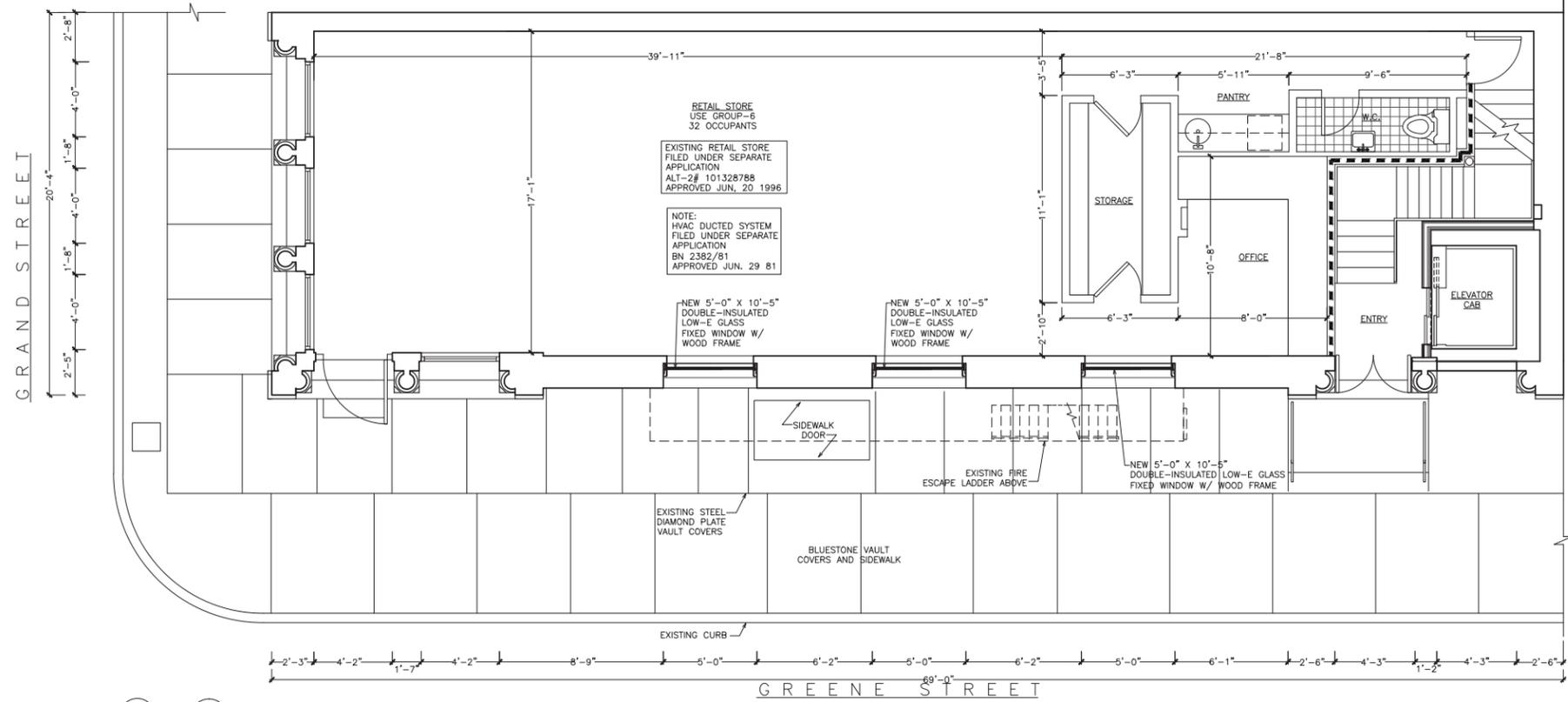
NYC DOB NUMBER:



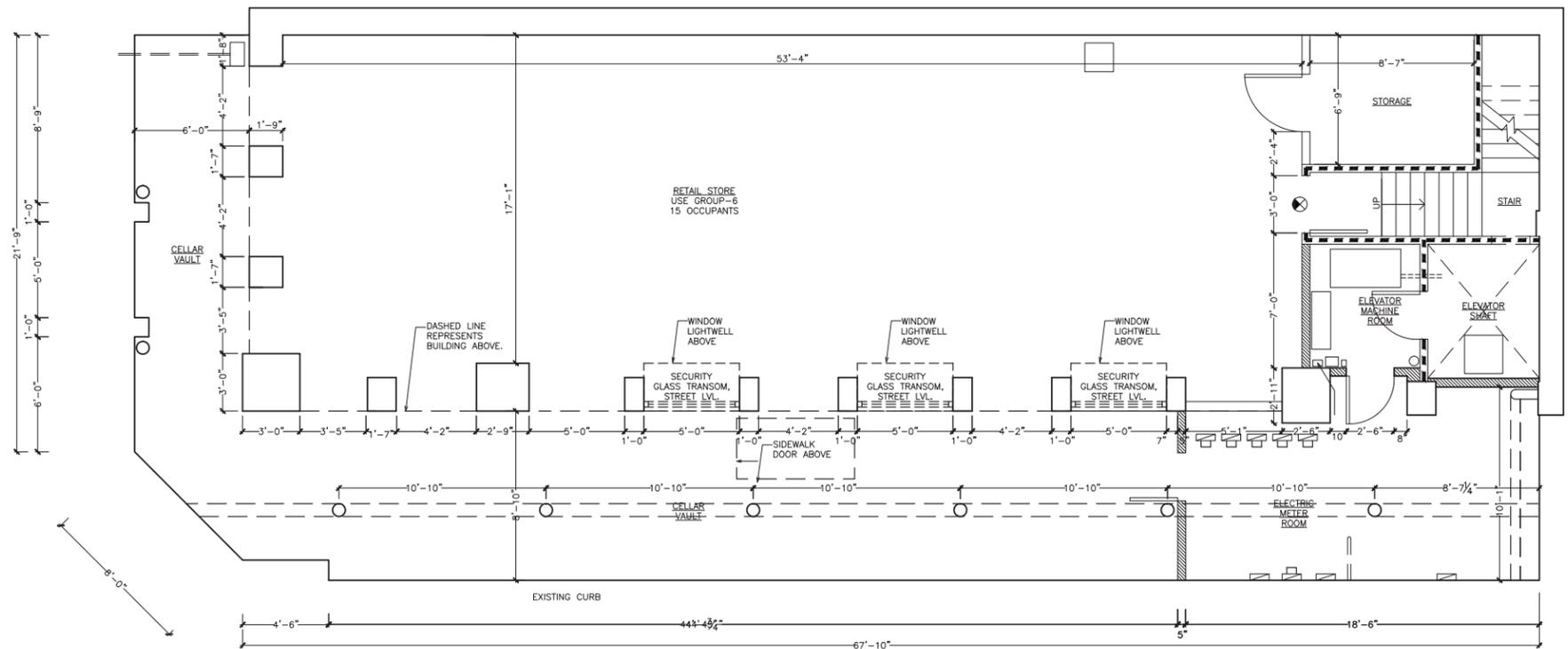
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2 FIRST FLOOR PLAN - PROPOSED
A2.1 1/4"=1'-0"



1 CELLAR FLOOR PLAN - PROPOSED
A2.1 1/4"=1'-0"

PROJECT:
89 GRAND STREET / 36 GREENE STREET
NEW YORK, NY 10013

DRAWING TITLE:

SEAL & SIGNATURE:

DATE: 09 JUNE 2016

PROJECT CODE: 36G

DRAWING BY: JL

CHK BY: DS

DWG NO.:

A2.1
PROPOSED

PAGE NO.: 6 OF 9

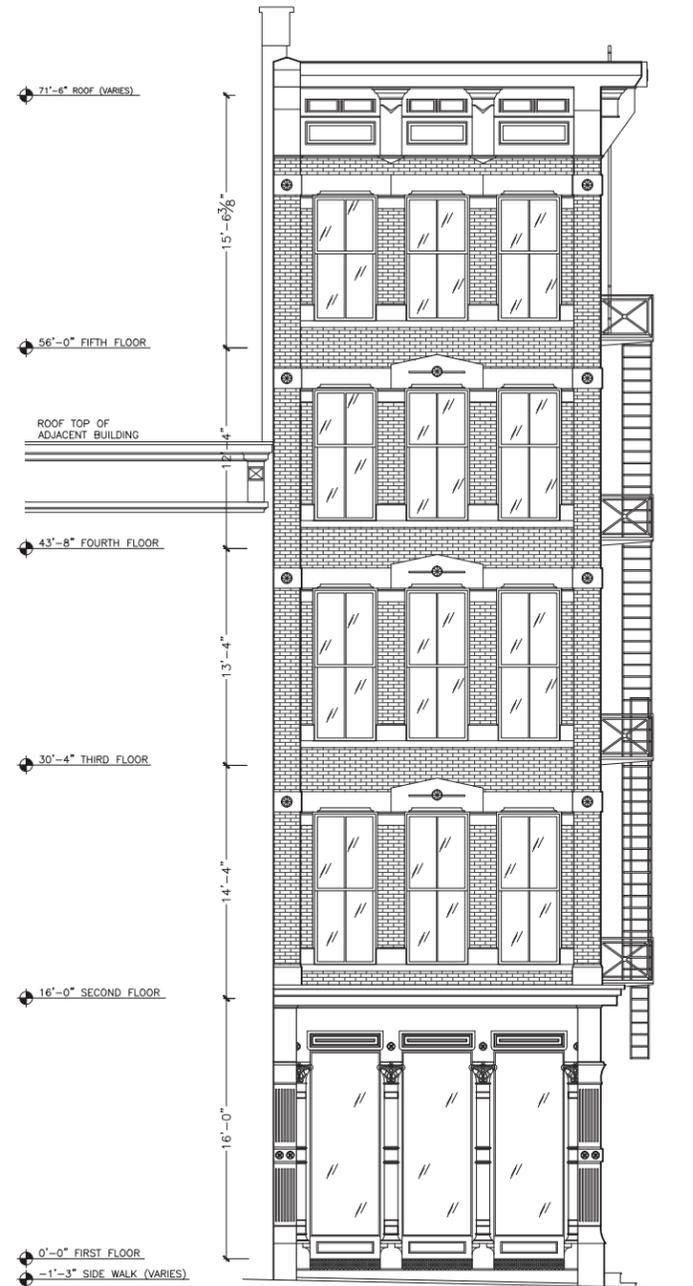
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2 NORTH ELEVATION (GRAND STREET) - PROPOSED
3/16"=1'-0"



1 WEST ELEVATION (GREENE STREET) - PROPOSED
3/16"=1'-0"



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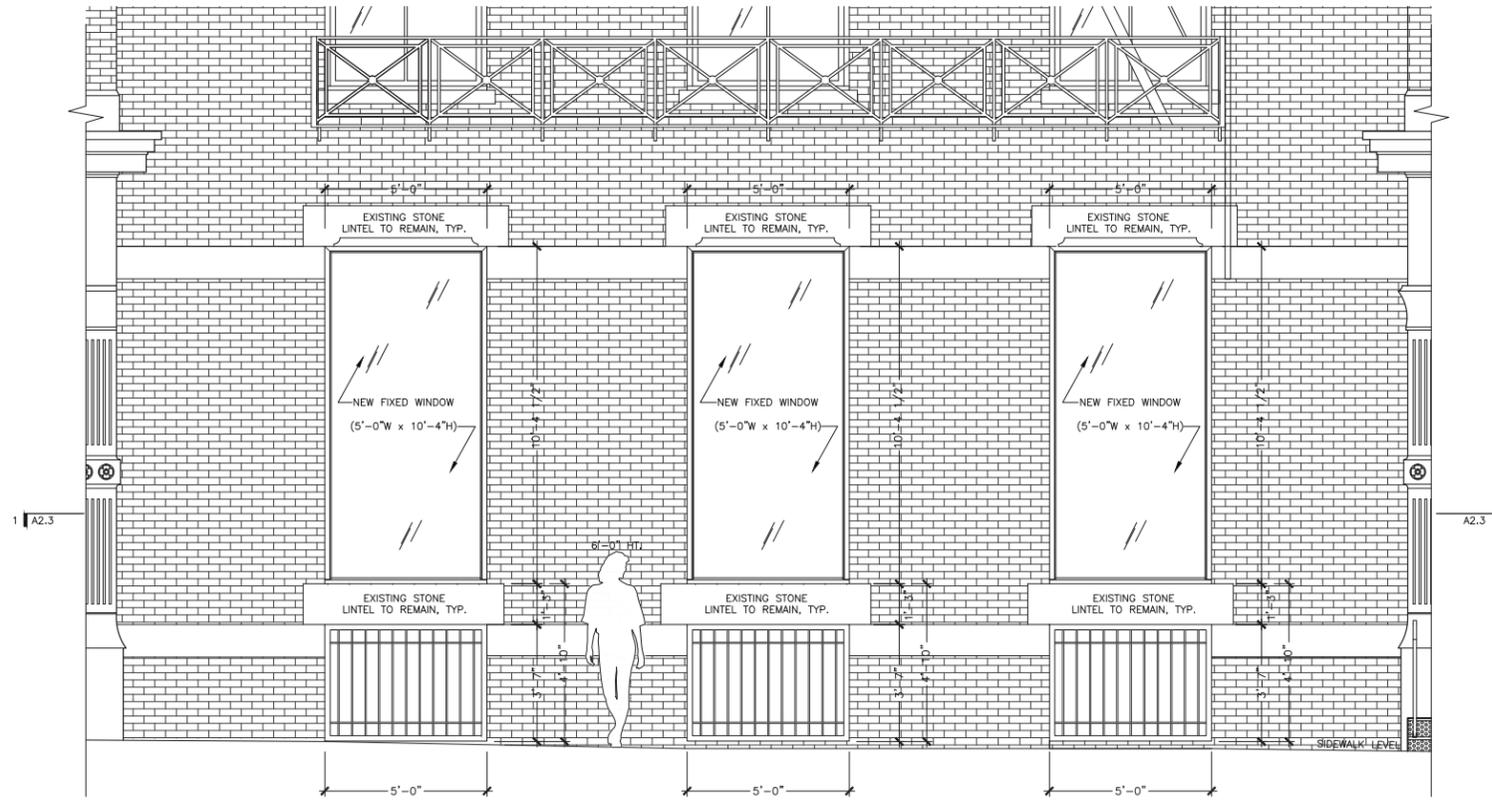
DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

SEAL & SIGNATURE: _____ DATE: 09 JUNE 2016
PROJECT CODE: 36G
DRAWING BY: JL
CHK BY: DS
DWG NO.:

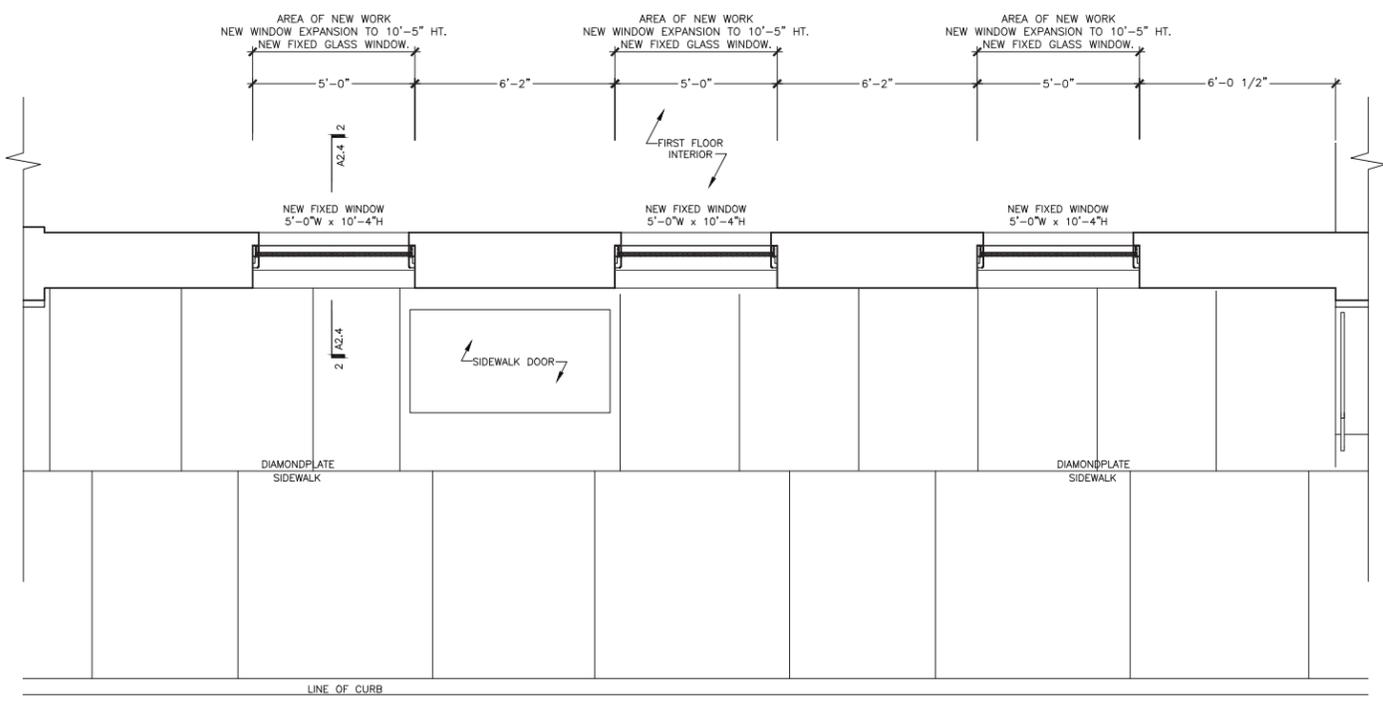
**A2.2
PROPOSED**

PAGE NO.: 7 OF 9

NYC DOB NUMBER:



2 WEST ELEVATION AT 1ST FLOOR WINDOW OPENINGS (GREENE STREET) – PROPOSED
 LM1.5 3/8"=1'-0"



1 PLAN AT 1ST FLOOR WINDOW OPENINGS (GREENE STREET) – PROPOSED
 A2.3 3/8"=1'-0"

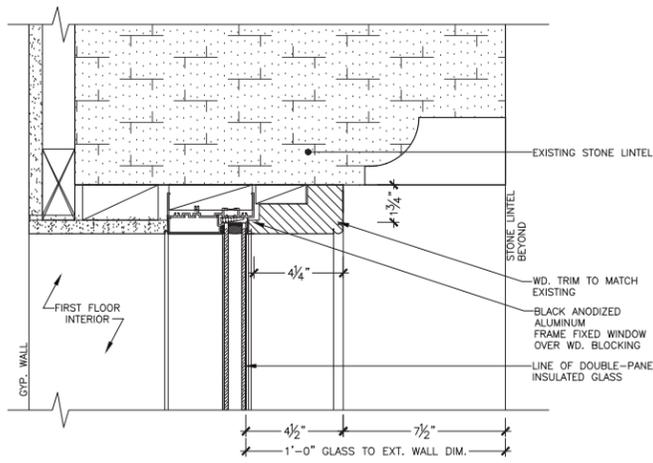
PROJECT:
89 GRAND STREET / 36 GREENE STREET
 NEW YORK, NY 10013

DRAWING TITLE:
 PROPOSED ENLARGED FIRST FLOOR PLAN
 PROPOSED ENLARGED ELEVATIONS

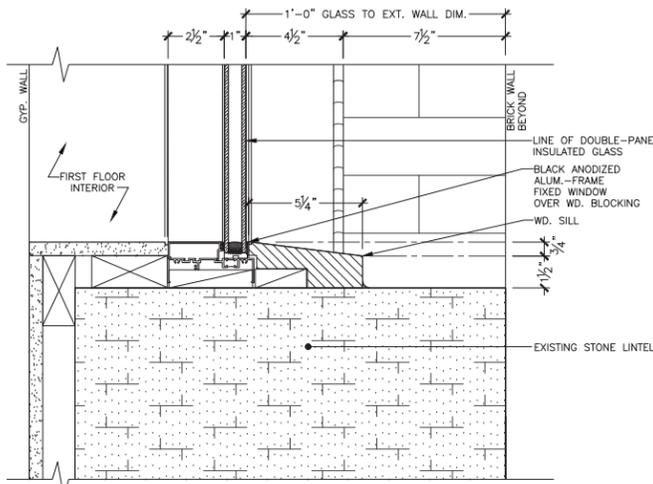
SEAL & SIGNATURE: _____ DATE: 09 JUNE 2016
 PROJECT CODE: 36G
 DRAWING BY: JL
 CHK BY: DS
 DWG NO.: _____

A2.3
 PROPOSED
 PAGE NO.: 8 OF 9

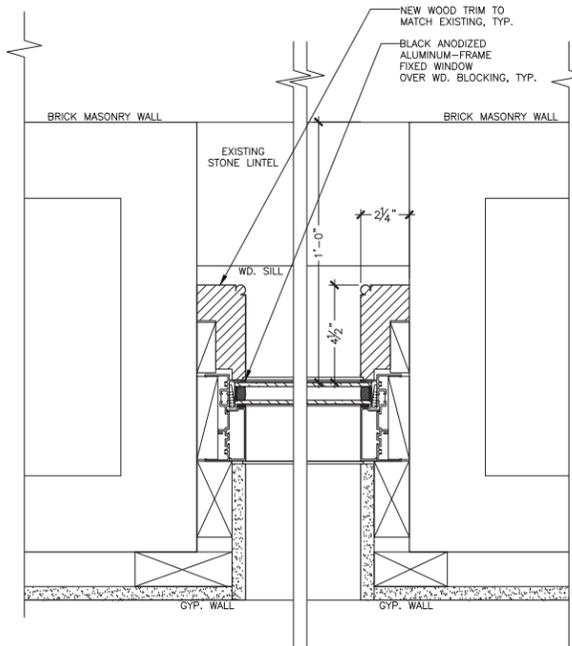
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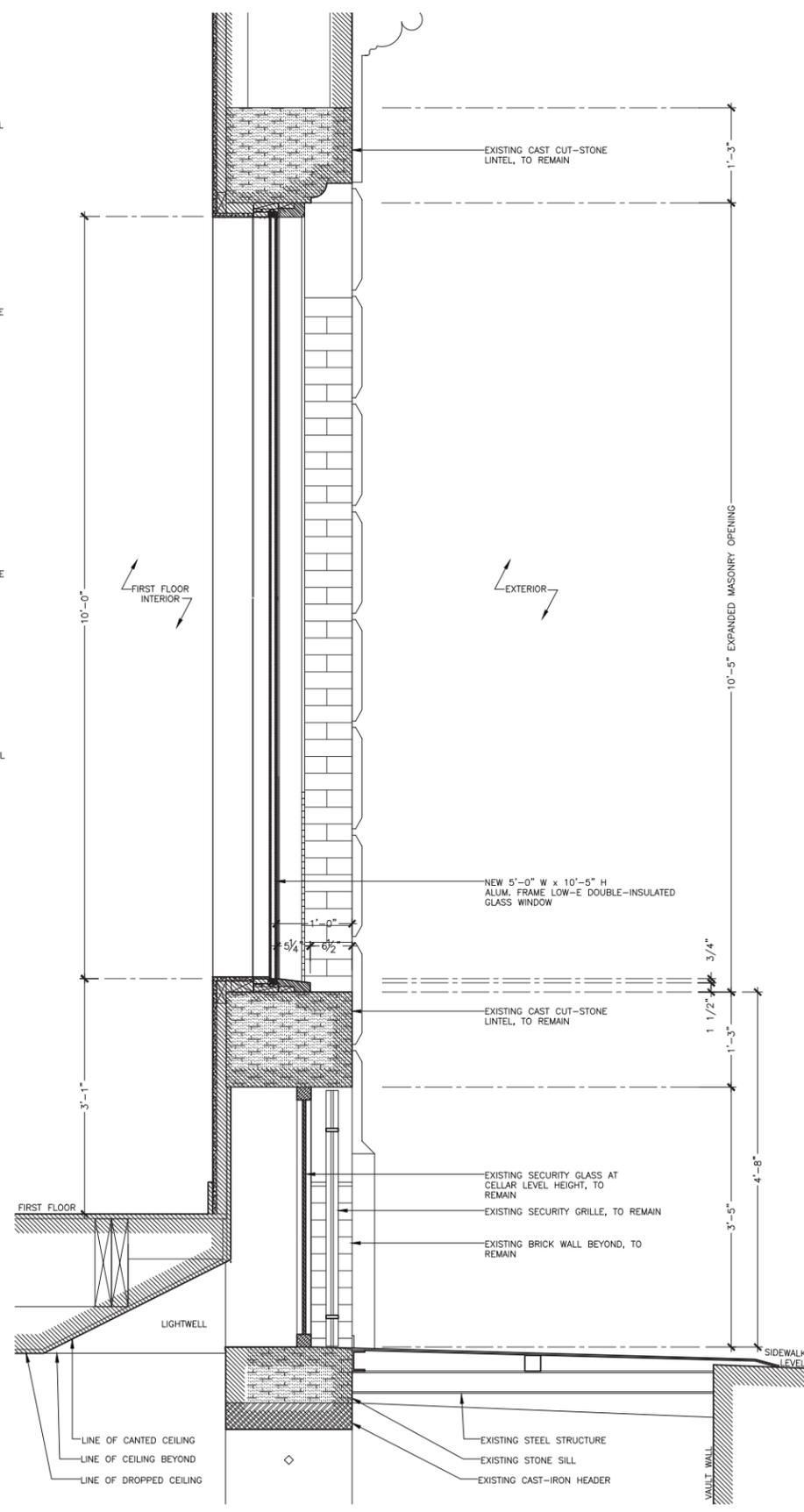
5 WINDOW HEAD DETAIL (TYPICAL) - PROPOSED
A2.4 3"=1'-0"



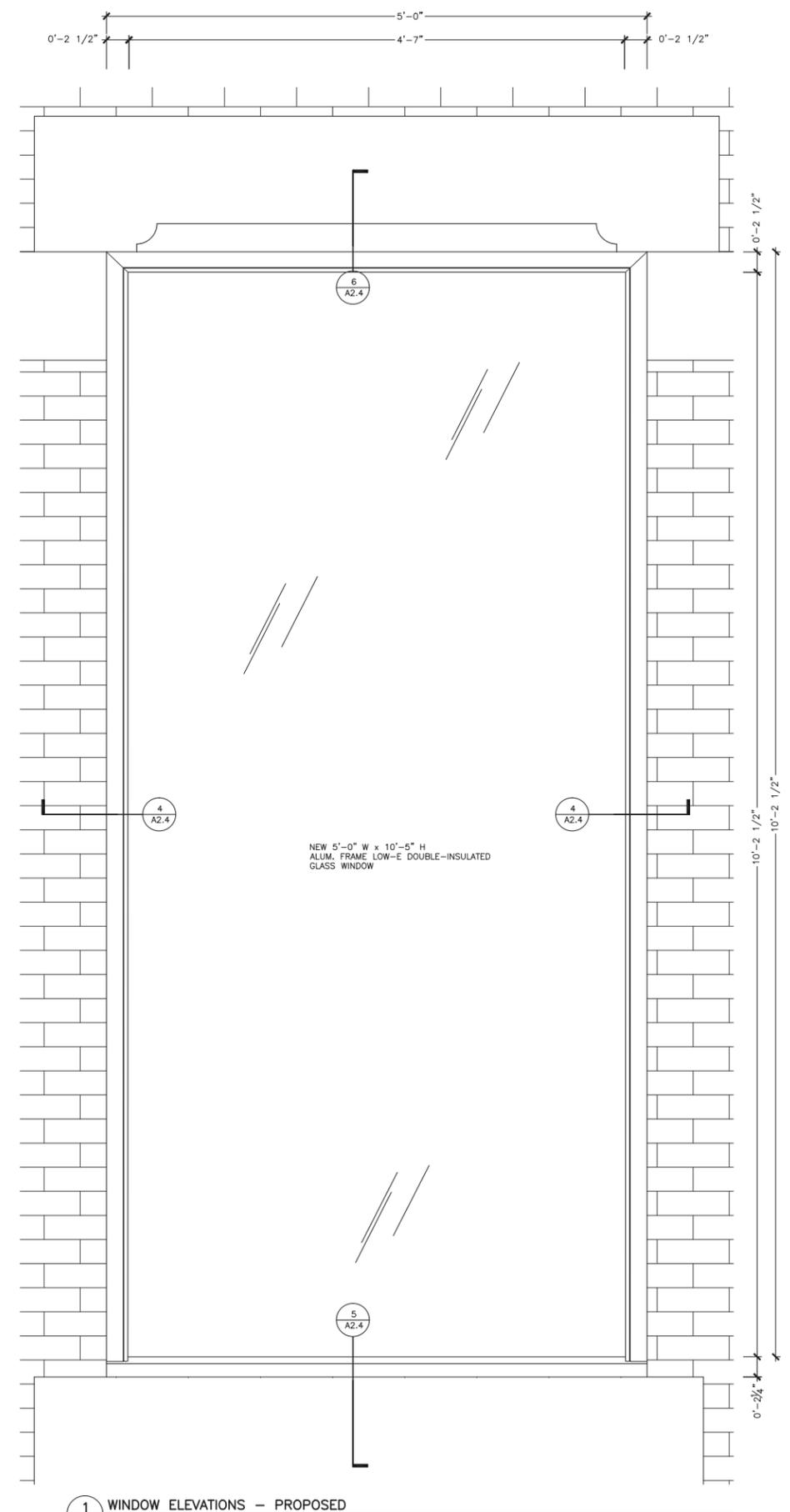
4 WINDOW SILL DETAIL (TYPICAL) - PROPOSED
A2.4 3"=1'-0"



3 WINDOW JAMB DETAIL (TYPICAL) - PROPOSED
A2.4 3"=1'-0"



2 SECTION EXTERIOR WALL GROUND FLOOR WINDOWS - PROPOSED
A2.4 1"=1'-0"



1 WINDOW ELEVATIONS - PROPOSED
A2.4 1"=1/2"=1'-0"

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DRAWING TITLE:
PROPOSED WINDOW & SILL DETAILS

SEAL & SIGNATURE: _____ DATE: 20 Jun 2016
PROJECT CODE: 36G
DRAWING BY: JL
CHK BY: DS
DWG NO.: _____

**A2.4
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