



38 BETHUNE ST
NEW YORK, N.Y. 10014

10/26/2016
Page 1 of 19

adg ADG Architecture & Design P.C.
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(P) 212.777.6880
(F) 212.979.0818

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EXISTING CONDITIONS

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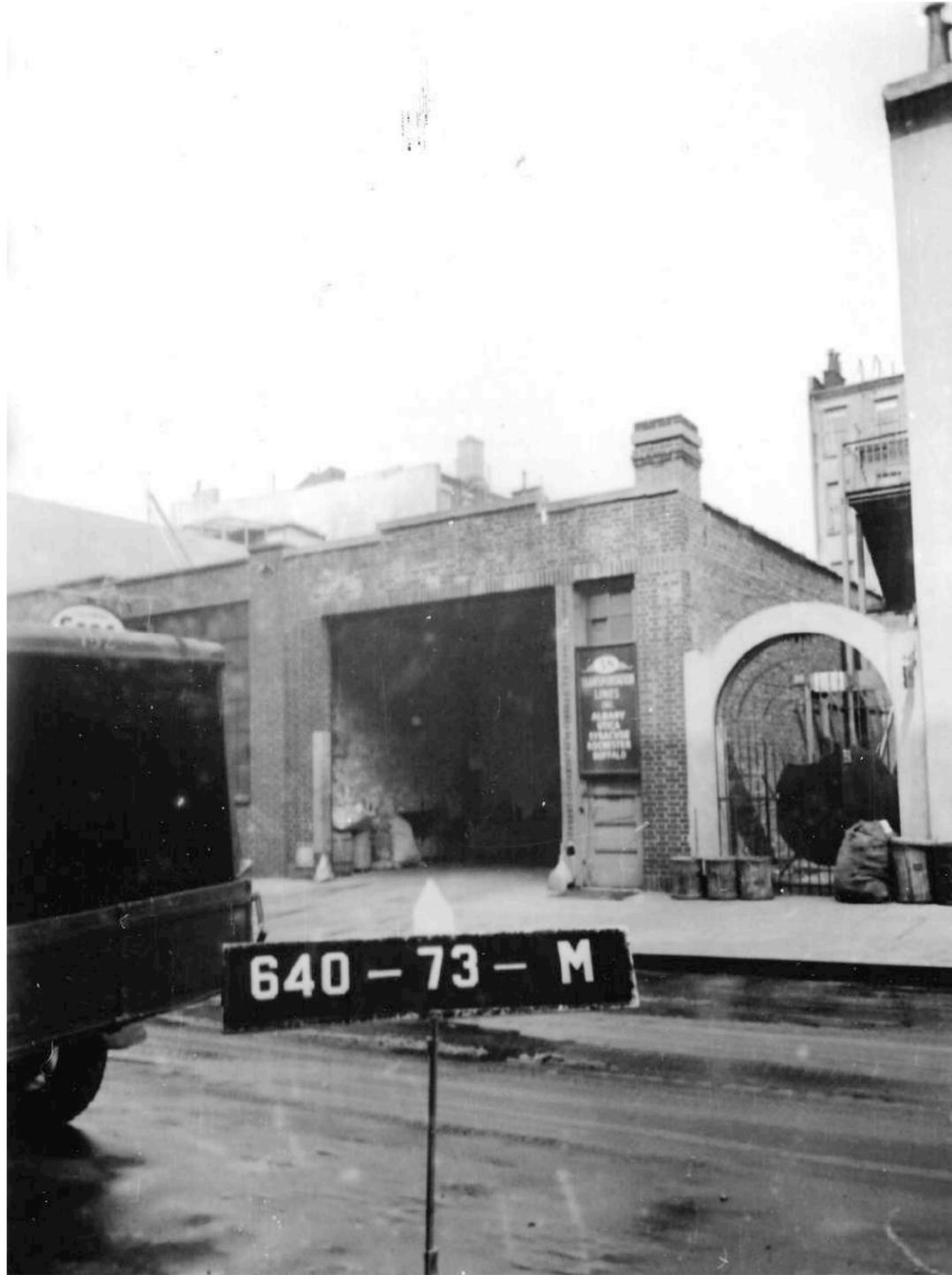
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EXISTING CONDITIONS - REAR

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C1940 (MUNICIPAL ARCHIVES)



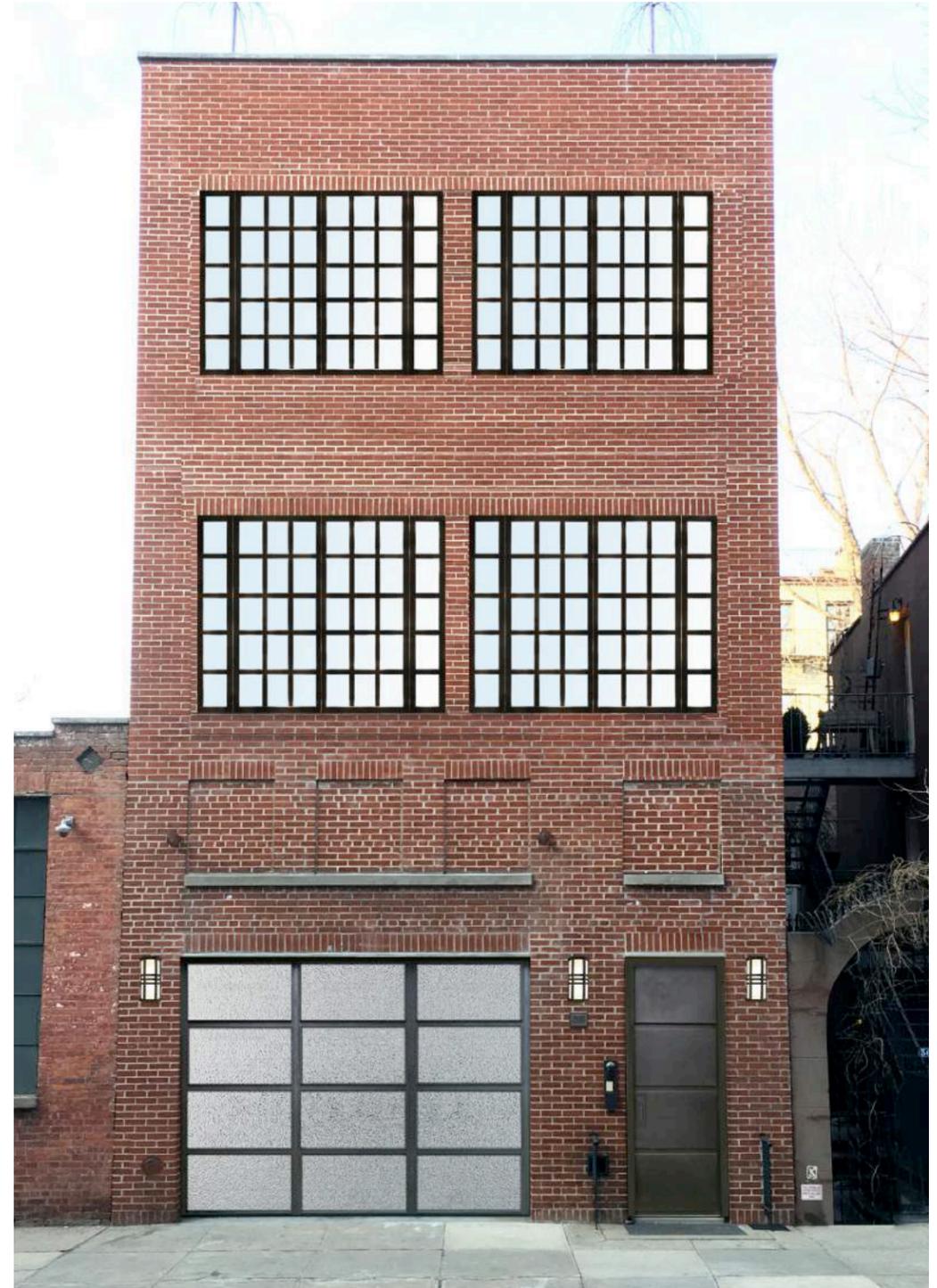
1980 (MUNICIPAL ARCHIVES)

HISTORIC CONDITIONS

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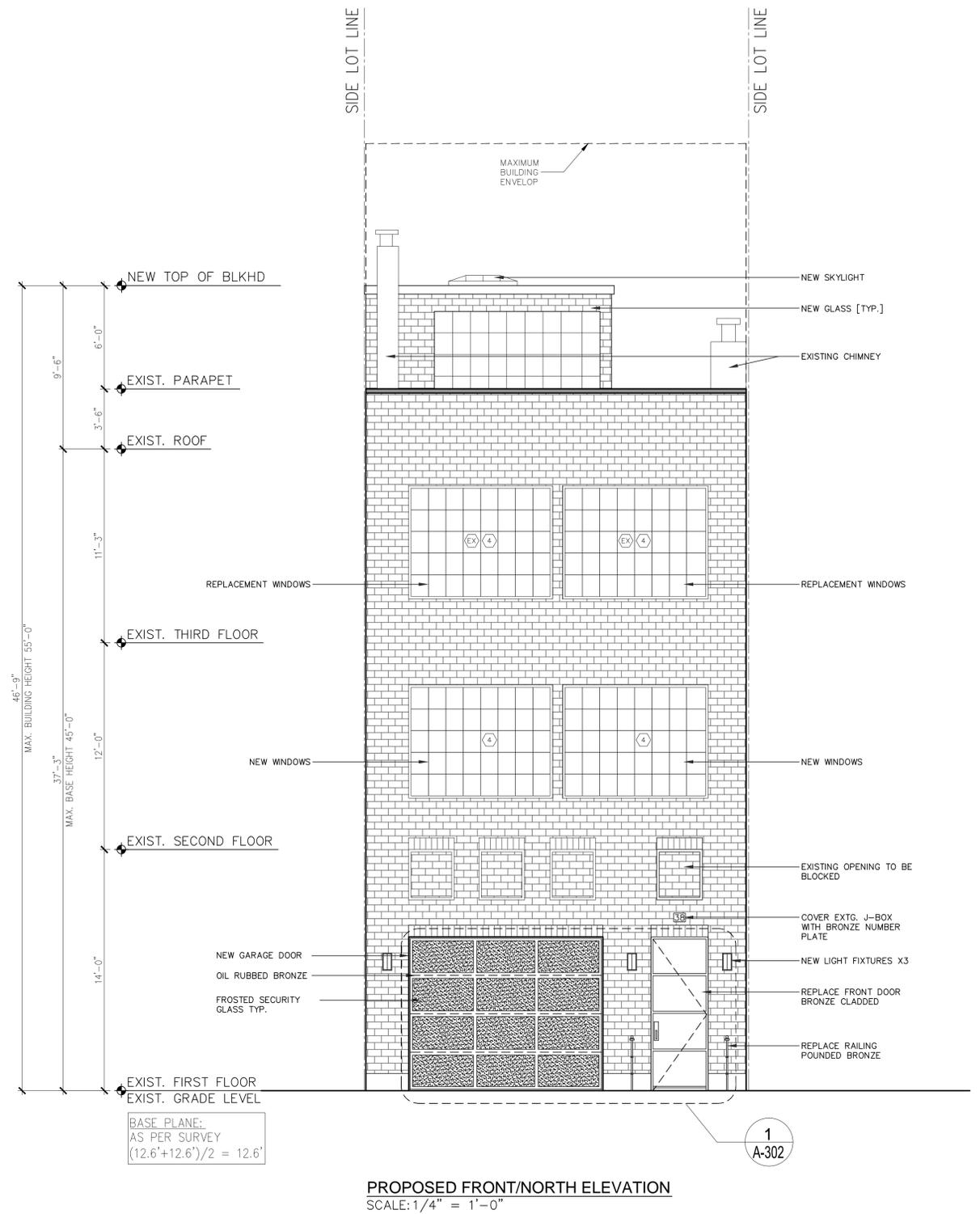
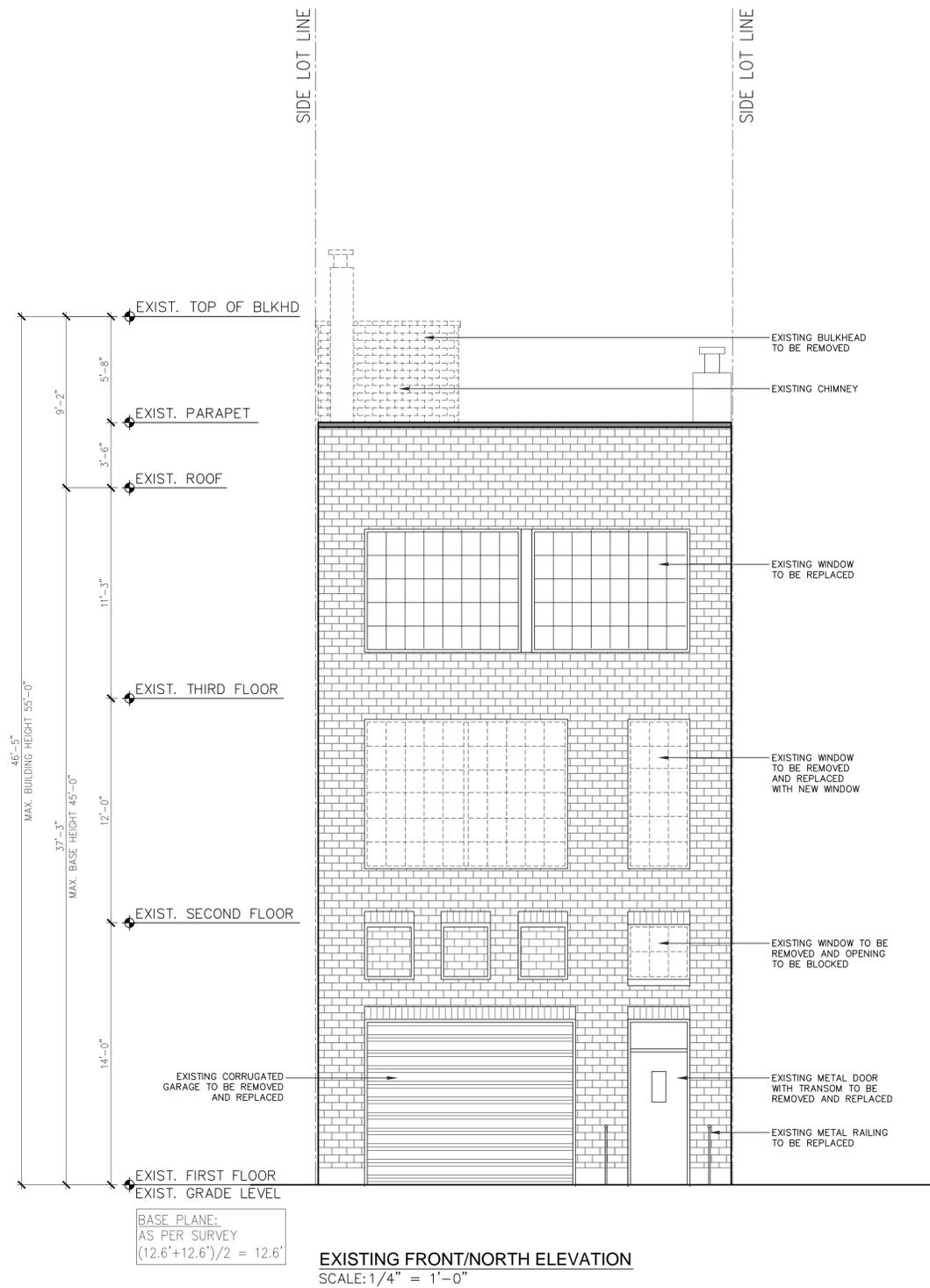
EXISTING FRONT/SOUTH FACADE

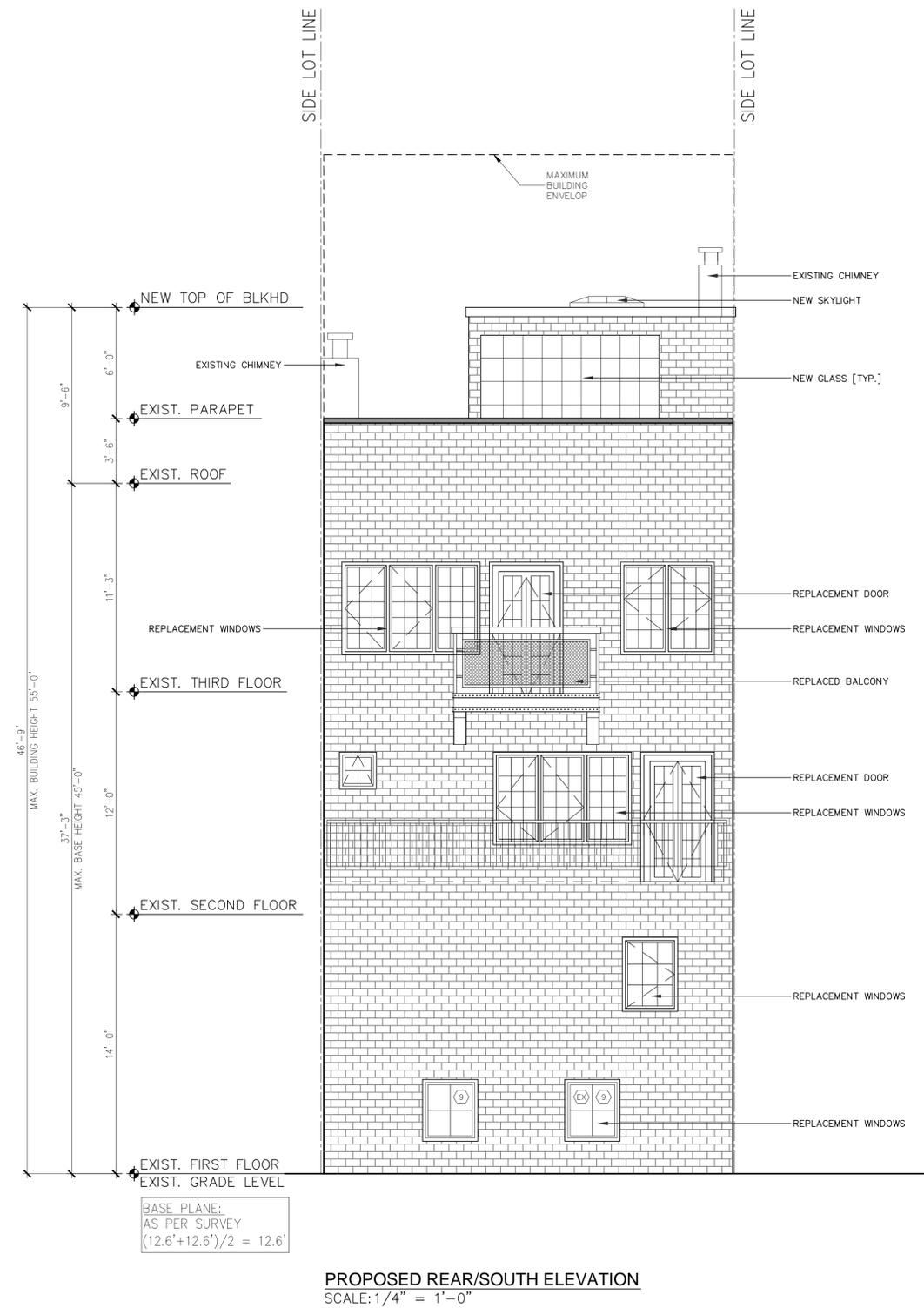
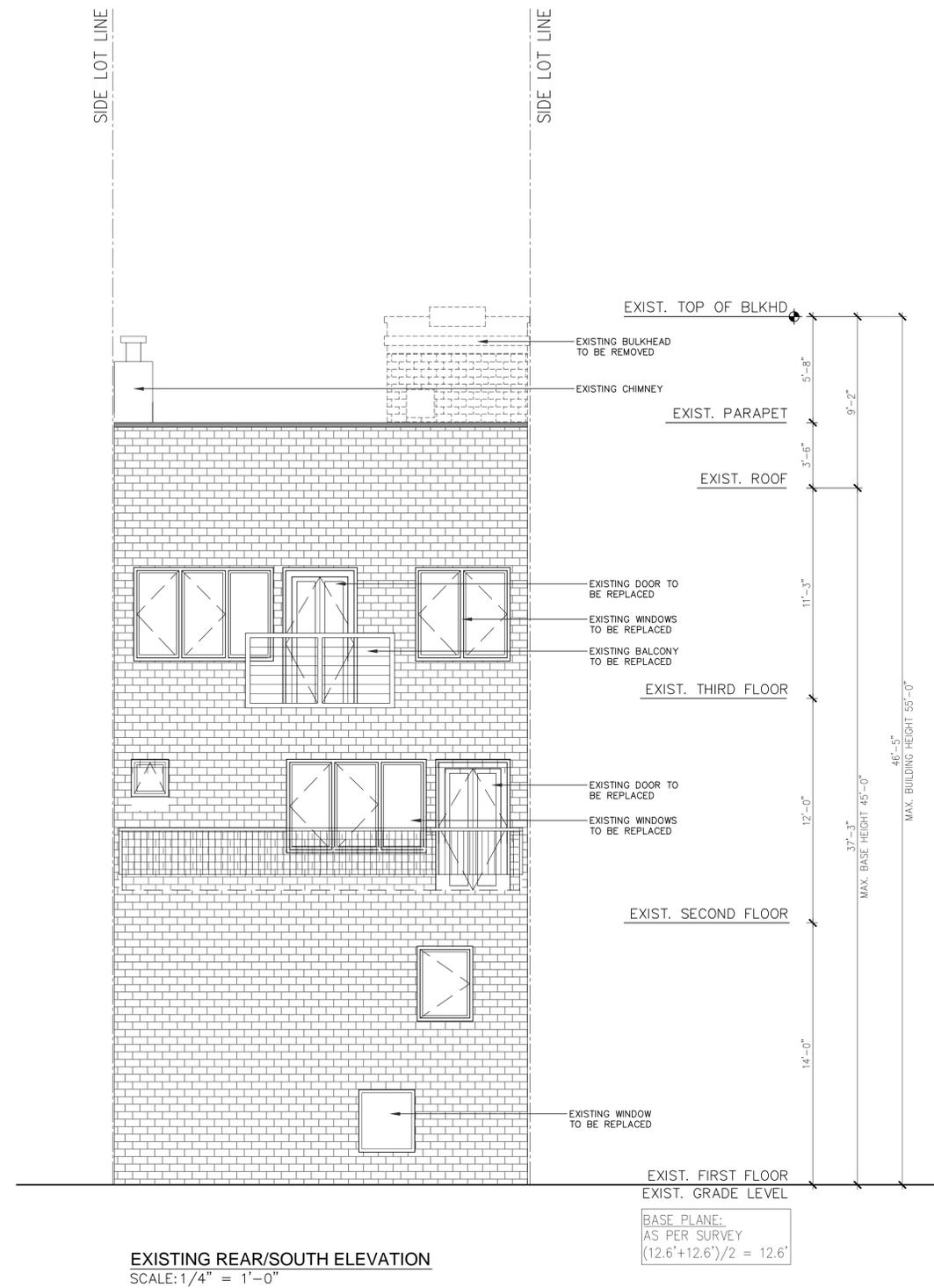


PROPOSED FRONT/SOUTH FACADE

PROPOSED AND EXISTING CONDITIONS

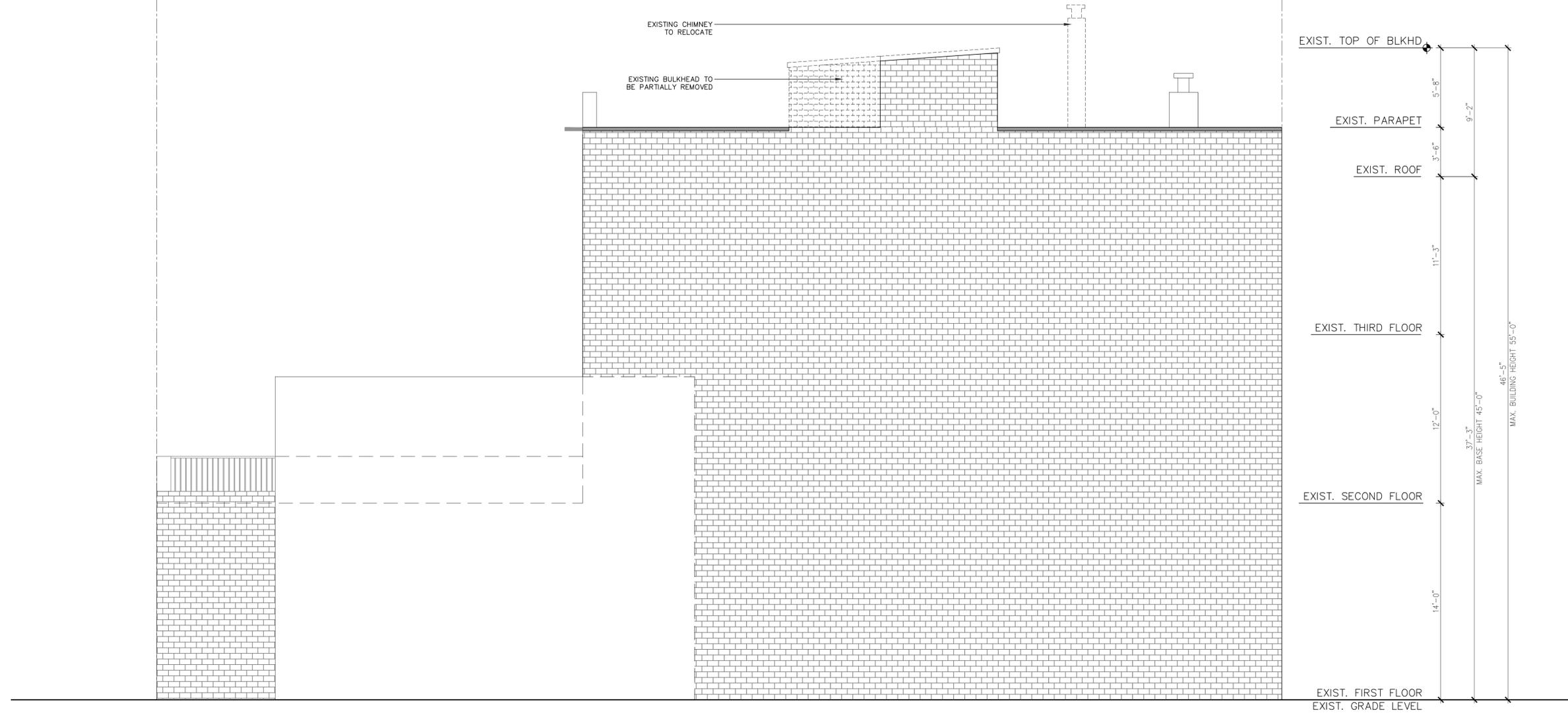
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REAR LOT LINE

FRONT LOT LINE



EXISTING CHIMNEY TO RELOCATE

EXISTING BULKHEAD TO BE PARTIALLY REMOVED

EXIST. TOP OF BLKHD

EXIST. PARAPET

EXIST. ROOF

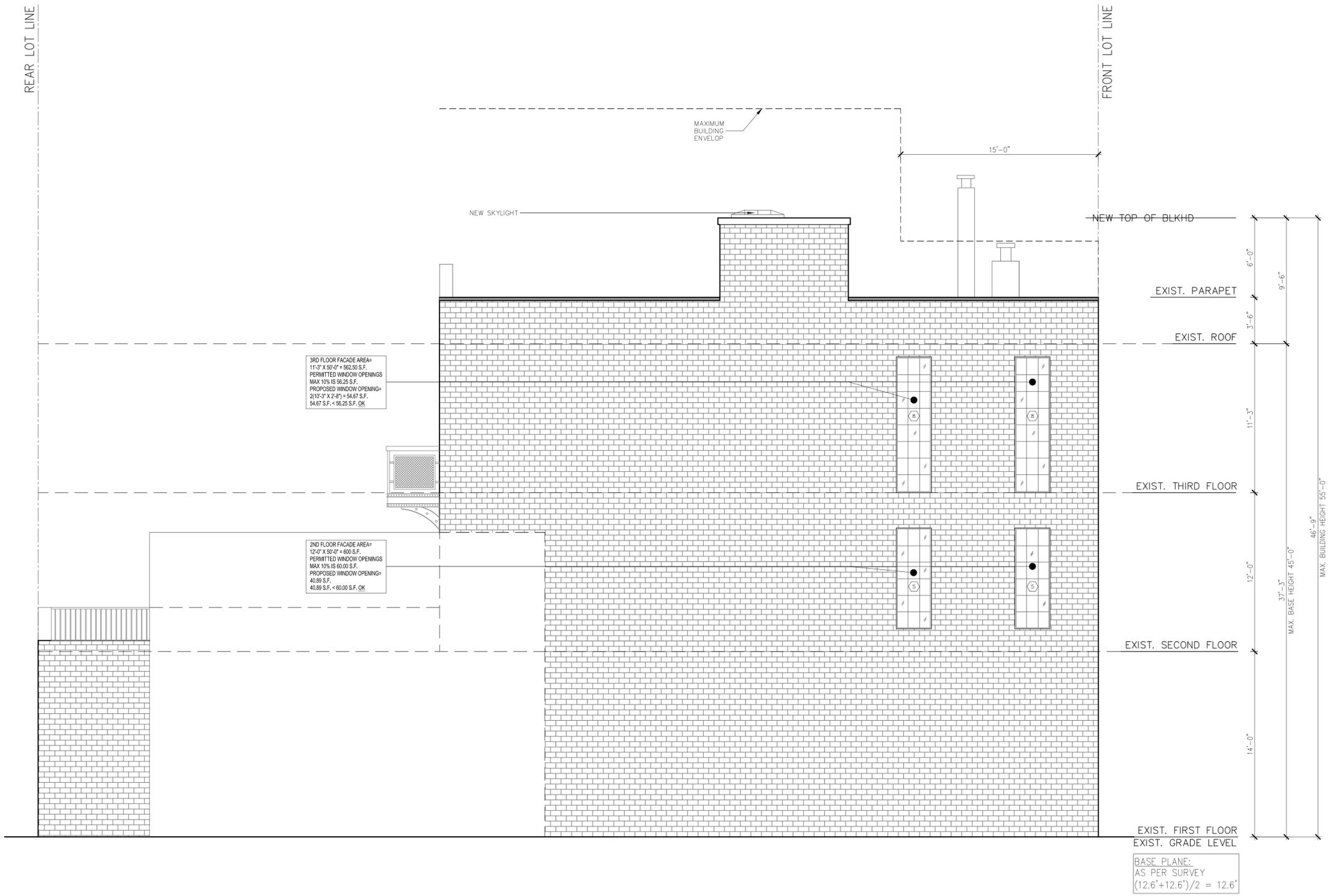
EXIST. THIRD FLOOR

EXIST. SECOND FLOOR

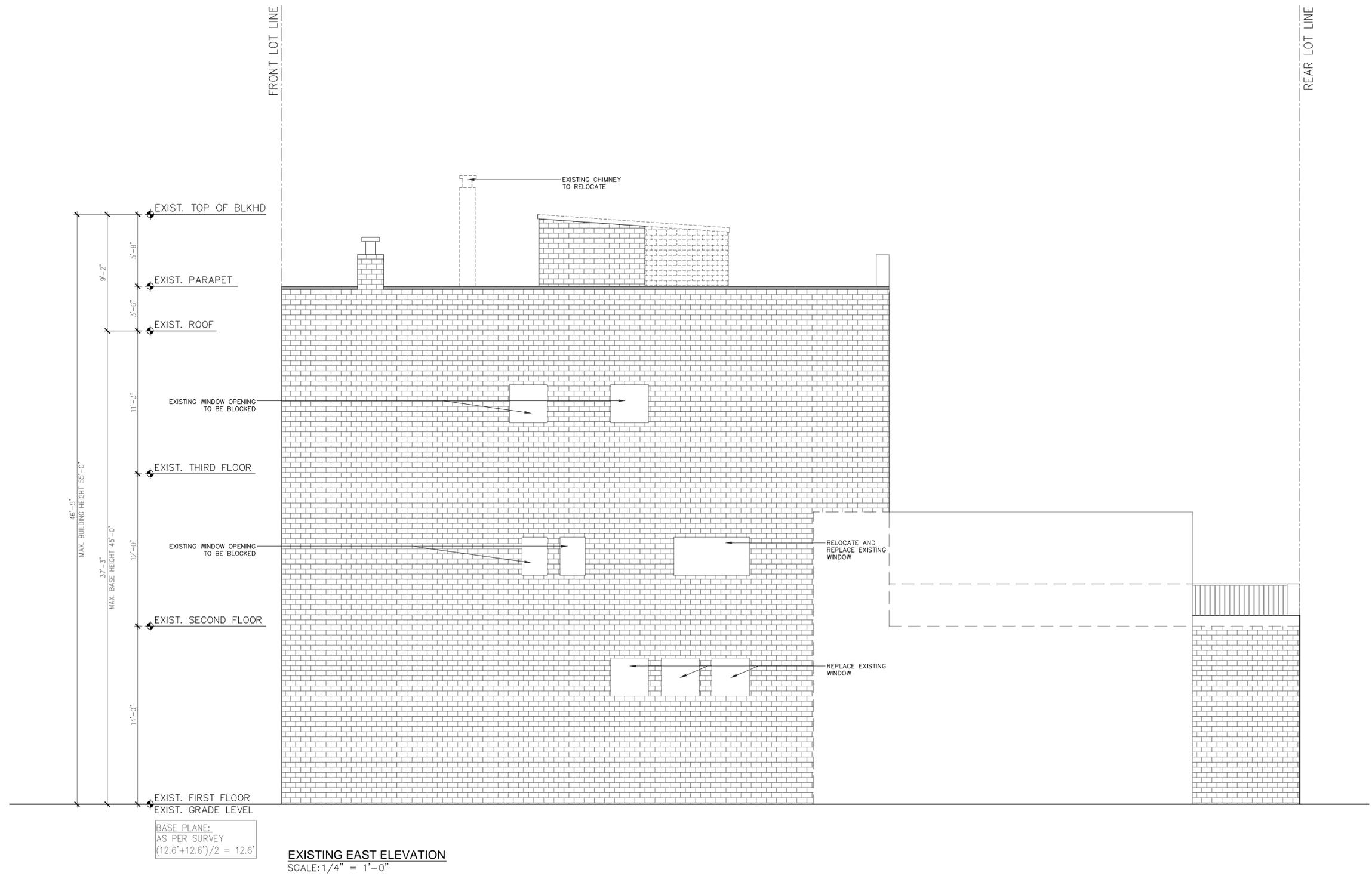
EXIST. FIRST FLOOR
EXIST. GRADE LEVEL

EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

BASE PLANE:
AS PER SURVEY
 $((12.6'+12.6')/2 = 12.6'$



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

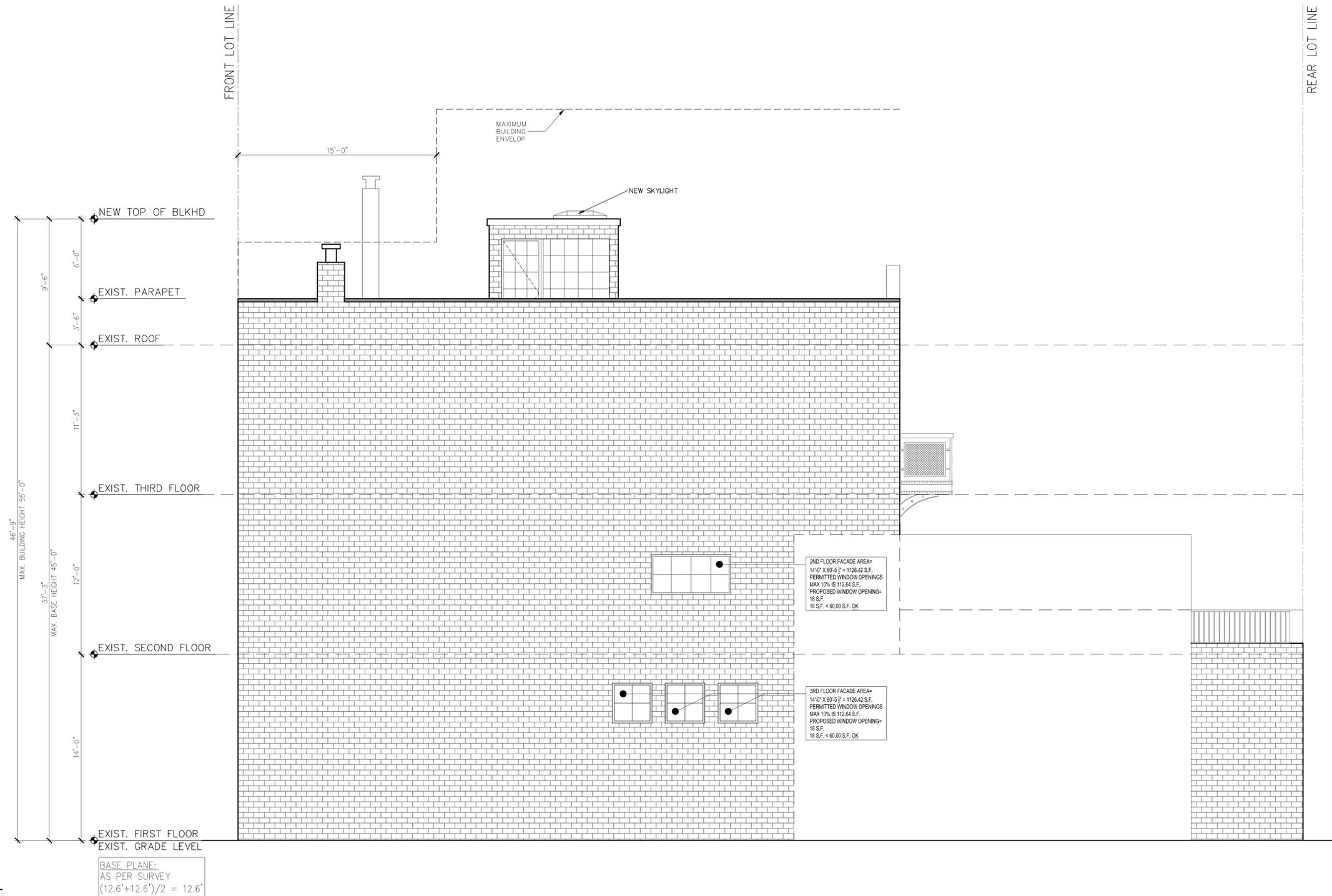


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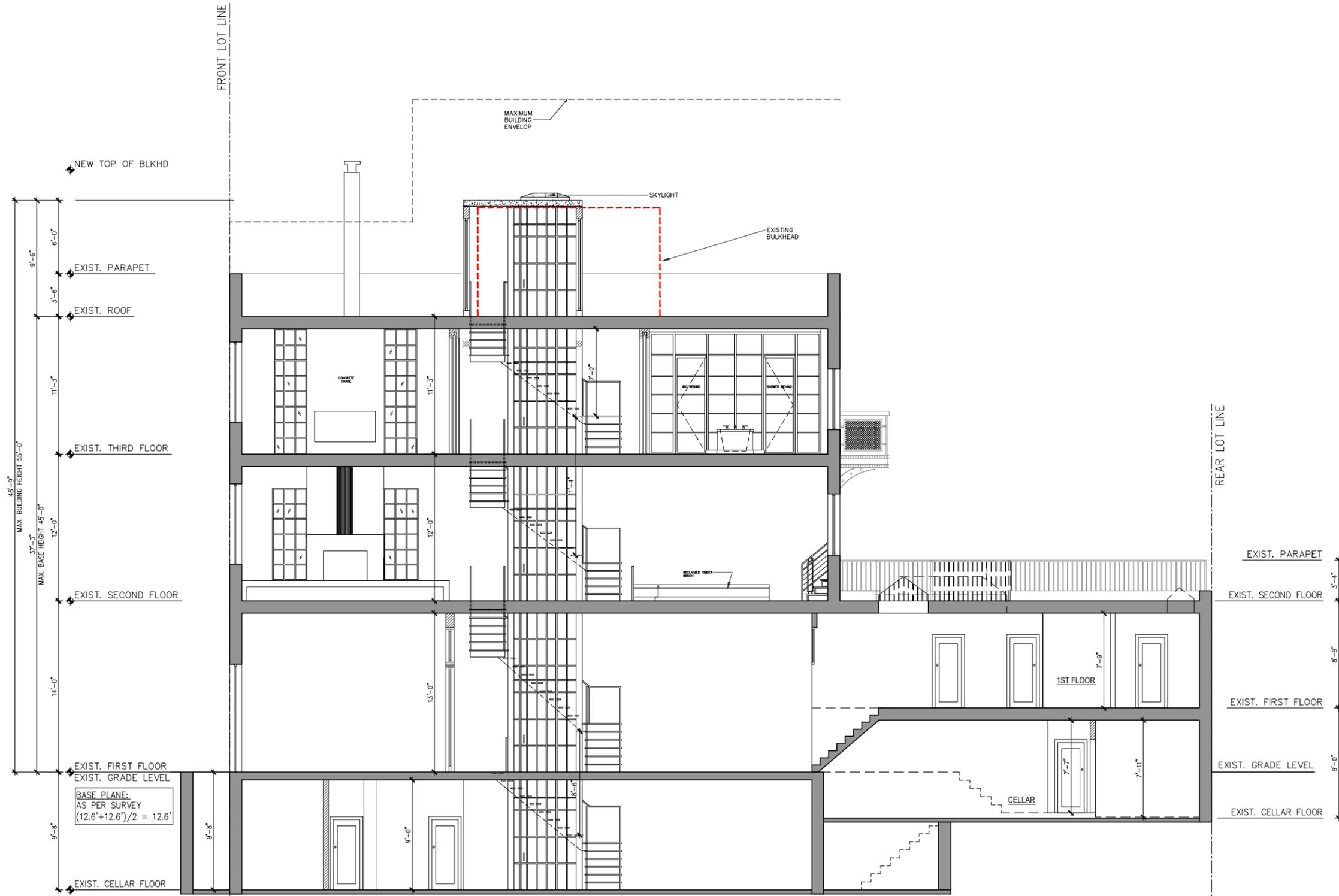
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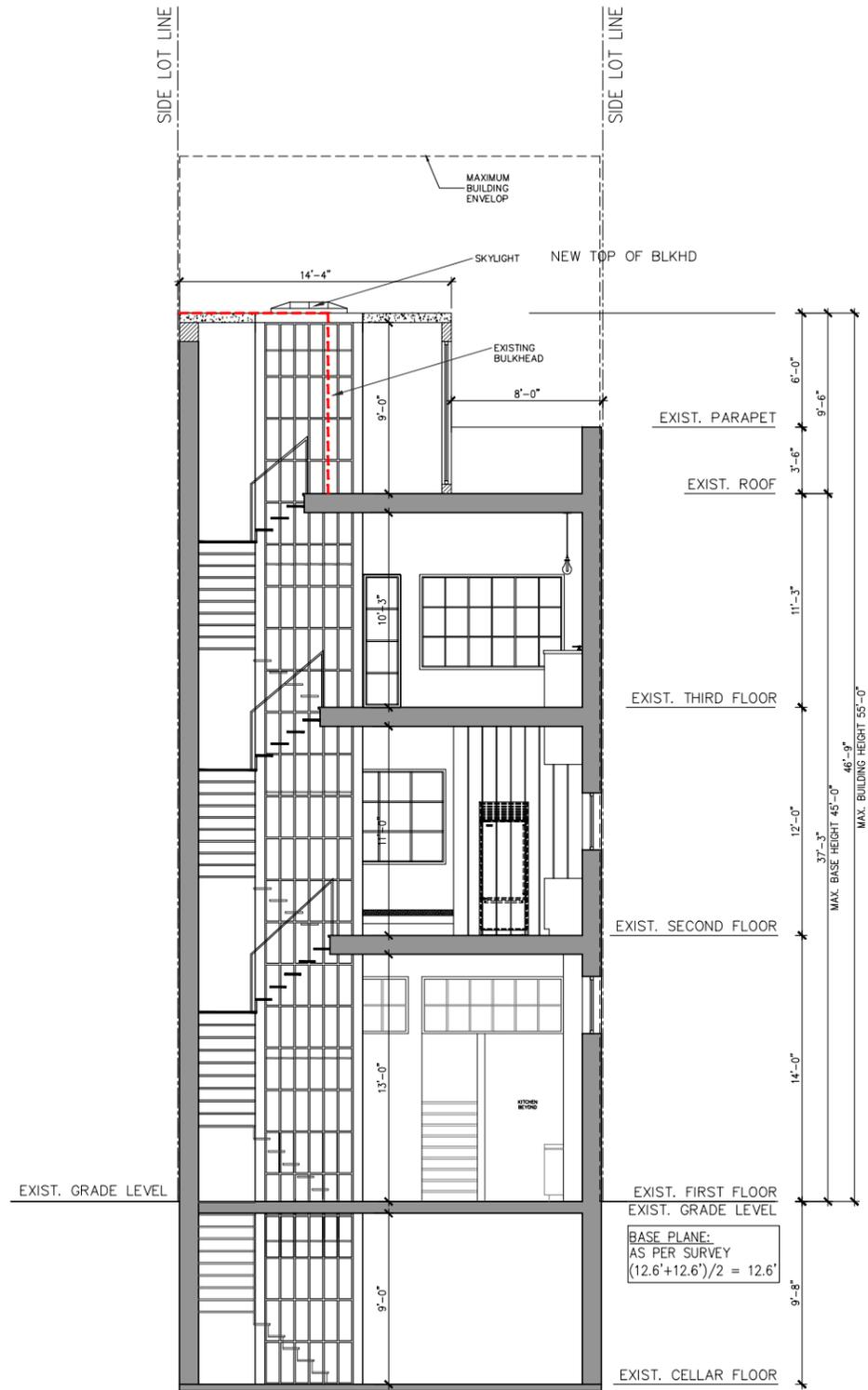
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SECTION A
SCALE: 1/4" = 1'-0"

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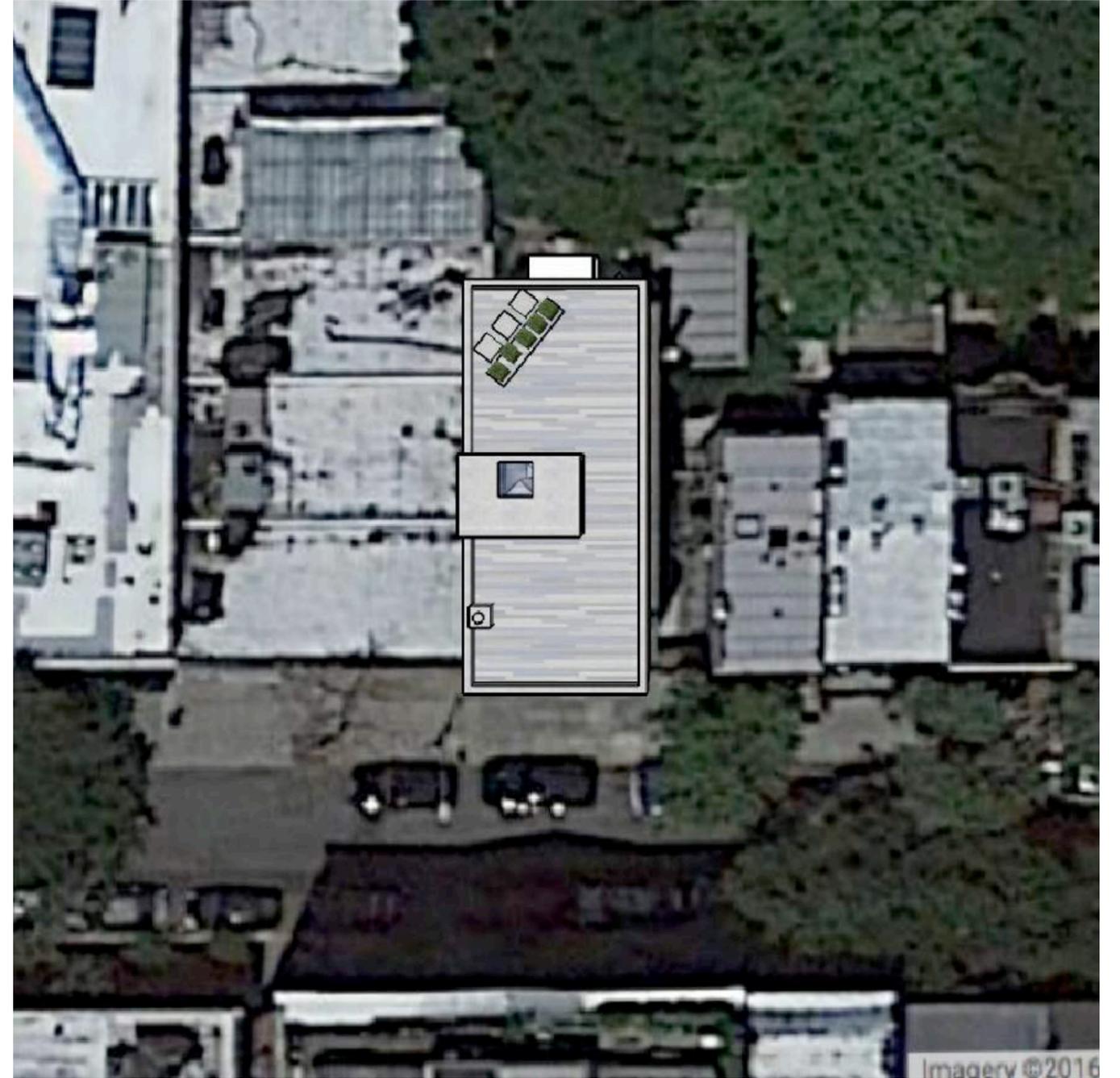
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PROPOSED SECTION B
SCALE: 1/4" = 1'-0"



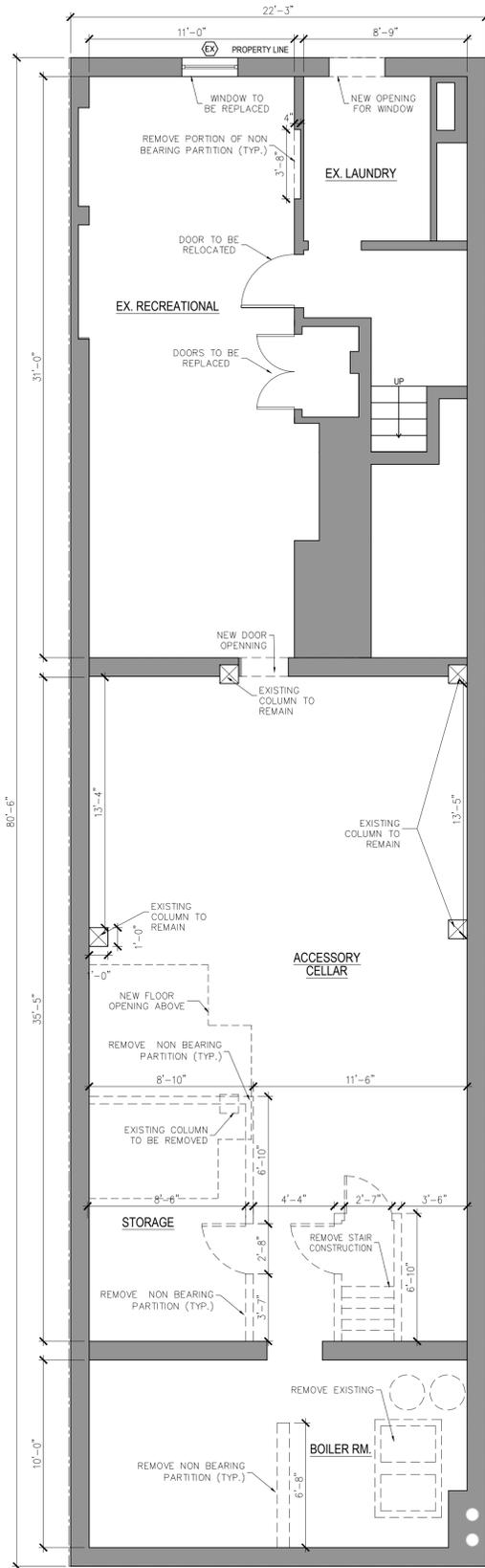
EXISTING ROOF PLAN



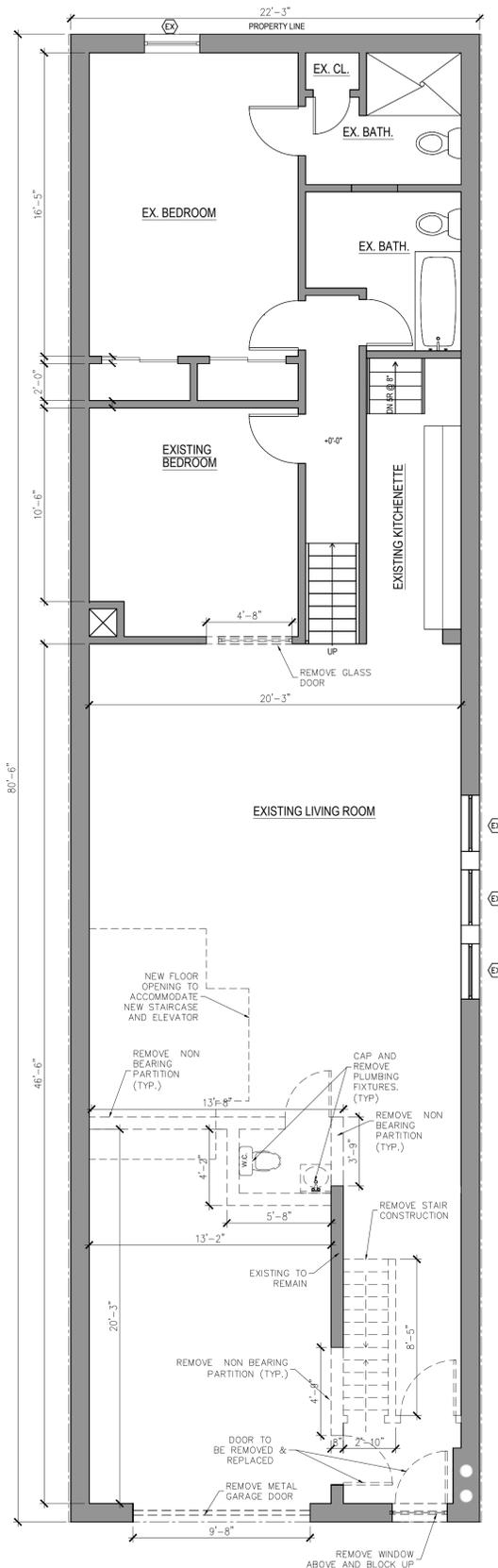
PROPOSED ROOF PLAN

PROPOSED AND EXISTING ROOF CONDITIONS

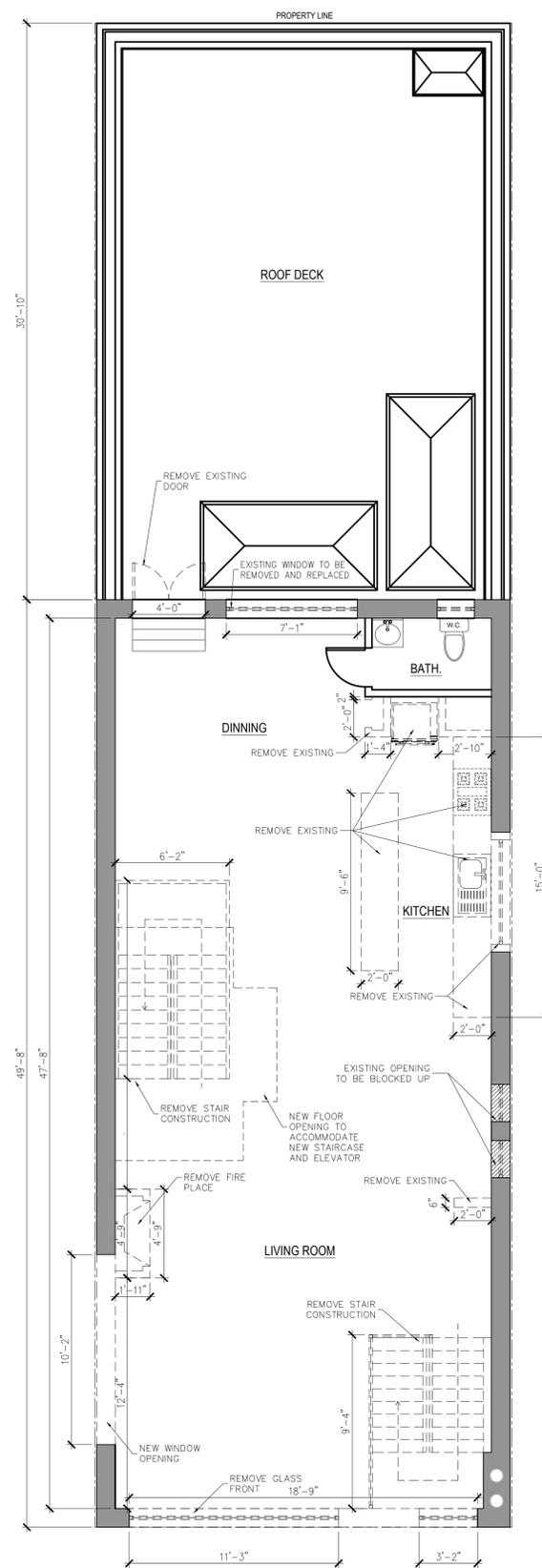
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CELLAR - EXISTING/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR - EXISTING/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR - EXISTING/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND:

-  EXISTING TO BE DEMOLISHED
-  EXISTING TO REMAIN
-  EXISTING DOOR TO BE REMOVED
-  EXISTING DOOR TO REMAIN (NO CHANGES)

GENERAL CONTRACTOR NOTES:

1. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONSTRUCTION BARRICADES AS REQUIRED.
2. ALL DEMOLITION WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER SHORING AND BRACING AS REQUIRED TO SAFELY EXECUTE DEMOLITION WORK.

OWNER/ GENERAL CONTRACTOR NOTES:

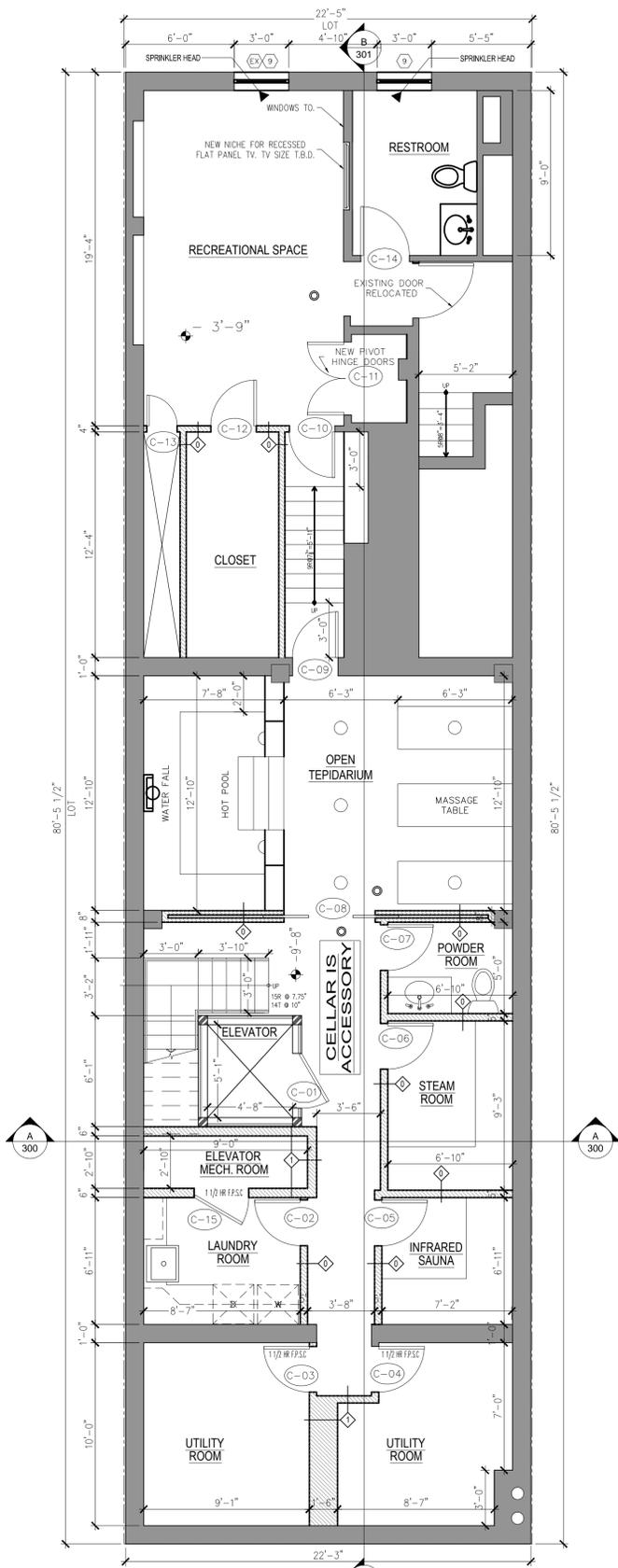
- OWNER TO POST IN ALL CONSPICUOUS AREAS:
- ALL DOB/DOT PERMITS
 - HARD HAT AREA SIGN
 - NO SMOKING SIGN
 - ALL OWNER REQUIRED PERMITS AND SIGNAGE.

GENERAL NOTES:

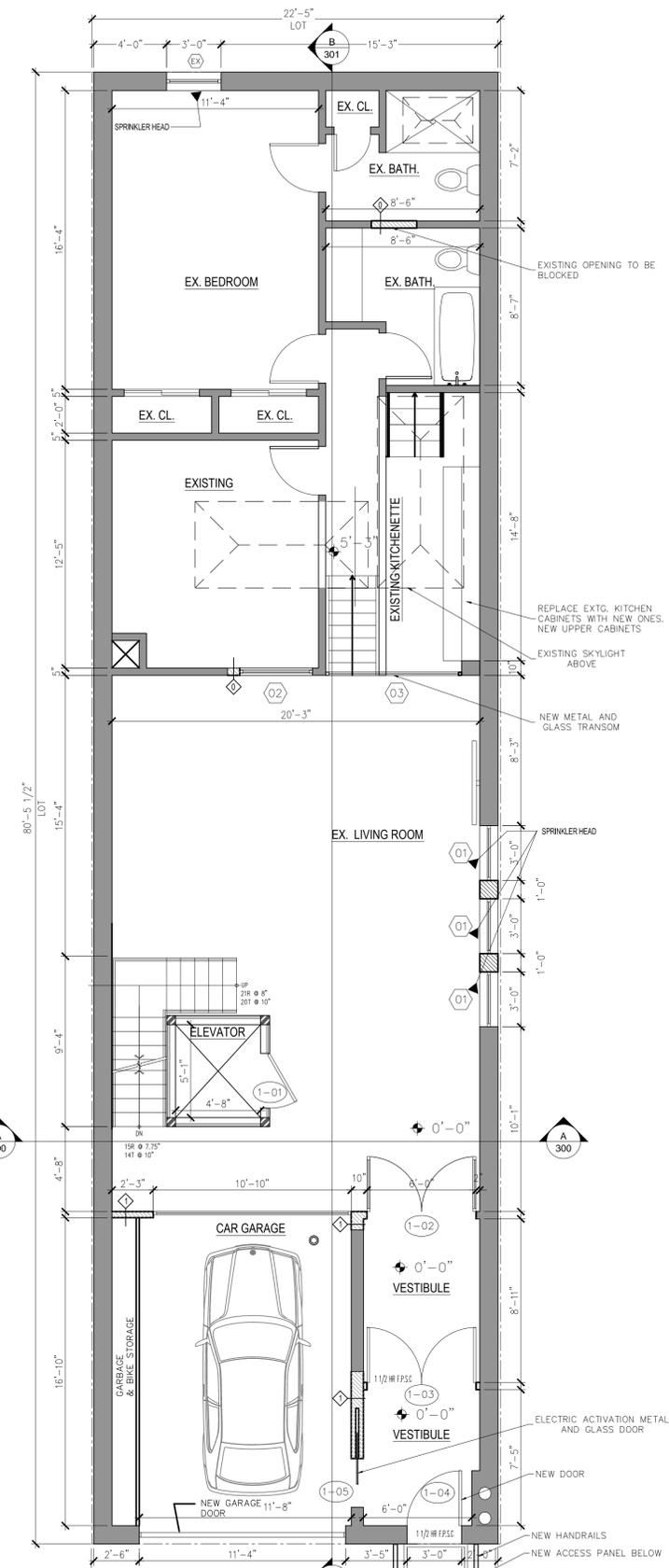
1. ALL EXISTING FIXTURES (KITCHEN & BATHROOM) TO BE REPLACED AND RELOCATED

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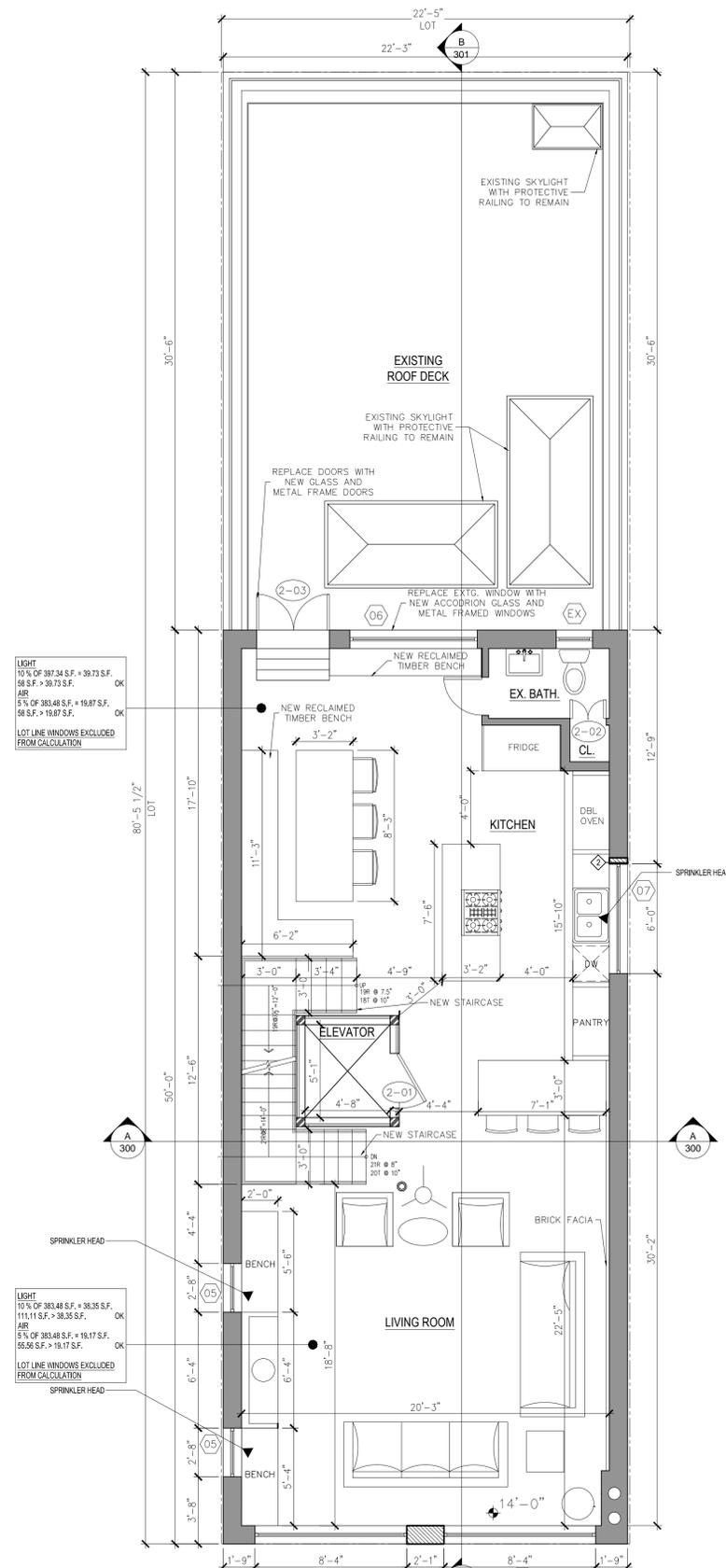
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BETHUNE STREET
CELLAR PROPOSED PLAN
 SCALE: 1/4" = 1'-0"

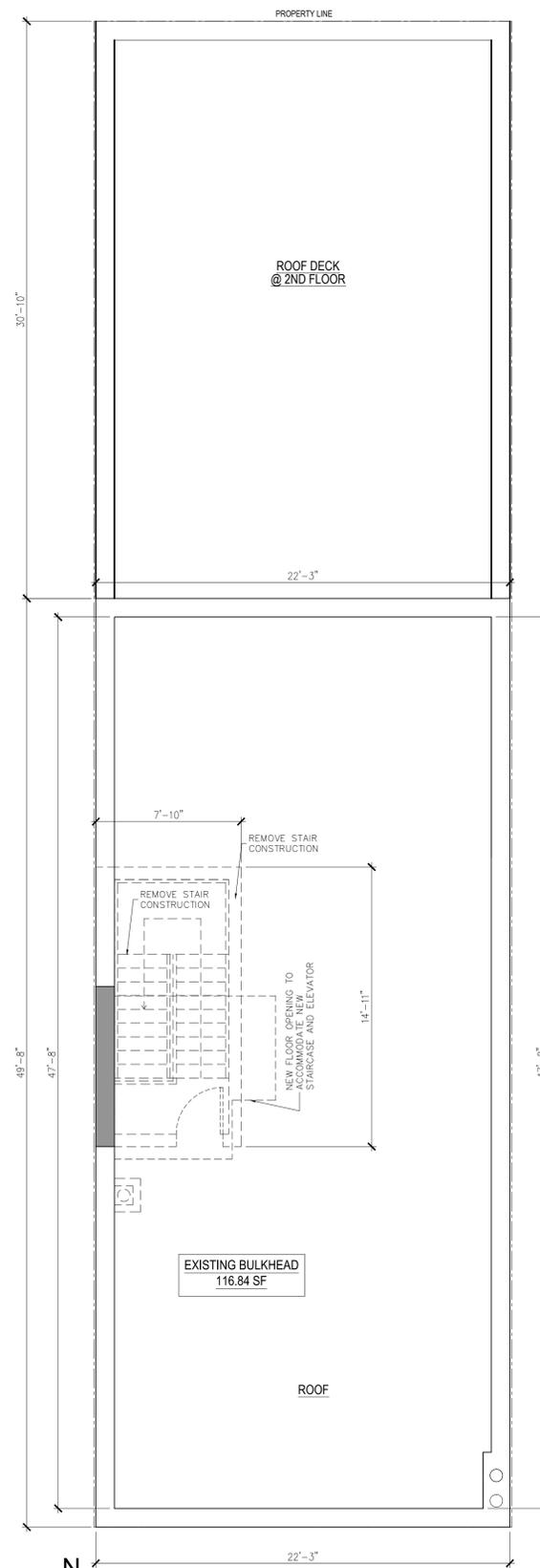
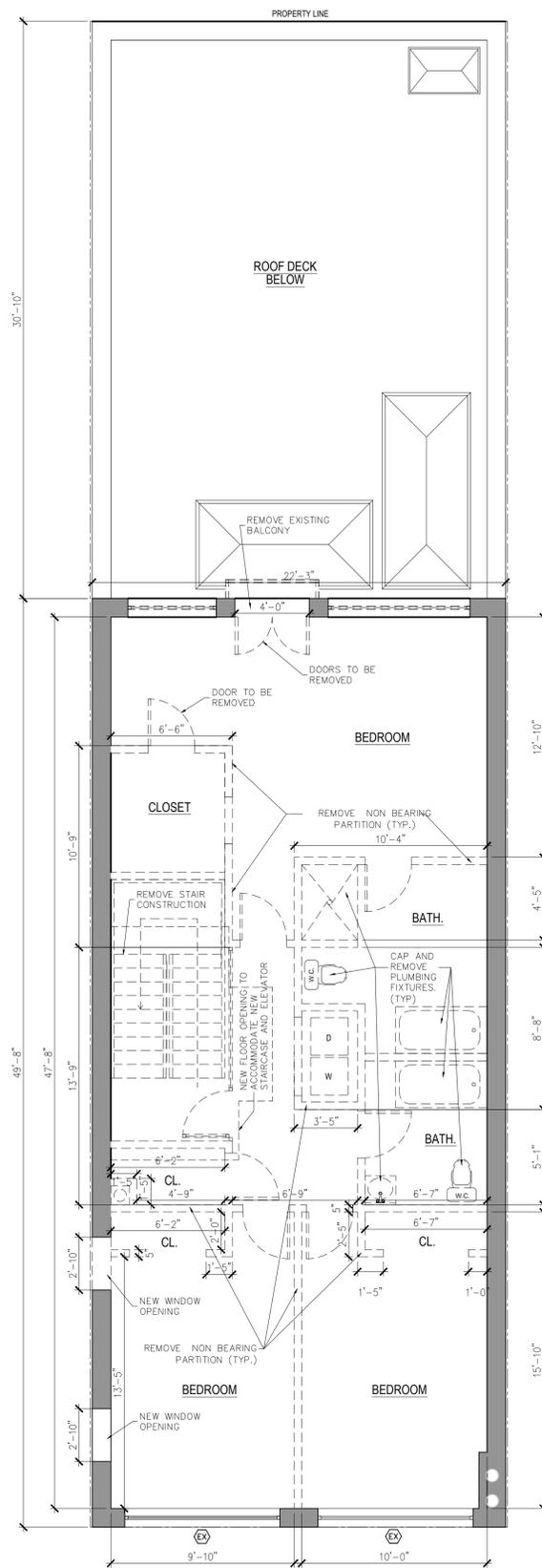


BETHUNE STREET
FIRST FLOOR PROPOSED PLAN
 SCALE: 1/4" = 1'-0"



BETHUNE STREET
SECOND FLOOR PROPOSED PLAN
 SCALE: 1/4" = 1'-0"

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DEMOLITION PLAN LEGEND:

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN (NO CHANGES)

GENERAL CONTRACTOR NOTES:

- GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONSTRUCTION BARRICADES AS REQUIRED.
- ALL DEMOLITION WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER SHORING AND BRACING AS REQUIRED TO SAFELY EXECUTE DEMOLITION WORK.

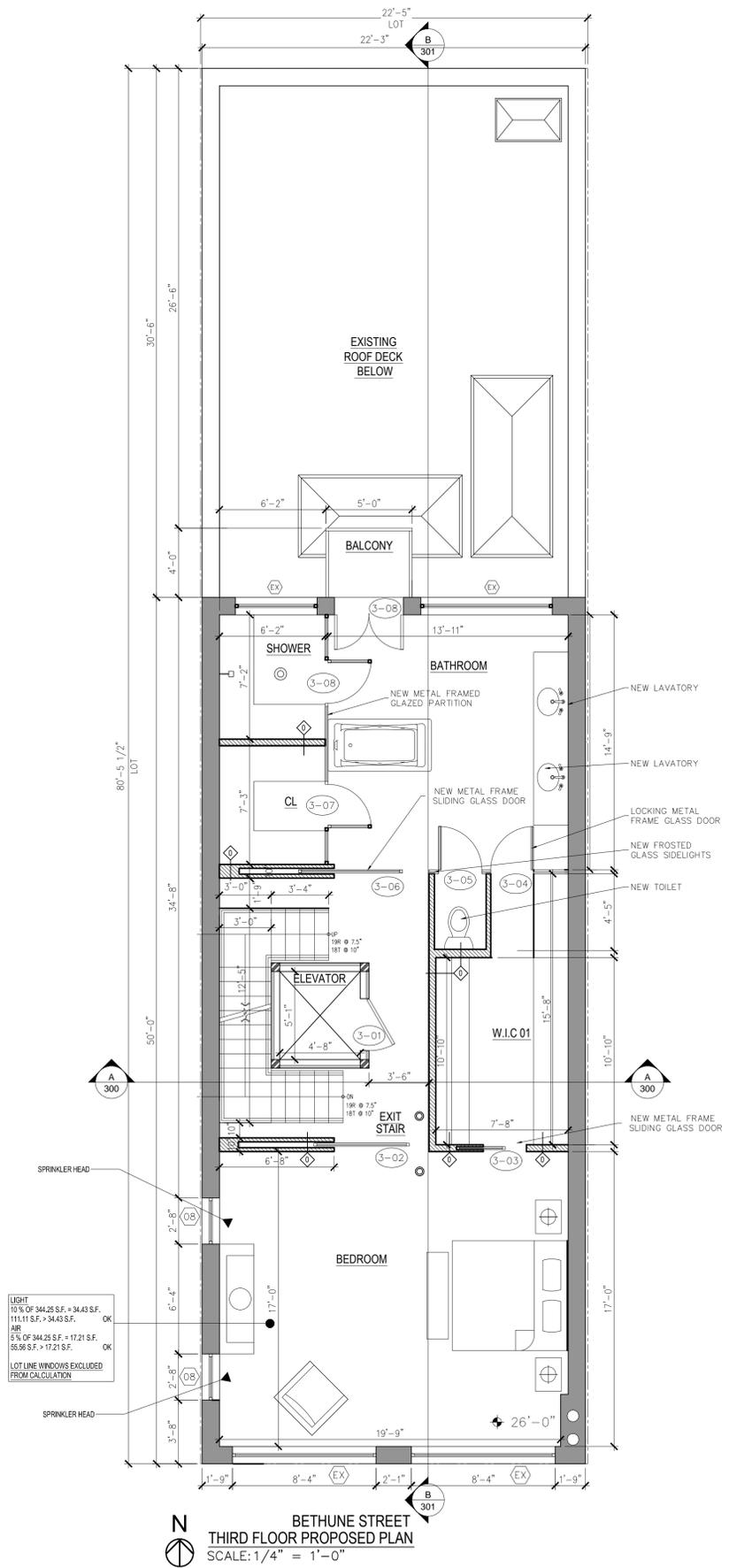
OWNER/ GENERAL CONTRACTOR NOTES:

OWNER TO POST IN ALL CONSPICUOUS AREAS:

- ALL DOB/DOT PERMITS
- HARD HAT AREA SIGN
- NO SMOKING SIGN
- ALL OWNER REQUIRED PERMITS AND SIGNAGE.

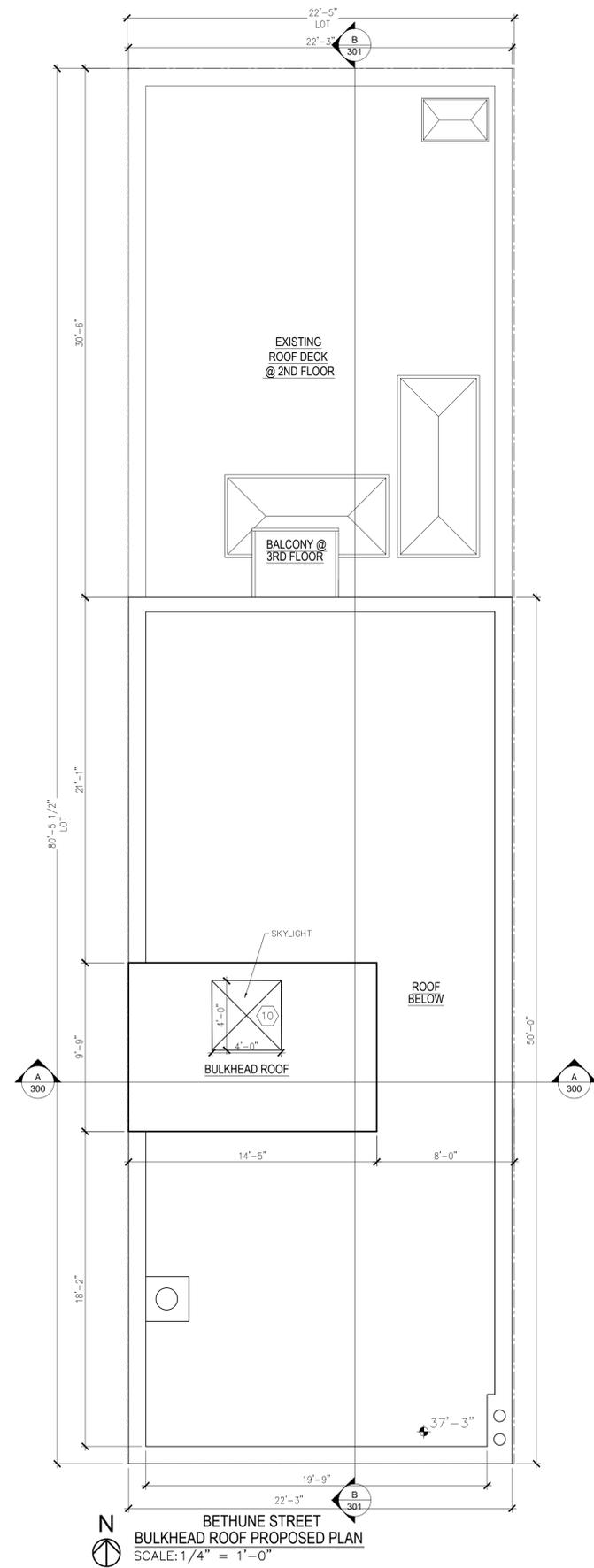
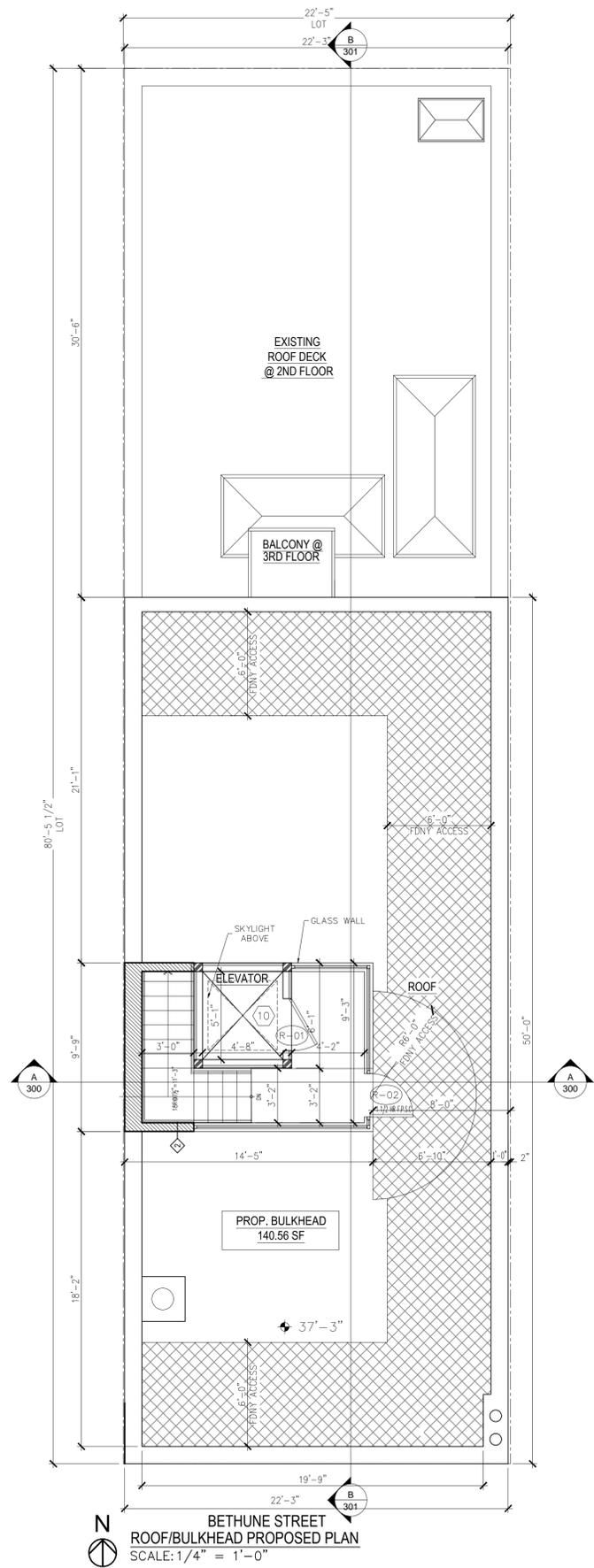
GENERAL NOTES:

- ALL EXISTING FIXTURES (KITCHEN & BATHROOM) TO BE REPLACED AND RELOCATED



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LIGHT
10% OF 344.25 S.F. = 34.43 S.F. OK
111.11 S.F. > 34.43 S.F. OK
5% OF 344.25 S.F. = 17.21 S.F. OK
55.56 S.F. > 17.21 S.F. OK
LOT LINE WINDOWS EXCLUDED FROM CALCULATION



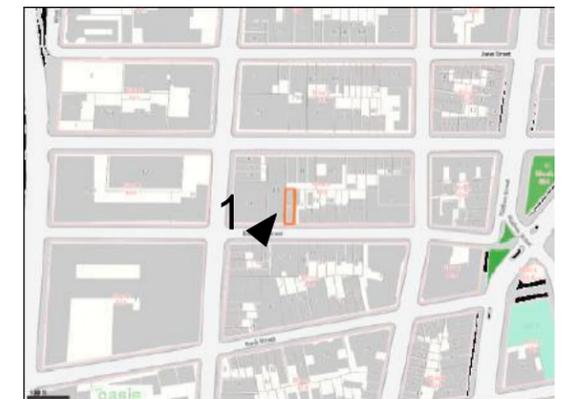
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VIEW 1 - EXISTING



VIEW 1 - MONTAGE

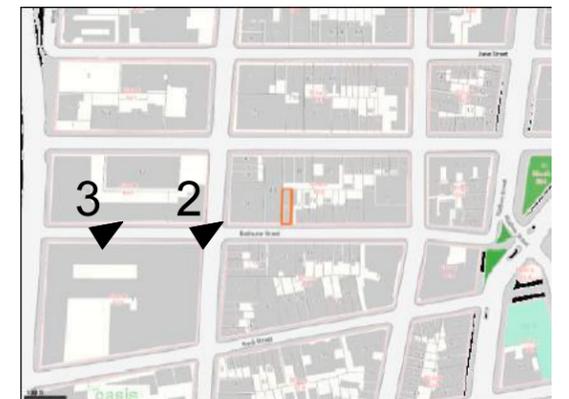




VIEW 2



VIEW 3



VIEW 2&3



VIEW 4



VIEW 4 - CLOSE UP

