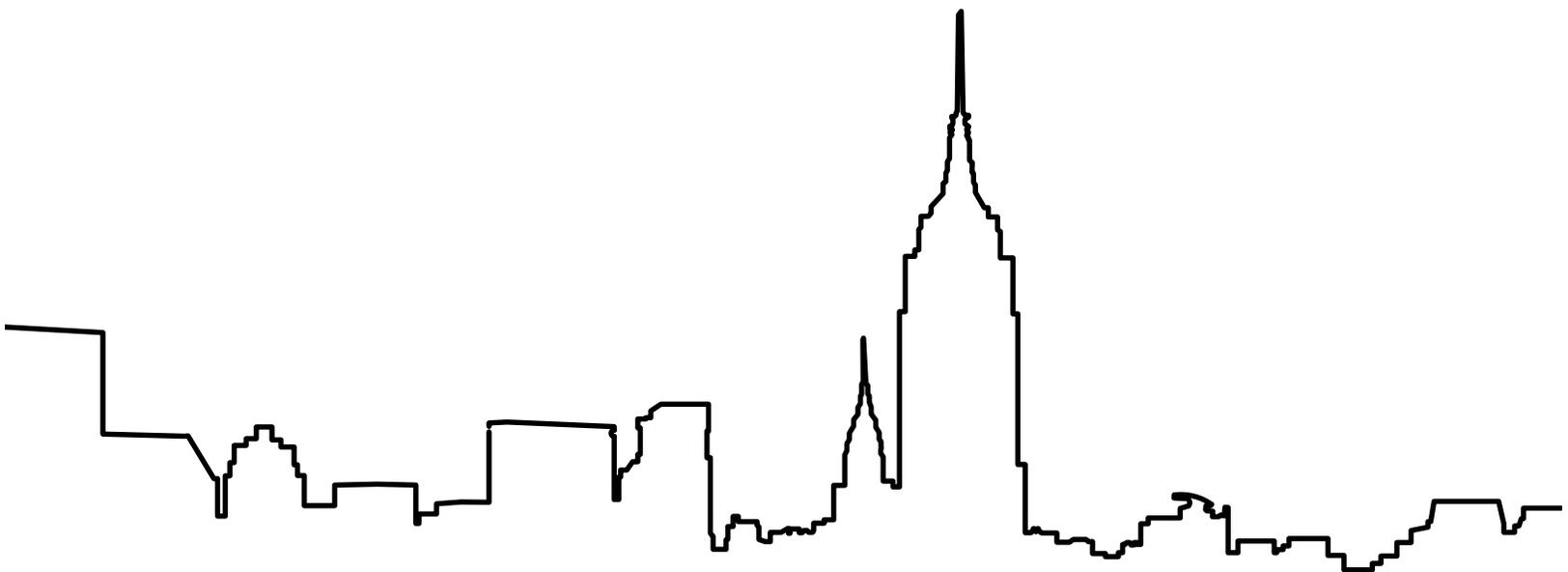


# REAR YARD AND ROOFTOP ADDITIONS

Application Guidelines





The Landmarks Preservation Commission (LPC) is the Mayoral agency charged with designating and regulating individual landmarks and historic districts. The Commission is comprised of a professional staff, and 11 Commissioners who are appointed by the Mayor.

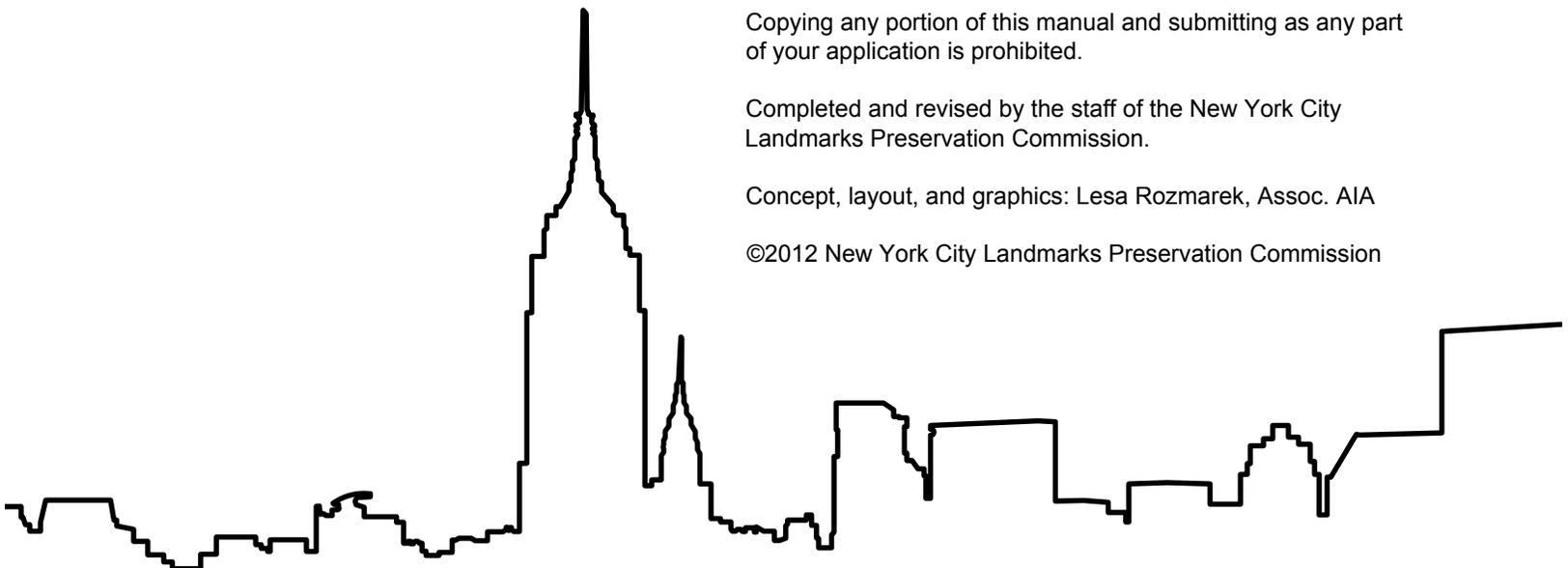
This manual is not a substitute for LPC's Rules and Regulations and does not release owners from obtaining a permit from the Commission. For more information about the permit application process, please visit our website, [www.nyc.gov/landmarks](http://www.nyc.gov/landmarks) or call 311.

Copying any portion of this manual and submitting as any part of your application is prohibited.

Completed and revised by the staff of the New York City Landmarks Preservation Commission.

Concept, layout, and graphics: Lesa Rozmarek, Assoc. AIA

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## Rear Yard Additions

When reviewing proposed rear yard additions, the Commission considers the relationship of the addition to the building in terms of scale, visibility, form and materials, as well as the effect on the significant features of the building. If the building is in a historic district, the Commission also considers the relationship to the surrounding buildings and rear yards.

These principles serve as the basis for [Section 2-16 of the Landmarks Preservation Commission's Rules](#), which govern and specify the criteria for the construction of rear yard additions. This section summarizes the criteria of Section 2-16, and offers guidance on how to submit an application that conforms to them, so you can successfully obtain a staff-level permit for your rear yard addition.

Permit applications that do not conform to Section 2-16 will require a review before the full Commission at a public hearing. For a copy of the Commission's Rules, please visit our website: [www.nyc.gov/landmarks](http://www.nyc.gov/landmarks)

### Design Considerations

It's important to keep in mind that the Commission evaluates applications for proposed rear yard additions or enlargements in terms of how well they respond to the following questions:

- **Will significant features be removed to accommodate the addition?**  
Your application should include photos of the rear façade and the significant features of the façade and the condition of each significant feature.
- **How visible is the addition from the public thoroughfare?**  
The application should describe the visibility of the addition. This description could include photos of the roof and the building from surrounding streets, computer-generated renderings and a site plan. Once your application is submitted, the staff may ask you to construct a mock-up.
- **What is the scale of the addition relative to the building and the adjacent buildings?**  
Your application should include existing and proposed rear elevations showing the existing building and the adjacent buildings, building section drawings, floor plans, and renderings.
- **What is the effect of the addition on the central green space?**  
Your application should include a full block plan at a large scale, color coded to describe the number of floors of each building and addition, and photographs of other rear façades within the block.
- **Does the proposed addition comply with the New York City Zoning Resolution?**  
All applications for occupiable additions must include a copy of an objections sheet from the Department of Buildings that indicates compliance with the Zoning Resolution.

## Rear Yard Additions

### A staff-level permit can be issued if the proposed rear yard addition:

- Has no effect on existing features like corbelled brickwork, decorative lintels or sills, and projecting bays
- Does not extend to the rear lot line or substantially eliminate the presence of a rear yard
- Projects as much as or less than other additions on the block and the majority of other houses on the block have additions that project as much as or more than the proposed addition.
- Does not rise to the full height of the building
- Is not taller than the predominant height of existing additions or enlargements in the block
- Does not involve the removal of the entire width of the building's rear façade, and instead would widen existing rear openings for access
- Retains the scale and character of an individual rowhouse
- Is either not visible or minimally visible from a public thoroughfare or right-of-way

### All Other Rear Additions

Your application may be reviewed by the full Commission at a public hearing if it does not meet one or more of the LPC's criteria for rear additions. The staff preservationist assigned to your application will help you prepare your presentation and determine which descriptive materials are needed to clearly explain your project, and will schedule a public hearing date as soon as those materials have been collected.

Please note that the descriptive materials required for a Commission-level permit are the same as those required for a staff-level permit, except that they should be in a large-scale format and mounted on foam-core boards or presented in Power Point or other software presentation program. See Appendix C for details on the public hearing process.

Anyone can comment on your proposal at the public hearing. You may respond to those comments, as well as to questions from individual Commissioners, who will discuss the proposal and either vote to approve it, deny it or request revisions, which can be presented at a subsequent public hearing.

## Application Checklist for Rear Yard Additions

Below is a list of required descriptive materials for your proposed rear yard addition. These materials will help the Commission evaluate the impact of your proposal on the associated landmark site. Examples of some of the required materials are available in the Sample Application Materials section of this chapter.

- Permit application form signed by the building owner
- Color photographs of the existing rear and front façades, and, if applicable, any significant features on the rear façade.
- Drawings of existing and proposed rear elevations of the building and the rear façades of the adjacent buildings
- Building section drawings
- Floor plans that include the rear yard
- Full block plan, at large scale, indicating the number of floors of other additions on the block
- Visibility studies of the rear façades from public thoroughfares
- If you have met all of the requirements and staff has confirmed you are able to receive a staff-level approval, you must submit two sets of filing drawings signed and sealed by a licensed architect or engineer if the proposed work requires a Department of Buildings permit.

**An LPC staff preservationist will contact you if additional materials are required.**

**In case you are self-certifying at the Department of Buildings, please submit a rear yard affidavit. (See sample on page 8 of this chapter)**

## Rooftop Additions

When reviewing proposed rooftop additions, the Commission considers the relationship of the addition to the building in terms of scale, visibility, form and materials, as well as on the significant features of the building. If the building is in a historic district, the Commission also considers the relationship to the surrounding buildings and rear yards.

Rooftop additions include not only "occupiable" space, but also rooftop-mounted mechanical equipment. Please note there are different specifications for each. In addition, there are different specifications for individual landmarks and buildings that are located in historic districts.

These principles and definitions are outlined in [Section 2-19 of the Landmarks Preservation Commission's Rules](#), which govern and specify the criteria for the construction of rooftop additions. This section summarizes the criteria of Section 2-19, and offers guidance on how to submit an application that conforms to them, so you can successfully obtain a staff-level permit for your rooftop addition.

Permit applications that do not conform to Section 2-19 will require a review before the full Commission at a public hearing. For a copy of the Commission's Rules, please visit our website: [www.nyc.gov/landmarks](http://www.nyc.gov/landmarks)

### Mechanical Equipment

The Commission considers rooftop HVAC units to be mechanical rooftop additions. It is important to note that HVAC units installed on rooftops are **not** covered by Section 2-11 of the Landmarks Preservation Commission's Rules, which covers the installation of heating, ventilation, and air conditioning elsewhere on the landmark site.

Mechanical additions include, but are not limited to, heating, venting and air conditioning equipment, water tanks and their supporting structures, satellite dishes, stair and elevator bulkheads, screens, dunnages, baffles and other accessory installations, unenclosed decks, garden trellises, pergolas, or associated railings, and solar and wind technologies.

**PLEASE NOTE:** This rule does not apply to telecommunications equipment or conventional television antennas.

### Design Considerations

It is important to keep in mind that the Commission evaluates applications for proposed rooftop additions or enlargements in terms of how well they respond to the following considerations and questions:

- **Does the addition preserve a sense of the original volume of the building?**  
To ensure that it does, the addition should be set back from the front façade and at least 3 feet from the rear façade.
- **Does the scale of the addition overwhelm the building?**  
The Commission's staff can approve rooftop additions that are no more than one story and no more than 11 feet above the roof of the building. Taller additions would require a review by the full Commission.
- **How visible is the addition from the public thoroughfare?**  
The application should describe the visibility of the addition. This description could include photos of the roof and the building from surrounding streets, computer-generated renderings and a site plan. Once your application is submitted, the staff may ask you to construct a mock-up.
- **Does it comply with the New York City Zoning Resolution?**  
All applications for occupiable additions must include a copy of the DOB Objections Sheet to show there are no zoning objections before a permit can be issued.

## Rooftop Additions

### A staff-level permit can be issued if the proposed rooftop addition:

- Does not result in damage to, or the demolition of a significant architectural feature of the historic building, such as a pitched roof, a historic dormer or skylight
- Is not visible from a public thoroughfare
- Does not adversely affect significant architectural features of adjacent improvements
- Has no outstanding Department of Buildings objections for use or bulk
- Is no more than one story with a height of no more than 11 feet above the roof of the structure on which it is to be constructed
- Is set back at least 3 feet from the plane of the rear façade
- Is not to be constructed on a structure with a grandfathered rear yard addition or enlargement, a rear yard addition or enlargement approved by the LPC staff pursuant to Section 2-16 of the Landmarks Preservation Commission's Rules, or a rear yard addition or enlargement approved by the full Commission

### All Other Rooftop Additions

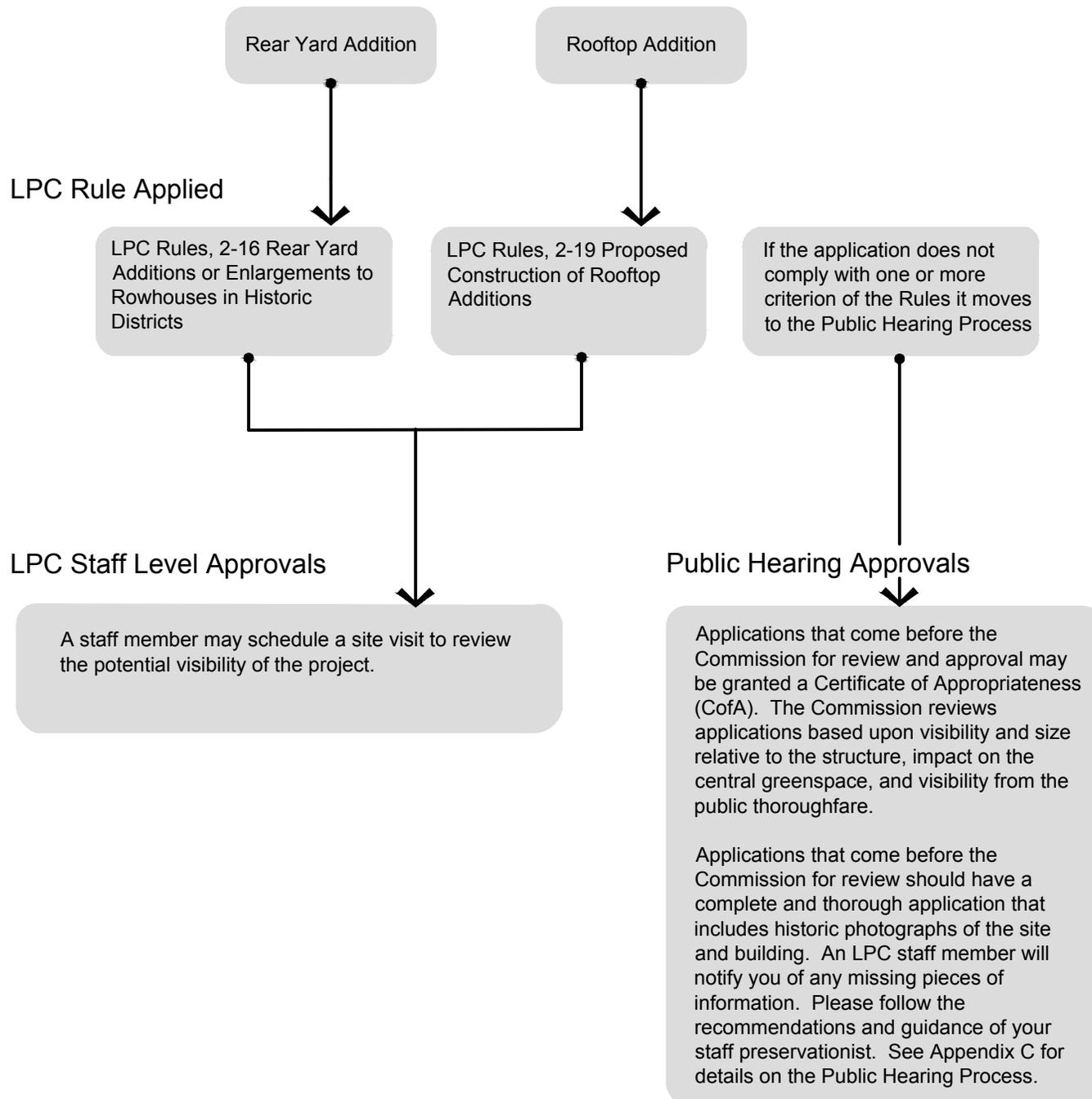
Your application may be reviewed by the full Commission at a public hearing if it does not meet one or more of LPC's criteria for a rooftop addition. The staff preservationist assigned to your application will help you prepare your presentation and determine which descriptive materials are needed to clearly explain your project, and will schedule a public hearing date as soon as those materials have been collected.

Please note that the descriptive materials required for a Commission-level permit are the same as those required for a staff-level permit, except that they should be in a large-scale format and mounted on foam-core boards or presented in Power Point or other software presentation program. See Appendix C for details on the public hearing process.

Anyone can comment on your proposal at the public hearing. You may respond to those comments, as well as to questions from individual Commissioners, who will discuss the proposal and either vote to approve it, deny it or request revisions, which can be presented at a subsequent public hearing.

## Rear Yard and Rooftop Additions Application Review Process

The type of addition is a



## Application Checklist for Rooftop Additions

Below is a list of required descriptive materials for your proposed occupiable or mechanical rooftop addition. These materials will help the Commission evaluate the impact of your proposal on the associated landmark site. Examples of some of the required materials are available in the Sample Application Materials section of this chapter.

- Permit application form signed by the building owner
- Color photographs of the existing roof and from surrounding points on the street to determine the potential visibility of the proposed rooftop addition
- Color photographs of the existing building showing the building façade
- A mock-up will be required for **any occupiable addition**, and may be required for mechanical additions. (Please note that a Department of Buildings permit may be required for the construction of the mock-up)
- Existing and proposed building section drawings
- Existing and proposed floor and roof plans showing the rooftop addition(s)
- Existing and proposed elevations for occupiable additions
- Sightline section drawings, taken from a 6-foot eye level, from any point where the addition may be visible
- Sightline section drawings of any oblique views from either side of the subject property, from which the addition may be visible
- A rendering of the proposed addition, if it is visible from a public thoroughfare
- Color and material sample(s)
- If you have met all of the requirements and staff has confirmed you are able to receive a staff-level approval, you must submit two sets of filing drawings signed and sealed by a licensed architect or engineer if the proposed work requires a Department of Buildings permit.

**An LPC staff preservationist will contact you if additional materials are required.**

**In case you are self-certifying at the Department of Buildings, please submit a rooftop affidavit.  
(See sample on page 8 of this chapter)**

# Sample Affidavit

## Architect/Engineer Letterhead

Landmark Preservationist  
Landmarks Preservation Commission  
1 Centre Street, 9th Floor North  
New York, NY 10007

RE: LPC Docket Number: \_\_\_\_\_  
DOB Application Number: \_\_\_\_\_  
123 Main Street  
New York, NY  
Block: \_\_\_\_\_ Lot: \_\_\_\_\_

Dear (Staff person):

I hereby attest that I am self-certifying at the Department of Buildings the above-referenced project and that I have personally examined the application and plans and any other required documentation relating to the above-referenced proposed work and to the best of my knowledge and belief, find said work to be in compliance with the Zoning Resolution of the City of New York, Titles 26 and 27 of the Administrative Code of the City of New York (Building Code) and all other applicable laws, rules and regulations.

I further state that the proposed work is as-of-right with respect to bulk, lot coverage, height, setbacks, yards and other criteria governing size, bulk and configuration of the proposed structure and requires no reconsideration or variance from the New York City Board of Standards and Appeals.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

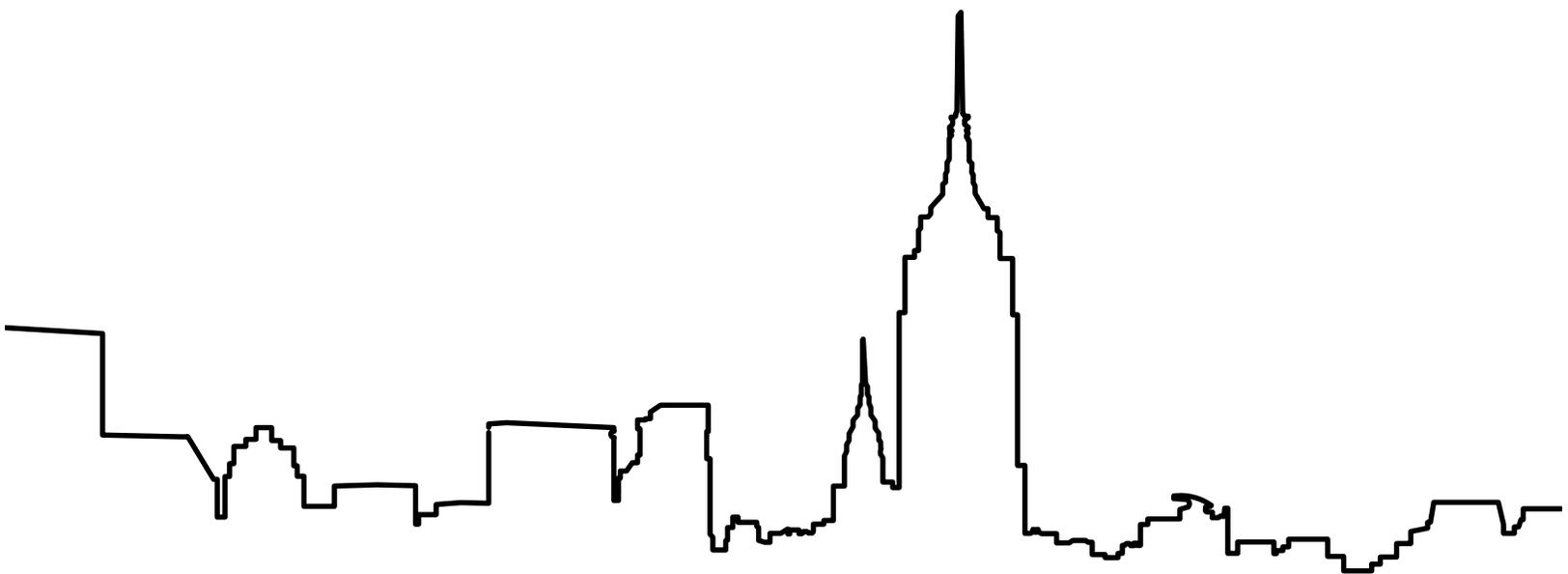
Falsification of any statement is a misdemeanor under Section 25-317(c) of the Administrative Code and is punishable by fine or imprisonment or both.

(Revised 2/03)

# REAR YARD AND ROOFTOP ADDITIONS

Sample Application Materials

Rear Yard and Rooftop Addition  
Mechanical Rooftop Addition





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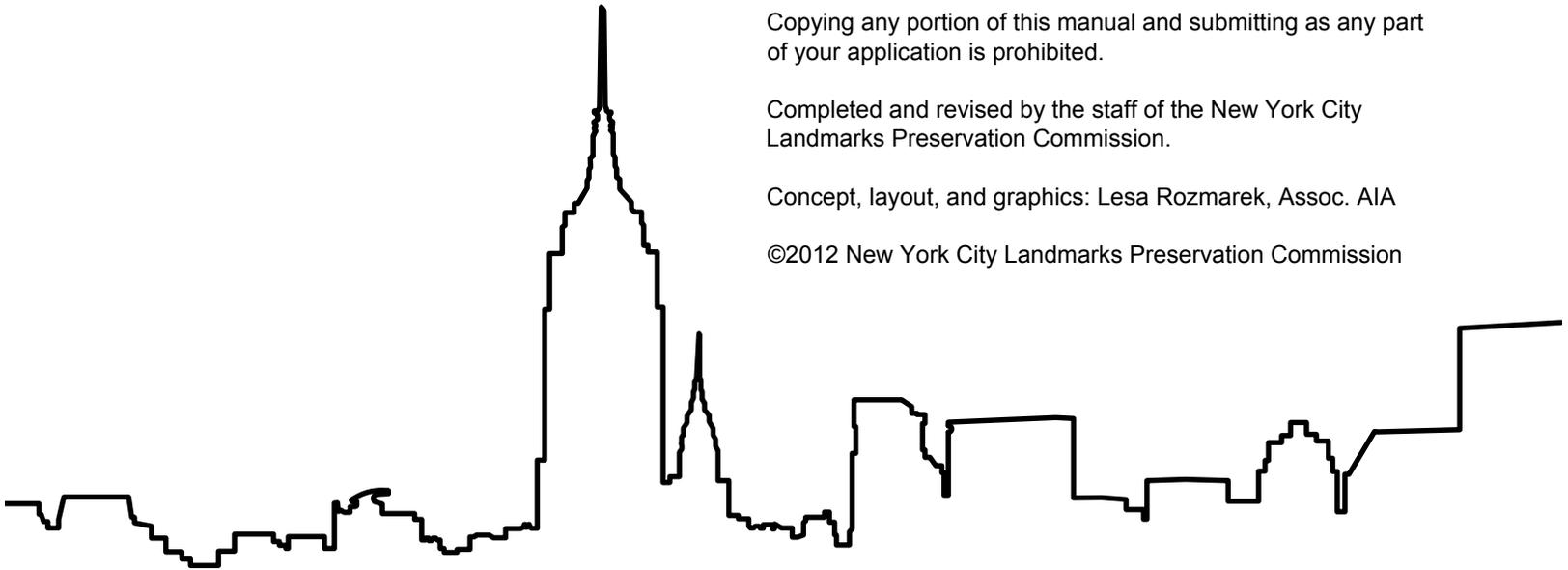
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Completed and revised by the staff of the New York City Landmarks Preservation Commission.

Concept, layout, and graphics: Lesa Rozmarek, Assoc. AIA

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ADDITION  
PHOTOSHOPPED IN



*With much appreciation, drawings courtesy of  
Hottenroth + Joseph Architects*

## REAR YARD AND ROOFTOP ADDITION

1220 E. 93rd ST., NEW YORK, NEW YORK

Block Photographs Showing  
Addition in Context

ADDITION  
PHOTOSHOPPED IN



*With much appreciation, drawings courtesy of  
Hottenroth + Joseph Architects*

**REAR YARD AND ROOFTOP ADDITION**  
1220 E. 93rd ST., NEW YORK, NEW YORK

**Block Photographs**

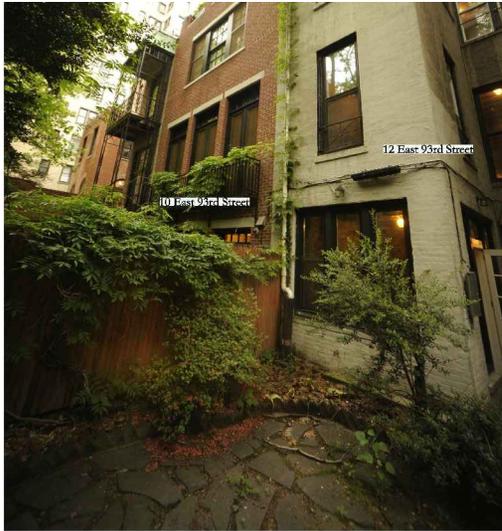


PHOTO 5 - REAR FACADE

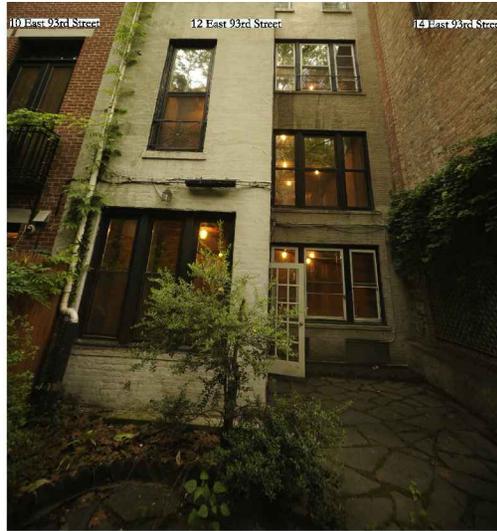


PHOTO 6 - REAR FACADE



PHOTO 7 - REAR FACADE



PHOTO 8 - REAR FACADE  
10 East 93rd Street



PHOTO 9 - REAR FACADE  
14 East 93rd Street

*With much appreciation, drawings courtesy of  
Hottenroth + Joseph Architects*

**REAR YARD AND ROOFTOP ADDITION**  
1220 E. 93rd ST., NEW YORK, NEW YORK

**Building Photographs**



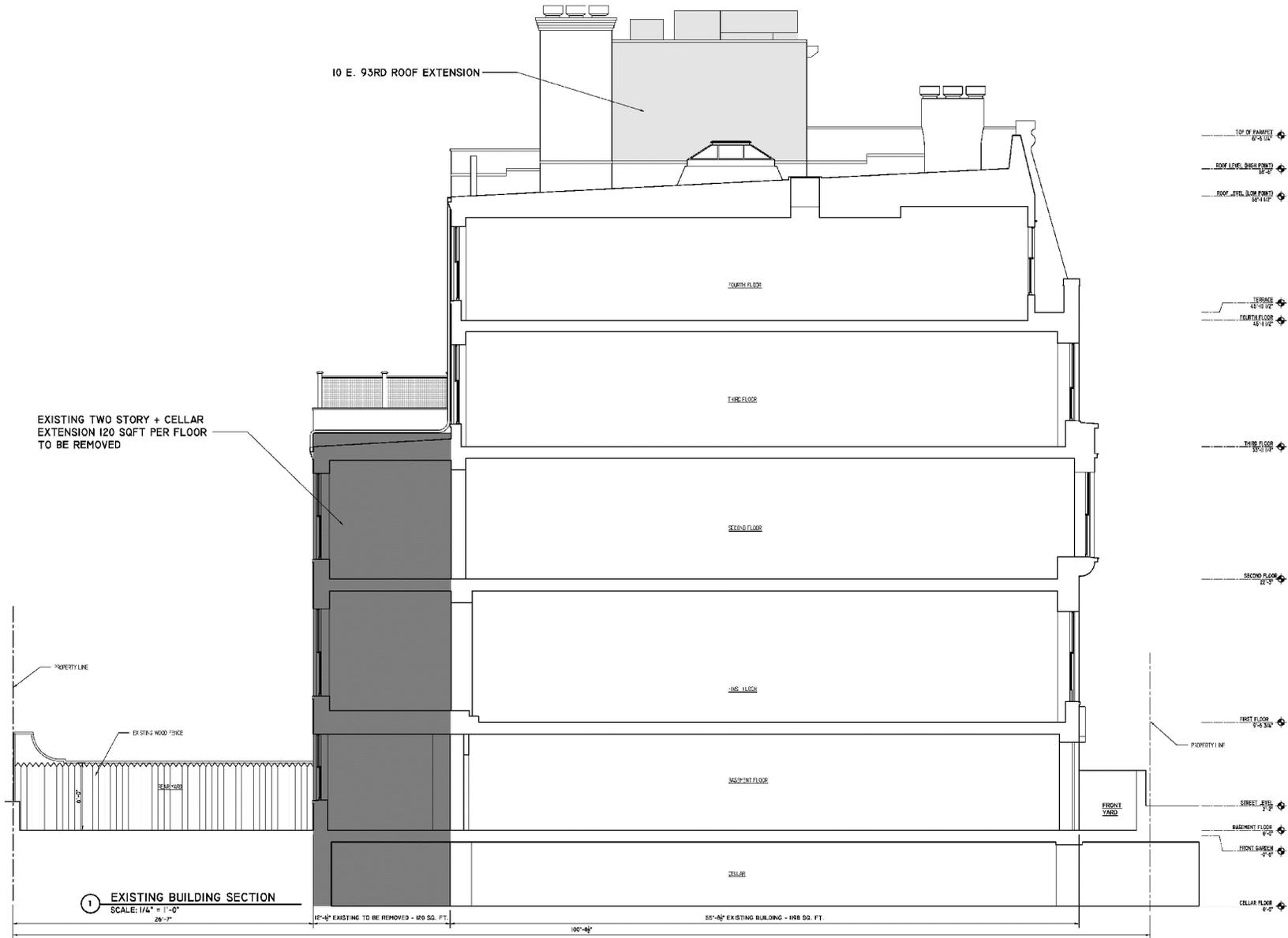


*With much appreciation, drawings courtesy of  
Hottenroth + Joseph Architects*

**REAR YARD AND ROOFTOP ADDITION**  
1220 E. 93rd ST., NEW YORK, NEW YORK

**Proposed Elevation Drawing**



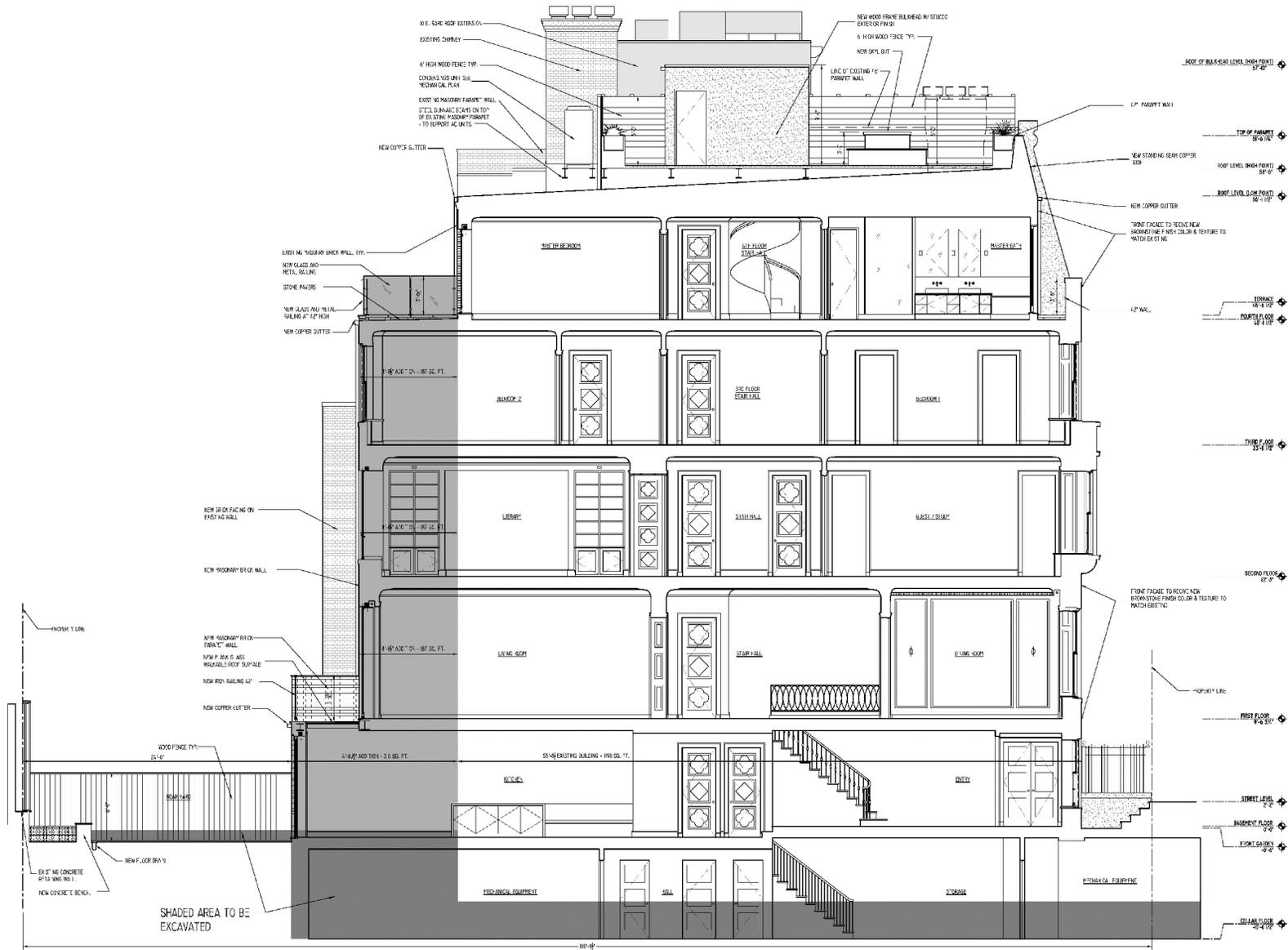


With much appreciation, drawings courtesy of  
Hottenroth + Joseph Architects

# REAR YARD AND ROOFTOP ADDITION

1220 E. 93rd ST., NEW YORK, NEW YORK

## Existing Section

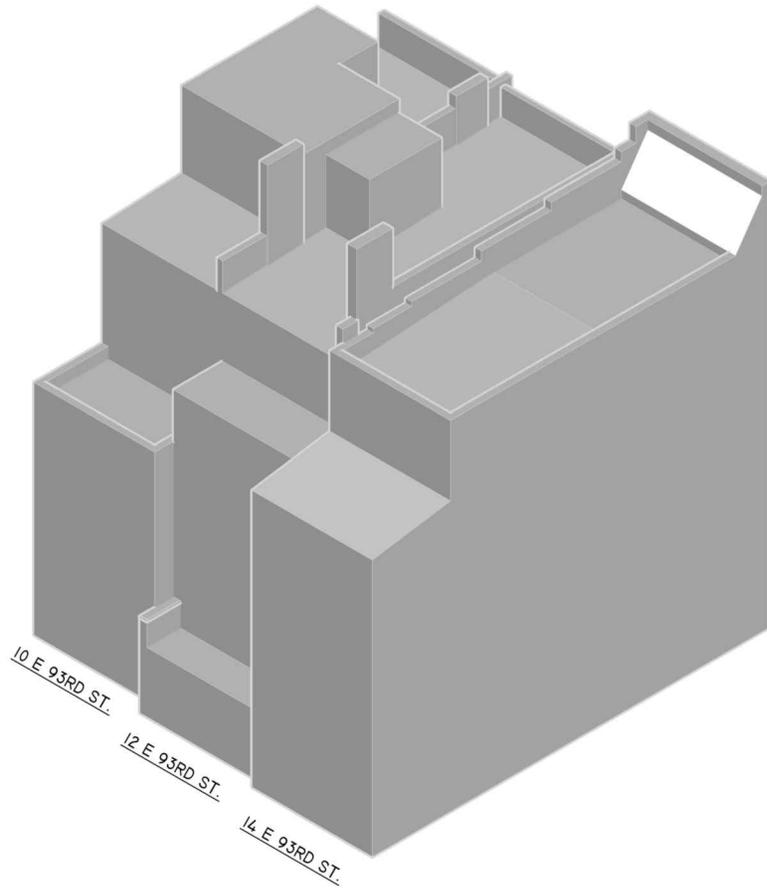


With much appreciation, drawings courtesy of  
**Hottenroth + Joseph Architects**

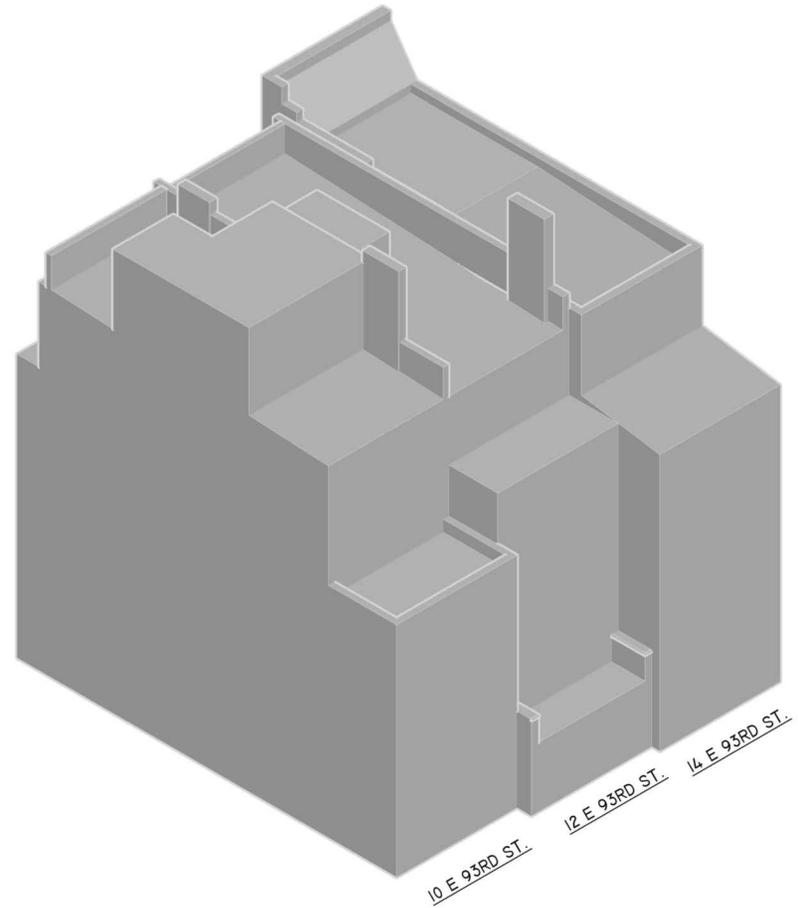
**REAR YARD AND ROOFTOP ADDITION**  
 1220 E. 93rd ST., NEW YORK, NEW YORK

**Proposed Section**





① PROPOSED REAR ADDITION  
SCALE: 1/8" = 1'-0"



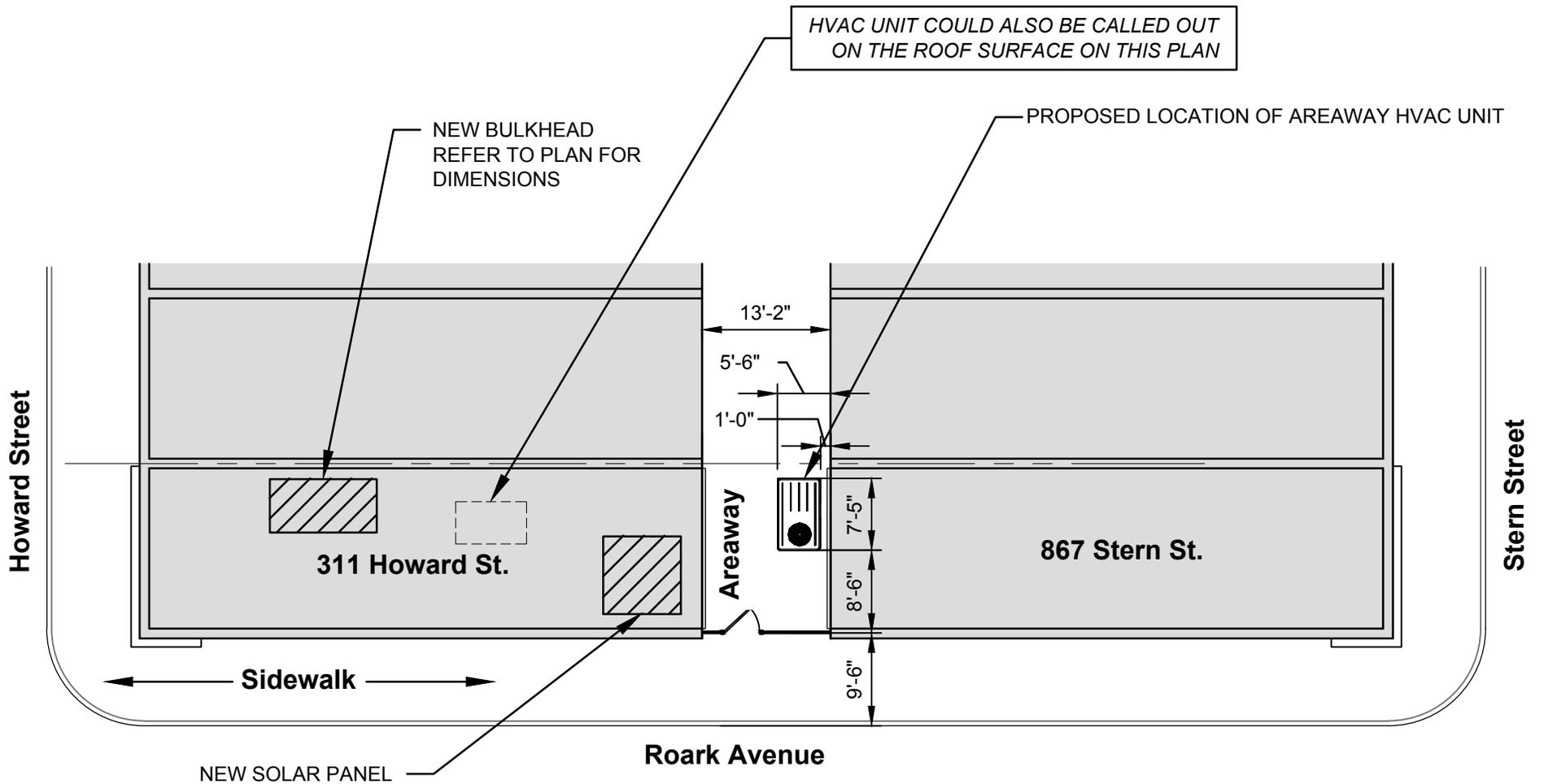
② PROPOSED REAR ADDITION  
SCALE: 1/8" = 1'-0"

*With much appreciation, drawings courtesy of  
Hottenroth + Joseph Architects*

## REAR YARD AND ROOFTOP ADDITION

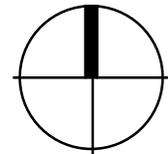
1220 E. 93rd ST., NEW YORK, NEW YORK

Alternate Project Views



**1** Site Plan  
**A210** Scale: 1/8"=1'-0"

*Be sure to locate through dimensions where the new HVAC unit will be positioned on the site or building.*



**MECHANICAL ROOFTOP ADDITION**  
 311 HOWARD ST., NEW YORK, NEW YORK

Site Plan

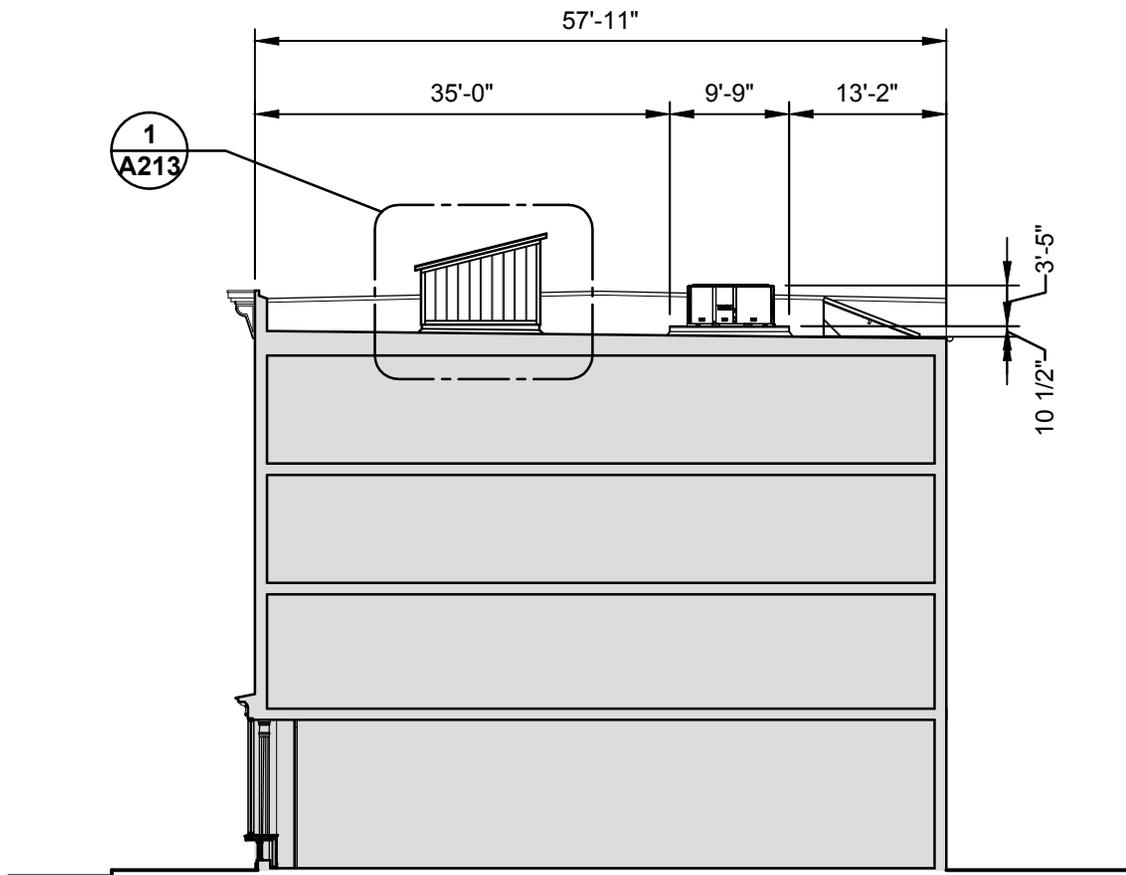
NEW ROOFTOP HVAC UNIT TO BE LOCATED HERE



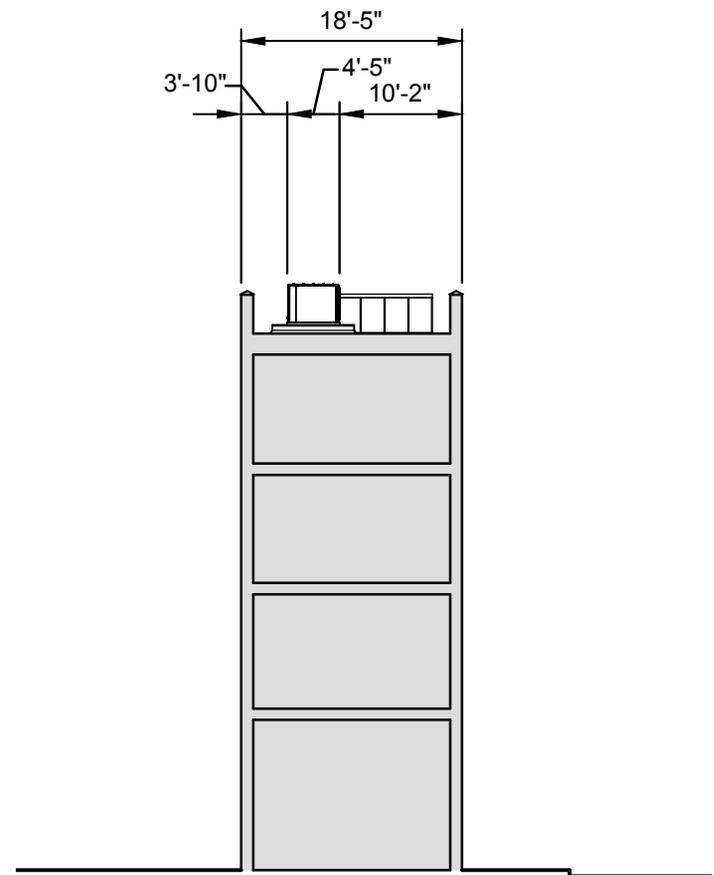
Taken from the intersection of Roark Avenue and Howard Street looking down Roark Avenue



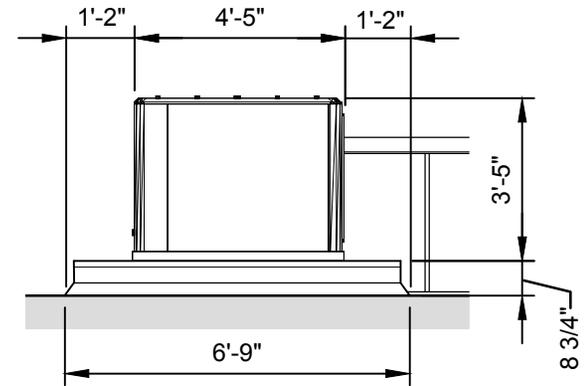
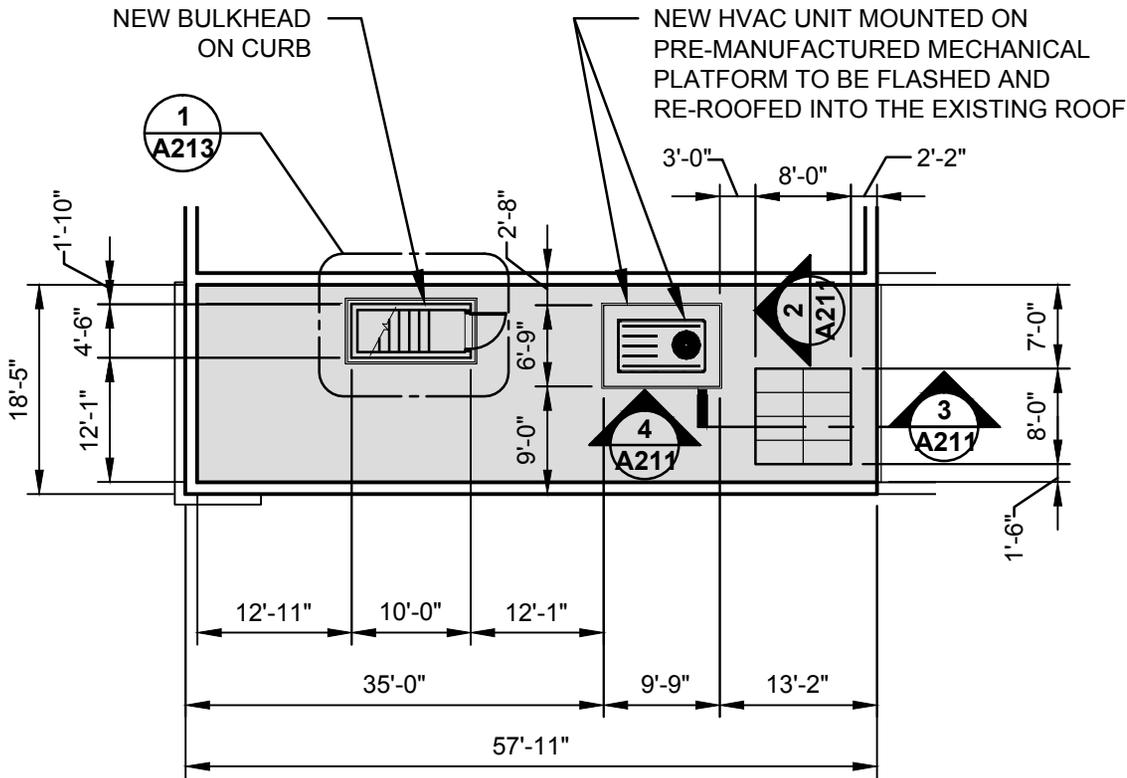
Taken from Roark Avenue looking towards Howard Street and the rear elevation of the project site



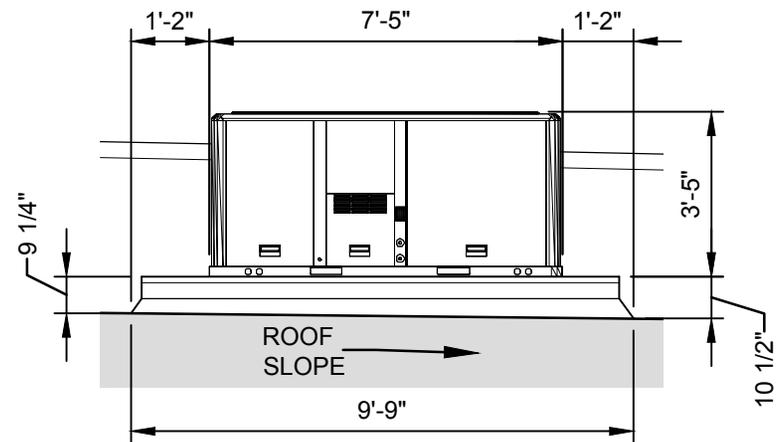
**1**  
**A212** Longitudinal Section  
Scale: 1/8"=1'-0"



**2**  
**A212** Transverse Section  
Scale: 1/8"=1'-0"

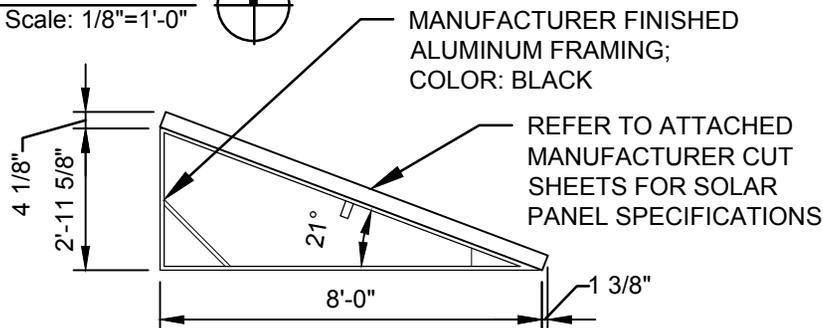


**2 HVAC UNIT W/DUNNAGE ELEV.**  
A211 Scale: 1/2"=1'-0"

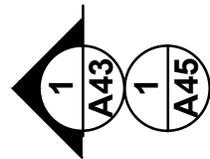
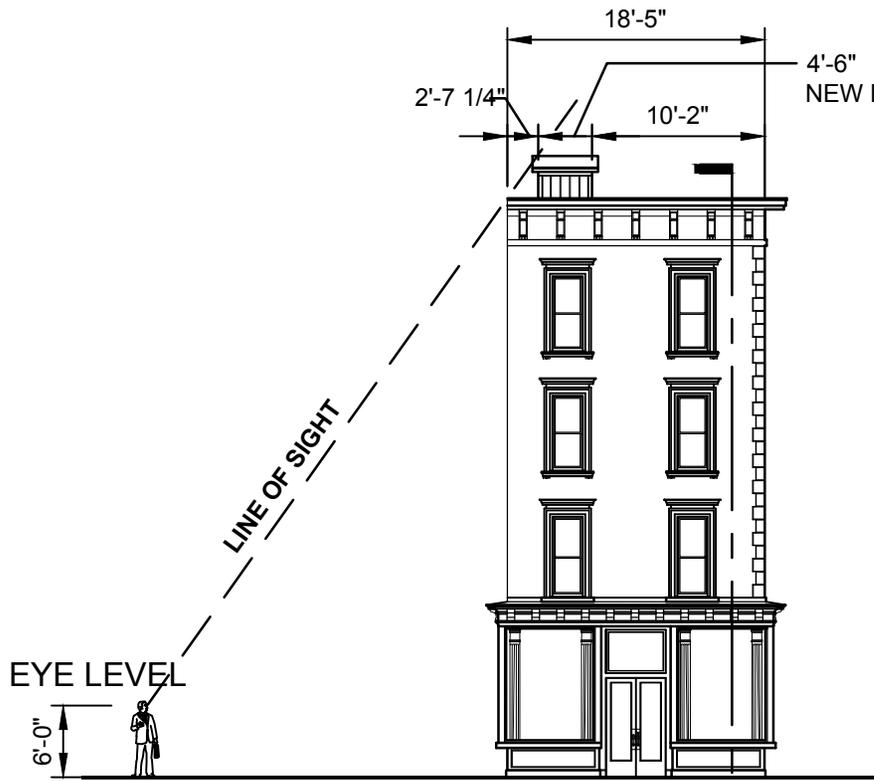


**4 HVAC UNIT W/ DUNNAGE ELEV.**  
A211 Scale: 1/2"=1'-0"

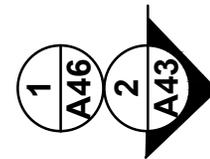
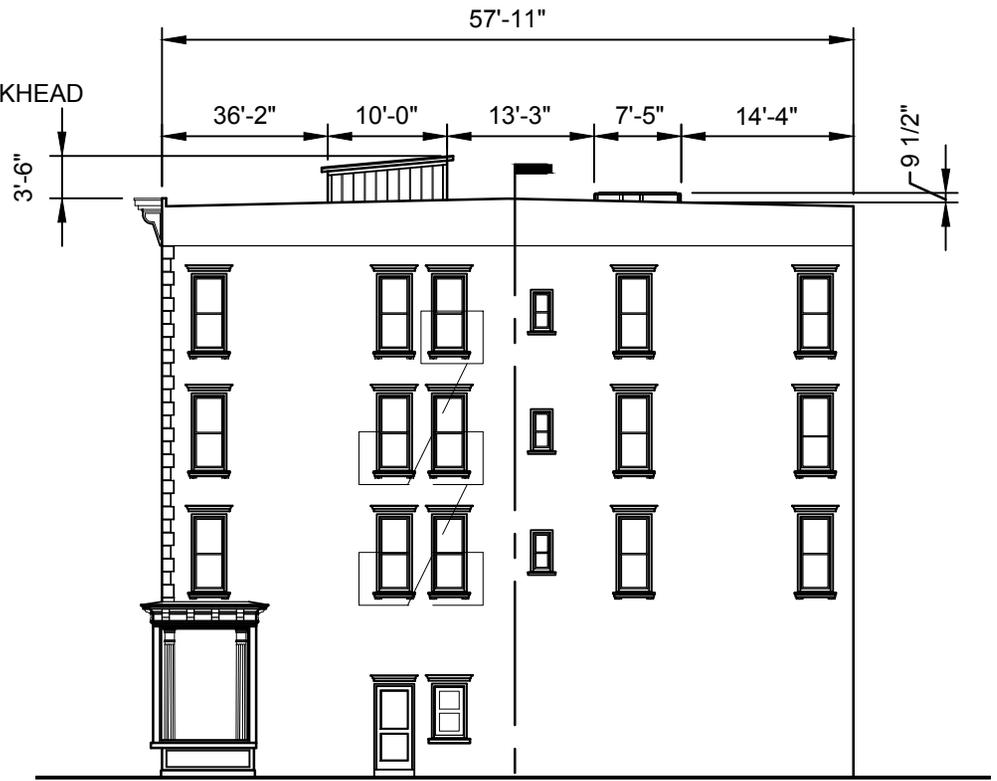
**1 Roof Plan**  
A211 Scale: 1/8"=1'-0"



**3 Solar Panel Section**  
A211 Scale: 1/2"=1'-0"

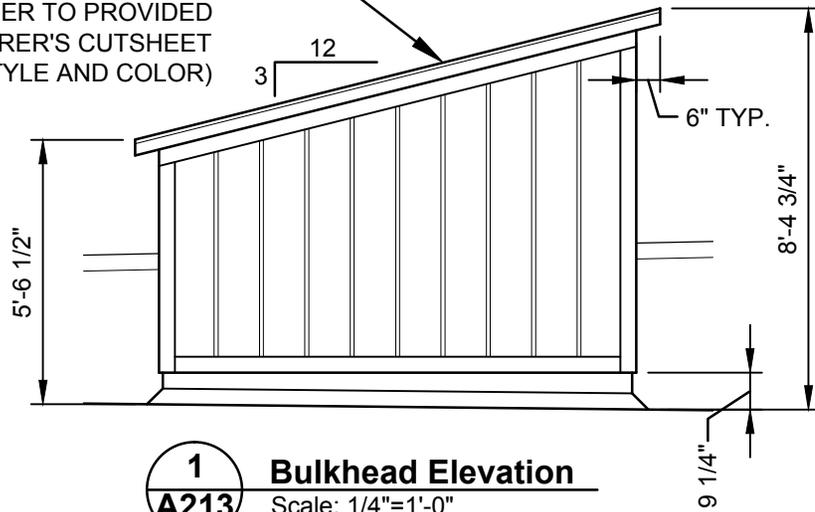


**1 Howard Street Elevation**  
**A42** Scale: 1/8"=1'-0"

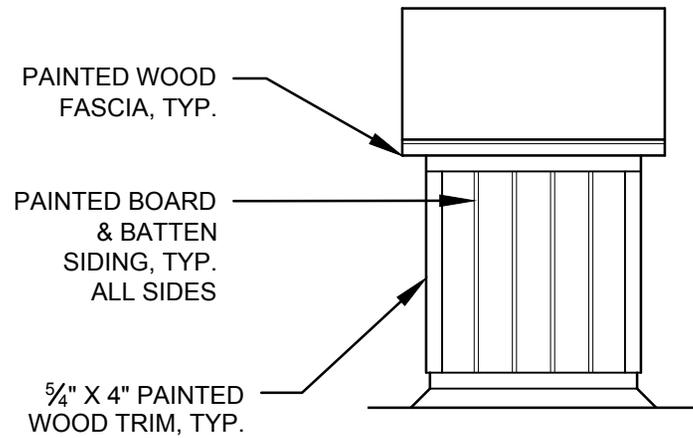


**2 Roark Avenue Elevation**  
**A42** Scale: 1/8"=1'-0"

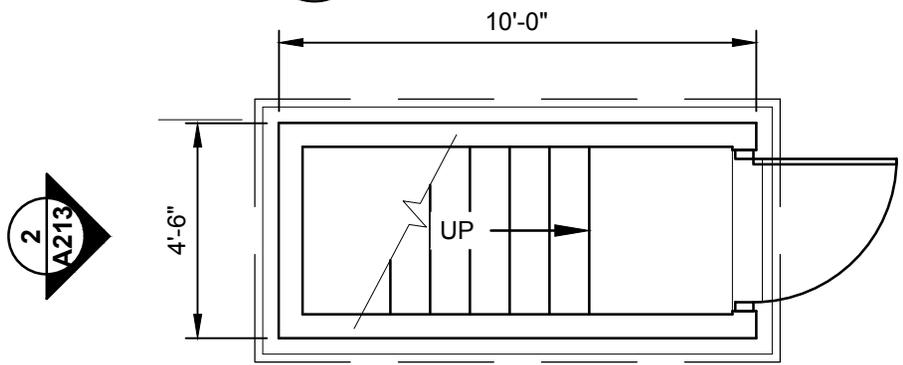
2 LAYERS NO. 15 ASPHALT - SATURATED UNDERLAYMENT W/ ASPHALT SHINGLES (REFER TO PROVIDED MANUFACTURER'S CUTSHEET FOR STYLE AND COLOR)



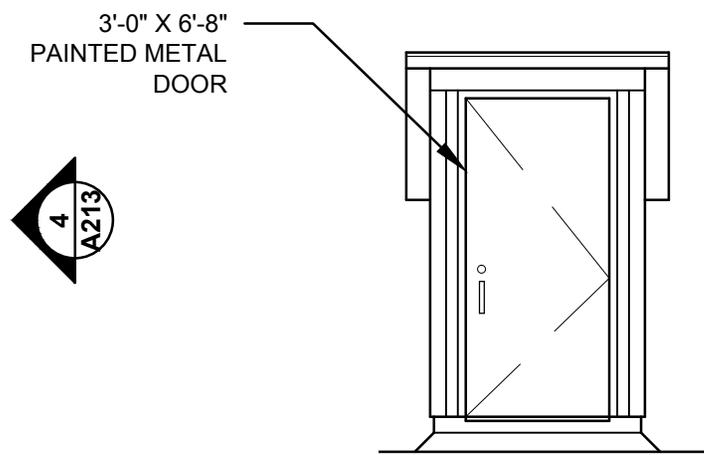
**1 Bulkhead Elevation**  
A213 Scale: 1/4"=1'-0"



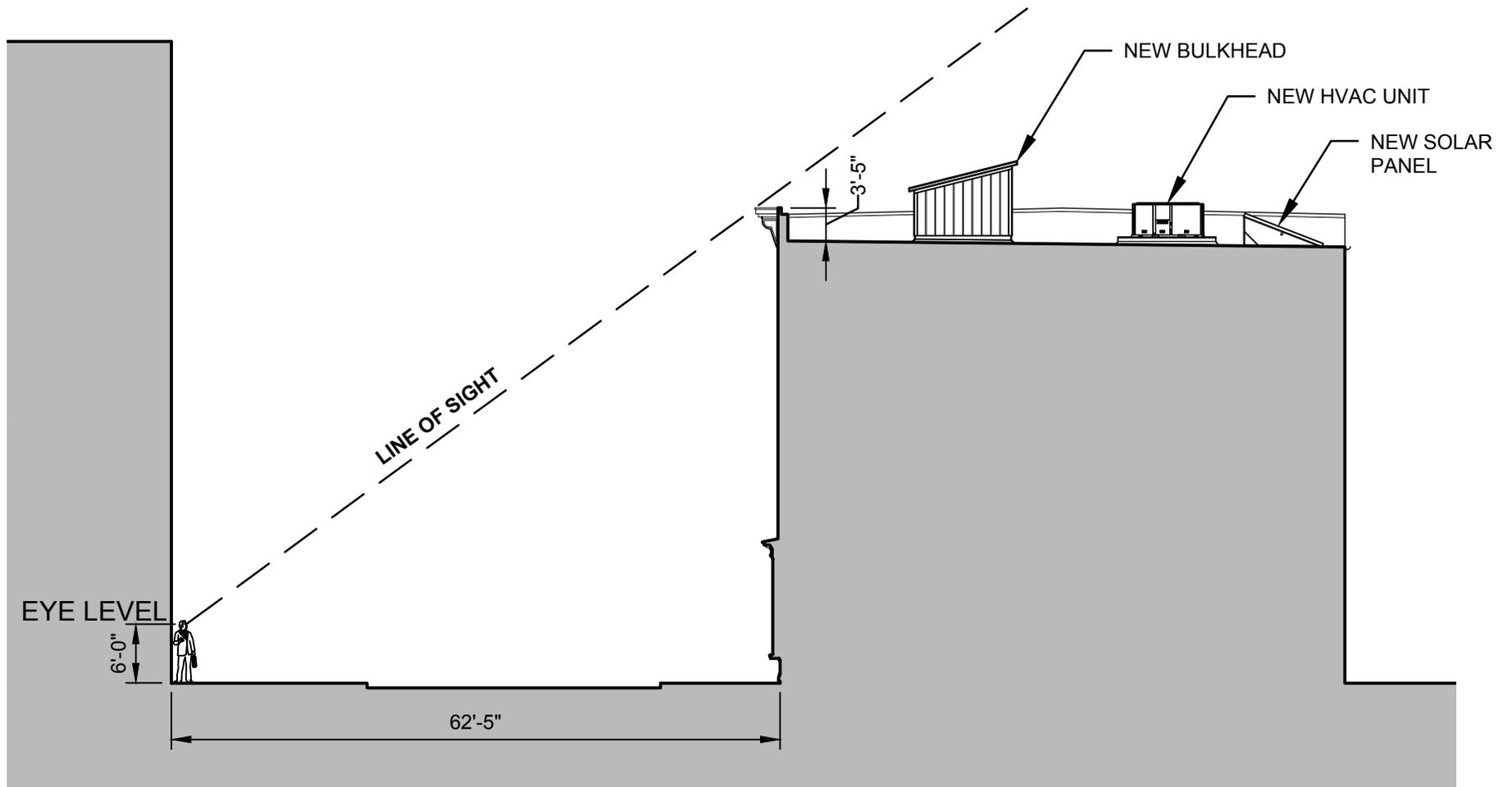
**2 Bulkhead Elevation**  
A213 Scale: 1/4"=1'-0"



**3 Bulkhead Plan**  
A213 Scale: 1/4"=1'-0"



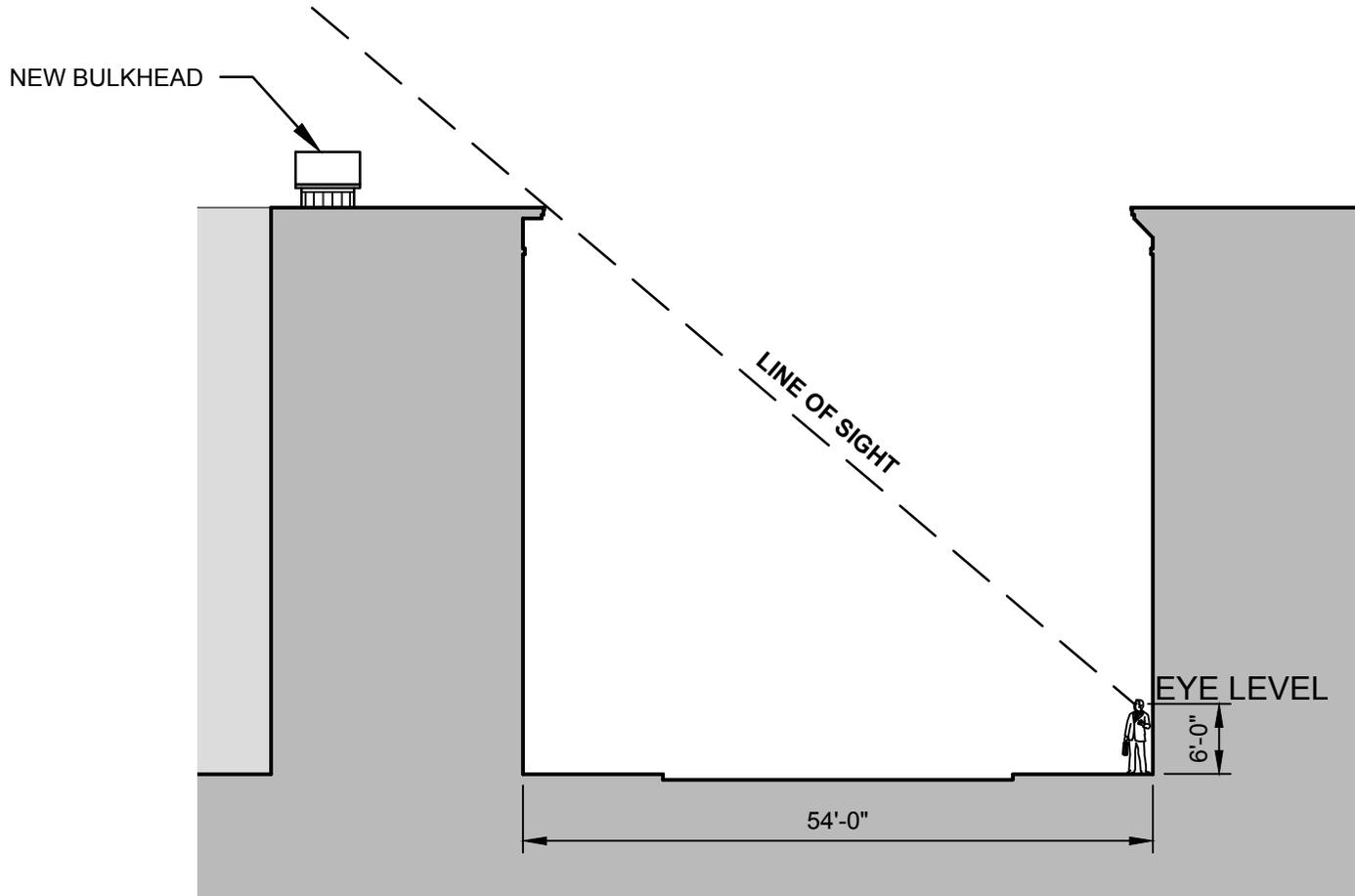
**4 Bulkhead Elevation**  
A213 Scale: 1/4"=1'-0"



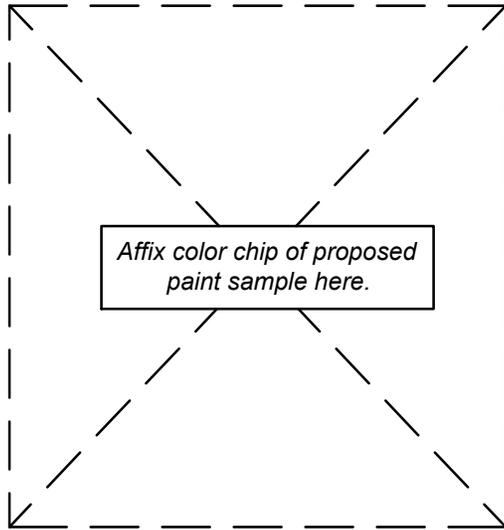
1 Sightline from Howard Street  
 A214 Scale: 1/8"=1'-0"

**MECHANICAL ROOFTOP ADDITION**  
 311 HOWARD ST., NEW YORK, NEW YORK

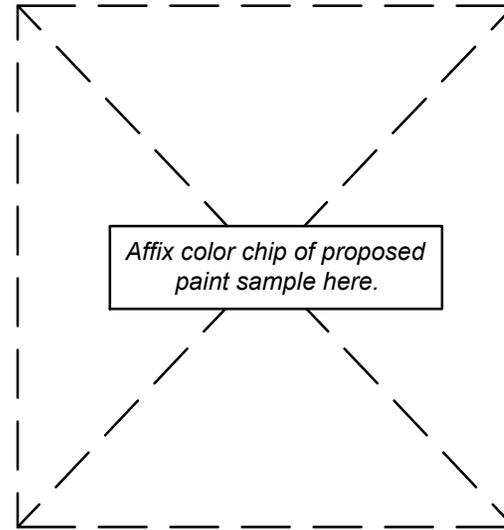
Sightline Section Drawings



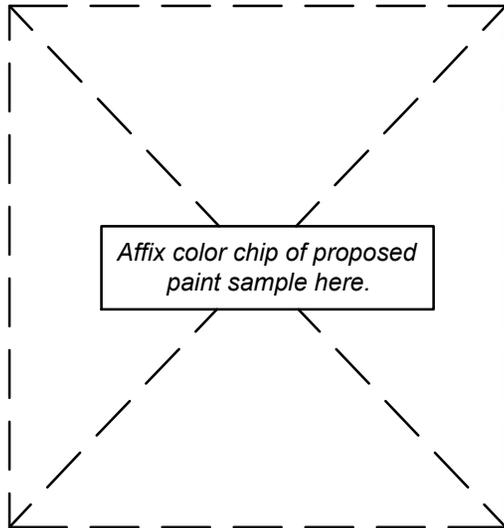
**1** Sightline from Roark Avenue  
**A215** Scale: 1/8"=1'-0"



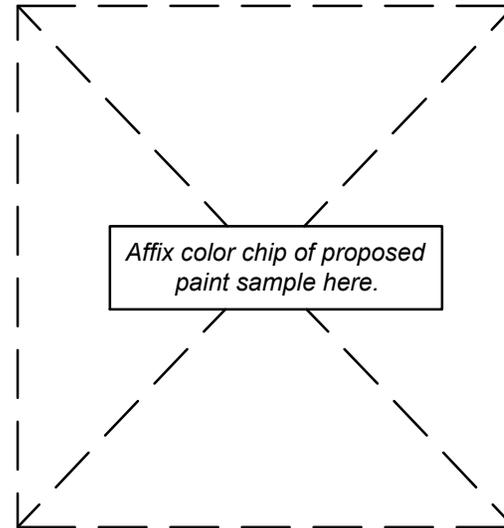
**Trim Color: Paint Company X, Color: Pearl Essence, WT-1978.**



**Siding Color: Paint Company X, Color: Pond, BG-1863.**



**Metal Door Color: Paint Company X, Color: Dusty, WT-1944.**



**Fascia Color: Paint Company X, Color: Dusty, WT-1944.**