

287 BROADWAY (AKA 55 READE ST.) NEW YORK, NEW YORK

MIXED-USE: RETAIL/RESIDENTIAL

SCOPE OF WORK

287 BROADWAY IS AN INDIVIDUALLY LANDMARKED BUILDING. A CERTIFICATES OF NO EFFECT WILL BE FILED FOR INTERIOR AND EXTERIOR WORK.

USES: EXISTING GROUND FLOOR RETAIL WITH ACCESSORY STORAGE AT CELLAR TO REMAIN. FLOORS TWO THROUGH SIX EXISTING RESIDENTIAL LOFTS WILL BE RENOVATED, TWO UNITS PER FLOOR. BUILDING WILL BE FULLY SPRINKLERED. WORK INCLUDES THE INSTALLATION OF NEW EGRESS STAIR AND ELEVATOR. REPAIR AND CLEANING OF EXISTING ARCHITECTURAL ELEMENTS. NEW RETAIL ENTRANCE AT BROADWAY AND MINOR REVISIONS TO EXISTING STOREFRONT. NEW EGRESS DOORS AND RESIDENTIAL ENTRANCE ON READE STREET. PROJECT IS FILED USING THE 1968 NYC BUILDING CODE

RETAIL FIT-OUT PORTION TO BE FILED UNDER SEPARATE APPLICATION

LPC

BLOCK: 149 LOT: 29

287 BROADWAY
CONSTRUCTED: 1871-1872
DESIGNATED: APRIL 1988

ARCHITECT : JOHN B. SNOOK
TYPE:
STYLE: ITALIANATE & FRENCH SECOND EMPIRE
METHOD OF CONSTRUCTION: WOOD FRAME WITH CAST-IRON ELEMENTS
STORIES: 6

EXCERPT FROM DESIGNATION REPORT:

THIS SIX-STORY ITALIANATE/SECOND EMPIRE BUILDING, LOCATED ON THE SOUTHWEST CORNER OF BROADWAY AND READE STREETS, EXTENDS TWENTY-FIVE AND 1/2 FEET ALONG BROADWAY AND NINETY-SIX FEET ALONG READE STREET. FACED IN CAST IRON, THE BUILDING IS CROWNED BY A MANSARD ROOF WITH SLATE SHINGLES, PIERCED BY DORMER WINDOWS AND SURMOUNTED BY IRON CRESTING. THE WINDOWS ABOVE THE FIRST STORY ARE THE ORIGINAL ONE-OVER-ONE WOOD SASH.

THE FIRST STORY HAS BEEN FACED WITH CORRUGATED METAL ON THE BROADWAY FACADE, COVERING THE ORIGINAL FLAT-ARCHED OPENINGS. ON THE READE STREET FACADE, THESE OPENINGS HAVE BEEN ALMOST ENTIRELY COVERED BY A THIN BRICK AND PLYWOOD VENEER, LEAVING LITTLE ORIGINAL DETAIL VISIBLE. ABOVE THE FIRST STORY, THE EXTERIOR OF 287 BROADWAY LOOKS MUCH AS IT DID IN 1872. ON THE BROADWAY FACADE, STORIES TWO THROUGH SIX ARE EACH COMPOSED OF ONE BAY CONTAINING THREE WINDOW OPENINGS. THE SOUTH OPENING OF THE SECOND STORY (FORMERLY THE ENTRANCE) CONTAINS A PROJECTING PORTICO AND ENTABLATURE WITH IONIC COLUMNS WITH FLUTED BASES. THE OPENING, SLIGHTLY NARROWER THAN THE OTHERS, CONTAINS ONE SINGLE-PAIN WINDOW BELOW AN ARCHED OPENING (NOW SEALED) SEPARATED BY A TRANSOM BAR. THE OTHER TWO OPENINGS CONTAIN ONE-OVER-ONE WOOD SASH. ALL THE WINDOW OPENINGS ARE ARCHED AND CAPPED BY SCROLLED KEYSTONES AND FLANKED BY ENGAGED IONIC COLUMNS. A PROJECTING PILASTER MARKS THE NORTH CORNER. STORIES THREE THROUGH FIVE EACH CONTAIN THREE WINDOW OPENINGS LIKE THOSE SEEN BELOW, FLANKED BY ENGAGED CORINTHIAN COLUMNS AND TERMINATED BY PIERS AT EACH END. SEVERAL OF THE CAPITALS ARE MISSING. THE FIFTH STORY IS CAPPED BY A PROJECTING DENTILED AND MODILLIONED CORNICE. THE SIXTH STORY IS A MANSARD ROOF WITH HEXAGONAL SLATE SHINGLES AND METAL COPING PIERCED BY TWO DORMER WINDOWS CROWNED BY SEGMENTAL-ARCHED PEDIMENTS SUPPORTED BY PILASTERS FLANKED BY VOLUTES. THE DORMERS ARE OF WOOD SHEATHED IN METAL. THE COMPOSITION IS CROWNED BY LACY IRON CRESTING.

THE READE STREET FACADE IS SIMILAR TO THAT ON BROADWAY. IT HAS THREE BAYS EACH CONTAINING FOUR WINDOW OPENINGS, EACH BAY SEPARATED BY PROJECTING PIERS. THE TWO CENTER WINDOW OPENINGS ARE COVERED WITH A DECORATIVE WROUGHT-IRON FIRE ESCAPE STRETCHING FROM THE SECOND STORY TO THE ROOF. ONE ORIGINAL PILASTER SURVIVES ON THE FIRST STORY AT THE WEST END OF THIS FACADE.



1 HISTORICAL PHOTO
AUGUST 5, 1912



2 HISTORICAL PHOTO
CIRCA 1911



3 CURRENT PHOTO



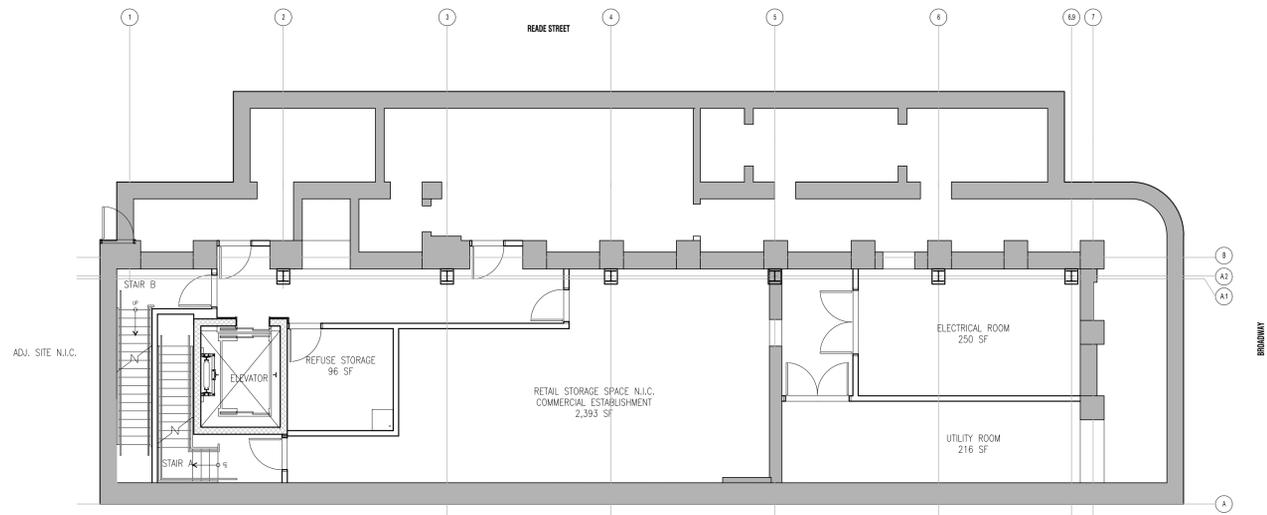
4 CURRENT PHOTO



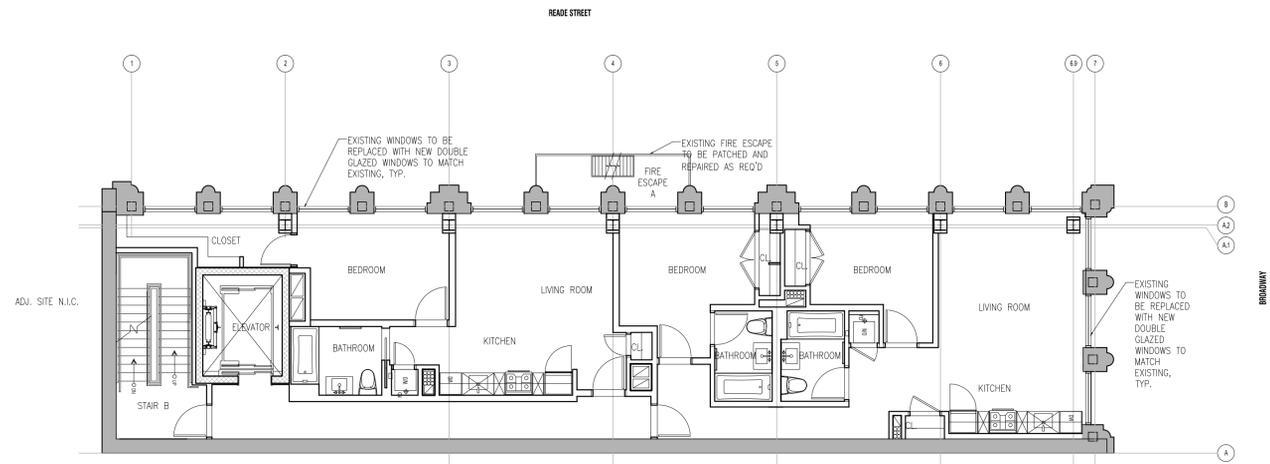
5 CURRENT PHOTO

LIST OF DRAWINGS

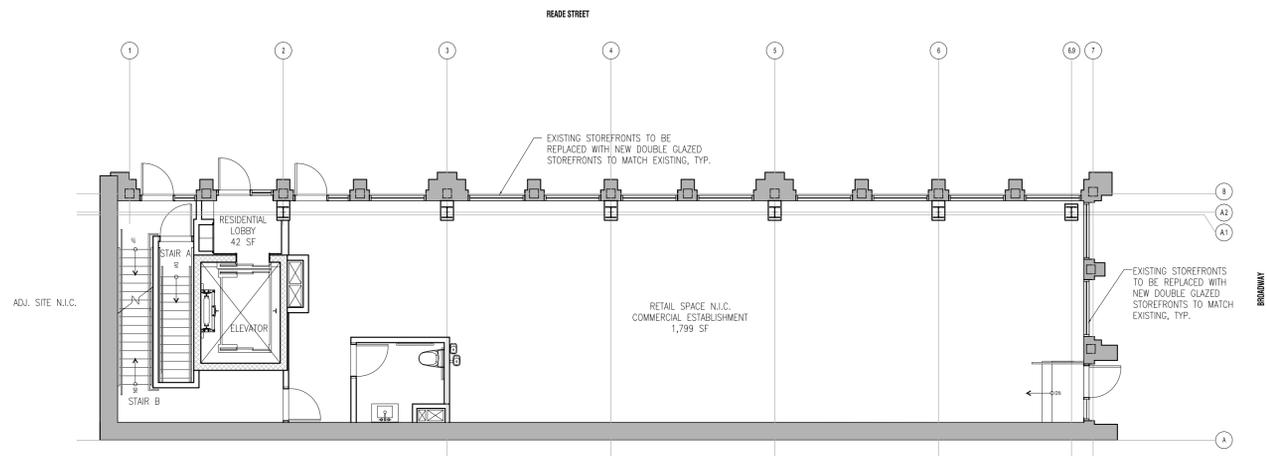
1. A-1 COVER SHEET
2. A-2 FLOOR PLANS
3. A-3 FLOOR PLANS
4. A-4 EXISTING BUILDING ELEVATIONS
5. A-5 PROPOSED BUILDING ELEVATIONS
6. A-6 ELEVATIONS DETAILS
7. A-7 ELEVATIONS DETAILS
8. A-8 SIGHT LINE SECTIONS
9. A-9 EXISTING STOREFRONT DETAILS
10. A-10 PROPOSED STOREFRONT DETAILS
11. A-11 BUILDING PHOTOGRAPHS
12. A-11A BUILDING PHOTOGRAPHS
13. A-11B BUILDING PHOTOGRAPHS
14. A-11C BUILDING PHOTOGRAPHS
15. A-12 MOCK-UP PHOTOGRAPHS
16. A-13 MOCK-UP PHOTOGRAPHS
17. AR-101 FACADE AND ROOF RESTORATION / BROADWAY ELEVATION
18. AR-102 FACADE AND ROOF RESTORATION / READE STREET ELEVATION
19. AR-110 FACADE AND ROOF RESTORATION / BROADWAY STOREFRONT
20. AR-201 FACADE AND ROOF RESTORATION / PLANS
21. AR-301 FACADE AND ROOF RESTORATION / CRESTING DETAIL
22. AR-302 FACADE AND ROOF RESTORATION / 5TH FLOOR CORNICE DETAIL
23. AR-303 FACADE AND ROOF RESTORATION / DETAILS
24. AW-100 FACADE AND ROOF RESTORATION / ELEVATIONS
25. AW-101 FACADE AND ROOF RESTORATION / WINDOW DRAWINGS
26. AW-102 FACADE AND ROOF RESTORATION / WINDOW DRAWINGS
27. AW-103 FACADE AND ROOF RESTORATION / WINDOW DRAWINGS
28. AW-104 FACADE AND ROOF RESTORATION / WINDOW DRAWINGS
29. AW-105 FACADE AND ROOF RESTORATION / WINDOW DRAWINGS
30. AW-106 FACADE AND ROOF RESTORATION / WINDOW DRAWINGS
31. AW-201 FACADE AND ROOF RESTORATION / WINDOW DETAIL DRAWINGS



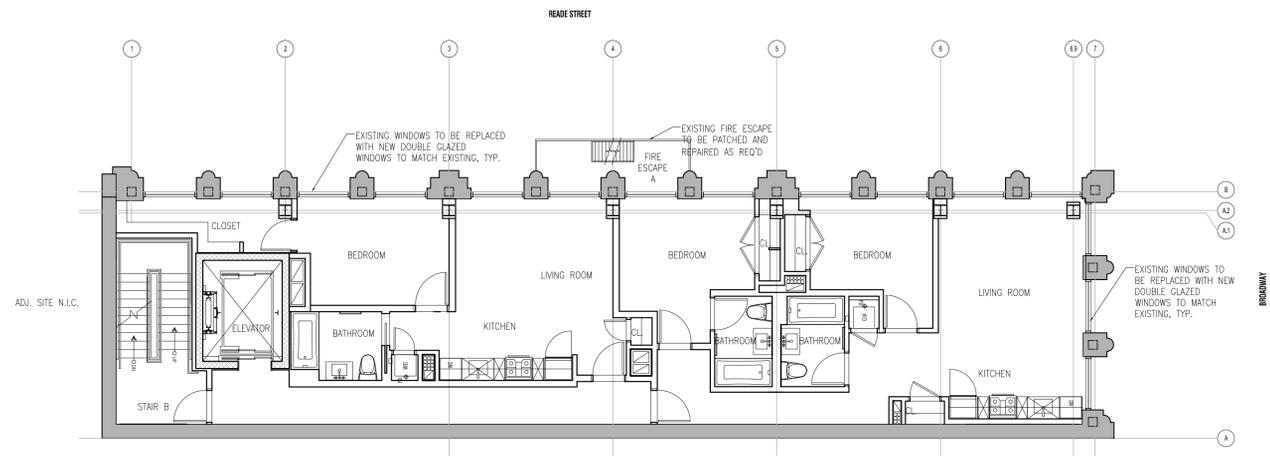
1 CELLAR FLOOR PLAN
SCALE: 1/8"=1'-0"



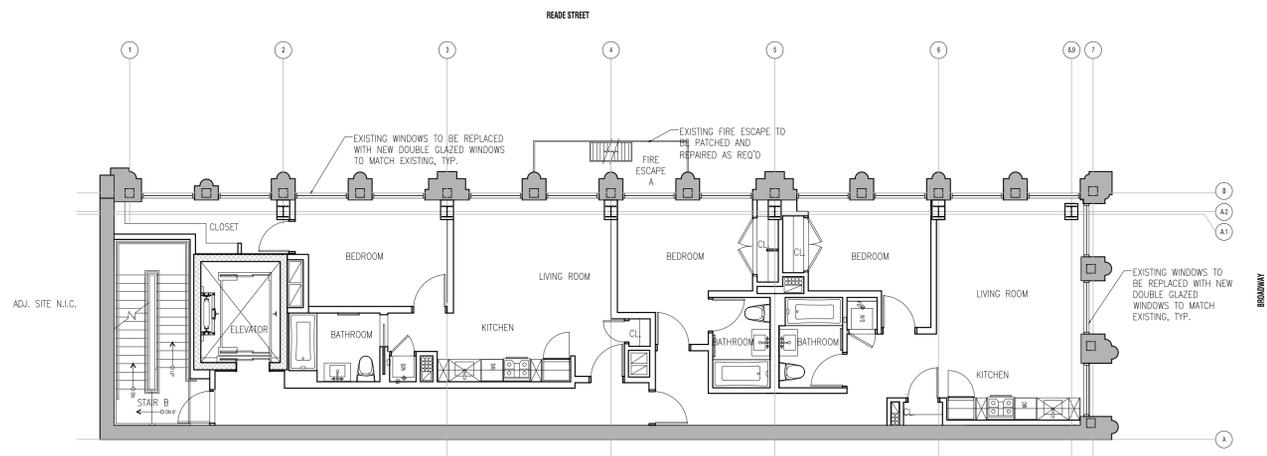
4 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



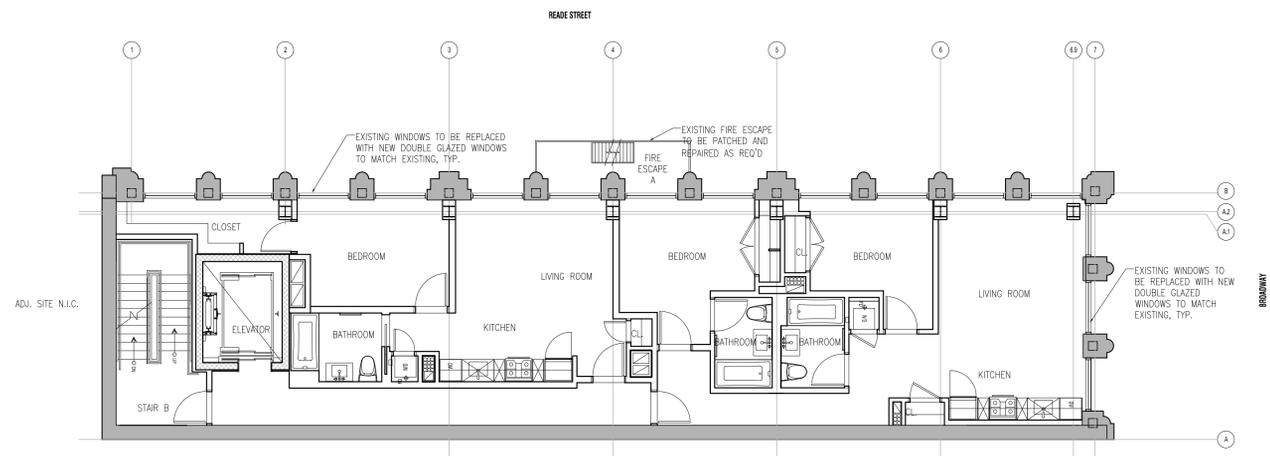
2 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



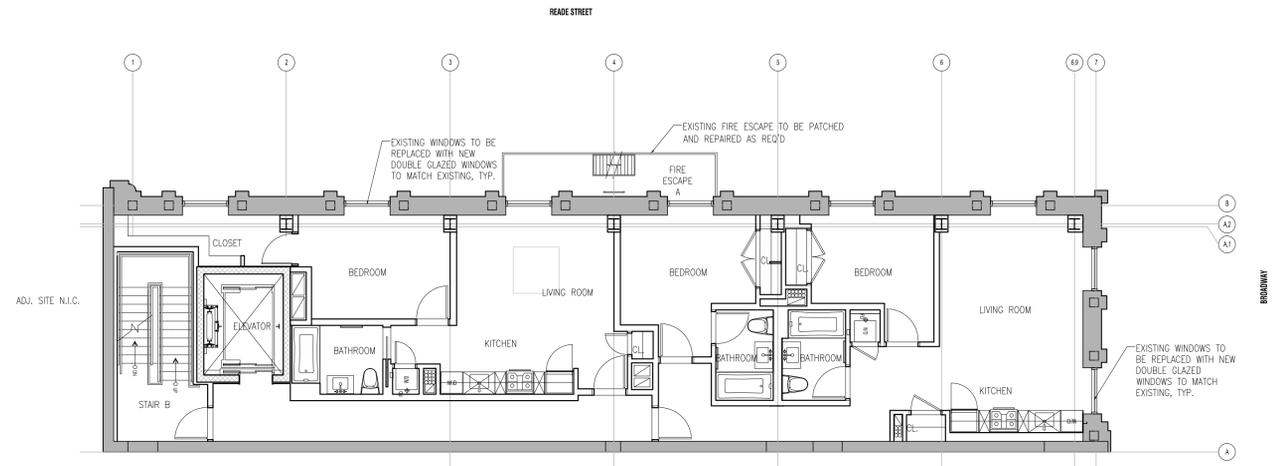
5 FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"



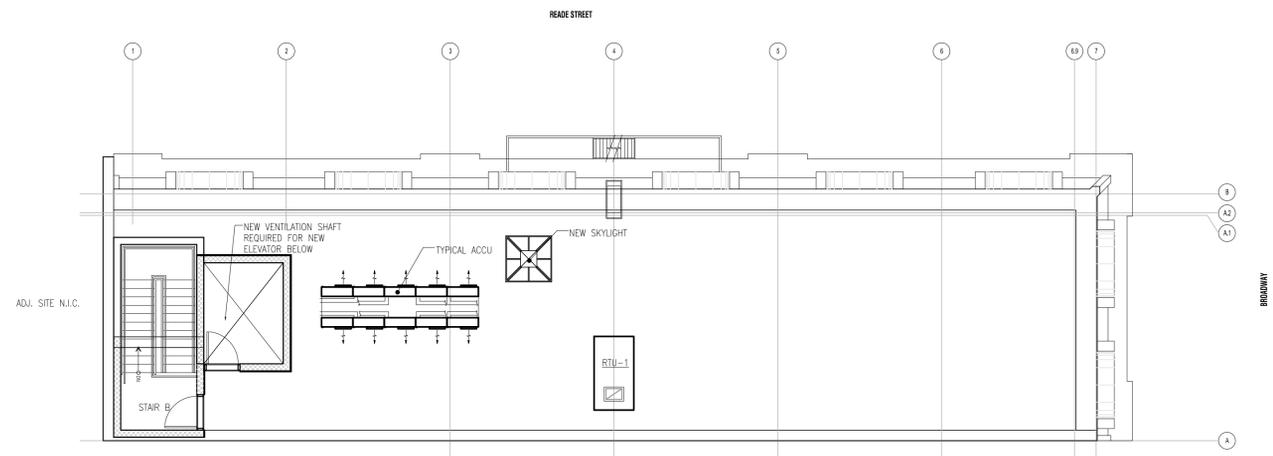
3 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



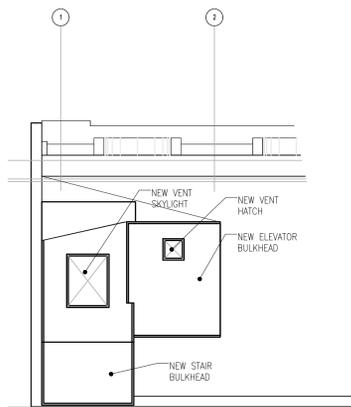
6 FIFTH FLOOR PLAN
SCALE: 1/8"=1'-0"



1 SIXTH FLOOR PLAN
SCALE: 1/8"=1'-0"

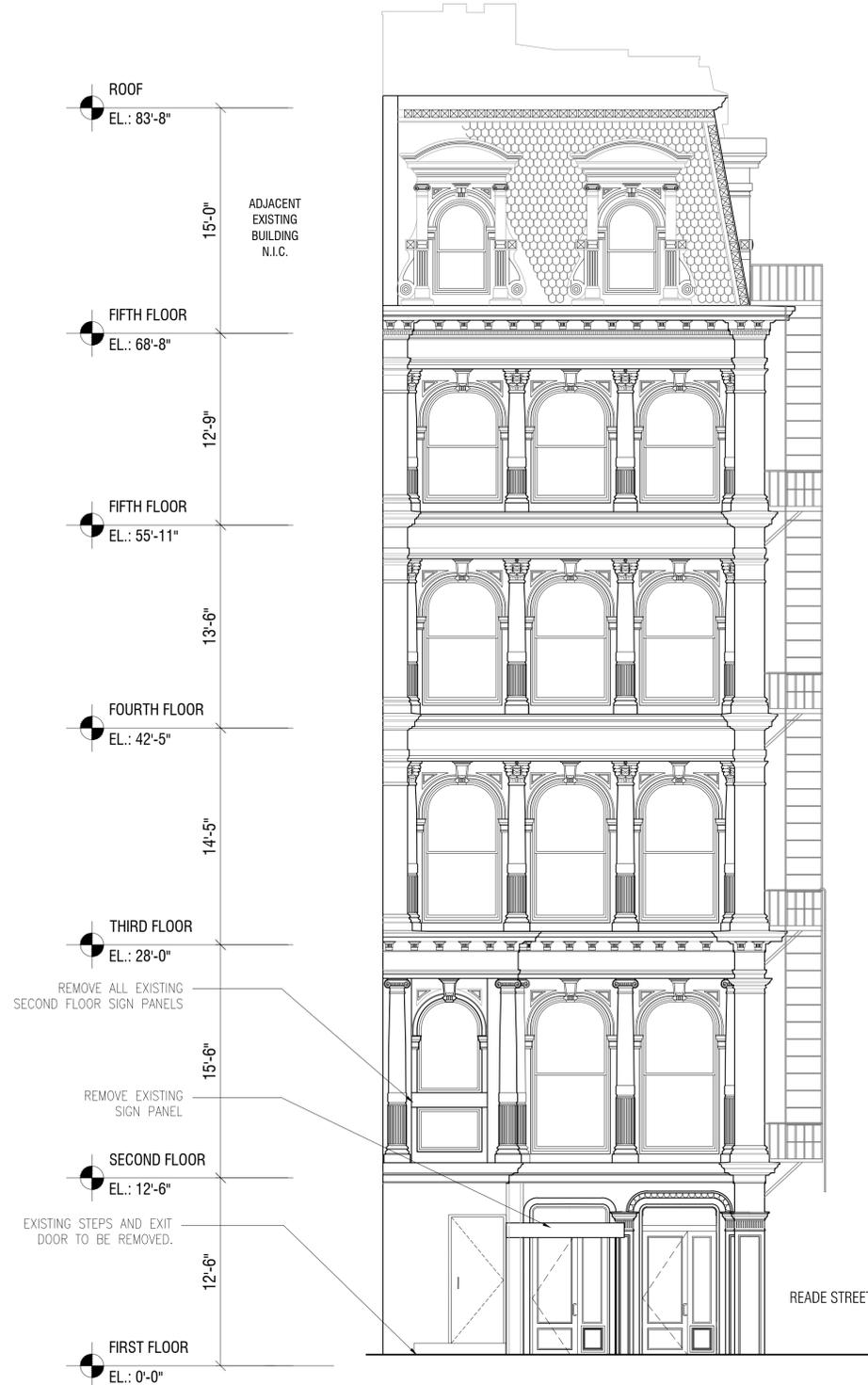


2 ROOF PLAN
SCALE: 1/8"=1'-0"

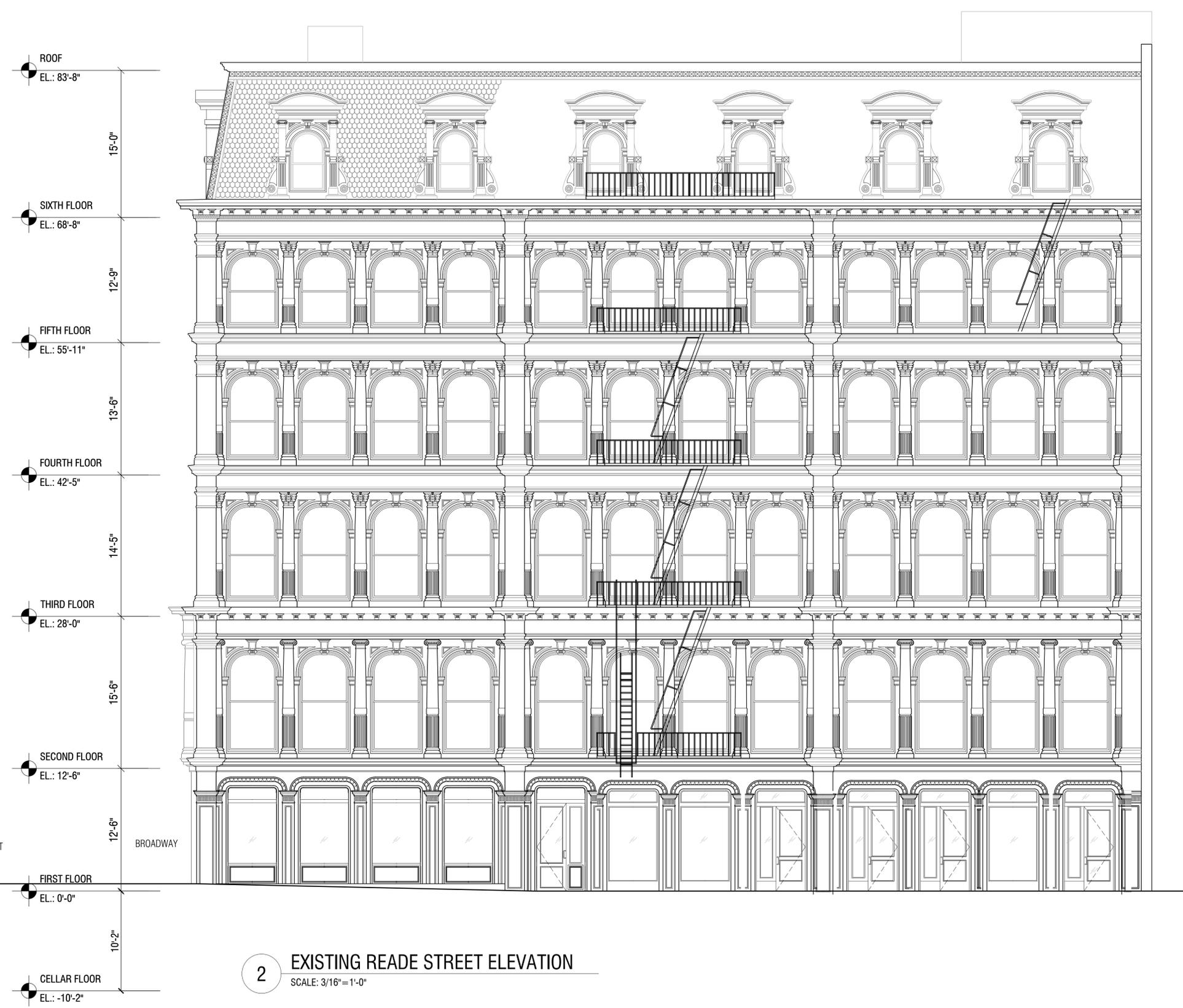


3 BULKHEAD ROOF PLAN
SCALE: 1/8"=1'-0"

ALL EXISTING CONDITIONS ARE TO BE V.I.F. GC TO NOTIFY ARCHITECT AND ENGINEER IF EXISTING CONDITIONS DO NOT COORDINATE WITH PROVIDED DRAWINGS.

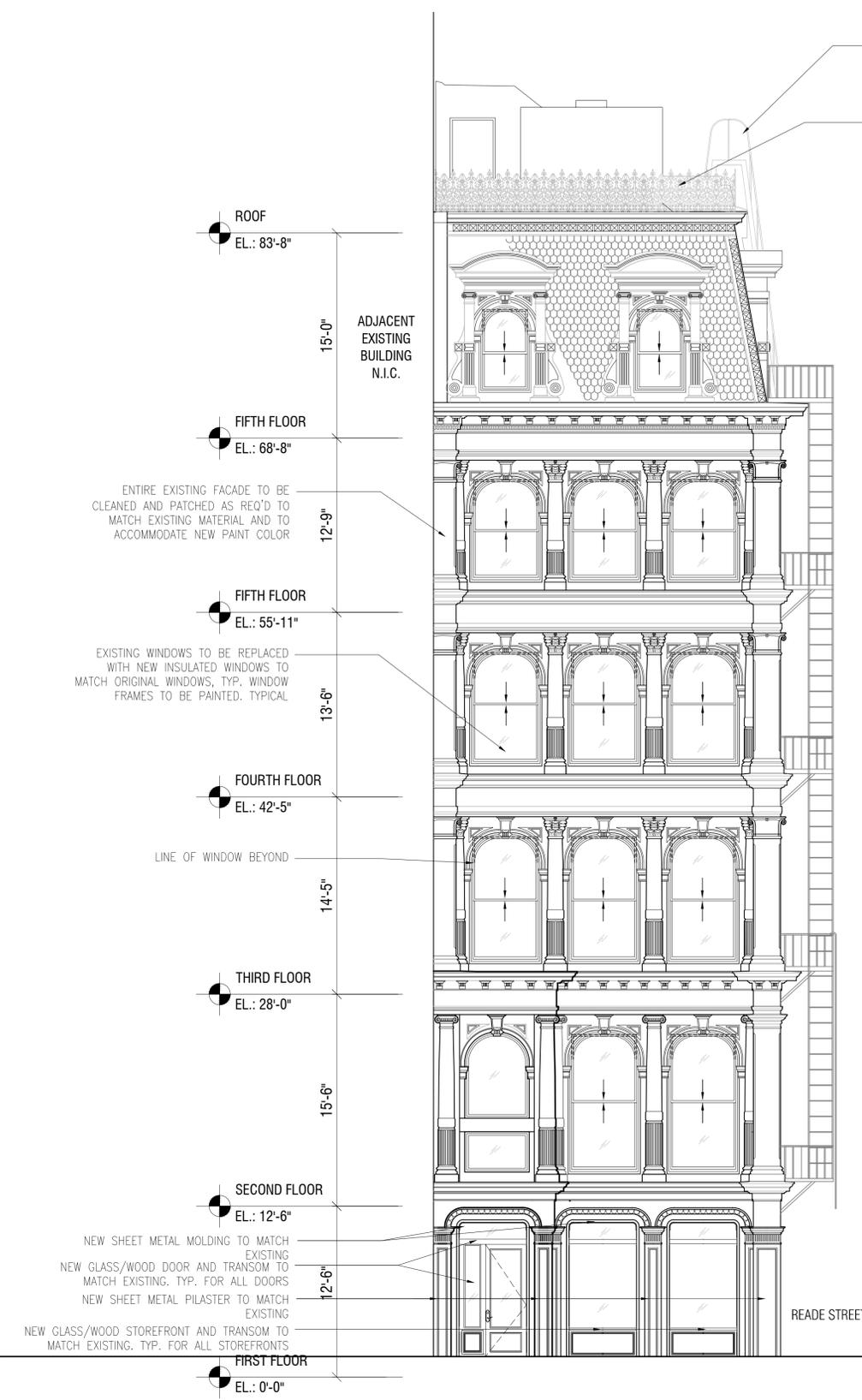


1 EXISTING BROADWAY ELEVATION
SCALE: 3/16"=1'-0"

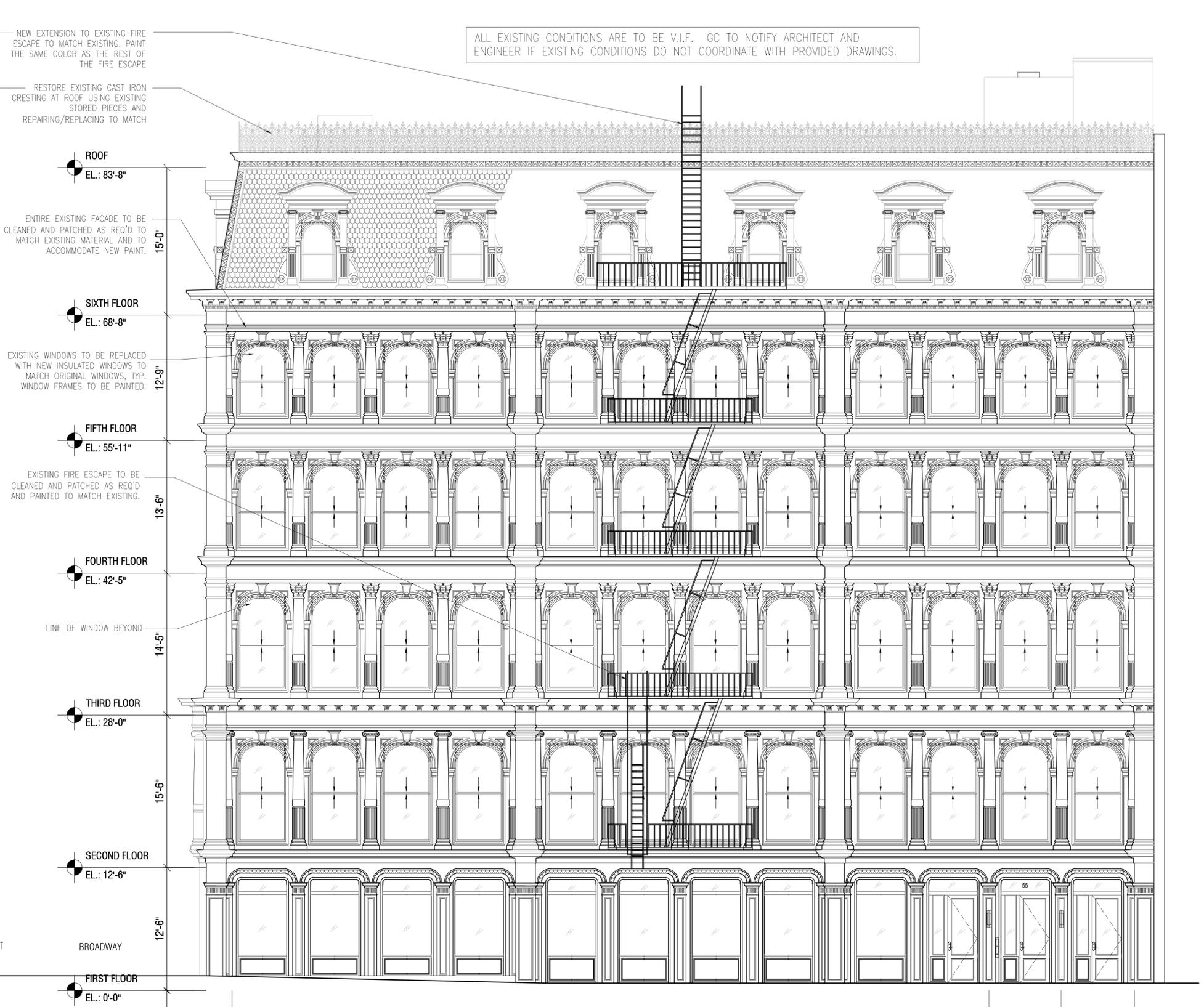


2 EXISTING READE STREET ELEVATION
SCALE: 3/16"=1'-0"

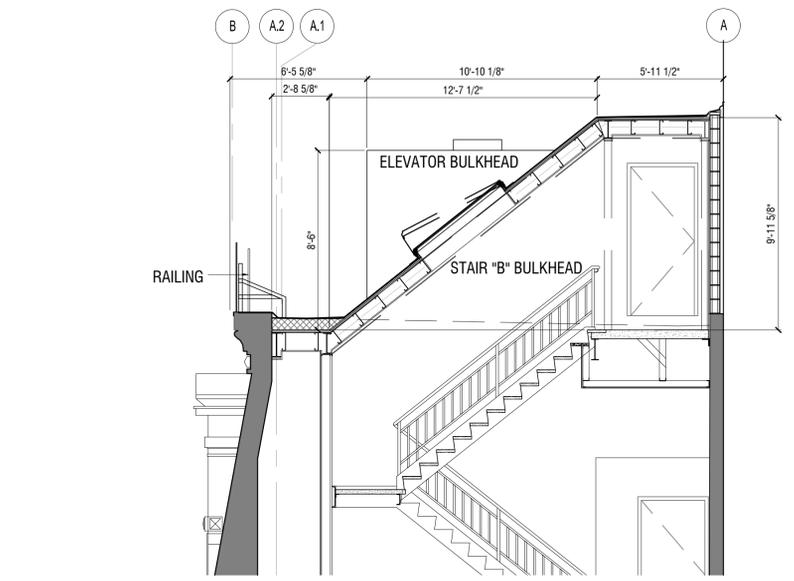
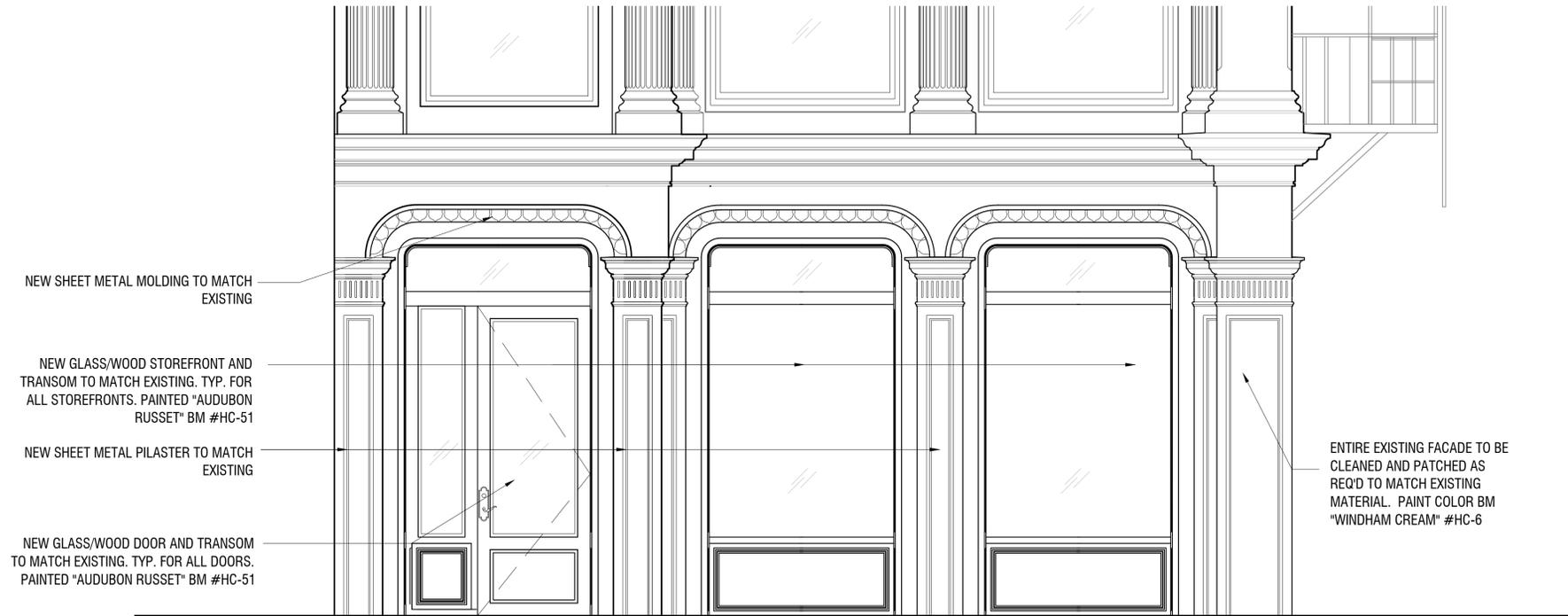
ALL EXISTING CONDITIONS ARE TO BE V.I.F. GC TO NOTIFY ARCHITECT AND ENGINEER IF EXISTING CONDITIONS DO NOT COORDINATE WITH PROVIDED DRAWINGS.



1 PROPOSED BROADWAY ELEVATION
SCALE: 3/16"=1'-0"

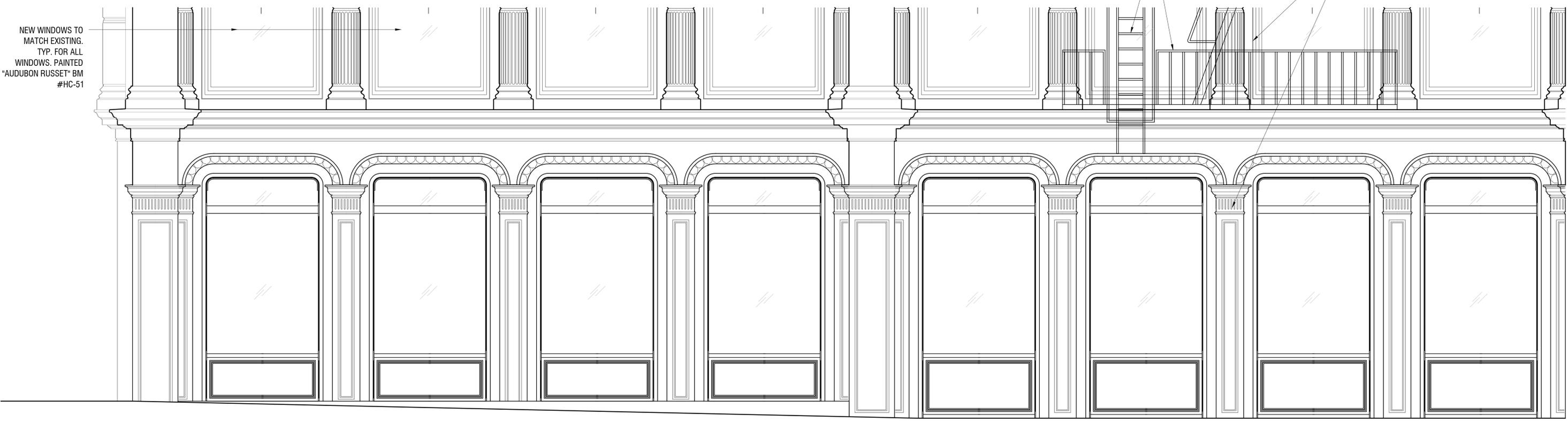


2 PROPOSED READE STREET ELEVATION
SCALE: 3/16"=1'-0"



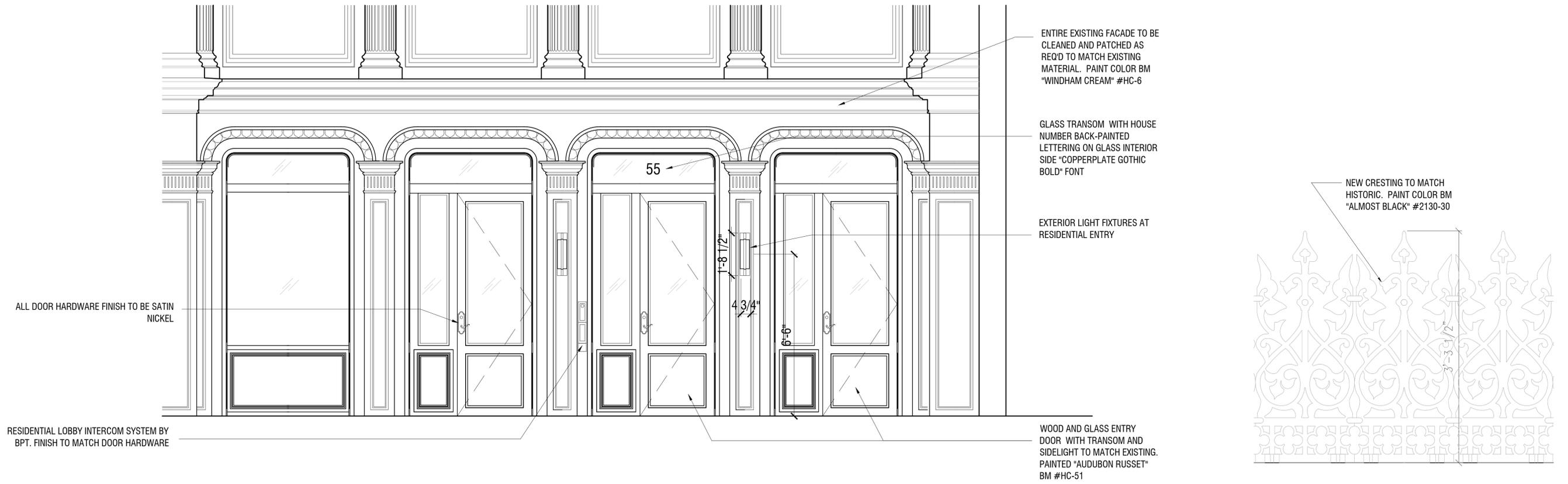
3 PROPOSED ELEVATOR & STAIR BULKHEADS
SCALE: 1/4"=1'-0"

1 PROPOSED STOREFRONT ELEVATION ON BROADWAY
SCALE: 1/2"=1'-0"



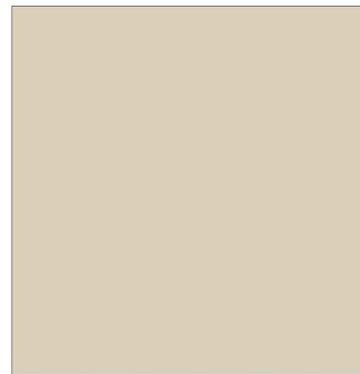
2 PROPOSED STOREFRONT PART ELEVATION ON READE STREET - COMMERCIAL
SCALE: 1/2"=1'-0"

REFER TO A-7 FOR CONTINUATION OF READE STREET ELEVATION



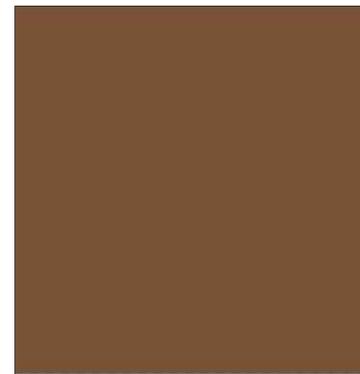
1 PROPOSED READE ST STOREFRONT
SCALE: 1/2"=1'-0"

2 PROPOSED ROOF TOP CRESTING (RAILING) ELEVATION FRAGMENT
SCALE: 1 1/2"=1'-0"



"TOASTED ALMOND" PPG 1097-3 BY PITTSBURGH PAINTS FINISH (PNT-26)

PRIMARY COLOR FOR BUILDING FACADES AND BULKHEADS TO MATCH HISTORIC COLOR. REFER TO PAINT ANALYSIS REPORT BY JABLONSKI BUILDING CONSERVATION, 40 W. 27TH STREET, SUITE 1201, NEW YORK, NY 10001



"SADDLE BROWN" BM 2164-10 BY BENJAMIN MOORE PAINTS FINISH (PNT-27)

COLOR FOR WINDOWS, STOREFRONTS AND DOORS TO MATCH HISTORIC COLOR. REFER TO PAINT ANALYSIS REPORT BY JABLONSKI BUILDING CONSERVATION, 40 W. 27TH STREET, SUITE 1201, NEW YORK, NY 10001



"ALMOST BLACK" #2130-30 BY BENJAMIN MOORE PAINTED FINISH (PNT-28)

CRESTING (ROOF RAILING) AND FIRE ESCAPE



"STANFORD" ESCUTCHEON ENTRANCE SET, MODEL# 6951.056 BY BALDWIN DOORS.

ALL EXTERIOR DOORS HARDWARE



SATIN NICKEL DOOR HARDWARE FINISH BY BALDWIN DOORS

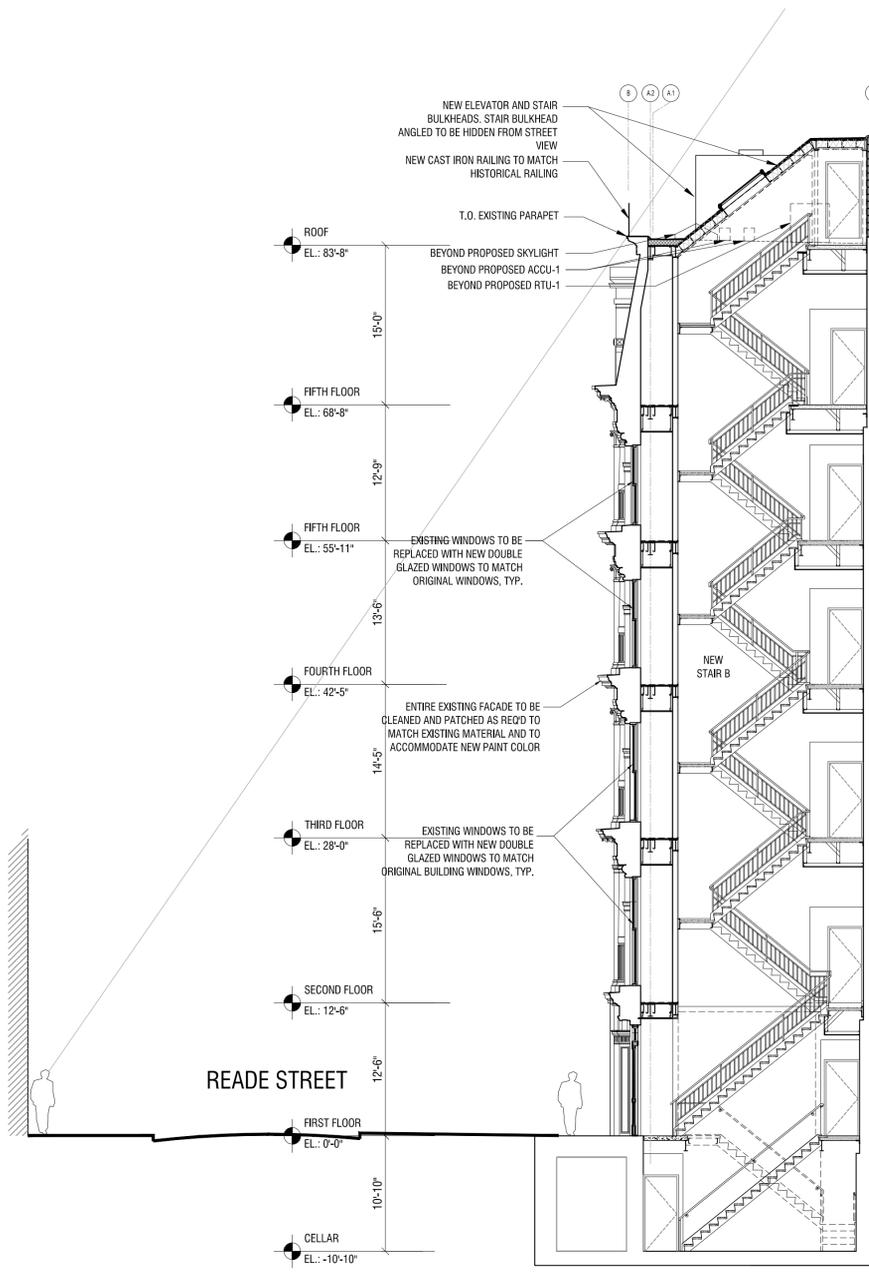
DOOR HARDWARE FINISH



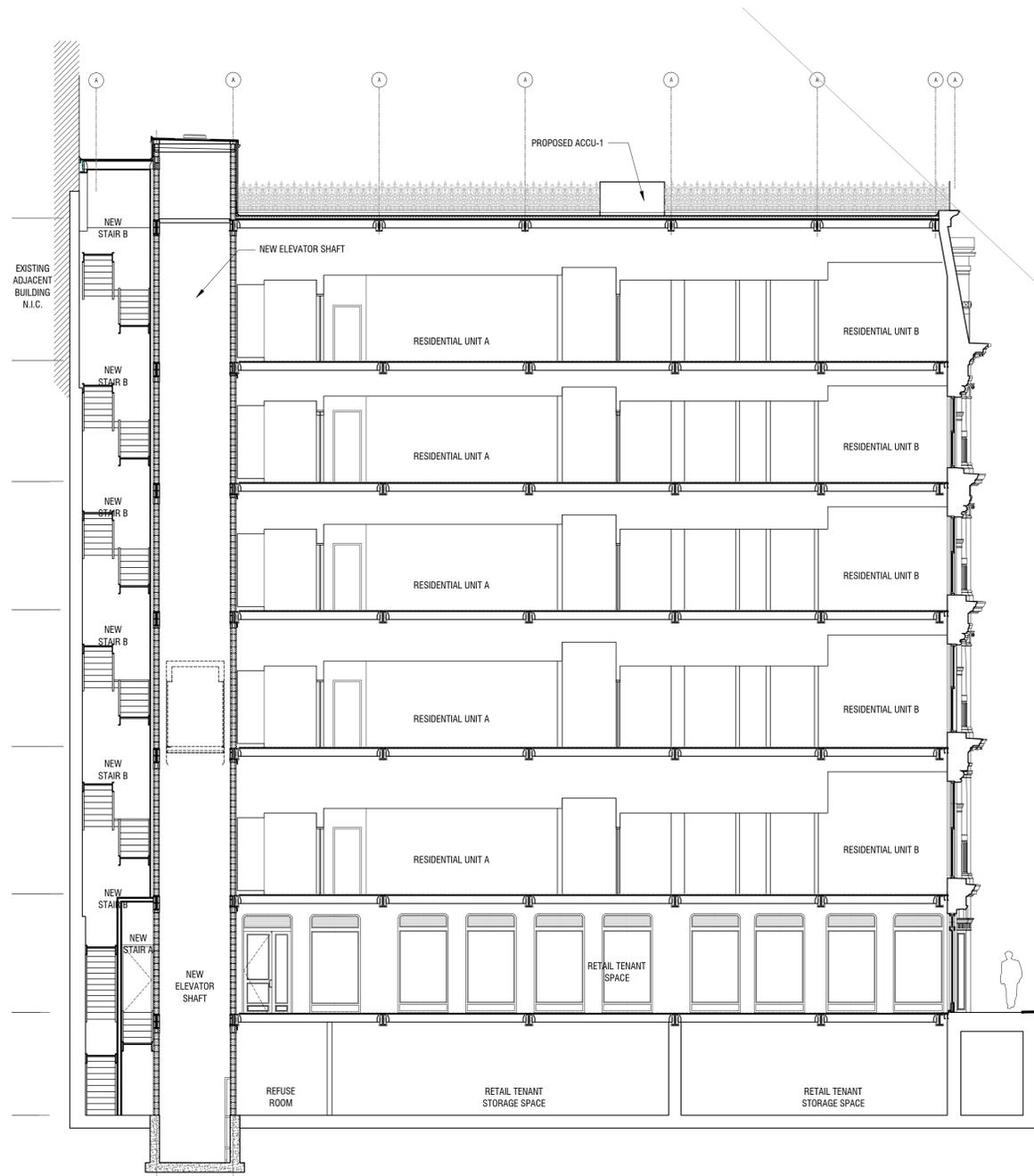
FORGED IRON EXTERIOR LIGHT OPAL GLASS LENS, FLUORESCENT LAMP

RESIDENTIAL ENTRY

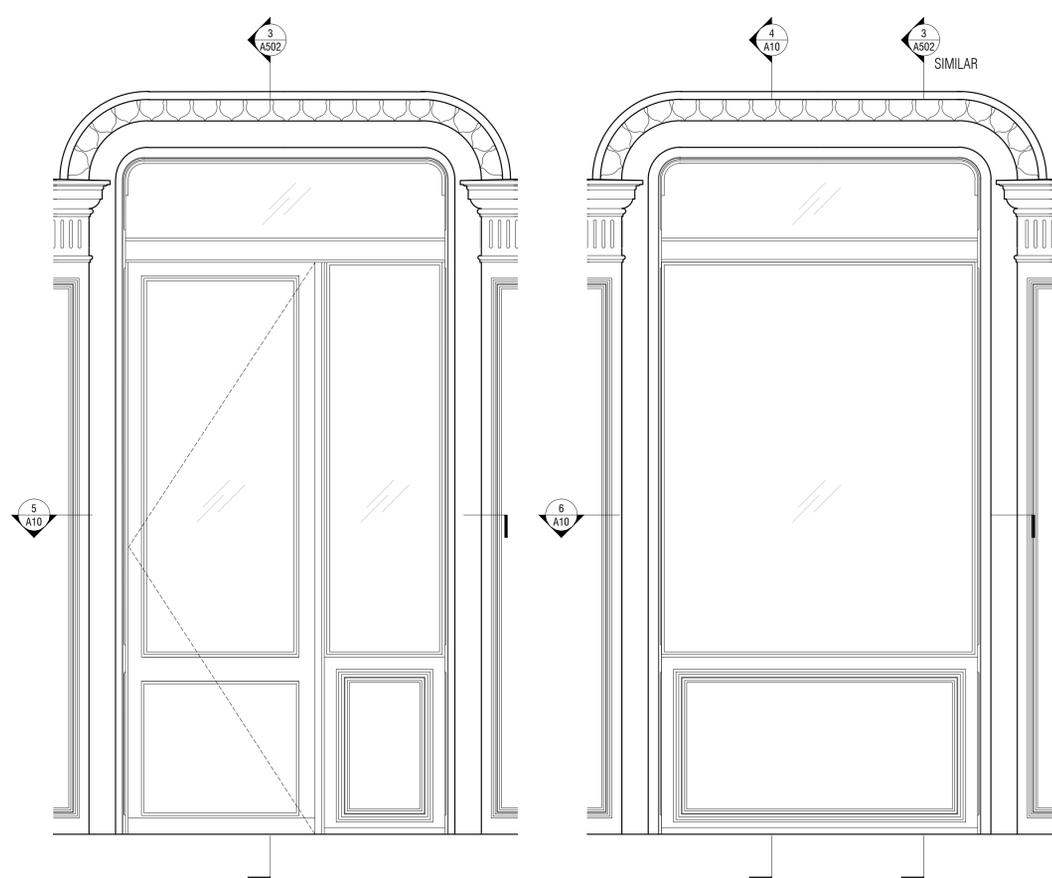
EXTERIOR MATERIALS



1 PROPOSED SIGHTLINE SECTION - READE STREET
SCALE: 1/8"=1'-0"



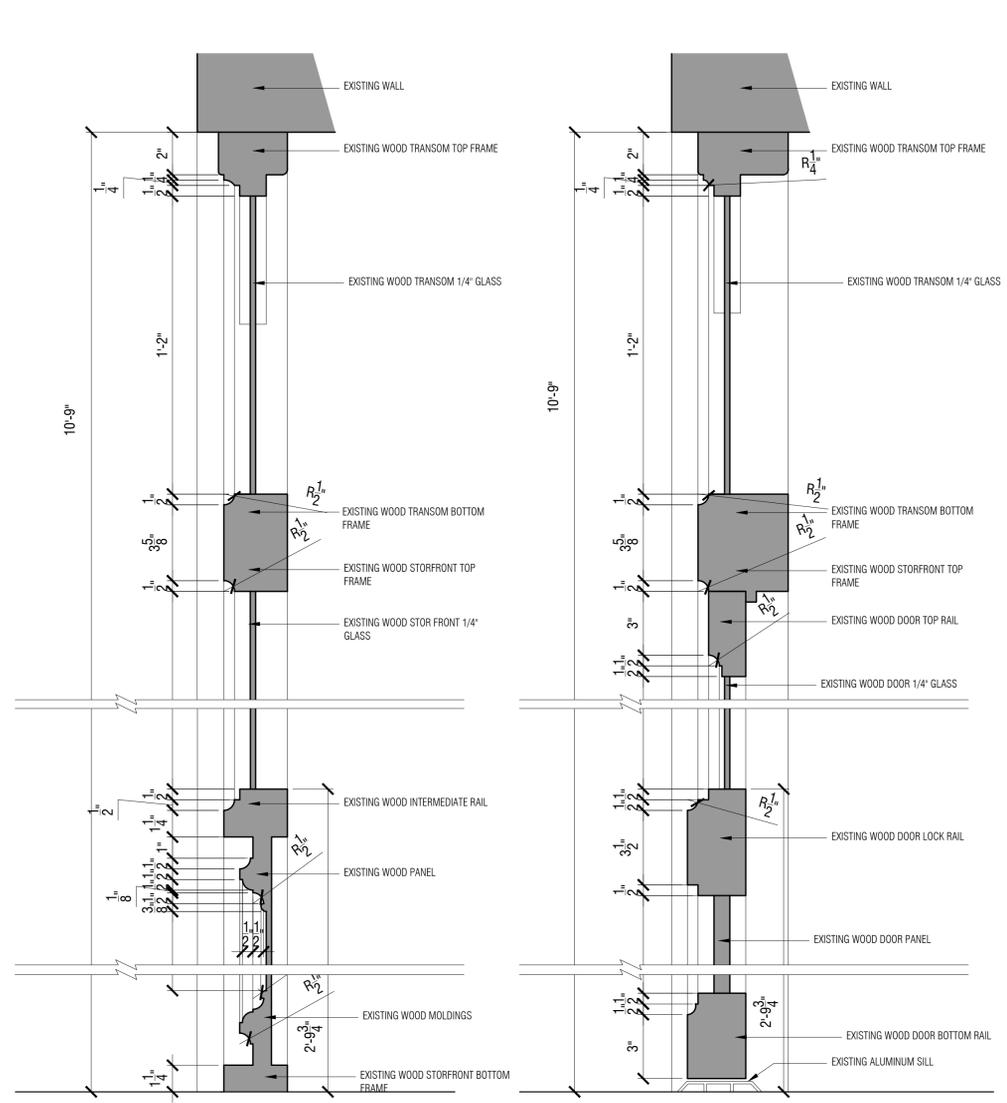
2 PROPOSED SIGHTLINE SECTION - BROADWAY
SCALE: 1/8"=1'-0"



1 TYPICAL EXISTING STOREFRONT ELEVATION
A9 3/4"=1'-0"

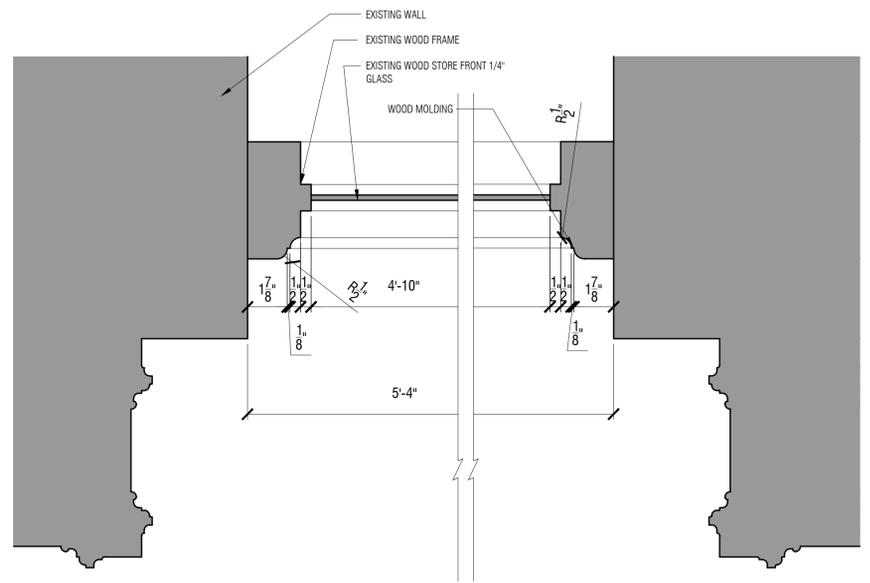
2 TYPICAL EXISTING STOREFRONT ELEVATION AT DOOR
A9 3/4"=1'-0"

NOTE:
ALL SHOWN EXISTING DIMENSIONS TO BE VERIFIED IN FIELD

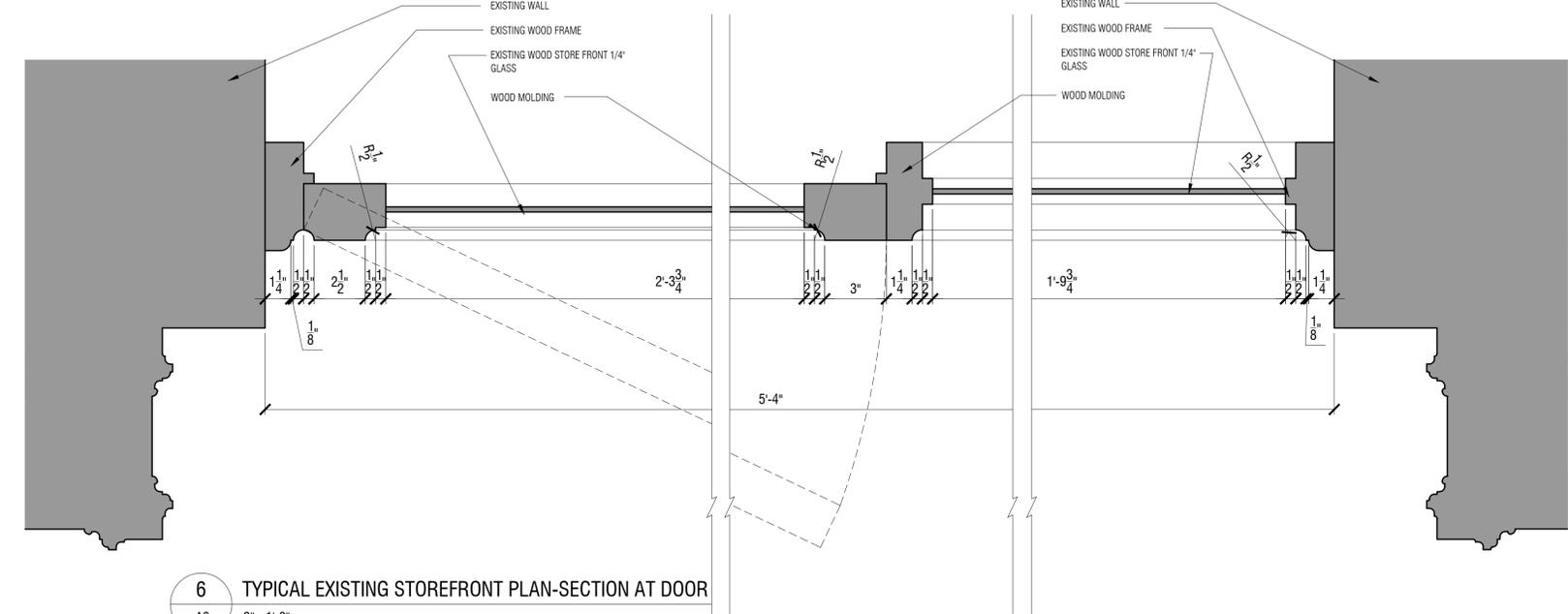


3 TYPICAL EXISTING STOREFRONT SECTION
A9 3"=1'-0"

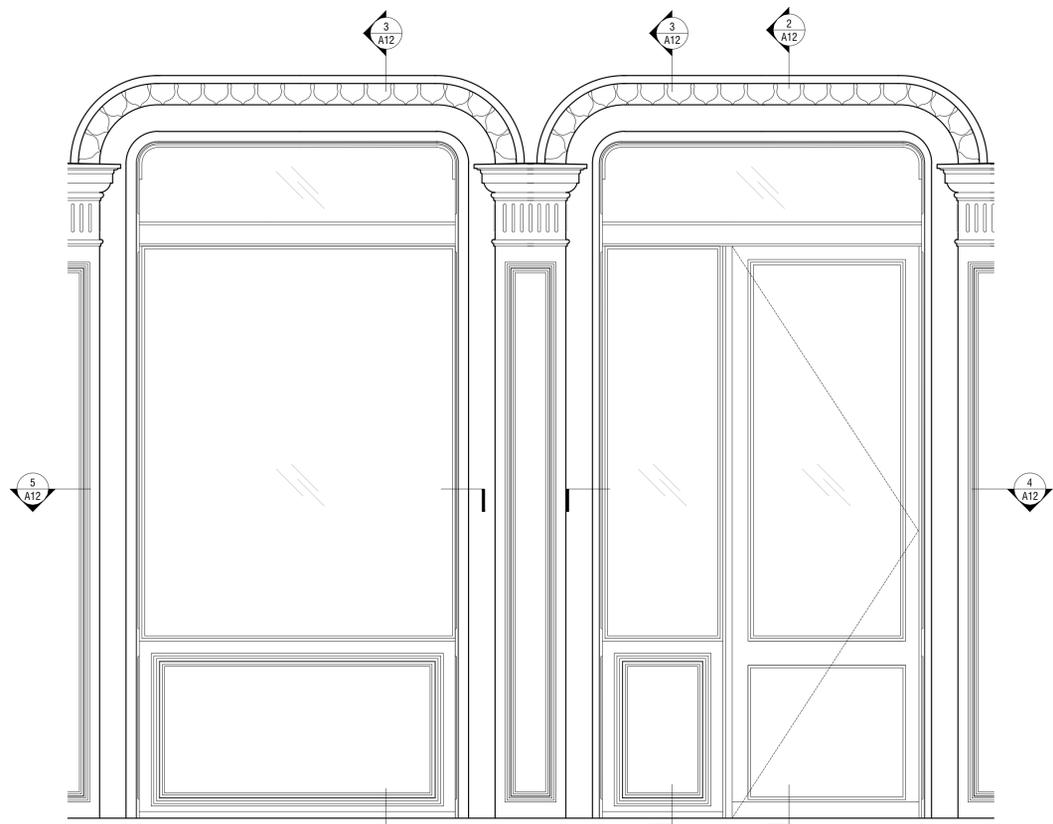
4 TYPICAL EXISTING STOREFRONT SECTION AT DDOOR
A9 3"=1'-0"



5 TYPICAL EXISTING STOREFRONT PLAN-SECTION
A9 3"=1'-0"

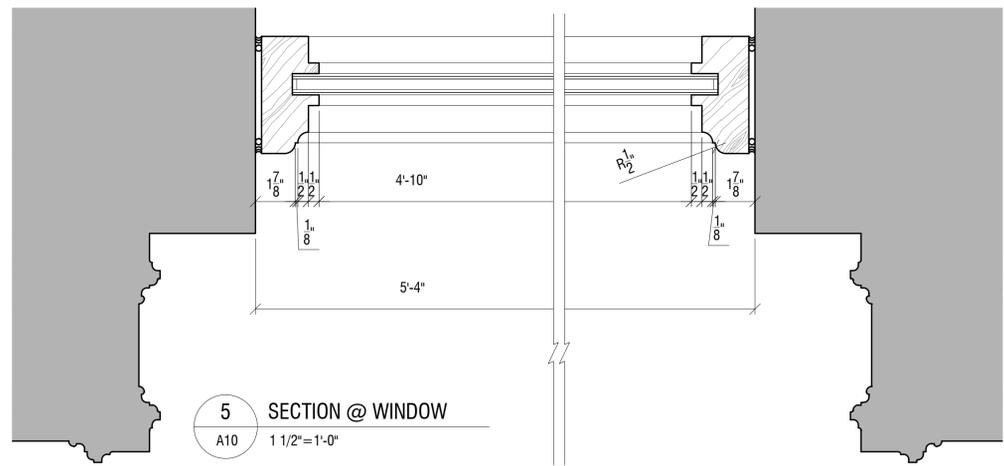


6 TYPICAL EXISTING STOREFRONT PLAN-SECTION AT DOOR
A9 3"=1'-0"



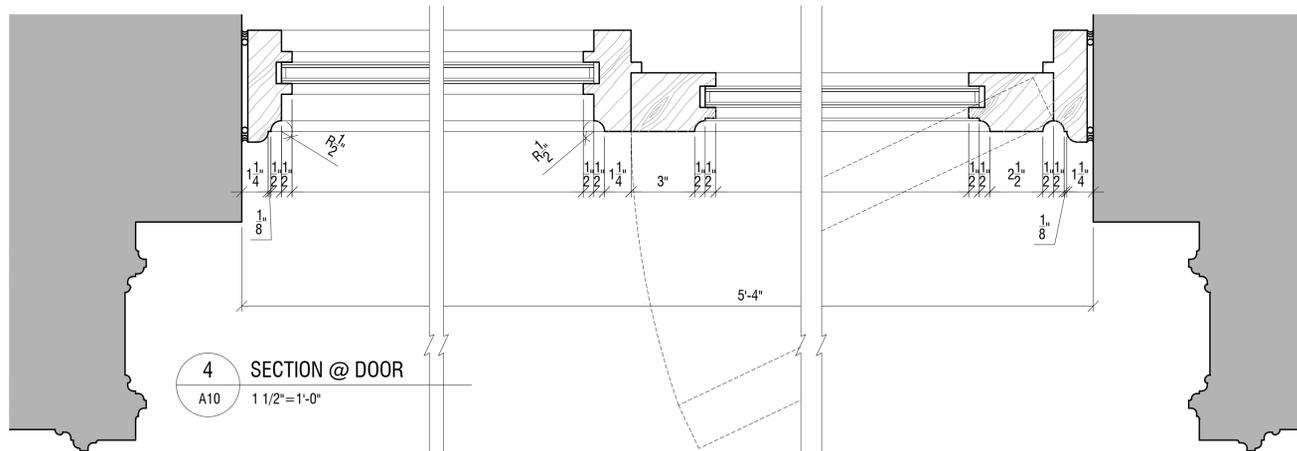
1 TYPICAL PROPOSED STOREFRONT ELEVATION

A12 1/2" = 1'-0"



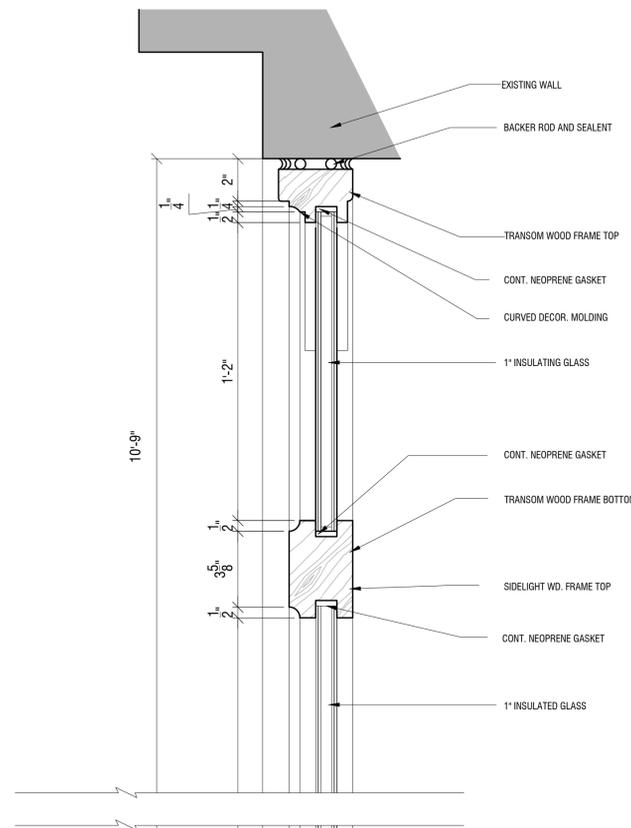
5 SECTION @ WINDOW

A10 1 1/2" = 1'-0"



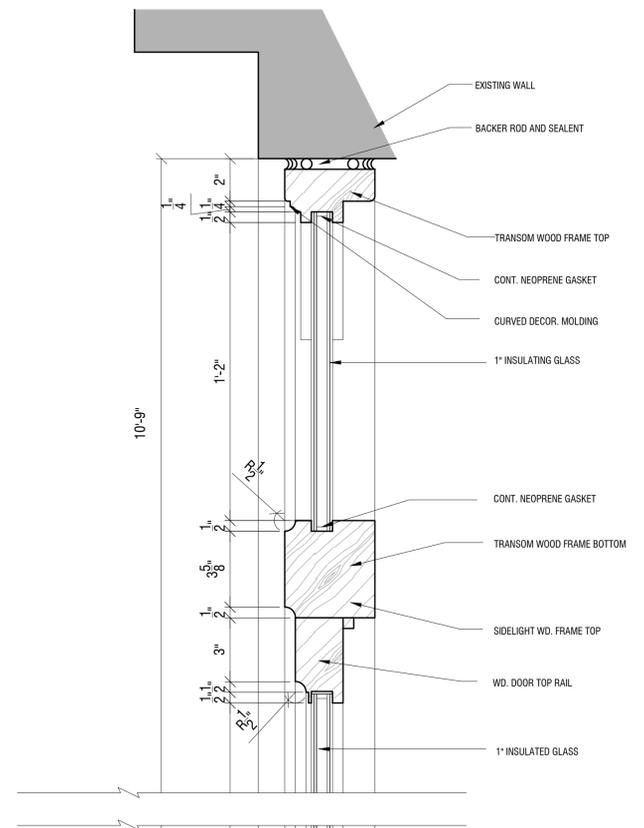
4 SECTION @ DOOR

A10 1 1/2" = 1'-0"



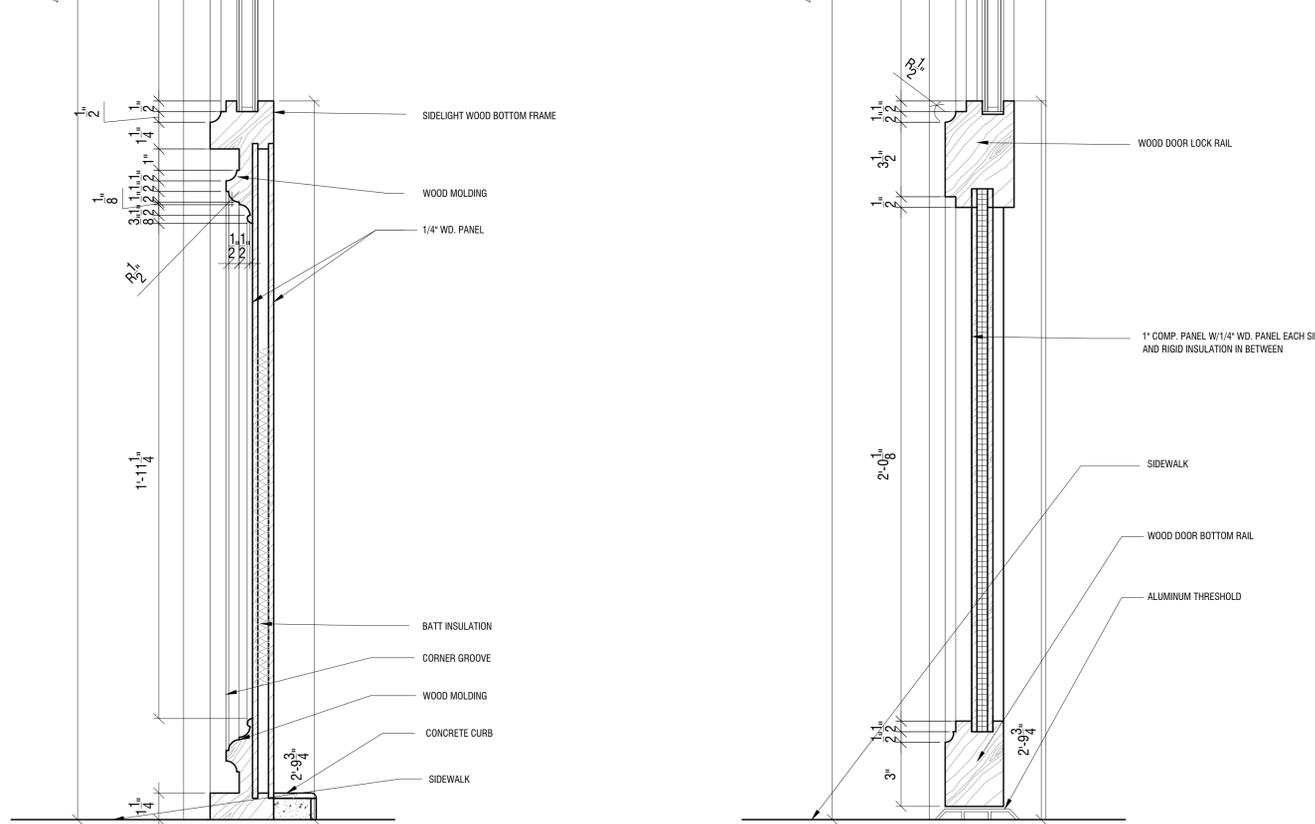
3 SECTION @ SIDELIGHT & STOREFRONT

A10 1 1/2" = 1'-0"



2 SECTION @ DOOR

A12 1 1/2" = 1'-0"





BUILDING HISTORIC PHOTO 1



BUILDING HISTORIC PHOTO 2



BUILDING HISTORIC PHOTO 3



BUILDING EXISTING CONDITION PHOTO 4



TYPICAL WINDOW EXISTING CONDITION PHOTO 5



FRAGMENT OF EXISTING ROOF TOP PERIMETER RAILING
SEE DWG. A-7 FOR PROPOSED REPLICATION ELEVATION



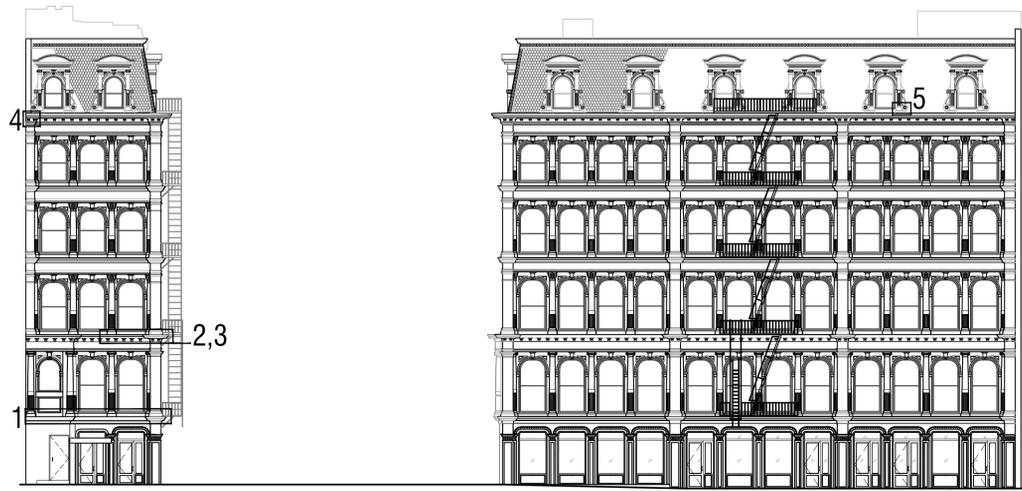
TYPICAL STORE FRONT TOP EXISTING CONDITION PHOTO 6



TYPICAL STORE FRONT BOTTOM EXISTING CONDITION PHOTO 6



1ST FLOOR EXISTING ENTRANCE DOOR



PHOTOS LOCATIONS



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4

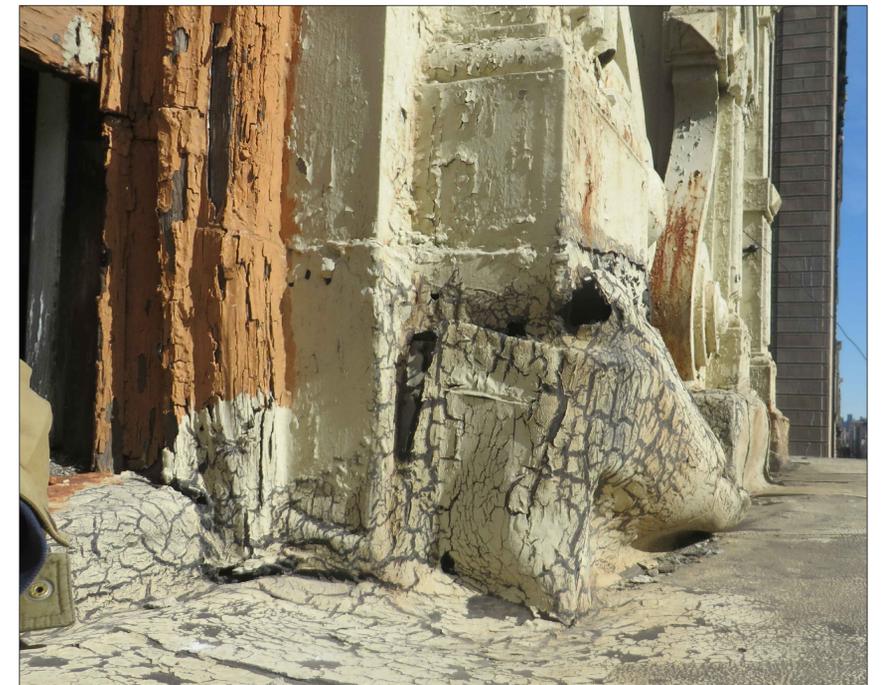
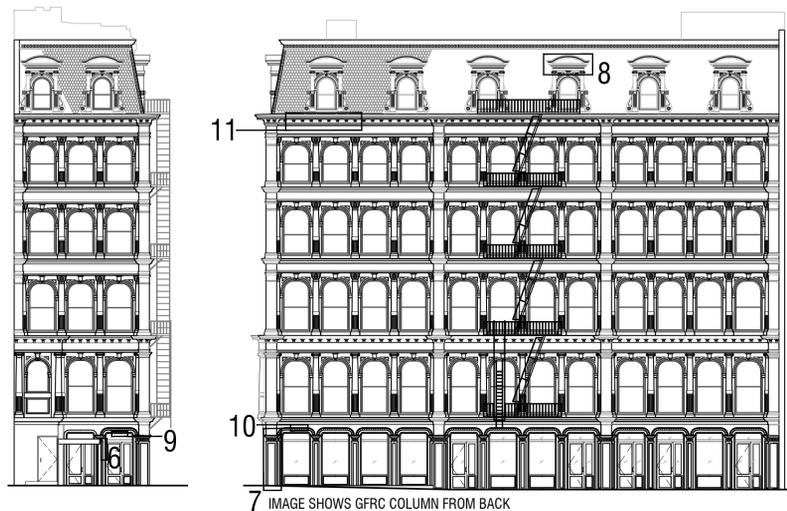


PHOTO 5



7 IMAGE SHOWS GFRC COLUMN FROM BACK

PHOTOS LOCATIONS



PHOTO 6



PHOTO 7

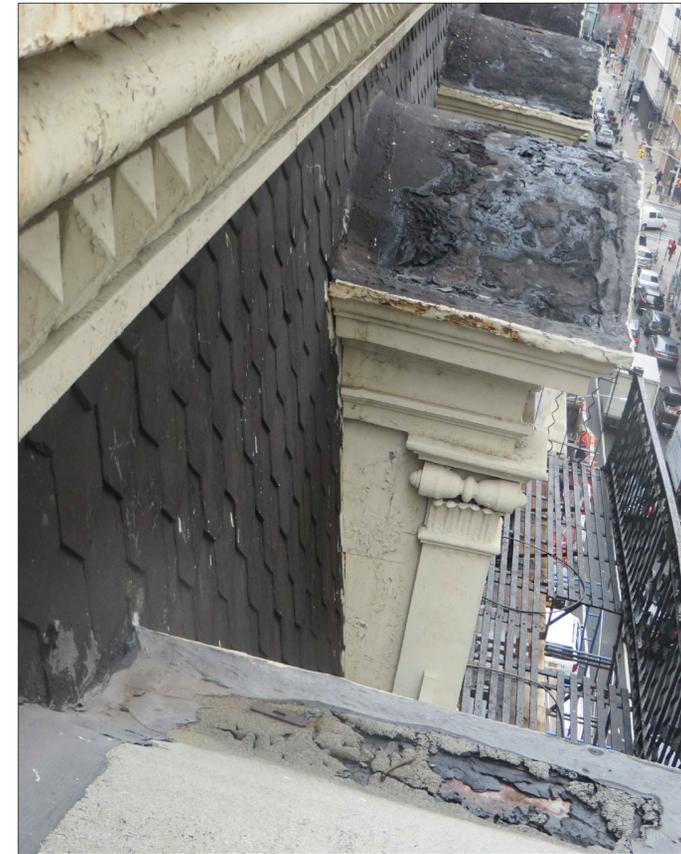


PHOTO 8



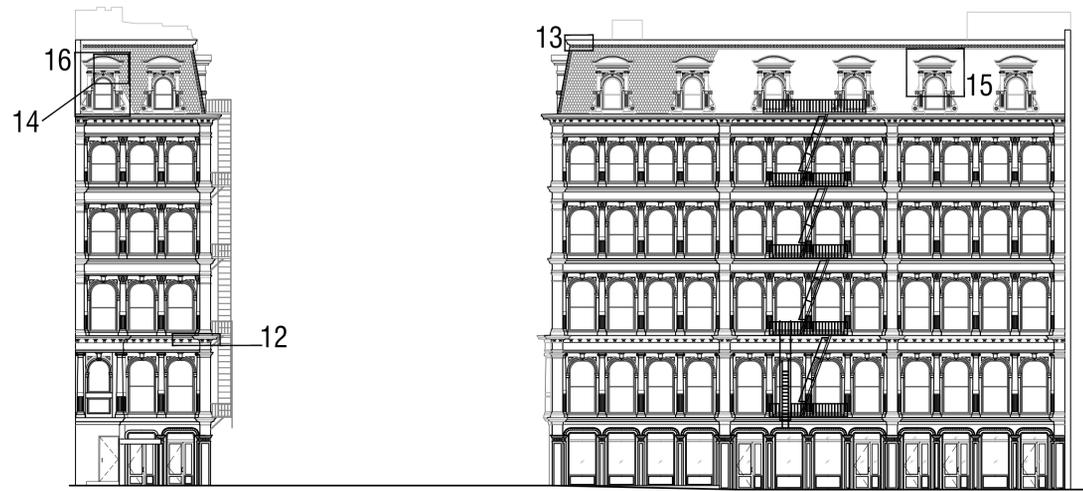
PHOTO 9



PHOTO 10



PHOTO 11



PHOTOS LOCATIONS



PHOTO 12



PHOTO 13



PHOTO 14

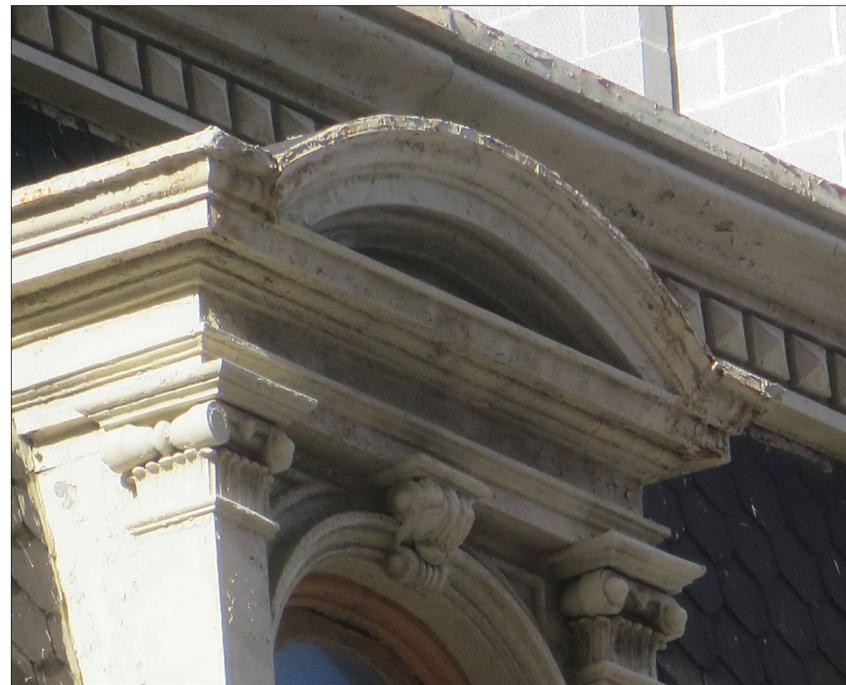
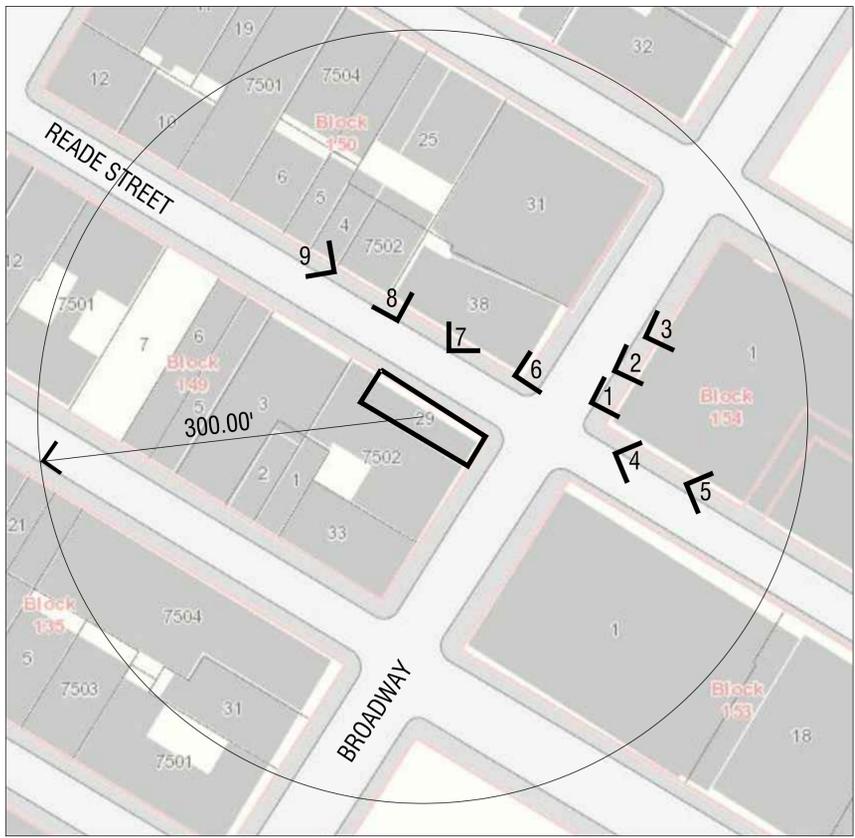


PHOTO 15



PHOTO 16



PHOTOGRAPHS LOCATION DIAGRAM



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5

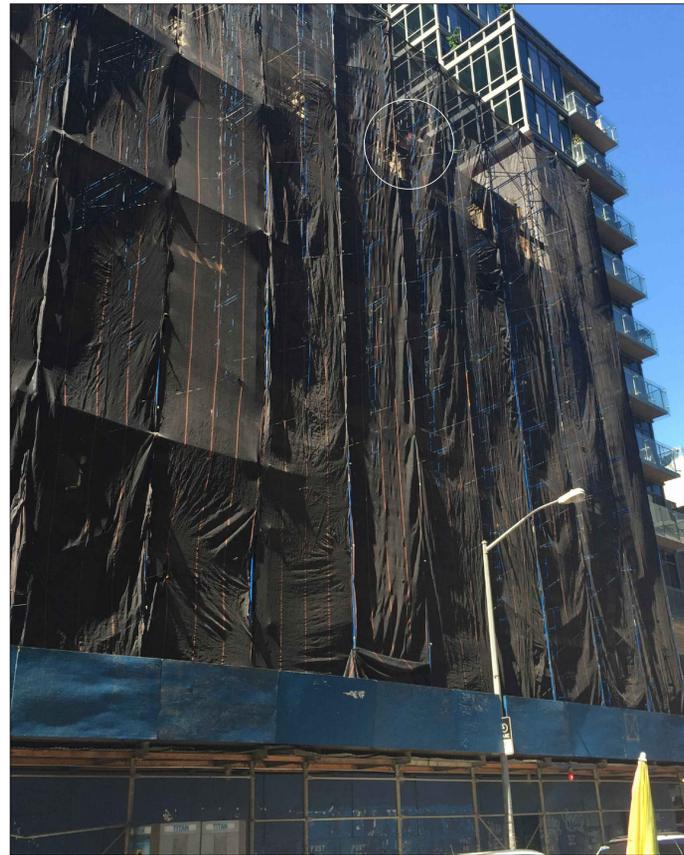
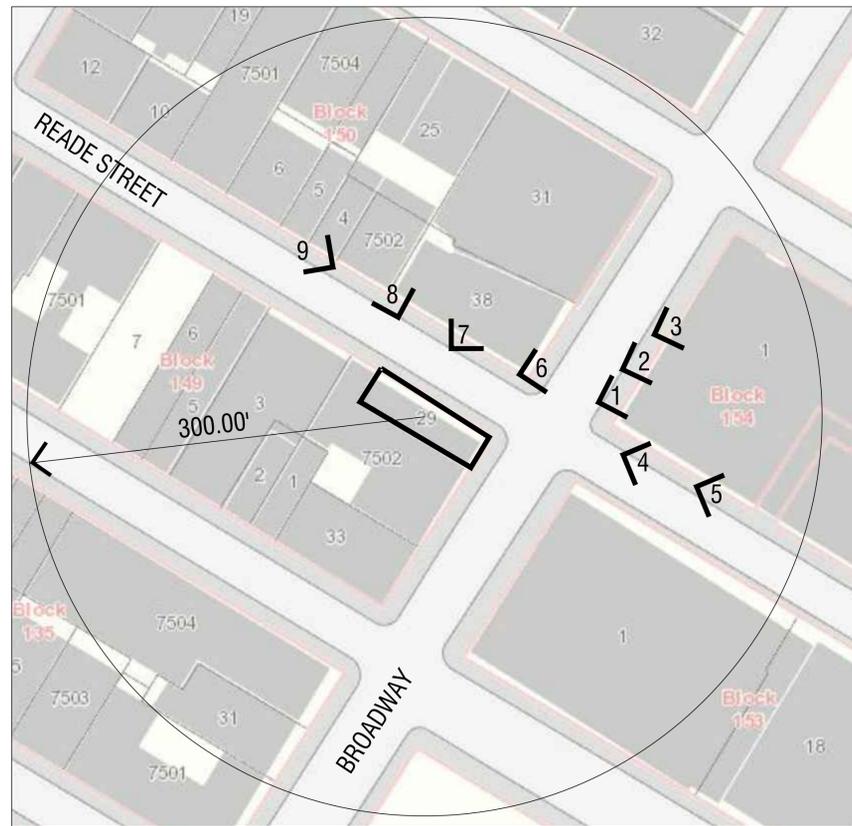


PHOTO 6



PHOTOGRAGHS LOCATION DIAGRAM



PHOTO 7



BUILDING WITH PROPOSED CRESTING

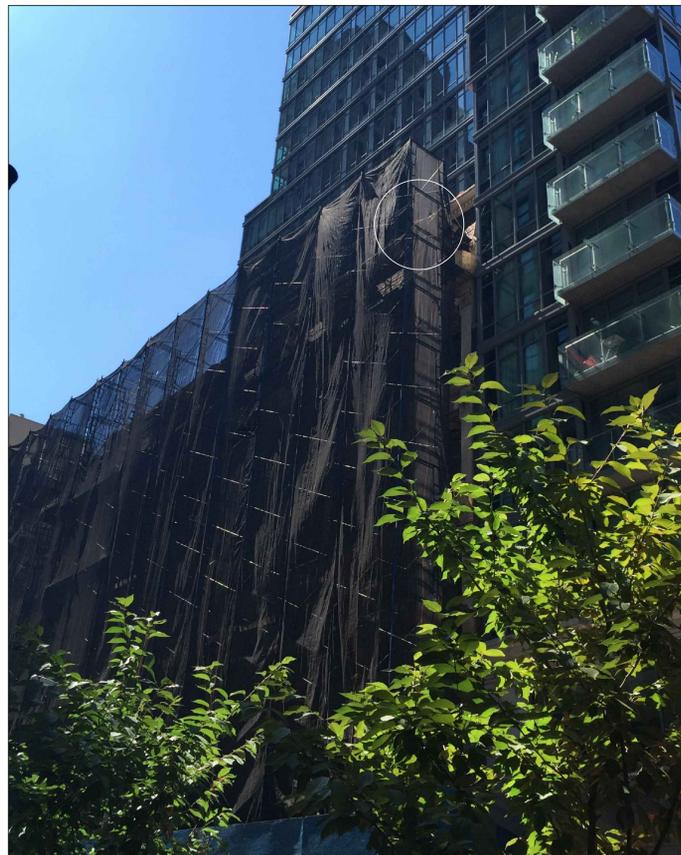


PHOTO 9



PHOTO 8



GENERAL FACADE SCOPE OF WORK (S.O.W.)

1. SEAL ALL CAST IRON JOINTS.
2. REMOVE ALL MISC. SCREWS, CONDUIT, AND ASSOCIATED ANCHORS. PATCH HOLES LEFT BY REMOVALS W/ METAL FILLER AND SAND SMOOTH.
3. PREPARE AND PAINT ALL CAST IRON AND SHEET METAL.
4. AT SHEET METAL AND CAST IRON AREAS DISASSEMBLED FOR REINSTALLATION, REMOVE ALL PAINT AND PREPARE AND PAINT.
5. AT ALL AREAS OF REMOVALS NOTIFY THE ARCHITECT & ENGINEER TO OBSERVE CONDITIONS ONCE INITIAL DEMO IS COMPLETE.
6. AT ALL IN-SITU REPAIRS REMOVE ALL PAINT.

KEYED FACADE SCOPE OF WORK (S.O.W.)

- 01 REMOVE FRAGMENTS OF ORIGINAL CRESTING AND FABRICATE AND INSTALL NEW RE-CREATED STEEL CRESTING AS DETAILED ON AR-301.
- 02 DISASSEMBLE EXISTING SHEET METAL MANSARD CORNICE. COMPLETE REPAIRS AS DETAILED AND REINSTALL SHEET METAL CORNICE. SEE 3/AR301.
- 02a DISASSEMBLE EXISTING SHEET METAL MANSARD CORNER TO COMPLETE ROOF REPAIRS & INSTALL FLASHING AND REINSTALL ONCE REPAIRS ARE COMPLETE. SEE 4/AR301.
- 03 REMOVE EXISTING SLATE TILES AND ROOF SYSTEM DOWN TO WOOD DECKING. INSTALL FLY WOOD DECKING, ROOF SYSTEM, AND NEW SLATE TILES TO MATCH EXISTING AS DETAILED ON 1/AR301.
- 03a AT DORMER, REMOVE EXISTING ROOFING SYSTEM DOWN TO SHEET METAL, AND PROVIDE RESINOUS ROOF MEMBRANE AS DETAILED ON 1/AR301.
- 04 EXISTING DAMAGED SHEET METAL PATCH. REMOVE PATCH AND PROVIDE NEW SHEET METAL PATCH TO MATCH EXISTING ADJACENT PROFILE. FASTEN W/ S.S. FASTENERS.
- 05 DAMAGED / MISSING SHEET METAL. REMOVE DAMAGED SHEET METAL AND PROVIDE SHEET METAL PATCH TO MATCH EXISTING ADJACENT IN PROFILE. FASTEN W/ S.S. FASTENERS.
- 06 REMOVE EXISTING GUTTER WATERPROOFING, SUBSTRATE, AND BLKG. TO EXPOSE CAST IRON STRUCTURE AND PROVIDE NEW GUTTER SYSTEM AS DETAILED. REMOVE AND REINSTALL CAST IRON CORNICE TO ACCOMMODATE GUTTER INSTALLATION AND STRUCTURAL REPAIRS. SEE 2/AR301.
- 07 MISSING LEAVES AT CAPITAL. REPLACE MISSING CAST IRON LEAVES AT CAPITAL OF COLUMN W/ NEW CAST IRON LEAVES TO MATCH EXISTING ADJACENT LEAVES.
- 08 CRACKED CAST IRON. DRILL HOLE AT CRACK TERMINATION TO PREVENT FURTHER CRACKING. GRIND OUT 1" GROOVE ALONG ENTIRE CRACK LENGTH AND SEAL. SEE 5/AR301.
- 09 MISSING / DAMAGED CAST IRON FASCIA. REMOVE EXISTING FASCIA TRIM AND REINSTALL ONCE WORK IS COMPLETE. CUT AND REMOVE DAMAGED CAST IRON AND PROVIDE NEW CAST IRON FASCIA PATCH AS DETAILED ON 4a-6/AR301.
- 10 MISSING / DAMAGED COLUMN BAND. PROVIDE NEW CAST IRON COLUMN BAND TO MATCH ADJACENT.
- 11 RESET DISPLACED CAST IRON ELEMENT(S). PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE CAST IRON AND ANCHOR W/ S.S. FASTENERS.
- 12 CUT AND REMOVE DAMAGED CAST IRON CORNICE AND DENTAL. PROVIDE NEW CAST IRON CORNICE AND DENTAL TO MATCH EXISTING ADJACENT IN PROFILE AND DIMENSION. PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE AND ANCHOR W/ S.S. FASTENERS. SIMILAR TO 1/AR301.
- 13 REMOVE NON-ORIGINAL SHEET METAL CORNICE AND WATERPROOFING MEMBRANE AND PROVIDE NEW SHEET METAL COLUMN BASES, WINDOW SILL(S) AND CORNICE AS DETAILED. PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE AND ANCHOR W/ S.S. FASTENERS. SEE 1/AR301.
- 13a REMOVE DAMAGED CORNICE CAP ALONG ENTIRE LENGTH OF REAR STREET ELEVATION AND PROVIDE NEW SHEET METAL CORNICE CAP AS DETAILED. PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE AND ANCHOR W/ S.S. FASTENERS. SEE 2/AR301.
- 14 REMOVE NON-ORIGINAL STOREFRONT AND PROVIDE NEW SHEET METAL STOREFRONT AS DETAILED ON 1/AR101.
- 15 REMOVE NON-ORIGINAL SHEET METAL COLUMN(S) AND PROVIDE NEW SHEET METAL COLUMNS TO MATCH EXISTING CAST IRON COLUMNS. SEE 1/AR101.
- 15a REMOVE EXISTING CEMENT FLASTER COATING AT EXISTING FASCIA AND PROVIDE SHEET METAL FASCIA AND DECORATIVE ARCH TO MATCH EXISTING ADJACENT. SEE 1/AR101.
- 16 MISSING / DAMAGED CAST IRON. PROVIDE SHEET METAL PATCH TO MATCH EXISTING ADJACENT IN PROFILE. FASTEN W/ S.S. FASTENERS.
- 17 DAMAGED / CRACKED CAST IRON SILL/CORNICE CAP. CUT EXISTING CAST IRON TO CREATE A RECTANGULAR OPENING. PROVIDE S.S. BRACKER FLATES AND NEW CAST IRON PIECE TO FIT CUT RECTANGULAR OPENING. SEE 3a-6/AR301.
- 17a DAMAGED / CRACKED CAST IRON SILL/CORNICE CAP. CUT EXISTING CAST IRON TO CREATE A RECTANGULAR OPENING. PROVIDE NEW SHEET METAL CORNICE CAP AS DETAILED ON 2/AR301.
- 18 REMOVE EXISTING DAMAGED SHEET METAL BASE AND PROVIDE NEW SHEET METAL BASE AS DETAILED ON 2/AR301.
- 19 REMOVE NON-ORIGINAL ATTACHMENT(S) AND ALL ASSOCIATED ANCHORS. PATCH ANCHOR HOLES W/ METAL FILLER.

REVISIONS		
NO.	DATE	DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

PROJECT

FACADE & ROOF RESTORATION OF 287 BROADWAY

ADDRESS
**287 BROADWAY
NEW YORK, NY**

CTSG PROJ. NUMBER: 893

DRAWN BY: BPC

CHECKED BY: DVA

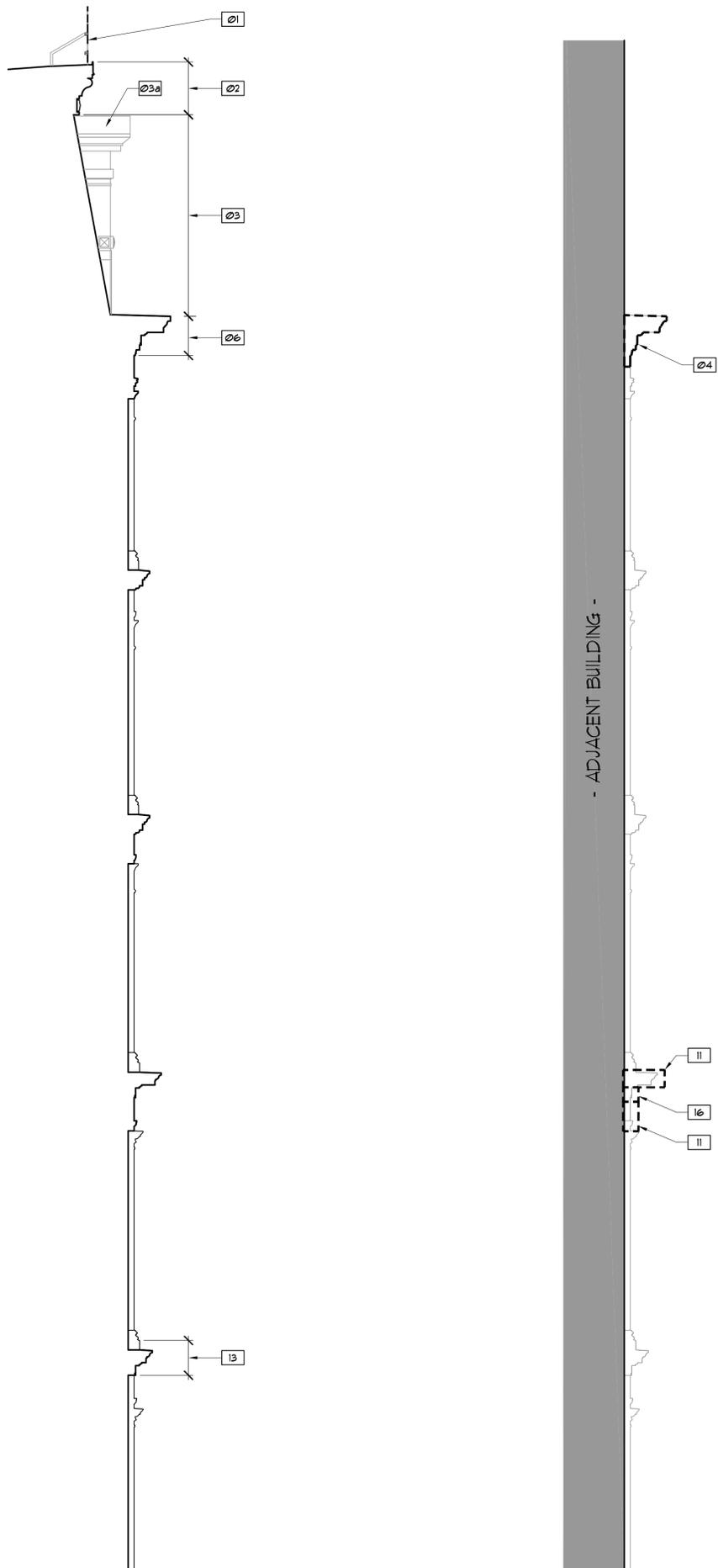
DATE: 9/14/15

SHEET TITLE

BROADWAY ELEVATION (EAST)

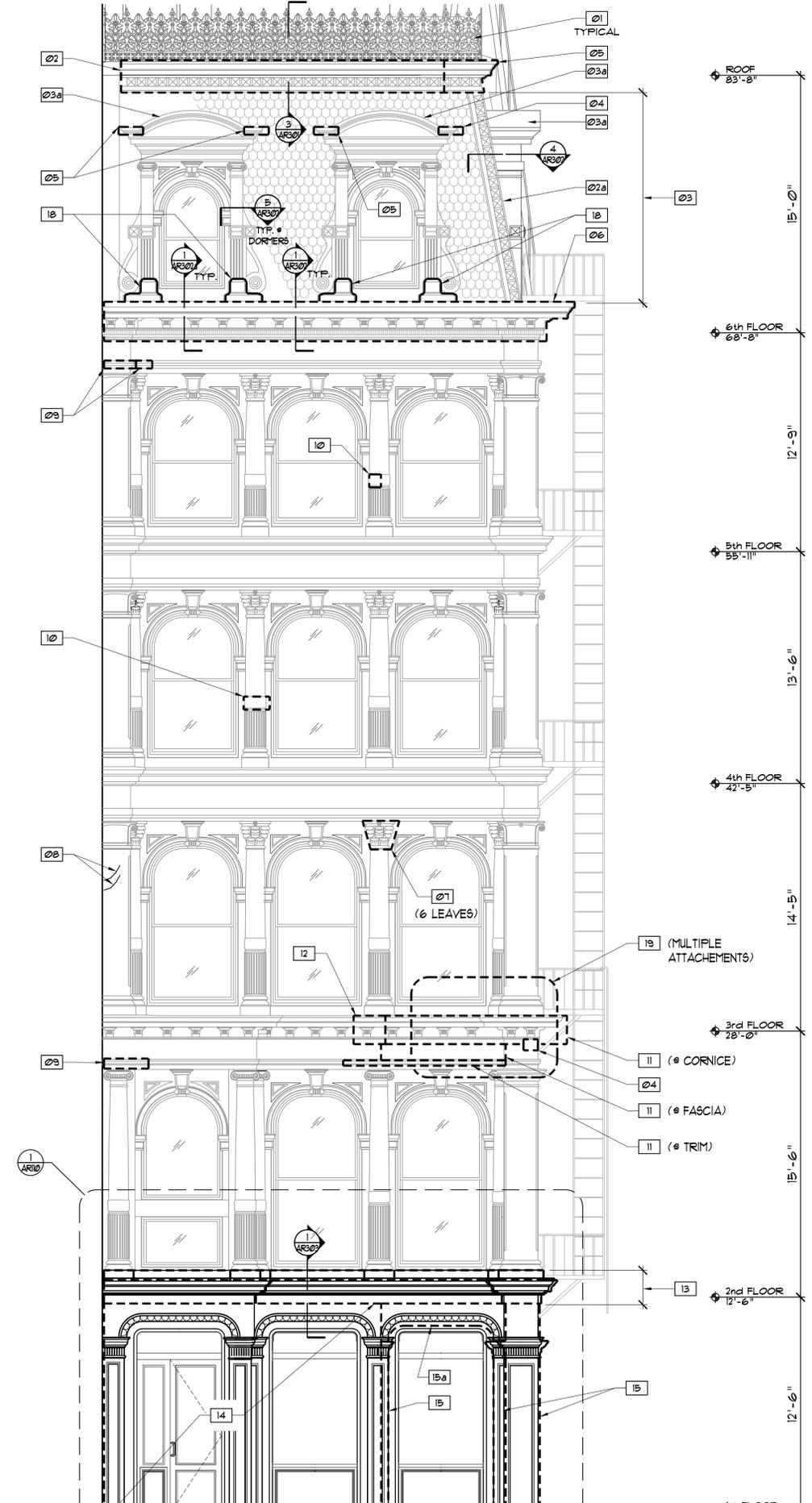
SHEET NUMBER

AR-101.00
SHEET OF

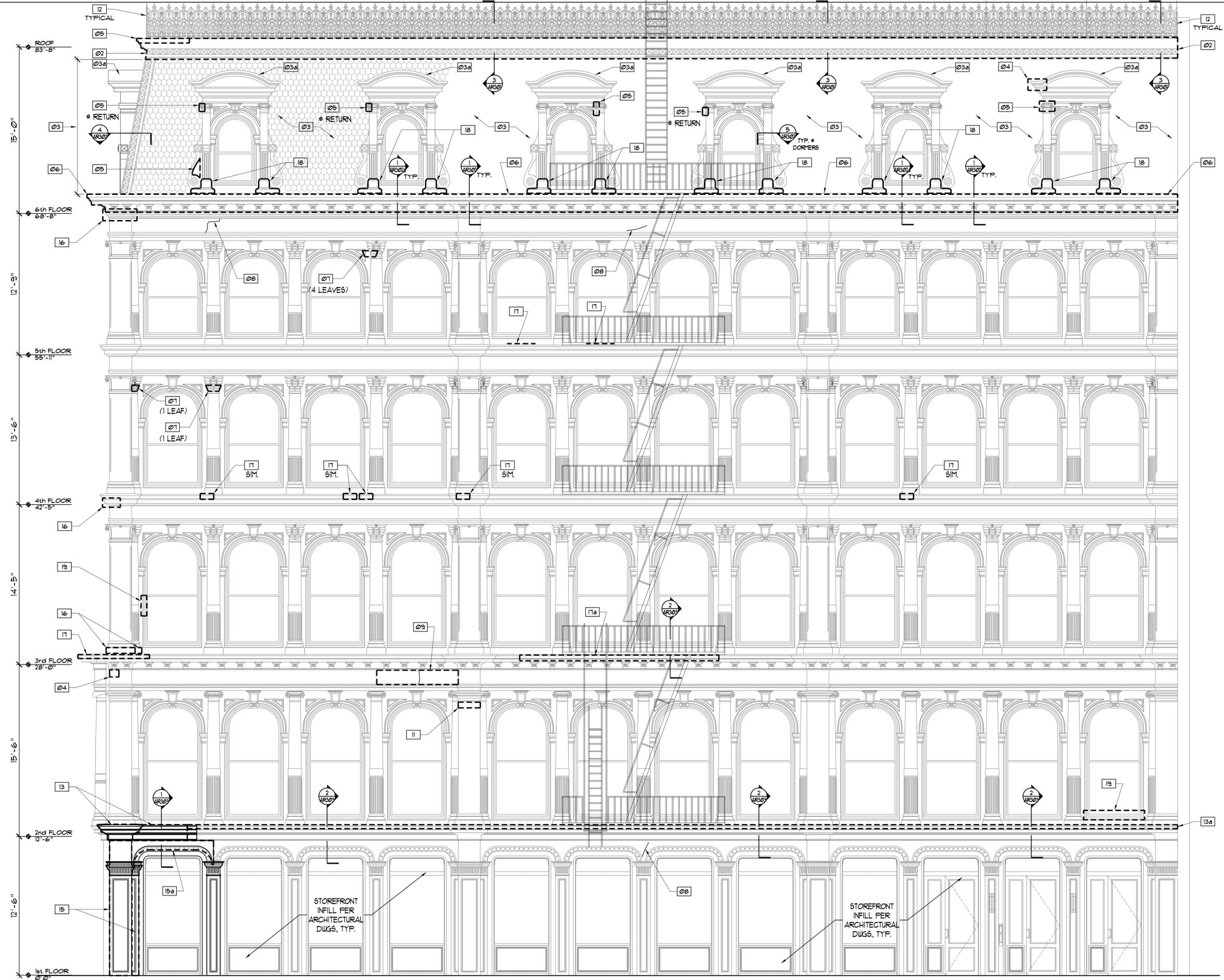


3 TYPICAL SECTION
AR101 1/4" = 1'-0"

2 ELEVATION (SOUTH)
AR101 1/4" = 1'-0"



1 BROADWAY ELEVATION (EAST)
AR101 1/4" = 1'-0"



GENERAL FACADE SCOPE OF WORK (S.O.W.)

1. SEAL ALL CAST IRON JOINTS.
2. REMOVE ALL MISC. SCREWS, CONDUIT, AND ASSOCIATED ANCHORS. PATCH HOLES LEFT BY REMOVALS W/ METAL FILLER AND SAND SMOOTH.
3. PREPARE AND PAINT ALL CAST IRON AND SHEET METAL.
4. AT SHEET METAL AND CAST IRON AREAS DISASSEMBLED FOR REINSTALLATION REMOVE ALL PAINT AND PREPARE AND PAINT.
5. AT ALL AREAS OF REMOVALS NOTIFY THE ARCHITECT & ENGINEER TO OBSERVE CONDITIONS ONCE INITIAL DEMO IS COMPLETE.
6. AT ALL IN-SITU REPAIRS REMOVE ALL PAINT.

KEYED FACADE SCOPE OF WORK (S.O.W.)

- 01 REMOVE FRAGMENTS OF ORIGINAL CRESTING AND FABRICATE AND INSTALL NEW RE-CREATED STEEL CRESTING AS DETAILED ON AR-302.
- 02 DISASSEMBLE EXISTING SHEET METAL MANSARD CORNICE. COMPLETE REPAIRS AS DETAILED AND REINSTALL SHEET METAL CORNICE. SEE 3/AR302.
- 02a DISASSEMBLE EXISTING SHEET METAL MANSARD CORNER TO COMPLETE ROOF REPAIRS & INSTALL FLASHING AND REINSTALL ONCE REPAIRS ARE COMPLETE. SEE 4/AR302.
- 03 REMOVE EXISTING SLATE TILES AND ROOF SYSTEM DOWN TO WOOD DECKING. INSTALL FLY WOOD DECKING, ROOF SYSTEM, AND NEW SLATE TILES TO MATCH EXISTING AS DETAILED ON V/AR302.
- 03a AT DORMER: REMOVE EXISTING ROOFING SYSTEM DOWN TO SHEET METAL AND PROVIDE RESINUS ROOF MEMBRANE AS DETAILED ON V/AR304.
- 04 EXISTING DAMAGED SHEET METAL PATCH. REMOVE PATCH AND PROVIDE NEW SHEET METAL PATCH TO MATCH EXISTING ADJACENT PROFILE. FASTEN W/ S.S. FASTENERS.
- 05 DAMAGED / MISSING SHEET METAL: REMOVE DAMAGED SHEET METAL AND PROVIDE SHEET METAL PATCH TO MATCH EXISTING ADJACENT IN PROFILE. FASTEN W/ S.S. FASTENERS.
- 06 REMOVE EXISTING GUTTER WATERPROOFING SUBSTRATE AND BLKG. TO EXPOSE CAST IRON STRUCTURE AND PROVIDE NEW GUTTER SYSTEM AS DETAILED. REMOVE AND REINSTALL CAST IRON CORNICE TO ACCOMMODATE GUTTER INSTALLATION AND STRUCTURAL REPAIRS. SEE 2/AR302.
- 07 MISSING LEAVES AT CAPITAL: REPLACE MISSING CAST IRON LEAVES AT CAPITAL OF COLUMN W/ NEW CAST IRON LEAVES TO MATCH EXISTING ADJACENT LEAVES.
- 08 CRACKED CAST IRON: DRILL HOLE AT CRACK TERMINATION TO PREVENT FURTHER CRACKING. GRIND OUT "V" GROOVE ALONG ENTIRE CRACK LENGTH AND SEAL. SEE 5/AR302.
- 09 MISSING / DAMAGED CAST IRON FASCIA: REMOVE EXISTING FASCIA TRIM AND REINSTALL ONCE WORK IS COMPLETE. CUT AND REMOVE DAMAGED CAST IRON AND PROVIDE NEW CAST IRON FASCIA PATCH AS DETAILED ON 4a-6/AR302.
- 10 MISSING / DAMAGED COLUMN BAND: PROVIDE NEW CAST IRON COLUMN BAND TO MATCH ADJACENT.
- 11 RESET DISPLACED CAST IRON ELEMENT(S). PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE CAST IRON AND ANCHOR W/ S.S. FASTENERS.
- 12 CUT AND REMOVE DAMAGED CAST IRON CORNICE AND DENTAL. PROVIDE NEW CAST IRON CORNICE AND DENTAL TO MATCH EXISTING ADJACENT IN PROFILE AND DIMENSION. PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE AND ANCHOR W/ S.S. FASTENERS. SIMILAR TO V/AR302.
- 13 REMOVE NON-ORIGINAL SHEET METAL CORNICE AND WATERPROOFING MEMBRANE AND PROVIDE NEW SHEET METAL COLUMN BASES, WINDOW SILLS AND CORNICE AS DETAILED. PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE AND ANCHOR W/ S.S. FASTENERS. SEE V/AR302.
- 13a REMOVE DAMAGED CORNICE CAP ALONG ENTIRE LENGTH OF READE STREET ELEVATION AND PROVIDE NEW SHEET METAL CORNICE CAP AS DETAILED. PROVIDE S.S. BRACKETS / ARMATURES AS REQUIRED TO SECURE AND ANCHOR W/ S.S. FASTENERS. SEE 2/AR302.
- 14 REMOVE NON-ORIGINAL STOREFRONT AND PROVIDE NEW SHEET METAL STOREFRONT AS DETAILED ON V/AR302.
- 15 REMOVE NON-ORIGINAL SHEET METAL COLUMN(S) AND PROVIDE NEW SHEET METAL COLUMNS TO MATCH EXISTING CAST IRON COLUMNS. SEE V/AR302.
- 15a REMOVE EXISTING GYPSUM PLASTER COATING AT EXISTING FASCIA AND PROVIDE SHEET METAL FASCIA AND DECORATIVE ARCH TO MATCH EXISTING ADJACENT. SEE V/AR302.
- 16 MISSING / DAMAGED CAST IRON: REMOVE SHEET METAL PATCH TO MATCH EXISTING ADJACENT IN PROFILE. FASTEN W/ S.S. FASTENERS.
- 17 DAMAGED / CRACKED CAST IRON SILL/CORNICE CAP: CUT EXISTING CAST IRON TO CREATE A RECTANGULAR OPENING. PROVIDE S.S. BRACKER FLATES AND NEW CAST IRON PIECE TO FIT CUT RECTANGULAR OPENING. SEE 3a-6/AR302.
- 17a DAMAGED / CRACKED CAST IRON SILL/CORNICE CAP: CUT EXISTING CAST IRON TO CREATE A RECTANGULAR OPENING. PROVIDE NEW SHEET METAL CORNICE CAP AS DETAILED ON 2/AR302.
- 18 REMOVE EXISTING DAMAGED SHEET METAL BASE AND PROVIDE NEW SHEET METAL BASE AS DETAILED ON 2/AR302.
- 19 REMOVE NON-ORIGINAL ATTACHMENT(S) AND ALL ASSOCIATED ANCHORS. PATCH ANCHOR HOLES W/ METAL FILLER.

ARCHITECT

CTSGROUP

Architecture/Planning, P.A.
17 Commerce St., Clifton, NJ 07020/973.635.5900

CONSULTANTS

REVISIONS		
NO.	DATE	DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

PROJECT

FACADE & ROOF RESTORATION OF 281 BROADWAY

ADDRESS
281 BROADWAY
NEW YORK, NY

CTSG PROJ. NUMBER: 893

DRAWN BY: BPC

CHECKED BY: DVA

DATE: 9/14/15

SHEET TITLE

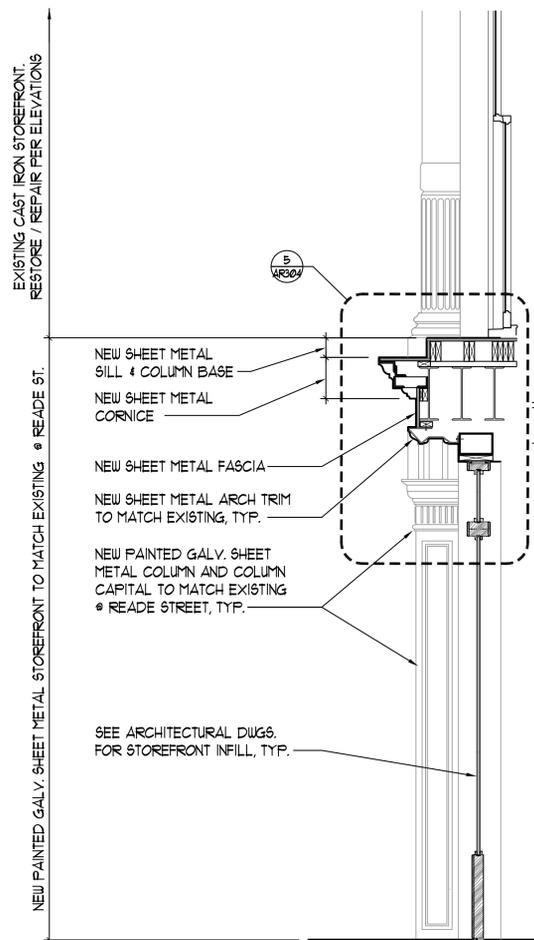
READE STREET ELEVATION (NORTH)

SHEET NUMBER

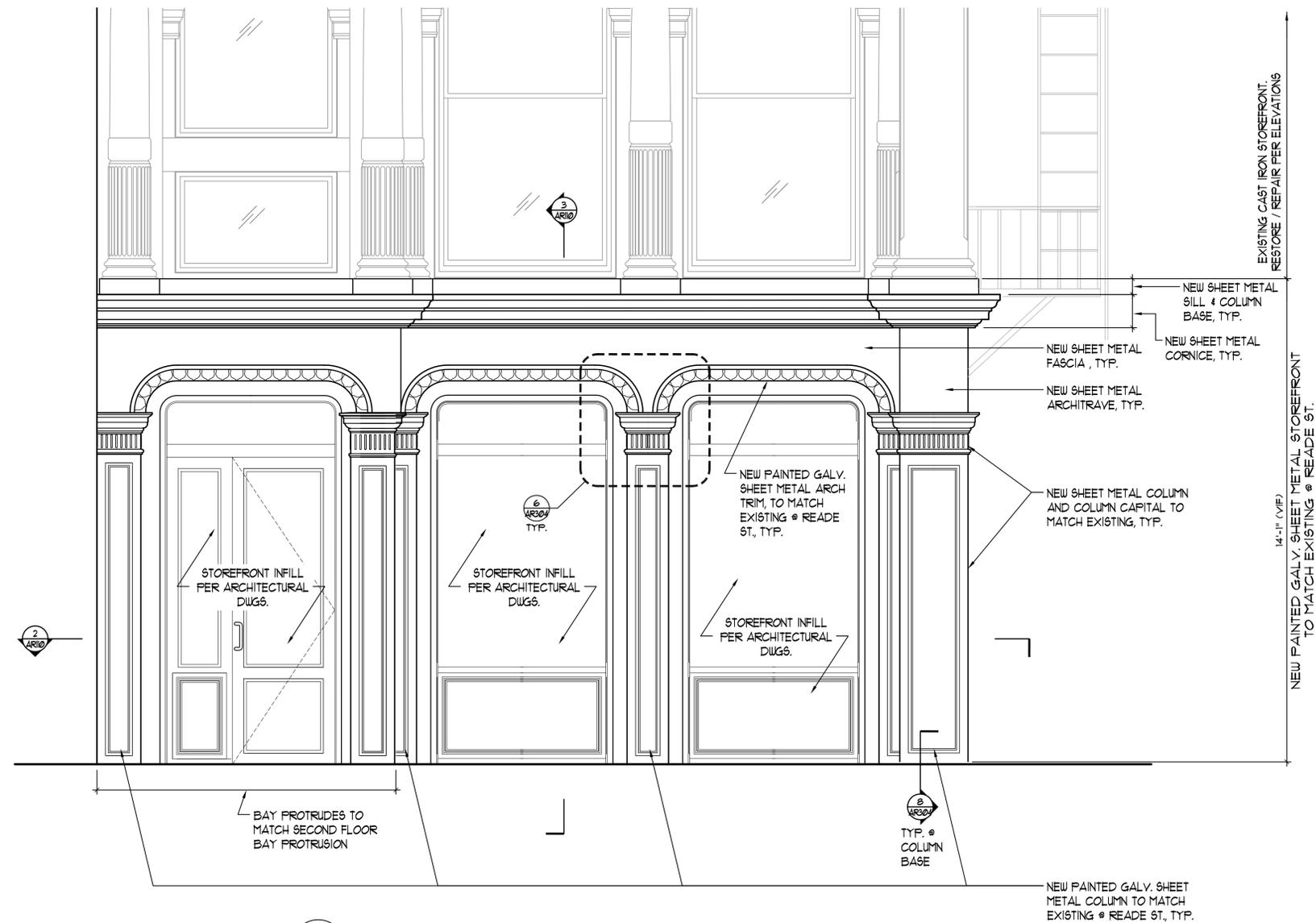
AR-102.00

SHEET OF

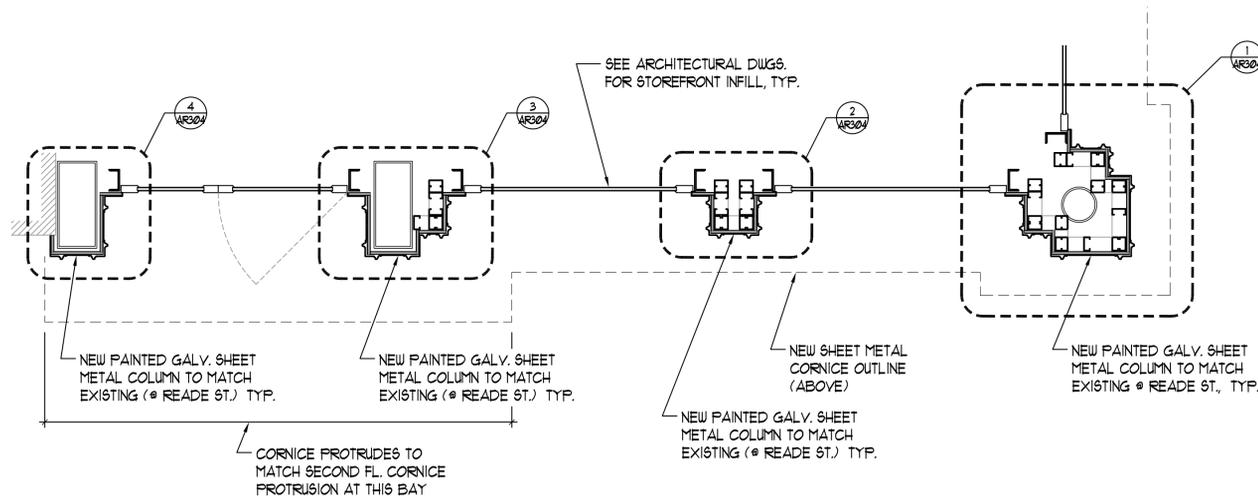
1 READ ST. ELEVATION (NORTH)
ARI02 1/4" = 1'-0"



3 BROADWAY STOREFRONT SECTION
ARI10 1/2" = 1'-0"



1 BROADWAY STOREFRONT - ELEVATION
ARI10 1/2" = 1'-0"



2 BROADWAY STOREFRONT - PLAN
ARI10 1/2" = 1'-0"

NO.	DATE	REVISIONS DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

FACADE & ROOF RESTORATION OF 287 BROADWAY

ADDRESS
287 BROADWAY
NEW YORK, NY

CTS PROJ. NUMBER: 893

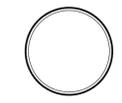
DRAWN BY: BPC

CHECKED BY: DVA

DATE: 9/14/15

BROADWAY STOREFRONT

AR-110.00
SHEET OF



NO.	DATE	DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

FACADE & ROOF RESTORATION OF 287 BROADWAY

287 BROADWAY
 NEW YORK, NY

CTSG PROJ. NUMBER: 893

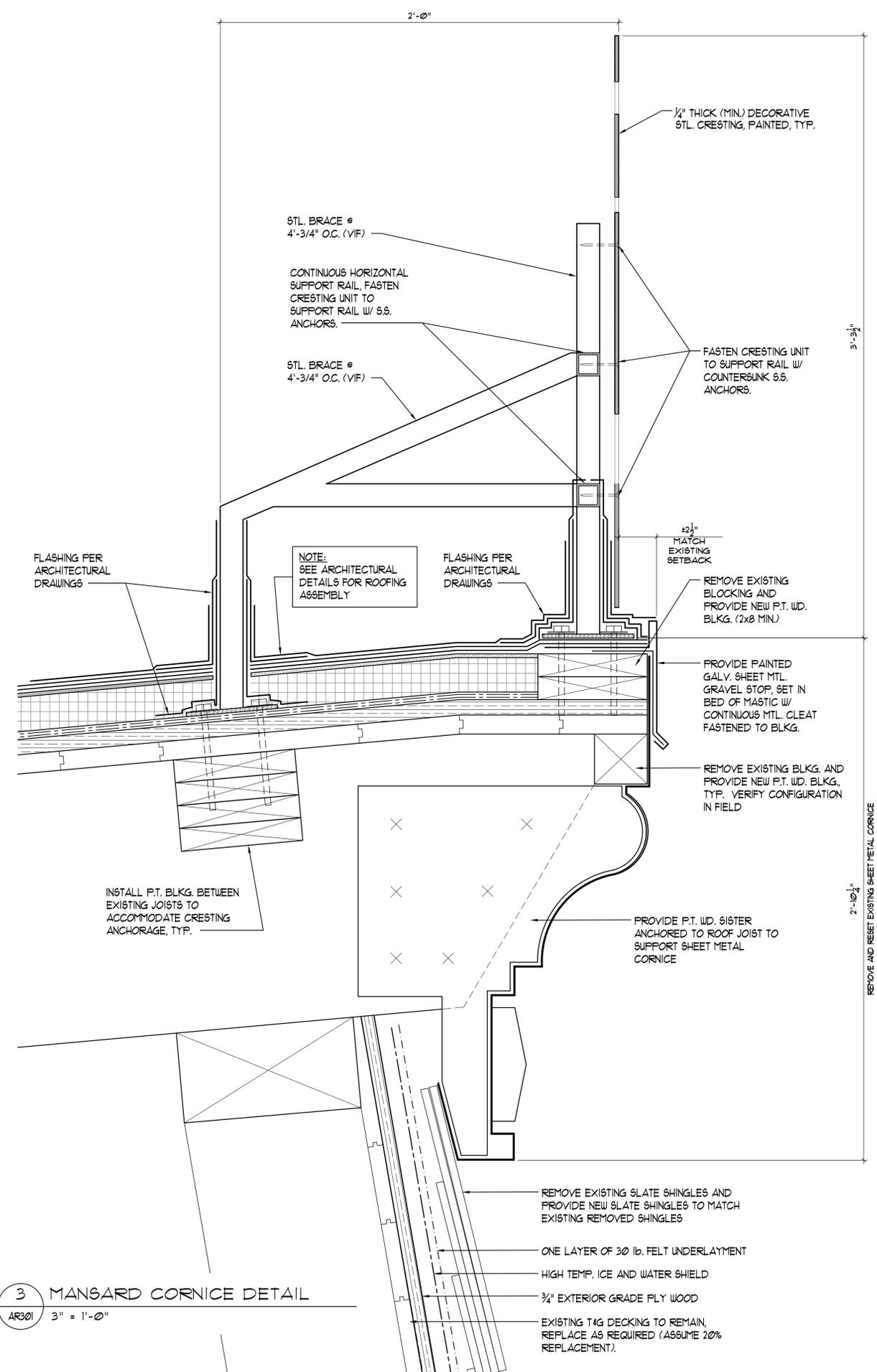
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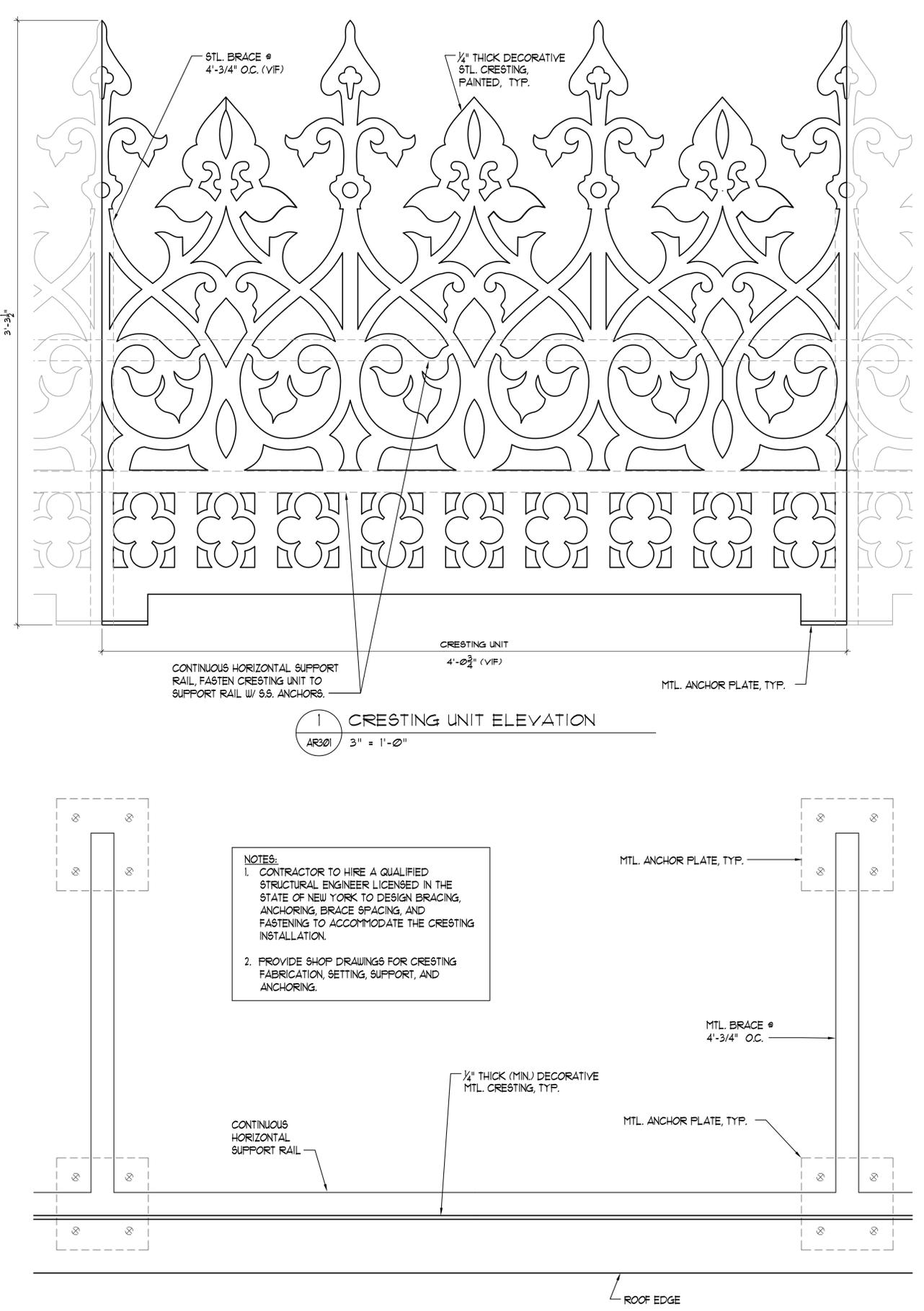
DATE: 9/14/15

CRESTING DETAIL

AR-301.00



3 MANSARD CORNICE DETAIL
 AR301 3" = 1'-0"



1 CRESTING UNIT ELEVATION
 AR301 3" = 1'-0"

2 CRESTING REINFORCING PLAN
 AR301 3" = 1'-0"

NOTES:
 1. CONTRACTOR TO HIRE A QUALIFIED STRUCTURAL ENGINEER LICENSED IN THE STATE OF NEW YORK TO DESIGN BRACING, ANCHORING, BRACE SPACING, AND FASTENING TO ACCOMMODATE THE CRESTING INSTALLATION.
 2. PROVIDE SHOP DRAWINGS FOR CRESTING FABRICATION, SETTING, SUPPORT, AND ANCHORING.

ROOF EDGE

REVISIONS		
NO.	DATE	DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

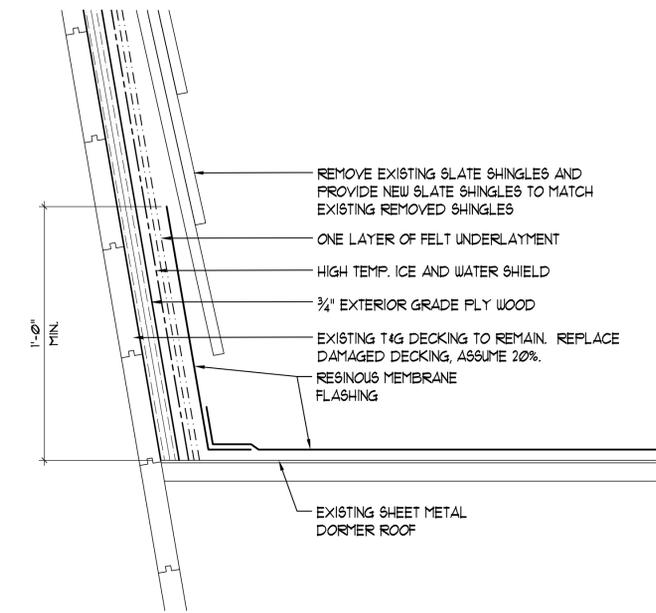
FACADE & ROOF RESTORATION OF 287 BROADWAY

ADDRESS
 287 BROADWAY
 NEW YORK, NY

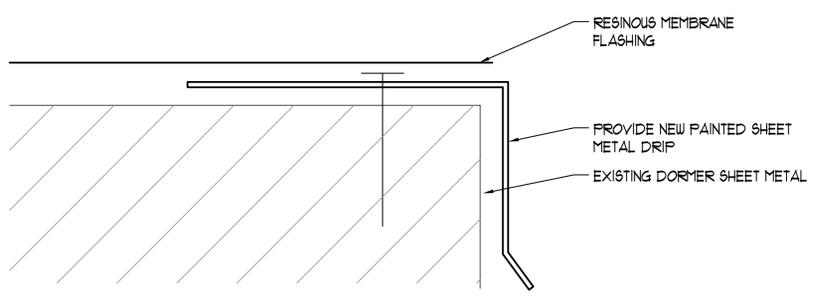
CTS PROJ. NUMBER: 893
 DRAWN BY: BPC
 CHECKED BY: DVA
 DATE: 9/14/15

5th FLOOR CORNICE DETAIL

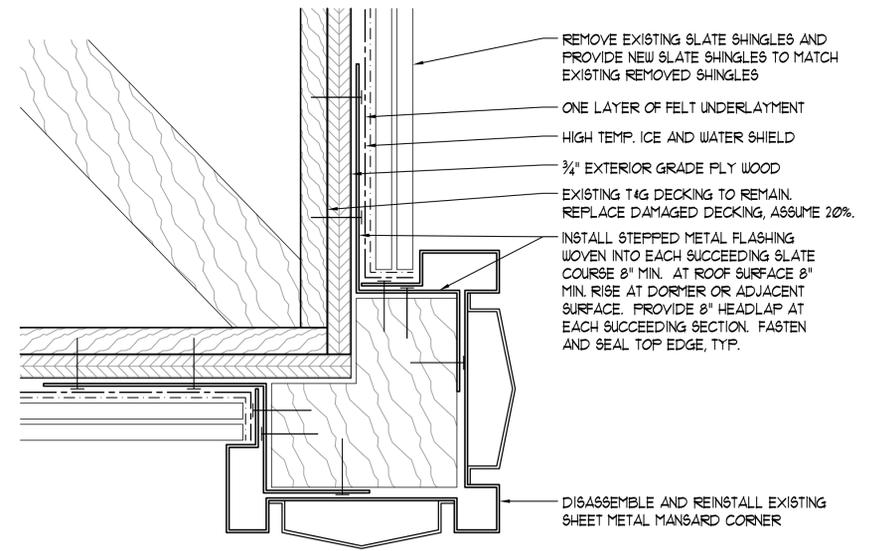
AR-302.00
 SHEET OF



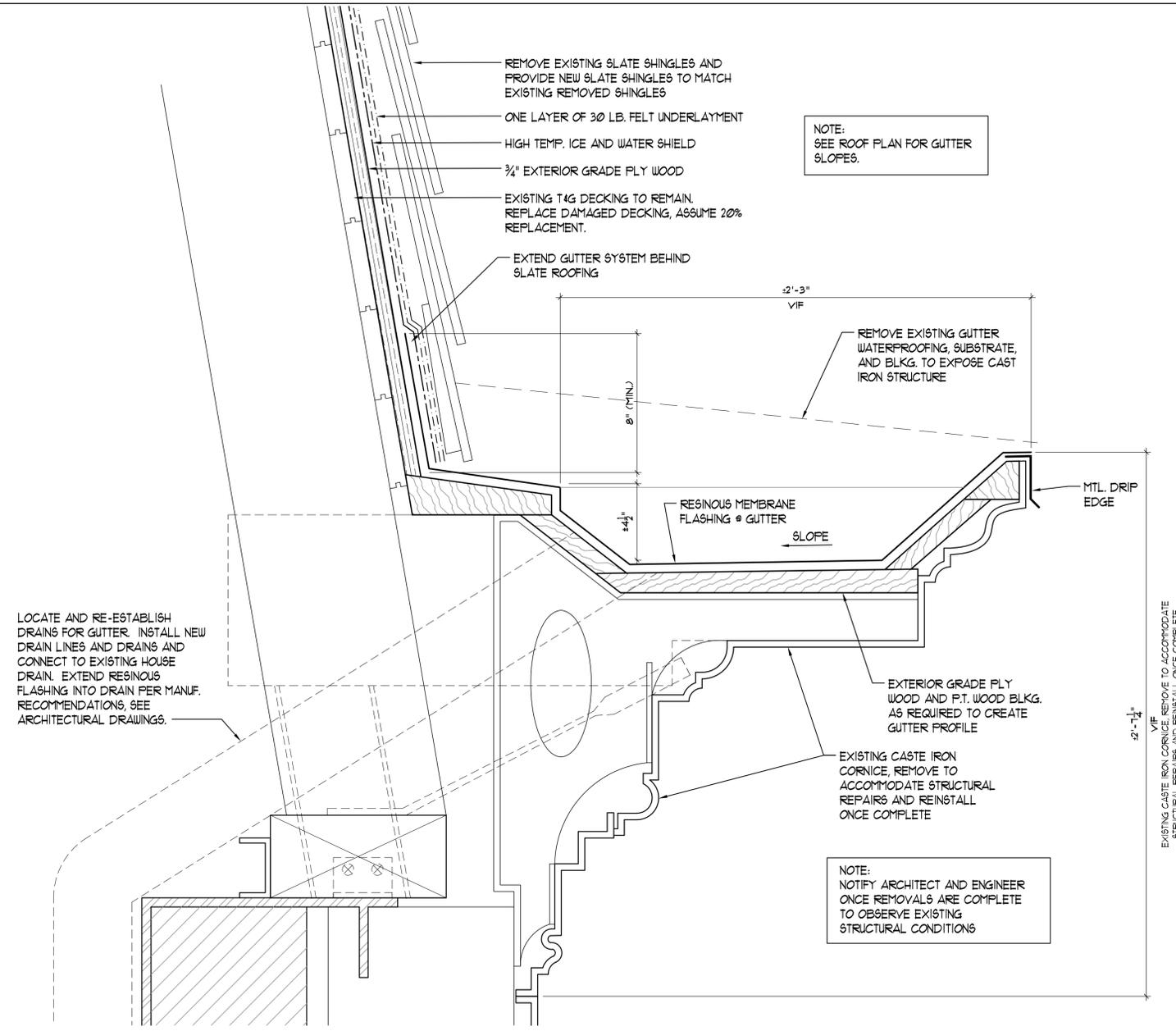
2 FLASHING DETAIL @ DORMER
 AR304 3" = 1'-0"



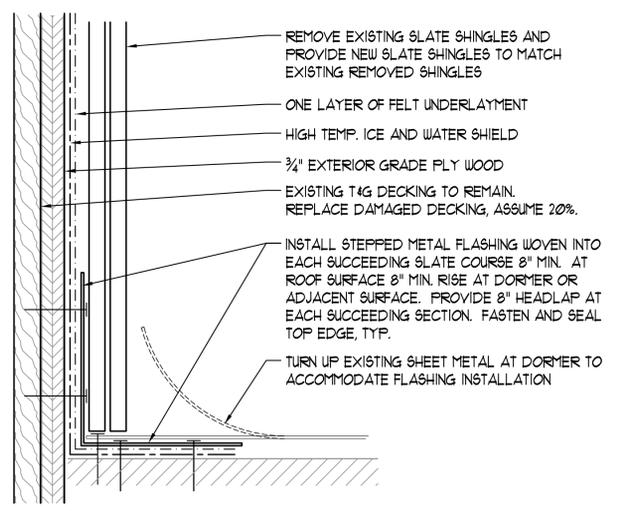
3 EDGE DETAIL @ DORMER
 AR304 1'-0" = 1'-0"



4 MANSARD CORNER
 AR302 3" = 1'-0"



1 GUTTER / CORNICE, TYP.
 AR302 3" = 1'-0"



5 FLASHING AT DORMER / ROOF INTERSECTION
 AR302 3" = 1'-0"

NOTE:
 SEE ROOF PLAN FOR GUTTER SLOPES.

NOTE:
 NOTIFY ARCHITECT AND ENGINEER ONCE REMOVALS ARE COMPLETE TO OBSERVE EXISTING STRUCTURAL CONDITIONS

LOCATE AND RE-ESTABLISH DRAINS FOR GUTTER. INSTALL NEW DRAIN LINES AND DRAINS AND CONNECT TO EXISTING HOUSE DRAIN. EXTEND RESINOUS FLASHING INTO DRAIN PER MANUF. RECOMMENDATIONS, SEE ARCHITECTURAL DRAWINGS.

EXISTING CAST IRON CORNICE TO BE REMOVED TO ACCOMMODATE STRUCTURAL REPAIRS AND REINSTALL ONCE COMPLETE



NO.	DATE	DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

**FACADE &
ROOF
RESTORATION
OF 287
BROADWAY**

**287 BROADWAY
NEW YORK, NY**

CTS PROJ. NUMBER: 893

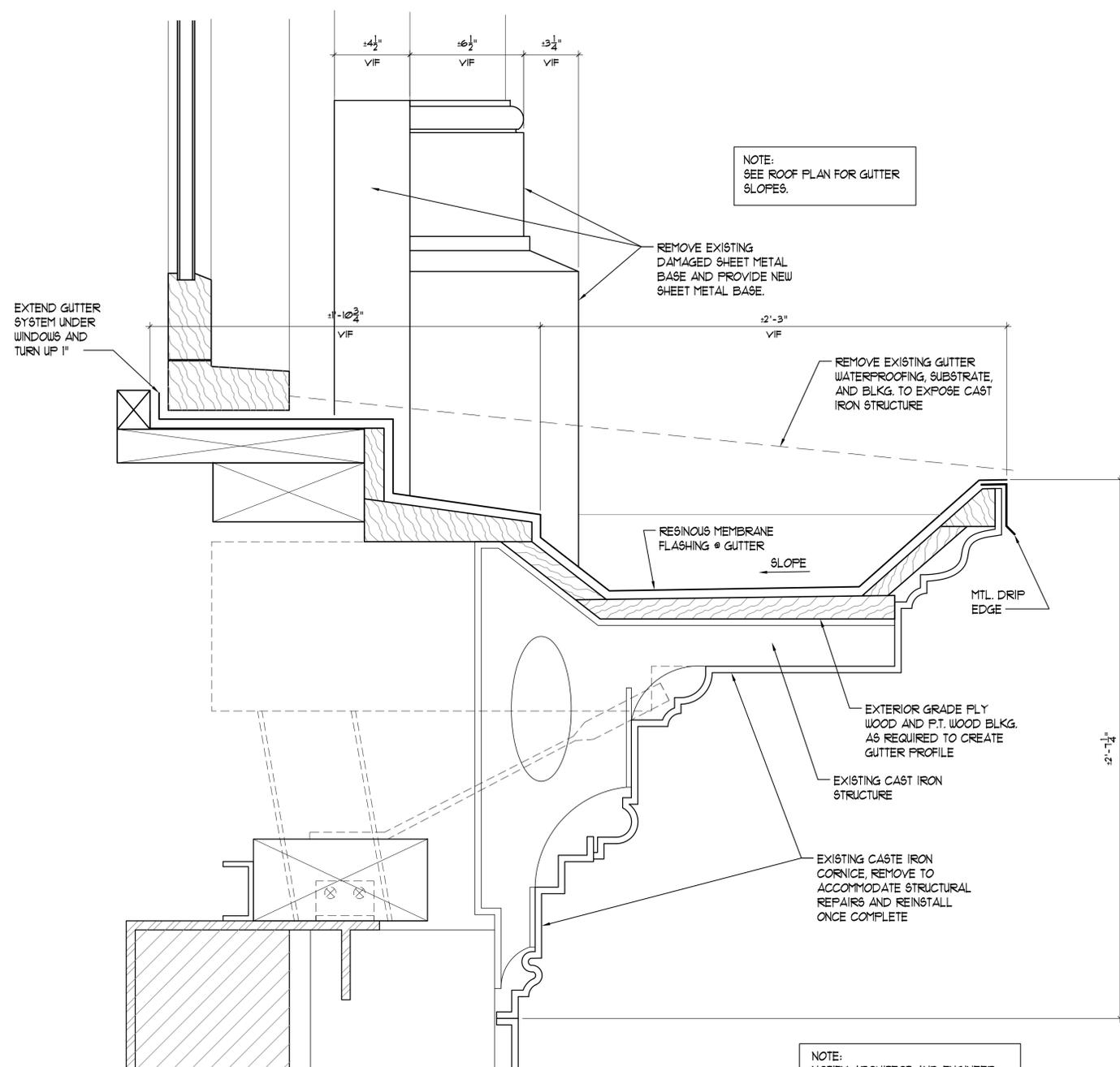
DRAWN BY: BPC

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DATE: 9/14/15

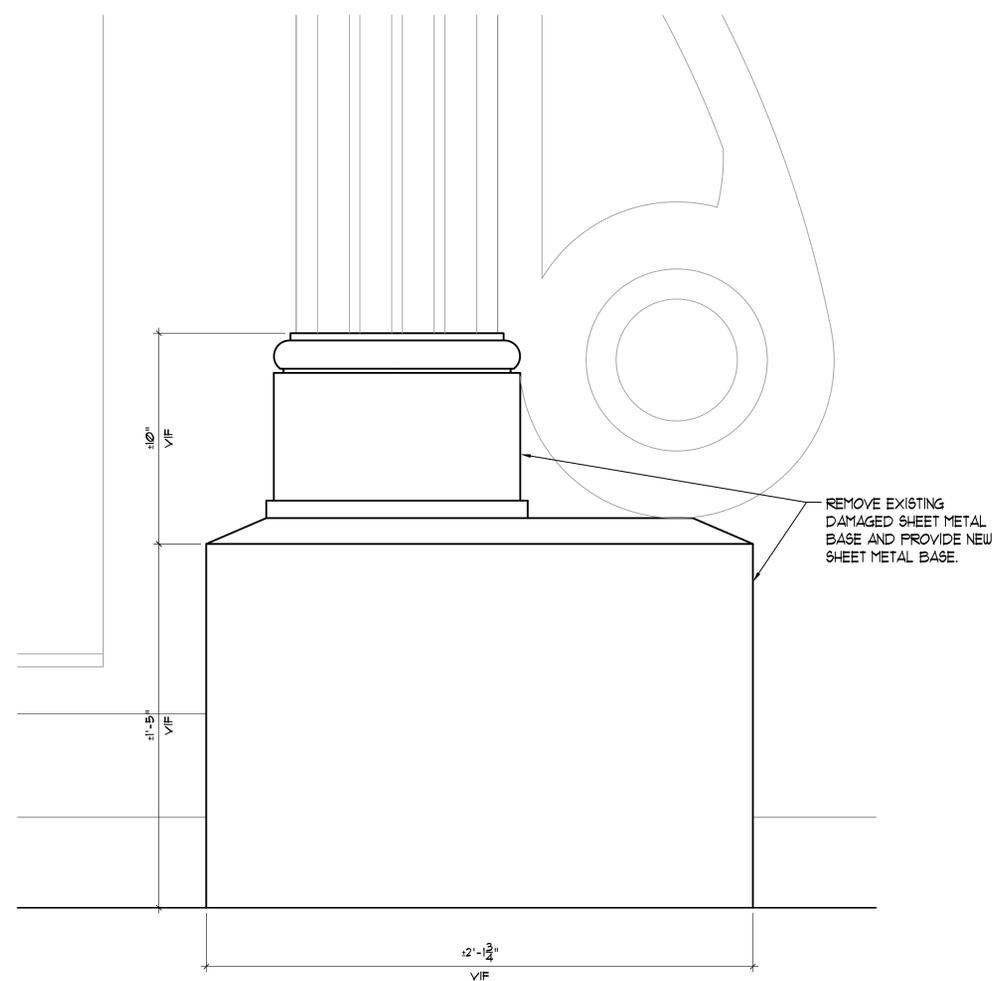
**5th FLOOR CORNICE
DETAIL**

AR-302.00a



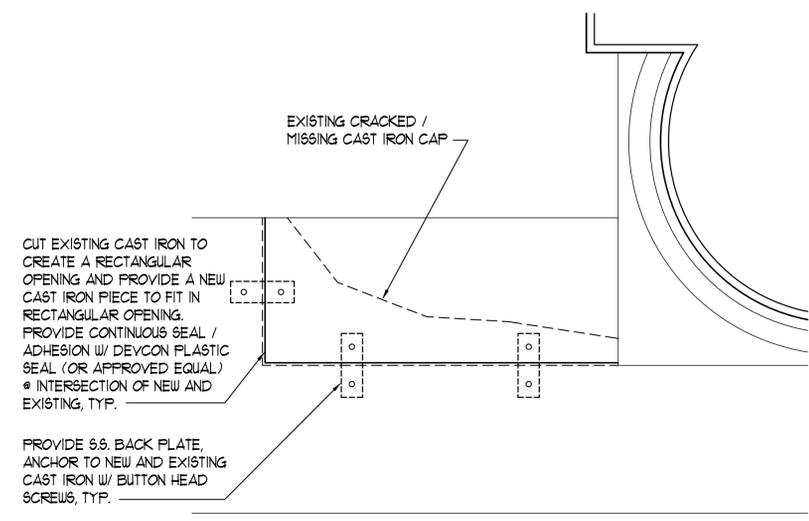
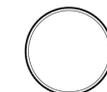
1 GUTTER / CORNICE @ WINDOW
AR302a 3" = 1'-0"

NOTE:
NOTIFY ARCHITECT AND ENGINEER
ONCE REMOVALS ARE COMPLETE
TO OBSERVE EXISTING
STRUCTURAL CONDITIONS

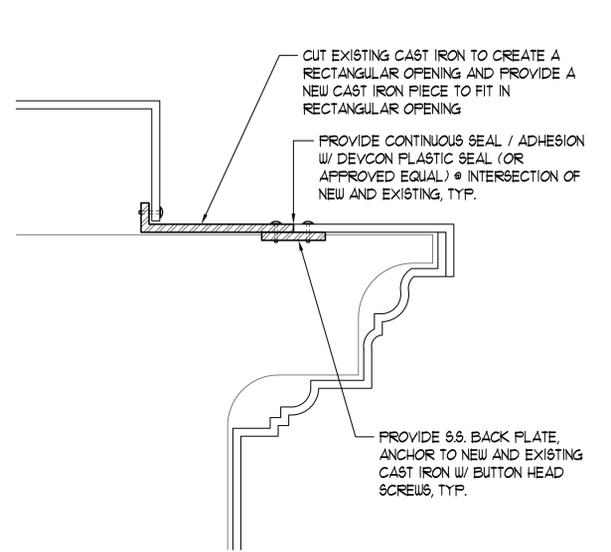


2 COLUMN BASE @ WINDOW
AR302a 3" = 1'-0"

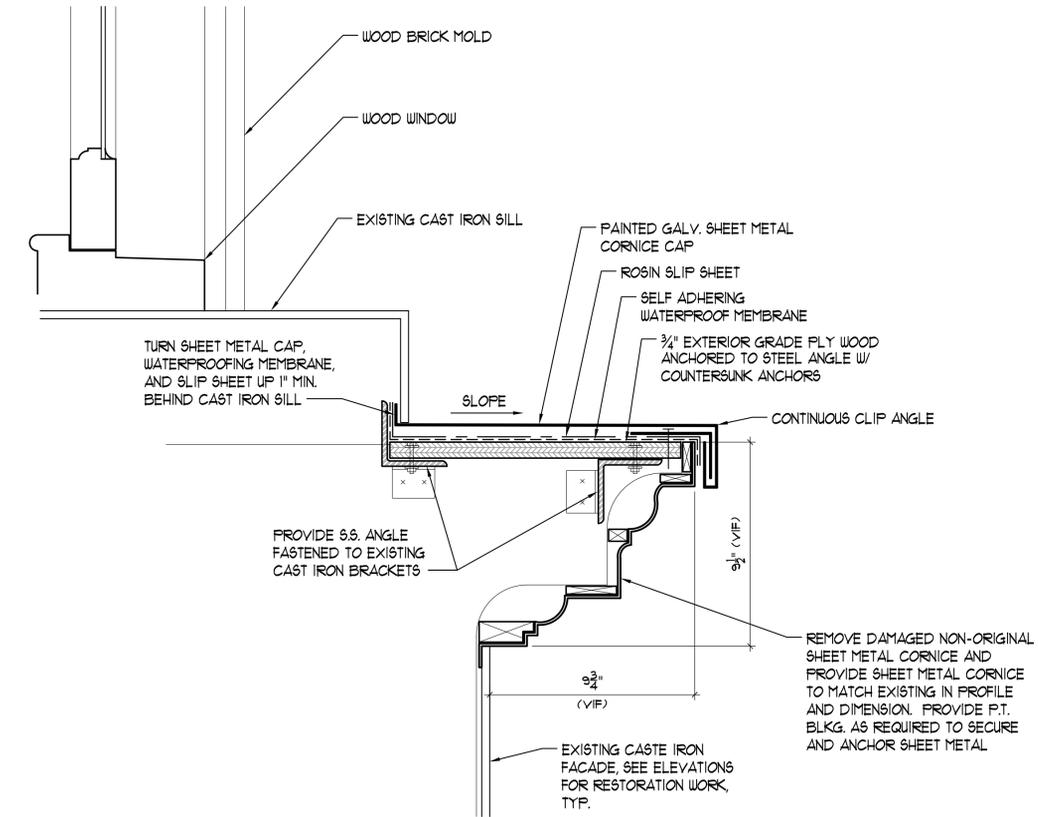
EXISTING CAST IRON CORNICE REMOVE TO ACCOMMODATE
STRUCTURAL REPAIRS AND REINSTALL ONCE COMPLETE



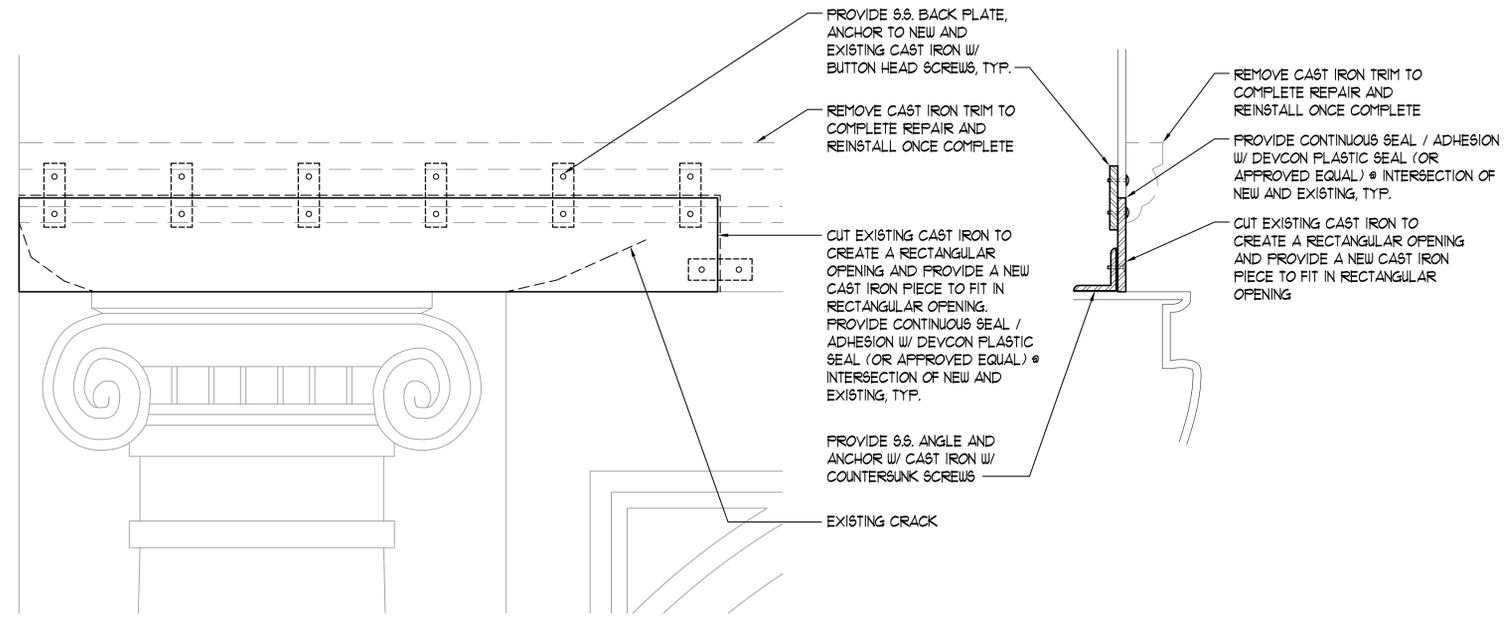
3a REPAIR @ CRACKED CORNICE CAP - PLAN
AR303 3" = 1'-0"



3b REPAIR @ CRACKED CORNICE CAP - SECTION
AR303 3" = 1'-0"

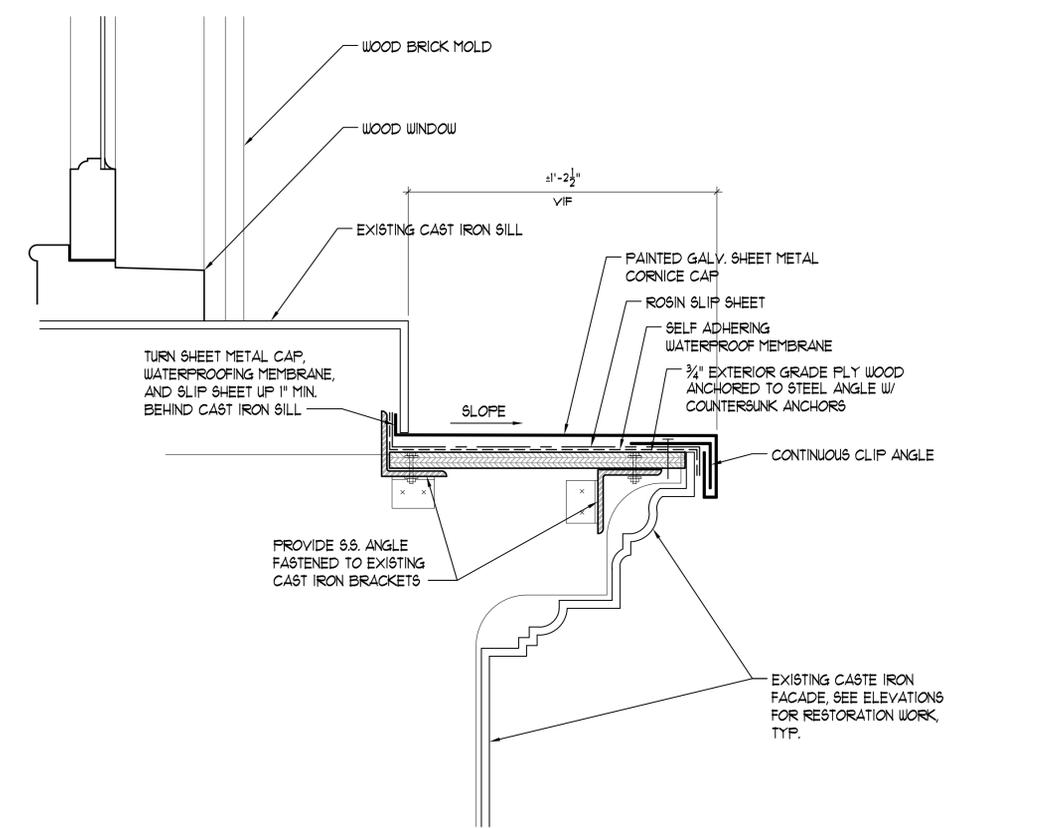


1 FIRST FLOOR CORNICE RE-CREATION
AR303 3" = 1'-0"

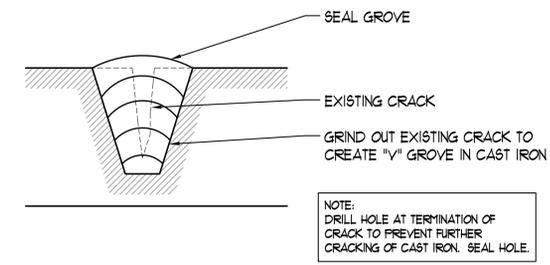


4a REPAIR @ CRACKED FASCIA - ELEVATION
AR303 3" = 1'-0"

4b REPAIR @ CRACKED FASCIA - SECTION
AR303 3" = 1'-0"



2 FIRST FLOOR CORNICE - NEW CAP
AR303 3" = 1'-0"



5 CRACK REPAIR
AR303 NTS

REVISIONS		
NO.	DATE	DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

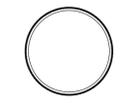
PROJECT
FACADE & ROOF RESTORATION OF 281 BROADWAY

ADDRESS
**281 BROADWAY
NEW YORK, NY**

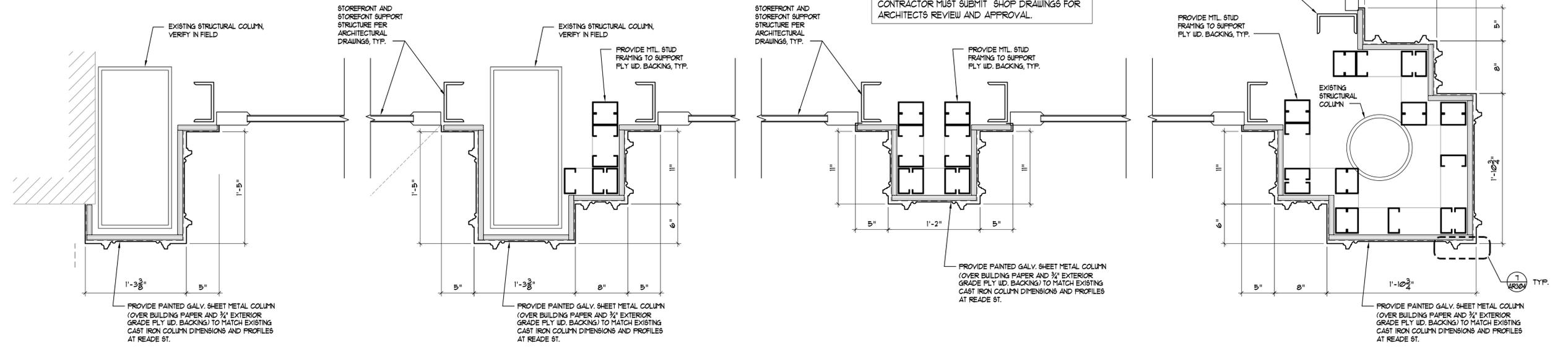
CTS PROJ. NUMBER: 893
DRAWN BY: BPC
CHECKED BY: DVA
DATE: 9/14/15

SHEET TITLE
DETAILS

SHEET NUMBER
AR-303.00
SHEET OF



NOTE:
EXACT CONFIGURATION OF FRAMING, BLOCKING,
ARMATURES, AND BRACKETS TO BE
COORDINATED WITH EXISTING CONDITIONS ONCE
CONDITIONS ARE UNCOVERED AND EXPOSED.
CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR
ARCHITECT'S REVIEW AND APPROVAL.

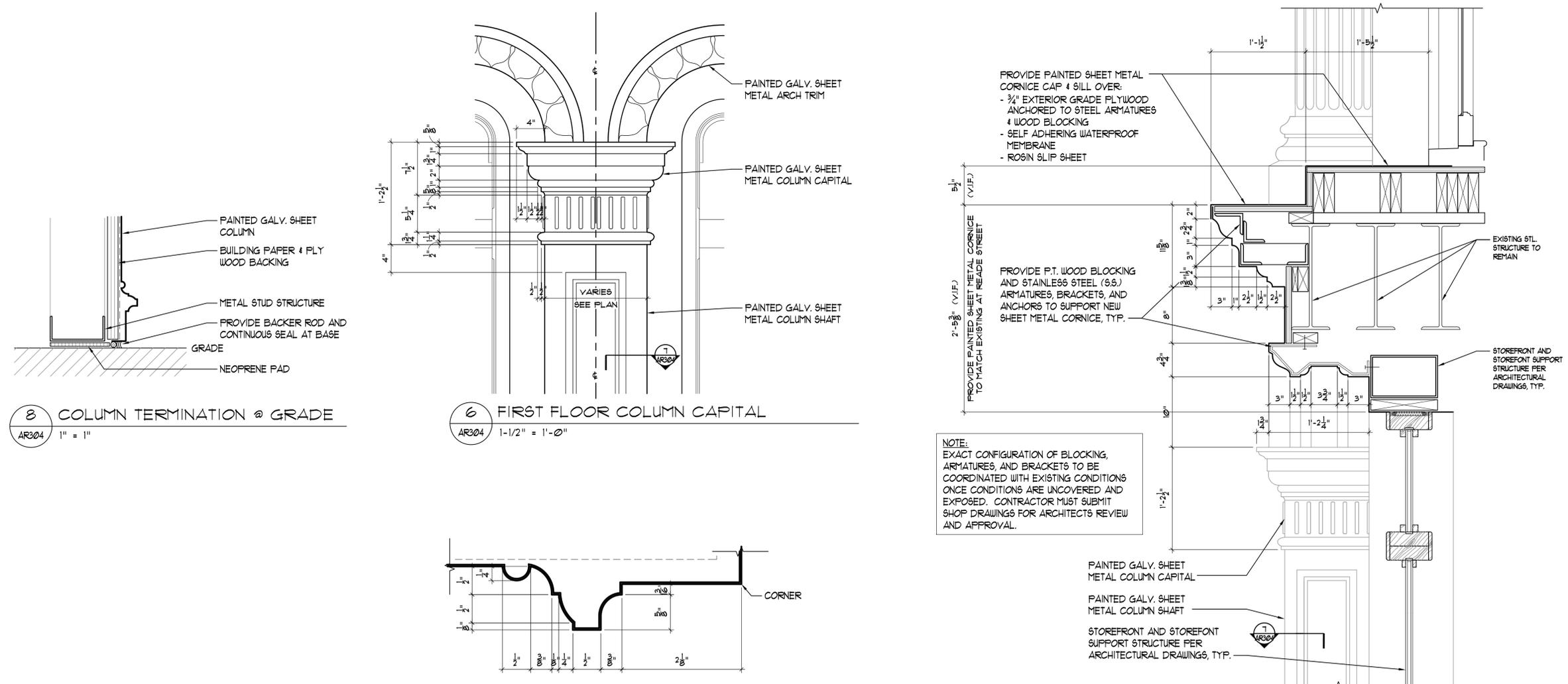


4 STOREFRONT COLUMN RE-CREATION
AR304 3" = 1'-0"

3 STOREFRONT COLUMN RE-CREATION
AR304 1-1/2" = 1'-0"

2 STOREFRONT COLUMN RE-CREATION
AR304 1-1/2" = 1'-0"

1 STOREFRONT COLUMN RE-CREATION @ CORNER
AR304 1-1/2" = 1'-0"



8 COLUMN TERMINATION @ GRADE
AR304 1" = 1"

6 FIRST FLOOR COLUMN CAPITAL
AR304 1-1/2" = 1'-0"

7 COLUMN TRIM PROFILE
AR304 1" = 1"

5 FIRST FLOOR CORNICE SECTION
AR304 1-1/2" = 1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION
01	4/24/2015	LPC SUBMITTAL

PROJECT
FACADE & ROOF RESTORATION OF 287 BROADWAY

ADDRESS
**287 BROADWAY
NEW YORK, NY**

CTS PROJ. NUMBER: 893
DRAWN BY: BPC
CHECKED BY: DVA
DATE: 8/24/15

SHEET TITLE

DETAILS

SHEET NUMBER

AR-304.00
SHEET OF